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56 Full Building IFC - Rev. 3 230609

43 Full Building IFC - Rev. 2 230127

11 Interior Design IFC 220520

Issue

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Client

**Westbank
Broadway +
Alma**
3709 W. Broadway, Vancouver, BC

Drawing Title

Cover Sheet

Drawn / Checked

AB WBA

Scale

© 30X48 2023-06-09 3:27:40 PM

Sheet Number

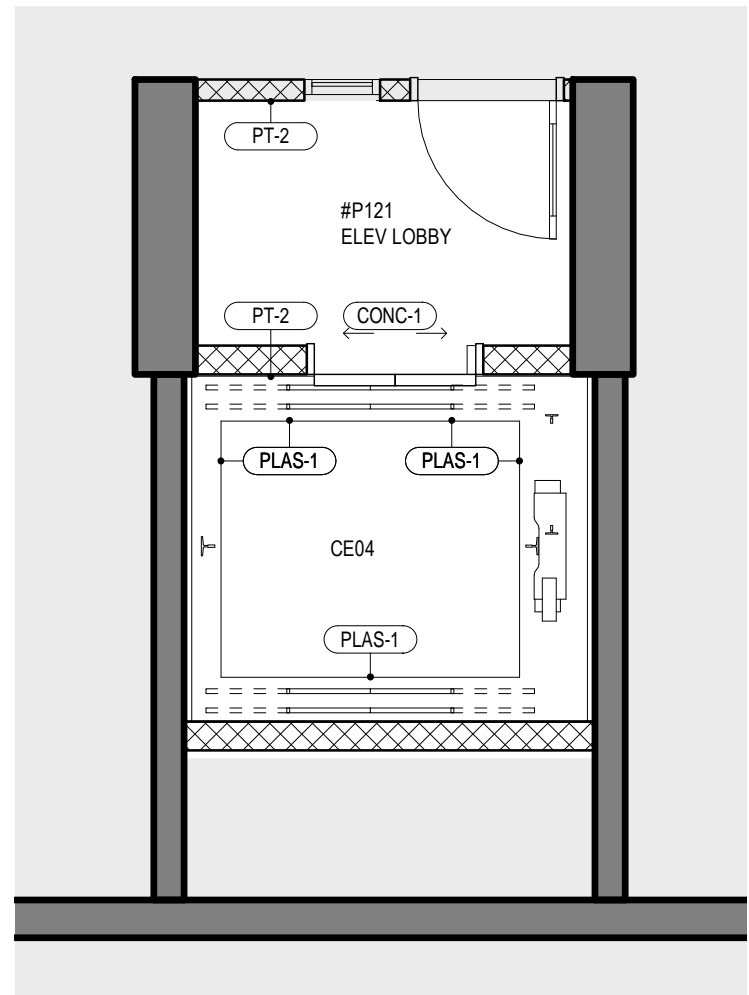
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GENERAL NOTES

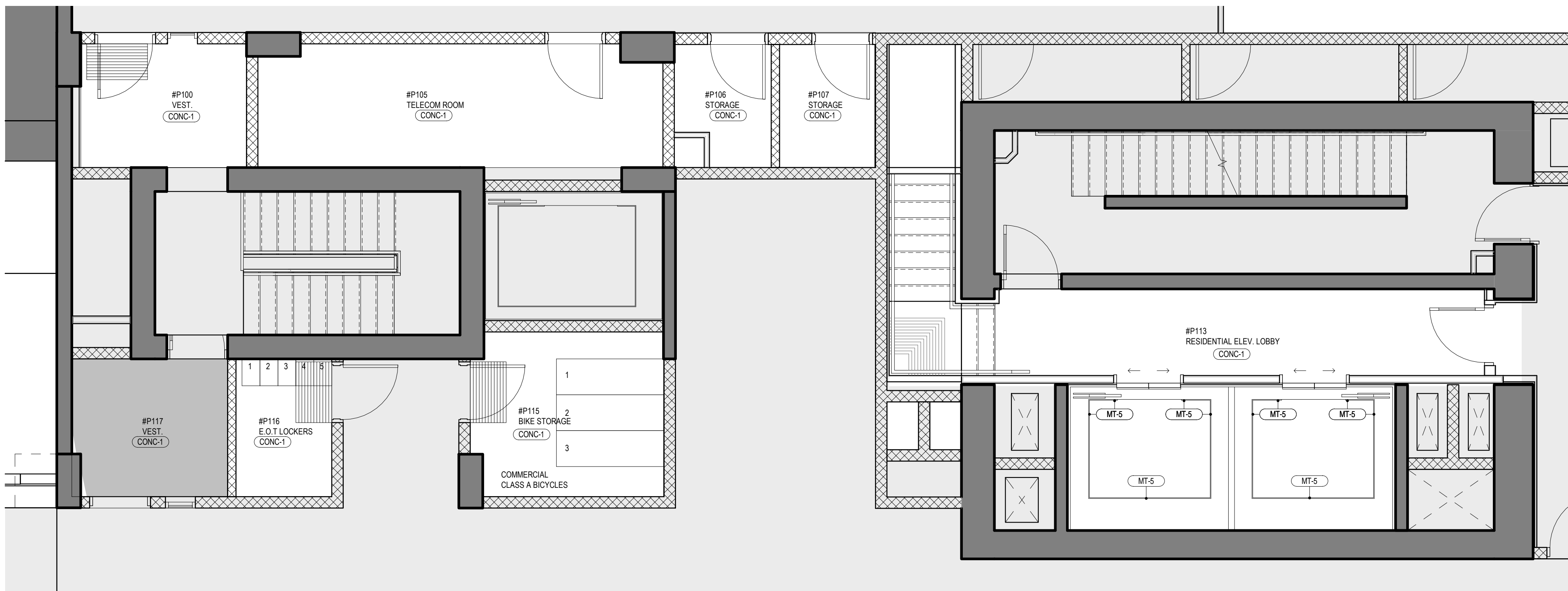
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- VOC LEVELS OF ALL ADHESIVES, SEALANTS, PAINTS AND COATINGS NOT TO EXCEED CITY OF VANCOUVER'S REZONING REQUIREMENTS.
- MILLWORK PRODUCTS MUST BE NAUF (NO ADDED UREA FORMALDEHYDE) NOT TROPICAL WOOD MUST BE USED OR FSC CERTIFIED TROPICAL WOOD.



3 FINISH PLAN - ELEV 031 LOBBY
1:50



1 Finish Plan - Level P1 - Common Areas
1:50

56 Full Building IFC - Rev.3 230009
43 Full Building IFC - Rev.2 230107
11 Interior Design IFC 230520

Issue

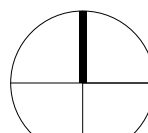
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**Westbank
Broadway +
Alma**
3709 W. Broadway, Vancouver, BC

Drawing Title

**Finish Plans and
Elevs - Level P2**

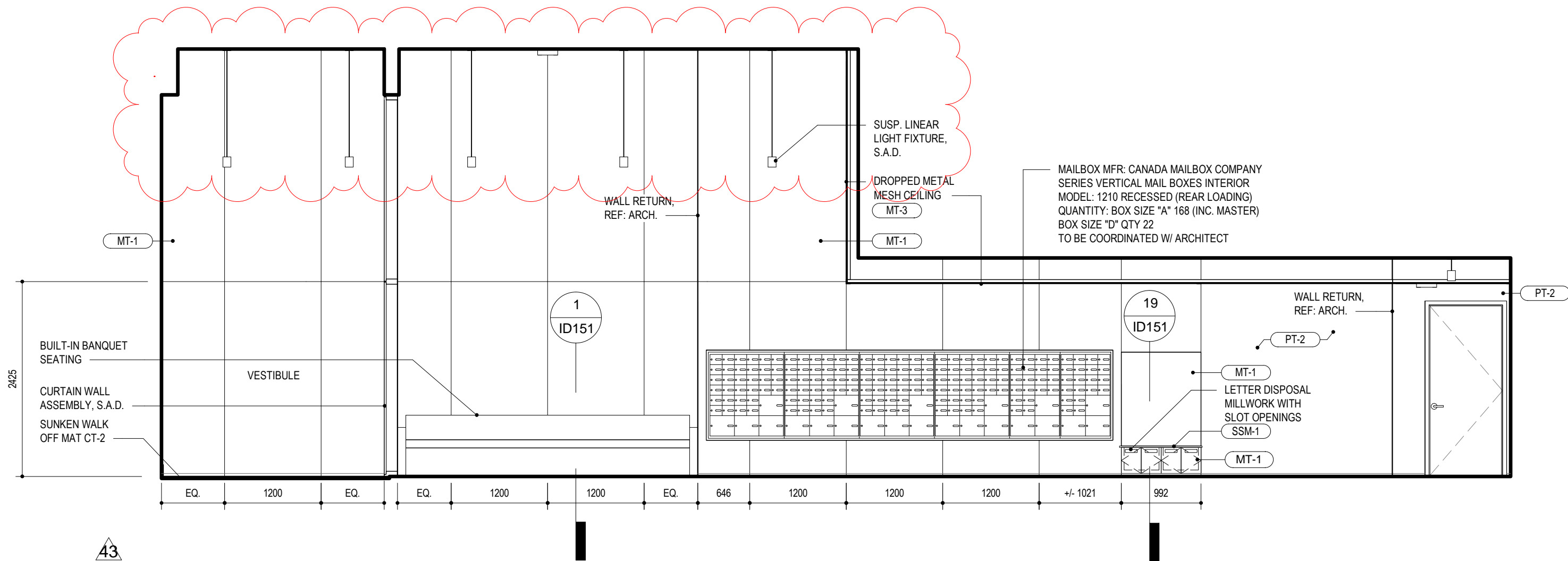


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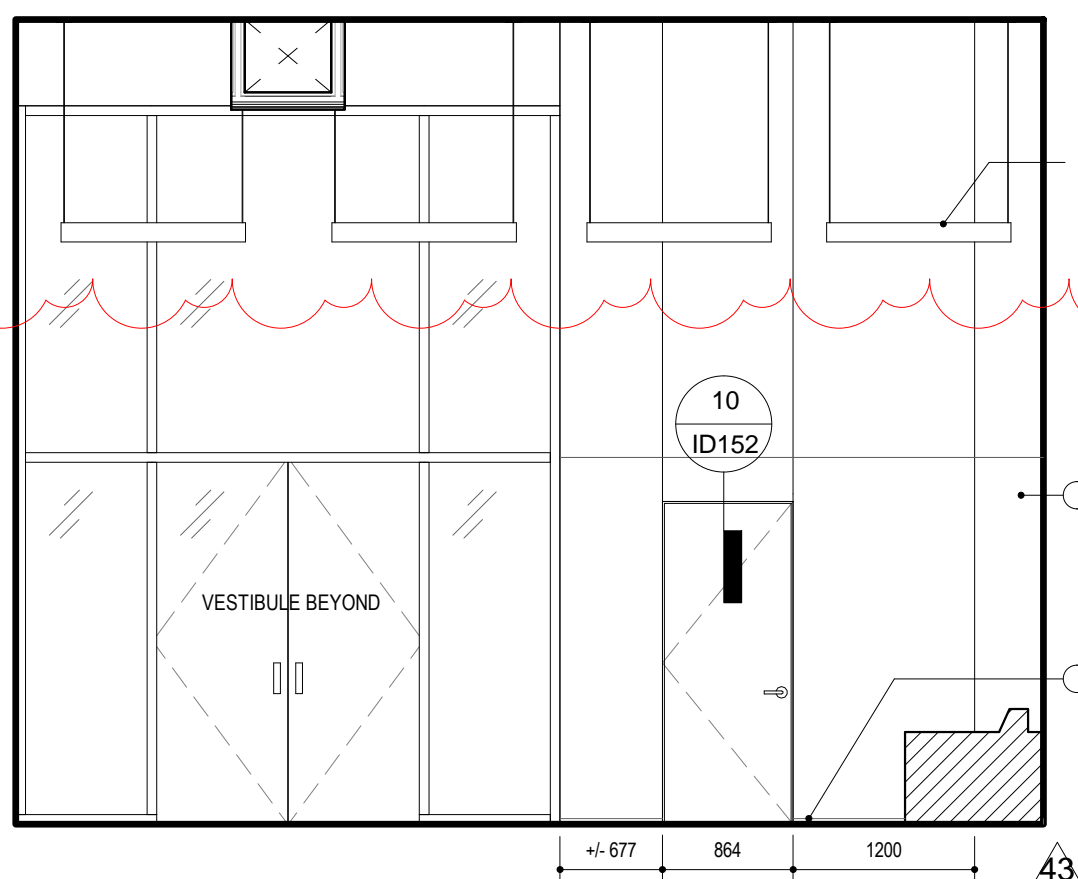
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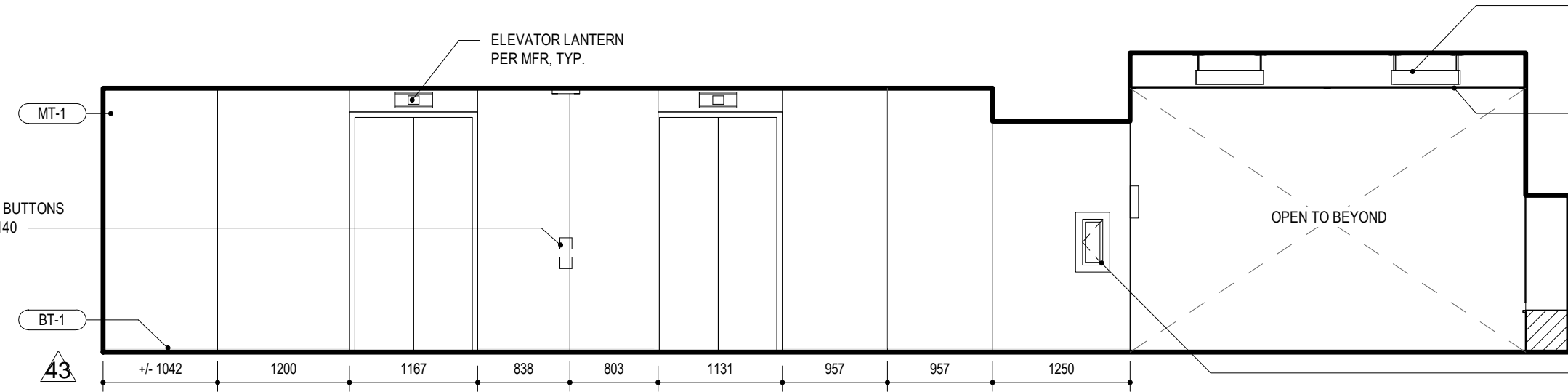
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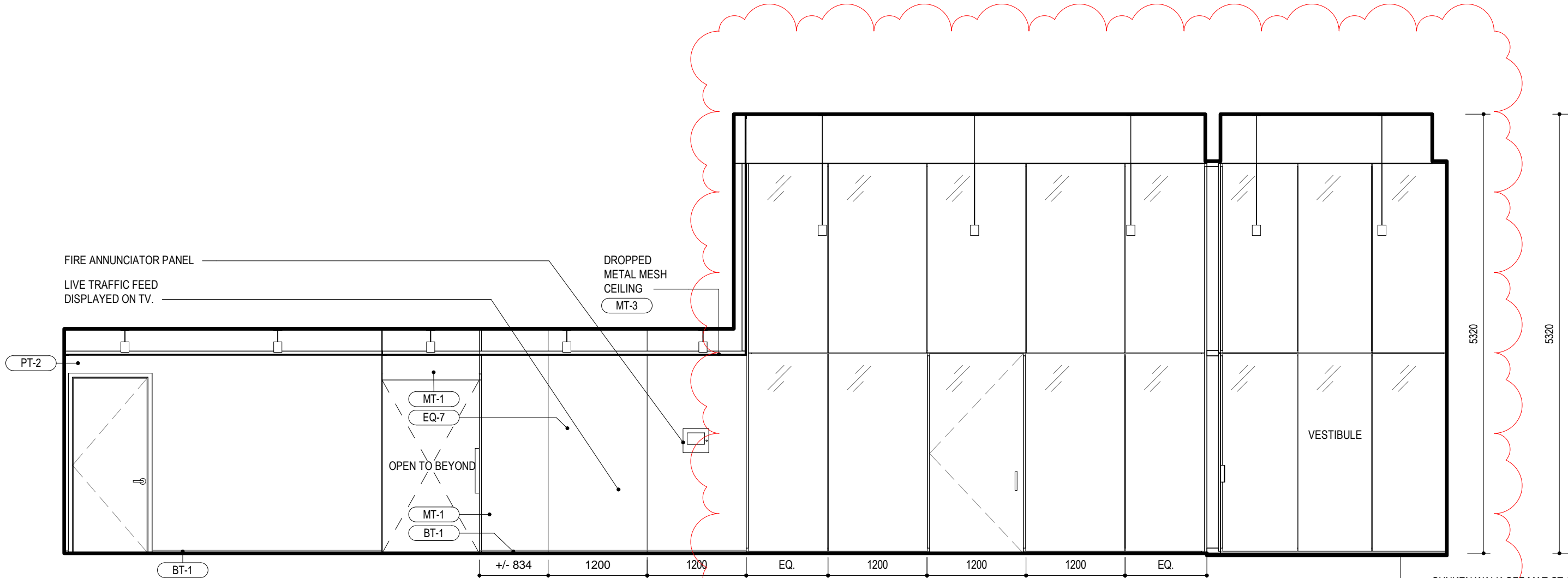
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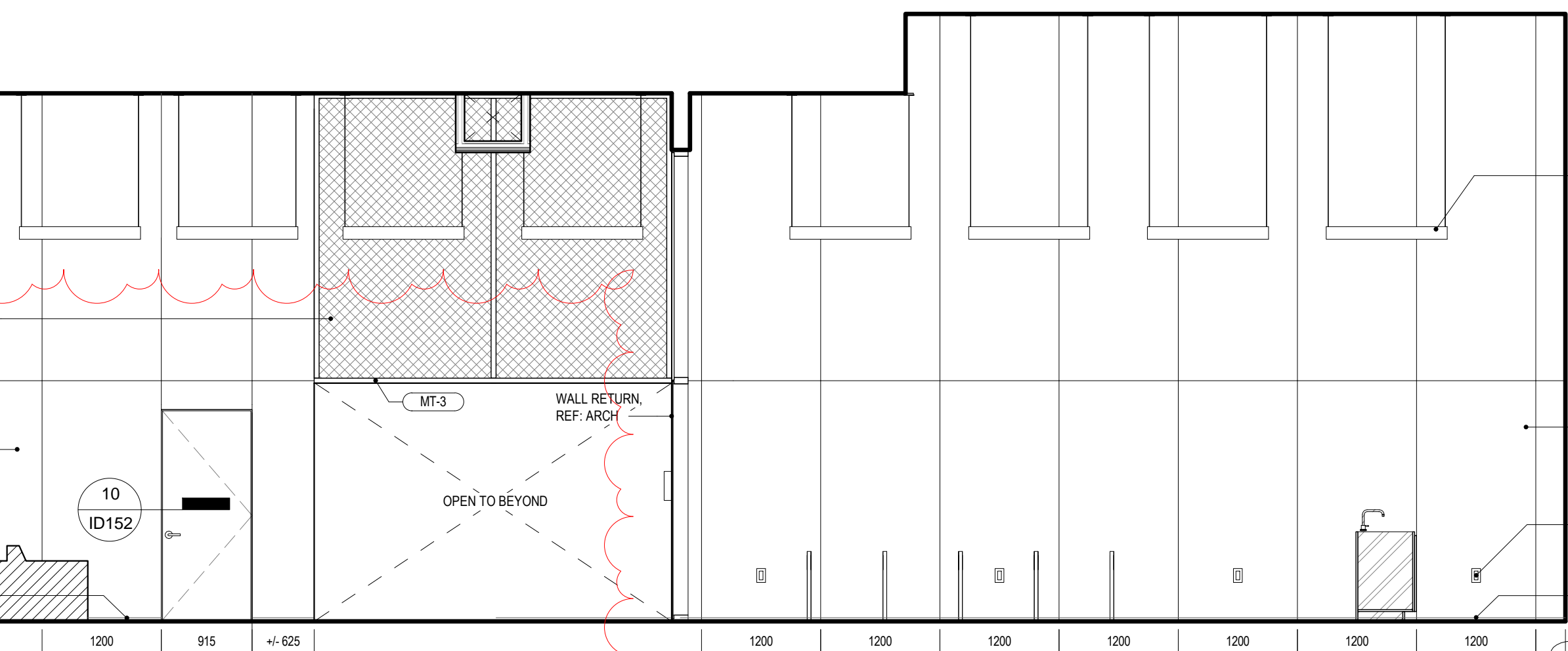
18 Interior Elevation - Level 01 - Residential Lobby - South
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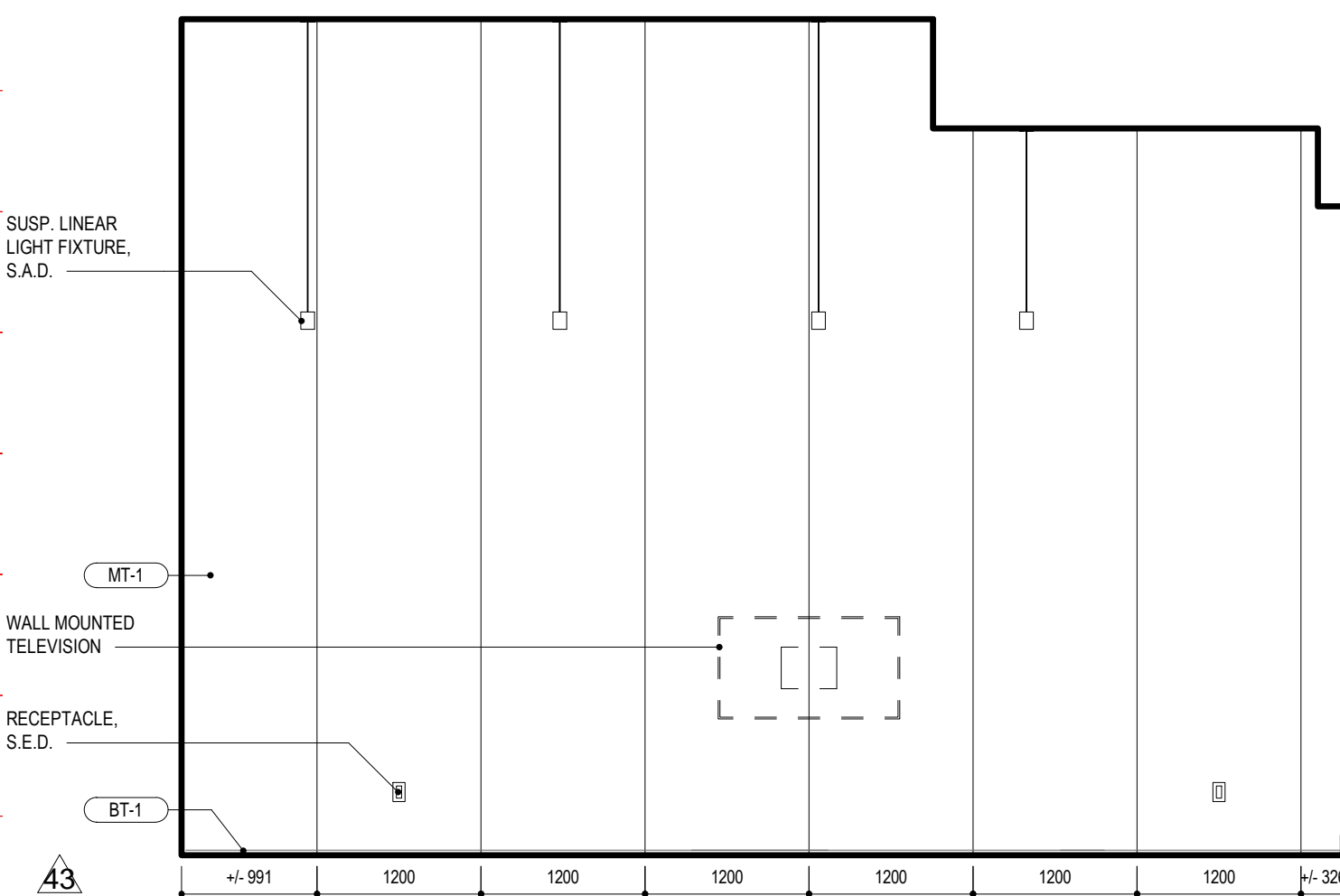
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1:50



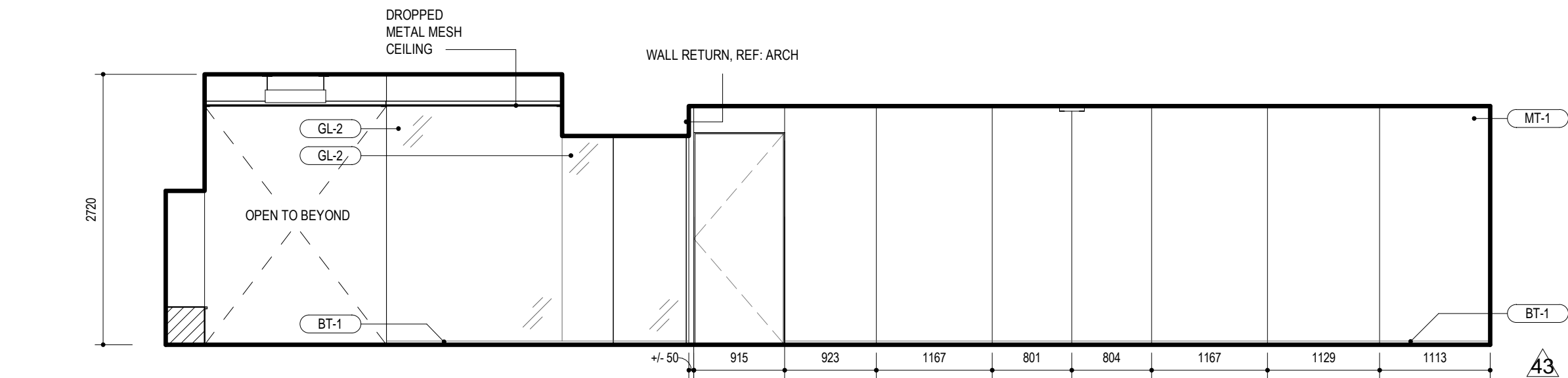
15 Interior Elevation - Level 01 - Residential Lobby - East
1:50



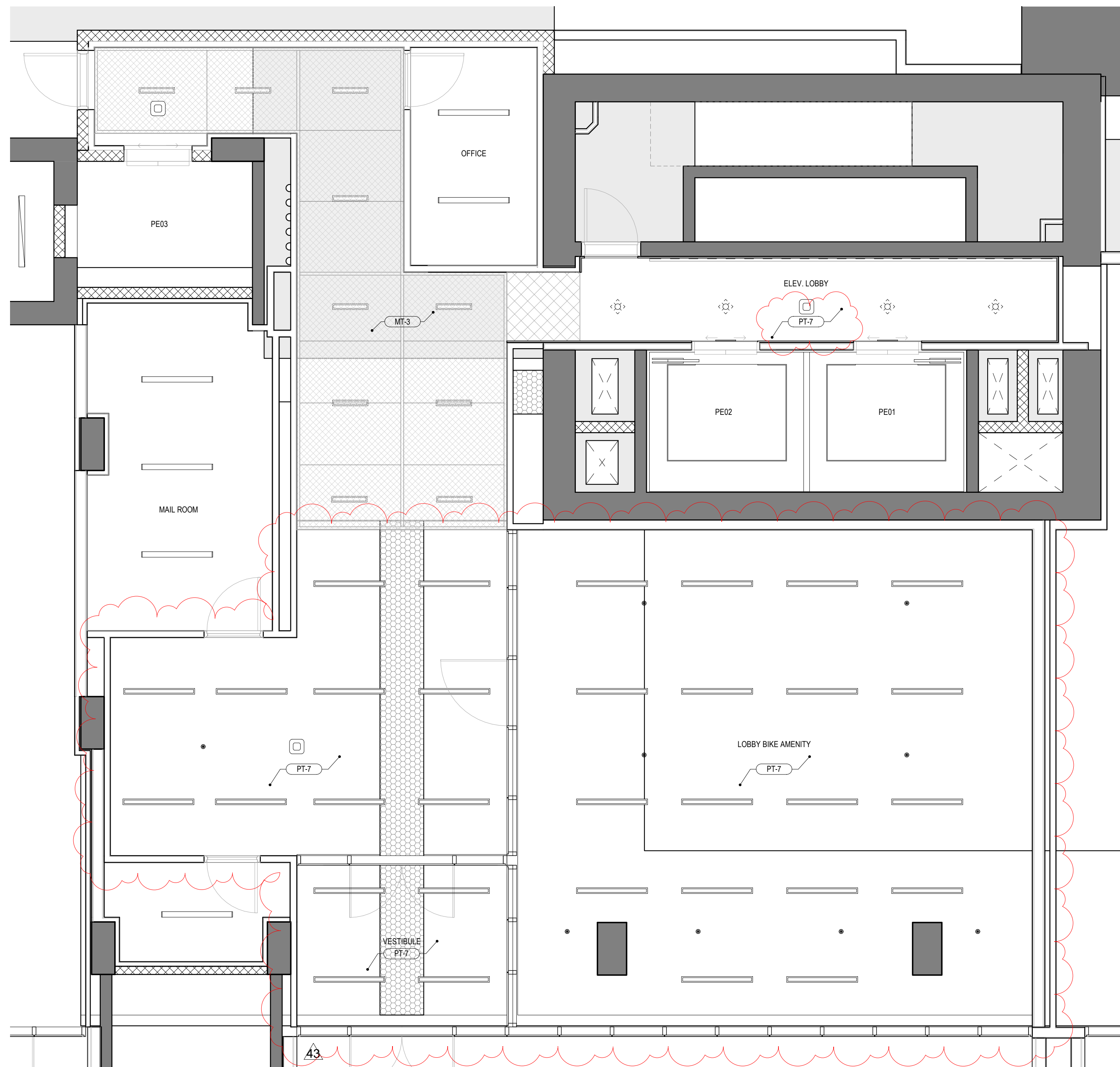
13 Interior Elevation - Level 01 - Residential Lobby - North
1:50



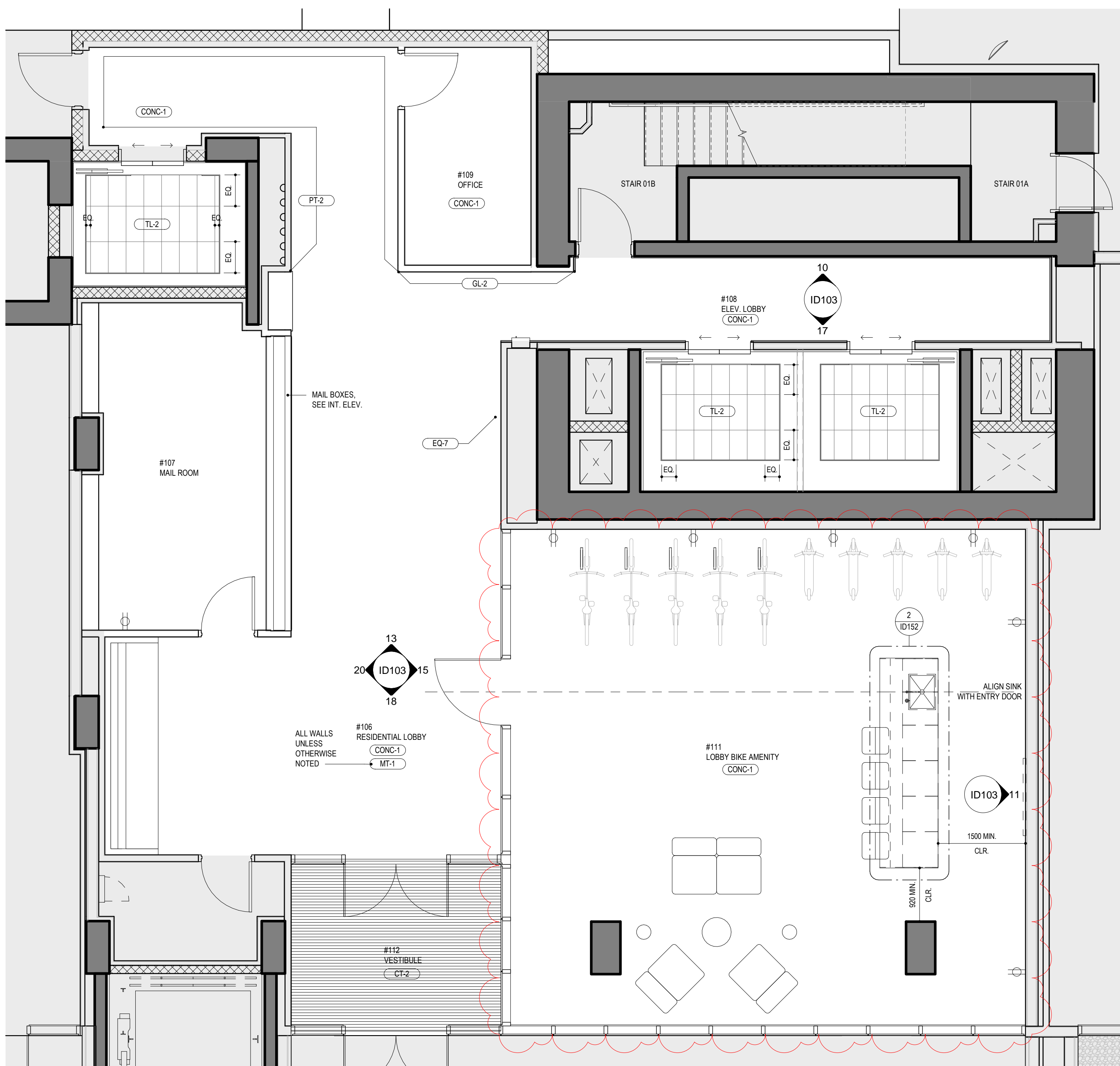
11 Interior Elevation - Level 01 - Elev. Lobby - East
1:50



10 Interior Elevation - Level 01 - Elev. Lobby - North
1:50



2 Finish Reflected Ceiling Plan - Level 1 - Amenities
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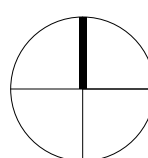
1 Finish Plan - Level 01 - Amenities
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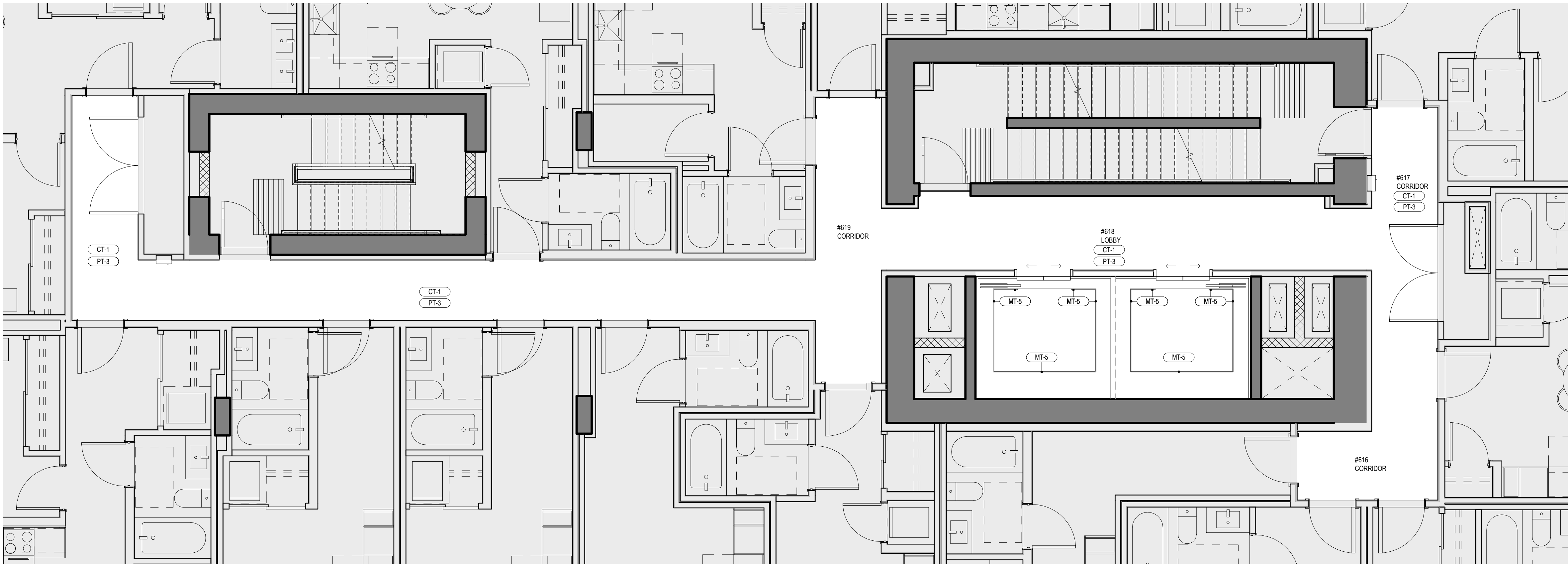
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REMOVE SUB-SURFACES RIDGES AND BUMPS ON FLOOR. FILL LOW SPOTS, JOINTS AND HOLES AND OTHER DEFECTS WITH MANUFACTURERS RECOMMENDED PRODUCT TO ENSURE SURFACES ARE FLAT TO WITHIN 1/8" IN 10'.
5.

WOOD: 1 COAT SEALER, 2 COATS SEMI-GLOSS LACQUER.
6.

ALL DOORS TO RECEIVE FLOOR MOUNTED DOOR STOPPERS UNLESS NOTED OTHERWISE. FINISH TO MATCH HARDWARE.
7.

ALL FLOOR TRANSITIONS BETWEEN CARPET AND FLOOR TILES TO INCLUDE SOLUTER SYSTEM. RENDU-HAR (SATIN ANODIZED ALUMINUM FINISH). SMOOTH TRANSITION BETWEEN FLOOR COVERINGS OF DIFFERENT HEIGHTS. ITEM NUMBER TO BE SELECTED ACCORDING TO SPECIFIED TILE THICKNESS.
8.

ALL TILES TO BE INSTALLED AS PER THE "TERRAZZO" TILE AND MARBLE ASSOCIATION OF CANADA SPECIFICATION GUIDE 98000 TILE INSTALLATION MANUAL, LATEST EDITION.
9.

TILE FLOORS TO INCLUDE CRACK ISOLATION (ANTI-FRACTURE) MEMBRANE USING ELASTOMERIC SHEETS.
10.

CONCRETE EXIT STAIR TO INCLUDE TACTILE WARNING STRIPS CONFORMING TO BCBC 2018 SECTION 3.8.3.11. 75mm BY THE FULL WIDTH OF THE STAIR THAT IS ONE TREAD WITH BACK FROM THE TOP RISSER AND NOT MORE THAN 2mm ABOVE OR BELOW THE SURROUNDING FLOOR SURFACE. TO BE SLIP RESISTANT, DURABLE, DETECTABLE BY WALKING UPON AS BEING DIFFERENT FROM THE SURROUNDING FLOORING AND IN A CONTRASTING COLOR TO THE SURROUNDING FLOORING. FOR STAIR CONSTRUCTION AND RISER DETAILS, REFER TO ARCHITECTURAL DRAWINGS. COLOR SPECIFICATION TO BE MFR. BENJAMIN MOORE, COLOR: BRIGHT YELLOW 2022-30.
11.

MOVEMENT JOINTS REQUIRED AS PER MTMAC GUIDELINES FOR FLOOR TILES.
12.

PROVIDE SOLID WOOD CORNERS FOR WOOD PANELS.
13.

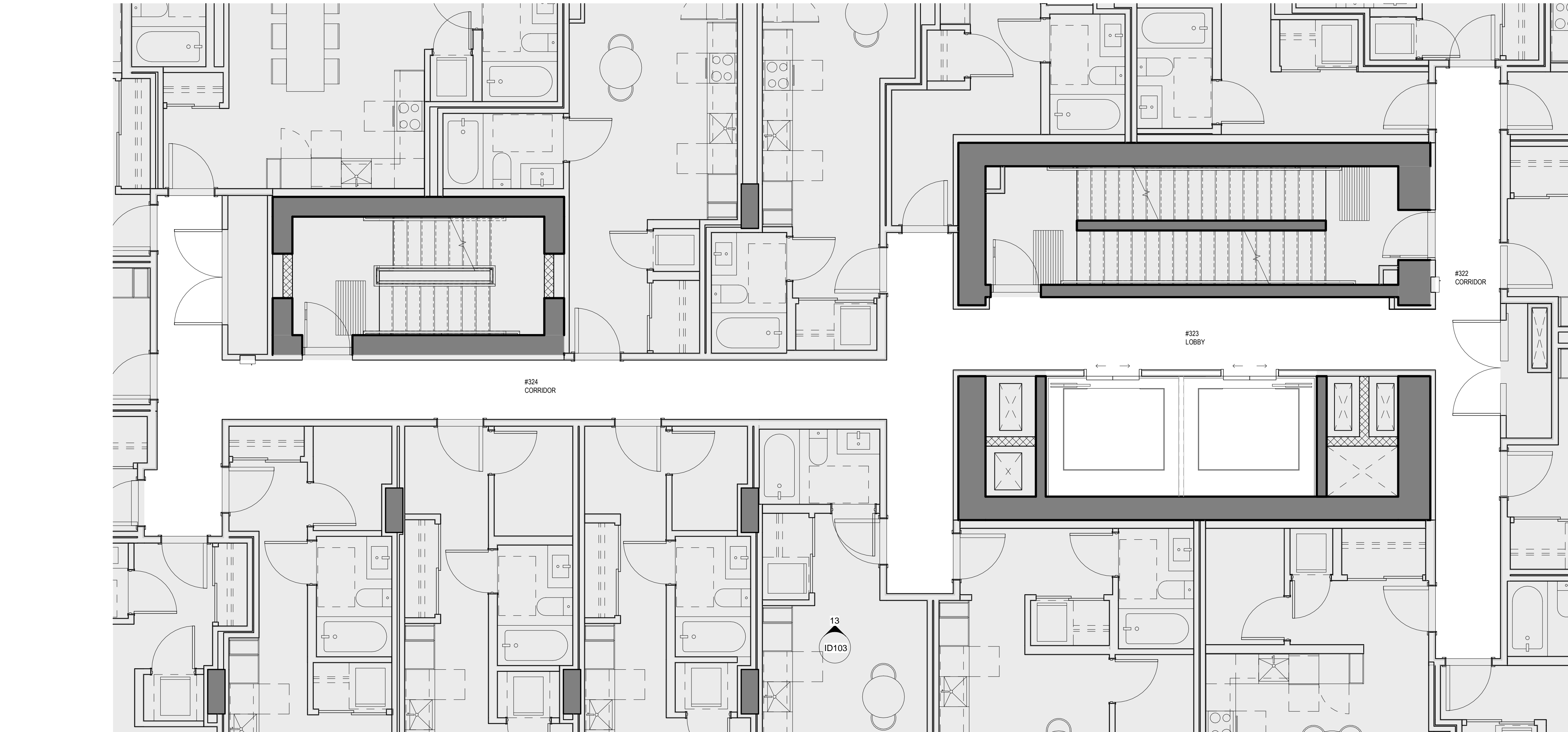
INSTALL SOLUTER EDGE TRIM TO ALL AREAS WHERE VINYL WALLCOVERING OCCURS (TYPICAL MODEL: EGGC 1000, PAIR: STAINLESS STEEL 10 3/4" SIZE 1" X 1/2").
14.

TYPICAL FLOORING TO BE SEALED CONCRETE UNLESS NOTED OTHERWISE.
15.

ALL CARPET TO BE INSTALLED WITH CARPET CUSHION. DOUBLE GLUE DOWN INSTALLATION TO CONCRETE SLAB, USING MANUFACTURERS RECOMMENDED ADHESIVE AND METHOD OF APPLICATION.
16.

VOC LEVELS OF ALL ADHESIVES, SEALANTS, PAINTS AND COATINGS NOT TO EXCEED CITY OF VANCOUVER'S REZONING REQUIREMENTS.
17.

MILLWORK PRODUCTS MUST BE NAUF (NO ADDED UREA FORMALDEHYDE) NOT TROPICAL WOOD MUST BE USED OR FSC CERTIFIED TROPICAL WOOD.



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Issue

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Client

**Westbank
Broadway +
Alma**
3709 W. Broadway, Vancouver, BC

Drawing Title

**Finish Plans -
Levels 3-8 - Typ.
Res. Corridors**



Drawn / Checked Project Code
AB WBA

Scale Plot Date
1:50 @ 36X48 2023-06-09
3:28:12 PM

Sheet Number

ID104

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