THE WEST LINE OF SECTION 22, TOWNSHIP 15 SOUTH, RANGE 14 EAST, G&SRM, PIMA COUNTY. AS MONUMENTED BY A 2" BRASS DISC, PUNCH ONLY, AT THE NORTHWEST CORNER OF SAID SECTION AND A 1.5" ACP, LS 8024, AT THE SOUTHWEST CORNER OF SAID SECTION. SAID BEARING BEING: SOO° 13' 41"E.

### **BASIS OF ELEVATION**

COT/PIMA COUNTY GIS CONTROL POINT IR13. A 1.5" ACP AT THE SOUTHWEST CORNER SEC. 22, T15S, R14E. ELEV. = 2676.75 (NAVD88)

### DEVELOPMENT PLAN GENERAL NOTES

1.	GROSS AREA:	79.99 AC (3,484,439.89 SF)
	DEVELOPMENT AREA:	36.72 AC (1,599,478.15 SF)

- 2. THE EXISTING ZONING IS: I-2
- 3. PROPOSED USE: COMMERCIAL STORAGE, SUBJECT TO SECTIONS 4.9.10.A & 4.9.13.Q
- 4. THIS PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE CRITERIA OF SECTION 5.4 - MAJOR STREETS AND ROUTES (MS&R) SETBACK ZONE.
- 5. THE PROJECT SITE WAS SUBJECT TO REQUIREMENTS FOR THE ANNEXATION CASE NUMBER C15-22-01 - AIRPARK 10 ANNEXATION. AS ADOPTED BY THE MAYOR AND COUNCIL ON OCTOBER 19, 2021, RESOLUTION NO. 23405.
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIM FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- 7. DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED. DISTURBED OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS DEVELOPMENT PLAN.
- 8. THE RESPONSIBILITY OF MAINTAINING THE LOCAL DETENTION BASIN RESTS WITH THE PROPERTY OWNER PER SEC. 1.5 AND 14.3 OF THE CITY OF TUCSON DEPARTMENT OF TRANSPORTATION AND ENGINEERING DIVISION STANDARD MANUAL FOR DRAINAGE DESIGN AND FLOODPLAIN MANAGEMENT, DEC., 1989.
- ALL PUBLIC ROADS AND DRAINAGE IMPROVEMENTS WITHIN AND ADJACENT TO THIS DEVELOPMENT SHALL BE BUILT IN ACCORDANCE WITH THE CITY OF TUCSON DEVELOPMENT STANDARDS AND THE PIMA COUNTY/CITY OF TUCSON STANDARD SPECIFICATIONS AND DETAILS.
- 10. NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH TECHNICAL STANDARD SECTION 10-10.5.0.
- 11. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- 12. ON-SITE SANITARY SEWERS, EXCEPT PUBLIC SEWER WITHIN PUBLIC SEWER EASEMENT WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
- 13. A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- 14. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, AS AMENDED).
- 15. EACH HANDICAP PARKING SPACE WILL HAVE: A. PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222.
  - B. THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND C. MAXIMUM GRADE IN DISABLED SPACE AND ACCESS AISLE IS 2%. D. VAN ACCESSIBLE SPACES SHALL HAVE A "VAN ACCESSIBLE" SIGN IN ADDITION TO THE DISABLED PARKING SIGN.
  - E. ALL ACCESSIBILITY REQUIREMENTS SHALL BE AS PER THE 2010 ADASAD.
- 16. THIS PROJECT BORDERS TUCSON INTERNATIONAL AIRPORT TO THE NORTHEAST AND IS WITHIN FAA TRAFFIC PATTERN AIRSPACE, AN AREA WHICH WOULD BE SUBJECT TO AIRCRAFT OVERFLIGHT AND NOISE DUE TO BEING IN CLOSE PROXIMITY TO TUCSON INTERNATIONAL AIRPORT.

۷.	ROILDING	AKE A2			
			OFFICE	WAREHOUSE	TOTAL
	BUILDING	1	18,833 SF	169,494 SF	188,327
	BUILDING	2	15,891 SF	143,017 SF	158,908
	BUILDING	3	21,482 SF	193,340 SF	214.822
	TOTAL		56,206 SF	505,851 SF	562,057

			NEGOTNED/ ALLOWED	111010360
3. SITE AREA (MIN)			0 SF	79.99 AC
	BUILDING HEI PER TABLE	6.3-5.A (MAX)	140′	44′
	LOT COVERAGE		N/A	OP OF PARAPET N/A
	PERIMETER YA	RDS:		
	NORTH:	MS&R	21' OR HEIGHT(H) OF EXT WALL TO BACK OF FUTURE CURB	_ 96' MIN
	WEST:	MS&R	21' OR HEIGHT(H) OF EXT WALL TO BACK OF FUTURE CURB	_ 153′ MIN
	SOUTH:	I -2	0'	
	EAST:	I -2	0'	

4. PARKING AND LOADING SPACE CALCULATIONS

	REQUIRED/ALLOWED	PRUPUSED
VEHICLE: PER TABLE 7.4.4-1 OFFICE		
56,206 SF x 1 / 300 SF COMMERCIAL STORAGE	188 SPACES	
505,851 SF x 1 / 5,000 SF	102 SPACES	
TOTA HANDICAP: PER TABLE 1106.1	AL = 290 SPACES	716 SPACES
501 - 1,000 PARKING SPACES, 2%	14 SPACES	24 SPACES
VAN ACCESSIBLE	4 SPACES	6 SPACES
BICYCLE: PER TABLE 7.4.8-1 SHORT TERM		
OFFICE: 56,206 SF x 1/20,000	SF = 3 SPACES	

\_\_\_\_\_ TOTAL = 22 SPACES22 SPACES LOADING SPACES:

 TABLE GROUP	1,	SECTION 8-01.8.0 BUILDING AREA (SF)	ANN WASTE	UAL RATE	MULTIPLYING FACTOR	 RATED

WAREHOUSE USE 505,851 SF 0.00155 49.8 0.06348 OFFICE 56,206 SF 0.00130 0.06348 4.3 \_\_\_\_

PROPOSED (6)-8 CUBIC YARD CONTAINER, SERVICE PICK UP TWICE A WEEK

ADDITIONAL PICK-UP WILL BE SCHEDULED WHEN NEEDED.

# **NOTES & TABULATIONS**

COMMERCIAL STORAGE

1. USE:

2. BUILDING	ARFAS:		 			
2. 20.22.110	711127131	OFFICE	WAREHOUS	SE	TOTAL	
BUILDING BUILDING BUILDING	2	18,833 SF 15,891 SF 21,482 SF	169,494 143,017 193,340	SF	188,327 158,908 214,822	SF
TOTAL		 56,206 SF	 505,851		562,057	

			REQUIRED/ALLOWED	PROPOSED
3.	SITE AREA		0 SF	79.99 AC
		EIGHT (MAX) E 6.3-5.A (MAX)	140′	44' OF PARAPET
	LOT COVERA	GE	N/A	N/A
	PERIMETER YARDS:			
	NORTH:	MS&R	21' OR HEIGHT(H) OF EXT WALL TO BACK OF FUTURE CURB	96' MIN
	WEST:	MS&R	21' OR HEIGHT(H) OF EXT WALL TO BACK OF FUTURE CURB	153′ MIN
	SOUTH:	I <b>-</b> 2	0'	
	EAST:	I <b>-</b> 2	0'	

	REQUIRED/ALLOWED	PROPOSED
VEHICLE: PER TABLE 7.4.4-1		
OFFICE		
56,206 SF x 1 / 300 SF	188 SPACES	
COMMERCIAL STORAGE		
505,851 SF x 1 / 5,000 SF	102 SPACES	
	TOTAL = 290 SPACES	716 SPACES
HANDICAP: PER TABLE 1106.1		
501 - 1,000 PARKING SPACES, 2%	14 SPACES	24 SPACES
VAN ACCESSIBLE	4 SPACES	6 SPACES
BICYCLE: PER TABLE 7.4.8-1		

WAREHOUSE:		NONE			
		TOTAL = 3	3 SPACES	6 SPACES	
LONG TERM					
OFFICE:	56,206 SF	x 1/6.000 SF = 9	SPACES		
<b>WAREHOUSE:</b>	505,851 SF	$\times 1/40.000 \text{ SF} = 13$	SPACES		

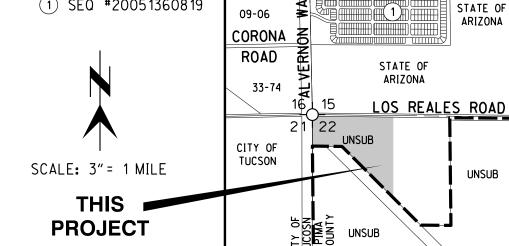
OFFICE LESS THAN 50,000 SF: COMMERCIAL STORAGE WITH DIRECT ACCESS: NOT REQUIRED

# **WASTE STREAM CALCULATIONS**

COMMERCIAL STORAGE

TOTAL = 54.1 CY/WEEKVOL = 96 CY/WEEK

1) SEQ #20051360819



# OWNER / DEVELOPER

LPC DESERT WEST 3131 EAST CAMELBACK ROAD, SUITE 318 PHOENIX, AZ 85016 PHONE (602) 912-8888 ATTN: ANTHONY VILLARREAL avillarreal@lpc.com

# **CIVIL ENGINEER**

RICK ENGINEERING COMPANY, INC. 3945 EAST FORT LOWELL ROAD, SUITE 111 TUCSON, ARIZONA 85712 PHONE (520) 795-1000 ATTN: PAUL IEZZI piezzi@rickengineering.com

SH	EET INDEX
1.	COVER AND NOTES
2.	INDEX. ACCESSIBLE ROUTE
	AND BOUNDARY INFO
3.	SITE AND GRADING NOTES
4.	UTILITY NOTES
	SITE PLAN AND LEGEND
	SITE PLAN
7.	SITE PLAN
	SITE PLAN
9.	SITE PLAN
-	SITE PLAN
11.	SITE PLAN
12.	GRADING PLAN AND LEGEND
13.	GRADING PLAN
14.	GRADING PLAN
15.	GRADING PLAN

18. GRADING PLAN 19. GRADING PLAN 20. GRADING PLAN 21. GRADING PLAN

16. GRADING PLAN

17. GRADING PLAN

22. GRADING PLAN 23. GRADING PLAN 24. GRADING PLAN 25. BANK PROTECTION PLAN NOTES, LEGEND AND DETAILS

26. BANK PROTECTION PLAN AND PROFILE 27. BANK PROTECTION PLAN AND PROFILE 28. BANK PROTECTION PLAN AND PROFILE 29. BANK PROTECTION PLAN AND PROFILE

30. BANK PROTECTION PLAN AND PROFILE 31. DETAILS 32. DETAILS

33 DETAILS 34. DETAILS 35. HORIZONTAL CONTROL 36. HORIZONTAL CONTROL 37. HORIZONTAL CONTROL

38. HORIZONTAL CONTROL 39. HORIZONTAL CONTROL 40. HORIZONTAL CONTROL 41. HORIZONTAL CONTROL 42. HORIZONTAL CONTROL

43. HORIZONTAL CONTROL 44. HORIZONTAL CONTROL

# **ADMINISTRATIVE ADDRESS**

TUCSON, ARIZONA 85756

ASSESSOR PARCEL NUMBER 140-44-0040

# FOR ADDRESSING USE ONLY

= 20,000 CY

NOTE: EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT USED FOR PAYMENT QUANTITIES. CONTRACTOR SHALL VERIFY QUANTITES.

LAT: 32°07′02" LONG: -110°54′13"

LOCATION MAP

NW COR, SECTION 22, T 15 S, R 14 E G & SRM

PIMA COUNTY, ARIZONA

COT WARD #5

LANDSCAPE ARCHITECT RICK ENGINEERING COMPANY, INC. 3945 EAST FORT LOWELL ROAD, SUITE 111 TUCSON, ARIZONA 85712 PHONE (520) 795-1000 ATTN: MARK FELLINGER

mfellinger@rickengineering.com

45.	UTILITY	DI AN	VVID	LECEND
43.			AND	LEGEND
46.	UTILITY	PLAN		
47.	UTILITY	PLAN		
48.	UTILITY	PLAN		
49.	UTILITY	PLAN		
50.	UTILITY	PLAN		
51.	UTILITY	PLAN	AND	PROF ILE
52.	UTILITY	PLAN	AND	PROF ILE
53.	UTILITY	PLAN	AND	PROF ILE
54.	UTILITY	PLAN	AND	PROF ILE
55.	SWPPP			
56.	SWPPP			
	CWDDD			

57. SWPPP 58. LANDSCAPE PLAN COVER AND NOTES 59. LANDSCAPE DETAILS

60. LANDSCAPE DETAILS 61. PLANTING PLAN 62. PLANTING PLAN 63. PLANTING PLAN 64. PLANTING PLAN

65. PLANTING PLAN 66. PLANTING PLAN 67. IRRIGATION PLAN 68. IRRIGATION PLAN

69. IRRIGATION PLAN 70. IRRIGATION PLAN 71. IRRIGATION PLAN 72. IRRIGATION PLAN

73. WATER HARVESTING PLAN 74. WATER HARVESTING PLAN 75. NATIVE PLANT PRESERVATION PLAN 76. NATIVE PLANT PRESERVATION PLAN

77. NATIVE PLANT PRESERVATION PLAN 78. NATIVE PLANT PRESERVATION PLAN 79. NATIVE PLANT PRESERVATION PLAN 80. NATIVE PLANT PRESERVATION PLAN 81. NATIVE PLANT PRESERVATION PLAN 82. NATIVE PLANT PRESERVATION PLAN

83. NATIVE PLANT PRESERVATION PLAN 84. ENVIRONMENTAL RESOURCE REPORT 85. ENVIRONMENTAL RESOURCE REPORT 86. ENVIRONMENTAL RESOURCE REPORT

4150 EAST LOS REALES ROAD

5 X S

ES

E E  $\mathbf{\alpha}$ 50

Contact Arizona 811 at least two full working days before you begin excava AR ZONA 811 Call 811 or click Arizona811.com DP22-0122

HORIZ: N/A VERT : N/A SHEET 1 OF 86

C 15-22-01