

August 11, 2025

Boulder Ranch Homes

8600 Baseline Road - Annexation Preapplication Review Request

To: City of Lafayette Planning
From: Jack Bestall – Bestall Collaborative

This is to request a preapplication review of the attached submittal for a 35-acre property owned by Stephen J. Tzap at 8600 Baseline Road. As the owner's representative, we are requesting consideration of property for annexation from Boulder County into the City of Lafayette. The goal of the Boulder Ranch Homes plan is to provide a mix of single-family residential and multi-family units with approximately 8% targeted to affordable and middle tier work-force housing. Another emphasis of the plan is the design of sustainable dwelling units which serve Intellectual and Developmental Disability (IDD) and aging-in-place residents with the support of staff and facilities located onsite in the community Activity Center.

The property satisfies the statutory annexation criteria in the Colorado Municipal Annexation Act of 1965 (C.R.S. §§ 31-12-101 – 31-12-123) and Lafayette Municipal Code ("LMC") § 26-5-1. It shares more than one-sixth contiguity with the existing city boundary along Baseline Road, lies wholly inside the City's Urban Growth Boundary, and can be served with police, fire, water, wastewater, and other municipal services within the period prescribed [C.R.S. § 31-12-105(1)(e)].

Plan Context. The property currently contains a home, barn, out-buildings and pastures. The Goodhue and Davidson ditches traverse the property in parallel – flowing west to east as laterals of the Highline ditch serving the property and other agricultural properties downstream. The ditch water also supports a vegetated riparian zone.



View North of property

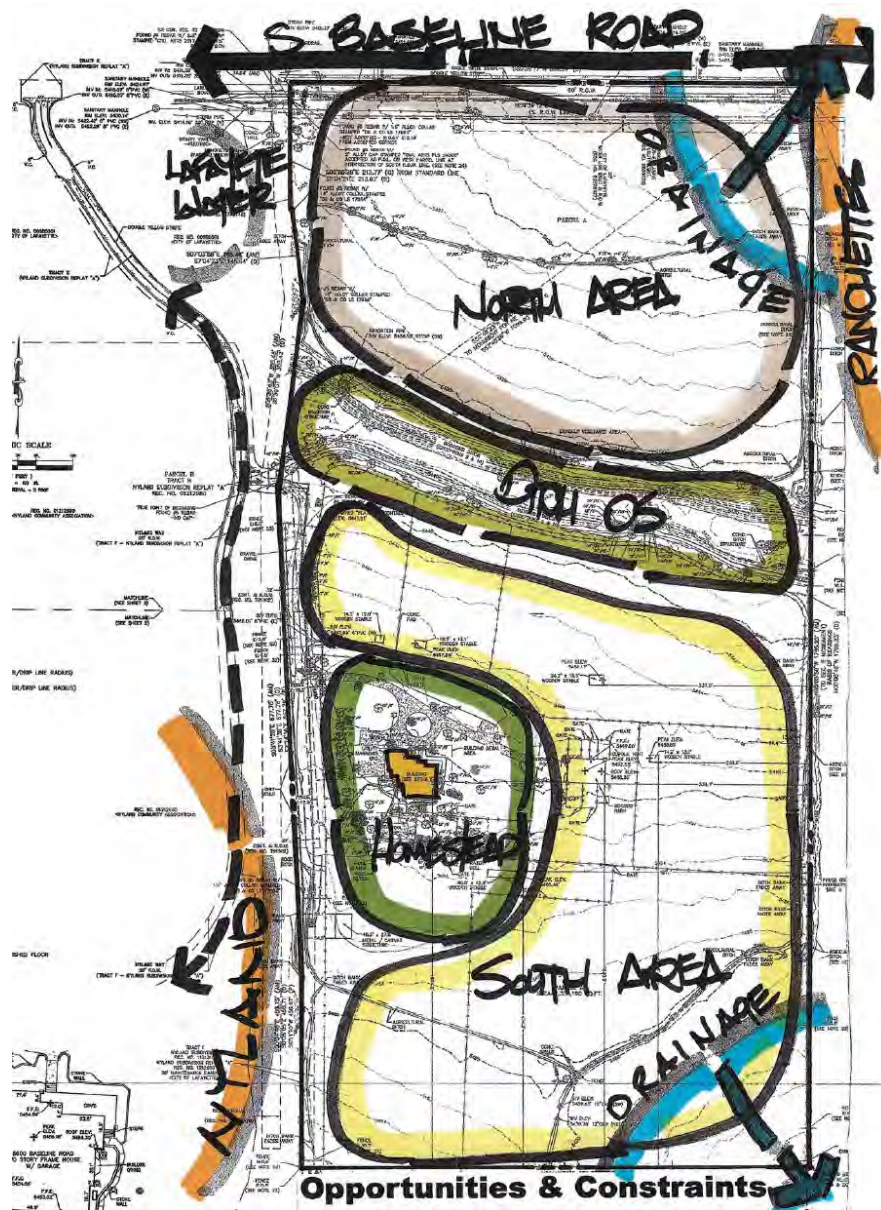
The natural drainage on the property flows from the south to the north from elevation 5468' to 5414'; averaging approximately 3.5% gradient; with the exception of an area that flows from an agricultural ditch traversing the site south to northeast that drains to the southeast from 5460' to 5452' – averaging a similar 3.5% gradient. Water, sanitary sewer and power utilities are located in Baseline Road along the north side of the property.

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Zoned Rural Residential (RR) in Boulder County, the property is within the Lafayette Urban Growth Boundary and is identified for residential uses on the City of Lafayette Comprehensive Land Use Plan. Bordered on the north by Baseline Road in the City of Lafayette; on the east by four parcels zoned RR in Boulder County; to the south by open space and the west by the Nyland residential community and a municipal water treatment and storage facility in the City of Lafayette.



Opportunities & Constraints Analysis

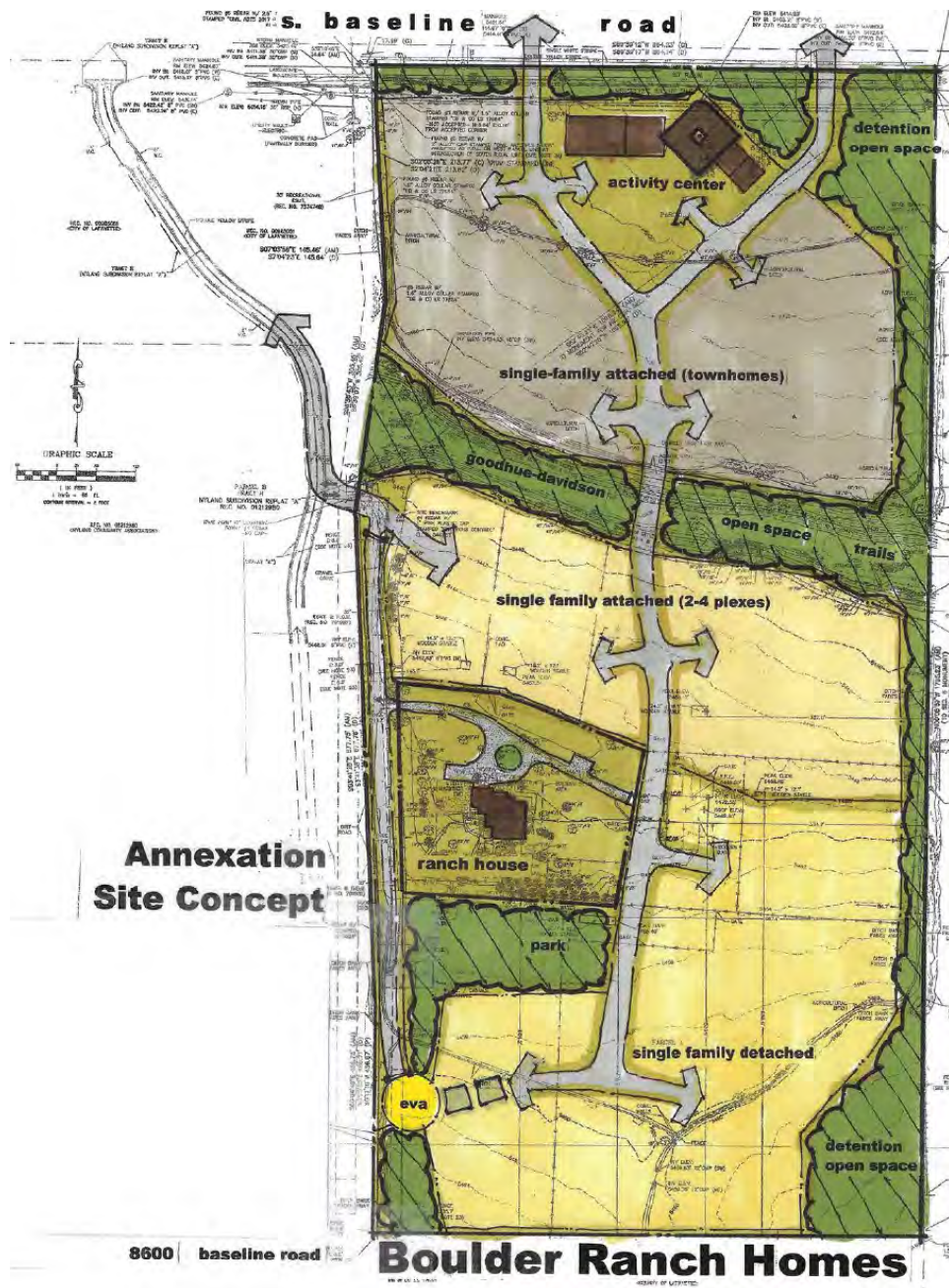
Plan Uses. The attached Concept Plan proposes Planned Unit Development (PUD) zoning as a condition of annexation to provide a framework for mixed residential, community and health related facilities & services to be developed on the property. Consistent with the Comprehensive

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Plan the Boulder Ranch Homes plan provides for a mix of residential dwelling units, including: single-family, 2, 3 & 4-plexes, cottages and townhomes; with approximately 8% of the units targeted to affordable/middle tier housing.



Concept Plan

The plan design emphasizes the integration of sustainable dwelling units to support intellectually and developmentally disabled (IDD) and aging-in-place (AIP) residents (Lafayette Comprehensive Plan) in conjunction with professional staff and facilities located in the community

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Activity Center. The plan is arranged with more residential units (attached – townhomes, 2-4plexes) located in the north area forming a walkable village around the Activity Center adjacent Baseline Road; and fewer residential units (attached, detached) in the area south of the Goodhue-Davidson riparian zone (2, 3 and 4-plexes, cottages, single-family homes) transitioning to the south part of the property – land use table below. The Activity Center is intended for community related meeting and recreation venues for the Boulder Ranch Homes community, with health-related professional offices and treatment facilities providing services to on and offsite clients.

Boulder Creek Ranch Concept Plan					
LAND USE (estimate)	Area acres	Density du/ac	Detached Units	Attached Units	Open Space
North Area					
Single Family Attached (townhomes)	8.2	9	0	74	
Activity Center	1.6	0	0		
Goodhue Open Space	2.7				2.7
Detention Open Space	0.8				0.8
North Neighborhood	13.3	5.7	0	74	3.5
South Area					
Single Family Detached (2-4plexes, cottages)	8.8	4.5	40		
Single Family Detached (lots)	8	9		72	
Ranch House	2.4				
Detention Open Space	0.9				0.9
Park Open Space	1.6				1.6
South Area	21.7	0		72	2.5
total units by type			40	146	
Total Project	35	5.3	185	6	
*Parcel: 35.0 gross acres					
*Open Space: 15% of gross area including detention open space in part					
*North Area Activity Center Uses: Commercial, Health & Medical, Community 15,600sf					

Land Use Table

Circulation. Street section and parking improvement dimensions are intended to vary from the standard City Engineering standards (Table 2-1) utilizing the flexibility that the PUD allows (LMC § 26-19-3), thereby fostering reduced impervious surface and increased pedestrian safety by way of reduced vehicle speeds. Access to the property includes two primary entry points that are evenly spaced on Baseline Road; a secondary access on Nyland Way; and a gated emergency vehicle access (EVA) at the south end of the existing 32' easement & right of way along the west property line. The internal main collector street is planned as a 42' right of way with a 10' tree lawn and parking on one side. Local streets/driveways will meet minimum 24' wide easement standards for emergency vehicles.

Pedestrian Connectivity & Open Space. The intent of the overall circulation system is to provide for significant pedestrian connectivity onsite with an integrated pathway system consisting of sidewalks and crusher fine paths where feasible that will connect to offsite pathways (south & north along Baseline Road) within the project. The Goodhue-Davidson riparian zone provides an

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opportunity to maintain a mature vegetated open space and integrate activities and trail linkages throughout. This idea will be explored with the ditch companies to assess the practical realities inherent in water rights and agriculturally driven facilities when integrated with residential and recreational uses. Other open space amenities have been planned as part of the natural drainage open space system and as standalone facilities to serve the onsite residents and their unique needs. Written concurrence from the Goodhue and Davidson Ditch Companies will be secured prior to Sketch Plan submittal.

Water Supply & Raw-Water Dedication. Pursuant to LMC Chapter 120, Article IV (Sections 120-91 through 120-98), Boulder Ranch Homes will satisfy Lafayette's raw-water dedication requirement through Colorado-Big Thompson ("CBT") shares or an equivalent cash-in-lieu contribution at the rates adopted by City Resolution 2021-56. The dedication method will be finalized with Public Works prior to formal annexation approval.

Development Standards & PUD Objectives. Lot, building and landscape design standards will be prepared as part of the PUD zoning in collaboration with the City. The PUD zoning is necessary to provide for residential unit design flexibility and allow creative design solutions including ADU's with an emphasis on compact development patterns that limit impervious surface and maximize residential yield to allow for the integration of affordable and middle housing.

Considered Standards.

- Single-family lots may range from 3,500sf – 6,500sf
 - 3-5' sideyard, 10' front and 15' rearyard setbacks.
- Townhomes, 2, 3, 4-plex, and cottage structures
 - Similar with single-family standards; 0' interior setback
 - contingent on building code and public safety standards.
- Scale & Character
 - Horizontal scale and transitional rural character
 - 2 - 4 story structures; 50' overall height.
- Landscape
 - Xeriscape plant material and irrigation principles in non-people active areas
 - Water conservative usage standards

Governance. The intent of the plan is to maintain parks and open space drainage facilities and community pathways by means of a community association. Public facilities including streets, drainage and trail facilities would be maintained by the City and/or County. Easements would be granted as required for public safety services. Trail segments proposed for public dedication will be secured through a Subdivision Improvement Agreement acceptable to Public Works.