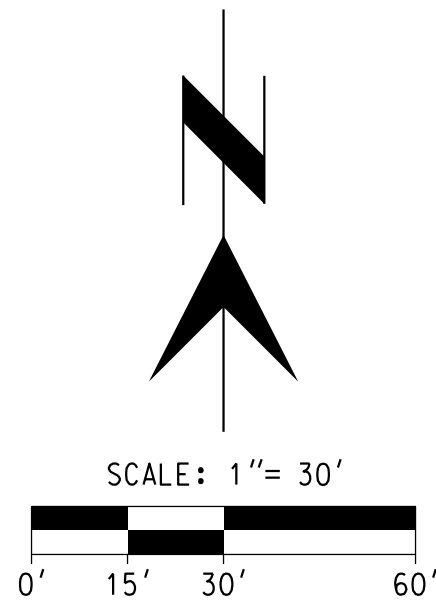


© 2022 Rick Engineering Company

\\cp.rickeng.com\projects\TUC\F\4329_Los_Reales_Alverson_Property\Civil\PHASE 1\PDFs\TUC CorpStd.s 2005.dscript

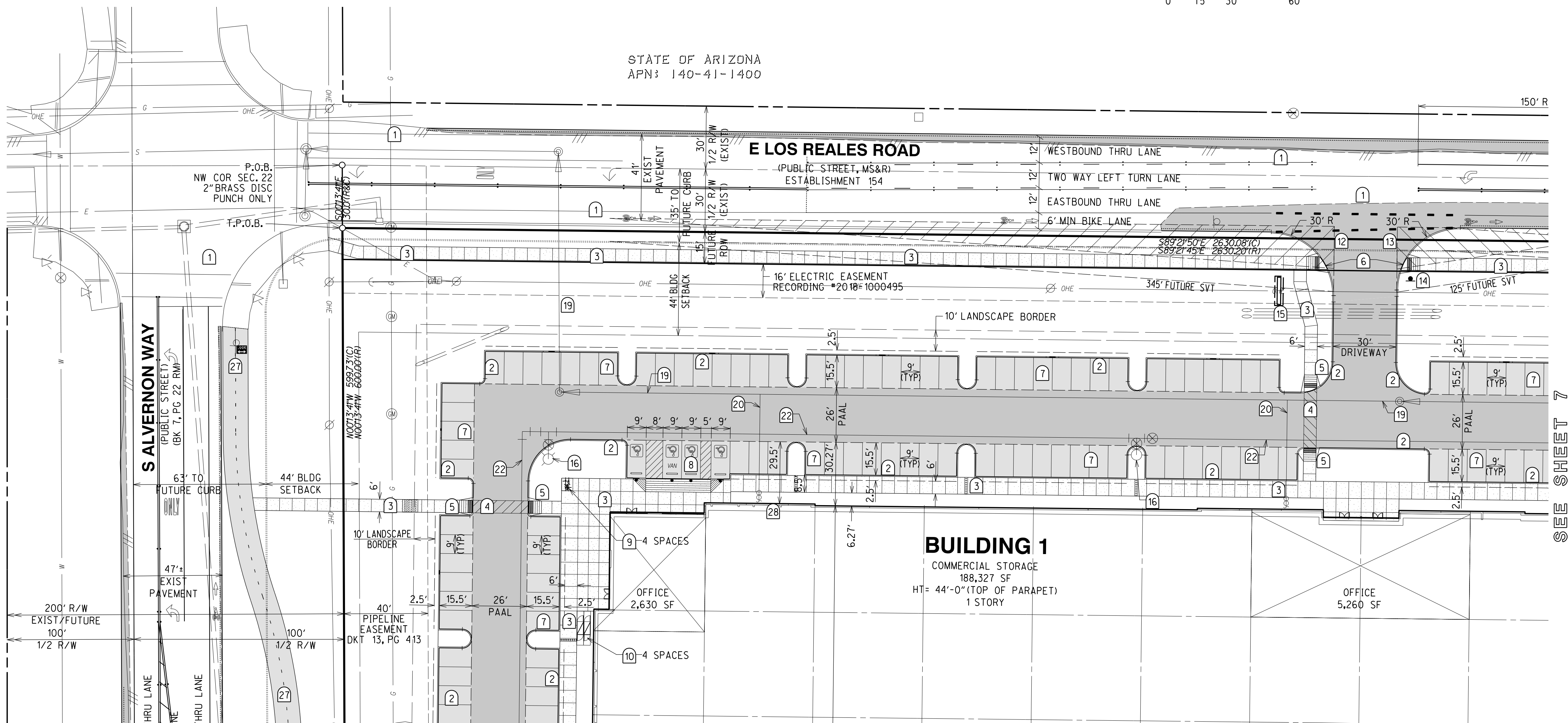
LEGEND

ITEM	SYMBOL
CENTERLINE	---
SECTION LINE	---
PROJECT BOUNDARY	---
EASEMENT BOUNDARY	---
PROPOSED 100 YR FLOOD PRONE LINE	---
EXIST 100 YR FLOOD PRONE LINE	---
LANDSCAPE BUFFER/YARD LIMITS	---
BUILDING SETBACKS	---
EXIST PAVEMENT EDGE	///
EXIST SEWER LINE W/MH	⊙ S
EXIST WATERLINE W/VALVE	⊗ W
EXIST UNDERGROUND LINE	— E —
EXIST FIBER OPTIC LINE	— FO —
EXIST GAS LINE	— G —
EXIST TELEPHONE LINE	— T —
EXIST CABLE LINE	— CATV —
EXIST OVERHEAD ELECTRIC LINE	— OHE —
JURISDICTIONAL BOUNDARY	---



KEYNOTES

- 1 SAWCUT AT 1" MINIMUM. REMOVE EXIST CURB AND PAVEMENT AS NECESSARY. TACK, AND JOIN NEW PAVEMENT TO EXIST PAVEMENT
- 2 6" TYPE 2 VERTICAL CURB PER PAG SD 209 (TYP)
- 3 6' WIDE MINIMUM CONCRETE SIDEWALK PER PAG SD 200
- 4 6' WIDE MINIMUM STRIPED PEDESTRIAN CROSSWALK
- 5 CURB ACCESS RAMP TO BE CONSTRUCTED IN COMPLIANCE WITH ICC/ANSI 117.1 (AS PER SECTIONS 405 AND 406, SIDEWALK AND CURB RAMP) PROVIDE TRUNCATED DOMES PER SECTION 705
- 6 CURB ACCESS RAMP WITHIN PUBLIC RIGHT-OF-WAY PER PAG SD 207
- 7 STANDARD 90° PARKING REGULAR PARKING SPACE, 9'x18' (15.5' W/2.5' OVERHANG) (F 31)
- 8 STANDARD 90°, 9'x18' HANDICAP PARKING SPACE WITH 5' WIDE ACCESS AISLE FOR REGULAR SPACE AND 8' WIDE ACCESS AISLE FOR VAN ACCESSIBLE. SEE DETAIL (F 31)
- 9 SHORT TERM BICYCLE PARKING IN CONFORMANCE WITH COT UDC SECTION 7.4.9. SEE DETAIL (E 31)
- 10 LONG TERM BICYCLE PARKING IN CONFORMANCE WITH COT UDC SECTION 7.4.9. SEE DETAIL (E 31)
- 11 PROPOSED TRASH COMPACTOR
- 12 20'x345' NEAR SIDE SIGHT VISIBILITY TRIANGLE (DRIVEWAY/ARTERIAL)
- 13 20'x125' FAR SIDE SIGHT VISIBILITY TRIANGLE (DRIVEWAY/ARTERIAL)
- 14 R1-1 30" X 30" STOP SIGN
- 15 PROPOSED MONUMENT SIGN PER SEPARATE PERMIT
- 16 PROPOSED FIRE HYDRANT
- 17 12'x50' TRAILER PARKING
- 18 PIPE BOLLARD AT 5' O.C.
- 19 PROPOSED 8" PRIVATE SEWER MAIN, SEE PRIVATE UTILITY PLAN
- 20 PROPOSED 6" BUILDING CONNECTION SEWER, SEE PRIVATE UTILITY PLAN
- 21 PROPOSED GAS MAIN AND METER
- 22 PROPOSED PRIVATE FIRE LINE
- 23 PROPOSED WATER METER WITH BACKFLOW PREVENTER ASSEMBLY
- 24 1" IRRIGATION SERVICE WITH BACKFLOW PREVENTER. SEE LANDSCAPE
- 25 PROPOSED 10" FIRE SERVICE
- 26 PROPOSED UNDERGROUND PRIMARY ELECTRIC, PULL BOXES AND TRANSFORMERS. SEE PRIVATE UTILITY PLAN
- 27 12' WIDE PATH, 2" ASPHALT OVER 12" COMPACTED SUBGRADE (PRTSMP #P104) (N 32)
- 28 THIS SIDE OF THE BUILDING PROVIDES AERIAL FIRE APPARATUS ACCESS. NO AWNING, CANOPIES AND OR SOLAR SHALL BE INSTALLED.
- 29 TRUNCATED DOMES PER ICC/ANSI 117.1 SECTION 705

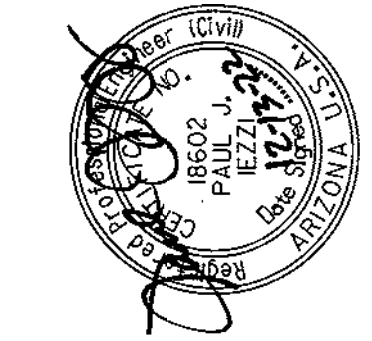


SEE SHEET 6

SEE SHEET 7

CDRC Approved Development Package
Imonshi1
01/06/2023
PLANNING & DEVELOPMENT SERVICES

<input checked="" type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> ERZ
<input checked="" type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input checked="" type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input checked="" type="checkbox"/> FUP	<input type="checkbox"/> Other
<input type="checkbox"/> per letter in SIRE, Revision #	



J-4329A
3945 EAST FORT LOWELL ROAD - SUITE 111
TUCSON, AZ 85712
329595-1000
rickengineering.com
San Diego • Riverside • Orange • Sacramento • San Jose • Chicago • Phoenix • Denver

RICK ENGINEERING COMPANY
Tucson

DESIGNED BY: THM	DATE: 04/2022	CHECKED BY: PJI	DATE: 04/2022
DRAWN BY: PAD	DATE: 04/2022	APPROVED BY: PJI	DATE: 04/2022

I-10 INTERNATIONAL
4150 EAST LOS REALES ROAD, TUCSON, AZ 85756
A PORTION OF THE NORTHWEST QUARTER OF SECTION 22,
TOWNSHIP 15 SOUTH, RANGE 14 EAST, GILA & SALT RIVER
MERIDIAN, CITY OF TUCSON, PIMA COUNTY, ARIZONA.

ARIZONA811
Call 811 or click Arizona811.com

DP22-0122
C15-22-01

SHEET 5 OF 86

\\cp.rickeng.com\projects\TUC\F\4329_Los_Reales_Alverson_Property\Civil\PHASE 1\4329APH1dp05.dgn