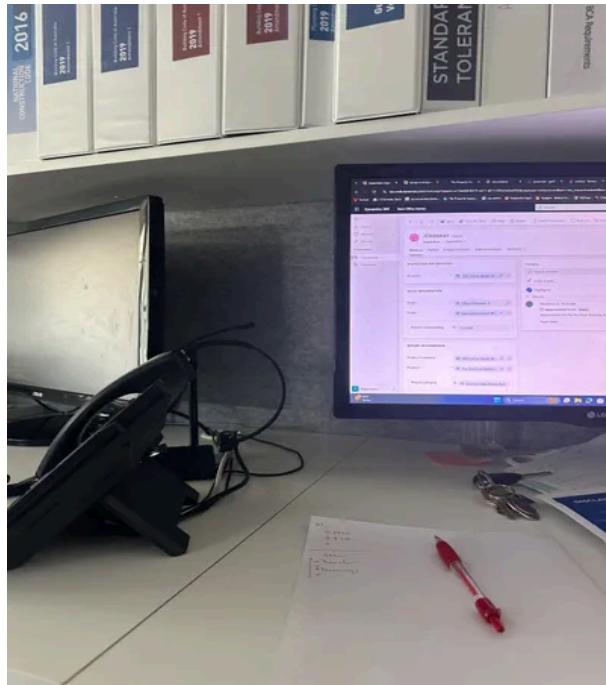


# Pre-Purchase Building & Pest Inspection Report

Complies with Australian Standard AS 4349.1-2007

Inspection of Buildings Part 1: Pre-Purchase  
Inspections Residential Buildings - Appendix C



## BUILDING & PEST REPORT

Commissioning Party's Name: Office Manager

**Property Address: 568 Collins Street, Melbourne VIC, Australia**

Date of Inspection: 08/11/2024

Inspector's Name : Emilio Calandra

0411880588 | 02 9181 5989 | admin@tpi.com.au

level 2, 118 Christie St, St Leonards NSW 2065

# **DISCLAIMER OF LIABILITY TO ANY THIRD PARTIES:**

## **IMPORTANT**

The information on this page is important and must be read before looking at the accompanying report.

You should not rely on this report if you wish to purchase the property.

This Report has been prepared for the Client, as listed on the cover page of this report, and for the exclusive use of the Client only.

Accordingly, you should not rely upon this document if you intend to purchase the property to which it relates.

In receiving or viewing this report you are acknowledging that you will not rely upon it if you intend to purchase the property.

If you require information contained in this report, you should seek out and commission the completion of your own report.

In that regard, The Property Inspectors can supply a report that you can rely upon.

Please see our website: [www.thepropertyinspectors.com.au](http://www.thepropertyinspectors.com.au) if you wish to purchase such a report.

Alternatively, you can arrange for another contractor to provide you with a report.

The Property Inspectors will not accept any responsibility and shall not be liable for any loss or damage, including in negligence, arising out of or in connection with any use or reliance on the statements, comments, photographs or any other

information in this report.

This report does not take into account your individual needs, objectives or intentions in regard to the property.

Consideration of your individual needs and concerns can affect the recommendations and conclusions of the author of the report.

Even if you are in possession of this report or have knowledge of its contents or are aware of the author, as you have not purchased it you have no entitlement to discuss the report or your individual needs or concerns with the author.

You, as reader, must accept sole responsibility for what you do in relation to any material

If you do not agree, do not read this report. You can purchase a report that you can rely upon via our website or by contacting The Property Inspectors.

This report can be relied upon if a sales transaction is made and/or a person's name is added to the report

# Table of Contents

	Section
Summary Of The Building Only	1
Summary Of Pest Only	2
Purpose And Scope Of Inspection	3
General Photos	4
Commissioning Party	5
Description of Building	6
General Observations Of The Property On The Day Of The Inspection	7
Interior of Building	8
Exterior of Building	9
Roof Exterior and Roof Void	10
Subfloor	11
The Site	12
Areas Inspected On The Day Of The Inspection	13
Restrictions Within The Property	14
Overall Defect Rating Of The Entire Building	15
Building - Recommendation and Conclusion	16
Plumbing	17
Electrical	18

**Section**

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Swimming Pool	19
Granny Flat / Second Dwelling / Multiple Dwellings	20
Studio	21
Boat Shed	22
Slipway – Jetty – Waterways Assets	23
Tennis Court	24
Asbestos / Visual Assessment of Possible Asbestos Products	25
Pest	26
Additional Inspections / Amendments to Initial Inspection	27

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# BUILDING

## SUMMARY OF THE BUILDING ONLY

**YOU MUST READ THE ENTIRE REPORT TO UNDERSTAND THE CONDITION OF THIS PROPERTY PRIOR TO PURCHASING THE HOME**

A summary of the results of the building inspection is highlighted below:

Were MINOR DEFECTS, MAJOR DEFECTS or SAFETY HAZARDS found in this property?

Defect Ratings	Found	Not Found
Were Minor Defect Found?	✓	
Were Major Defect Found?	✓	
Were Safety Hazard Found?	✓	

## SUMMARY

The purpose of the inspection is to identify the major defects and safety hazards associate with the property at the time of inspection. The inspection and report is limited to a visual assessment of the building members only in accordance with Appendix C AS4349. 1-2007.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

**The incidences of MAJOR DEFECTS in this property compared to similar buildings is considered to be:**

No major defects found- *All properties have an element of risk, within my inspection I could not see any major defects that you need to consider prior to making a decision to purchase this home*

**The incidence of MINOR DEFECTS in this property as compared with similar buildings is considered:**

Minimal quantity of minor defects found within this property on the day of my inspection.- *Small quantity of minor defects when compared to a property of similar age*

The **Overall Condition** of this property in the context of its age, type and general expectations of similar properties is:

## OVERALL CONDITION COMMENTS:

Please Note: This is a general appraisal only and cannot be relied upon on its own - read the report in its entirety.

### Building - Recommendation and Conclusion

This property is well built and maintained to a high standard for the age of the property- .This property is beautifully presented and maintained, a true reflection of the love and commitment from this owner or previous owners- .This property needs minor repairs carried out to it once you have moved into the property- .The property has a number of areas that need to be repaired once you move in or prior to your initial move in date- .This property needs significant repairs carried out to it prior to you moving in- .I saw no water entry within the Core Fabric of the building ( Internal Walls, Floors & Ceilings)- .I saw no water leaks within the wet rooms ( Kitchen, Bathroom & Laundry )- .There is minor moisture issues within this property, which is typical for the age and type of construction of this property- .I saw moisture in the internal elevations which should be assessed and comment on prior to buying this home- .The property has NO MAJOR Structural Cracks at the time of this inspection- .There are a number of small to medium cracks within this property that should be addressed within next few months- .There are a number of medium to large cracks within this property that should be considered / repaired once you move into the property- .There are considerable cracks within the structure that needs an engineer to assess and comment on prior to you purchasing this property- .There are No Major compliance issues within this property that need to be addressed- .There are minor compliance issues that need to be addressed within the property for the safety of the occupants- .There are a number of minor to mid tier compliance issues that should be addressed for the safety of the occupants or their visitors- .The external handrails and balustrade are not compliant with current regulations, for the best interest of the occupants and visitors this area of the house should be made compliant with current regulations to limit liability- .The Internal handrails and balustrading need to be modified to meet current regulations- .This property also needs the living areas windows, made compliant with current regulations as the sill height is less than 865mm and the windows can open greater than 125mm- .The property should have the bedroom windows made compliant with current fall protection regulations- .There are excessive amounts of compliance / safety issues within this property that should be considered prior to purchasing the home- .The staircase / step treads should have slip-resistant measures applied to the timber treads for safe passage within this property- .No major defects found within the electrical trade within this property- .I saw no (RCD) "Residual Current Device" SAFETY SWITCH installed within the electrical meter box covering ALL CIRCUITS within the electrical meter box, it is best to have this installed covering all power and light circuits- .There is a powerpoint within 500mm of the water supply / spout that needs to be moved / modified or capped off to make it compliant with current regulations- .There were open ended electrical cables which need to be terminated for safe passage through the property- .There were non-concealed electrical cables that could be subject to failures / safety hazard for the occupants within this property- .All electrical cables, light fixtures & fittings appeared to be in good order- .An electrician should be engaged to inspect, assess, report on and make good the electrical trade within this property as there are more than normal electrical issues within this property- .No

major issues were seen within this property within the plumbing trade- .Repairs to the roof plumbing required, as leaks were seen within the gutters and downpipes- .The roof plumbing and roof tiles are in need of repair as there is the potential of water ingress within the rooftop elevation- .The roof plumbing and roof sheeting are in need of repair as there is the potential of water ingress within the rooftop elevation- .A plumber should be engage, assess, repair and make good all plumbing within this property as leaks were seen within the wet rooms- .Excess moisture was found within this property within the subfloor area, a plumber should be engaged to advise on a scope to have the surface directed away from the home to maintain a dry subfloor area- .I saw no current pest inspection sticker within the electrical meter box or within the kitchen cupboard doors, it is best to have this house inspected and sprayed / treated every 6-9 months- .This property has wet and dry rot in a number of timber members- .This property has no wet and dry rot within the timber member- .I did not access the entire sub floor area, a pest inspection and treatment and timber framing inspection and report is recommended when access is available- .I could not access the roof void in full today I recommend a pest contractor and or a carpenter inspect the timber framing- .I saw no past or present pest activity within this property- .I saw minor pest activity within this property- .I saw major pest infestations within this property that must be addressed prior to you purchasing this property- .I saw no wet nor dry rot within this property- .I saw a number of timber members affected by wet and dry rot which should be repaired or replaced soon- .I saw excessive wet and dry rot timber members that need to be replaced ASAP- .This home represents as a good and sound property to buy with little risk for a new purchaser on condition that they have read this report in FULL, and that they understand the small areas of improvement that are required within this property- .I see little risk in purchasing this home it in current conditions subject to the buyer having read this entire report and they understand the areas of improvement and noted within each component of the property that are required to be made good or upgraded- .This property needs minor renovations / works carried out to a number of areas to bring it back to its original condition- .This home needs considerable work carried out to have it back to an acceptable standard- .This property has many defects, major and minor, this property is suited for a seasoned renovator or building contractor- .This property is in VERY GOOD CONDITION for its age- .This property is in GOOD condition for its age- .This property is in FAIR & REASONABLE condition for its age- .This property needs MINOR renovations / works carried out to a number of areas to bring it back to its original condition- .This property has SIGNIFICANT REPAIRS required- .This property needs CONSIDERABLE works carried out to it- .This property has MANY defects and it needs to be renovated- .This property is in a POOR state of repair ( urgent works is required throughout the property )- .**SPECIAL NOTE:-**

This summary is supplied to allow a quick and superficial overview of the inspection results. This summary is not the report and cannot be relied upon on its own. This summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in this report and anything in this summary, the information in the report shall override that on this summary.

## SUMMARY OF PEST ONLY

### **WERE ACTIVE SUBTERRANEAN TERMITES (LIVE SPECIMENS) FOUND ?**

Yes, Read the Report in Full

No, Read the Report in Full

### **WAS VISIBLE EVIDENCE OF SUBTERRANEAN TERMITE WORKINGS OR DAMAGE FOUND ?**

Yes, Read the Report in Full

No, Read the Report in Full

### **WAS VISIBLE EVIDENCE OF BORERS OF SEASONED TIMBER FOUND ?**

Yes, read the report in full

No, read the report in full

### **WAS EVIDENCE OF DAMAGE CAUSED BY WOOD DECAY (ROT) FUNGI FOUND ?**

Yes, read the report in full

No, read the report in full

### **ARE FURTHER INSPECTIONS RECOMMENDED ?**

Yes, read the report in full

No, read the report in full

### **WERE ANY MAJOR ISSUES IDENTIFIED WITHIN THE PEST REPORT (STRUCTURAL ISSUES OR POSSIBLE PEST INFESTATION ISSUES) THAT SHOULD BE CONSIDERED BEFORE YOU BUY THIS PROPERTY ?**

Yes, Minor issues - Read the Report in Full

Yes, Typical issues found in period homes such as this property - Read the Report in Full

Yes, Mid range issues / typical for a house of this age - Read the Report in Full

Yes, Major issues that should be considered before buying this home - Read the Report in Full

No, Every property has a risk for pest infestation, but this property is in a good state of repair - Read the Report in Full

### **AT THE TIME OF THE INSPECTION, THE DEGREE OF RISK OF SUBTERRANEAN TERMITE INFESTATION WAS CONSIDERED TO BE**

Extremely High

High to Extremely High

High

Medium

Low

Incomplete Works - Area Under Construction and Excluded from this report

#### GENERAL COMMENTS

## Purpose And Scope Of Inspection

This report complies with Australian Standard AS4349.1-2007 Inspection of Buildings, Part 1: Pre-Purchase Inspections-Residential Buildings.

### INSPECTION AGREEMENT - INDIVIDUAL TITLE PROPERTY

Requirement for Inspection agreement AS 4349.1-2007 requires that an inspection agreement be entered into between the inspector & the client prior to the conduct of the inspection.

This agreement sets out specific limitations on the scope of the inspection and on limits that apply in carrying it out.

Where specific State or Territory requirements apply in addition to the scope of work in this agreement, or where the inspector and client agree to additional matters being covered, that additional scope is listed at the end of this agreement.

It is assumed that the existing use of the building will continue.

### PURPOSE OF INSPECTION

The purpose of the inspection is to provide advice to a prospective purchaser or other interested party regarding the condition of the property on the date and at the time of the inspection.

The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix B or C AS4349.1-2007 (Appendix B for Strata or Company Title and Appendix C for other residential buildings).

### IMPORTANT INFORMATION AND DISCLAIMER

Any person who relies upon the contents of this report does so acknowledging that the following clauses both below and at the end of this report.

These define the Scope and Limitations of the inspection and form an integral part of the report.

Before you decide to purchase this property, you should read and understand all of the information contained herein.

It will help explain what is involved in a Pre-Purchase Building Inspection Report, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects, latent or otherwise.

This information forms an integral part of the report.

If there is anything contained within this report that is not clear or you have difficulty understanding, please contact the inspector prior to acting on this report.

The extent and thoroughness of this inspection has been limited by our reading of what was reasonable by way of time, intrusion, and risk of doing physical damage to the property being inspected.

We have not inspected woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the structure is free from defect. Identification of hazardous materials or situations that may be in the building or on or near the property is outside the scope of this inspection.

This report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law, and is not a warranty against problems developing with the building in the future.

This report does not include the identification of unauthorized building work or of work not compliant with building regulations. With respect to minor defects, the inspection is limited to reporting on their overall extent.

It is not intended to detail each individual minor defect or imperfection.

This service is provided on an independent professional basis.

It seeks to present a factual, unbiased, and balanced assessment.

We have no financial interest in any work that may be recommended or in any share of commission if the property is sold.

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## SCOPE OF INSPECTION

The inspection comprised a visual assessment of the property to identify major defects and safety hazards, and to form an opinion regarding the general condition of the property at the time of inspection.

An estimate of the cost of rectification of defects is outside the scope of the Standard and therefore does not form part of this report.

AS 4349.1 - 2007 requires that the basis for comparison is a building of similar age and similar type to the subject building and which is in reasonable condition, having been adequately maintained over the life of the building.

This means that building being inspected may not comply with Australian Standards, building regulations or specific state or territory requirements applicable at the time of the inspection.

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## WHAT IS REPORTED ON:

- The inspection includes subjective appraisal by an inspector competent to assess the condition of residential buildings. It involves a subjective assessment so different inspectors or even the same inspector on a different occasion may reach different conclusions.

- The inspection comprises a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection.
- The following areas shall be inspected where applicable:
- The interior of the building: ceilings; walls; floors; windows; doors & frames; kitchen; bathroom; WC; ensuite; laundry; stairs & damp problems.
- The exterior of the building: walls (including lintels, claddings, doors & windows); timber or steel frames & structures; chimneys; stairs; balconies, verandas, patios, decks, suspended concrete floors, balustrades.
- The roof exterior: roof (including tiles, shingles & slates, roof sheeting, gables, flashings); skylights, vents, flues; valleys; guttering; downpipes; eaves, fascias and bargeboards.
- The roof space: roof covering; roof framing; sarking; party walls; insulation
- The sub-floor space: timber floor (including supports, floor, ventilation, drainage, damp); suspended concrete floors.
- The property within 5m of the house and within the boundaries of the site: car accommodation, detached laundry, ablution facilities and garden sheds; retaining walls (where supporting other structures and landscaping retaining walls > 700mm high); paths & driveways; steps; fencing (excluding swimming pool fences) ; surface water (drainage effectiveness)

#### WHAT IS NOT REPORTED ON:

- General exclusions detailed in the standard AS 4349.1-2007.
- Parts of a building that are under construction.
- The inspection is not intended to include rigorous assessment of all building elements in a property.
- Defects that would only be apparent under weather conditions or when using fittings & fixtures.
- Defects not apparent due to occupancy or occupancy behavior e.g., nonuse of a leaking shower.
- The inspection report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law, or by-law and is not a warranty against problems developing with the building in the future.
- Unauthorized building work or of work not compliant with building regulations.
- Title and ownership matters, matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters.
- Estimation of the cost of rectification of specific defects.
- Specifics excluded by the standard AS 4349.1 - 2007 Footings below ground,
- Concealed damp-proof course,
- Electrical installations,
- Operation of smoke detectors,
- Light switches and fittings,
- TV,
- Sound and communication and security systems,
- Concealed plumbing,
- Adequacy of roof drainage as installed,
- Gas fittings and fixtures,
- Air conditioning,

- Automatic garage door mechanisms,
- Swimming pools and associated filtration and similar equipment,
- The operation of fireplaces and solid fuel heaters, including chimneys and flues,
- Alarm systems,
- Intercom systems,
- Soft floor coverings,
- Electrical appliances including dishwashers,
- Incinerators,
- Ovens,
- Ducted vacuum systems,
- Paint coatings except external protective coatings,
- Health hazards (e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea formaldehyde)
- Timber and metal framing sizes and adequacy,
- Concealed tie downs and bracing,
- Timber pest activity,
- Other mechanical or electrical equipment (such as gates, inclinators),
- Soil conditions,
- Control joints,
- Sustainable development provisions,
- Concealed framing-timbers or any areas concealed by wall linings or sidings,
- Landscaping,
- Rubbish,
- Floor cover,
- Furniture and accessories,
- Stored items,
- Insulation,
- Environmental matters e.g. BASIX,
- Water tanks,
- BCA environmental provisions,
- Energy efficiency,
- Lighting efficiency.

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## SPECIAL REQUIREMENTS

It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the above mentioned Australian Standard. If we do comment on an area outside of the above scope, you cannot rely upon the information within the report as it is not deemed as included within our report regardless of if payment has been made towards those areas of property.

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## LIMITATIONS

This report is limited to a visual inspection of areas where safe and reasonable access is available, and access permitted on the date and at the time of inspection.

The Inspection will be carried out in accordance with AS4349.1-2007.

The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the date and time of inspection.

Areas for Inspection shall cover all safe and accessible areas.

It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorized appliances.

It is strongly recommended that an appropriately qualified contractor check these services prior to purchase.

As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor & a structural engineer carry out an assessment of the structural integrity of the property prior to purchasing this property as our comments are general only and you cannot rely upon our report for electrical, plumbing and engineering matters.

This report is limited to (unless otherwise noted) the main structure on the site and no other building, structure or outbuilding within 5m of the main structure and within the site boundaries including fences.

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## SAFE AND REASONABLE ACCESS

Only areas to which safe and reasonable access is available were inspected. The Australian Standard 4349.1 defines reasonable access as "areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers."

Reasonable access does not include the use of destructive or invasive inspection methods, nor does it include cutting or making access traps or moving any furniture, floor coverings or stored goods.

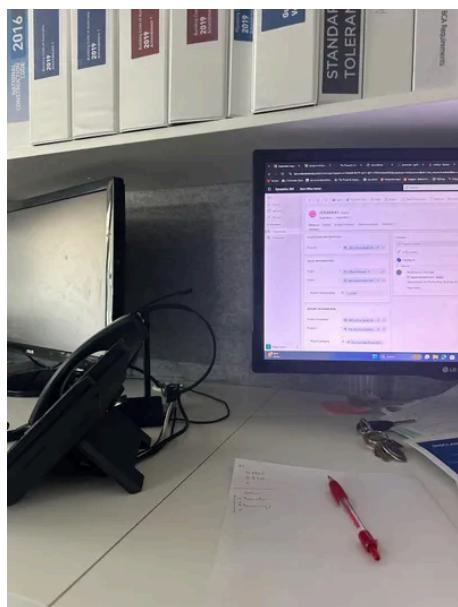
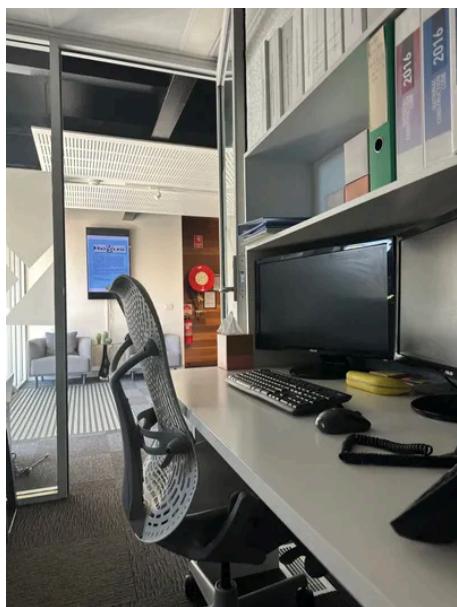
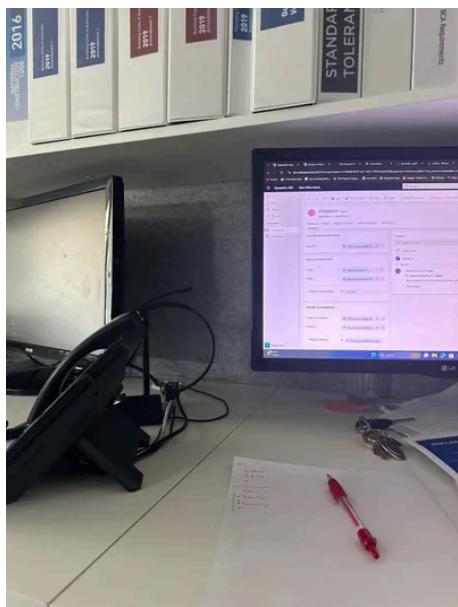
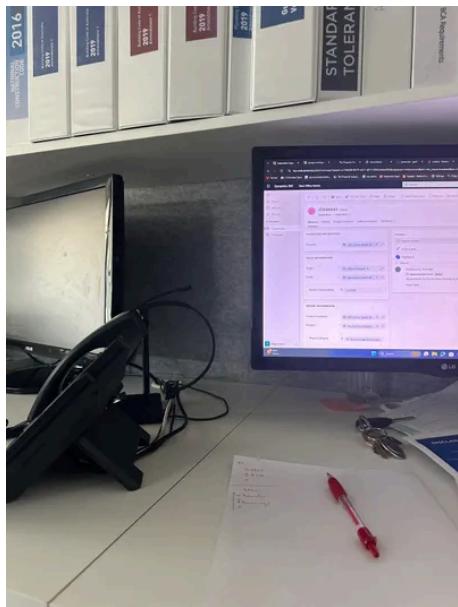
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## DIMENSIONS FOR REASONABLE ACCESS

**Roof Interior** - Access opening = 400 x 500 mm - Crawl Space = 600 x 600mm - Height accessible from a 3.6m ladder. The safe use of a 3.6m ladder requires the ladder to contact the building no greater than 2.7m from the FFL.

**Roof Exterior** - Must be accessible from a 3.6m ladder placed on the ground. The safe use of a 3.6m ladder requires the ladder to contact the building no greater than 2.7m from the FFL.

## General Photos



## Who commissioned this report?

**Vendor - TPI Client** This Report has been prepared upon engagement by the vendor/selling party specifically for the purpose of outlining the condition of the property. The vendor has elected to adopt a report-sharing cost model, permitting prospective purchasers to obtain this Report at a reduced fee. This arrangement is intended to facilitate access to a comprehensive assessment of the property's condition, under terms outlined below.

**Reliance on Report and Transfer of Ownership** Any party downloading or otherwise receiving a copy of this Report is advised that reliance upon its contents is permissible only if they have lawfully purchased the Report before entering into any contract for the purchase of the property. This purchase is confirmed upon finalizing payment, which must include all initial and outstanding balances in accordance with specified payment terms. Possession of a copy of this Report does not confer ownership rights, nor does it entitle any holder to rely upon its contents unless payment in full has been received.

## Description of Building

### The Key Aspects Of The Building That Was Inspected

#### SUB\_Q: TYPE OF BUILDING

**Residential House**

**Commercial Building**

**Industrial Building**

**Retail Building**

**Unit Complex**

**Mixed Business & Residential Usage**

**Other (Type of Building)**

- RdtufutjgvjhvvuutftgiuhhounilnmpokplkpmnuyHi

#### SUB\_Q: TYPE OF STRUCTURE

**House**

**House + Granny Flat**

**Duplex/Townhouse**

**Semi**

**Semi (Detached One side)**

**Terrace**

**Terrace (Attached walls on both common party walls)**

**Terrace (Attached wall on one common party walls)**

**Villa**

**Villas (Multiple Dwellings)**

**Unit (Single)**

**Units (Multiple Dwellings)**

**Unit Complex (Entire Unit Complex/Body Corporate Assets)**

## **Commercial Building**

## **Industrial Building**

## **Mixed Development of Residential & Commercial**

## **Other (Type of Structure)**

- *Yfyt futffkh hcjfv; kgiugk; gtiy strutesua era po8yo'gk; hg; kvljgyirdhkchckh*

SUB\_Q: APPROXIMATE AGE OF ORIGINAL BUILDING - GUESSTIMATION

**New Building** Home Owners Warranty should be supplied / available for this property because it is newly built. Department Of Fair Trading guidelines make Builders, Owner Builders or Developers provide the consumer/the owner of the property a warranty for the period of two years for non structural elements and six years against all structural defects from the date of the Practical Completion of the project. We recommend you request a certificate of currency of the Home Owners warranty policy to be supplied by the Builder/Developer/Owner Builder prior to the settlement of this property

**Approximately 1-3 years old** Home Owners Warranty should be supplied / available for this property because it is newly built. Your solicitor must do their own investigation to confirm if this is the case or not (we only assume the age of the property). If renovation works / new building works have been completed within the past six years and the contract sum was above \$20K you will then have the right to request a copy of the Home Owners Warranty Insurance Policy that belongs to the property and the works carried out. Department Of Fair Trading guidelines make Builders, Owner Builders or Developers provide the consumer/the owner of the property a warranty for the period of two years for non-structural elements and six years against all structural defects from the date of the Practical Completion of the project We recommend you request a certificate of currency of the Home Owners warranty policy to be supplied by the Builder/Developer/Owner Builder prior to the settlement of this property.

**Approximately 2-6 years old** Home Owners Warranty should be supplied / available for this property because it is newly built Your solicitor must do their own investigation to confirm if this is the case or not (we only assume the age of the property) If renovation works / new building works have been completed within the past six years and the contract sum was above \$20K you will then have the right to request a copy of the Home Owners Warranty Insurance Policy that belongs to the property and the works carried out. Department Of Fair Trading guidelines make Builders, Owner Builders or Developers provide the consumer/the owner of the property a warranty for the period of two years for non structural elements and six years against all structural defects from the date of the Practical Completion of the project We recommend you request a certificate of currency of the Home Owners warranty policy to be supplied by the Builder/Developer/Owner Builder prior to the settlement of this property

**Approximately 6-10 years old** No Home Owners Warranty is available for this property if it's older than six years old Your solicitor must do their own investigation to confirm if this is the case or not ( we only assume the age of the property ) If renovation works / new building works have been completed within the past six years and the contract sum was above \$20K you will then have the right to request a copy of the Home Owners

*Warranty Insurance Policy that belongs to the property and the works carried out. We strongly recommend that you request a certificate of currency of the Home Owners Warranty Policy to be supplied by the Builder/Developer/Owner Builder prior to the settlement of this property Department Of Fair Trading guidelines make Builders, Owner Builders or Developers provide the consumer/the owner of the property a warranty for the period of two years and or six years against all defects from the date of the Practical Completion of the project*

**Approximately 10-15 years old** *No Home Owners Warranty is available for this property if it's older than six years old Your solicitor must do their own investigation to confirm if this is the case or not ( we only assume the age of the property ) If renovation works / new building works have been completed within the past six years and the contract sum was above \$20K you will then have the right to request a copy of the Home Owners Warranty Insurance Policy that belongs to the property and the works carried out. We strongly recommend that you request a certificate of currency of the Home Owners Warranty Policy to be supplied by the Builder/Developer/Owner Builder prior to the settlement of this property Department Of Fair Trading guidelines make Builders, Owner Builders or Developers provide the consumer/the owner of the property a warranty for the period of two years and or six years against all defects from the date of the Practical Completion of the project*

**Approximately 15-20 years old** *No Home Owners Warranty is available for this property if it's older than six years old Your solicitor must do their own investigation to confirm if this is the case or not ( we only assume the age of the property ) If renovation works / new building works have been completed within the past six years and the contract sum was above \$20K you will then have the right to request a copy of the Home Owners Warranty Insurance Policy that belongs to the property and the works carried out. We strongly recommend that you request a certificate of currency of the Home Owners Warranty Policy to be supplied by the Builder/Developer/Owner Builder prior to the settlement of this property Department Of Fair Trading guidelines make Builders, Owner Builders or Developers provide the consumer/the owner of the property a warranty for the period of two years and or six years against all defects from the date of the Practical Completion of the project*

**Approximately 20-30 years old** *No Home Owners Warranty is available for this property if it's older than six years old Your solicitor must do their own investigation to confirm if this is the case or not ( we only assume the age of the property ) If renovation works / new building works have been completed within the past six years and the contract sum was above \$20K you will then have the right to request a copy of the Home Owners Warranty Insurance Policy that belongs to the property and the works carried out. We strongly recommend that you request a certificate of currency of the Home Owners Warranty Policy to be supplied by the Builder/Developer/Owner Builder prior to the settlement of this property Department Of Fair Trading guidelines make Builders, Owner Builders or Developers provide the consumer/the owner of the property a warranty for the period of two years and or six years against all defects from the date of the Practical Completion of the project*

**Approximately 30-50 years old** *No Home Owners Warranty is available for this property if it's older than six years old Your solicitor must do their own investigation to confirm if this is the case or not ( we only assume the age of the property ) If renovation works / new building works have been completed within the past six*

*years and the contract sum was above \$20K you will then have the right to request a copy of the Home Owners Warranty Insurance Policy that belongs to the property and the works carried out. We strongly recommend that you request a certificate of currency of the Home Owners Warranty Policy to be supplied by the Builder/Developer/Owner Builder prior to the settlement of this property Department Of Fair Trading guidelines make Builders, Owner Builders or Developers provide the consumer/the owner of the property a warranty for the period of two years and or six years against all defects from the date of the Practical Completion of the project*

**Approximately 50-75 years old** *No Home Owners Warranty is available for this property if it's older than six years old Your solicitor must do their own investigation to confirm if this is the case or not ( we only assume the age of the property ) If renovation works / new building works have been completed within the past six years and the contract sum was above \$20K you will then have the right to request a copy of the Home Owners Warranty Insurance Policy that belongs to the property and the works carried out. We strongly recommend that you request a certificate of currency of the Home Owners Warranty Policy to be supplied by the Builder/Developer/Owner Builder prior to the settlement of this property Department Of Fair Trading guidelines make Builders, Owner Builders or Developers provide the consumer/the owner of the property a warranty for the period of two years and or six years against all defects from the date of the Practical Completion of the project*

**Approximately 75-100 years old** *No Home Owners Warranty is available for this property if it's older than six years old Your solicitor must do their own investigation to confirm if this is the case or not ( we only assume the age of the property ) If renovation works / new building works have been completed within the past six years and the contract sum was above \$20K you will then have the right to request a copy of the Home Owners Warranty Insurance Policy that belongs to the property and the works carried out. We strongly recommend that you request a certificate of currency of the Home Owners Warranty Policy to be supplied by the Builder/Developer/Owner Builder prior to the settlement of this property Department Of Fair Trading guidelines make Builders, Owner Builders or Developers provide the consumer/the owner of the property a warranty for the period of two years and or six years against all defects from the date of the Practical Completion of the project*

**Approximately 100-150 years old** *No Home Owners Warranty is available for this property if it's older than six years old Your solicitor must do their own investigation to confirm if this is the case or not ( we only assume the age of the property ) If renovation works / new building works have been completed within the past six years and the contract sum was above \$20K you will then have the right to request a copy of the Home Owners Warranty Insurance Policy that belongs to the property and the works carried out. We strongly recommend that you request a certificate of currency of the Home Owners Warranty Policy to be supplied by the Builder/Developer/Owner Builder prior to the settlement of this property Department Of Fair Trading guidelines make Builders, Owner Builders or Developers provide the consumer/the owner of the property a warranty for the period of two years and or six years against all defects from the date of the Practical Completion of the project*

**Approximately 150+ years old** *No Home Owners Warranty is available for this property if it's older than six years old Your solicitor must do their own investigation to confirm if this is the case or not ( we only assume the*

age of the property ) If renovation works / new building works have been completed within the past six years and the contract sum was above \$20K you will then have the right to request a copy of the Home Owners Warranty Insurance Policy that belongs to the property and the works carried out. We strongly recommend that you request a certificate of currency of the Home Owners Warranty Policy to be supplied by the Builder/Developer/Owner Builder prior to the settlement of this property Department Of Fair Trading guidelines make Builders, Owner Builders or Developers provide the consumer/the owner of the property a warranty for the period of two years and or six years against all defects from the date of the Practical Completion of the project

### **Unknown / Too difficult to assess whilst on site**

#### **Other (Age of Building)**

- *futkdkhfckhcgcckytkydiyrdiyrxhgkvuyfoudouotcylglckhgoutdiyrd*

#### **SUB\_Q: ROOF COVERING**

##### **Metal Deck Roof Sheets**

##### **Tile roof**

##### **PVC / Plastic Roof Sheets**

##### **Metal Louver Roof**

##### **Metal Deck Roof - Colourbond Roof Sheets**

##### **Metal Deck Roof - Zincalume Coated Steel**

##### **Metal Deck Roof - Galvanised Roof Sheets**

##### **Metal Deck Roof - Copper Roof Sheeting**

##### **Metal Deck Roof - Zinc Roof Sheeting**

##### **Roof Tiles**

##### **Roof Tiles - Terracotta Roof Tiles**

##### **Roof Tiles - Concrete Roof Tiles**

##### **Roof Tiles - Slate Roof Tiles**

##### **Roof Tiles -Metal Roof Tiles**

##### **PVC ( Poly carbonate roof sheets )**

##### **Glass Roof**

## **Concrete Slab ( Suspended slab )**

### **Asbestos Roof Sheets**

### **Timber Shingles**

### **Unknown - Due to no access to the roof**

### **Other (Roof Covering)**

- *Ljgfulfutflutfutiydultuttyfctf*

SUB\_Q: EXTERNAL WALLS

### **Face Brickwork - Standard Masonry Walls**

### **Face Brickwork - Block Walls**

### **Face Brickwork - Sandstone Walls**

### **Rendered - Masonry Walls**

### **Rendered - Lightweight Cladded Walls**

**Rendered - Hebel Blocks / Lightweight Construction** *This is an assumption only as I can not confirm this within my site inspection today*

### **Rendered / Bagged - Masonry Walls**

### **Concrete Walls**

### **Concrete Walls - Tilt Up Panels**

### **Concrete Walls - Pre Cast Panels / Walls**

### **Concrete Walls - Off Form Concrete Walls**

### **Timber Cladding Walls**

### **Weatherboard Walls**

### **Fibrous Cement Cladded Walls**

### **Possible - Blue Board & Acrylic Render Walls**

### **Metal Cladding Walls**

**Asbestos Wall Sheets ( assumption ) lab test is required to be certain**

**Sandstone Cladded Walls / Blockwork (walls and cladding non-structural)**

## **Other (External Walls)**

- *Hfhtfutftuxh.jfuktdktdx,hgchkfxyrduy;frysclutdrysjgxcjgytxyf*

### **SUB\_Q: FLOOR CONSTRUCTION**

**Concrete - Slab On Ground** Concrete floors require the edges of the slab visible for periodic pest inspection Pest inspections should be carried out every six to nine months to monitor any potential pest activity. The exposed concrete edges and slabs should be inspected and reported on every twelve to fourteen months for concrete cancer or any deterioration of the concrete slabs

**Concrete - Raft Concrete Slab on Ground** Raft slab on ground construction requires the edges of the slab visible for periodic pest inspection Pest inspections should be carried out every six to nine months to monitor any potential pest activity. The exposed concrete edges and slabs should be inspected and reported on every twelve to fourteen months for concrete cancer or any deterioration of the concrete slabs

**Concrete - Suspended Concrete Slab** This property has a suspended concrete slab which has been limited for assessment due to location along with floor and ceiling coverings Any exposed concrete edges or slabs should be inspected and reported on frequently for concrete cancer or any deterioration of the concrete slabs

**Concrete - External Pathways** This property has concrete pathways around the property

**Concrete - External Concrete Stairs** External stairs are formed concrete.

**Concrete - Internal Concrete Stairs** The Internal staircase within this property is built out of concrete, a suspended concrete stair with applied finished linings.

**Timber Flooring** Timber floor covering on a timber structure can be a combination of hard or softwood joists covered with plywood, particle board flooring, hard or softwood strip flooring All floor framing should be inspected and treated every six to nine months for pest activity

**Timber Flooring - Fibrous Cement Flooring / Particle Board** We cannot confirm if this property has compressed fibrous floor linings within the wet rooms We assume that this property has been built with timber frames and compressed fibrous floor linings, In newly built properties it is common to find particle board flooring installed over the timber floor joints and then waterproofed within each bathroom, laundry/wet rooms All floor framing should be inspected and treated every six to nine months for pest activity

**Timber Flooring - Internal Timber Staircase** The Internal staircase within the property is made of timber.

**Timber Flooring - External Timber Staircase** Timber decks require periodic maintenance including cleaning and oiling / painting to ensure their longevity If timber members have been oiled, painted or stained it cannot be confirmed if they are fit for purpose for exterior use, if items are not suitable for exterior use the longevity of this item would be compromised If at the time of inspection, access beneath the deck is unavailable, it could not be confirmed that the structure has the appropriate ground clearance to meet required regulations, further investigation would be required All floor framing should be inspected and treated every six to nine months for pest activity

**Timber Flooring - External Timber Deck** *Timber decks require periodic maintenance including cleaning and oiling/painting to ensure its longevity. If timber members have been oiled, painted or stained it cannot be confirmed if they are fit for purpose for exterior use, if items are not suitable for exterior use, the longevity of this item would be compromised. If at the time of inspection, access beneath the deck is unavailable, it is assumed that the structure has the appropriate ground clearance to meet required regulations, further investigation would be required. All floor framing should be inspected and treated every six to nine months for pest activity.*

**Timber Flooring - External Timber Deck & Timber Staircase** *Timber decks require periodic maintenance including cleaning and oiling/painting to ensure its longevity. If timber members have been oiled, painted or stained it cannot be confirmed if they are fit for purpose for exterior use, if items are not suitable for exterior use the longevity of this item would be compromised. If at the time of inspection, access beneath the deck is unavailable, it is assumed that the structure has the appropriate ground clearance to meet required regulations, further investigation would be required. All floor framing should be inspected and treated every six to nine months for pest activity.*

**Timber Flooring - External Timber Pathways around the property** *It is common for these structures to be in close proximity to the ground and in most cases, breaching the minimum clearance required. It is assumed that the appropriate ground clearance has been made available, though this would require further investigation. Timber decks/pathways require periodic maintenance including cleaning and oiling/painting to ensure its longevity. If timber members have been oiled, painted or stained it cannot be confirmed if they are fit for purpose for exterior use, if items are not suitable for exterior use, the longevity of this item would be compromised.*

**Timber Flooring - PVC Decking Boards** *The Deck is built from a timber substructure and a PVC decking boards.*

**External Pavers / Tiles** *This property has pavers applied to the external floor linings, which needs to be maintained*

### **Steel Staircase - External**

**Steel Staircase - Internal** *The Internal staircase within the property is made of steel.*

### **Other (Floor Construction)**

- *Grstdzn,CGC,hdFuyffhxgfskskyrj.gchmfxyrkdyrkdetz*

SUB\_Q: OUTBUILDINGS / DETACHED STRUCTURES FROM THE MAIN PROPERTY

**There were no external structures detached from the property that were inspected, assessed or reported on within this report**

### **Swimming Pool**

### **Pool house**

**Cabana**

**Garage**

**Carport**

**Studio**

**Shed**

**Second Dwelling**

**Granny Flat**

**Workshop**

**Pergola**

**Outside Toilet / WC**

**Laundry**

**WC & Laundry**

**Storeroom**

**Green house**

**Horse Stables**

**Tennis Courts**

**Pontoon**

**Slipway**

**Boat Shed**

**Other(Detached Structures)**

- *Jhgjhg.g.Lutchftyiffxewxgjibijn*

SUB\_Q: ROOF FRAME

**Timber - Truss Roof**

**Timber - Hand Pitched Roof**

**Timber - Flat skillion roof**

## **Steel Framed Roof**

### **Steel Framed - Flat Skillion Roof**

#### **Suspended Concrete Slab**

**Unable to confirm due to no access within roof void**

#### **Other (Roof Frame)**

- *Futfhfjclhfchcvk;htcckhxtirxuvkhv;igctfxtirxu5z*

**SUB\_Q: ROOF PITCH (APPROXIMATE PITCH OF STEEPEST ROOF)**

**Unknown due to no access to the roof**

**5 - 10 degrees**

**10 - 15 degrees**

**15 - 20 degrees**

**20 - 25 degrees**

**25 - 30 degrees**

**30 - 35 degrees**

**Extremely steep / unknown**

#### **Other (PITCH OF ROOF)**

- *lygiyg;jhg;jhv989768r5746eydrchv.Jb jb.bb;ihvgcrydxe5s5esutsgjrckhg*

**SUB\_Q: NUMBER OF STOREYS**

**Single Storey Building**

**Two Storey Building**

**Three Storey Building**

**Four Storey Building**

**Five Storey Building**

**Above Five Storey Building**

**Split Level - Single Storey**

## **Split Level - Multiple Storeys**

### **Unit - Single Storey within multilevel unit complex**

### **Unit - Two Storey within multilevel unit complex**

### **Other (Number of Stories)**

- *H.gccultfutlfutd7dkyryrdhgcf75ei75dxhc,hugc*

SUB\_Q: STYLE OF BUILDING

**Non Period Building**

**Period Building**

**Victorian**

**Federation**

**Bungalow**

**Queenslander**

**Modern Architectural**

**Tudor**

**Weatherboard Cottage**

**Mediterranean**

**Italianate**

### **Other (BUILDING STYLE)**

- *Tiygilyfutfyrd75lutdjyfjygoiyoyiyog'ougouv.jgxt*

SUB\_Q: FOOTINGS

**Slab on Ground** *Slab on ground traditionally has combined footings within the slab structure. I cannot confirm if this slab has strip footings or combined footings, but it is my assumption that this building has a raft slab which has the slab and footings combined as one.*

**Raft Slab** *By the age of the building, I assume the slab on ground is designed and built with combined footings known as a raft slab construction.*

**Concrete - Pad Footings** *Concrete pad footings appear to be in place supporting piers and the floor/wall structure above*

**Concrete - Strip Footings** *The outer and inner walls of the property appear to have the walls built off the concrete strip footings*

**Brick - Pad Footings** *This property appears to have brick footings embedded within the foundations*

**Brick - Strip Footings** *This property looks to have brick footings within the foundation / soil material*

**Sandstone - Blockwork** *The property is founded off sandstone blockwork. Sandstone blockwork typically is bearing upon soil foundation and settlement of the footings is common due to lime mortar construction and inconsistent moisture content found within subfloor areas and small to large rubble / blockwork being used within the subfloor areas*

**Sandstone - Raw Sandstone/Bedrock Foundations (No Footings)** *The walls appear to be built off the raw stone foundations, no footings appear to be in place that I could see whilst I was on site*

**No access to the subfloor, the true type of footings are unknown due to no access at the time of our inspection** *The true type of footings are unknown as there was no access to the sub-floor area at the time of the inspection, and our assumptions above are based upon experience, not on facts. No access was available at the time of the inspection to the sub-floor areas, we, therefore, have the entire sub-floor areas of the property excluded from our assessment and this report. If you would like an assessment of the subfloor area, access hatches/s must be created so we can access this area so we can inspect and report on the conditions of the subfloor area.*

**NOTE: The true type of footings are unknown** *The true type of footings are unknown, our assumptions above are based upon experience as this is purely a visual inspection.*

#### SUB\_Q: FRONT OF BUILDING FACE (APPROXIMATELY)

**North**

**South**

**East**

**West**

**North West**

**North East**

**South West**

**South East**

**Other ( Front of Building Faces)**

- *Hgfhgf.Tufui.try.tod.utchgchghglctdthdytckhfchfkckhfcrk*

## General Observations

### SUB\_Q: WEATHER CONDITIONS - ON THE DAY OF THE INSPECTION

**Clear & Sunny** *Special Note : We have been engaged to inspect this property at the requested date and time by the commissioning party In some events we do not have opportunity to gain full access to all areas as they are locked or unavailable at the time of the inspection In some events we are unable to inspect all areas due to the loss of natural daylight or the sun setting whilst we are surveying the property We often lose the natural daylight whilst the inspection is in progress and therefore our assessment and report is limited due to the reduced visibility and access within the property. We do our best to carry out this inspection by using a flashlight, this limits our ability to carry out a detailed and comprehensive assessment of the property. We do not carry any responsibility in the event that we have missed any area that is vital in creating this report due to the lack of natural daylight or if access to the property was reduced due to limited areas being available to us at the time of the inspection Our reports and working conditions are in line with Work Health & Safety Regulations We encourage the reader or the commissioning party of this report to re-engage our office to re-inspect the property to make sure all vital aspects of the property are seen and reported on. We Do Not Take Any Responsibility For Any Aspect Of The Property If We Did Not Get The Opportunity To Inspect The Property In Natural Daylight Or If We Did Not Have Access To All Areas Of The Property At The Time Of The Inspection*

**Light rain** *Special note : We have been engaged to inspect this property at the requested date and time by the commissioning party. It was raining at the time of the inspection. The floor and roof elevations were wet and unsafe to use a ladder to gain access to assess the roof elevations, roof plumbing and external linings of the property. We will comment on these aspects of the home but our advice is not a full and comprehensive assessment due to limited access and our assessment was carried out from afar, the information within this report can not be relied upon. We did not gain access to the roof elevations due to WH&S regulations due to the rain at the time of the inspection or due to the slippery surfaces because of the rain. If you require a comprehensive assessment of the areas noted above a second inspection is required which will attract a fee.*

**Heavy rain** *Special note : We have been engaged to inspect this property at the requested date and time by the commissioning party. It was raining heavily at the time of the inspection. The floor and roof elevations were wet and unsafe to use a ladder to gain access to assess the roof elevations, roof plumbing and external linings of the property. We will comment on these aspects of the home but our advice is not a full and comprehensive assessment due to limited access and our assessment was carried out from afar, the information within this report can not be relied upon. We did not gain access to the roof elevations due to WH&S regulations due to the rain at the time of the inspection or due to the slippery surfaces because of the rain. If you require a comprehensive assessment of the areas noted above a second inspection is required which will attract a fee.*

**Overcast but dry** *Special note : We have been engaged to inspect this property at the requested time by the commissioning party In some events, we do not have the opportunity to gain full access to all areas as they are locked or unavailable at the time of the inspection In some events we are unable to inspect all areas due to the sun setting whilst we are surveying the property (We often lose the natural daylight whilst we are in progress in doing the inspection) and it becomes dark during the inspection and our report is limited due to the reduced*

*visibility. We therefore do our best to carry out this inspection using a flashlight, which limits our ability to carry out a detailed and comprehensive assessment of the property. We do not carry any responsibility in the event that we have missed any area that is vital in creating this report due to the lack of natural daylight or if access to the property was reduced due to limited areas being available to us at the time of the inspection. We encourage the reader or the commissioning party of this report to re-engage our office to re-inspect the property to make sure all vital aspects of the home are seen and reported on. We Do Not Take Any Responsibility For Any Aspect Of The Home If We Did Not Get The Opportunity To Inspect The Property In Natural Daylight Or If We Did Not Have Access To All Areas Of The Property At The Time Of The Inspection.*

**Overcast & Recent rain** *Special note : We have been engaged to inspect this property at the requested date and time by the commissioning party. It was raining at the time of the inspection. The floor and roof elevations were wet and unsafe to use a ladder to gain access to assess the roof elevations, roof plumbing and external linings of the property. We will comment on these aspects of the home but our advice is not a full and comprehensive assessment due to limited access and our assessment was carried out from afar, the information within this report can not be relied upon. We did not gain access to the roof elevations due to WH&S regulations due to the rain at the time of the inspection or due to the slippery surfaces because of the rain . We encourage the reader or the commissioning party of this report to re-engage our office to re-inspect the property to make sure all vital aspects of the home are seen and reported on. We Do Not Take Any Responsibility For Any Aspect Of The Home If We Did Not Get The Opportunity To Inspect The Property In Natural Daylight Or If We Did Not Have Access To All Areas Of The Property At The Time Of The Inspection.*

**Dark & After sunset** *Special Note : We have been engaged to inspect this property at the requested time by the commissioning party. In some events we do not have opportunity to gain full access to all areas as they are locked or unassailable at the time of the inspection. In some events we are unable to inspect all areas due to the sun setting whilst we are surveying the property (We often lose the natural daylight whilst we are in progress in doing the inspection) and it becomes dark during the inspection and our report is limited due to the reduced visibility. We therefore do our best to carryout this inspection using a flashlight which limits our ability to carry out a detailed and comprehensive assessment of the property. We do not carry any responsibility in the event that we have missed any area that is vital in creating this report due to the lack of natural daylight or if access to the property was reduced due to limited areas being available to us at the time of the inspection. We encourage the reader or the commissioning party of this report to re-engage our office to re-inspect the property to make sure all vital aspects of the home are seen and reported on. We Do Not Take Any Responsibility For Any Aspect Of The Home If We Did Not Get The Opportunity To Inspect The Property In Natural Daylight Or If We Did Not Have Access To All Areas Of The Property At The Time Of The Inspection.*

**High wind** *Special note : We have been engaged to inspect this property at the requested date and time by the commissioning party. There were high winds at the time of the inspection. It was unsafe to access the roof to assess the elevations, roof plumbing and external linings of the property. We will comment on these aspects of the home but our advice is not a full and comprehensive assessment due to limited access and our assessment was carried out from afar, the information within this report cannot be relied upon. We did not gain access to the roof elevations due to WHO&S regulations due to the high winds at the time of the inspection.*

## **SPECIAL NOTE: WEATHER CONDITIONS ON THE DAY OF INSPECTION**

- Htfghcugclugcygcytcoytcoytcyfcifyfcicyryccitrcitrxrt

## SUB\_Q: WEATHER CONDITIONS - WITHIN THE LAST 7 DAYS

### **Clear & sunny - No Rain in the past 7 days**

**Light rain - In the past 7 days** Due to recent inclement weather in the past 7 days , it is not unusual to see the sub-floor area of the property to be damp or wet. This does not mean that the sub-floor ventilation is inadequate though the area should be monitored and re-evaluated once the wet weather has past.

**Moderate rain** Due to recent inclement weather in the past 7 days , it is not unusual to see the sub-floor area of the property to be damp or wet. This does not mean that the sub-floor ventilation is inadequate though the area should be monitored and re-evaluated once the wet weather has passed.

**Heavy rain** Due to recent inclement weather in the past 7 days, it is not unusual to see the sub-floor area of the property to be damp or wet. This does not mean that the sub-floor ventilation is inadequate though the area should be monitored and re-evaluated once the wet weather has past.

### **Overcast but dry**

**High Wind and Rain** Due to recent inclement weather in the past 7 days , it is not unusual to see the sub-floor area of the property to be damp or wet. This does not mean that the sub-floor ventilation is inadequate though the area should be monitored and re-evaluated once the wet weather has past.

## **SPECIAL NOTE: WEATHER CONDITION WITHIN THE LAST 7 DAYS**

- adfaddsafgaasdfasdf

## SUB\_Q: IS THE BUILDING FURNISHED?

**Yes, NORMAL LEVEL OF FURNITURE, and belongings found within the property)** We do not move the Vendor/Tenants belongs when we carry out our inspection. We do not move nor touch objects within the property. For Example: We do not move any objects in the following areas nor look at nor report on the conditions of the property if they are obstructed by the vendor or tenant objects stored within the following rooms, and not limited to these rooms and objects: 1. We do not look behind bed heads, nor beds when they are up against a wall or two walls within the room 2. We do not look at the walls and floors which are covered by furniture or objects stored or placed up against the walls and floors 3. We do not look at the walls and floors which are covered by portable cupboards/furniture/tables 4. We do not look behind nor move curtains, blinds or fixed or loose shutters 5. We do not look behind nor move goods within robes/walk in robes/linen cupboards/stairwells/ kitchen and laundry cupboards /vanity units 6. We do not look behind nor move goods found within the garage or storeroom 7. We do not look behind nor move goods within the roof voids 8. We do not look behind nor move goods within the subfloor areas If a defect is hidden behind or in these areas due to an obstruction we don't report on them nor do we take responsibility for including these defects within our report

**Yes, EXESSIVE LEVEL OF FURNITURE, and belongings found within the property** Yes (there was excessive furniture and belongings found within the property at the time of the inspection) This limits our ability to assess and report on the conditions of the property We have not reported on the room(s) conditions or areas which have excessive belongings or belongings up against the walls, floors, ceilings, or belongings that fill the room, making our assessment of the areas non-compliant with Australian Standards conditions and requirements of the consultant We do not move the Vendor/Tenants belongs when we carry out our inspection. We do not move nor touch objects within the property. For Example: We do not move any objects in the following areas, nor do we look at nor report on the conditions of the property, if they are obstructed by the vendor or tenant's objects / belongings stored within the following rooms, and not limited to these rooms and objects: 1. We do not look behind bed heads, nor beds when they are up against a wall or two walls within the room 2. We do not look at the walls and floors which are covered by furniture or objects stored or placed up against the walls and floors 3. We do not look at the walls and floors which are covered by portable cupboards / furniture / tables 4. We do not look behind nor move curtains, blinds or fixed or loose shutters 5. We do not look behind nor move goods within robes / walk-in robes / linen cupboards / stairwells / kitchen and laundry cupboards / vanity units 6. We do not look behind nor move goods found in the garage or storeroom 7. We do not look behind nor move goods within the roof voids 8. We do not look behind nor move goods within the subfloor areas If a defect is hidden behind or in these areas due to an obstruction we don't report on them nor do we take responsibility for including these defects within our report

- qsddf asdgfdgsdfgs

**No, the property was empty** We do not move the Vendor/Tenants belongings when we carry out our inspection We do not move nor touch objects within the property For Example: We do not move any objects in the following areas, nor do we look at nor report on the conditions of the property, if they are obstructed by the vendor or tenant's objects / belongings stored within the following rooms, and not limited to these rooms and objects: 1. We do not look behind bed heads, nor beds when they are up against a wall or two walls within the room 2. We do not look at the walls and floors which are covered by furniture or objects stored or placed up against the walls and floors 3. We do not look at the walls and floors which are covered by portable cupboards / furniture / tables 4. We do not look behind nor move curtains, blinds or fixed or loose shutters 5. We do not look behind nor move goods within robes / walk-in robes / linen cupboards / stairwells / kitchen and laundry cupboards / vanity units 6. We do not look behind nor move goods found in the garage or storeroom 7. We do not look behind nor move goods within the roof voids 8. We do not look behind nor move goods within the subfloor areas If a defect is hidden behind or in these areas due to an obstruction we don't report on them nor do we take responsibility for including these defects within our report

#### SPECIAL NOTE: IS THE BUILDING FURNISHED

- adsasdfsdfasdfsdfafafdafdsafasdfs

SUB\_Q: THE FOLLOWING AREAS WERE - NOT INSPECTED

**SPECIAL NOTE: I COULD NOT INSPECT ALL AREAS WITHIN THIS PROPERTY TODAY .I DID NOT INSPECT THE FOLLOWING AREAS AS NOTED BELOW :** I could not inspect all areas of the property today The areas noted below are excluded from our report, you cannot rely upon any facts within this report for these areas, even if I make comment to them in this report, as I may have been able to inspect the areas in question

*IN PART BUT NOT IN FULL. As I could not inspect the areas in FULL, I, therefore, make the entire area(s) excluded from our report I strongly recommend the commissioning party or the reader of this report request that the vendors or their agent make the following areas available to be inspected/re-inspected once access is created We encourage you to re-engage our office to carry out a second inspection to include the non-inspected areas, an additional fee is applicable for a second inspection The areas not inspected in full nor included in this report are:*

**It was raining on the day of my inspection, the roof and external elevations of the property were not inspected in full** A second inspection is recommended when it's not raining, if you want a full and comprehensive assessment and report on this property

### **Roof Void, due to no access hatch / manhole found within this property**

**Roof void due to no manhole** No access to the roof void due to no manhole.

**Roof void, due to excess personal belongings stored within the roof void which obstruct access within the roof void** The roof void was not inspected within this inspection A second inspection is recommended once access is generated

**Roof void due to manhole being blocked/inaccessible at the time of the inspection** No access to the roof void due to the manhole being blocked/inaccessible at the time of the inspection The roof void was inaccessible when i was on site We therefore did not inspect nor report on the roof void/s within this property If this part of the property needs to be inspected and reported on a second site inspection is required once access is created meeting current regulations.

**Roof void due to a flat skillion roof** I could not gain access to all roof void(s) within this property due to the property having a flat metal roof, with no access hatches to service the roof voids.

**Roof void due to manhole not meeting current regulations (opening)** No access to the roof void due to the manhole not meeting current regulations (opening).

**Roof void due to manhole being in an unsafe location for the inspector to install a stepladder** No access to the roof void due to the manhole being in an unsafe location for the inspector to install a stepladder.

**Roof void due to minimal crawlspace within the roof void, access within the roof void was tight and not all aspects of the roof void was inspected** The roof void has tight and restricted areas within this roof, making it impossible for me to inspect all aspects of the roof void

**Roof void due to manhole being unsafe for the inspector to enter (size/location)** No access to the roof void due to the manhole being unsafe for the inspector to enter (size/location).

### **Roof void as it was lined on the underside of the rafters**

### **Roof void ceiling joists, as there is a floor within the roof void**

**Roof tiles due to height restrictions** This property has roof tiles / roof elevations higher than allowed within current regulations I did not access the roof due to the height exceeding the safe use of a 3.6m ladder, The safe use is 2.7 metres in height from the finished ground floor or the roof(s) being over a single storey structure, complying with current WH&S regulations.

**Roof sheets due to height restrictions** This property has roof sheets ( Metal roofing ) / roof elevations higher than allowed within current regulations I did not access the roof due to the height exceeding the safe use of a 3.6m ladder, The safe use is 2.7 metres in height from the finished ground floor or the roof(s) being over a single storey structure, complying with current WH&S regulations.

**Roof plumbing due to height restrictions** This property has roof plumbing ( Gutters, valleys, flashings, cappings, Box gutters, downpipes ) / Roof elevations higher than allowed within current regulations I did not access the roof due to the height exceeding the safe use of a 3.6m ladder, The safe use is 2.7 metres in height from the finished ground floor or the roof(s) being over a single storey structure, complying with current WH&S regulations.

**Subfloor, No openable access hatch to the sub floor area was found on the day of my inspection**

**Subfloor area, due to excess personal belongings stored within the subfloor at the time of my inspection** The Subfloor area was not able to be accessed/inspected in full at the time of this inspection

**Sub floor area due to no access hatch found at the time of the inspection meeting Australian Standards access regulations** No access to the sub floor area, due to no access hatch found at the time of the inspection meeting Australian Standards access regulations Access hatches must be 400mm x 500mm, and with 600mm x 600mm minimum crawl space, the subfloor area is not inspected on this basis NOTE ( If the subfloor area is commented on its on the basis of the inspector viewing the subfloor chamber only from the one access hole only and this report can not be relied upon in that one area ).

**Sub floor area due to the access hatch being blocked** No access to the sub floor area, due to the access hatch being blocked.

**Subfloor area due to manhole being unsafe for the inspector to enter (size/location)** No access to the sub floor area, due to manhole being unsafe for the inspector to enter (size/location).

**Below Timber decks** I did not access all areas below the timbers deck

**Below Suspended slabs / verandas / patio** I did not inspect below the slabs on ground nor suspend concrete slab

**Subfloor of the house due to house is built with a slab on ground**

**First floor, floor structure. As there was no suspended ceiling / access hatch on the ground floor to access and inspect the first floor, floor joists**

**Partial access to the sub floor area, due to limited space within the sub floor area, I was unable to gain access to all areas of the sub floor area and this portion of the property is excluded from my report** /

*had limited access to the subfloor area within this property, due to no / limited access and missing access hatches found on site, nor did I have approbate crawl space within the subfloor area meeting Australian Standards access regulations Access hatches must be 400mm x 500mm, with 600mm x 600mm minimum crawl space, within the entire subfloor and therefore this area was not inspected on this basis NOTE If the subfloor area is commented on, it's on the basis of the inspector viewing the subfloor in part only ) If the subfloor area is not inspected in full such as this inspection/property, I will still comment on what was seen at the time of this inspection and any comments are made against the area/s that were inspected - this doesn't mean the report is covering the entire subfloor area, it means we have assessed and commented on the one subfloor changer as you enter the subfloor and the remaining areas are excluded from our assessment and this report and you can not rely upon this report for the other subfloor areas that were not inspected. I was unable to inspect the entire subfloor area within this property, therefore, the entire subfloor condition is not inspected nor reported on nor can you rely upon this report covering the subfloor area*

**Partial access to the roof void area, due to limited space within the roof void area, I was unable to gain access to all areas of the roof void and this portion of the house is excluded from my report** *If I make any comments within the roof void section within this report they are Passing Comments on the basis that I could see the roof void in part but not in full This roof void was not inspected in full but in part, deeming this roof void as a whole being excluded from this report due to no access to the entire roof void*

**Partial access to the roof tiles & roof plumbing due to height restrictions, I was unable to gain access to all areas and this portion of the house is excluded from my assessment and this report** *I had partial access to the roof tiles, gutters and valley iron and flashings, and cappings Any comment made is a passing comment made from observation from afar or from overlooking windows or from a zoom camera I did not access the entire roof elevation making the roof tiles and gutters and valleys and flashings excluded from this report*

**Partial access to the roof sheeting & roof plumbing, due to height restrictions, I was unable to gain access to all areas and this portion of the property is excluded from my report** *I was unable to access the roof in full, I accessed the roof in a small portion due to WH&S regulation I had partial access to the roof sheets, gutters, valley iron, flashings, and cappings Any comments made is a passing comment made from an observation from afar or from overlooking windows or from a zoom camera I did not access the entire roof elevation making the sheets, gutters, valleys, flashings excluded from this report*

**Once access to the areas noted above are made available by the vendor / listing agent, we strongly recommend that you re-engage our office for a second inspection to have the areas not inspected in full, inspected and reported on within an amended / updated report p**

**THIS REPORT WAS FOR A UNIT AND WE ONLY INSPECTED THE INTERNAL ELEVATIONS OF THE UNIT WITH NO BODY CORPORATE** *If you want all the external elevations of this apartment building ( BODY CORPORATE ASSETS ) assessed and report on, I suggest you call our office to have a second inspection carried out to have that aspect of the building / site reported on, prior to you purchasing this apartment, as your liability is to maintain the overall building and the defects raised in the body corporate report will be your responsibility re covering's the costs to rectify the defects*

## **Unit / External Elevations of the unit complex**

**Unit / Subfloor, as I inspected the internal elevations of the unit only - No body corporate asset was inspected nor assessed and report on**

**Unit / Roof Void, as I inspected the internal apartment only and no roof voids are part of the internal assessment as that aspect of the building belongs to the Body Corporate Asset**

**All areas were inspected that were made available to me by the person that allowed access on site on the day of my inspection**

**All areas were inspected that were made available to me on the day of my inspection**

### **SPECIAL NOTE: RE AREAS NOT INSPECTED**

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- *asdfasdfasdfas*

**SUB\_Q: WE FOUND EXCESS BELONGINGS WITHIN THE PROPERTY AT THE TIME OF MY INSPECTION**

**Excess goods were found within the Linen Cupboard, Laundry Cupboard, Wardrobes / Walk in Robes, Kitchen Cupboards & Pantries** Once the vendor/tenants belongings are removed within these areas we will be able to inspect and report on the condition of these areas

**Excess goods were found within the Bedrooms** Once the vendor/tenants belongings are removed within the bedrooms we will be able to inspect and report on the condition of this room/space.

**Excess goods were found within the Office / Study**

**Excess goods were found within the Bathrooms** Once the vendor/tenants belongings are removed within the bathrooms we will be able to inspect and report on the condition of this room/space.

**Excess goods were found within the Bathroom Vanity Unit**

**Excess goods were found within the Bathroom Cupboards**

**Excess goods were found within the Laundry** Once the vendor/tenants belongings are removed within the laundry we will be able to inspect and report on the condition of this room/space.

**Excess goods were found within the Laundry Cupboards**

**Excess goods were found within the Kitchen**

**Excess goods were found within the Kitchen Benchtop** Once the vendor/tenants belongings are removed from the kitchen bench top and within the cupboards we will be able to inspect and report on the condition of this room/space.

**Excess goods were found within the Kitchen Cupboards**

## **Excess goods were found within the Living Room**

**Excess goods were found within the Rumpus Room** Once the vendor/tenants belongings are removed within the rumpus room we will be able to inspect and report on the condition of this room/space.

## **Excess goods were found within the Dining Room**

**Excess goods were found within the Stairwell** Once the vendor/tenants belongings are removed within the stairwell , we will be able to inspect and report on the condition of this room/space.

## **Excess goods were found within the Stairwell Cupboard**

## **Excess goods were found within the Entry Foyer**

## **Excess goods were found within the Hallways**

**Excess goods were found within the Storeroom** Once the vendor/tenants belongings are removed within the storeroom we will be able to inspect and report on the condition of this room/space.

## **Excess goods were found within the Linen Cupboard**

**Excess goods were found within the Subfloor Area** Once the vendor/tenants belongings are removed within the subfloor area we will be able to inspect and report on the condition of this room/space.

**Excess goods were found within the Roof Void** Once the vendor/tenants belongings are removed within the roof void we will be able to inspect and report on the condition of this room/space.

**Excess goods were found within the Garage** Once the vendor/tenants belongings are removed within the Garage we will be able to inspect and report on the condition of this room/space.

## **Excess goods were found within the Carport**

## **Excess goods were found within the Shed**

## **Excess goods were found within the Perimeter of the Home**

## **Excess goods were found within the Granny Flat / Second Dwelling**

## **Excess goods were found within the Detached Structure**

**Excess goods were found within the entire property** Once the excess vendor/tenants belongings are removed within house we will be able to inspect and report on the condition of this room/space.

## **SPECIAL NOTE: AREAS WITH EXCESS BELONGINGS**

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SUB\_Q: THIS REPORT IS VALID FOR

**Day of the inspection only** The findings recorded within this report were seen and noted on the day of our inspection. Buildings move and settle on a daily basis, with the most movement and changes to the property are seen between the change of a wet and dry season. We are experiencing inconsistent weather patterns and extended dry periods, within which, buildings tend to re-stabilize or move during prolonged dry or wet periods, making new defects apparent when it has changed from a prolonged dry period to a wet period and vice versa. In most events, properties have been prepared for sale and cracks or imperfections are concealed by freshly painted walls, ceilings, cornices and other internal linings which we are unaware of at the time of our inspection, making them unable to be seen or reported on. It is most common to find new defects within three to six months of the date of the home being repaired or renovated and having passed a summer or winter period. Our inspections are a visual inspection only, with no thermal cameras, moisture meters nor torches being used within the internal habitable rooms, meeting Department of Fair Trading Standards & Tolerances Guidelines, it is best, once you have read this report to re-inspect the property in different times of the day, as defects may be concealed when the morning sun or afternoon shade sets in place which we did not have the benefit of during our inspection.

**7 Calendar Days** The findings recorded within this report were seen and noted on the day of our inspection. Buildings move and settle on a daily basis, with the most movement and changes to the property are seen between the change of a wet and dry season. We are experiencing inconsistent weather patterns and extended dry periods, within which, buildings tend to re-stabilize or move during prolonged dry or wet periods, making new defects apparent when it has changed from a prolonged dry period to a wet period and vice versa. In most events, properties have been prepared for sale and cracks or imperfections are concealed by freshly painted walls, ceilings, cornices and other internal linings which we are unaware of at the time of our inspection, making them unable to be seen or reported on. It is most common to find new defects within three to six months of the date of the home being repaired or renovated and having passed a summer or winter period. Our inspections are a visual inspection only, with no thermal cameras, moisture meters nor torches being used within the internal habitable rooms, meeting Department of Fair Trading Standards & Tolerances Guidelines, it is best, once you have read this report to re-inspect the property in different times of the day, as defects may be concealed when the morning sun or afternoon shade sets in place which we did not have the benefit of during our inspection.

**14 Calendar Days** The findings recorded within this report were seen and noted on the day of our inspection. Buildings move and settle on a daily basis, with the most movement and changes to the property are seen between the change of a wet and dry season. We are experiencing inconsistent weather patterns and extended dry periods, within which, buildings tend to re-stabilize or move during prolonged dry or wet periods, making new defects apparent when it has changed from a prolonged dry period to a wet period and vice versa. In most events, properties have been prepared for sale and cracks or imperfections are concealed by freshly painted walls, ceilings, cornices and other internal linings which we are unaware of at the time of our inspection, making them unable to be seen or reported on. It is most common to find new defects within three to six months of the date of the home being repaired or renovated and having passed a summer or winter period. Our inspections are a visual inspection only, with no thermal cameras, moisture meters nor torches being used within the internal habitable rooms, meeting Department of Fair Trading Standards & Tolerances Guidelines, it is best, once you have read this report to re-inspect the property in different times of the day, as defects may be

concealed when the morning sun or afternoon shade sets in place which we did not have the benefit of during our inspection.

**21 Calendar Days** The findings recorded within this report were seen and noted on the day of our inspection. Buildings move and settle on a daily basis, with the most movement and changes to the property are seen between the change of a wet and dry season. We are experiencing inconsistent weather patterns and extended dry periods, within which, buildings tend to re-stabilize or move during prolonged dry or wet periods, making new defects apparent when it has changed from a prolonged dry period to a wet period and vice versa. In most events, properties have been prepared for sale and cracks or imperfections are concealed by freshly painted walls, ceilings, cornices and other internal linings which we are unaware of at the time of our inspection, making them unable to be seen or reported on. It is most common to find new defects within three to six months of the date of the home being repaired or renovated and having passed a summer or winter period. Our inspections are a visual inspection only, with no thermal cameras, moisture meters nor torches being used within the internal habitable rooms, meeting Department of Fair Trading Standards & Tolerances Guidelines, it is best, once you have read this report to re-inspect the property in different times of the day, as defects may be concealed when the morning sun or afternoon shade sets in place which we did not have the benefit of during our inspection.

**28 Calendar Days** The findings recorded within this report were seen and noted on the day of our inspection. Buildings move and settle on a daily basis, with the most movement and changes to the property are seen between the change of a wet and dry season. We are experiencing inconsistent weather patterns and extended dry periods, within which, buildings tend to re-stabilize or move during prolonged dry or wet periods, making new defects apparent when it has changed from a prolonged dry period to a wet period and vice versa. In most events, properties have been prepared for sale and cracks or imperfections are concealed by freshly painted walls, ceilings, cornices and other internal linings which we are unaware of at the time of our inspection, making them unable to be seen or reported on. It is most common to find new defects within three to six months of the date of the home being repaired or renovated and having passed a summer or winter period. Our inspections are a visual inspection only, with no thermal cameras, moisture meters nor torches being used within the internal habitable rooms, meeting Department of Fair Trading Standards & Tolerances Guidelines, it is best, once you have read this report to re-inspect the property in different times of the day, as defects may be concealed when the morning sun or afternoon shade sets in place which we did not have the benefit of during our inspection.

**180 Calendar Days(For Before You Bid Customers)** This report validates the condition of the property as of the day of the site inspection only. !!!!! This report doesn't forecast any future defects or issues that are concealed in any way from this visual inspection and my walkthrough of the property with the areas that were available to me on the day of my inspection. I am happy to take a phone call or email inquiry about this report for up to 180 days post the date of the initial inspection date, this can be found on the front page of this report ( This period is a Before You Bid special condition, and as being a service provider to their platform we are happy to adhere to this condition and I look forward to your inquiries with my name and mobile phone number being located on the back page of the building and pest reports ) SPECIAL NOTE: This report validates the condition of the property as of the day of the inspection only subject to the areas that were made available to me by the vendors/listing agents/tenants who opened up the property and made the access points and rooms open for me

*to inspect prior to my arrival In many cases we find new defects appearing as soon as 10 - 30 days post our initial report, due to vendors concealing defects with new paintwork or objects placed in front of defects or due to the change of use of the room or the frequency that the room is now being used, or rooms/areas that were not available to be inspected on the day of our initial inspection. It is best for you to engage our office for a second inspection to be carried out before you choose to buy this property, we suggest within 24hrs prior to you exchanging on the property a second and final inspection should be commissioned by the buyer, regardless of the original commissioning party of the initial report / this report. We recommend that you read this report in full and where I state that there were obstructions/limitations/exclusions within this report, it is best that you have any obstructions removed by the vendors/tenants/listing agents so I can inspect every possible area of the property so you are aware of the true conditions of the entire property prior to you committing to buying this property*

**SUB\_Q: AT THE TIME OF OUR INSPECTION, WE ASSUME THIS PROPERTY WAS OCCUPIED BY**

**The vendor**

**Tenants**

**Empty property - no occupants nor staged for sale**

**Empty Property - Staged for the purpose of the sale of the property**

**Empty Property - Building Site**

## 2. ARE THE INTERNAL - CEILINGS, WALLS & FLOORS FREE OF DEFECTS ?

**No significant defects were sighted within the internal CEILINGS of this property** The ceilings within this property appear to be in good condition under natural daylight, they appear to be defect free at the time of this inspection Note: If the house was recently painted, we cannot pick up defects in the plasterboard ceilings nor old or existing moisture issues within the ceilings and cornices We only report on major defects and not minor imperfections or typical wear and tear issues within older plasterboard ceilings and cornices Our objective is to advise on areas of concern that may involve future liability or expenses, I cannot see any major issues within this property within the ceiling linings or cornices in their current condition

**No major defects were noted within the WALLS within this building** The internal wall linings are in good condition at the time of the inspection Note If the house was recently painted for the sale of the property we cannot see defects (structural or cosmetic) concealed by the recent work Defects, if any, will normally re-appear within the next three to twelve months (In the change of seasons) if this is the case please re-contact our office to re-engage us to carry out a second inspection to obtain a true position of the property

**The flooring of this property appears to be in good order at the time of inspection** The floor has been assessed as to be in fair and reasonable condition for its age This assessment is carried out within the building only, this assessment is not including the condition of the substrate, the substrate/structure of the floor is part of the 'Sub Floor' assessment found within this report

**I saw no significant moisture issues within the internal habitable rooms within this building** No moisture issues were seen within the walls, floors and ceilings at the time of my inspection

**No significant defects were seen within the walls, floors and ceilings within this building at the time of my inspection based on using no mechanical equipment (no torches, no thermal cameras, no moisture meters)** Every building has minor imperfections and the objective of a pre-purchase report is to identify major defects, and it is my opinion that this building has no significant or major defects within the building that I could see at the time of my inspection that would raise concerns to me

### SPECIAL NOTE: RE INTERNAL CEILINGS, WALLS, FLOORS / MOISTURE RELATED ISSUES

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#### SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE - CEILING

**No significant defects were seen within the ceilings** The ceilings within this property appear to be in good condition under natural daylight, they appear to be defect free at the time of this inspection Note: If the house was recently painted, we cannot pick up defects in the plasterboard ceilings nor old or existing moisture issues within the ceilings and cornices We only report on major defects and not minor imperfections or typical wear and tear issues within older plasterboard ceilings and cornices Our objective is to advise on areas of concern that may involve future liability or expenses, I cannot see any major issues within this property within the ceiling linings or cornices in their current condition

**Minor imperfections within the ceiling linings** Minor sagging and / or minor imperfections in places, I can see there is a combination of the following: 1. Sagging of the plasterboard ceilings in various locations 2. Minor defects found within the plasterboard ceiling linings 3. Minor cracks found in the cornices and wall junctions 4. Minor cracks found in the cornices and ceiling linings NOTE: Any property beyond two years old can have cracks in the plasterboard and cornices and this will be rated a minor defect, and those defects may not all reach this report If the property was recently painted, we cannot pick up defects in the plasterboard ceilings nor old or existing moisture issues within the ceilings and cornices We only report on major defects and not minor imperfections or typical wear and tear issues within older plasterboard ceilings and cornices Our objective is to advise on areas of concern that may involve future liability or expenses, I cannot see any major issues within this property within the ceiling linings or cornices in their current condition Any cracks in the ceiling linings that have roof access above could have been created by a service contractor or owner when accessing the roof void, making the cracks within the ceiling non-critical I recommend that all roof voids are not to be used as storerooms, as the additional loads to the roof framing, plasterboard linings and cornices may create or contribute towards cracks within the ceilings and cornices (Unless a new timber floor structure and floor lining boards are installed and are detached to the ceiling joints)

**Sagging through center of the ceiling sheets** There is sagging through the center of the sheets, this is a common occurrence in properties and it can be left as is. The ceiling plasterboard sheets are normally securely fastened at the edges however the adhesive in the centre of the sheets may have let go, allowing some sag to take place, which is not structurally significant Sagging of the plasterboard ceiling is evident in places which is very common in period style properties, as the timber battens give way, or in newer properties or renovated properties ceilings glue gives way creating minor defects within the plasterboard ceiling linings, this leads to minor cracks found in the cornices and wall junctions and minor cracks found in the cornices and ceiling linings

**Minor cornice cracking** Minor cornice cracks are seen between the cornices and ceilings as well as the cornices and walls, this is possibly due to normal movement within a property and is considered an acceptable and non-structural issue 1. Cracks were found within the cornices where each length of cornices meet and are set together 2. A good plasterer and painter can repair and make good these issues quite easily and cost effectively. All properties with the above issues should be monitored and if they further develop, a structural engineer should be engaged to assess and report on the entire property

**Moderate ceiling cracks** Moderate settlement cracks were noted within the ceiling linings. The ceilings require repair or maintenance to be carried out. Advice should be sought from an experienced wall and ceiling plastering company / carpenter / builder or engineer

**Major ceiling cracks** Major settlement cracks were seen, possibly due to : 1. Timber framing movement or 2. Additional loads found within the roof space bearing upon the ceiling and roof frames or 3. Sagging and over spanning timber members within the roof space Advice should be sought from an experienced wall and ceiling plastering company, builder, carpenter or structural engineer

**Poor ceiling sheet linings and joints** Poor ceiling joints and setting was noted to the ceiling lining. Re-topping of the joints is recommended. Advice from an experienced wall and ceiling plastering contractor is required.

**Slight cracking to ceiling joints & cornices** Minor cracks evident at the plasterboard ceiling joints, these cracks are not structurally significant. 1. Some sagging of the plasterboard ceiling is evident in places 2. Minor defects found within the plasterboard ceiling linings 3. Minor cracks found in the cornices and wall junctions 4. Minor cracks found in the cornices and ceiling linings NOTE: A property beyond two years old can have cracks in the plasterboard and cornices and it is not a major defect

**No expansion joint in the ceiling spanning greater than 12 L/M** An expansion joint should be installed in all ceilings that span greater than 12L/M in the one direction Expansion joints avoid uncontrolled cracks within the ceiling or cracks where the ceiling and cornices meet or ceiling and wall linings meet Minor defect if addressed now by a gyprocker / plasterer

**Water stains / Discoloration in the ceiling / cornices** There are imperfections in the ceiling, it appears to be old moisture stains within the ceiling / cornices A painter can repair and make good these issues quickly and inexpensively

**Yellow stain in the ceilings** Yellow stains normally mean that there was or still is water / moisture ingress into the internal elevations of the property, this should be looked at to see if it is a current issue or an old and past / rectified issue, and then all that is required is prep work and re-painting of the area in question

**Yellow stain in the cornices** Yellow stains in cornices are not ideal as it could mean that there was or still is water / moisture ingress into the property Further investigation is recommended to see if it is a current issue or an old issue

**Mould seen within the ceiling** Mould should always be removed and the cause found and rectified, if not already done so when you take ownership of this property

**Mould in the cornices** The moisture source should be found and rectified, so the surface of the cornices and their surrounding areas can be treated

**Moisture damage to the bathroom ceiling** Further investigation is recommended to confirm the source / cause of the defect

**Moisture damage to the laundry ceiling** Additional investigation is recommended to confirm and find the reason for the defect

**Moisture damage to the bedroom ceilings** Further investigation recommended confirming the source of the moisture

**Moisture damage to the hallway ceilings** The source of the water ingress is important to understand, to eliminate this issue and any further issues developing

**Moisture damage to the kitchen ceiling** It's best to have the source of the water supply addressed / confirmed to eliminate any additional defects developing in the ceiling

**Moisture damage to the living room ceiling** Further investigation is required to confirm the source of the moisture

**Moisture damage to the dining room ceiling** Further investigation is required to confirm the source of the moisture so it doesn't develop any further than in its current state

## SPECIAL NOTE: RE CEILINGS

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## Defect Rating: MINOR DEFECTS

## Defect Rating: MAJOR DEFECTS

## Defect Rating: SAFETY HAZARDS

## Defect Rating: FURTHER INVESTIGATION REQUIRED

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE - WALLS

**No significant defects were seen within the walls** The internal wall linings are in good condition at the time of the inspection Note If the house was recently painted for the sale of the property we cannot see defects (structural or cosmetic) concealed by the recent work Defects, if any, will normally re-appear within the next three to twelve months (In the change of seasons) if this is the case please re-contact our office to re-engage us to carry out a second inspection to obtain a true position of the property

**Minor cracks to plaster linings, typical settlement cracks found within a building** Minor cracks were seen within the internal wall linings due to normal settlement and can be left as is Hairline cracks in the wall linings are normal and they are normally fixed up by a painting contractor when a property is re-painted A normal life cycle for painting a property internally is every six to ten years Note If the property was recently painted for sale, we will not be able to see the defects (structural or cosmetic) concealed by the recent work Defects, if any, will normally re-appear within the next three to twelve months (in the change of seasons) The most common periods to see cracks in walls are in the summer period when properties foundation moisture content is lowered or in the reverse if the improvements were carried out in summer, if this is the case, please re-contact our office to re-engage us to carry out a second inspection to obtain a true position of the property

**Moderate cracks within the wall linings (larger than hairline cracks), clay soil movement** The cracks evident are common in properties of this age, but they should be monitored to see if they develop any larger than their current state These cracks are due to a variation in the moisture content in foundation material, which causes expansion and contraction and subsequent movement of the footings. High clay content in the ground is a common contributing factor to cracks or defective / leaking stormwater lines Period style properties are built with lime mortar within the brick joints and within the internal render linings, lime mortar is weak and unforgiving to the continual settlement of a building, and due to the weakness of the lime mortar these cracks are common to see in properties built pre 1960s and expected to be seen in most properties built before the 1960s and / or in homes that are in original conditions (unrenovated)

**Minor Imperfections in the walls** The imperfections could easily be rectified prior to the next painting.

**Bulging wall linings** *Bulging of linings was identified, and should be assessed by a carpenter to determine why the linings have been detached.*

**Masonry walls, missing expansion / control joints in masonry wall** *Best building practice is to have control joints or expansion joints at no greater than 6m spacing for masonry walls (internally and externally)*

**Timber framed walls, missing expansion / control joints in timber wall** *Missing expansion / control joints in timber framed walls lined spanning over 6m in length Best building practice is to have control joints or expansion joints at no greater than 12m spacing for timber framed walls*

**Dampness and / or staining of the wall linings / skirting** *Dampness and / or staining was identified as a result of : 1. Leaking water pipes or 2. Rising damp or 3. Rainwater entry or 4. Blocked cavity or 5. Non-cavity brick wall or 6. Missing weep holes in the external walls or 7. Missing or defective damp proof course A licensed building contractor or specialised contractor should be engaged to determine the cause(s)*

**Yellow stain in the wall linings** *Yellow stains normally mean that there was or still is water / moisture ingress into the internal elevations of the property, this should be looked at to see if it is a current issue or an old and past / rectified issue, and then all that is required is prep work and re-painting of the area in question*

**Mould seen within the wall linings** *Mould should always be removed and the cause found and rectified, if not already done so when you take ownership of this property*

**Moisture damage to the bathroom walls** *Further investigation is recommended to confirm the source / cause of the defect*

**Moisture damage to the laundry walls** *Additional investigation is recommended to confirm and find the reason for the defect*

**Moisture damage to the bedroom walls** *Further investigation recommended confirming the source of the moisture*

**Moisture damage to the hallway walls** *The source of the water ingress is important to understand, to eliminate this issue and any further issues developing*

**Moisture damage to the kitchen walls** *It's best to have the source of the water supply addressed / confirmed to eliminate any additional defects developing in the ceiling*

**Moisture damage to the living room walls** *Further investigation is required to confirm the source of the moisture*

**Moisture damage to the dining room walls** *Further investigation is required to confirm the source of the moisture so it doesn't develop any further than in its current state*

**Moisture in the external single skin masonry walls / WC room** *Typical non-habitable room issue*

**Moisture in the internal garage walls** *Typical, as most garages are only built with a single skin masonry wall Under Australian Standards a garage is known as a non-habitable room and should moisture be found*

*within the garage it is not recognized as a major defect by some members within the Department of Fair Trading*

**Moisture in the basement walls** *Not ideal and it should be addressed asap*

**Moisture in the subfloor walls** *A common problem and no real consequence to the property*

## **SPECIAL NOTE: RE WALLS**

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## **Defect Rating: MINOR DEFECTS**

## **Defect Rating: MAJOR DEFECTS**

## **Defect Rating: SAFETY HAZARDS**

## **Defect Rating: FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE - FLOORS**

**No significant defects were seen in the floors** *The floor has been assessed as to be in fair and reasonable condition for its age This assessment is carried out within the building only, this assessment is not including the condition of the substrate, the substrate/structure of the floor is part of the 'Sub Floor' assessment found within this report*

**Minor spring / bounce / squeaky floor** *The flooring has minor spring and bounce, which is a typical issue within a timber floor and a building of this age All timber floors tend to be bouncy underfoot when assessed If the furniture begins to move when normal foot traffic is applied to the floor, a carpenter must be engaged to assess and report on the floor substructure (ground floor bearers and joists and first or second floor, floor joists) for the structural integrity of the floor A pest contractor must inspect, report on and treat this property every six to nine months for pest activity Good crossflow ventilation to the subfloor areas is a very important factor to maintain a healthy subfloor structure (structural members and floor coverings) Ample air vents or a simple mechanical fan should be installed to encourage movement of air to the subfloor areas throughout the property if it does not already exist*

**No expansion joints installed to the floor finishes** *There are no expansion joints installed to the floor finishes All floors must have expansion joints It is good building practice to have an expansion joint every 5.5 L/M in timber flooring or up to 6 L/M maximum as per DFT Standards & Tolerances 12.10 Movement Joints Expansion joints should be installed to all timber, concrete, or tiled floor finishes that have a length of 5.5m or an area greater than 5.5m squared for tiled or concrete floor finishes*

**Cracked floor tiles** *The finished floor linings are not perfect, but acceptable and serviceable, they do not create a trip hazard in their current state*

**Old veranda(s) have been enclosed and now this area is an internal habitable space, but the floor is still sloping from the original build, it is common for the floor to be sloping, bouncing and squeaking underfoot and no ant capping's installed to the underside bearers and joist** *It is very common to see the floor to be sloping to the external walls to allow water run off from the original build of the deck It is common for the floor to be sloping, bouncing and squeaking underfoot and no ant capping's installed to the underside bearers and joists*

**Floor out of level** *The flooring finish is out of level This is may not be structurally significant Some floors are out of level because the room may have been an external veranda which has now been converted into a new room and the purpose and use of the room has changed but the floor finish and levels may have not changed Some floors are out of level due to subsided piers or substrate structures*

**Split floorboards** *There are split and cracked floorboards found within the property*

**Borer / pest affected floorboards** *There are traces of wood eating pests / activity within the floorboards, which should be assessed by a suitability qualified pest contractor*

**Moisture / staining found within floor linings** *There is evidence of moisture within the floor linings, further investigated by a suitability qualified contractor is recommended*

**Raised / defective carpet / vinyl floor coverings, which may pose a safety risk if left as is** *Raised or defective carpet / vinyl floor coverings, which may pose a safety risk if left as is It's best to have all raised / floor linings (carpet / vinyl) removed to limit the possibility of a trip hazard*

**Damaged timber skirting boards** *Imperfections found within the skirting boards that need to be assessed and made good by a carpenter and painter*

**Damaged tile skirting boards** *Loose and defective skirting tiles in need of repair by a tiler or handyman*

**Internal floors could be affected by water entry due to the external floors and internal floor close to being flush / level to each other, water may enter the building during a raining period or if the external floor has pooling water or if the external area floods**

**Loose and drummy floorboards** *Minor repairs can be fixed quickly and easily The floor linings need to be lifted and glued down / fixed down to the substrate to fix this problem*

**Loose and drummy floor tiles** *A tiler needs to lift the floor tiles and re-lay them, or if there are excess tiles on-site or if new tiles are available they will need to be installed*

**Cracks seen within the floor tiles** *A tiler needs to lift the defected floor tiles and re-lay new floor tiles*

**There is a bow in the timber floor**

**The floor is sloping to one side**

**I could feel the floorboards deflecting under the weight of my own body under a normal foot traffic assessment**

**The timber floor was completely covered by carpet and I could not see nor assess the timber floor linings below the carpet**

**The timber floor is concealed by a vinyl flooring, I cannot comment on the floorboards below**

**The timber floor is covered by floor tiles, I cannot comment nor confirm the timber floor supporting the finished floor tiles within this property, I assume all is in order**

**There is engineered timber floorboards installed within this property, I cannot confirm if these boards need to have a control joint installed within the finished floorboards**

**There was cupping seen within the internal timber floorboards**

## **SPECIAL NOTE: RE FLOORS**

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## **Defect Rating: MINOR DEFECTS**

## **Defect Rating: MAJOR DEFECTS**

## **Defect Rating: SAFETY HAZARDS**

## **Defect Rating; FURTHER INVESTIGATION REQUIRED**

**SUB Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN HOME IN RELATION TO - MOISTURE**

**No significant moisture issues are seen within this property!** We inspected this property and no mould or moisture was seen within the internal walls, floors or ceilings. We did not use moisture meters, as a pre-purchase inspection is a visual inspection with no mechanical equipment being used. Properties are often prepared for the purpose of sale, and painters / tradesmen / handymen often remediate properties for the purpose of the sale and some events conceal past moisture issues which we cannot pickup on.

**Rising damp evident to lower portions of the walls / skirting** We have tested the walls and skirting and we have found excessive moisture within the walls / skirting We recommend a Hydraulic Engineer and a contractor specialising in rising damp to assess and advise on this issue

**Water stains within the internal walls, condensation / condensation damage seen within the wall linings** On inspection of the wet rooms, I saw signs of condensation, an environmental scientist should be engaged to confirm the state of play within the room

**Concrete slab edge dampness evident / concrete cancer** Concrete slab edge dampness evident, further investigation is required by a structural engineer or qualified concreter or licensed builder

**Ceiling water damage evident** Discolouration of the ceilings, further investigation is recommended to locate the source of the water entry

**Water entry / staining on the internal floor linings** Further investigation is recommended to locate the source of the water entry

**Walls adjacent to a wet room** Dampness found to the walls adjacent to a wet room Further investigation is recommended to locate the source of the water entry

**External doors, minor moisture seen to be entering the property via the external doors**

**External doors, considerable moisture entry is seen to be entering the property via the external doors**

**External windows, minor moisture seen within the house in and around the window frames / reveals / architrave**

**External windows, considerable amount of moisture seen within the house in and around the window frames / reveals / architrave**

**The external floors and internal floor are almost at the same height / level, and water could enter the building in a high driven / windy storm or if the external area floods**

I saw moisture within the internal non-cavity walls, this is a common issue found in : WC rooms, laundries, garages, rooms that used to be external veranda's which are now a habitable room, period buildings were commonly built with non-cavity brick walls, so every period building

**Moisture damage seen within the internal doors suites**

**Moisture damage seen within the internal window frames / window suites**

**Water stains seen on the internal walls**

**Water stains seen on the ceilings**

**Moisture damage seen within the timber skirting / architrave**

**Moisture damage seen within the doorjamb**

**Mould / Moisture seen in the SINGLE LEAF INTERNAL DOORS**

**Mold / Moisture seen in the ROBES DOORS / CUPBOARDS**

**Mould / Moisture seen in the CORNICES**

**Mould / moisture seen in the CEILINGS**

**Mould / Moisture seen in the WALLS**

**Mould / Moisture seen in the SKIRTING / ARCHITRAVE**

**Mould / Moisture seen in the DOORS**

## SPECIAL NOTE: RE MOISTURE

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**Defect Rating: MINOR DEFECTS**

**Defect Rating: MAJOR DEFECTS**

**Defect Rating: SAFETY HAZARDS**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**Incomplete Works - Area Under Construction and Excluded from this report** Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection is required once works have been completed

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## GENERAL COMMENTS

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**Overall Defect Rating: MINOR DEFECTS**

**Overall Defect Rating: MAJOR DEFECTS**

**Overall Defect Rating: SAFETY HAZARDS**

**Overall Defect Rating: FURTHER INVESTIGATION REQUIRED**

## 3. ARE THE INTERNAL & EXTERNAL - DOORS & WINDOWS - DEFECT FREE ?

**All internal doors appear to be in working order with no significant defects to report on** Doors are a moving object within a building, and they will require maintenance from time to time, especially if the doors are built out of timber You must factor in all internal doors will require periodic / minor repairs and adjustments to the door and door hardware (hinges and locks)

**All external doors and windows appear to be in working order at the time of my inspection** External windows and doors exposed to the elements deteriorate over time and minor repairs are required to the external elevations of the doors and windows to keep moisture out of the internal envelope of the building and wall cavities and to keep the doors and windows in operating order External timber doors and windows conceal moisture damage within the junctions between the door and window jambs and door leafs and window panes, it is best to inspect, repair and paint all internal and concealed junctions to alleviate the development of wood rot and to maintain a watertight internal environment within the building

**Bedroom windows appear to be compliant with construction regulations based on the age of the building and its original build period** It is best that all bedroom windows are fitted with window restriction locks limiting the windows to a maximum 125mm opening, regardless of the age of the property Window restriction locks limit a child / person falling out of a bedroom window when there is a fall greater than 2m which could cause serious / fatal injuries should a child or person fall out of the window

**Living room / non-bedroom windows appear to be compliant with construction regulations based upon the age of the original build** All living room / bathroom / hallways and habitable areas of a house, other than bedroom, windows should have a window sill height of no less than 1m from the internal finished floor level and no fixed or loose objects should be placed up against the wall or window creating a platform / elevated area / climbable area for person / child to climb on top of and accidentally fall out of an open window

**All internal and external doors and windows appear to be in good order at the time of my inspection**

**SPECIAL NOTE: RE INTERNAL & EXTERNAL DOORS & WINDOWS**

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**SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE – INTERNAL DOORS**

**The internal doors are free of any major defects** All doors and door hardware were in good working order at the time of the inspection

**Moisture damage present within the internal elevation of the external doors** External door(s) are damaged due to not being adequately protected from the weather

**One or more doors bind on the frame** One or more doors bind on the door frame The doors require minor adjustment and once rectified the doors are to be appropriately protected (Painted or Stained, so they are sealed)

**Minor maintenance required to the internal doors** Minor maintenance required to internal doors and door jamb so the doors close and lock correctly and as originally installed and designed

**Door hardware requires adjustment** Door hardware requires adjustments so they operate as designed.

**Robe doors bind and they need attention to have them working well and as originally designed and installed**

**Doorjambs have moisture damage seen at the base of the door jambs** A flood test should be commissioned to see where the moisture is coming in from

**The doors have minor moisture seen within the doors leaf's entering the property via the external doors**

**Missing door hardware** Minor defect, easy and inexpensive fix

**Defective door hardware**

**Linen cupboard doors bind up on each other** A carpenter can adjust and make good, It's an easy fix

**Linen cupboard doors bind on the doorjamb** Linen cupboard door or doorjamb needs to be adjusted

**Laundry doors bind on the doorjamb** The door needs to be adjusted so it doesn't strike and deflect the door and doorjamb

**Laundry doors bind upon each other** One or both of the doors need to be modified / adjusted

**The doors need to be sanded back and re-painted**

**The doors need to be prepared / worked on and re stained with lacquer / clear coat**

**SPECIAL NOTE: RE INTERNAL DOORS**

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**Defect Rating; MINOR DEFECTS**

**Defect Rating; MAJOR DEFECTS**

**Defect Rating; SAFETY HAZARDS**

**Defect Rating; FURTHER INVESTIGATION REQUIRED**

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE – EXTERNAL DOORS & WINDOWS – METAL FRAMED

**Yes, the external doors are defect free**

**Weather damage evident to external door(s)** External door(s) are damaged due to not being adequately protected from the elements.

**One or more window / door suites have cracked glass** One or more windows have cracked glass It would be best that the cracked glass be replaced for the safety of the occupants and the visitors to the property

**One or more window / door units require maintenance** One or more windows require maintenance carried out to maintain the operation and function of the external windows / doors

**Staining / corrosion evident** Staining / corrosion evident in the metal frame or window and door suite(s)

**Sash / spiral balance requires replacing**

**Hardware Missing**

**Window & door hardware not operating correctly** Window hardware is damaged or not operating as designed A carpenter / glazier or handyman can easily repair and make good the issues

**This house looks newly built / renovated (Post June 2013) I saw NO WINDOW restriction locks installed to prevent a person from falling out of the bedroom window** This is a major safety hazard if the house was built or renovated after June 2013, National Construction Code / Building Code Of Australia adopted a new policy for window restriction locks to be installed to all new and renovated projects, regarding window locks within bedrooms In June 2013, all new building projects / renovated homes, that have windows within a bedroom with a fall greater than 2m and a window or door sill height of 1.7m or more do not need window restriction locks installed to bedroom windows or sliding doors Window restriction locks need to be

applied to all windows that open greater than 125mm, with a fall greater than 2m, to prevent a child / person falling out of the window Window restriction locks can be easily installed within two minutes to most windows Window restriction locks cost between \$1-\$10 per lock If this house doesn't have window locks installed when you move in, it's an easy fix, for any handyman homeowner I recommend that you have the locks installed yourself by a locksmith, as these locks save lives, especially with young kids when they jump on their bed or when windows are installed close to the finish floor level within a bedroom

**The house is old / not built nor renovated post June 2013, but there are NO WINDOW restriction locks installed, preventing a person / child from falling out of the bedroom window** I feel the house was built pre June 2013, therefore no window locks are expected to be found in this property, by law But I recommend that you have them installed to all bedroom windows to prevent a child / person from falling out the window Current legislation states that all new building projects / renovated homes that have windows within a bedroom, with a fall greater than 2m, the window sill height must be 1.7m from the internal finished floor level, If the windows are to open freely and greater than 125mm. Window restrictors need to be applied to all windows that open greater than 125mm, with a fall greater than 2m, to prevent a child / person from falling out of the window if you want the old windows to comply with current building requirements Window restriction locks can be easily installed within two minutes to most windows Window restriction locks cost between \$1-\$10 per lock If this house doesn't have the window locks installed when you move in, its an easy fix for any handyman homeowner If this house doesn't have the window locks installed when you move in, I recommend that you have the locks installed yourself or by a locksmith as these locks save lives, especially with young kids when they jump on their bed or when windows are installed close to the finish floor level within a bedroom

**I saw glass delaminating within the windows** Delamination is a reduction or potentially a total loss in the adhesive bond between the glass panes and the interlayer and is most prevalent in panes of laminated glass were a Poly-vinyl Butyral (PVB) interlayer is used The increase in delamination is most prevalent during warm moist weather

**Not all windows / doors were able to be opened and tested on the day of the inspection** All doors and windows need maintenance and regular upkeep Prior to purchasing this property, I suggest that you have the vendor / agent open all doors and windows for your assessment / consideration as they can become expensive to repair

#### **SPECIAL NOTE: RE EXTERNAL DOORS & WINDOWS (METAL FRAMED)**

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#### **Defect Rating; MINOR DEFECTS**

#### **Defect Rating; MAJOR DEFECTS**

#### **Defect Rating; SAFETY HAZARDS**

#### **Defect Rating; FURTHER INVESTIGATION REQUIRED**

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE – EXTERNAL DOORS & WINDOWS – TIMBER FRAMED

**The external doors and windows were in good condition at the time of my inspection** "The external windows and doors were in good order at the time of the inspection All external windows and doors should be monitored and maintained on a twelve to eighteen month maintenance program to ensure the paint or stain applied to the window / door suites and hardware are in good order at all times The most important factor to consider when a house has timber windows and doors is the maintenance of the paint or stain application / seal to preserve the timber members within the window and door suites

**One or more window / door units have cracked glass**

**There were windows / doors that require minor maintenance and repairs** One or more windows require maintenance carried out to maintain the operation and function of the external windows / doors

**The timber framed windows do not operate freely or lock up the property** The windows and doors do not operate freely and a carpenter needs to work on the door / window suites so the property can be locked up

**Evidence of minor rotting** Evidence of minor rotting found within the external doors / windows Repairs and re-painting are required by a painting contractor to preserve the timber members

**Evidence of major rotting** Timber fungal decay evident within the external door and window suites. A carpenter needs to replace the rotten timber and have the new and existing timber re-painted by a painter

**Sash cords require replacing** Sash cords are broken or in a poor state of repair and require replacing.

**Window hardware (sash / spiral balance) requires replacing or repairs** Repairs required to windows

**There was hardware missing from the door / window units**

**Window hardware damaged / not operating** Window hardware is damaged or not operating as designed.

**One or more windows are painted shut** One or more windows are painted shut

**There is weather damage evident to external door(s)** External door(s) are damaged due to not being adequately protected from the elements.

**Weather damage evident to external window(s)** The external window(s) are damaged due to not being adequately protected from the elements

**The external windows / doors / architrave and mouldings need to be maintained with paint / stain to preserve them from further deterioration** All external timber windows and doors should be re-painted or stained, as the existing timber units are slightly deteriorated and in need of re-coat / repair, Minor defect

**This house looks newly built / renovated (Post June 2013) NO WINDOW restriction locks are installed to prevent a person from falling out of the bedroom window** This is a major safety hazard if the house was built or renovated after June 2013, National Construction Code / Building Code Of Australia adopted a new

policy for window restriction locks to be installed to all new and renovated projects, regarding window locks within bedrooms In June 2013, all new building projects / renovated homes that have windows within a bedroom with a fall greater than 2m and a window or door sill height of 1.7m or more do not need window restriction locks installed to bedroom windows or sliding doors Window restriction locks need to be applied to all windows that open greater than 125mm, with a fall greater than 2m, to prevent a child / person falling out of the window Window restriction locks can be easily installed within two minutes to most windows Window restriction locks cost between \$1-\$10 per lock If this house doesn't have window locks installed when you move in, it's an easy fix, for any handyman homeowner I recommend that you have the locks installed yourself or by a locksmith, as these locks save lives, especially with young kids when they jump on their bed or when windows are installed close to the finish floor level within a bedroom

**The property is old / not built nor renovated after June 2013, but there are NO WINDOW restriction locks installed, preventing a person / child from falling out of the bedroom window, should the new owners want the windows to comply with current new construction regulations, wind** "I feel the house was built pre June 2013, therefore no window locks are expected to be found in this property, by law But I recommend that you have them installed to all bedroom windows to prevent a child / person from falling out the window Current legislation states that all new building projects / renovated homes that have windows within a bedroom, with a fall greater than 2m, the window sill height must be 1.7m from the internal finished floor level, If the windows are to open freely and greater than 125mm. Window restrictors need to be applied to all windows that open greater than 125mm, with a fall greater than 2m, to prevent a child / person from falling out of the window if you want the old windows to comply with current building requirements Window restriction locks can be easily installed within two minutes to most windows Window restriction locks cost between \$1-\$10 per lock If this house doesn't have the window locks installed when you move in, its an easy fix for any handyman homeowner If this house doesn't have the window locks installed when you move in, I recommend that you have the locks installed yourself or by a locksmith as these locks save lives, especially with young kids when they jump on their bed or when windows are installed close to the finish floor level within a bedroom"

**There are glass window panes that are delaminating / defective** Delamination is a reduction or, potentially, a total loss in the adhesive bond between the glass panes and the interlayer and is most prevalent in panes of laminated glass where a Poly-vinyl Butyral (PVB) interlayer is used. The increase in delamination is most prevalent during warm moist weather.

**The windows need to be prepared and re-painted**

**The windows need to be prepared and re-stained**

**The doors need to be sanded back / prepped & re-painted**

**The doors need to be sanded back / prepped & re-stained**

**Not all external doors and windows were able to be opened / inspected / tested at the time of my inspection** All doors and windows need maintenance and regular upkeep Prior to purchasing this property, I

suggest that you have the vendor / agent open all doors and windows for your assessment / consideration as they can become expensive to repair

## SPECIAL NOTE: RE EXTERNAL DOORS &WINDOWS (TIMBER FRAMED)

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### Defect Rating; MINOR DEFECTS

### Defect Rating; MAJOR DEFECTS

### Defect Rating; SAFETY HAZARDS

### Defect Rating; FURTHER INVESTIGATION REQUIRED

SUB\_Q: ARE THE BEDROOM WINDOWS COMPLIANT?

**Yes, All bedroom windows are compliant with current regulations** To my best knowledge, the bedroom windows are compliant with current regulations as per the date of my inspection and subject to the age of the original build / renovation to the bedroom windows

**Yes they do, the windows have FIXED louvers / grill installed to the openings making the windows compliant** At the time of the inspection, fixed security grills / restrictors were seen to be installed, if these items were to be removed the area would be no longer compliant

**No they dont, there are windows that do NOT comply with current new construction regulations** The windows should be brought up to current regulations for the safety of the occupants and visitors of the property When windows can open greater than 125mm with a fall greater than 2m, a window restriction lock should be installed If you choose not to install window locks to the bedroom windows, it's best not to install a bed or objects near the windows in order to limit the possibility of a falling person / children from the windows (Kids tend to jump on beds and this could be fatal if a child was to jump out / fall out of a window which has a fall greater than 2m) Installing a window restriction lock is a quick and easy task and its inexpensive for the new owners of this property. This is a Safety hazard / Major defect

**NO, LOWER GROUND FLOOR BEDROOM WINDOWS ARE NON-COMPLIANT** Safety hazard / Major defect

**NO, GROUND FLOOR BEDROOM WINDOWS ARE NON-COMPLIANT** Safety hazard / Major defect

**NO, FIRST FLOOR BEDROOM WINDOWS ARE NON-COMPLIANT** Safety hazard / Major defect

**NO, SECOND FLOOR BEDROOM WINDOWS ARE NON-COMPLIANT** Safety hazard / Major defect

**NO, THIRD FLOOR BEDROOM WINDOWS ARE NON-COMPLIANT** Safety hazard / Major defect

**NO, MULTIPLE LEVELS WITHIN THE BUILDING HAVE WINDOWS WHICH ARE NON-COMPLIANT** This is a Safety hazard / Major defect

**NO, WITHIN THE ROOF VOID / ATTIC WINDOWS ARE NON-COMPLIANT** *This is a Safety hazard / Major defect*

**Location:**

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**SPECIAL NOTE: RE Bedroom Windows** *This is a Safety hazard / Major defect*

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- *dfasdfasdfasdfasdfasd*

**Defect Rating; MINOR DEFECTS**

**Defect Rating; MAJOR DEFECTS**

**Defect Rating; SAFETY HAZARDS**

**Defect Rating; FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: OTHER THAN BEDROOM WINDOWS, ARE THERE ANY OTHER NON-COMPLIANCE WINDOWS?**

**NO, All other windows are compliant with current regulations** *To my best knowledge, the windows in the other internal rooms are compliant with current regulations as per the date of my inspection*

**YES, there are non-compliant windows within this property that do not comply with current regulations.** "I assume the windows may have complied when they were originally built". *There is a window sill found within the property that is lower than 865mm from the internal finished floor level with a fall greater than 4 metres The window in question must not open greater than 125mm and must have a fixed barrier installed at a minimum of 865mm The barrier must not have horizontal elements between 150mm and 760mm that facilitate climbing*

**Location: TOY ROOM**

**Location: BATHROOM**

**Location: KITCHEN**

**Location: LAUNDRY**

**Location: ENSUITE**

**Location: HALLWAY**

**Location: STAIRWELL**

**Location: STUDY**

**Location: RUMPUS ROOM**

**Location: DINING ROOM**

**Location: LIVING ROOM**

**Location: SEWING ROOM**

**Location:**

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**SPECIAL NOTE:**

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**Defect Rating; MINOR DEFECTS**

**Defect Rating; MAJOR DEFECTS**

**Defect Rating; SAFETY HAZARDS**

**Defect Rating; FURTHER INVESTIGATION REQUIRED**

**Incomplete Works - Area Under Construction and Excluded from this report** *Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection required once works have been completed*

**GENERAL COMMENTS**

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**Overall Defect Rating: MINOR DEFECT**

**Overall Defect Rating: MAJOR DEFECT**

**Overall Defect Rating: SAFETY HAZARD**

**Overall Defect Rating: FURTHER INVESTIGATION REQUIRED**

#### **4. IS THE - 'KITCHEN' - FREE OF DEFECTS ?**

All kitchen cupboards appear to be in good order with no significant defects found

The kitchen benchtop has no major cracks or imperfections within the benchtop

Kitchen splashback is in good order

All kitchen plumbing (water supply, water distribution, fixtures & fittings) appeared to be in working order with no significant defects to report on subject to this visual inspection *Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor*

*load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.*

**All Electrical fixtures and fittings (light switches & powerpoints) within the kitchen appear to be in working order** Our office carries out a secondary assessment of the Electrical trade for each inspection We recommend that you contact our office and purchase the additional Electrical Trade Assessment which is a comprehensive assessment of the Electrical trade within this property. The difference is that we physically test the Electrical fixtures and fittings, together with applying a load test of the electrical system looking for faults within the powerpoints, light fittings, switches, sub-board and smoke alarms Our fees for the additional element / trade are: Electrical - \$150 + GST

**We recommend that you buy a copy of the existing Plumbing & Electrical Assessment Report or commission your own Plumbing & Electrical Report, which is over and above what is required within the Australian Standards Pre-Purchase Building & Pest Report** These reports are physical load tests of the water supply, water distribution, sewer & stormwater as well as the electrical trade covering the power supply, light cabling, fixtures and fittings, powerpoints, smoke alarms & switchboards. These reports can be purchased from our office by calling 9181 5989 for a fee of \$300 + GST should an existing Plumbing & Electrical Report already be available for this property or should we be required to re-attend site to carry out such a report our fee would be \$450 + GST

#### SPECIAL NOTE: RE KITCHEN

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**SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – KITCHEN DOORS & DRAWER FRONTS**

**The doors and drawer fronts are free of significant defects** *The doors and drawers of the kitchen cupboards were in good working order at the time of inspection*

**Cupboard doors / drawers misaligned** *Cupboard doors / drawers are misaligned requiring adjustment or replacement of the hardware*

**Drawers swollen and binding** *Drawers are swollen due to exposure to excess moisture and are binding, modifications are to be made if able, or item to be replaced*

**Door and / or drawer hardware loose** *Door and / or drawer hardware is loose and requiring adjustment*

**Door and / or drawer hardware missing** *Door and / or drawer hardware is missing, replacement item required to match existing*

**The kitchen is old and in need of repair / replacement**

**The kitchen doors and drawer fronts and end panels need to be sanded back and re-coated**

**The kitchen joinery is beyond repair, a new kitchen is required**

#### SPECIAL NOTE: RE DOORS & DRAWERS

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- *asdfdasdfasdfsadf*

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARDS**

**Defect Rating: FURTHER INVESTIGATION**

**SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – KITCHEN BENCHTOP**

**The benchtop is free of significant defects** *The kitchen benchtop was in acceptable condition at the time of the inspection*

**Edge lifting around sink** *Edge lifting around sink which may allow water entry to the cupboards below*

**General delamination due to age** *General delamination of benchtop due to the age of the kitchen fit-out*

**Silicone to the benchtop and splashback defective** *Silicone to the benchtop and splashback junction is missing or incomplete requiring re-applying*

**Stone benchtop chipped** *Stone benchtop can be seen to be chipped*

**Stainless steel benchtop scratched** *Stainless steel benchtop is scratched*

**Laminate benchtop chipped** *Laminate benchtop can be seen to be chipped*

**Stone benchtop cracked** *Stone benchtop can be seen to be cracked*

**Subsided benchtop**

**Swollen benchtop**

**Moisture damage seen within the benchtop**

## **Cracked benchtop**

## **Chipped benchtop**

**The kitchen is old and a new benchtop is required**

### **SPECIAL NOTE: RE BENCHTOP**

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- *dasddasdfasdsadasfsadfsdfasdasf*

### **Defect Rating: MINOR DEFECTS**

### **Defect Rating: MAJOR DEFECTS**

### **Defect Rating: SAFETY HAZARDS**

### **Defect Rating: FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – KITCHEN CUPBOARDS / CARCASSES**

**The cupboards are free of any major defects** *The kitchen cupboards were in acceptable condition at the time of the inspection*

**Within the undersink cabinet MINOR water damage was seen** *Cabinet under the sink can be seen to be damaged due to possible leaking waste or pressure lines*

**Within the undersink cabinet MAJOR water damage was seen** *Cabinet under the sink can be seen to be damaged due to possible leaking waste or pressure lines*

**The back wall of the kitchen cupboards has moisture damage seen within the internal linings, this could be due to moisture coming through the back wall or from the benchtop above** *Finding the water source and repairing it is recommended to alleviate any further damage to the kitchen cupboards / joinery*

**Undersink cabinet spillage damaged** *Cabinet under the sink can be seen to be damaged due to products stored within this space being spilled*

**Multiple cabinets water damaged** *Multiple cabinets can be seen to be water damaged due to a past or present water leak*

**Cupboards are beyond repair, replacement of kitchen joinery required**

### **SPECIAL NOTE: RE CUPBOARDS / CARCASSES**

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- *asdfadsfasdfasdfsdaf*

### **Defect Rating: MINOR DEFECTS**

## Defect Rating: MAJOR DEFECTS

## Defect Rating: SAFETY HAZARDS

## Defect Rating: FURTHER INVESTIGATION REQUIRED

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – KITCHEN SPLASHBACK

**The splashback was free of significant defects** *The kitchen splashback was in acceptable condition at the time of inspection*

**Cracked tiles** *Tile(s) in the splashback can be seen to be cracked, requiring replacement*

**Drummy tiles** *Tile splashback is drummy, this is due to inadequate or poorly applied adhesive To rectify this issue, the tiles would be required to be removed and re-applied with the correct and appropriate amount of adhesive*

**Loose / missing grout** *The grout between the tiles can be seen to be loose or missing The loose grout would be required to be removed with new grout applied to the affected area, this may result in a colour variance, to alleviate this, the entire area would need to be re-grouted*

**Gaps in sealant** *The sealant can be seen to be incomplete, requiring sealant to be re-applied to the affected area*

**Glass splashback cracked / chipped** *The glass splashback can be seen to be cracked / chipped.*

**Stone splashback cracked / chipped** *The stone splashback can be seen to be cracked / chipped.*

**Missing / defective sealant** *Tile splashback and benchtop junction has missing / defective sealant applied to the internal corner, this preserves the below bench cupboards from getting damp or damaged by water ingress*

## SPECIAL NOTE: RE SPLASHBACK

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- sdafasdfadfasdfasdfsafdasdfasdfsaf

## Defect Rating: MINOR DEFECTS

## Defect Rating: MAJOR DEFECTS

## Defect Rating: SAFETY HAZARDS

## Defect Rating: FURTHER INVESTIGATION REQUIRED

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – KITCHEN SINK, FLICK MIXER, WASTE & WATER DISTRIBUTION LINES

**The sink tapware and kitchen drainage and water supply appear to be in working order**    Special Note

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**The kitchen sink is free of significant defects**    Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**The kitchen tapware is free of significant defects**    Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to

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**The kitchen drainage line is free of significant defects** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Non metal sink cracked** Porcelain or stone sink can be seen to be cracked, this may affect the performance of the sink being able to retain water and would possibly require the item to be replaced Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**It appears that the Tap / Spout is loose** Tap / spout seen to be loose at the time of inspection; this item could be rectified with minor adjustment Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should

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**Metal sink dented / scratched, minor** The sink can be seen to be dented and / or scratched, this would be typical wear and tear and considered to be a minor defect Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Non metal sink chipped / cracked** Porcelain or stone sink can be seen to be chipped, this is likely to be a result of normal wear and tear and minor in nature This defect is likely to be able to be rectified by a stonemason Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

#### **There was no drainage line seen within the kitchen cupboards collecting water from the kitchen sink**

New plumbing is required within the kitchen cupboards to collect water from the kitchen sink Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact

nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**There was no water supply to the sink & tapware, further investigation to find out why no water was running within the kitchen tapware** It does not appear that there is water supply to the kitchen sink Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**The water supply to the sink appeared to be in working order with no obvious defects seen** The water supply to the kitchen appeared to operate and drain freely at the time of inspection Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the

Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Undersink drain trap / S-bend - appears to be blocked due to excessive residue on the pipes below the kitchen sink** The drain / trap / S-bend for the sink appears to be blocked in the past and / or possibly now due to the discolouration and residue on the waste line within the kitchen cupboard A plumber is required to unblock or replace the area in question Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Waste line outlet - appears to be leaking based on the residue seen on the waste line within the kitchen sink** The waste line outlet can be seen to be leaking, the area is to be assessed by a plumber with appropriate remedial works undertaken to rectify this issue Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Water supply lines appear to be leaking, which services the kitchen** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures

and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**No access to the kitchen cupboards due to excess belongings stored within the below bench cupboards** I was unable to access and assess the conditions of the plumbing (water supply and drainage points) due to excess items found within the kitchen cupboard at the time of my inspection Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

#### **SPECIAL NOTE: RE SINK, FLICKMIXER, WASTE & WATER DISTRIBUTION**

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- *asadfasdfasdfsaf*

#### **Defect Rating: MINOR DEFECTS**

#### **Defect Rating: MAJOR DEFECTS**

#### **Defect Rating: SAFETY HAZARDS**

#### **Defect Rating: FURTHER INVESTIGATION REQUIRED**

**Incomplete Works - Area Under Construction and Excluded from this report** Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection required once works have been completed

#### **GENERAL COMMENTS**

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**Overall Defect Rating: MINOR DEFECTS**

**Overall Defect Rating: MAJOR DEFECTS**

**Overall Defect Rating: SAFETY HAZARDS**

**Overall Defect Rating: FURTHER INVESTIGATION REQUIRED**

## 5. ARE THE - 'BATHROOMS' - FREE OF DEFECTS ?

**There were no defects sighted within the bathroom wall and floor tiles** There were no leaks

**There were no leaks seen within the bathroom, shower cubicle or adjacent areas** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**All plumbing fixtures and fittings, water supply and water distribution were assessed and appeared to be in working order** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**All lights, fans and powerpoints appeared to be in working order with no defects to report on within the electrical trade within the bathrooms** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor physical testing of any electrical fixtures and fittings, nor do we test the circuits for faults. However, our office does assess the Electrical trade of the property which is over and above the standard Building & Pest Report. Within our Electrical Report, we physically test all electrical fixtures and fittings, excluding the appliances, (excluding the rangehood, oven, hotplate, hot water system & insinkerator) seeking defects to be added to our report. The Electrical Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Electrical Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Electrical Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Electrical Report within the section of this report titled Electrical. Should you have not already purchased the Electrical Report, feel free to call our office and we can upgrade your initial report to have the Electrical Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

## SPECIAL NOTE: RE BATHROOMS

- *asdfadfasdfas*

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM - TOILET - PANS & CISTERNS

**The cisterns / pans / bidets appeared to be in working order at the time of my inspection with no major defects to report on** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Pan cracked** Cracks can be seen in the toilet pan, it would be advisable to have a plumber replace this item Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking

defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Cistern cracked / dislodged from the wall or pan below** Cracks can be seen in the cistern, it would be advisable to have a plumber replace this item. Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Pan & cistern cracked** Cracks can be seen in both the toilet and cistern, it would be advisable to have a plumber replace the entire toilet suite. Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Water leakage from pan** Water can be seen to leak from the toilet pan, this area is to be assessed by a plumber and the appropriate remedial works be undertaken to rectify this issue Special Note Under Australian

Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Water leakage from cistern** Water can be seen to leak from the toilet cistern, this area is to be assessed by a plumber and the appropriate remedial works be undertaken to rectify this issue Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Cistern flush mechanism faulty** The flushing mechanism is faulty, requiring assessment by a plumber and the appropriate remedial works be undertaken to rectify the issue Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to

call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**No water supply to the toilet cistern** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

## SPECIAL NOTE: RE TOILETS / PANS / CISTERNS

- asdfaefasdfs

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM - TOILET - PANS / CISTERNS / BIDETS - INSTALLATION

**Cisterns / pans / bidets appear to be correctly installed and look to be stable / rigid** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the

*Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.*

**Cistern partially detached from wall** *Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.*

**Pans inadequately secured to the floor** *Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.*

#### **SPECIAL NOTE: RE Toilets / Pans / Bidets - Installation**

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#### **Defect Rating: MINOR DEFECT**

#### **Defect Rating: MAJOR DEFECT**

#### **Defect Rating: SAFETY HAZARD**

#### **Defect Rating: FURTHER INVESTIGATION REQUIRED**

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM - TOILET – PANS & CISTERNS / BIDETS – WATER SUPPLY

**There is running water within the cisterns / pans / bidets** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**No running water was found within the toilet** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**The toilet has a missing flush button** Works are required to the toilet cistern Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated

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**I was unable to inspect the toilet due to objects placed over / obstructing the toilet** Further investigation is recommended once access is made available Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

## SPECIAL NOTE: WATER SUPPLY

- sadfasdfasdfasdf

### Defect Rating: MINOR DEFECT

### Defect Rating: MAJOR DEFECT

### Defect Rating: SAFETY HAZARD

### Defect Rating: FURTHER INVESTIGATION REQUIRED

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM - BATHTUB

**The bathtub is free of damage and looks to be installed correctly** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the

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**Chipped and / or cracked bathtub** *The bathtub was defective due to chips / cracks within the bathtub linings*

**Rusted & stained bathtub** *The bathtub was defective due to rusted and stained bathtub*

**Bathtub is NOT recessed into the wall, it is likely to leak at the junction** *New silicone is required around the bathtub to seal the bath substructure and adjacent walls from water ingress*

**Bathtub is POORLY recessed into wall and likely to leak** *New silicone is required around the bathtub to seal the bath substructure and adjacent walls from water ingress*

**The bathtub has NO silicone sealant between the wall / ledge tiles** *New silicone is required around the bathtub to seal the bath substructure and adjacent walls from water ingress*

**The bathtub has defective / old / poorly applied silicone around the wall tiles and hob tiles of the bathtub junction** *Re-sealing of the bathtub and its surrounding materials are recommended, so there are no leaks / pooling of water within the bathroom (easy fix)*

**The bathtub needs to be re-coated / re-sealed** *The bathtub internal lining is defective*

**The bathtub is old and in need of repair / replacement** *A new bathtub is recommended to be installed or the existing repaired and made good*

#### SPECIAL NOTE: BATHTUB

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- *fasdfasdf*

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM – BATHTUB - TAPWARE**

**The bathtub taps appear to be in good order** *Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water*

supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Leaks or cracks noted in pipes** Leaks within the pipework have been observed, assessment of the area is recommended by a plumber and the appropriate remedial works be carried out Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Defective taps / spout** A plumber should be engaged to inspect and repair any leaks or defective fittings Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

## SPECIAL NOTE: BATHTUB -TAPWARE

- asdasdfasdsadfsdfsadf

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM – BATHTUB - TILES

**The bathtub tiles appear to be free of defects** All tiles appear to be sealed and not cracked, drummy nor defected in any way at the time of this inspection

**There are cracked tiles** Tiles can be seen to be cracked, these tiles are to be replaced to avoid the possibility of water exiting the shower cubicle

**There are drummy wall tiles** Tiles have been assessed to be drummy due to failed or inadequate adhesive These tiles are to be removed if possible and re-laid correctly or replaced if this is not achievable

**There is loose / missing grout** Grout can be seen to be missing or dislodged requiring the area to be re-grouted

**Gaps in the silicone / sealant applied** Grout can be seen to be missing or dislodged requiring the area to be re-grouted

**Gaps in the silicone / sealant applied** Gaps can be seen in the sealant, this will require the area in question be removed and new sealant applied

**There is no silicone / sealant applied within the bathrooms** All internal corners, both vertical and horizontal, should have silicone sealant applied to the junctions

**There is no silicone found in the bathtub and wall / tiles**

**Existing silicone around the bathtub is mouldy and inadequate**

**The bathtub is sealed with grout and not silicone**

**I can see moisture is able to seep out of the bathtub and adjacent wall / floor tile junctions which could pool below the bathtub**

**There is oversupply of sealant to the bathtub and wall / hob tiles, which should be removed / cleaned and new sealant applied**

#### **SPECIAL NOTE: BATHTUB-TILES**

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- asddfiasdfasdfasdfasdfasdfasdf

- sdafasdfsadfasdfasdfsdfasf
- asdfsadfsdsdfasdfadsfasddfasdfas

## Defect Rating: MINOR DEFECT

## Defect Rating: MAJOR DEFECT

## Defect Rating: SAFETY HAZARD

## Defect Rating: FURTHER INVESTIGATION REQUIRED

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM – BASIN / VANITY UNIT - TAPWARE

**The basin / vanity taps appear to be free of defects** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Cracks / leaks noted within the pipes** Leaks within the pipework have been observed, assessment of the area is recommended by a plumber and the appropriate remedial works be carried out Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Defective Tapware** A plumber should be engaged to inspect and repair any leaks or defective fittings Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**The spout is loose / defective, minor issue** Minor adjustments are required to the basin spout, to have it fixed off to the vanity unit / basin Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**No water supply within the vanity / tapware** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office

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### SPECIAL NOTE: BASIN -TAPWARE

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM – BASIN / VANITY UNIT / CABINETS & MIRRORS

**The vanity unit, basin & mirrors are free of defects**

**Faulty mirror** *There was delamination / deterioration of the mirrored surfaces*

**Cracked vanity basin** *The basin was seen to have a crack / chip / defect within the bowl*

**Sealant missing around the basin / vanity benchtop and the wall linings** *Missing sealant around the vanity / basin, if left as is, over time, this will contribute towards the joinery rotting out and disengaging from the wall*

**Water damage to vanity cabinet** *Evidence of water damage within the vanity unit*

**Doors / drawers bind on cabinet frame** *The hinged doors and / or drawers require adjustments or repairs so they operate correctly and so they have equal margins*

### SPECIAL NOTE: BASIN - VANITY UNIT - CABINETS / JOINARY & MIRRORS

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM – WALL & FLOOR TILES

**The tiles are free of defects** *At the time of inspection, the wall and floor tiles appeared in acceptable condition*

**Cracked tiles** Tiles can be seen to be cracked, these tiles are to be replaced to avoid the possibility of water exiting the shower cubicle

**Drummy tiles** Tiles have been assessed to be drummy due to failed or inadequate adhesive These tiles are to be removed if possible and re-laid correctly or replaced if this is not achievable

**Loose / missing grout** Grout can be seen to be missing or dislodged requiring the area to be re-grouted

**Gaps / defective sealant** Areas of sealant can be seen to be incomplete or defective requiring attention

**No silicone sealant within the bathrooms** Silicone sealant not evident at the time of inspection Sealant should be applied to all internal and external tiled junctions

**Efflorescence leaching out of the floor tiles** Efflorescence is seen within the bathroom tile mortar joints. This normally means there is a mixture of sands used in the floor tile beds or there may be excess moisture within the mortar / screed / tile grout joints, that pools in the mortar / grout Further investigation is required to see, if in fact, this issue has been already dealt with or if there is still work to be done to this area of the property to overcome this issue

**Minor cracks in the FLOOR & WALL wall tiles junctions** Typically, these cracks are minor and common issues found in most homes / bathrooms due to various reasons All cracks should be monitored and sealed with bathroom silicone if they are seen to be stable / stagnant over a period of twenty four months

**Minor cracks in the VERTICAL WALL TILE junctions** Theses cracks are minor and commonly seen in most properties These cracks are typical settlement cracks seen within masonry and timber framed walls within wet rooms and bathrooms The reason for these cracks can vary but they are normally concealed by grout or silicone and we don't normally see them in new / modern bathrooms as current "new construction regulations" requires tradesmen to apply silicone to all internal junctions of the wall and floor, vertical wall tile junctions within the bathrooms, shower cubicles, laundry floors and walls plus kitchen benchtop and wall junctions All cracks should be monitored and sealed with bathroom silicone if they are seen to be stable / stagnant over a period of twenty four months.

**Minor cracks were seen in the WALL TILES & CORNICES / CEILING junctions** Typical settlement of the wall and ceiling junctions makes these cracks appear These cracks are very common in masonry walls and timber-framed ceiling / floor structure junctions within bathrooms

**Hairline cracks within the body of the WALL TILE MORTAR JOINTS** I saw cracks in the grout of a wall tile The wall tiles can be loose and drummy, further investigation is required as it's not normal to see a tile with cracks within the tile or within the mortar joints around wall or floor tiles, as this could mean the glue has disengaged from the tile or the substrate or that there is an issue within the substrate that is forcing the tile loose / off its original position Further investigation is required

**There is a bow in the wall tiles** Further investigation is required to see, if in fact, the wall tiles are loose or if the wall was bowed or defective

## SPECIAL NOTE: BATHROOM - WALL& FLOOR TILES

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM – SHOWER SCREEN

**The shower screens are free of defects**

**Inadequately sealed at floor / wall junctions** *Inadequately sealed at floor / wall junctions: New silicone sealant is required to the wall and floor tiles where they are in contact with the shower screen*

**Cracked / delaminating glass shower screen** *Cracked shower screen: Repair or replacement of the shower screen is required*

**Minor gaps in sealant** *Minor gaps in sealant New silicone sealant is required to the wall and floor tiles where they are in contact with the shower screen*

**Shower screen and tile junctions need to be cleaned and re-sealed** *The shower screen and tile junctions need to be cleaned and re-sealed New silicone sealant is required to the wall and floor tiles where they are in contact with the shower screen, once the bathroom is cleaned*

**No glass shower screen installed** *It's best building practice to have all shower cubicles enclosed with shower screens to direct / control the water runoff towards the floor waste*

**No shower screen is installed**

**Efflorescence was seen to be leaching out of the shower screen and tile junctions**

**The shower screen door does not operate smoothly** *Minor works / adjustments are required to the shower screen door / frame / hardware*

**The glass shower screen door strikes up against the adjacent panels** *Adjustments to the shower screen door are required, as it currently strikes up against the fixed wall / panel*

**SPECIAL NOTE: SHOWER SCREEN**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

## Defect Rating: FURTHER INVESTIGATION REQUIRED

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM – SHOWER CUBICLE – WATER LEAKS

**The shower appears to be free of signs of leaks / seepage** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Water damage along adjacent wall, suspected membrane failure** Flood test is required, to know if the waterproofing membrane within the bathroom or shower cubicle has failed or if there is a leak Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Water damage found at the base of the doorjamb and architrave** Flood test is required, to know if the waterproofing membrane within the bathroom or shower cubicle has failed Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that

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**Efflorescence appears to be leaching out of the BATHROOM floor tiles** The waterproofing within the shower cubicle may be leaking / leaching out, as there is efflorescence present in the bathroom floor tiles This could be due to moisture leaking out of the shower cubicle or the moisture within the shower cubicle is bridging over the shower-screen barrier as there is excessive moisture in the floor / wall tiles Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid. Further investigation is required to understand the true extent of this issue, if any, as sometimes it's just the sand leaching out salts present within the tile mortar bed and it's common that the efflorescence stops leaching out over time or when small remedial works are applied to the area in question

**Efflorescence appears to be leaching out of the SHOWER CUBICLE floor tiles** Efflorescence was present in bathroom shower cubicle floor tiles There are many reasons why efflorescence appears within bathroom floor tiles, a common reason is a tiler sometimes gets contaminated sand delivered to site, and then the sand used in the mortar bed is a mixture of "Sydney Sand" & "Bush Sand", as the salt level within the bush sand is high, which therefore assists in generating / contributing to these issues This issue has many solutions within the market place, one is to remove the grout and to re-grout the subject area with a product called FLOCK, which is placed / mixed within the new grout / mortar, to be applied to the subject area It's best to first understand if the subject area has excessive moisture issues or if it's simply the incorrect sand used and once determined it can be easily prepared by a tiler or builder Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be

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**All looks to be in order within the shower cubicle at the time of my inspection** It's always best to have a fresh bead of silicone applied to all internal corners within the shower cubicle and on the outer perimeter of the shower screen / shower cubicle (I personally do this to all of my shower cubicles every three to five years depending upon the amount of use of each shower cubicle) Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**No leaks seen, but a fresh bead of sealant to all internal junctions would be a good option** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

## SPECIAL NOTE: SHOWER CUBICLE - WATER LEAKS

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATIONS**

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM – SHOWER CUBICLE – WALL & FLOOR TILES

**The shower wall & floor tiles are free of cracks, drumminess, loose / missing grout / sealant** All tiles appear to be sealed and not cracked, drummy nor defected in any way at the time of this inspection

**There are cracks within the tiles of the shower cubicle** Tiles can be seen to be cracked, these tiles are to be replaced to avoid the possibility of water exiting the shower cubicle

**There are drummy tiles within the shower cubicle** Tiles have been assessed to be drummy due to failed or inadequate adhesive These tiles are to be removed if possible and re-laid correctly or replaced if this is not achievable

**There is loose and missing grout within the shower cubicle tiles** Grout can be seen to be missing or dislodged requiring the area to be re-grouted

**Gaps in the existing sealant / silicone / grout** Gaps can be seen in the sealant, this will require the area in question removed and new sealant applied

**No silicone sealant is applied within the BATHROOM** All internal corners, both vertical and horizontal, should have silicone sealant applied to the junctions within the bathroom, WC, laundry

**No silicone is applied within the SHOWER CUBICLE / internal junctions within the shower cubicle**

Within the shower cubicle, there should be silicone or a flexible sealant applied to all wall and floor tiles junctions, plus vertical wall tile junctions and wall and floor tiles where they meet the shower screen, this is not the case within this property This is an easy fix for any handy person or tradesman This assists in retaining moisture within the wet room / shower cubicle and this assists in limiting any cracks occurring within the wall and floor tiles when the building settles / moves between seasons This is a minor defect and commonly found in older style homes or not so recently built or renovated properties

**I suggest you apply a bead of silicone to all internal junctions within the shower cubicle (over the existing grout / sealant) to keep all moisture within the shower**

**Shower cubicle floor tiles has Efflorescence leaching out of the floor tile joints** Efflorescence was present in bathroom shower cubicle floor tiles There are many reasons why efflorescence appears within bathroom floor tiles, a common reason is a tiler sometimes gets contaminated sand delivered to site, and then the sand used in the mortar bed is a mixture of "Sydney Sand" & "Bush Sand", as the salt level within the

bush sand is high, which therefore assists in generating / contributing to these issues This issue has many solutions within the market place, one is to remove the grout and to re-grout the subject area with a product called FLOCK, which is placed / mixed within the new grout / mortar, to be applied to the subject area It's best to first understand if the subject area has excessive moisture issues or if it's simply the incorrect sand used and once determined it can be easily prepared by a tiler or builder

**There was Efflorescence seen to be leaching out of the bathroom floor tiles** The waterproofing within the shower cubicle may be leaking / leaching out, as there is efflorescence present in the bathroom floor tiles This could be due to moisture leaking out of the shower cubicle or the moisture within the shower cubicle is bridging over the shower-screen barrier as there is excessive moisture in the floor / wall tiles Further investigation is required to understand the true extent of this issue, if any, as sometimes it's just the sand leaching out salts present within the tile mortar bed and it's common that the efflorescence stops leaching out over time or when small remedial works are applied to the area in question

**A fresh bead of silicone is required to all internal junctions over the existing mouldy silicone** The internal junctions within the shower cubicle need to be cleaned and re-sealed to retain all the moisture within the shower cubicle

#### SPECIAL NOTE: SHOWER CUBICLE - WALL AND FLOOR TILES

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- asdfasdfsdfasdfsdf

#### Defect Rating: MINOR DEFECT

#### Defect Rating: MAJOR DEFECT

#### Defect Rating: SAFETY HAZARD

#### Defect Rating: FURTHER INVESTIGATION REQUIRED

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM – SHOWER CUBICLE – TAPWARE

**The shower taps appear to be free of leaks and the water supply looks to operates correctly** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already

purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**The shower tap(s) were not dripping nor leaking at the time of my inspection** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Within the shower, the tap(s) appear to be leaking / dripping, further investigation required to find the cause of this issue** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**There were leaks / cracks seen within the shower pipes** Leaks within the pipework have been observed, assessment of the area is recommended by a plumber and the appropriate remedial works be carried out Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced

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**Tapware appears to be damaged / defective** A plumber should be engaged to inspect and repair any leaks or defective fittings Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**The showerhead appears to be damaged / defective, it is in need of repair or replacement as it looks like there may be a water leak / deteriorated showerhead fitting** Showerheads can be fixed / repaired easily by a handyman or homeowner, or better still, a new shower head can be supplied and installed quite quickly and it's often a better solution Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**No water supply line seen to be installed to service the shower tapware** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing

nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

## SPECIAL NOTE: SHOWER CUBICLE - TAPWARE

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### Defect Rating: MINOR DEFECT

### Defect Rating: MAJOR DEFECT

### Defect Rating: SAFETY HAZARD

### Defect Rating: FURTHER INVESTIGATION REQUIRED

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM – CONDENSATION - EXHAUST FANS - MOISTURE

### The bathrooms are free of condensation / moisture damage

**No exhaust fan installed** Condensation damage evident, no exhaust fan installed Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor physical testing of any electrical fixtures and fittings, nor do we test the circuits for faults. However, our office does assess the Electrical trade of the property which is over and above the standard Building & Pest Report. Within our Electrical Report, we physically test all electrical fixtures and fittings, excluding the appliances, (excluding the rangehood, oven, hotplate, hot water system & insinkerator) seeking defects to be added to our report. The Electrical Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Electrical Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Electrical Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Electrical Report within the section of this report titled Electrical. Should you have not already purchased the Electrical Report, feel free to call our office and we can upgrade your initial report to have the Electrical Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Inadequate exhaust fan installed due to damages seen within the wet room** Condensation damage evident, inadequate exhaust fan installed Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor physical testing of any electrical fixtures and fittings, nor do we test the circuits for faults. However, our office does assess the Electrical trade of the property which is over and above the standard Building & Pest Report. Within our Electrical Report, we physically test all electrical fixtures and fittings, excluding the appliances, (excluding the rangehood, oven, hotplate, hot water system & insinkerator) seeking defects to be added to our report. The Electrical Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Electrical Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Electrical Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Electrical Report within the section of this report titled Electrical. Should you have not already purchased the Electrical Report, feel free to call our office and we can upgrade your initial report to have the Electrical Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Exhaust fan looks to be faulty / not in working order at the time of my inspection, further investigation required** Condensation damage evident, exhaust fan may be faulty, an electrical should be engaged to prepare & replace or make comment on this fitting Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor physical testing of any electrical fixtures and fittings, nor do we test the circuits for faults. However, our office does assess the Electrical trade of the property which is over and above the standard Building & Pest Report. Within our Electrical Report, we physically test all electrical fixtures and fittings, excluding the appliances, (excluding the rangehood, oven, hotplate, hot water system & insinkerator) seeking defects to be added to our report. The Electrical Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Electrical Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Electrical Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Electrical Report within the section of this report titled Electrical. Should you have not already purchased the Electrical Report, feel free to call our office and we can upgrade your initial report to have the Electrical Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Minor rattle within the exhaust fan** Repair or replacement of the exhaust fan is required Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor physical testing of any electrical fixtures and fittings, nor do we test the circuits for faults. However, our office does assess the Electrical trade of the property which is over and above the standard Building & Pest Report. Within our Electrical Report, we physically test all electrical fixtures and fittings, excluding the appliances, (excluding the rangehood, oven, hotplate, hot water system & insinkerator) seeking defects to be added to our report. The Electrical Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Electrical Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Electrical Report

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**No windows found in the bathroom** No openable window within the room

**Mould / moisture seen within the bathroom cornices** Rectification works recommended in order to find the cause of the water / moisture entry to alleviate this issue from further developing

**Mould / moisture seen within the bathroom ceiling** Finding the cause / moisture entry point would be recommended so works can be carried out to stop water ingress into this section of the home

**Mould / moisture seen within the bathroom walls** It is best to have the contractor carry out a flood test or do some preliminary moisture tests to find the cause and moisture entry point so that this issue can be addressed

**Peeling paint within the ceilings** It is best to find out if the peeling paint is because of poor preparation or if the paint is peeling due to moisture within the ceiling linings of the bathroom. It is best to always have an exhaust fan running when a shower is being used, or a window open, as this will allow fresh air to circulate within the room as this will also allow a portion of the moisture / condensation from the shower to be drawn out the window

**Peeling paint / defective wall linings within the bathroom** It is best to find out if the peeling paint is because of poor preparation or if the paint is peeling due to moisture within the wall linings of the bathroom

**Moisture seen within the bathroom ceilings & walls** It is best to find out if the peeling paint is because of poor preparation or if the paint is peeling due to moisture. It is best to always have an exhaust fan running when a shower is being used, or a window open, as this will allow fresh air to circulate within the room as this will also allow a portion of the moisture / condensation from the shower to be drawn out the window

**I saw moisture within the bathroom internal linings that should be addressed and made good**

#### **SPECIAL NOTE: CONDENSATION - EXHAUST FAN**

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- asdfasdfasdfasdf

**Defect Rating: MINOR DEFECTS**

**Defect Rating: MAJOR DEFECTS**

**Defect Rating: SAFETY HAZARDS**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**Incomplete Works - Area Under Construction and Excluded from this report** Works to this area are incomplete and non-compliant with AS4349.1-2007. Further inspection required once works have been

completed

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## GENERAL COMMENTS

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## Overall Defect Rating: MINOR DEFECTS

## Overall Defect Rating: MAJOR DEFECTS

## Overall Defect Rating: SAFETY HAZARDS

## Overall Defect Rating: FURTHER INVESTIGATION REQUIRED

## 6. IS THE - 'LAUNDRY' - FREE OF DEFECTS ?

**There were no significant defects seen within the laundry** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid. Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor physical testing of any electrical fixtures and fittings, nor do we test the circuits for faults. However, our office does assess the Electrical trade of the property which is over and above the standard Building & Pest Report. Within our Electrical Report, we physically test all electrical fixtures and fittings, excluding the appliances, (excluding the rangehood, oven, hotplate, hot water system & insinkerator) seeking defects to be added to our report. The Electrical Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Electrical Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Electrical Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Electrical Report within the section of this report titled Electrical. Should you have not already purchased the Electrical Report, feel free to call our office and we can upgrade your initial report to have the Electrical Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**The laundry water supply, waste line, tub & tapware appear to be in working order with no significant faults or defects seen at the time of my inspection** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**The electrical fitout within the laundry appears to be all in good order, there were no issues seen within the power supply, powerpoints, light fittings, switches and exhaust / ventilation within the laundry** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor physical testing of any electrical fixtures and fittings, nor do we test the circuits for faults. However, our office does assess the Electrical trade of the property which is over and above the standard Building & Pest Report. Within our Electrical Report, we physically test all electrical fixtures and fittings, excluding the appliances, (excluding the rangehood, oven, hotplate, hot water system & insinkerator) seeking defects to be added to our report. The Electrical Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Electrical Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Electrical Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Electrical Report within the section of this report titled Electrical. Should you have not already purchased the Electrical Report, feel free to call our office and we can upgrade your initial report to have the Electrical Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

#### SPECIAL NOTE: LAUNDRY DEFECTS

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- asdfasdf

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE TAPWARE

**The taps appeared to be free of defects** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest

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**Tap(s) appeared to be dripping / leaking. The taps may have faulty o-ring, spindle - further investigation required** Tap(s) can be seen to be leaking through the spindle, the o-ring may require replacement which can be undertaken by a plumber Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Tap(s) dripping / leaking, this could be caused by a faulty washer, further investigation required**

Tap(s) can be seen to be dripping, this is possibly due to a faulty washer, this item can be replaced by a plumber Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial

report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**There appears to be leaks / cracks noted in pipes** A plumber should be engaged to make good this issue ASAP Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Testing of the lines is recommended to understand if there is any water hammer within the hot or cold waterlines** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**There are no water taps to inspect / test and report on** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years

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**There is no laundry tub nor taps to inspect / test and report on** *Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.*

**The water supply taps of the washing machine were concealed and unable to be tested and reported on** *Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.*

**The water supply / taps / fittings are old and in original condition, due for replacement soon due to their age** *Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our*

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**Exposed / non-concealed water supply lines and tapware due for upgrade / replaced soon** *Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.*

**The laundry tapware does not appear to have any water supply** *Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.*

## SPECIAL NOTE: TAPWARE

- asdfasdfasdf
- asdfasdf

## Defect Rating: MINOR DEFECT

## Defect Rating: MAJOR DEFECT

## Defect Rating: SAFETY HAZARD

## Defect Rating: FURTHER INVESTIGATION REQUIRED

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE TUB / CABINET

**The tub and cabinets appear to be free of defects** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Water damage to cabinet / timber joinery** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Rust / corrosion damage at base of cabinet** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical

testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

### **Hinged doors not functioning well**

**No laundry tub / tun dish installed** Laundry tub or means for the disposal of wastewater is a requirement under section 3.8.3.2 required facilities of the NCC Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Missing silicone / sealant to the tub and wall junctions** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to

call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**The laundry tub is made out of concrete** The concrete is due to be replaced with a new / current fitting (The existing laundry tub is an old / original tub found back in the day) Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

### **The laundry tub is not fixed off to the supporting wall**

#### **SPECIAL NOTE: TUB/CABINET**

- *sadfasdfasdf*

#### **Defect Rating: MINOR DEFECT**

#### **Defect Rating: MAJOR DEFECT**

#### **Defect Rating: SAFETY HAZARD**

#### **Defect Rating: FURTHER INVESTIGATION REQUIRED**

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE LAUNDRY WASTELINE

**The wasteline and pipes appear unblocked** On visual inspection, the areas appeared to be clear and unblocked Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned

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### **There were signs of leaking pipes found within the laundry cupboard, further investigation required**

The water pipes and water supply / plumbing below the laundry tub was blocked or it shows signs of leakages A plumber should be commissioned to test and make good the issue ASAP Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Rust seen within the base of the laundry tub, normally this is a result of past water leaks (No leaks were seen at the time of my inspection)** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Unable to inspect and comment due to excess goods stored within the cupboard** Have the goods removed and I can re-inspect and comment on the plumbing / wasteline Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and

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**There is no laundry tub, therefore no sewer / wasteline to check**

**There appears to be no running water in the laundry tub / tapware**

#### **SPECIAL NOTE: LAUNDRY WASTELINE**

- *asdasdfasdf*

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE LAUNDRY TILES**

**The laundry tiles appear free of defects**

**Cracked tiles** There are cracked tiles within the laundry These tiles need to be repaired or replaced if no matching tiles can be found

**Drummy tiles** When we assessed the laundry tiles, we found them to be drummy, they will need to be replaced. Drummy tiles are due to the tile glue or substrate giving way to the linings and eventually, the tiles will become loose and cracked if left as is

**Loose / missing grout** Re-grouting of tiled area required.

**Defective / Gaps within the existing sealant / silicone** Sealant should be re-applied to areas where it is not currently evident

**No sealant between the internal wall and floor junctions** Water can leak out of the laundry if flooding occurs if the floor is not waterproofed The laundry walls and floor junctions are not sealed / silicone / waterproofed

**No silicone found in the wall / floor tile junctions** Best Building Practice is to have all internal corners of the wall or floor tiles sealed with mould resistant silicone to tank the room

**No wall tiles are installed behind the laundry tub** It's best to have a small row of tiles / non-porous material installed behind the laundry tub

**No floor tiles are installed** Current industry standards are that the floor and wall junctions are sealed with a waterproof membrane and the splashback behind the laundry tub is also sealed with a membrane, this laundry is not compliant with today's standards / regulations

**The laundry fit out is old and in original condition, with considerable work required to have it brought up to TODAY'S industry standards**

**The laundry BENCHTOP and wall junction has missing / defective silicone applied to this internal corner** It is best to seal the laundry tub and / or the laundry benchtop to the wall / splashback so that no moisture falls behind the laundry tub or cupboards and it prevents mould and dampness within the laundry room

**The laundry TUB and wall junction has missing / defective silicone applied to this internal junction**

It's best to seal the laundry tub and wall so no moisture falls behind the laundry tub or cupboards in order to prevent mould and dampness within the laundry room or cupboard / joinery within the room

#### SPECIAL NOTE: LAUNDRY TILES

- asdfasdfsdfa
- asdfasdf

#### Defect Rating: MINOR DEFECTS

#### Defect Rating: MAJOR DEFECTS

#### Defect Rating: SAFETY HAZARD

#### Defect Rating: FURTHER INVESTIGATION REQUIRED

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE LAUNDRY WATERPROOFING

**The waterproofing appears to be adequate and free of defects**

**I can't see due to no access to the substrate**

**I can't confirm this but I assume it is**

**I can't confirm this but I assume it is not membraned**

**The laundry floor is not tiled nor waterproofed**

**The laundry wall behind the laundry tub is not waterproofed nor tiled**

**The laundry floor has no floor waste installed to collect any overflow**

**I can't see, as the fit out is covering the entire floor area within the laundry closet**

**I can't answer this question, as the floor and wall substrate is unseen**

**SPECIAL NOTE: LAUNDRY WATER PROOFING**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE LAUNDRY VENTILATION**

**Ventilation appears to be adequate**

**No exhaust fan**

**Inadequate exhaust fan**

**Exhaust fan is faulty**

**Inadequate ventilation**

**No operable window installed**

**Clothes dryer, I cannot confirm this, but it looks like the dryer might be vented externally from the back of the dryer via a concealed duct** *Further investigation is required to confirm if this is the case or not*

**I was advised whilst I was on site that the DRYER is vented externally** *You must do your own investigation to confirm this advice that I received whilst I was on site*

**The apartment has a fresh air extraction system installed within the laundry cubicle / room** A dedicated extraction fan works much better than the slow and constant fresh air extraction system that is installed. Unfortunately, a fresh air ventilation system connected to the entire building is all that is required by the builder / developer for new construction, so it complies. I suggest you look into having an extraction fan installed and ducted from the rear of the dryer to extract all moisture and debris generated by the dryer.

**SPECIAL NOTE: LAUNDRY VENTILATION**

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**Defect Rating: MINOR DEFECT**

## **Defect Rating: MAJOR DEFECT**

## **Defect Rating: SAFETY HAZARD**

## **Defect Rating: FURTHER INVESTIGATION REQUIRED**

**Incomplete Works - Area Under Construction and Excluded from this report** Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection required once works have been completed

## **GENERAL COMMENTS**

- asdfasdfasdfsdf

## **Overall Defect Rating: MINOR DEFECT**

## **Overall Defect Rating: MAJOR DEFECT**

## **Overall Defect Rating: SAFETY HAZARD**

## **Overall Defect Rating: FURTHER INVESTIGATION REQUIRED**

## **7. ARE THE - 'INTERNAL STAIRS' - FREE OF DEFECTS ?**

The staircase appears to be in good condition, with no significant defects seen within the treads or risers

The staircase has a handrail installed appropriate for the age of the original build

## **SPECIAL NOTE: RE STAIRS**

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- asdfasdfasdfsdf adsfasdfsfa sdafdasdfasdfsdf

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – INTERNAL STAIRS - TREADS & RISERS

**The stair stringers, handrails, balusters, treads and risers are sufficiently rigid and free of damage**

*The staircase is in good order, with no defects seen at the time of my inspection*

**The stair treads do not appear to have slip-resistant measures applied** I cannot confirm if this is a fact or not Under my visual inspection and slip test assessment, I assume the treads don't comply with current new building regulations It is easy to have these stairs worked on / repaired / upgraded to comply with Building Regulations to prevent a fall from occurring

**Stair treads have NO SLIP-RESISTANT measures installed** The staircase should be made safe to use The stair treads should have slip-resistance measures installed for the safe use of the existing internal staircase This defect is a common defect found in most properties, not many properties have slip-resistant step treads but I recommend the new owners have the stairs made to be slip-resistant It's cheap and easy to retrospectively

install slip-resistant measures to the existing stairs if the new owners want the stairs to comply with current NEW CONSTRUCTION regulations

**The timber treads are worn / uneven, the timber staircase is old and in need of repair** This is a common problem found in older buildings such as this property This could contribute towards a person slipping / falling down the stairs while the staircase is being used in its current state This is a potential safety hazard!

**Treads and / or risers of varying depths / heights** Stair treads and / or risers of varying depths / heights, the stairs need to be consistent in their overall size (Risers and Treads), a carpenter or tiler can assist in making good this issue

**Water damage / rot to staircase or structural issues within the framing or treads** Damaged members / structure noted within the staircase

**The timber staircase is damaged / affected by moisture** I suggest you get the staircase repaired, as they get used often and it is best to keep them in good working order and safe to use

**The staircases are old and they are steeper than current regulations** The stairs must be used with caution (slow down whilst using these stairs) You might fall / slip down these stairs, as the gradient of the stairs are steeper than current standards / new building regulations These steep stairs are a common find in period building such as this property

**Inconsistent step risers within the internal stairs** The stairs must be used with caution (slow down whilst using these stairs) You might fall / slip down these stairs, as the gradient of the stairs are steeper than current standards / new building regulations These steep stairs are a common find in period building such as this property

**Inconsistent step risers within the internal stairs** A minor issue, as you use these stairs regularly, but for visitors to the property or for an elderly person with limited mobility, this could cause them to fall!

**The step risers are greater than 190mm** FYI Current NEW construction guidelines are that all steps must not have the step treads more than 190mm apart (Maximum step riser is 190mm) The gap between each tread must not be more than 125mm

**The steps have more than 125mm gap in between each tread each step riser** The reason there is a maximum gap in between each step of 125mm is to prevent / limit a child or dog from falling through the stairs

**The step treads / goings are less than 240mm** This is a common finding within period buildings It's best to travel slower when using these stairs to avoid slipping down whilst using the stairs A handrail and balustrading detail must always be present within these staircases to assist if a fall was to take place whilst using the staircase

**The internal stairs / steps have a riser of less than 115mm** The minimum allowable step riser is 115mm (Height) The maximum step riser is 190mm (Height) The minimum step tread size is 240mm (Wide) I am

referring to NEW CONSTRUCTION guidelines as noted within the National Construction Code & Building Code Of Australia

## SPECIAL NOTE: TREADS AND RAISERS

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- *asdfasdfa asdfasdfasdf asdfasdfasdfa sdfasdfasdfasdf*

### Defect Rating: MINOR DEFECT

### Defect Rating: MAJOR DEFECT

### Defect Rating: SAFETY HAZARD

### Defect Rating: FURTHER INVESTIGATION REQUIRED

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – INTERNAL STAIRS - HANDRAIL / BALUSTRADE

#### The handrails and balustrade meet current building regulations

**For a period building, the handrail and balustrade detail is in good order** *The handrail may not comply with current regulations, but as the building is not new I am confident that it complied with the building regulations at the time of their original install*

**No handrail / grab rail on staircase** *Handrails and balustrades must be installed to meet current regulations*

**Handrail height doesn't meet current regulations** *Handrails must be at 1m in height on all level walkways and landings Handrails must be no less than 865mm along the staircases*

**Balustrade doesn't meet current regulations** *Balustrade doesn't meet current regulations, this should be repaired and made good as a priority*

**There is a small flight of stairs which do not have a handrail / grab rail** *If there are three steps or more it is constituted as a staircase, and therefore should have a handrail installed*

**The handrail / balustrade detail along the landing / hallway does not comply with current building regulations, RE height of handrail / spacing of balustrades** *It is best to have all compliance matters addressed, to limit the liability if the property is tenanted or just to have the home in a safe state should it be owner-occupied*

**Loose / missing balusters** *Loose / missing balusters This must be made rectified / made safe / compliant ASAP to limit the liability of the owner*

**The handrail / balustrade detail is loose / wobbly** *The posts / balustrade should be made firm / stiff / non-wobbly*

## SPECIAL NOTE: HANDRAILS/BALUSTRADE

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**Incomplete Works - Area Under Construction and Excluded from this report** *Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection required once works have been completed*

#### **GENERAL COMMENTS**

- *sadfadsfdfas asdfasdfasdfa dasdfasdfa ffdasdffadssf fdsfasdf*

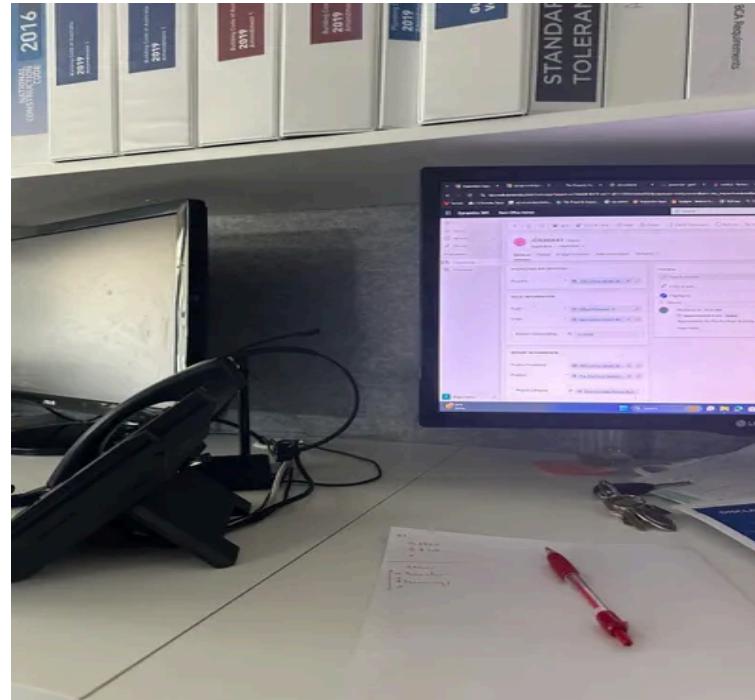
**Overall Defect Rating: MINOR DEFECT**

**Overall Defect Rating: MAJOR DEFECT**

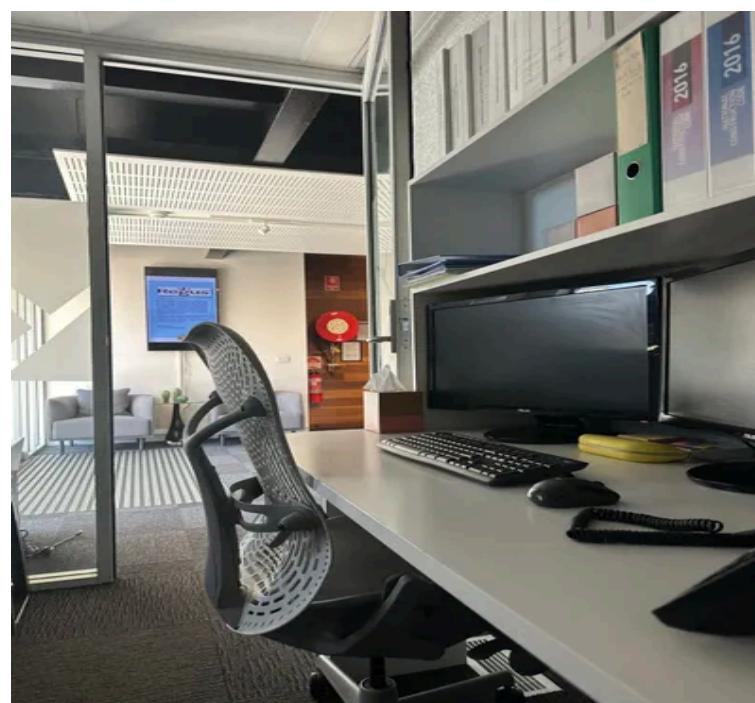
**Overall Defect Rating: SAFETY HAZARD**

**Overall Defect Rating: FURTHER INVESTIGATION REQUIRED**

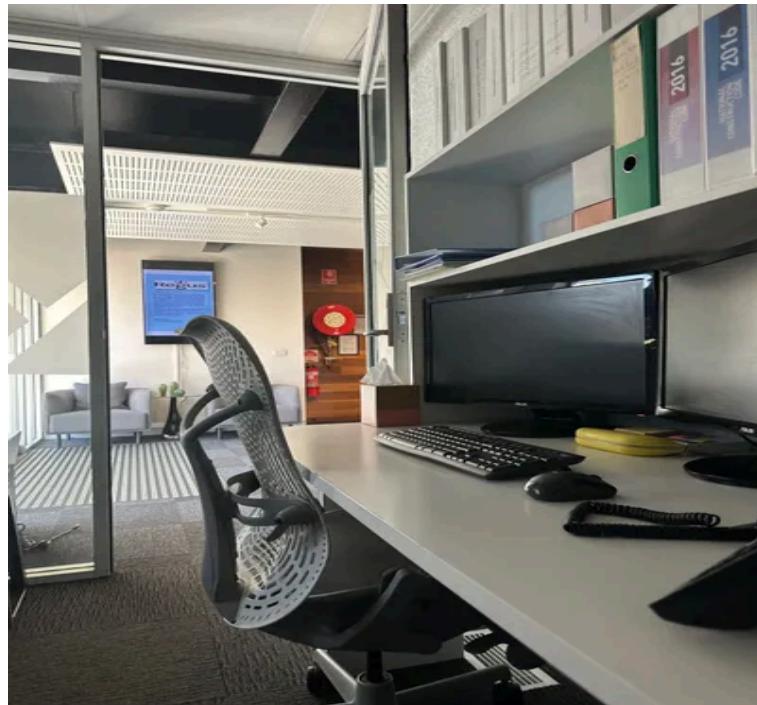
## Interior of Building - Summary



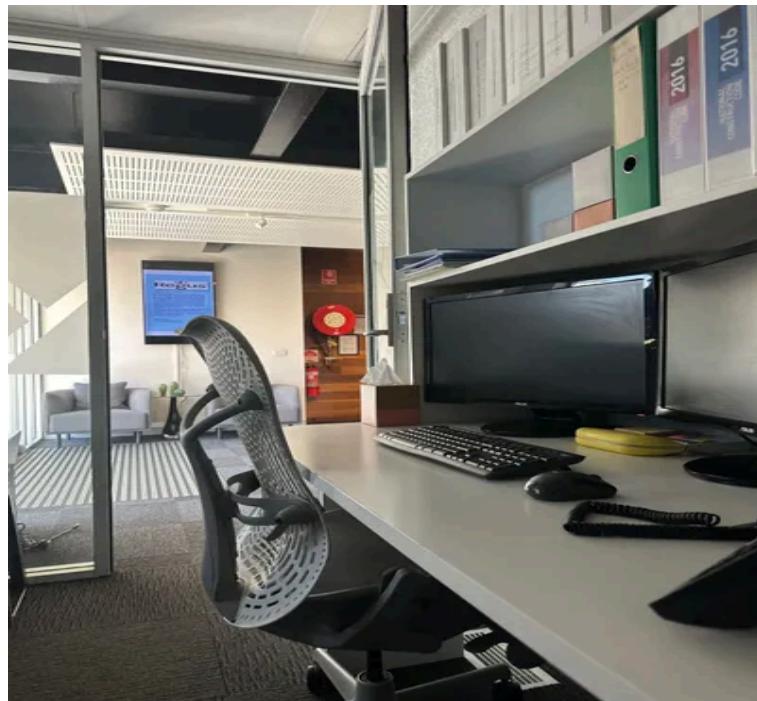
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## 9. ARE THE EXTERNAL WALLS - CLADDING - WINDOWS - BEAMS - FLASHINGS - FREE OF MAJOR DEFECTS ?

**There no major structural cracks nor inefficiencies within the walls, posts or beams within the core fabric of the building**

**There were no major issues within the external doors and windows**

**I could not see an exposed damp proof course within all external masonry walls, nor weep holes installed every 1m along the base line of the external walls, and above and below the doors and windows, meeting current new construction regulations, this is a minor and common issue** I could not see a damp proof course installed and protruding through the external face brickwork brick mortar joint I am not confirming that the home does not have a damp proof course, as it is common for older style properties to have the damp proof course concealed within the mortar joints or covered by the external rendered walls Further investigation is required should you want to be certain if the entire external masonry walls have a damp proof course installed preventing rising damp and directing any water collected within the cavity walls to be pushed out of the walls via weep holes

**I found weep holes within the external masonry walls, I could see a few missing weep holes in various locations** Area of improvement should moisture be found within the internal or external walls Weep holes should be found along the baseline of the wall at the flashing level at every 1m interval and weep holes should be found above and below all external doors and windows that are wider than 1m in width Weep holes should be found at the top of any roof flashings / wall flashings / capping or any other break in external damp proof courses

**There were no major defects found within the external lightweight cladded walls**

**There were no major defects found within the external weatherboard wall cladding**

**Ample ventilation was seen to be servicing the subfloor area of the home**

**No major cracks / damaged fibro / asbestos wall cladding was seen on site within this house**

Asbestos wall linings are ok if intact and not damaged I recommend all damaged / cracked asbestos sheets / trimmings be removed and replaced with a new lightweight wall cladding It's not that expensive to have a damaged asbestos sheet / trim work removed and replaced

**SPECIAL NOTE: RE NO MAJOR STRUCTURAL CRACKS NOR INEFFICIENCIES FOUND, HOWEVER**

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**Defect Rating: MINOR DEFECTS**

**Defect Rating: MAJOR DEFECTS**

**Defect Rating: SAFETY HAZARD**

## Defect Rating: FURTHER INVESTIGATION

SUB\_Q: WERE THERE ANY "MAJOR STRUCTURAL ISSUES" WITHIN THE CORE FABRIC OF THE BUILDING?

**The structure appears to be in fair & reasonable condition with no major defects to report on** No significant defects were found at the time of my inspection No major cracks / defects were seen within the external walls or beams Most properties have minor issues and with regular maintenance, this building will continue to withstand the test of time, remember "it's more cost-effective to regularly maintain a building than to repair / rebuild"

**There were 'cracks' within lintels spanning the door and window openings** I saw the masonry walls and concrete lintels within this property have small cracks within the body of the walls / lintels If these cracks open up or develop any larger than their current size, they should be repaired by a bricklayer / builder

**I saw rusted lintels** There is rust present within the steel lintel (s) A site treatment of the exposed steel members should be carried out ASAP to prevent the steel from further deterioration A structural engineer and / or builder should be engaged to assess and report on the scope and to have the works carried out to meet current standards

**I saw timber beams which had wood rot / damage evident present within the timber beams** There is timber rot found within the external structural timbers within this property We cannot see the extent of the wet / dry rot within the timber frames I suggest you engage a builder or licenced carpenter to assess and report on this issue

**I saw timber posts within this building which had decay / wood rot present within the timber members** I found wood rot within the external timbers within this property We cannot see the entire extent of the wet / dry rot within the timber frames, I suggest you engage a builder or licenced carpenter to assess and report on this issue

**I saw timber walls within this building which had decay / wood rot present within the timber members** I found wood rot within the external timbers within this property We cannot see the entire extent of the wet / dry rot within the timber frames, I suggest you engage a builder or licenced carpenter to assess and report on this issue

**Cement mortar construction - I saw minor cracks within external brickwork** The house has minor cracks seen within the external elevations of the property These cracks are typical and non-structural issues, should they open up or develop over time, a structural engineer should be engaged This is a minor defect in the current condition of the property

**Cement mortar construction - I saw small to medium cracks were found within the external brickwork / masonry** The property has minor to moderate cracks seen within the external elevations There was evidence of Category 2 cracking in sections of the mortar lines / bricks These issues are non-structural issues but they should be monitored and if they continue to open up or develop over time a structural engineer should be engaged This is a minor defect In the current condition of the property

**Cement mortar construction - I saw large cracks within the external brickwork, an engineer should be engaged to assess, comment on, and prepare a scope of works to remediate these issues** The house has large and major cracks seen within the external elevations of the property The cracks within the external walls need to be addressed as I feel they are over and above acceptable cracks for a house of this nature and size and location These cracks would be classed as Category 3 or above cracking located within this property. This means there are cracks greater than 2mm wide within the external walls These cracks are structural issues, a structural engineer should be engaged to confirm if the cracks found are stable and if any further works are required by a building contractor in the future Further investigation required

**Lime mortar construction - minor cracks within external brickwork** The house has minor cracks seen within the external elevations of the property The cracks within the external walls are typical for period home due to lime mortar construction; these cracks are typical and non-structural issues, should they open up or develop over time a structural engineer should be engaged This is a minor defect in the current condition of the property

**Lime mortar construction - medium cracks within external brickwork** Period style properties built with lime mortar almost always have hairline cracks within the face brickwork and internal walls, as the lime mortar is weak and it is common and expected to see period style properties (properties built pre-1960's) with cracks within the brick / stone / masonry walls The property has medium cracks seen within the external elevations The cracks within the external walls are typical for period style properties due to lime mortar construction, but they need to be addressed, as I feel they are over and above acceptable cracks for a property of this nature and size and location There was evidence of Category 2 cracking in sections of the mortar lines / bricks These cracks are structural issues, a structural engineer should be engaged to confirm if the cracks found are stable and if any further works are required by a building contractor in the future

**Lime mortar construction - large cracks within external brickwork** The house has large and major cracks seen within the external elevations of the property The cracks within the external walls are typical for period homes due to lime mortar construction, but they need to be addressed as I feel they are over and above acceptable cracks for a house of this nature and size and location These cracks would be classed as Category 3 or above cracking located within this property. This means there are cracks greater than 2mm wide within the external walls These cracks are structural issues, a structural engineer should be engaged to confirm if the cracks found are stable and if any further works are required by a building contractor in the future Further investigation required

**Minor cracks within the render,** Cracks found within the rendered finish Cracks appear to be minor in nature following the line of brick joints

**Minor to medium sized cracks within the render** Cracks found within the rendered finish Cracks appear to be minor to medium in size following the line of brick joints

**Medium to large sized cracks within the render** Cracks found within the rendered finish Large cracks were seen within the property, repairs are required within the substrate to mitigate any ongoing issues

**Major cracking was seen within the render** Cracks found within the rendered finish Cracks do not appear to follow brick or control joints, these areas should be assessed by a structural engineer

**Above / adjacent to door and window openings, there were cracks present, which fall within category 2 cracks** There was evidence of Category 2 cracking in sections of the walls above / adjacent to door and window openings This can be caused by rust deterioration in the steel lintel over the window or door openings A builder or bricklayer should assess the lintel Any wall cracking should be assessed by a structural engineer, especially if it appears to widen over time

**Below / adjacent the door and window sills cracks were seen, these fall into category 2 cracks** There was evidence of Category 2 cracking in sections of the window sill mortar / render A builder or bricklayer should assess this issue or failing that, a structural engineer, especially if it appears to widen over time Any wall cracking should be assessed by a structural engineer, especially if it appears to widen over time

**Minor cracks were seen within the external lightweight wall linings** Minor cracks / imperfections found within the external blueboard / lightweight wall linings (They do not appear to be an area of concern)

**Small to medium cracks were seen within the lightweight external wall linings (They do not appear to be an area of concern)**

**Large cracks were seen within the external lightweight wall lining** Larger than normal cracks / imperfections were seen within the wall linings / external blueboard / lightweight wall cladding A close eye should be placed on this area of the house to see if it develops any further than the existing condition

**Missing mortar within the face brickwork** This could contribute towards the property having current and / or future structural issues if left as is Further investigation is required to this area of the house should it develop any further from its current state

**Missing mortar within sandstone blockwork** This could contribute towards the property having current and / or future structural issues if left as is Further investigation is required to this area of the house should it develop any further from its current state

**I saw moisture within the external walls of this property** It's best to have the walls that are affected by moisture monitored and if they develop any further I recommend that you get a moisture consultant or builder in to assess and make good the issue, to prevent the substrate and finished surface from further deteriorating or allowing water to enter the internal spaces of the property

## SPECIAL NOTE: RE CORE FABRIC / STRUCTURAL ISSUES

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**Defect Rating: MINOR DEFECTS**

**Defect Rating: MAJOR DEFECTS**

**Defect Rating: SAFETY HAZARDS**

## Defect Rating: FURTHER INVESTIGATION

SUB\_Q: WERE THERE ANY DEFECTS FOUND WITHIN THE "NON-STRUCTURAL" ELEMENTS WITHIN THE BUILDING?

**All appears to be structurally sound within this building** All is in order for the age of the house The walls are in reasonable condition for the age of the property

**Rising damp / salt residue on lower walls** Salt residue could lead to internal lower wall paint flaking which is associated with rising damp problems It is imperative that specialist advice be sought to ascertain the cause and extent of the rising damp problem Rising damp in one area of the dwelling that is visible may mean that other sections of the dwelling may be affected and not visible Accurate diagnosis of the cause and extent of the damp problem is very important, specialist advice must be sought Further investigation is required by a bricklayer or a damp proof specialist

**Lower brick mortar decay / missing mortar from the face brick and sandstone walls** Lower brick mortar decay / missing mortar was evident at the time of inspection from the masonry walls Lower brick mortar decay evident is a typical issue for lime mortar built projects which are exposed to the weather and not maintained over time Requires assessment by a qualified bricklayer This can be age-related, poor mortar mix related and rising damp penetration related Further investigation is required by a bricklayer or a damp proof specialist

**Excessive timber weatherboard fungal decay** It could be seen at the time of inspection that there was excessive timber weatherboard fungal decay (rot) in sections requiring replacement Liaise with a carpenter to have rectified Material deterioration Minor defect

**Minor timber weatherboard fungal decay** It could be seen at the time of inspection that there was minor timber weatherboard timber fungal decay (rot) in sections requiring replacement Liaise with a carpenter to have assessed / repaired

### Minor damage to the weatherboard linings

**Bowed / distorted weatherboards** Some bowing and unevenness detected in weatherboards Liaise with a carpenter to assess & remedy Further investigation may be required, as this may require the removal of cladding or wall linings to assess the wall frame conditions

**Timber battens, fungal decay** Timber battens bases have timber fungal decay Liaise with a carpenter to have rectified

**Timber joins poorly patched** Patching is evident and it is preferable to have this carried out professionally to avoid further deterioration of the timber and obvious patching

**There are holes in the external walls that could allow for moisture / vermin to enter the property / cavities / subfloor areas** All holes within the external walls should be repaired / sealed to reduce the risk of water / moisture entry or pest entry / infestation

**Timber / base board are in contact with the ground** This is conducive to termite infestation and timber fungal decay and it is preferable to have no non-durable timber in touch with the ground

**No weep holes within the external walls of the property** Weep holes missing Weep holes could be covered by soil / vegetation / pathways / render You should remove the render or obstructions in front of the weep holes You should lower soil levels so that subfloor vents are clean and allowing free-flowing air to the cavity and subfloor area Covered weep holes also provide concealed entry points for termites Having no weep holes allows water entry into the subfloor area, internal cavity walls and internal walls of the property The water within the cavity walls cannot be expelled from the building / walls and sometimes you will see moisture within the internal walls, skirting and floor coverings due to concealed or missing weep holes If the weep holes are concealed, it allows the water to pool within the subfloor area attracting pest/termite activity, this is also conducive to termite infestation and timber fungal decay

**Missing weep holes within the external masonry walls** I found weep holes within the property but not in every location where I would expect to find them Weep holes should be found above and below all external doors and windows if they are wider than 1m in width, weep holes should also be found along the baseline fo the external wall at ground floor level, first level and where roof flashings are installed and fixed off to the walls Weep holes could be covered by soil / vegetation / pathways / render You should remove any render or obstructions in front of the weep holes You should lower soil levels so that subfloor vents are clean and allowing free-flowing air to the cavity and subfloor area Covered weep holes also provide concealed entry points for termites Having no weep holes allows water entry into the subfloor area, internal cavity walls and internal walls of the property The water within the cavity walls cannot be expelled from the building / walls and sometimes you will see moisture within the internal walls, skirting and floor coverings due to concealed or missing weep holes If the weep holes are concealed, it allows the water to pool within the subfloor area attracting pest / termite activity, this is also conducive to termite infestation and timber fungal decay

**Weep holes covered / obstructed / blocked** I saw weep holes that were obstructed, weep holes should always be unobstructed to allow any moisture within the building to freely flow out of the external elevations Concealed weep holes allow for termites to enter the activity of the building unseen, which could lead to a costly exercise to eradicate the termites and to repair the damage caused by the termites Having all weep holes cleared of obstructions plus having weep holes installed every 1m will allow for moisture to freely exit the building, which minimizes the risk for pest infestation, as termites like dark, damp areas, and it minimizes the risk of any moisture entering the internal habitable rooms of the home

**Poor pipe penetration sealing / missing brick / mortar** Penetrations should be well sealed to prevent damp penetration and subsequent deterioration of internal linings Engage a bricklayer to assess and remedy ASAP As per the Guide to Standards & Tolerances 2007 - clause 7.08 - Pipe Penetrations Through External Walls and Inside Cupboards Plumbing holes are defective if they are not properly grouted; or in the case of cabinet work, fitted through neat maximum size penetrations, or fitted with tight-fitting cover plates or collars with penetrations kept to the smallest size particle Contact a plumber or building contractor to seal all openings within the external envelope of the building

**No DPC seen through the render walls** All walls rendered should have the control joints and damp proof course exposed through the render, so that it doesn't allow bridging of the external render / linings

**No DPC seen within the face brickwork** The external face bricks did not expose where the Damp Proof Course is installed within the face brickwork, the DPC could be embedded within the mortar bed but I could not see it at the time of this inspection

**No DPC seen within the face blockwork** At the time of my inspection I could not see an expressed / exposed damp proof course within the clockwork, this is common but not ideal Builders / engineers do not like installing a damp proof course within a block wall, as it drastically reduces the structural integrity of the core fabric of the building / block wall It is common for a good builder to use a waterproof additive to the concrete block fill and an additive to the mortar bed when laying the clockwork as this helps control rising damp as well as damp coming through this monolithic wall.

**No DPC seen within the sandstone walls** I could not see a damp proof course installed within the sandstone wall Period buildings used to use slate as a damp proof course, but over time, due to settlement issues within the building, the slate damp proof course often cracks and fails which allows for moisture to travel through and beyond the sandstone wall to the walls above It is best to keep an eye on all sandstone walls and if required, a new damp proof course can be installed retrospectively, by a brick layer or stonemason

**Crazed cracking within rendered walls** Non structural imperfections seen in the rendered finish Cracks found are assessed to be existent in the external lining and not in the masonry wall / substrate

**Air vents / grills were covered and / or blocked** The air vents installed to the external walls are covered / obstructed which will allow pests and moisture to enter the subfloor area if left as is The purpose of air vent is to allow fresh air ventilation to the subfloor area meeting current or past regulations I see that there is inadequate vents / grills within the external walls making the subfloor area non-compliant due to poor / reduced volume of air for ventilation and poor crossflow ventilation to the subfloor area

**Air vents / grills missing from the external walls** The purpose of air vents is to allow fresh air ventilation to the subfloor to meet current or past regulations I see that there are missing vents / grills from the external walls, therefore making the subfloor area non-compliant due to poor ventilation and poor crossflow ventilation to the subfloor area

**Soffit linings are defective within the verandas / decks / patios** Repairs are required to the external ceiling linings

**Eaves linings were seen to be defective and are in need of repair** The eaves linings are in need of repair by a carpenter / plasterer plus painter

**Minor cracks were seen within the blueboard / similar lightweight wall linings** Minor cracks and imperfections within the external wall linings

**Medium sized cracks were seen within the blueboard / similar lightweight wall linings** Medium sized cracks and imperfections within the external wall linings

**Major cracks (Above 2mm) found within the external lightweight wall linings** Considerable cracks within the external wall linings, an engineer should be engaged if they develop any further or if moisture is seen

*within the internal wall linings or subfloor area*

**Cracked / damaged fibro / asbestos wall cladding was seen on site within this garage** Asbestos sheets and wall trimmings are fine if intact and not damaged nor cracked All damaged / cracked asbestos sheets / trimmings should be removed and replaced with blueboard or fibro (This is not an expensive exercise to have a damaged asbestos wall sheet removed and replaced)

**Cracked / damaged fibro / asbestos wall cladding was seen on site within this shed** Possible asbestos sheets / hazardous materials were found within the wall linings and trimwork The wall trimmings are fine if intact and not damaged nor cracked All damaged / cracked asbestos sheets / trimmings should be removed and replaced with blueboard or fibro (This is not an expensive exercise to have a damaged asbestos wall sheet removed and replaced)

**Cracked / damaged fibro / asbestos wall cladding was seen on site within this detached structure** It's always best to have all damaged asbestos linings removed and replaced ASAP

**Cracked / damaged fibro / asbestos wall cladding was seen on site within the detached WC**

**Cracked / damaged fibro / asbestos roof linings - Garage**

**Cracked / damaged fibro / asbestos roof linings - Shed**

**Cracked / damaged fibro / asbestos roof linings - WC**

**Cracked / damaged fibro / asbestos roof linings - Detached Structure**

**Cracked / damaged fibro / asbestos roof linings - House**

**Minor damages / hairline cracks in the wall cladding**

**Minor cracks seen within the external rendered walls**

**Moisture damage to the eaves / soffit lining boards** Finding the reason / source of the water entry to the eaves / soffit lining boards is required and once repaired, the eaves also need to be repaired and re-painted

## **SPECIAL NOTE: RE DEFECTS WITHIN NON- STRUCTURAL ELEMENTS**

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**Defect Rating: MINOR DEFECTS**

**Defect Rating: MAJOR DEFECTS**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**SUB\_Q: WERE ANY SIGNIFICANT ISSUES FOUND WITHIN THE "DOORS & WINDOWS" ?**

**I saw suitable Flashings & Mouldings, and the existing Sills appeared to be in fair & reasonable condition**

**Missing weep holes above / below the windows or doors** All doors and windows should have had flashings installed when they were originally installed within the cavity, directed to the external walls of the property Weep holes allow any water within the cavities to seep out from the walls/cavities I assume there are concealed flashings above and below the external doors and windows, this property has minimal to no weep holes above or below external doors and window openings Lack of weep holes will create dampness within the cavity and within the internal wall linings and it will contribute towards the render cracking and render crazing, this will eventually become drummy and fall off the wall, any timber attached to the walls in question will rot and deteriorate before its natural time **THIS IS A MINOR DEFECT / ISSUE**

**No flashings / storm moulds within the external doors** Storm moulds are designed to seal the door junctions to the reveals

**No flashings / storm moulds within the external windows** Storm moulds are designed to seal the window junctions to the reveals

**Excessive gaps around flashing / storm moulds within the external doors allowing water entry into the cavity walls of the property** There is excessive gaps seen at the base of the door suites and sill junctions

**Excessive gaps around flashing / storm moulds within the external windows allowing water entry into the cavity walls of the property** There is excessive gaps seen at the base of the window suites and sill junctions

**Evidence of water entry through door sills** The sill and door junctions should be flood tested and made good to prevent any further water entry

**Evidence of water entry through window sills** The sill and window junctions should be flood tested and made good to prevent any further water entry

**Wood root in the timber doors**

**Wood rot in the timber windows**

**Cracks within the glass window panes**

**Cracks within the glass door panes**

**Leadlight windows damaged and in need of repair**

**Aluminum window frames damaged and in need of repair**

**Minor Repairs required to the external doors and windows to have them operate smoothly**

**Considerable Repairs required to the external doors and windows to have them operate smoothly**

## **Major Repairs required to the external doors and windows to have them operate smoothly**

### **SPECIAL NOTE: RE DOORS AND WINDOWS**

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### **Defect Rating: MINOR DEFECTS**

### **Defect Rating: MAJOR DEFECTS**

### **Defect Rating: SAFETY HAZARD**

### **Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: WERE ANY SIGNIFIGANT DEFECTS SEEN WITHIN THE "WALL FLASHINGS & DAMP PROOF COURSE" ?

**The wall cladding has suitable flashing and a damp proof course and these are free of any obvious dampness issues**

### **I cannot see flashings evident above and below the WINDOWS AND DOORS (masonry walls)**

*Flashings should be installed above and below each window and door unit Weep holes should be installed to allow moisture to seep out of the wall cavities When no weep holes are installed or seen in a property such as this one, it raises the possibility of moisture being trapped within the internal skin of the property NOTE: This is a common problem found in properties that are rendered after the original build Builders and bricklayers often install flashings and weep holes when they build a new building, but when new owners move into a property they often render the external wall linings and the weep holes get covered over by the renderer and painter as they don't always expose the weep holes All period buildings that are not renovated do not have weep holes installed over the doors and windows as it was not industry standards back when this home was built THIS IS A MINOR DEFECT!*

**I cannot see a damp proof course / flashing evident at the BASE OF THE EXTERNAL WALLS** I did not see a damp proof course (DPC) within ALL EXTERNAL WALLS within this building I am not confirming that there is not a concealed DPC within the mortar joints but I am confirming that I did not see the normal PVC / LEAD / SLATE damp proof course embedded within the external walls / brick joints within the external elevations within this property It is best practice to have all surrounding surfaces around the building clear of any materials that may retain moisture, with minimal garden beds up against the building All hard surfaces around the building should direct the surface water and any stormwater away from the building, keeping the walls, foundations and footings of the property as dry as possible limiting the possibility of rising damp. THIS IS A MINOR ISSUE / DEFECT

### **I could see the damp proof course being faulty / defective - MOISTURE ABOVE DPC (masonry wall)**

*There is dampness seen on the external walls above the damp proof course You should engage a builder or*

hydraulic engineer to assess and make good this issue to mitigate any further impact to the area in question

**I saw dampness within the external walls (lightweight wall structure)** There is dampness seen within the external wall of the property There is a need to have this issue assessed and made good by a qualified builder

**Missing window storm moulds** There are missing window storm moulds / excess gaps which may allow pests / vermin / moisture to enter the cavity

**Missing door storm moulds** Door storm moulds are missing, gaps may allow pests / vermin / moisture to enter the cavity

**Missing sill beading / sealant within the external walls**

#### SPECIAL NOTE: RE WALL FLASHINGS

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: ARE THERE EXPANSION JOINTS PRESENT IN THE EXTERNAL WALLS?

**Yes, There are expansion joints within the external masonry / brick walls (maximum every 6m apart)**

**There were no expansion joints present within the external masonry / brick walls spanning 6m or greater in one run** NOTE: External wall linings and the substrate walls should have expansion joints every 8-12m depending upon the size of the percs/brick mortar joints as per Australian standards AS 4773.1.2015 Table 13.3 for clay masonry walls As an average, builders install control joints every 5.5m to 6m interval within the external masonry and timber-framed walls. Bricks grow in time, Concrete shrinks over time: we should allow for this settlement to take place over time within our building, hence why expansion and control joints are recommended by manufacturers and projects engineers and noted within the Australian standards

**Yes, There were expansion joints present within the external concrete block filled walls (maximum every 12m apart)**

**There were no expansion joints present within the external block filled walls spanning 12m or greater in one run**

**Yes, There were expansion joints present within the lightweight / timber framed filled walls (maximum every 5.4m apart)**

**There were no expansion joints present within the lightweight / timber framed walls spanning 5.4m or greater in one run**

## **SPECIAL NOTE: RE EXPANSION JOINTS**

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## **Defect Rating: MINOR DEFECTS**

## **Defect Rating: MAJOR DEFECTS**

## **Defect Rating: SAFETY HAZARD**

## **Defect Rating: FURTHER INVESTIGATION**

**Incomplete Works - Area Under Construction and Excluded from this report** Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection required once works have been completed

## **GENERAL COMMENTS**

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## **Overall Defect Rating: MINOR DEFECTS**

## **Overall Defect Rating: MAJOR DEFECTS**

## **Overall Defect Rating: SAFETY HAZARD**

## **Overall Defect Rating: FURTHER INVESTIGATION**

#### **10. ARE THE EXTERNAL FLOORS, STAIRS, BALCONIES / VERANDAS, TIMBER & CONCRETE DECKS, DRIVEWAY & PATHWAYS FREE OF MAJOR DEFECTS ?**

**All external STAIRS accessible from the street are in good order and compliant with construction regulations of the period of the building**

**All rear / side / non-public access STAIRS within the property are in good order**

**All balconies / verandas / patios - FLOORS are in good order**

**All balconies / verandas / retaining walls have appropriate handrail and balustrade details installed**

**All retaining walls appear to be in fair & reasonable condition with no significant cracks or faults to report on**

**All retaining walls have fall protection measures installed meeting current building regulations**

**The timber decks were in fair & reasonable condition with no major defects to report on**

**SPECIAL NOTE: RE EXTERNAL FLOORS STAIRS BALCONIES VERANDAS**



SUB\_Q: ARE THERE ANY MAJOR DEFECTS WITHIN THE "STAIRS LEADING TO THE FRONT DOOR"?

**The stairs are in good condition and are safe to use**   *Stairs and handrails are in order at the time of this inspection*

**The stairs were seen to have a slope / fall in the finished floor with uneven treads & risers** The stairs are sloping and uneven in size and inconsistent Treads and / or risers of varying depths / heights Some steps have larger risers and goings The stairs are a safety hazard in their current condition, they do not meet current regulations

**There were loose / missing / defective stair balusters & handrails** The balusters and handrail need to be made good as they are non-compliant with current regulations A carpenter / fabricator should be engaged to inspect and make good ASAP All stairs should be compliant to limit any liability against visitors or occupants from getting injured whilst using the stairs

**The main stairs have a missing grab rail / handrail**    *No grab rail installed*

**No slip prevention measures in place** Goings don't have slip prevention measures installed on the nosings, this area is a safety hazard and should be rectified as soon as possible

**No balustrade is installed within the staircase, does not meet current building regulations requirements** All areas that have a fall of 1m or greater should have a balustrade and handrail installed to 1m in height, to prevent a person / child from falling from heights that could cause an injury Balustrading should not have gaps greater than 125mm Balustrading must not be horizontal if the fall is greater than 3.9m It is common to find older style properties or properties not recently renovated to not comply with current building regulations, this is a common issue seen in older style properties In my opinion, this is not a deal-breaker, as a handrail and / or balustrading detail is not expensive to have installed once you are the owner of this property

**No handrail or grab rail installed to meet current building regulations** Three or more steps constitutes a flight of stairs All flights of stairs should have a handrail / grab rail installed If the staircase and / or landing has a fall greater than 1m then a balustrade and handrail detail should be installed It is common to find older style properties or properties not recently renovated to not comply with current building regulations, this is a common issue seen in older style properties In my opinion, this is not a deal-breaker, as a handrail and / or balustrading detail is not expensive to have installed once you are the owner of this property

**Height of handrail is below 1m in height** *It's best to have all external handrails at 1m in height, to limit liability and for the safety of any person that uses the stairs*

**Balustrading has gaps greater than 125mm** *I recommend the balustrading be upgraded if you want the stairs to be safely used / compliant with current and new construction regulations*

**The timber stairs have water damage / rot to the staircase timber members** *The timber stairs need to be repaired, as they are not in good condition A carpenter must be engaged to repair and make good the staircase treads and goings / stringer and substructure*

**Timber finish to staircase defective** *Timber finish to the staircase can be seen to be defective and in need of replacement, these works should be undertaken by a carpenter to limit further deterioration of the staircase*

**The stairs have mould / mildew causing possible slipperiness / trip hazard** *There is the possibility that a person can fall due to the current conditions of the stairs, as they could be slippery when wet and when mould and mildew are found to be present on these stairs*

**Staining / corrosion evident** *The stairs have rust / corrosion / staining present in their current condition.*

**There were cracks within the floor tiles** *Tiles to the staircase can be seen to be cracked and in need of repair*

**There were drummy floor tiles** *Tiles to the staircase were found to drummy and if left as is could pose a safety risk*

**There were subsided stairs in need of repair**

**There was subsidence within the entry veranda / landing in need of repair**

**Cracks within the concrete floor**

**Cracks in the concrete steps**

**Cracks within the concrete landings**

**Render / applied finish defective** *Poorly finished, cracked or damaged finish to the staircase*

**Concrete cancer / blown / bubbling render / concrete seen within the concrete structure / stairs**

*Repairs are required to the stairs*

**Minor cracks in the floor pavers / brickwork**

**Considerable cracks in the floor pavers / brickwork**

**Major cracks in the floor pavers / brickwork**

**Efflorescence is leaching out of the floor tiles** *This is a common and minor issue Efflorescence can be cleaned off via a high pressure hose and the area can be prepared and re-sealed / re-grouted with F-Lock*

sealant applied to the new grout

### Cracks within the staircase masonry walls below the stairs

### Cracks within the masonry walls above the stairs

### SPECIAL NOTE: RE STAIRS TO FRONT DOOR

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### Defect Rating: MINOR DEFECTS

### Defect Rating: MAJOR DEFECTS

### Defect Rating: SAFETY HAZARD

### Defect Rating: FURTHER INVESTIGATION

SUB\_Q: WHERE ANY MAJOR DEFECTS SIGHTED WITHIN THE "SIDE, REAR OR GARDEN STAIRS" ?

**These stairs and handrails are in order at the time of this inspection** *Stairs and handrails are in order at the time of this inspection*

**The stairs have inconsistent step risers with sloping and uneven treads and risers** *The stairs are sloping and uneven in size and inconsistent Treads and / or risers of varying depths / heights Some steps have larger risers and goings The stairs are a safety hazard in their current condition, they do not meet current regulations*

**Cracked tiles** *Tiles to the staircase can be seen to be cracked and in need of repair*

**There are loose floor tiles**

**There are loose / unstable pavers**

**I saw drummy floor tiles on the external stairs** *Tiles to the staircase were found to drummy and if left as is could pose a safety risk*

**Timber finish to the staircase is defective** *Timber finish to the staircase can be seen to be defective and in need of replacement, these works should be undertaken by a carpenter to limit further deterioration of the staircase*

**Timber stairs have signs of deterioration within the stairs / wood rot**

**I saw water damage / wood rot to the timber staircase** *The timber stairs need to be repaired, as they are not in good condition A carpenter must be engaged to repair and make good the staircase treads and goings / stringer and substructure*

**There is staining / corrosion within the external stairs, in need of repair to alleviate further deterioration of the stair members** *The stairs have rust / corrosion / staining present in their current condition*

**I saw mould / mildew on the external stairs which could cause a slip to occur due to the slipperiness of the finished floor** *There is the possibility that a person can fall due to the current conditions of the stairs, as they could be slippery when wet and when mould and mildew are found to be present on these stairs*

### **Cracks in the concrete floor**

**I saw cracks within the concrete staircase / steps**

**The stairs have concrete cancer / blown concrete patches / bubbling render / concrete, seen within the concrete structure / stairs** *Repairs are required to the stairs*

### **Minor cracks within the pavers / brickwork / stairs**

**Efflorescence is seen to be leaching out of the floor tiles / mortar joints** *This is a minor and common problem that can be fixed easily and inexpensively to make good this issue*

**There are loose / missing / defective stair balusters and handrail details** *The balusters and handrail need to be made good as they are non-compliant with current regulations A carpenter / fabricator should be engaged to inspect and make good ASAP All stairs should be compliant to limit any liability against visitors or occupants from getting injured whilst using the stairs*

**There was a missing grab rail to the external stairs** *No grab rail installed*

**I saw no slip prevention measures implemented within the external staircase** *Goings don't have slip prevention measures installed on the nosings, this area is a safety hazard and should be rectified as soon as possible*

### **There was no handrail / grab rail installed to the external stairs meeting current building regulations**

*Three or more steps constitutes a flight of stairs All flights of stairs should have a handrail / grab rail installed If the staircase and / or landing has a fall greater than 1m then a balustrade and handrail detail should be installed It is common to find older style properties or properties not recently renovated to not comply with current building regulations, this is a common issue seen in older style properties In my opinion, this is not a deal-breaker, as a handrail and / or balustrading detail is not expensive to have installed once you are the owner of this property*

**The handrail is not 1m in height meeting minimum requirements in reference to current new construction regulations** *It's best to have all external handrails at 1m in height, to limit liability and for the safety of any person that uses the stairs*

**The handrail running down the stairs should be 865mm in height, the handrail within this property does not meet this minimum requirement - SAFETY HAZARD**

**The gaps between the balustrades are beyond 125mm apart, making them non-compliant with current building regulations, it is best to have this rectified if you intend to rent the property out or if you have young children** I recommend the balustrading be upgraded if you want the stairs to be safely used / compliant with current and new construction regulations

**No balustrade is installed within the staircase, this does not meet current building regulations requirements** All areas that have a fall of 1m or greater should have a balustrade and handrail installed to 1m in height, to prevent a person / child from falling from heights that could cause an injury Balustrading should not have gaps greater than 125mm Balustrading must not be horizontal if the fall is greater than 3.9m It is common to find older style properties or properties not recently renovated to not comply with current building regulations, this is a common issue seen in older style properties In my opinion, this is not a deal-breaker, as a handrail and / or balustrading detail is not expensive to have installed once you are the owner of this property

#### SPECIAL NOTE: RE SIDE REAR OR GARDEN STAIRS

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**SUB\_Q: WERE THE "BALCONIES / DECKS FLOORS & WALLS" DEFECT FREE ?**

**The balconies / decks / verandas appear to be free of significant defects** All appears to be in good order, the structure appears to be in fair and reasonable condition for the age of this building

**There was no access below the floor** No access below the floors, therefore I cannot comment on this aspect of the property

**Timber members of the veranda are defective and in need of repair** The veranda floor structure needs work carried out to it, to have it brought back to a fair and reasonable state of repair

**Timber flooring, defective** Timber flooring could be seen to be defective requiring attention

**Timber floor has a bounce within the structure** The timber floor is bouncy underfoot when assessed A carpenter needs to assess and make good the structure

**Loose timber decking boards**

## **Timber deck as a whole needs to be repaired due to substantial defects seen**

### **Loose floor tiles**

### **Drummy floor tiles**

**Cracked floor tiles** *The tiled deck / veranda can be seen to be cracked, this could be seen through the structure and floor finish, further investigation is required This should be assessed by a builder or tiler to prevent the structure / tiles from further delamination and deterioration*

### **Missing grout in the floor tiles**

**Concrete floor has cracks within the concrete floor** *There are cracks in the concrete floor finish This could be through the structure and floor finish This should be monitored and assessed, if it opens up a concretor or builder should be called in to make good this issue*

**Efflorescence leaching out of the floor finish** *Efflorescence can be seen to be evident in the external floor finish, the area should be cleaned and sealed*

**Missing expansion / control joints with the floor** *It's best to have expansion joints and / or control joints within floor structures and finished floor linings every 5.5m in each direction Control joints / expansion joints accommodate for settlement / growth and shrinkage of the substrate and finished floor linings to allow for ongoing movement within a building This area of the property doesn't have an expansion / control joint installed within the floor Minor defect if left as is, but could be implemented easily and quite quickly and inexpensively, this will allow you to control were the cracks and future movement will show up should the property re-settle between periods*

### **Rust seen within the concrete slab reinforcement, which is exposed and now rusting**

### **Bubbling of the render / concrete, possible concrete cancer**

### **Rust seen within the steel supports / posts / beams**

**The walls enclosing the veranda have cracks within the walls** *The walls have old and stable cracks / failures within the walls The walls should be monitored and if they develop a builder should be called in for an assessment / solution to this area of the property*

**Moisture is seen within the walls of the veranda** *The walls have moisture seeping out of the walls The walls should be monitored and if they develop any further a builder should be called in to assess and make good this issue*

### **The veranda posts are deteriorated and in need of repair / replacement**

### **Veranda posts have minor wood rot within the timber members and are in need or repair / re-paint**

**Veranda soffit lining is defective** *I saw the soffit lining to be defective, requiring repair which could be undertaken by a carpenter and painter*

**Balcony soffit lining is defective** I saw the soffit lining to be defective, requiring repair which could be undertaken by a carpenter and painter

**Soffit lining is defective** I saw the soffit lining to be defective, requiring repair which could be undertaken by a carpenter and painter

**Front veranda timber soffit linings are affected by wood rot / moisture, in need of repair or replacement**

**Timber decay, minor** Timber fungal decay noted and maintenance is required

**Timber decay, significant** Timber fungal decay noted and maintenance is required

**Timber decay, major** Immediate repairs required as it unsafe to leave it as it is

**Timber fascia, defective** Timber fascia can be seen to be defective requiring attention, these items should be attended to by a carpenter

**Timber fascia affected by wood rot**

**Timber fascia missing**

**Timber bargeboard, defective**

**Timber bargeboard, affected by wood rot**

**Timber bargeboard, missing**

**Additional overflow pipe / outlet to the balcony wall / hob, would be a good idea to be installed within the balcony / veranda wall and floor level to prevent water entry into the house should the floor waste outlet become blocked**

**Inadequate floor waste**

**Internal and external floors are level and water ingress is highly possible during a heavy storm**

#### **SPECIAL NOTES: RE BALCONY / DECKS, FLOORS AND WALLS**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**SUB\_Q: WERE THERE ANY SIGNIFICANT DEFECTS WITHIN THE "BALCONIES / RETAINING WALLS,**

**Handrails and / or balustrading are installed where a fall is greater than 1000mm**

**Handrails installed under 1000mm** *Handrails installed are under 1000mm in height The handrail and balustrading details are non-compliant, this is a major safety issue that should not be ignored You should have a builder or balustrading contractor attend the property and have this made good ASAP*

**Fall greater than 4m and the handrail and balustrade is climbable** *The current handrail can be seen to be climbable and the fall to the ground below is greater than 4m, this area will need modifications to make it compliant as it is seen to be a safety hazard in its current state*

**Missing handrails and balustrading** *Randomly found throughout the house are handrails & balustrades that are not installed in areas that require restraint measures*

**Missing / no balustrade is installed meeting current building regulations**

**Missing / no handrail or grab rail installed meeting current building regulations**

**Non-structural / loose handrail & balustrade detail installed on site**

**The handrail & balustrade is non-compliant with current spacing / height requirements as per "current building regulations"** *The balustrading may have been approved as is, in the past when it was originally built I recommend that you have the existing balustrading made compliant with current regulations to limit your liability and to avoid an accident occurring in the future*

**SPECIAL NOTE: RE BALCONIES / RETAINING WALLS, HANDRAILS & BALUSTRADING**

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**Defect Ratings: MINOR DEFECTS**

**Defect Ratings: MAJOR DEFECTS**

**Defect Ratings: SAFETY HAZARD**

**Defect Ratings: FURTHER INVESTIGATION**

**SUB\_Q: WERE THERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "TIMBER DECKS / EXTERNAL TIMBER MEMBERS" ?**

**The timber members (Bearers, Joists & Decking boards) are compliant with current regulations**

**Decking boards are cupping** *The decking boards were seen to be cupped, these boards could pose a safety risk and should be replaced by a carpenter*

**Decking boards are loosely fixed** *Decking boards were seen to be loosely fixed, these areas could be seen as a trip hazard and should be attended to by a carpenter*

**The hardwood decking boards are in direct contact with the adjacent finished surfaces, wet rot can and will develop over time in the non-accessible areas of the hardwood decking boards** This is a minor issue, but it should be looked at once you move in as it's cheaper to maintain your property than to repair / replace or re-build a defect / issue

**The deck appears to be in good order, but I could not access below the deck to assess the structure / supporting members** Further investigation is required for a full assessment of the deck if required

**There was no ant capping installed to the underside of the timber deck structure** Ant capping was not evident at the time of inspection

**Defective ant capping installed** Ant capping was defective at the time of inspection

**There were missing ant cappings within the subfloor / underside of the timber deck**

**Inappropriate materials used** Materials used are not appropriate for use in areas exposed to the elements

**Dry / wet rot within the timber structure** Dry / wet rot can be seen within the timber structure, these areas should be attended to by a carpenter to ensure the integrity of the structure is maintained.

**Wood rot within the timber decking boards**

**Timber bearers over spanning - Minor bounce in the floor** Timber bearers can be seen to be over spanning, additional piers / posts should be added or bearers strengthened to rectify this issue

**Timber joists over spanning - Minor bounce / spring felt under a standard foot traffic assessment**

Timber joists used can be seen to be over spanning, additional bearers should be added to rectify this issue

**Timber decking over spanning / twisted / defective decking boards** Timber decking used can be seen to be over spanning, additional joists should be added to rectify this issue

**< 350mm clearance below deck structure** Ground clearance was seen to be less than the minimum required of 350mm The minimum clearance should be attained to mitigate conducive conditions such as pest infestation and moisture affecting the structure

**No access below the timber deck**

**The handrails of the deck are not 1000mm in height** Handrails installed are under 1000mm in height The handrail and balustrading details are non-compliant, this is a major safety issue that should not be ignored You should have a builder or balustrading contractor attend the property and have this made good ASAP

**There is a fall greater than 4m and the handrail / balustrade is climbable and not compliant with new construction regulations, it may have complied when the structure was originally built** The current handrail can be seen to be climbable and the fall to the ground below is greater than 4m, this area will need modifications to make it compliant as it is seen to be a safety hazard in its current state

**There was no handrail installed to the deck**

**There was no balustrade installed to the deck**

**There was missing / no balustrade installed to meet current building regulations**

**The handrail and balustrade detail is loose and wobbly under minimal pressure, rectification works are required to stiffen up the handrail and balustrade detail**

**The handrail & balustrading is non-compliant with current spacing / height requirements, as per "current building regulations"** *The balustrading may have been approved in the past when it was originally built I recommend that you have the existing balustrading made compliant with current regulations to limit your liability and to avoid an accident occurring in the future*

#### **SPECIAL NOTE: RE TIMBER DECKS/ TIMBER MEMBERS**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**SUB\_Q: ARE THERE "EXPANSION JOINTS" PRESENT WITHIN THE "EXTERNAL FLOOR FINISHES" ?**

**Yes, There were expansion joints present within the external floor finishes within the floors that are spanning less than 4.5m in the one run / direction** *NOTE: External Floor finishes must have expansion joints every 4.5m or every 2.4m a dummy joint within the external concrete pavement. External floors, where any dimensions exceed 4.5m, a movement / control joint is required as per clause 5.4.5.2 (b) (ii) of Australian Standards AS 3958.1 Internal floors should have control joints / expansion joints every 9m or at every 6m interval should the room be subject to sunlight as per clause 5.4.5.2 (b) (i) of Australian Standards AS 3958.1*

**No, There were no expansion joints present within the external floor finishes that exceed 4.5m in length** *NOTE: External Floor finishes must have expansion joints every 4.5m or every 2.4m a dummy joint within the external concrete pavement. External floors, where any dimensions exceed 4.5m, a movement / control joint is required as per clause 5.4.5.2 (b) (ii) of Australian Standards AS 3958.1 Internal floors should have control joints / expansion joints every 9m or at every 6m interval should the room be subject to sunlight as per clause 5.4.5.2 (b) (i) of Australian Standards AS 3958.1*

#### **SPECIAL NOTE:RE EXPANSION JOINTS**

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**Defect Rating: MINOR DEFECTS**

**Defect Rating: MAJOR DEFECTS**

**Defect Rating: SAFETY HAZARD**

## Defect Rating: FURTHER INVESTIGATION REQUIRED

SUB\_Q: ARE ALL "FLOOR AREAS" FREE OF "SUBSIDENCE/DAMAGED" AND "SAFE TO WALK UPON" ?

### All pathway, driveways, decks & verandas are in reasonable condition for the age of the property

*There are no significant defects to report on, all properties have minor issues, with ongoing maintenance required every twelve to twenty four months for general upkeep*

#### Minor cracks in the concrete floor / pavement    Minor and typical cracks seen in concrete floors

**Medium size cracks in the floor finish - Minor tripping hazards - settlement to be monitored**    Minor cracks, some settlement and unevenness was observed. Although not an immediate concern these should be monitored for future movement. A landscaper or concreter should be engaged to repair/rectify. Major defects due to safety/injury concerns.

#### **Major cracks - Considerable tripping hazards - settlement of the floor - This is a safety issue if left as is**

*Major cracks, some settlement and unevenness was observed. A landscaper or concreter should be engaged to repair/rectify. Major defects due to safety/injury concerns.*

#### Cracked and damaged concrete pathways

#### Cracked concrete driveway / pavement

#### Minor cracks were seen within the external tiles

#### Medium cracks were seen within the external tiles

#### Major cracks were seen within the external tiles

#### Minor cracks were seen within the external pavers

#### Medium cracks were seen within the external pavers

#### Major cracks were seen within the external pavers

#### Missing floor tiles

#### Missing pavers

#### The pavers should be lifted and relayed level

#### All new pavement / floor finishes are required within this property

**Lifted / Subsided pavers**    *The pavers need to be re-levelled to remove the possibility of a person from tripping over*

**Efflorescence was seen to be leaching out of the floor tiles**    *Minor issue - this can be left as is or easily cleaned by a Genre / hi-pressure hose or by removing old grout from the defective tiles and regrouting*

**Aged and damaged timber decks / pathways around the property are in need of repair**

**Missing control joints / expansion joints within the external floor tiles**

**Missing dummy joints / control joints within the external concrete floors**

**No access below the timber decks**

**Timber decks have a minor spring / bounce within the timber floor structure**

**Decking boards have minor wood rot / decay within the decking boards**

**Decking boards have considerable wood rot / decay within the decking boards**

**Decking boards have major wood rot / decay within the decking boards**

#### **SPECIAL NOTE: RE FLOOR AREAS**

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**Defect Rating: MINOR DEFECTS**

**Defect Rating: MAJOR DEFECTS**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**Incomplete Works - Area Under Construction and Excluded from this report** *Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection required once works have been completed*

#### **GENERAL COMMENTS**

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- *ghjkgjk dfgertwer gdsfgsg cvxbjyyj dfghdt sfgsfgs m imu*
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**Overall Defect Rating: MINOR DEFECTS**

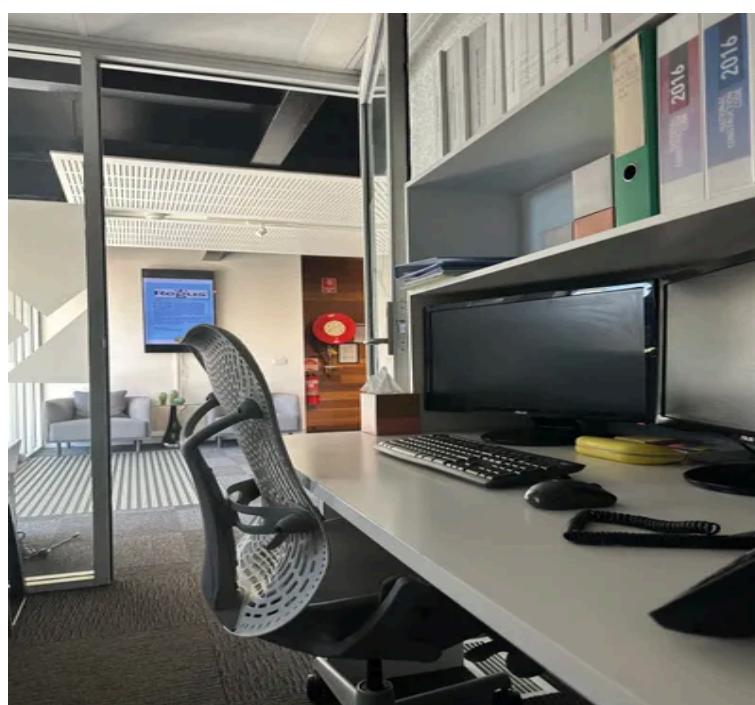
**Overall Defect Rating: MAJOR DEFECTS**

**Overall Defect Rating: SAFETY HAZARD**

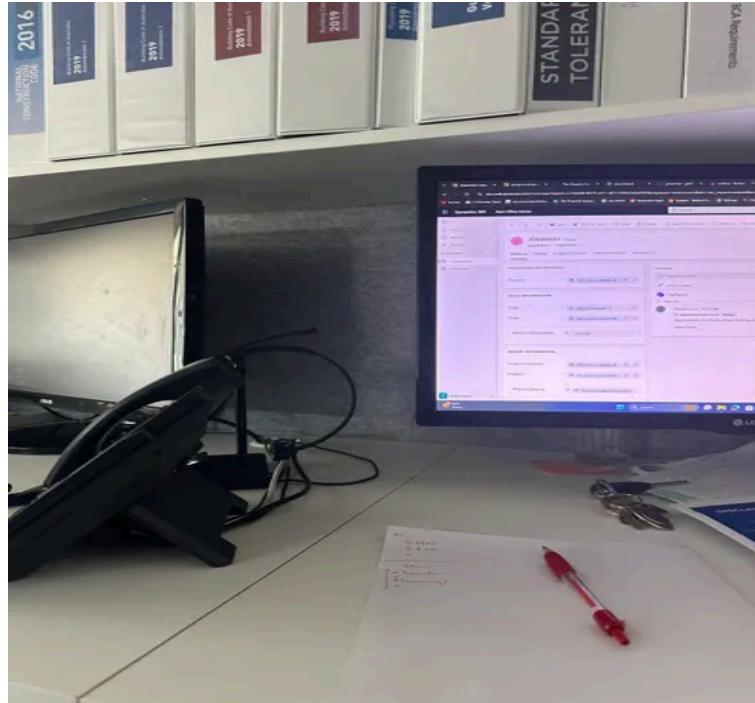
**Overall Defect Rating: FURTHER INVESTIGATION REQUIRED**



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## 11. EXTERNAL ROOF & ROOF PLUMBING

SUB\_Q: DID YOU ACCESS THE "ENTIRE ROOFTOP ELEVATION" ?

**I inspected the roof up until 2.7m off the natural ground level** I accessed the roof, where it is a single story building which has a gutter level of 2.7m or lower Any areas above 2.7m off the ground was not inspected due to WH&S regulations The roof was access using a 3.6 metre ladder from the natural ground level There were Roof Innings, Gutters / Fascia / Barge boards at 2.7m of lower from the natural ground level, that were inspected making it compliant for an assessment to be carried out Any areas above 2.7m were not inspected and a 2nd inspection is recommend by two inspectors, or via a harness being set up or via drone assessment of the roof, if you want the entire roof top elevation inspected and reported on.

**I was able to access the roof exterior in part, even though the gutter was above 2.7m In height** This property is more than one story / it has a rooftop elevation more than 2.7m in height off the ground floor level I was able to access the roof in part, from an area where I could safely use my 3.6m ladder as outlined in AS 4349.1-2007 Section 3.2.2 - Safe and reasonable access But not all areas of the roof were inspected and reported on within this report, a second inspection is strongly recommended if you want a full and comprehensive assessment of the roof elevation If you want a full assessment of the roof on all elevations, a second inspection is required with two inspectors or an inspector with a harness set up, we may choose to use a drone contractor (additional fees are applicable to re-inspect and to update this report)

**This building is a two storey building, I only inspected the roof on the single story level** The second story roof was not inspected due to height restrictions If I make any comments on the roof elevations on the first / second or third floor, they are comments made from a distance and it is not a full assessment of the issue raised If you want a full assessment of the roof on all elevations, a second inspection is required with two inspectors or an inspector with a harness set up (additional fees are applicable to reinspect and to update this report)

**This property has multiple roof levels, I accessed the roof in part only, not in full** The building has gutters ABOVE and BELOW 2.7m in height I only inspected the roof linings and gutters that were at 2.7m in height or lower The remaining roofs / roof plumbing were not inspected nor reported on within this report I did not access the entire roof elevation nor roof plumbing as the gutter line is above 2.7m in height in random locations (A 3.6m ladder services a 2.7m high gutter line) As per Work Health Occupational Safety Regulations, any roof over 2.7m from the natural / finished ground level is inaccessible for a single inspector, and that was the case with this property If you want a complete and comprehensive assessment of this roof and all the elements associated with this roof, we must return to carry out a second inspection with a harness and a second inspector, then you can rely on the facts and our findings within that report A second inspection to cover the entire roof will cost \$690 + GST (This includes two men plus ladder / harness hire to safely access the roof) You cannot rely upon this report for the condition of the roof tiles / roof sheeting / roof plumbing or any other elements found on the roof over the entire property NOTE : If I comment on the roof tiles / roof sheeting / roof plumbing, and the roof / gutter line is over 2.7m in height, our comments are general comments only If we do comment on the roof it's an assessment done via: \* From a distance or by using our zoom camera \* Overlooking

windows or structure which allows us to view the roof without actually gaining full access \* We comment on the roofs as seen off a ladder

**I did not inspect the roof over the second storey structure** A second inspection is recommended with a drone or a two-man team meeting WH&S guidelines

**I did not access the roof in any way!!, the entire building has gutters located above 2.7m in height making the entire roof inaccessible, I was unable to inspect and report on this property roof elevation (Roof linings, roof plumbing and any other aspect on the rooftop)** I did not access the roof elevation nor roof plumbing, as the gutter line is above 2.7m in height (A 3.6m ladder services a 2.7m high gutter line) As per Work Health Occupational Safety Regulations, any roof over 2.7m from the natural / finished ground level is inaccessible for a single inspector, and that was the case with this property If you want a complete and comprehensive assessment of this roof and all the element's associated with this roof, we must return to carry out a second inspection with a harness and a second inspector, then you can rely on the facts and our findings within that report A second inspection to cover the entire roof will cost \$690 + GST (This includes two men plus ladder / Harness hire to safely access the roof) You cannot rely upon this report for the condition of the roof tiles / roof sheeting / roof plumbing or any other elements found on the roof over the entire property NOTE: If I comment on the roof tiles / roof sheeting / roof plumbing, and the roof / gutter line is over 2.7m in height, our comments are general comments only. If we do comment on the roof it's an assessment done via: \* From a distance or by using our zoom camera \* Overlooking windows or structure which allows us to view the roof without actually gaining full access \* We comment on the roofs as seen off a ladder

**Minor rust seen within the screw heads holding down the roof sheets** This is common to see rust in screw heads as they are commonly damaged during the installation of the screw heads

**This building has limited space around the perimeter of the building to install a ladder to safely access and inspect the roof, I did not inspect the roof on this property** I did not access the entire roof elevation nor roof plumbing as the gutter line is above 2.7m in height in random locations (A 3.6m ladder services a 2.7m high gutter line) As per Work Health Occupational Safety Regulations, any roof over 2.7m from the natural / finished ground level is inaccessible for a single inspector, and that was the case with this property If you want a complete and comprehensive assessment of this roof and all the element's associated with this roof, we must return to carry out a second inspection with a harness and a second inspector, and then you can rely on the facts and our findings within that report A second inspection to cover the entire roof will cost \$690 + GST (This includes two men plus ladder / Harness hire to safely access the roof) You cannot rely upon this report for the condition of the roof tiles / roof sheeting / roof plumbing or any other elements found on the roof over the entire property NOTE: If I comment on the roof tiles / roof sheeting / roof plumbing, and the roof / gutter line is over 2.7m in height, our comments are general comments only If we do comment on the roof it's an assessment done via: \* From a distance or by using our zoom camera \* Overlooking windows or structure which allows us to view the roof without actually gaining full access \* We comment on the roofs as seen off a ladder

**I did not access the roof as it was RAINING at the time of my inspection** I recommend that a second inspection be commissioned on a dry day if you want the roof elevation inspected and reported on

**I did not inspect the roof as it was WET / SLIPPERY from the MORNING DEW** I recommend that a second inspection be commissioned on a dry day if you want the roof elevation inspected and reported on

**I did not inspect the roof as it was WET from an earlier SHOWER / RAIN** I recommend that a second inspection be commissioned on a dry day if you want the roof elevation inspected and reported on

**I did not inspect the roof, as I arrived to site after the sun had set / dark - the roof is not inspected nor reported on in any way** I recommend that a second inspection be commissioned on a during daylight hours on a dry day if you want the roof elevation inspected and reported on

**Recommendation: A second Inspection is recommended**

**Recommendation: Further investigation as I did not inspect the entire roof elevation**

**SPECIAL NOTE: RE ACCESS TO ROOFTOP ELEVATION**

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**Defect Rating: MINOR DEFECTS**

**Defect Rating: MAJOR DEFECTS**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: IS THE "ROOF ELEVATION" FREE OF "MAJOR DEFECTS" ?**

**I inspected the rooftop to the height of 2.7m off the natural ground level, all appears to be in order with no major defects to report on** The roof is in reasonable condition for its age It is not possible to assess and report on every tile on your roof due to WH&S regulations, but the majority has been inspected and I see no major defects to report on if you want a full report on the roof above 2.7m off the floor a second inspection with 2 inspectors or a drone assessment is recommended to assess and comment on the entire rooftop elevation, this 2nd inspection is \$690 plus GST

**The roof plumbing ( Gutters, down pipes, valley irons & flashing's ) were inspected up untill 2.7m in height, and there were no major defects nor obvious water entry points within the rooftop elevation nor gutters & downpipes that I saw on the day of my inspection** The roof plumbing appears to be in good order with no major work required to this aspect of the roof elevation/trade

**The roof eave linings, soffit & gables cladding and fascia and bargeboards are in fair & reasonable condition with no obvious water ingress spots nor major damages seen within this aspect of the roof top**

**The roof flashings / skylights appeared to be in reasonable condition subject to the age of the building and age of the fitting**

**The roof is in FAIR to GOOD condition at the time of my inspection, subject to what I could see, which was not the entire roof elevation** I did not inspect the entire roof elevations due to height restrictions and WH&S regulations for a single inspector working at heights

**I am unable to comment about the entire roof, as I did not access all roof elevations at the time of this inspection** I was unable to inspect all roof elevations within the property Any comments made are for certain locations only and made from a distance / afar (off a ladder / overlooking windows / zooming up to the location by a camera) and in no way are we commenting and covering the entire roof elevations in this report for this property Unfortunately, you cannot rely upon this report for the condition of the roof, as I did not inspect nor report on the entire roof so we do not cover the entire roof linings & roof plumbing on this property within this assessment and report If you want a full assessment of the roof, a second inspection is required, with two inspectors, or an inspector and harness set up is required, this service comes with a fee of \$690 + GST

#### SPECIAL NOTE: RE ROOF ELEVATION FREE OF DEFECTS

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- asdfadsf asfdasdfa sadfasdfa fdasfasdf asfdasfa sdfasdf

#### Defect Rating: MINOR DEFECTS

#### Defect Rating: MAJOR DEFECTS

#### Defect Rating: SAFETY HAZARDS

#### Defect Rating: FURTHER INVESTIGATION REQUIRED

SUB\_Q: WERE THERE ANY MAJOR DEFECTS WITHIN THE "ROOF TILES, SHINGLES, SLATES" ?

**The roof tiles / shingles / slates appear to be free of defects** The roof is in reasonable condition for its age It is not possible to assess and report on every tile on your roof due to WH&S regulations, but the majority has been inspected and I see no major defects to report on

**I DID NOT access / walk over the roof tiles nor roof plumbing as the gutter line was above 2.7m in height** I did not access the roof tiles & roof plumbing as it was above the maximum height required for the safe use of a 3.6m in height ladder As per Work Health Occupation Safety regulations, any roofs with a gutter line over 2.7m from the finished ground level is inaccessible for a single inspector using a 3.6m ladder, and that was the case with this property All roof tiles / roof plumbing and any other elements associated with the roof and located within the external roof linings are excluded from this report If I comment on the roof, and it's over 2.7m in height, our assessment is a general comment only, on the basis of the inspection being carried out from afar (ground floor level) or from the overlooking windows or verandas, but it's not a comprehensive and complete assessment that you can rely upon when making a decision when buying a property If you want a complete and comprehensive assessment of the roof, we must return and carry out the assessment with a harness and a second inspector, and then you can rely upon the facts and findings within that report The roof tiles and roof plumbing on this property are excluded from this assessment and this report

**I did assess the roof tiles from a distance BUT NOT IN FULL! This assessment is not a complete and comprehensive assessment of the entire roof as I could not access / assess all areas at the time of my inspection** I did not access all roof tiles & roof plumbing as it was above the maximum height required for the safe use of a 3.6m in height ladder As per Work Health Occupation Safety regulations, any roofs with a gutter line over 2.7m from the finished ground level is inaccessible for a single inspector using a 3.6m ladder, and that was the case with this property All roof tiles / roof plumbing and any other elements associated with the roof and located within the external roof linings are excluded from this report If I comment on the roof, and it's over 2.7m in height, our assessment is a general comment only, on the basis of the inspection being carried out from afar (ground floor level) or from the overlooking windows or verandas, but it's not a comprehensive and complete assessment that you can rely upon when making a decision when buying a property If you want a complete and comprehensive assessment of the roof, we must return and carry out the assessment with a harness and a second inspector, and then you can rely upon the facts and findings within that report The roof tiles and roof plumbing on this property are excluded from this assessment and this report

**Even though I did not see all elevations of the roof, I can say what I saw was all in order with little to no defect to report on**

**Dislodged tiles & minor adjustment of the roof tiles and flashings are required to keep the house watertight**

**Minor repairs are required to the roof elevation to make the roof linings / roof void watertight**  
Dislodged tiles in a few areas Minor cracks were seen within the roof tiles Minor gaps were seen in the roof tiles and valley iron junctions I encourage you to engage a roof tiler to rectify this issue

**Cracked roof tiles** There were cracked and chipped roof tiles visible There are gaps in the roof elevations that would allow water to enter in a storm, water could enter the house roof void and possibly walls and ceilings below Replacement of the tiles is required to keep the house watertight This can potentially cause further deterioration to the dwelling, for example, damage to internal ceiling plaster linings and frame

**Hip / Ridge capping mortar cracking** Hip capping, the mortar has cracks and openings within the pointing visible at the time of my inspection See a roof restoration company to have the roof re-inspected and re-pointed. If not attended to, this can allow water penetration during rainfall and it requires rectification If the roof tiles / capping's are loose on the roof, there is a chance that the roof tiles or capping pieces can fall from the roof in high winds or during heavy storms causing damage to the objects below or humans passing by which could be fatal or cause a major injury

**Valleys are rusted or in need of repair** Valley gutters are defective and in need of repair or replacement A roof plumber or roof tiler can repair or replace the valley iron / gutter If the valley iron is painted, they should be assessed every twelve to twenty-four months, as this is a common area of water entry within a home

**Excess moss on roof tiles / capping's** There is excess moss / debris on the roof tiles or roof plumbing preventing a full and comprehensive assessment

## **SPECIAL NOTE: RE MAJOR DEFECTS WITHIN THE ROOF TILES, SHINGLES, SLATES**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "ROOF SHEETING"

**The areas inspected that were visible to me on the day of inspection, within the roof sheets, were found to be in reasonable condition for the age of the building** The visible and inspected areas of the roof were found to be in reasonable condition for its age Note: I normally assess the internal ceilings and roofs to see where old or present water entry points are or have been It is impossible to assess and report on concealed water entry points, especially when houses are commonly re-painted for the purpose of the sale of the property, which makes our assessment difficult, as water entry points, deteriorated roof sheets or roof plumbing are commonly covered by flashing or sealant / silicone

**I did not access the roof sheeting & roof plumbing as the gutter was above 2.7m in height** I did not access the roof sheeting & roof plumbing as it was above 2.7m in height As per Work Health Occupational Safety Regulations, any roof over 2.7m from the finished ground level is inaccessible for a single inspector using a 3.6m ladder, and that was the case with this property If I comment on the roof and it's over 2.7m in height, our assessment is a general comment only, on the basis of the inspection being carried out from afar (Ground floor level or from the overlooking windows or verandas) but it's not a comprehensive and complete assessment that you can rely upon when making a decision when buying a property If you want a complete and comprehensive assessment of the roof, we must return and carry out the assessment with a harness and a second inspector and then you can rely upon the facts and findings within that report The roof sheeting and roof plumbing on this property are excluded from this assessment and this report

**Even though I did not inspect all aspects of the roof, what I could see from a distance, appears all is in order for the age of the property with no major issues to report on**

**Lead flashing & colourbond in direct contact with each other** There is lead flashing & colourbond metal in direct contact with each other causing a chemical reaction This must be rectified, otherwise the colourbond metal will deteriorate / rust allowing water penetration The replacement of the flashing(s) or additional silicone / PVC flashing to be installed to have the two metals avoid direct contact with each other Have a chat with a roof plumber or builder / carpenter for the best solution to be offered

**Minor rust found within the roof sheeting**

**Extensive rust found within the roof sheeting** Extensive rust was found on the roof sheeting Replacement is required ASAP Call a roofing contractor to have this made good and the house watertight

**Minor rusting to flashings** Minor rust found in sections on the roof flashing, repairs or replacement is required ASAP The roof flashings may be able to remain as is, with minor surface repairs carried out. Call a roofing contractor or handyman to have this made good

**Rust to valley gutters** Rust found in the valley irons Repairs or replacement required, have a roof plumber assess and report on the best solution

**Roof nails / screws lifted** Some roof fixing nails/screws have lifted Have a plumber re-fix with roof fixing screws

**Minor dents in the roof sheets, flashings and capping's** Minor imperfections / dents and undulations within the metal deck roof sheets, roof flashings and capping's

**Considerable rust seen within the roof sheets / roof plumbing** The rusted roof sheet/s should be replaced as they could allow water entry now or in the near future if not addressed Replacing a single sheet is not an expensive nor labour-intensive exercise You shouldn't be disheartened by this issue as it is a common issue found in older properties

**Roof sheets do not sit tight and flush with each other** Minor repairs are required to have the roof plumbing / roof sheets made watertight It is common to leave the sheets as is, with a filling / waterproofing compound applied to the open junction and excessive gaps in between the sheets when they do not sit tight nor hard up against each other

**Roof sheets are covered with leaves & debris** The roof lining must be cleared & cleaned to confirm if there are any moisture entry points within the roof sheeting

**There was asbestos roof sheeting found within this property** Asbestos ideally should be removed and disposed of, especially cracked and damaged asbestos roof sheets, flashings and capping I did not walk over the roof sheets nor flashings or capping, asbestos is fragile and my assessment of this product and roof sheets was done from a distance without any contact

## SPECIAL NOTE: RE SIGNIFICANT DEFECTS SEEN WITHIN THE ROOF SHEETING

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: WERE ANY SIGNIFIGANT DEFECTS SEEN WITHIN THE "ROOF FLASHINGS/CAPPINGS" ?**

**All flashings appear to be in order at the time of my inspection** All flashings appear to be in order at the time of my inspection No defective nor missing flashings were seen within the roof elevations

**I did not access the roof, the roof sheeting / tiles / roof plumbing was above 2.7m in height** As per Work Health Occupational Safety Regulations, any roof over 2.7m from the finished ground level is inaccessible for a single inspector using a 3.6m ladder and that was the case with this property If I comment on the roof and it's over 3.6 metres in height or 2.7m off the ground floor, our assessment / comments are general comments only, on the basis of the inspection being carried out from afar (ground floor level or from the overlooking windows or verandas) but it's not a comprehensive and complete assessment that you can rely upon when making a decision when buying a property If you want a complete and comprehensive assessment of the roof, we must return and carry out the assessment with a harness or with a second inspector and then you can rely upon the facts and findings within our report The roof sheeting and roof plumbing on this property is excluded from this assessment and this report

**I did not see all elevations / elements of the roof due to height restrictions, what I did see appears to be all in good / fair condition** Flashings and cappings are the most common areas that water enters a building, it's best to have the house inspected and repaired if required to avoid any water entry which often can cause considerable damage internally

**I am not 100% certain but from a distance it looks like the lead flashing is in contact with the colourbond roof plumbing materials** Corrosion of the colourbond material is expected if the lead is in direct contact with colourbond material

**Lead flashing is in direct contact with the colourbond roofing material** Corrosion of the colourbond material is expected if the lead is in direct contact with colourbond material

**No flashings / missing flashings** A roof plumber must be engaged to install new flashings to this property, this property currently allows water to enter without the appropriate flashings installed to the roof

**Lifted flashings** The flashings installed need to be worked on as they are lifted and defective which could allow water to enter the roof void and the internal spaces below A roof plumber should be engaged to repair and make good this issue

**Corroded flashings** The flashings are corroded and in need of repair or replacement A roof plumber would be the best contractor to call to have this repaired

**Impact damaged flashings** The flashings installed needs to be worked on as they are defective A roof plumber should be engaged to repair and make good this issue

**Flashing cracked / split** Flashing can be seen to cracked / split, this area should be attended to by a roof plumber for repair or replacement

**Wood rot in the timber capping / flashings** The timber capping connected to the bargeboard and over the roof tiles is affected by wood rot This is a common problem due to the height of this item and it's not normally seen from every elevation of the property

**Rusted capping's / flashing to the roof elevations** This could allow water to enter the roof and house internal elevations if left as is

**Damaged and defective roof capping's** Repairs are required to the roof capping, to make the property and roof framing / void watertight

**There were asbestos based products / flashings / cappings within the rooftop elevation** I did not come in contact with them and should they be broken, they will need to be replaced, as repairing asbestos based products is not an option

#### **SPECIAL NOTE: RE DEFECTS SEEN WITHIN THE "ROOF FLASHINGS"**

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**Defect Rating: MINOR DEFECTS**

**Defect Rating: MAJOR DEFECTS**

**Defect Rating: SAFETY HAZARDS**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: WERE THERE ANY "MAJOR UNDULATIONS" WITHIN THE "ROOF PLANE" ?**

**The roof plane is in good condition** The roof is in good condition The roof is not perfect but it's in a fair and reasonable condition, I had limited access on the day of the inspection

**The roof has a minor but acceptable wave in the roof linings** The roof is not perfect but it's in a fair and reasonable condition, I had limited access on the day of the inspection

**Minor waves in the roof lines - Further investigation is required** The roof plane has minor waves not meeting an acceptable standard compared to a newly built property Further investigation by a carpenter within the roof void is recommended, this is a common issue within older properties, as the timber members tend to be over spanned compared to current regulations or supporting members have been removed within the roof space for one reason or the other This could be repaired and made good by a good team of carpenters

**Major waves in the roof lines - Further investigation within the roof line** The roof plane is wavy and not meeting an acceptable standard compared to a newly built home Further investigation by a carpenter within the roof void is required, this is a common issue within older homes, as the timber members tend to be over spanned compared to current regulations or supporting members have been removed within the roof space for one reason or the other This could be repaired and made good by a good team of carpenters, an assessment is required so the true reason and scope is known prior to the purchase of the property

**I could not see the entire roof elevations at the time of this inspection and I therefore cannot comment on the waviness of the roof**

#### **SPECIAL NOTE: RE MAJOR UNDULATIONS WITHIN THE ROOF PLANE**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "ROOF GABLE" ?

**The gables are free of significant defects / damage**

**Gaps in gable linings** *Gaps in gable cladding allowing pests and debris to enter the roof / house cavity*

**Wood rot to gable cladding** *There is deteriorated gable cladding (dry / wet rot) A carpenter and painter need to be engaged to have this repaired or replaced*

**Wood rot to gable bargeboards**

**Wood rot to gable bargeboard cappings**

**Wood rot to gable fascia**

**Wood rot to gable trimmings / timber members**

**Wood rot in the gable barge / fascia board**

**Twisted and bowed gable end cladding**

**Damaged cladding to the gable end**

**Missing cladding to the gable end**

**Soffit linings / eaves within the gables are defective**

**Paint / coating in poor condition** *The gable and soffit linings need to be re-painted*

**Gable eave linings are damaged and in need of repair**

**Gable eave linings have signs of moisture damage, in need of repair**

**Minor works are required to repair and make good the roof gable ends**

**Considerable works are required to repair and make good the roof gable ends**

**Major works are required to repair and make good the roof gable ends**

**Gable roof linings and gable end junction is defective and in need of repair / possible moisture entry within these openings**

**Bowed and twisted shingles within the gable linings of the roof**

**Opening seen within the roof gables which could allow water to enter the roof void or house internal elevations below**

**Bowed and distorted roof framing showcasing an old and weathered / defective roof frame**

**Missing timber eave lining boards within the gable ends**

**Mould and moisture seen within the gable eave lining boards**

**Missing soffit linings**

**Missing gable end linings**

**Gable lightweight structure / gable end and wall junction below allows water ingress within this junction / connection**

#### **SPECIAL NOTE : RE DEFECTS SEEN WITHIN THE ROOF GABLE**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

SUB\_Q: DOES THE ROOF APPEAR TO BE "WATERTIGHT" ? CONSIDERING SKYLIGHTS, FLASHINGS, VENTS, VALLEY IRONS?

**The roof appears to be watertight in its current condition**

**I did not inspect the entire roof elevation but what I did see was all in order from the vantage points available on the day of my inspection** Should you want a full and comprehensive assessment of the roof, a second inspection with two inspectors or a drone inspection is required

**The roof was not inspected at all!, due to the height of the roof being in excess of 3.6m from the natural ground level** I was not able to inspect the roof elevation, therefore I did not assess nor report this aspect of the property within this report If you want this reported on, a second inspection is required and a second inspector is required to assist me to re-inspect the roof

**I did not inspect the entire roof elevation, as the gutter lines are above 2.7m from the natural ground, I did however inspect the roof in part, off a ladder / from a distance** As I did not see all aspects of the roof, I cannot comment nor can I give a comprehensive assessment and advice on this aspect of the roof Any comments made are on the basis of what I could see from a distance on the roof but my advice is not covering the entire property I suggest you have the roof assessed by two inspectors or a drone if you want a full and complete assessment of the roof elevations

**The sewer gully allows the stormwater / surface water to enter the sewer line at will at ground level**

If the gully is flush or lower than the finished external floor level, it allows the stormwater to enter the sewer line, this is non-compliant with building regulations (sewer lines and stormwater lines should never mix)

**Sewer air vent pipe / cap is defective** It's a quick and easy fix for a professional roofing contractor / roof plumber

**I saw the skylight cover was defective** Minor works are required by a roofing contractor to have the skylight PVC / GLASS cover replaced due to it being defective, which could allow water to enter the property if left as is. The contractor needs to inspect and confirm what parts are required and to perhaps carry out a flood test to confirm if any water is entering through the skylight, the roof covering or roof flashing.

**I saw the skylight cover / trim dislodged and defective, possible water ingress issues within this junction** The skylight needs a carpenter or specialized roofing contractor to inspect and assess this element of the property. The contractor needs to inspect and confirm what parts are required and to perhaps carry out a flood test to confirm if any water is entering through the skylight or the roof linings / roof flashings in place

**Rust seen within the skylight frame** The framework around the skylight can be repaired / painted to address the rust seen within the current skylight, as skylights are not an expensive item to purchase perhaps a new skylight would be a good option for this property should there be leaks within the property

**I saw the skylight dome PVC is damaged / cracked** Replacement of the dome is required should the cracks allow water ingress

**I saw the skylight dome GLASS PANE is damaged / cracked** The skylight glass appears to be cracked, would water enter the property a skylight contractor can easily replace the skylight should that part be still available within spare parts from the manufacturer

**The skylight was seen to allow water to enter the home when I inspected the internal elevations** A roofing contractor or skylight specialist should be engaged to inspect or repair and replace the skylight to create a watertight environment in and around the skylight

**The skylight flashing was lifted / cracked / damaged, which could allow for water ingress** A roofing contractor should be engaged to beat down the flashing or repair / replace the flashing to alleviate any water ingress during a storm

**Within the roof elevation there was lifted flashings which could allow for water ingress into the roof void / habitable rooms below**

**Lead flashings were seen to be lifted, with excessive gaps found between the flashing and roof linings**

**Lead flashings were seen to be cracked and in need of repair**

**Lead flashings were seen to have excess sealant applied on top of the flashing**

**Lead flashing does not appear to have adequate overlap, which could result in water ingress**

## **Missing lead flashings within the rooftop elevation**

**Metal flashings were seen to be lifted, with excessive gaps found between the flashing and roof linings**

**Metal flashings were seen to be cracked / damaged and in need of repair**

**Metal flashings were seen to have excess sealant applied on top of the flashing**

**Metal flashing does not appear to have adequate overlap, which could result in water ingress**

## **Missing metal flashings within the rooftop elevation**

**Roof vent / flue was seen to be leaning out of plumb** *Flue is bent / leaning out of plumb, a roof plumber needs to inspect and confirm what parts are required and then have the works carried out ASAP*

**Roof vent / flue was seen to be rusted and in need of repair or replacement** *Rusty metal flue and vent, a roof plumber needs to inspect and confirm what parts are required and then have the works carried out ASAP*

## **Roof vent / flue has missing cowling**

**Roof vent / flue has damaged / defective flashing where the vent penetrates the roof linings** *Flashing should be repaired to prevent any water ingress within the roof void or internal habitable rooms below*

## **Roof vent / flue is damaged and partially missing from the roof elevation**

**Roof vent / flue was not seen within this property** *Vents are installed to allow ventilation to the sewer line, I could not see one installed and exposed through the roof elevation within this property*

**Roof cappings were seen to be damaged / defective** *This could allow for wood rot to the timber framing members below and eave linings*

## **Roof cappings have wood rot**

**Roof cappings were seen to be bowed and distorted**

**Roof cappings were seen to be missing from the rooftop elevation**

**Roof cappings were seen to be in need of repair / painting**

**Roof cappings were seen to be missing in part**

**Chimney flashings appear to be faulty / defective** *The flashings around the chimney are defective, which could result in water entry, a roofing contractor should be engaged to assess and make good this issue ASAP*

## **SPECIAL NOTE: RE CONSIDERATIONS WITH THE ROOF APPEARING TO BE WATER TIGHT**

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- *ewr we sdfsdfgsdfg g hn g dg sdasfa sf df*

## **Defect Rating: MINOR DEFECT**

## **Defect Rating: MAJOR DEFECT**

## **Defect Rating: SAFETY HAZARD**

## **Defect Rating: FURTHER INVESTIGATION REQUIRED**

SUB\_Q: ROOF PLUMBING - WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "ROOF VALLEYS / GUTTERS / DOWNPipes" ?

**I inspected the roof plumbing below 2.7m from the natural ground level. All appears to be in good order with no major defects nor issues to report on** Not every junction nor gutter line was inspected close up, as our inspection was done off a ladder but there were no major issues within the gutters nor downpipes at the time of this inspection Gutters and downpipes should be checked regularly, especially when you have overhanging trees or vegetation that could fall and block the valley irons, gutters or flashings, which could result in water ingress if not cleared

**I inspected the roof plumbing below 2.7m from the external finish floor level and they appear to be in FAIR CONDITION subject to the age of the house** The gutters appear to be in fair & reasonable condition subject to the age of the building. The gutters are not new, and minor wear & tear was seen within the roof plumbing, typical for the age of the property / roof plumbing see within this rooftop elevation. It is best to have the gutters inspected, as concealed rust or non-obvious water rust or water leaks within the roof plumbing may not be seen, as only a flood test can highlight leaks within the roof plumbing A flood test was not carried out within this inspection, but is recommended

**All gutters appear to be in good order** The gutters appeared functional with no major deterioration or major blocking with debris or the like

**All downpipes appear to be in good order** The downpipes appeared functional with no major deterioration or major blocking with debris or the like

**All roof valleys appeared to be in good order**

**There were missing gutters within the roof elevation** Gutters and downpipes should be installed to collect and control stormwater overflow from entering the subfloor areas of the house and surrounding structures

**I did not access the roof & roof plumbing above 3.6m in height** I did not access the roof & roof plumbing as the gutter line was in excess of 2.7m from the ground level below. As per Work Health Occupational Safety Regulations, any roof with a gutter line over 2.7m from the ground level below level is inaccessible for a single inspector as it does not allow the safe use of a ladder as detailed in AS4349.1-2007 section 3.2.2 - Safe and reasonable access, this was the case with this property If I comment on the roof / roof plumbing and it's over 2.7m in height, our assessment is a general comment only, on the basis of the inspection being carried out from afar (ground floor level or from the overlooking windows or verandas) but it's not a

comprehensive and complete assessment that you can rely upon when making a decision when buying a property If you want a complete and comprehensive assessment of the roof, we must return and carry out the assessment with a second inspector and then you can rely upon the facts and findings within our report The roof sheeting and roof plumbing on this property is excluded from this assessment and this report NOTE: If comments are made on the roof plumbing, it's because we reported on the areas below 2.7m in height in this report, but anything above that height is excluded from our assessment and this report

**There were gutters that were rusted in sections** Gutters are rusted in sections that are visible around the dwelling Excess water leaking from the guttering is conducive to timber fungal decay and an increased risk of termite infestation. This can cause deterioration of the cladding plus wall and roof framing This also can be the cause for the foundations of the dwelling to swell, and cracking within the walls and footings Liaise with a roof plumber for the best solution.

**There were gutters that were damaged / dented / defective, gutters are not in a straight plane, the gutters are in need of repair / replacement** There is damaged / defective gutters on site. The gutter should be repaired to limit the possibility of having excess water flood the eaves lining, walls and floors below the gutter Constant leaking gutters can contribute towards pavers or tiles subsiding over time and a trip hazard is created, together with excessive water pooling under the subfloor areas of a property

**There were gutters blocked with debris** I found blocked guttering and gutters with excess debris within them The gutters need to be cleaned out to prevent blocking of downpipes and leaking into eaves and fascia

#### **There were gutters were full of leaves & debris**

**There were gutters that had leaks within the gutter joins** Gutter joins leaking Excess water leaking is conducive to timber fungal decay and an increased risk of termite infestation if left as is This can cause deterioration of cladding plus wall and roof framing This also can be the cause for the foundations of the dwelling to swell, and cracking within the walls and footings

**There were gutters that were separated within the gutter joins** Gutter joins separated Repairs required in order to prevent deterioration by leaking Liaise with a plumber to have rectified

**There were gutters that hold water / ponding water** Gutters are ponding Possibly due to debris or poor fall of actual gutter installation You must have gutters cleaned and assessed by a plumber for adequate fall Also regularly clean to prevent ponding, as ponding water will contribute to rust

#### **There were gutters disengaged from the fascia**

#### **There were gutters disengaged from the rafter end tails**

**There were gutter external corners that appeared to be aged / weathered / damaged and in need of repair**

**There were gutters that were too high to assess and make comment on** Therefore the gutters are excluded from this assessment and my report due to height restrictions Further investigation is required if all gutters conditions are to be reported on

**There were rusted gutter brackets / astragals**

**There is vegetation / leaves / weeds growth seen within the gutters, the downpipes are probably affected / obstructed as well**

**I saw damaged / dented downpipes** There are downpipes that need to be repaired within this property Damaged and dented downpipes may lead to excess pooling of water under the subfloor area of the house or deck, pooling water or damp subfloors can draw termites to a property Downpipes are not costly items to be repaired or replaced, most handy homeowners can replace a downpipe within thirty minutes with supplies from bunnings or a plumbing supplier

**Not all downpipes were connected to a stormwater line within the ground** Not all downpipes are connected to a stormwater system See a plumber to have connected This has the potential to cause differential settlement to the footings, cause rising damp and is also conducive to an increased risk of termite infestation This could lead to being a major defect because of the potential problems relating to excess water within the subfloor

**All the downpipes were not connected to the stormwater system - Major Defect** Saw cut rock or concrete or garden beds to connect the downpipes to the active stormwater line on site, or, should there not be one already existing a stormwater rubble pit should be created or the stormwater should be drained out to the street to prevent the pathways or subfloor areas from flooding each time it rains

**I saw leaks within the downpipe joins** Downpipe joins leaking, have a roofing plumber repair / seal this issue while it's a minor defect

**I saw rust within the downpipes** There was visible evidence of downpipe rust requiring immediate repairs Evidence of leaking joins / connections or blocked downpipes may present during periods of rainfall and this can only be assessed during rainfall periods Any leaks detected will require repair / re-sealing by a plumber

**I saw a missing downpipe within this property** All gutters must be connected to a downpipe, which is connected to the in-ground stormwater line

**I saw excessive dampness on the floor / walls / surrounding areas below the roof plumbing (gutters and downpipes)** Further works / investigation is required to address the excessive moisture seen on-site within this property (walls and floors)

**There were rusted downpipe brackets / astragals**

**There were stormwater lines in ground not capped off and debris is able to enter the stormwater line at will** If the stormwater lines are not capped off / sealed it's only a matter of time when an object will fall into these holes and the stormwater line will block up

**There was excess mould and moisture within the surrounding floor finished to this property**

Meaning there is excess moisture not controlled nor directed to a stormwater system This should be rectified for the safety of a person to walk around the property and to alleviate any moisture from reaching the external

walls, footings or foundation material, together with reaching the subfloor and potentially pooling within that area

## SPECIAL NOTE: RE SIGNIFICANT DEFECTS SEEN WITHIN THE ROOF VALLEYS / GUTTERS / DOWNPipes

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "EAVES / FASCIAS / BARGES" ?**

**The eaves / fascias / barges appear to be in fair & reasonable condition** *No visible damage and appear to be in reasonable condition for the age of the building*

**The eave and soffit linings were detached / defective** *Eave and soffit lining detached, damaged and loose. Get a carpenter to repair or replace the eaves / soffit linings.*

**The eave and soffit lining have moisture staining / bubbling visible within the finished surfaces**

*Staining / bubbling visible Have a painter re-paint / treat the surfaces to preserve the timber / fibro linings  
The staining appears to be old and not a recent leak, but the staining is visible Staining can occur due to blocked guttering An assessment by a plumber is advised prior to the painting of the timber or fibro*

**The eave and soffit linings had missing pieces, in need of minor repair from a carpenter or handyman to rectify this defect**

**There ere missing eave lining boards** *Minor works are required to install and make good the eaves within this property*

**There were damaged / defective eaves linings** *The eaves / soffit linings are in place but they are in need of repair due to the defects seen within the eaves linings*

**Moisture damage to the eaves / soffit linings board** *Moisture / discolouration of the eaves linings, source of moisture should be determined and repaired and then the lining board should be repaired / made good*

**There was bowed and defective eave lining boards**

**There were no eave lining boards installed**

**The V-jointed eave lining boards are damaged, bowed and defective**

**The V-jointed eave lining boards have wood rot within the timber members - in need of repair**

**The eave lining boards have mould and moisture present** *The eaves are in need of rectification*

**The fibro eave lining boards are bowed and distorted**

**The eave lining boards sheet joints are damaged and defective**

**The timber fascia has fungal decay** *Timber fungal decay evident Have carpenter repair or replace*

**The timber fascia paintwork is defective / flaking** *Flaking paint on sections of fascia Sand back and re-paint*

**The timber fascia board is cracked / split** *Fascia can be seen to be cracked / split, this should be replaced or repaired by a carpenter*

**The timber bargeboard have fungal decay** *Fungal decay seen to be present on the bargeboards Repairs to this area should be undertaken by a carpenter and painter*

**The timber bargeboards have flaking paint** *Flaking paint evident on bargeboards, this area should be attended to by a painter to ensure longevity of this area*

**The timber bargeboards are cracked / split** *Bargeboard is cracked / split which will require repair or replacement by a carpenter.*

**The metal fascia is damaged and in need of repair** *Roof plumber / carpenter needs to rectify the fascia*

**The metal bargeboard is damaged / defective** *A roofing contractor / carpenter needs to rectify this aspect of the rooftop elevation*

#### **SPECIAL NOTE: RE SIGNIFIACNT DEFECTS SEEN WITHIN THE EAVES / FASCIAS / BARGES**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "CHIMNEY" ?**

**The chimney(s) appear plumb and structurally sound**

**I saw that the chimney had defective / damaged cowling** *We suggest you engage a licensed builder or roofing contractor to assess and make good this issue to keep the house watertight and to limit any liability*

**I saw the chimney having no cowling installed, allowing water to enter the chimney at will**

**I saw a lean in the chimney** *The chimney needs to be assessed and made good ASAP to avoid any materials or the chimney itself from falling and causing damage and possible injury to the occupants or neighbouring*

*property or people A roofing contractor or licensed builder are the best-suited contractors for this task*

**I saw cracks within the chimney structure** *The chimney is cracked and defective, a structural engineer should be engaged to assess and comment*

**There were flashings around the chimney that appeared to be faulty / defective** The flashings around the chimney are defective, which could result in water entry, a roofing contractor should be engaged to assess and make good this issue ASAP

**I saw a chimney within the roof space, but not protruding through the roof covering** I have seen the remnants of an old chimney within the roof void, further investigation is required to confirm the safety of the rooms / occupants below

**The chimney was too high to inspect (It was not inspected nor reported on in full)** The chimney is located on a roof elevation that did not have safe and reasonable access with the use of a 3.6m ladder as outlined in AS 4349.1-2007 section 3.2.2, the access was in excess of 2.7m from the ground level, it is unsafe for me to access and inspect the chimney

**The chimney appears to be shared between this property and its neighboring property** Potentially built within the shared common wall This could cause issues to you should you or your neighbour choose to work on the chimney, as you would have to consider the consequences to their property or them to yours, as period buildings don't tend to have cavities between the shared walls and sometimes cracks appear within your building should the neighbours renovate their fireplace

#### **SPECIAL NOTE: RE SIGNIFICANT DEFECTS SEEN WITHIN THE CHIMNEY**

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## **Defect Rating: MINOR DEFECTS**

## **Defect Rating: MAJOR DEFECTS**

## **Defect Rating: SAFETY HAZARDS**

## **Defect Rating: FURTHER INVESTIGATION REQUIRED**

## SUB\_Q: CLOSING STATEMENT

**The roof was in GOOD to VERY GOOD condition at the time of my inspection, subject to what I could see on the day of my inspection** *I did not inspect the entire roof elevations due to height restrictions and WH&S regulations for a single inspector working at heights*

**The roof is in GOOD condition, subject to what I could see on the day of the inspection** I did not inspect the entire roof elevations due to height restrictions and WH&S regulations for a single inspector working at heights

**The roof is in FAIR & REASONABLE condition, subject to what I could see on the day of the inspection**

*I did not inspect the entire roof elevations due to height restrictions and WH&S regulations for a single inspector working at heights*

**The roof is in AVERAGE condition, subject to what I could see on the day of the inspection** *I did not inspect the entire roof elevations due to height restrictions and WH&S regulations for a single inspector working at heights*

**The roof is in BELOW AVERAGE condition, subject to what I could see on the day of the inspection** *I did not inspect the entire roof elevations due to height restrictions and WH&S regulations for a single inspector working at heights*

**The roof is in POOR CONDITION with considerable work required to have it watertight and safe to walk over** *I did not inspect the entire roof elevations due to height restrictions and WH&S regulations for a single inspector working at heights Work is required by a roofing contractor to make the roof void and property below water tight*

**The roof is in INADEQUATE CONDITIONS to keep the property dry / free of water entry, work is required to have the roof watertight** *I did not inspect the entire roof elevations due to height restrictions and WH&S regulations for a single inspector working at heights Work is required by a roofing contractor to make the roof void and property below water tight*

**IT WAS RAINING ON THE DAY OF MY INSPECTION AND I DID NOT USE MY LADDER TO INSPECT THE ROOF** *A second inspection is recommended when it is not raining, so I can inspect the entire rooftop elevation, so I can offer a full and comprehensive assessment over and above this reports findings*

**The roof elevation was not inspected due to HEIGHT RESTRICTIONS** *A second inspection is recommended The second inspection should be scheduled on a dry / non raining day, If all elevations above 2.7m in height are required to be assessed and reported on a two person team or drone or harness set up is required to be installed to safely inspect and to produce a complete report on this property roof linings and roof plumbings, so I can inspect entire roof top elevation, and then I can offer a full and comprehensive assessment over and above this reports findings on the entire roof top elevations*

**The rooftop was not inspected - Further investigation required should you want this aspect of the property inspected**

**SPECIAL NOTE: I am unable to comment on the entire roof, as I did not access all roof elevations at the time of my inspection** *A second inspection si recommended should you want a full and comprehensive assessment and report covering the rooftop elevation of this property. We strongly recommend that the rooftop elevations, subfloor area and roof void areas are comprehensively inspected and reported on, as these are the main areas of a property that an expert input would be of benefit to a potential buyer*

**SPECIAL NOTE: The roof elevation was NOT ACCESSED in any way** *The roof elevation was NOT ACCESSED in any way, the roof elevation is excluded from this report, even if I have made earlier comments, they were made from assessing the roof from a distance, and my assessment is not a full and comprehensive assessment of the roof elevation of this property*

## SPECIAL NOTE: CLOSING STATEMENT

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**Incomplete Works - Area Under Construction and Excluded from this report** Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection required once works have been completed

## GENERAL COMMENTS

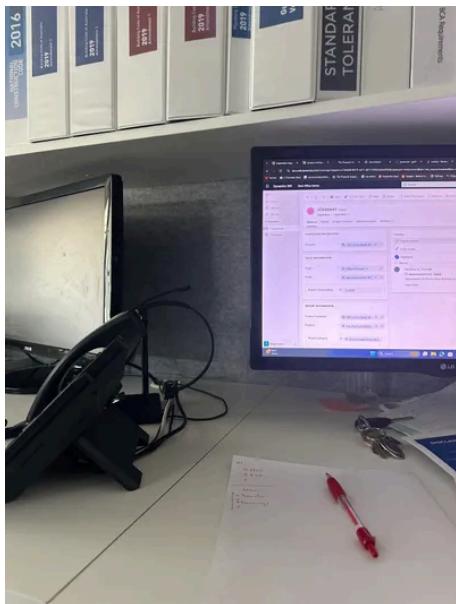
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## Overall Defect Rating: MINOR DEFECTS

## Overall Defect Rating: MAJOR DEFECTS

## Overall Defect Rating: SAFETY HAZARDS

## Overall Defect Rating: FURTHER INVESTIGATION REQUIRED



## 12. 'ROOF VOID' / 'ATTIC' / 'ROOF SPACE'

SUB\_Q: DID YOU ACCESS THE ROOF VOID ?

**The roof void was inspected** The roof void was inspected but not in full, as all elements and junctions were unable to be inspected and reported on within this report Due to the way the roof was built, we cannot inspect all areas of the roof We, therefore, do not offer a complete and comprehensive report on all the elements within the roof void

**The roof was inspected but NOT IN FULL due to restricted access within the roof void** The roof void was inspected Due to the way the roof was built we cannot inspect all areas of the roof We, therefore, do not

offer a complete and comprehensive report on all the elements within the roof void We recommend further inspection once access is made available within the roof void

**I was only able to enter the roof void by inserting my head / arm / camera into the roof void, I did not physically enter the roof void** All commentary within this question is given from the manhole location only I did not access the roof void in full, therefore a second inspection and a full assessment is recommended if you want the entire roof void inspected and reported on

**I was not able to inspect the roof void, because the vendor has their personal belongings placed within the roof void obstructing my access to the entire roof void** A second inspection is recommended once the roof void is cleared / emptied

**The roof void was not inspected within the flat skillion roof area** I was not able to reach the roof void because there was no access hatch within the ceiling at the time of my inspection This is normal for flat metal roof construction, as roof voids normally do not exist as the plasterboard linings are normally fixed directly to the underside of the roof rafters / beams We, therefore, exclude this portion of the building within our report and you cannot rely upon this report for the element / roof void

**I did not inspect the roof void due to the property having a skillion / flat roof with no manhole access** Unable to comment on the entire roof framing / roof void due to the property having a flat roof, and the rafters are lined to the underside of the rafters / battens, this aspect of the property has not been inspected due to no access / no roof void available to enter into

**The roof void was not inspected, as the property has a flat metal deck roof with no roof void to inspect** I was not able to reach the roof void because there was no access hatch within the ceiling at the time of my inspection This is normal for flat metal roof construction, as roof voids normally do not exist as the plasterboard linings are normally fixed directly to the underside of the roof rafters / beams We, therefore, exclude this portion of the building within our report and you cannot rely upon this report for the element / roof void

**There was no manhole accessing the pitched roof void** There was no manhole within the plasterboard ceiling, I, therefore, could not access and survey the roof void We recommend further inspection once access is made available within the roof void

**I did not access the roof void as there were obstructions below and around the manhole** There were obstructions in and around the manhole limiting the installation of a ladder and a safe entry and exit of the roof void Access was obstructed due to furniture / belongings / obstructions located below the manhole We recommend further inspection once access is made available within the roof void

**I did not access the roof void as there was furniture located below the manhole** There were obstructions in and around the manhole limiting the installation of a ladder and a safe entry and exit of the roof void Access was obstructed due to furniture / belongings / obstructions located below the manhole We recommend further inspection once access is made available within the roof void

**I did not access the roof void, as the manhole is located within the shower cubicle and I could not safely enter the roof void with my step ladder** We recommend further inspection once access is made available within the roof void

**I did not access the roof void due to the manhole being located above the toilet suite and I could not safely install my ladder to access the roof void** We recommend further inspection once access is made available within the roof void

**I did not access the roof void due to the manhole being located within the bathroom and I could not safely install my ladder for safe access into the roof void** We recommend further inspection once access is made available within the roof void

**The roof void was not inspected due to the manhole is located above fixed / loose furniture, making it unsafe for me to enter the roof void** We recommend further inspection once access is made available within the roof void

**I did not access the roof void due the occupants of the property having scattered clothes / personal belongings directly below the manhole** This is a contactless inspection and we do not touch the occupant's furniture or personal belongings We recommend further inspection once access is made available within the roof void

**I did not inspect the roof void due to the manhole being closed and due to Covid / contactless inspection, the roof void was not inspected** We recommend further inspection once access is made available within the roof void

**I did not inspect the manhole, as the pulldown ladder was unable to be opened at the time of my inspection** We recommend further inspection once access is made available within the roof void

**The roof void access hatch was unable to be opened, as an ALLEN KEY is required to open the hatch and such key was not available at the time of my inspection** We do not carry tools nor do we do deconstructive investigation to access restricted areas We recommend further inspection once access is made available within the roof void

**The roof void access hatch was unable to be opened, as a SCREWDRIVER is required to open the hatch and was not available at the time of my inspection** We do not carry tools nor do we do deconstructive investigation to access restricted areas We recommend further inspection once access is made available within the roof void

**I did not access the roof void as the manhole access panel was painted shut at the time of my inspection** We recommend further inspection once access is made available within the roof void

**I did not access the roof void because the manhole was unable to be opened on the day of my inspection** We recommend further inspection once access is made available within the roof void

**I did not access the roof void because the roof access hatch is within a ceiling that is higher than 2.4m off the floor, and I could not safely enter or exit the roof void** We recommend further inspection once

*access is made available within the roof void*

**I did not access the roof void because the manhole is located alongside the staircase with a fall greater than 2.7m from the ladder** We recommend further inspection once access is made available within the roof void

**I did not access the roof void because the access hatch was fixed shut or required a key to access the manhole** The manhole was closed and it required a key to have it open, this key was not available at the time of this inspection The roof void conditions are excluded from our report The access hatch should be opened and a second inspection be commissioned prior to purchasing this property

**I did not access the roof void because the access hatch was too small for me to enter the roof void, minimum size being 400mm x 500mm** The existing roof void access hatch is less than the minimum required for safe and reasonable access under AS4349.1-2007 being 400mm x 500mm A new complying access hatch needs to be created so we can inspect the roof void and other service contractors can enter the roof void easily and safely

**I did not access the roof void because the roof space / void has a habitable room within and no roof void to inspect**

**I did not access the roof void because I saw possible loose fill insulation within the roof void** I was not supplied a clearance certificate for loose fill insulation possibly containing asbestos for this house I saw loose fill insulation within the roof void We recommend further inspection once safe access is made available within the roof void I, therefore, did not enter nor crawl around the roof void in the chance of being contaminated and then contaminating the internal and external spaces of this house and myself should the insulation contain Asbestos particles I AM NOT SAYING THAT THIS PROPERTY HAS LOOSE FILL INSULATION THAT CONTAINS ASBESTOS WITHIN THE ROOF VOID I AM STATING THAT THE INSULATION WITHIN THE ROOF IS LOOSE FILL INSULATION OF SOME SORT! If a further inspection is required once a loose fill asbestos clearance certificate is supplied, there is an additional fee applicable Our fee for a second inspection is \$300 + GST covering our time to re-inspect and to update this report Should you want a loose fill asbestos certificate on this property, our office can supply such a report for \$800 + GST, this includes the return visit to the site to obtain a sample and a lab test and clearance or non-clearance certificate (This report can take up to five business day to be complete)

**I did not inspect all aspects of the roof void, due to the Air Conditioning system within the roof void, which obstructed my view and access within the roof void** Not all aspects of the roof were inspected Further investigation is recommended if you want to know all aspects of the roof void within this property

#### **SPECIAL NOTE: RE ACCESS TO ROOF VOID**

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#### **Defect Rating: MINOR DEFECTS**

## Defect Rating: MAJOR DEFECTS

## Defect Rating: SAFETY HAZARD

## Defect Rating: FURTHER INVESTIGATION REQUIRED

SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITH THE THE ROOF VOID ?

**No major defect was seen in the Roof Framing within the roof void of this dwelling** *Special Note: I was not able to inspect all aspects of the roof void within this property, so my inspection and this written report is not a complete assessment of the conditions of the roof void - a second inspection is recommended once a clear passage/access is made available, so I can reinspect and report on all elements within the roof void. I have made comments of the roof void in part only ! my comments cover the areas that I could see only, it doesn't mean the comments made are of the entire roof void, and hence why I recommend the 2nd inspection once good clear access is made available to all aspects and all timber members within the roof void.*

**No water ingress issues were seen within the roof void at the time of my inspection and within the area that was seen / sighted while I was within the roof void** *I saw no water stains on the ceilings / roof void at the time of my in inspection*

**No major electrical issues were seen within the roof void** *An electrician should be engaged to inspect and test and then comment on the entire property electrical trade*

**No major plumbing issues were seen within the roof void** *Spare answer 1 You should engage a plumber to test and comment on all aspects of the plumbing trade within this property if you want to understand the true condition of the plumbing trade within this property*

**The underside of the Roof Tiles appear to be in good order with no major openings / gaps / cracked tiles seen in the area of the roof that was inspected / able to be inspected in this restricted area**

**The Roof Sheets appear to be install well and no major defects / holes were seen to the underside of the roof lining / roof plumbing**

## SPECIAL NOTE: RE ROOF VOID

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## Defect Rating: MINOR DEFECTS

## Defect Rating: MAJOR DEFECTS

## Defect Rating: SAFETY HAZARD

## Defect Rating: FURTHER INVESTIGATION REQUIRED

SUB\_Q: WERE THERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE ROOF VOID - LININGS / UNDERSIDE

**The sarking within the roof void was in good order with no obvious failures**

**The underside of the roof at the time of the inspection was in an acceptable condition for the age of this property**

**The roof has no sarking installed to the underside of the roof linings** *The possibility for a water entry issue is greater than a house without sarking being installed and hence why daylight can be seen to be protruding through the roof void*

**The roof has sarking installed but it is sagging and defective** *Sarking should be fixed in place and overlapping one another to capture any driven rain through the roof to be drained into the gutters, to avoid the internal roof void and internal habitable rooms within the property from getting wet*

**There was torn sarking within the roof void which should be rectified**

**Daylight can be seen to be coming through the roof linings / flashing / junctions within the roof void**

*In some cases, daylight within the roof void doesn't mean that water enters the roof or property below It's always best to have a roofing contractor inspect and assess the roof once you move in Minor adjustments to the existing roof can result in drastic improvements in having the roof void and building below watertight*

**Leaves and debris are seen within the roof void, meaning there could be water entry into the roof void in a high wind storm**

**Gaps exist beneath flashing(s)** *Gaps can be seen beneath flashings These areas should be attended to, so as to stop wind-driven rain from entering the roof space, these works can be carried out by a roof plumber or handyman for minimal cost*

**Gaps exist around several roof screw / nail penetrations** *Gaps can be seen around screw / nail penetrations. These areas will need to be attended to, to ensure the roof space is watertight. These works can be carried out by a roof plumber or handyman for minimal cost.*

**Water staining evident to upper surface of ceilings** *Water staining can be seen on the ceiling lining within the internal envelope of the house (roof void) When assessing the roof void it is difficult to confirm if the water leak has been made good recently or if the water entry issue is still active You are recommended to have this area flood tested to determine if remedial works are required or not*

**Water staining evident to insulation** *Water staining can be seen on the insulation, I don't know if this is a past or present water entry issue The insulation can be turned around if dry, and monitored, if new stains appear than you know it's a current issue. A flood test would need to be carried out to determine if remedial works are required, these works can be carried out by a roof plumber or handyman for minimal cost and once diagnosed most roof repairs can be completed within a days work by a good roofing contractor*

**Water staining evident to insulation / sarking** *Water staining can be seen on the insulation (sarking) I cannot confirm if this is a past or present issue, it would be recommended that the area be flood tested to*

determine if remedial works are required, these works can be carried out by a roof plumber or handyman for minimal cost and once diagnosed most roof repairs can be completed within a days work by a good roofing subcontractor

**Water staining evident to underside of roof** I can see water staining to the underside of the roof lining and the timber members are discoloured / watermarked I cannot ascertain if this is a past or present issue I recommend that this area be flood tested to determine if remedial works are required These works can be carried out by a roof plumber or handyman for minimal cost and once diagnosed most roof repairs can be completed within a days work by a good tradesman

**Fragments of fallen roof tiles are seen within the roof void, replacement of the roof tiles is required in the future as the roof tiles are old and weathered**

**Chemical Delignification of the timber members / roofing battens / rafters within the roof void**

These timbers will need to be replaced soon as they could give in when a service contractor walks over the roof and the timber could break resulting in the service contractor falling

I am unable to comment on the timber members and linings beneath the skillion roof, the skillion roof has no roof void as the timber members are lined and the roof framing is concealed.

#### **SPECIAL NOTE: RE UndERSIDE OF THE ROOF**

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**Defect Rating: MINOR DEFECTS**

**Defect Rating: MAJOR DEFECTS**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE ROOF FRAMING ?**

**The visible roof framing members were in reasonable condition for the age of this dwelling** The visible roof framing members were in reasonable condition for the age of this dwelling Note that insulation and items stored within the roof space don't allow for a comprehensive assessment of all members, those members that could be viewed were in an acceptable condition at the time of the inspection

**I was unable to inspect roof void and roof framing within - Further investigation is recommended**

The area was unable to be inspected, this area is excluded and does not form part of this report

**I was unable to inspect the entire roof void due to limited access within the roof void, deeming the entire roof excluded from our report**

**Even though I was unable to inspect all aspects of the roof void, I can say what I could see at the time of my inspection was all in order for a property of this age** No real concerns were sighted within the

roof void within this property at the time of my inspection

**I saw minor sagging / unevenness of the purlins / rafters & possibly sagging ridge & hip lines**

Minimum timber structure and support is found within the roof voids, unevenness is contributing to sagging / unevenness in the roofline There are bowed and sagging purlins and rafters There are minimal struts supporting the roof structure down to the load-bearing walls below In some cases, struts are removed within the roof voids to create large storage areas or to install or remove large hot water systems, and over time the roof structure sags and bows and this is seen within the roof void and externally in the roof tiles and metal deck roof sheets Additional struts and purlins should be installed to the roof to meet current regulations Have a carpenter assess and rectify this issue

**I saw considerable sagging / unevenness of the purlins / rafters & possibly sagging ridge & hip lines**

Minimum timber structure and support is found within the roof voids, unevenness is contributing to sagging / unevenness in the roofline There are bowed and sagging purlins and rafters There are minimal struts supporting the roof structure down to the load-bearing walls below In some cases, struts are removed within the roof voids to create large storage areas or to install or remove large hot water systems, and over time the roof structure sags and bows and this is seen within the roof void and externally in the roof tiles and metal deck roof sheets Additional struts and purlins should be installed to the roof to meet current regulations Have a carpenter assess and rectify this issue

**I saw major sagging / unevenness of the purlins / rafters & possibly sagging ridge & hip lines**

Minimum timber structure and support is found within the roof voids, unevenness is contributing to sagging / unevenness in the roofline There are bowed and sagging purlins and rafters There are minimal struts supporting the roof structure down to the load-bearing walls below In some cases, struts are removed within the roof voids to create large storage areas or to install or remove large hot water systems, and over time the roof structure sags and bows and this is seen within the roof void and externally in the roof tiles and metal deck roof sheets Additional struts and purlins should be installed to the roof to meet current regulations Have a carpenter assess and rectify this issue

**I saw cracks / splits within the timber members within the roof void** It is common to find dried out timber members cracking and splitting over time. It is best to get a carpenter to repair any cracked timber members within the roof void, as a service contractor could be walking on the roof in the future and should they place their foot over a timber member that has a minor or substantial crack, it could result in the service contractor falling off the roof should the roof lining give way whilst they are walking over the roof

**I saw bowed / distorted timber purlins within the roof void** Purlins are installed beneath rafters and there are signs of existing purlins in a bowed and distorted state, which is common in older and period style buildings

**There is missing struts / toms within the roof void supporting beams / purlins**

**There has been modifications carried out to the timber members within the roof void which need further works** The roof framing members need additional work carried out to them as they are currently unsupported / not finished off

## **There were broken roof battens seen to the underside of the roof**

**Rotted / deteriorated battens were seen** Deteriorated timber battens and roof members The timber framing and battens are required to be replaced by a carpenter A pest contractor and a structural engineer should assess and comment on the roof members and their condition prior to the builder or carpenter commencing their works

## **There were borers / wood eating pest damage, minor damage seen within the timber members**

Borer damage present, no necessity to replace

## **There were borers / wood eating pest damage, considerable damage seen within the timber members**

Borer damage present, it is best to replace any damaged timbers to keep the property structurally sound

## **There were borers / wood eating pest damage, major damage seen within the timber members** Borer damage present, replacement is required to these timber members immediately

**There is Fungal decay (Wood rot) within the rafters** Timber fungal decay evident in some sections Replacement / assessment advised by a carpenter

**There is Fungal decay (Wood rot) within the battens** Timber fungal decay evident in some sections Replacement / assessment advised by a carpenter

**There is Fungal decay (Wood rot) within the purlins** Timber fungal decay evident in some sections Replacement / assessment advised by a carpenter

**There is Fungal decay (Wood rot) within the struts / toms / beams** Timber fungal decay evident in some sections Replacement / assessment advised by a carpenter

**Dampness within the timber members within the roof void** If water or moisture enters the roof void and the timber absorbs the moisture, wet rot can and will develop in the timber It's best to have the property watertight Regular inspections during the day are recommended, as you can normally see daylight through the roof linings and junctions which will assist you to see if any moisture is entering or can enter the roof from the daylight locations

**Minor Chemical Delignification was found in the roof / timber members** Chemical Delignification is when the lignin in timber is damaged by airborne chemicals These timbers should be replaced or repaired

**Considerable Chemical Delignification was found in the roof / timber members** Chemical Delignification within this roof void timber members Chemical Delignification occurs when the lignin in timber is damaged by airborne chemicals Lignin is the natural glue that holds the fibres of wood together and is, therefore, a major component of any wood. When the lignin is broken down or damaged, the fibres then detach from each other creating a visible hairy surface to a section of the timber, as the delignification progresses the structure of the timber section is weakened and therefore chemical delignification is regarded as a structural pest of timber in service Any timbers affected by Chemical Delignification should be repaired or replaced and no contractors should access the rooftop whilst these timber members are in their current state

**Major Chemical Delignification was found in the roof / timber members** I saw Chemical Delignification within this roof void timber members In the past, this type of timber damage has been referred to using many different terms, Hairy Timber or Defibrosis In the early 1990's it was agreed that the true description of this type of timber deterioration is Chemical Delignification This term describes the deterioration in its true form, the lignin in timber is damaged by airborne chemicals Lignin is the natural glue that holds the fibres of wood together and is, therefore, a major component of any wood. When the lignin is broken down or damaged, the fibres then detach from each other creating a visible hairy surface to a section of the timber, as the delignification progresses the structure of the timber section is weakened and therefore chemical delignification is regarded as a structural pest of timber in service Chemical Delignification damage is most commonly found in timber sections used as roof tile battens of buildings that are located in close proximity to the sea, large chemical factories or major arterial roads that have heavy traffic Buildings close to the sea are exposed to salts brought to land by wind and sea breezes and dwellings within five kilometres of the sea are often found to have chemical delignification in their roof tile battens Buildings surrounding chemical factories that have chemical delignification would indicate that the air quality where this building is located is influenced by the chemical production process and / or use of chemicals by the adjoining industry. The cost of repair of the chemical delignification damage would need to be taken into account when this damage is found but it also would be prudent to consider the possibility that the air quality in the area may be affected by chemicals and therefore if any health hazards are present that could cause long term damage to an occupants health Buildings found to have chemical delignification that are in close proximity to a major arterial road would often be affected by fumes from vehicles using the adjoining roads Chemical delignification generally will not occur to timbers in service that are sealed, painted or well oiled as the lignin is protected from airborne chemical substances Therefore, as with most timber damage, if we can remove the cause of the damage or protect the timber from exposure to the cause of damage, the damage will cease. If the damage is initiating, the timber section can be painted or oiled to stop further deterioration, where the chemical delignification damage is advanced then replacement of the damaged timbers is needed When chemical delignification is found in roof tile battens or rafters then it is recommended not to have persons walk on the roof as collapse may occur and therefore a fall could cause bodily injury Chemical delignification is more common in species of softwood timbers although certain species of softwood are more prone to damage than others Chemical delignification may only occur after timbers have been exposed to airborne substances for a relatively long period of time, it is not common to find chemical delignification in buildings that are younger than ten years The most common timber species that is used in buildings in the Sydney area that we find damaged is the Douglas fir otherwise known as Oregon. Douglas fir is an imported timber species that originates in Northern America and Canada

**I am unable to inspect and comment on the timber members within the skillion roof, as the timber members are concealed by the plaster lining board applied to the underside of the rafters**

#### **SPECIAL NOTE: RE ROOF LINING**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

## Defect Rating: SAFETY HAZARD

## Defect Rating: FURTHER INVESTIGATION REQUIRED

SUB\_Q: ARE THERE ANY MODIFICATIONS TO THE ORIGINAL BUILD / ROOF FRAMING ?

**The roof framing is free of modifications from the original build**

**The roof void and the timber members within are not in their original condition, repairs have been carried out to the roof members** *I could see additional and non-original timbers within the roof void, meaning that there has been upgrades / repairs carried out to the roof framing members*

**The original roof has been removed, a first floor addition has been installed** *A new roof structure is covering the new first floor roof void*

**The original roof remains in part, with an extension / renovation added to the home** *Whilst I was within the roof void I could see the old roof framing members still in place, together with the new roof void framing members integrated within the roof void*

**No comment, as the roof framing within the roof void is concealed due to the plasterboard linings applied to the roof void**

## SPECIAL NOTE: RE MODIFICATION TO THE ORIGINAL ROOF

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## Defect Rating: MINOR DEFECTS

## Defect Rating: MAJOR DEFECTS

## Defect Rating: SAFETY HAZARD

## Defect Rating: FURTHER INVESTIGATIONS REQUIRED

SUB\_Q: WAS THERE SARKING? IF SO WERE ANY DEFECTS SEEN ?

**Sarking was installed to the areas that I could see whilst I was within the roof void** *No major defects were seen within the sarking within this roof space Sarking is a secondary measure to collect any driven water / rain that penetrates the roof linings, sarking should be installed to drain into the gutter or outside elevation In some cases, sarking are not falling / connected into the gutter line and in some cases, the eaves lining then becomes waterlogged / damaged and wood rot can develop within the timber members that are in direct contact with the sarking When sarking is installed it prevents me from seeing all the elevation / defects within the roof lining as they conceal elements of the roof lining It is very important to keep an eye out and to check the roof void regularly because if the valley irons or gutter line junctions have daylight coming through theses junctions, that means water could enter the roof void*

**No sarking was seen within the original roof void area** No sarking existing in the original section of the roof framing This is common in older style homes / unrenovated / original cottages Minor defect

**No sarking was seen within the extension / modified roof area** If sarking is not installed within the roof, it's not a major problem, and not many people have it retrospectively installed as sarking is a secondary measure to collect any driven water / rain that penetrates the roof linings. Minor defect

**There was a combination of roof areas that had sarking installed in part, and other areas had no sarking installed**

**I saw tears within the existing sarking** Tears and holes exist in the sarking, the sarking should be repaired and monitored for any future water entry points Minor defect

**I saw sagging sarking / defective insulation** A handyman can fix this issue or a roofing contractor within a few hours In some cases, I have seen the foil not connected to the gutter line which damages the timber framing and soffit linings, but I cannot confirm if this is the case for this property, as I could not see the sarking and gutter line junction within the roof void When sarking is installed it prevents me from seeing all the elevation / defects within the roof lining as they conceal elements of the roof lining It is very important to keep an eye out and to check the roof void regularly because if the valley irons or gutter line junctions have daylight coming through these junctions, that means water could enter the roof void Minor defect

**There was missing sarking within the roof void** It's always good to have sarking installed within your property, as sarking will prevent water entry into the void in high driven rain periods Minor defect

**I could see daylight coming through the roof linings / flashing / junctions within the roof void** In some cases, daylight within the roof void doesn't mean that water enters the roof or property below It's always best to have a roofing contractor inspect and assess the roof once you move in Minor adjustments to the existing roof can result in drastic improvements in having the roof void and building below watertight

**There are gaps seen beneath the flashing(s)** Gaps can be seen beneath flashings These areas should be attended to, so as to stop wind-driven rain from entering the roof space, these works can be carried out by a roof plumber or handyman for minimal cost

**Unable to comment on the entire roof framing / roof void due to the property having a flat roof and the rafters are lined to the underside of the rafters / battens**

#### SPECIAL NOTE: RE SARKING

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#### Defect Rating: MINOR DEFECT

#### Defect Rating: MAJOR DEFECT

#### Defect Rating: SAFETY HAZARD

#### Defect Rating: FURTHER INVESTIGATION REQUIRED

SUB\_Q: WAS THERE ANY INSULATION INSTALLED? IF SO WERE THERE ANY DEFECTS SEEN WITHIN ?

**Insulation is installed and in place with no major defects to report on**

**Unable to access due to excess belongings within roof space**

**Unable to access due to the floor being lined and covered, limiting my ability to assess and report on the areas below the floor**

**Insulation was installed, but was installed / laid poorly** *Sections of insulation were poorly installed / laid with gaps visible in sections. Please note: The insulation installed within the roof void has limited my ability to inspect all timber members for pest infestation or cracks in the timber members*

**Oversupply of insulation within the roof void** *It's not ideal to have an oversupply of insulation within the roof void This issue is an easy fix for a handyman to remove the excess insulation within the roof void (ten-minute job) Excess insulation can conceal pest infestation and it could contribute towards a fire occurring in your roof if it sits over an exhaust fan that generates a spark or a light fitting or transformer that heats up Please note: The excessive insulation installed within the roof void has limited my ability to inspect all timber members for pest infestation*

**Missing Insulation / Insulation installed in part of the roof but not in full**

**The insulation is overlaying electrical fixtures** *Overlaying electrical fixtures See an electrician to correct This may be a fire hazard and requires rectification When insulation is installed within the roof void, it limits the areas that can be inspected as the timber members are concealed RE pest infestation or cracks in the timber members*

**Exposed wires within the roof space, an electrician must attend and make safe the electrical cables and junctions within the roof space** *Exposed electrical wires and cable joints within the roof space, an electrician must attend and make safe the electrical cables and junctions within the roof space*

**Unable to comment due to the roof void being lined and all the roof framing is concealed**

**SPECIAL NOTE: RE ROOF INSULATION**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

SUB\_Q: DID PARTY WALLS EXIST? IF SO WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN ?

**The party wall(s) within this property appear to be structurally sound and adequate**

**No party walls exist within the property, a person could travel from one property to the other without limitations**

**Party walls exist, but fire can cross the wall freely (small openings were seen within the common wall)**

*These openings should be concealed / blocked to prevent a fire from spreading from your neighbour's property through to your property or vice versa*

**Party walls exist, but fire can cross the wall freely (medium size openings were seen within the common wall)**

*These openings should be concealed / blocked to prevent a fire from spreading from your neighbour's property through to your property or vice versa*

**Party walls exist, fire can cross the common / party wall freely (large openings were seen within the common wall)**

*These openings should be concealed / blocked to prevent a fire from spreading from your neighbour's property through to your property or vice versa*

**Unable to comment due to the common walls within the roof void are lined, the common wall is not open for an assessment**

#### SPECIAL NOTE: PARTY WALLS

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: DUCTWORK / EXHAUST FANS / ELECTRICAL FIXTURE & FITTINGS**

**No obvious defects were seen within the AC Ductwork** As we cannot see within the AC ducting, we are not certain of the condition of the internal linings of the AC ductwork. Within the roof void, I could see minor kinks and creases within the AC ducting, all typical / minor issues

**No obvious defects were seen within the bathroom exhaust fan ducting** No defects nor items of concern were seen within the roof void in relation to Heating, Ventilation & Air Conditioning, HVAC

**No obvious defects were seen within the electrical fixtures and fittings which penetrate through the ceiling exposed within the roof void** It is highly recommended that you engage an electrician once you move in to check all electrical circuits fixtures and fittings together with smoke alarms to ensure the home is safe to occupy and defect-free within the electrical trade

**Bathroom exhaust fans are not ducted externally** It's best to have all bathrooms / kitchen / laundry ducts permanent and vented externally and not within the roof or wall voids

**There are open ended electrical wires / junctions exposed within the roof voids** Best to have all wires connections concreted with PVC junction boxes

**There was insulation installed covering the light fittings, this could contribute towards a fire occurring if left as is**

**AC Ducting is bent / creased / kinked** Airflow may be restricted, whistling sounds may be heard while the AC system is in operation Minor defect but worth looking into if you purchase this property

**AC ducting is deteriorated in need of repairs / replacement** New ductwork is required within this roof void due to wear and tear and possible rodent attacks within the roof voids

**AC ducting / plant and equipment was blocking my view of the roof voids / timber members**

**AC ducting is not fit off / secured to the ceiling mounts / grills** The AC ducting & equipment has obstructed my view I was unable to inspect the roof void in full, it's best to have the ducting suspended and installed so all adjacent areas can be inspected

**There was no HVAC, Heating, Ventilation, Air Conditioning items within this roof void that I could see while I was within the roof void** I am not confirming that there is no HVAC system installed within the roof void, as they are sometimes concealed or in an area of the roof that I did not inspect or see due to limited access Note: It's always best to have all ventilation system ducted outside, through the roof void or walls and out to the outside elevations of the building, to limit any sparks igniting materials within the roof void or wall cavities

#### **SPECIAL NOTE: RE DUCTWORK**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**SUB\_Q: WERE ANY OTHER DEFECTS SEEN WITHIN THE ROOF SPACE ?**

**No, All defects have been already noted in my earlier comments** The roof was inspected and no further defects need to be noted about the roof void of this building

**I am unable to comment on the skillion roof area within this property** As the timber framing is concealed / lined to the underside of the skillion roof and the roof framing members are concealed and not commented on

**I did not access the ENTIRE roof void of this property today while I was on site** I have already commented on the sighted defects within the earlier questions about the roof void, there are no more defects / areas of concern that i would like to add to this report about the roof Note; I am not commenting on all aspects

of the roof void due to restricted access within the roof void and I am not supplying you a full and comprehensive assessment of the roof void due to the restricted access within the roof void If I have commented on a portion of the roof void, I am not commenting nor covering the entire roof void of this property and / or its adjoining structures within the site I, therefore, give you no assurance of the entire condition of the roof void of this property as I did not inspect nor report on the entire roof

**I did not access the roof void at all DUE TO NO ACCESS** This report does not cover the roof void at all! as there was no access when I inspected this property and the roof void is excluded from our inspection / assessment / and this written report

#### **SPECIAL NOTE:RE ROOF SPACE**

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#### **Defect Rating: MINOR DEFECTS**

#### **Defect Rating: MAJOR DEFECTS**

#### **Defect Rating: SAFETY HAZARD**

#### **Defect Rating: FURTHER INVESTIGATION REQUIRED**

**Incomplete Works - Area Under Construction and Excluded from this report** Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection required once works have been completed

#### **GENERAL COMMENTS**

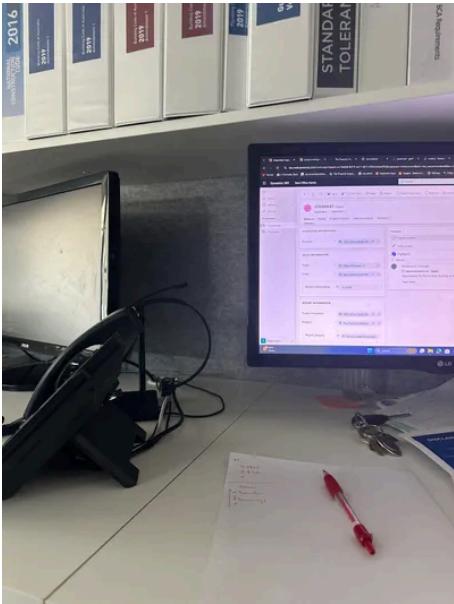
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#### **Overall Defect Rating: MINOR DEFECTS**

#### **Overall Defect Rating: MAJOR DEFECTS**

#### **Overall Defect Rating: SAFETY HAZARD**

#### **Overall Defect Rating: FURTHER INVESTIGATION REQUIRED**



### 13. 'SUBFLOOR'

SUB\_Q: DID YOU HAVE "FULL & UNOBSTRUCTED ACCESS" TO THE SUBFLOOR AREA WITHIN THIS PROPERTY?

**Yes, Full access was available on the day of our inspection** *The entire subfloor area was accessible at the time of the inspection There are always concealed junctions within a subfloor area, where materials meet or are concealed between other elements or materials, which could have concealed issues that were not seen at the time of my inspection As a whole, the subfloor area was inspected in full, and no significant defects were seen within this property*

**No, I did not access the subfloor because the subfloor / TIMBER FLOOR had no access points available at the time of my inspection** *A second inspection is recommended once access is provided (Gaining access to the subfloor is important if the house is built with a timber floor structure)*

**No, Because this property has a CONCRETE FLOOR / Slab on ground with no access available to the underside of the concrete floor, as the property was built with a reinforced concrete slab on ground**

*The subfloor of this property is excluded from this inspection and report due to no access / due to slab on ground construction, there is a slab bearing upon the soil / foundation of the site*

**No, because the access to the subfloor was smaller than industry standards, being 400mm x 500mm**

*A second inspection is recommended once access is provided*

**No, because there was rubbish and debris blocking the access passage to the subfloor** *A second inspection is recommended once access is provided*

**No, because there was building materials / debris blocking the access / passageway** *A second inspection is recommended once access is provided*

**No, Because there was furniture / belongings placed over the access door / hatch** *A second inspection is recommended once access is provided*

**No, Because the outside ground level is higher than the access door leading to the subfloor area, and the door was unable to be opened** *A second inspection is recommended once access is provided*

**No, Because I needed tools to open up the access hatch which I do not carry** *A second inspection is recommended once access is provided*

**No, Because the access point was screwed shut** *A second inspection is recommended once access is provided*

**No, Because the access door was locked via padlock** *A second inspection is recommended once access is provided*

**No, Because there were objects placed over the access door to the subfloor which needs to be removed so I can enter the subfloor area** A second inspection is recommended once access is provided

**No, because the access door to the subfloor area was unable to be opened at the time of my inspection** A second Inspection is recommended once the subfloor access point is cleared and opened

**No, because the subfloor was full with the occupants personal belongings which obstructed access to the subfloor area** A second Inspection is recommended once the subfloor is cleared / removed

**No, one subfloor area was available to be inspected** One subfloor area / room / chamber was available and was inspected at the time of this inspection Any comments made within this report are on the basis of this single area only that was inspected The single area that was inspected was the area that you see / enter from the access hatch into the subfloor area As we have not been able to access the entire subfloor area, we cannot comment on the entire subfloor and we deem the entire subfloor area excluded from this report, you cannot rely upon this report to reflect the true conditions of the entire subfloor area as it has not been inspected nor reported on within this report A second inspection is recommended once access is provided

**No, two subfloor areas were available to be inspected** Two subfloor areas / rooms / chambers were available and were inspected at the time of this inspection Any comments made within this report are on the basis of these two areas / rooms only The areas that were inspected were the areas that you see as you enter from the access hatch into the subfloor area and the adjacent room / chamber As we have not been able to access the entire subfloor area we cannot comment on the entire subfloor, we deem the entire subfloor area excluded from this report You cannot rely upon this report to reflect the true conditions of the entire subfloor area as it has not been inspected nor reported on within this report A second inspection is recommended once access is provided

**No, three subfloor areas were available to be inspected** Three subfloor areas / rooms / chambers were available and were inspected at the time of this inspection Any comments made within this report are on the basis of these three areas / rooms only The areas that were inspected were the areas that you see as you enter from the access hatch into the subfloor area and the adjacent rooms / chambers As we have not been able to access the entire subfloor area, we cannot comment on the entire subfloor, we deem the entire subfloor area excluded from this report You cannot rely upon this report to reflect the true conditions of the entire subfloor area, as it has not been inspected nor reported on within this report A second inspection is recommended once access is provided

**No, four subfloor areas were available to be inspected** Four subfloor areas / rooms / chambers were available and were inspected at the time of this inspection Any comments made within this report are on the basis of these four areas / rooms only The areas that were inspected were the areas that you see as you enter from the access hatch into the subfloor area and the adjacent rooms / chambers As we have not been able to access the entire subfloor area, we cannot comment on the entire subfloor, we deem the entire subfloor area excluded from this report You cannot rely upon this report to reflect the true conditions of the entire subfloor area as it has not been inspected nor reported on within this report A second inspection is recommended once access is provided

**No, five subfloor areas were available to be inspected** Five subfloor areas / rooms / chambers were available and were inspected at the time of this inspection Any comments made within this report are on the basis of these five areas / rooms only The areas that were inspected were the areas that you see as you enter from the access hatch into the subfloor area and the adjacent rooms / chambers As we have not been able to access the entire subfloor area we cannot comment on the entire subfloor, we deem the entire subfloor area excluded from this report You cannot rely upon this report to reflect the true conditions of the entire subfloor area as it has not been inspected nor reported on within this report A second inspection is recommended once access is provided

**No, but most, let's say approx. 60- 80% of the subfloor area was able to be inspected at the time of the inspection** As we have not been able to access the entire subfloor area, we cannot comment on the entire subfloor, we deem the entire subfloor area excluded from this report You cannot rely upon this report to reflect the true conditions of the entire subfloor area as it has not been inspected nor reported on within this report A second inspection is recommended once access is provided

**No, I was however able to insert my arm / head / camera within the limited / restricted subfloor area only, and I only give you commentary on what I saw via that one access point on the day of my inspection** I could not physically enter the subfloor due to limited access / lower clearance I have commented on what I could see via my camera and arm being inserted within the subfloor Please take my advice within this subheading as part advice, and it's not a full nor comprehensive assessment of the subfloor I recommend access to the subfloor be made available if you want a full and compressive assessment and report of the subfloor

#### SPECIAL NOTE: RE ACCESS TO THE SUBFLOOR AREA

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**Defect Rating: MINOR DEFECTS**

**Defect Rating: MAJOR DEFECTS**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

SUB\_Q: WERE ANY "SIGNIFICANT DEFECTS" SEEN WITHIN THE "SUBFLOOR" ?

**The subfloor that was able to be inspected was in fair and reasonable condition for the age of the property** I was not able to crawl and inspect all aspects of the subfloor, due to low clearance and obstructions within the subfloor It's always best to have a specialized pest contractor inspect and report on the subfloor and roof void timber members via a thermal camera report to capture any past or present / live termite within the timber subfloor and roof void and even internal wall framing/timber members

**The subfloor timber members were in fair and reasonable condition with only minor issues typical for the age of the property**

**The subfloor area had ant capping's installed in various locations, there were a few piers / walls that were not 100% protected against termite infestation via missing / defective ant capping's being installed**

**Within the subfloor area, the suspended concrete slab was inspected and there were no major defects to report on subject to the areas that were exposed and visible to me at the time of my inspection**

**There was no excess moisture found within the internal walls / foundation material within the subfloor area**

**Ventilation to the subfloor is adequate for the age of the property / period of the original building was built within, improvements to the ventilation / cross flow ventilation within the subfloor would be a good idea**

**Second inspection of the subfloor is recommended once full access to the entire subfloor is made available by the vendors**

#### **SPECIAL NOTE: RE DEFECTS SEEN WITHIN THE SUBFLOOR**

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- *asdfasdf adsf asdfasdfas ffghj fghjf j rtyrty yrty hjh fgh f*

**Defect Rating: MINOR DEFECTS**

**Defect Rating: MAJOR DEFECTS**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "TIMBER FLOOR / BEARERS & JOISTS & SUPPORTING WALLS" ?**

**The bearers and joists appear to be free of significant defects, deflection and sag and free of cracks, corrosion, water stains, decay**

**Sagging seen within the bearers / joists**

**Cracking / splitting of the timber bearer(s)**

**Splits within the timber joist(s)**

**Timber rot / wet rot damage seen to the timber members**

**Timber borer damage evident**

**Moisture staining within timber members**

**Missing ant cappings along the perimeter walls** *Ant cappings are installed to mitigate / highlight possible termite / pest infestation*

**Damaged / defective ant cappings along the perimeter walls** *Ant cappings should be installed in order to mitigate / highlight possible termite / pest infestation*

**Missing ant cappings on top of the piers** *Ant cappings encourages termites to build large tunnels around the piers which are easily visible for an inspector to pick up on or homeowner to pick up on when passing through the subfloor*

**Damaged / defective ant cappings on top of the piers** *It's best to have all piers modified to have ant cappings installed mid span or on top of each pier*

### **Corrosion evident in steel members**

**Timber members within the subfloor are in direct contact with the soil / foundation material** *If left as is, wood rot will develop and possible pest infestation will occur within these members and floor and wall structures above*

**Suspended and unsupported floor structure within the subfloor, additional propping required**

**Timber posts supporting the floor structure were seen to be in direct contact with the floor** *Wood rot will develop if left as is, ant cappings should be implemented to the timber posts*

**Missing packers between the top of the piers and the underside of the bearers** *This would result in a spring / bounce within the internal floor structure if left as is*

**Minor cracks were seen within the sandstone foundation walls**

**Considerable cracks were seen within the sandstone foundation walls**

**Major cracks were seen within the sandstone foundation walls**

**Minor cracks were seen within the masonry foundation walls**

**Considerable cracks were seen within the masonry foundation walls**

**Major cracks were seen within the masonry foundation walls**

### **SPECIAL NOTE: RE DEFECTS SEEN WITHIN THE TIMBER FLOOR / BEARERS & JOISTS & SUPPORTING WALLS**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

## **Defect Rating: SAFETY HAZARD**

## **Defect Rating: FURTHER INVESTIGATION REQUIRED**

SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "TIMBER FLOOR / COLUMNS, POSTS & PIERS" ?

**The columns / posts / piers appear to be structurally sound, with undamaged ant cappings and appear to be free of cracks, corrosion and decay**

**Missing / damaged / defective - ant cappings on top of the posts / piers** There are missing ant capping's within the subfloor area This is a major issue within the current Building Codes of Australia guidelines But: If you have your home inspected and sprayed every six to nine months it drastically reduces the risk of pest infestation If you have good crossflow ventilation within your subfloor area it reduces the risk for pest infestations, as termites like damp and dark areas If you have no timber or debris stored within your subfloor area it assists in reducing the possibility of pest infestation If you keep the subfloor area dry and free from damp, this reduces the risk for termites and other pest activity within the subfloor If you keep all your plumbing (sewer and stormwater lines) in order, this will assist in keeping the site and subfloor areas dry If you keep all external pathways maintained and have the surface water drain away from the subfloor areas, this will assist in keeping the subfloor areas pest-free Note: All properties built prior to the 1970s have no termite barriers installed, (pier capping, lineal capping) as it wasn't legislation then If you want, you can always have ant capping's retrospectively installed to most of the house, if not all areas A contractor can assess and quote on these works and have the works carried out within a few days to have the subfloor area comply with current regulations

**Missing / damaged / defective - ant cappings along the perimeter walls** There are missing ant capping's within the subfloor area This is a major issue within the current Building Codes of Australia guidelines But: If you have your home inspected and sprayed every six to nine months it drastically reduces the risk of pest infestation If you have good crossflow ventilation within your subfloor area it reduces the risk for pest infestations, as termites like damp and dark areas If you have no timber or debris stored within your subfloor area it assists in reducing the possibility of pest infestation If you keep the subfloor area dry and free from damp, this reduces the risk for termites and other pest activity within the subfloor If you keep all your plumbing (sewer and stormwater lines) in order, this will assist in keeping the site and subfloor areas dry If you keep all external pathways maintained and have the surface water drain away from the subfloor areas, this will assist in keeping the subfloor areas pest-free Note: All properties built prior to the 1970's have no termite barriers installed, (pier capping, lineal capping) as it wasn't legislation then If you want, you can always have ant capping's retrospectively installed to most of the house, if not all areas A contractor can assess and quote on these works and have the works carried out within a few days to have the subfloor area comply with current regulations

**Timber columns / posts partially rotted at ground level**

**Steel columns / posts partially rusted at ground level**

## **Timber columns / posts cracked**

**There are timber posts / columns supporting the floor which are in direct contact with the soil / ground** Wood rot can develop within the supporting timber members due to the timber bearing upon the soil / foundations within the subfloor Termites can eat this timber member at will and termites can use this timber member to crawl up and access the timber floor structure above, as there are no ant cappings installed to this supporting timber post / column within the subfloor The timber floor structure within this property will become bouncy / unsupported should the above issues develop within the supporting timber posts

**I saw chunks of timber missing from the bearers within the sub floor**

**I saw the timber joists with missing sections through the body of the timber joists**

**I saw leaning piers within the subfloor area, which are structurally inadequate**

**I saw leaning sandstone piers within the subfloor area, which are structurally inadequate**

**I saw leaning masonry piers within the subfloor area, which are structurally inadequate**

**I saw leaning timber posts within the subfloor area, which are structurally inadequate**

**I saw leaning piers within the subfloor area, which are good order, but they should be monitored moving forward**

**I saw leaning sandstone piers within the subfloor area, which are good order, but they should be monitored moving forward**

**I saw leaning masonry piers within the subfloor area, which are good order, but they should be monitored moving forward**

**I saw leaning timber posts within the subfloor area, which are good order, but they should be monitored moving forward**

**I saw a leaning pier within the subfloor area that is now not supporting the floor structure above - Major Defect**

Piers that do not support the floor structure often cause the floors to spring / bounce within the internal habitable rooms More importantly, loose and unsupported piers / freestanding can be easily pushed over if leaned on by a service contractor if the occupant passes through the subfloor area, which could cause serious injury or damage when the pier is leaned on, as it could collapse and fall upon a person or the surrounding areas

**I saw leaning piers within the subfloor area that are now not supporting the floor structure above - Major Defect**

Piers that do not support the floor structure often cause the floors to spring / bounce within the internal habitable rooms More importantly, loose and unsupported piers / freestanding can be easily pushed over if leaned on by a service contractor if the occupant passes through the subfloor area, which could cause serious injury or damage when the pier is leaned on, as it could collapse and fall upon a person or the surrounding areas

## **SPECIAL NOTE: RE DEFECTS SEEN WITHIN THE TIMBER FLOOR / COLUMNS, POSTS & PIERS**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "TIMBER FLOOR REGARDING VENTILATION / DAMPNESS" ?**

**Ventilation appears adequate within the subfloor area that I could see on the day of my inspection**

**Inadequate ventilation within the subfloor areas inspected compared to NEW CONSTRUCTION**

**REGULATIONS** *Inadequate crossflow ventilation within the subfloor areas As with most older dwellings, subfloor ventilation is inadequate when compared with today's requirements The older dwellings have small rooms and subfloor chambers and hence there is less opportunity for movement of air within the subfloor, this is often because many properties have objects placed up against the external walls and landscaping hard up against the external walls, preventing natural air from flowing into the subfloor area You could improve the subfloor ventilation to meet today's regulations / requirements if desired, as is advisable in older / period and brick dwellings You can install additional air vents which would be a days work for a handyman and costs in the realms of \$600 to \$1,000 You could install a simple mechanical fan "DIY Pack" from \$600 for the equipment and an electrician can install it within a days work Or You could get a ventilation contractor to install a good quality mechanical fan system servicing the entire subfloor area for as little as \$1,500 and up to \$3,500 for a higher quality fan / low noise fan system*

**Inadequate ventilations within the subfloor area for a new build!!!** *It is unusual to see a new build to have inadequate ventilation to the subfloor area It is best to find out who carried out the works and to hold them accountable for the non-compliant ventilation to the subfloor area of this property*

**Inadequate ventilation within the subfloor area, moisture seen within the soil / foundation material**

*Air vents should be installed at every 1.8m apart and along each external perimeter wall servicing the subfloor area, on many occasions, this is not possible, therefore a mechanical fan could be installed to draw fresh air into the subfloor and to circulate and to improve crossflow ventilation within the subfloor*

**Inadequate ventilation within the subfloor area, moisture seen within the supporting masonry walls**

*The external walls are commonly found with moisture within due to open porous pathways around the property / grade beds There is little that can be done to address this issue unless all garden beds are removed and hard pavements are installed around the perimeter of the home directing moisture away from the building As long as rising damp or moisture is not seen within the internal habitable rooms, I suggest you leave this as is, and should it develop any further a specialist be engaged to implement a solution*

**Inadequate ventilation within the subfloor area, moisture seen within the supporting sandstone walls**

Very little can be done to reduce moisture within the supporting masonry / sandstone walls within this property Once again, because of external garden beds and open porous pathways located around the building, together with subterranean moisture travelling through the foundation material, this is the outcome and should there not be any rising damp issues within the internal habitable rooms I suggest you leave this as is

**Inadequate ventilation within the subfloor area, moisture seen within the timber members** It is common that the outside walls and from time to time, the cavity walls, allow water to enter the subfloor area, and due to the subfloor not being exposed to natural daylight / sunlight, the moisture quickly develops into wood rot as seen within this property

**Excessive moisture seen to be passing through the subfloor area** Further investigation is required to determine the exact cause

**Considerable moisture seen to be passing through the subfloor area** Further investigation is required to determine the exact cause

**Minor moisture seen to be passing through the subfloor area** Further investigation is required to determine the exact cause

**SPECIAL NOTE:RE DEFECTS SEEN WITHIN THE TIMBER FLOOR REGARDING VENTILATION / DAMPNESS**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "TIMBER FLOOR & MASONRY WALLS RELATING TO DAMPNESS / DECAY" ?**

**The floorboards, floor framing & supporting walls below the damp proof course appear free of dampness & decay**

**Minor timber decay evident to underside of floorboards**

**Major timber decay evident to underside of floorboards**

**Minor timber decay evident to the bearers & joists**

**Major timber decay evident to the bearers & joists**

**The masonry walls have minor dampness within the supporting walls, under the floor structure** The supporting masonry walls within the subfloor area have dampness within the walls under the floor structure and damp proof course This needs to be regularly inspected as this is not desirable, this means that there is constant moisture within the subfloor foundations and this could lead to pest / termite infestation Note: The sewer and stormwater lines need to be tested to rule out any broken pipes within these areas All external floors within 2m of the property should be sealed, all external pathways should have the surface water directed away from the house subfloor area and the foundations The external walls must have no openings within the wall linings, all apertures / penetrations must be sealed so that no water entry is seen within the cavities or subfloor areas

**The masonry walls have considerable dampness within the supporting walls, under the floor structure**

The supporting masonry walls within the subfloor area have dampness within the walls under the floor structure and damp proof course This needs to be regularly inspected as this is not desirable, this means that there is constant moisture within the subfloor foundations and this could lead to pest / termite infestation Note: The sewer and stormwater lines need to be tested to rule out any broken pipes within these areas All external floors within 2m of the property should be sealed, all external pathways should have the surface water directed away from the house subfloor area and the foundations The external walls must have no openings within the wall linings, all apertures / penetrations must be sealed so that no water entry is seen within the cavities or subfloor areas

**The masonry walls have major dampness within the supporting walls, under the floor structure** The supporting masonry walls within the subfloor area have dampness within the walls under the floor structure and damp proof course This needs to be regularly inspected as this is not desirable, this means that there is constant moisture within the subfloor foundations and this could lead to pest / termite infestation Note: The sewer and stormwater lines need to be tested to rule out any broken pipes within these areas All external floors within 2m of the property should be sealed, all external pathways should have the surface water directed away from the house subfloor area and the foundations The external walls must have no openings within the wall linings, all apertures / penetrations must be sealed so that no water entry is seen within the cavities or subfloor areas

**Minor dampness was seen within soil / foundations within this property**

**Considerable dampness was seen within soil / foundations within this property**

**Major dampness was seen within soil / foundations within this property**

**Efflorescence present within the foundations / soil within the subfloor area**

**Efflorescence present within the supporting footings / masonry walls within the subfloor area**

**Efflorescence present within the sandstone walls within the subfloor area**

**There were missing bricks / loose bricks within the subfloor area**

**There were holes within the brick walls within the subfloor area**

**Installation of a mechanical fan within the subfloor would be a good idea to improve the lowering of the moisture content within the subfloor members and foundation materials**

**SPECIAL NOTE: RE DEFECT SEEN WITHIN THE TIMBER FLOOR & MASONRY WALLS RELATING TO DAMPNESS / DECAY**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "SUSPENDED CONCRETE FLOORS" ?**

**The floor appears to be free of dampness, spalling and concrete deterioration**

**The concrete slab edge has dampness evident**

**Concrete spalling evident**

**Concrete reinforcement is exposed and rusting**

**Lost formwork is still in place** *Lost formwork is still in place within the subfloor area. The lost formwork is deteriorating and possibly contributing toward pest infestation due to it still being installed.*

**Surface rust present in the bondek / suspended slab formwork**

**Surface rust in lost formwork / corrugated roof sheets**

**Moisture seen within the concrete slab** *Further investigation is required to determine the source, bathrooms, laundries or kitchens above are the most common culprits*

**Excess moisture seen to the underside of the concrete slab** *Possibly due to condensation or excess moisture within the subfloor, together with inadequate ventilation*

**Excess moisture seen to the formwork** *Possibly due to condensation or excess moisture within the subfloor, together with inadequate ventilation*

**Excess moisture seen to the bondek** *Possibly due to condensation or excess moisture within the subfloor, together with inadequate ventilation*

**Efflorescence leaching out of the concrete**

**Minor cracks in the concrete slabs**

**Considerable cracks in the concrete slabs**

**Major cracks in the concrete slabs**

**Bowed / Distorted concrete suspended slab**

**Heavily deteriorated suspended concrete slab, due for repair / replacement**

**There is fallen / failed concrete floors / slabs within the subfloor area, which should be removed and disposed of**

**There is excess concrete waste stored and stockpiled within the subfloor area from an earlier renovation, which should be cleared out and disposed of**

**I could not access the entire subfloor area where the suspended slab was, no comment due to no access to the entire area**

**I could not access the entire subfloor area where the entire suspended slab covers, but I was able to inspect part of it, and my comments made in this section are subject to inspection of this partial area**

**SPECIAL NOTE: RE DEFECT SEEN WITHIN THE SUSPENDED CONCRETE FLOORS**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: WERE THERE "ANY OTHER MAJOR DEFECTS" WITHIN THE SUBFLOOR?**

**No other defects were seen at the time of my inspection** *No other issues were seen within the subfloor area other than the items raised / noted within the above points within this subheading titled SUBFLOOR AREA*

**I did not access access the subfloor area at all, therefore I cannot comment on this question** *A second inspection is recommended once access is provided*

**Yes, the subfloor has further defects as noted below!**

**I was unable to access the entire subfloor area! I inspected a small area (Under 20% of the subfloor) not all areas were able to be inspected nor reported on due to limited access** *The entire subfloor area is excluded from this report and any liability against its conditions If I have commented on the subfloor area, it's*

*in part only for the area that I inspected If I have commented on the subfloor area do not assume that this condition is limited to that one area, other areas could have more defects Better access must be made available so a second inspection can be carried out and therefore we will be able to supply you a full and comprehensive assessment and report covering the entire subfloor area so that you can rely upon those facts A second inspection is recommended once access is provided*

**I was unable to access the entire subfloor area! I inspected a small area (Under 50% of the subfloor area was was inspected) not all areas were able to be inspected nor reported on due to limited access**

*The entire subfloor area is excluded from this report and any liability against its conditions If I have commented on the subfloor area, it's in part only for the area that I inspected If I have commented on the subfloor area do not assume that this condition is limited to that one area, other areas could have more defects Better access must be made available so a second inspection can be carried out and therefore we will be able to supply you a full and comprehensive assessment and report covering the entire subfloor area so that you can rely upon those facts A second inspection is recommended once access is provided*

**I was unable to access the entire subfloor area! I inspected a limited area (approx. 60-80% of the subfloor) not all areas were able to be inspected nor reported on due to limited access** *The entire subfloor area is excluded from this report and any liability against its conditions If I have commented on the subfloor area, it's in part only for the area that I inspected If I have commented on the subfloor area do not assume that this condition is limited to that one area, other areas could have more defects Better access must be made available so a second inspection can be carried out and therefore we will be able to supply you a full and comprehensive assessment and report covering the entire subfloor area so that you can rely upon those facts A second inspection is recommended once access is provided*

**Timber was seen to be stored within the subfloor, it's best to have it removed and the subfloor clear of any timber or paper**

**Excess building waste was seen to be stored within the subfloor, it's best to have it removed for clear access within the subfloor area**

**Channels have been created that allows moisture to reverse through the subfloor, these channels should be kept clear and clean**

**Pits were seen within the subfloor, all pits and pumps should be checked and monitored moving forward to avoid any issues should they become non-functional**

**All subfloor areas should be kept clear, clean, dry / damp free and well ventilated to avoid attracting termites to the subfloor**

**Minor dampness was seen within the masonry walls within the subfloor** *This is a typical issue found in most homes, it's not a major issue but it's best to keep an eye on it as it could be caused by the external / elevated terrain that is hard up against the external walls which may have changing moisture content, this should be considered Currently, this is a minor issue and it may always stay this way and it shouldn't affect the structural integrity of the house if left as is but should be monitored moving forward*

**There was no access to the TIMBER FLOOR area / subfloor area within this property, therefore this section of our report is complete with no subfloor inspection nor comments** There was no subfloor area within this property that I could see or enter at the time of this inspection, therefore this section of our report is complete with no subfloor inspection nor comments A second inspection is recommended once access is provided

**There was no subfloor area within this property that I could see or enter, I assume the entire house is built off a CONCRETE SLAB ON GROUND with no access below the slab / floor** Therefore this section of our report is complete with no further advice

#### **SPECIAL NOTE: RE ANY OTHER DEFECTS SEEN WITHIN THE SUBFLOOR**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**Incomplete Works - Area Under Construction and Excluded from this report** Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection required once works have been completed

#### **GENERAL COMMENTS**

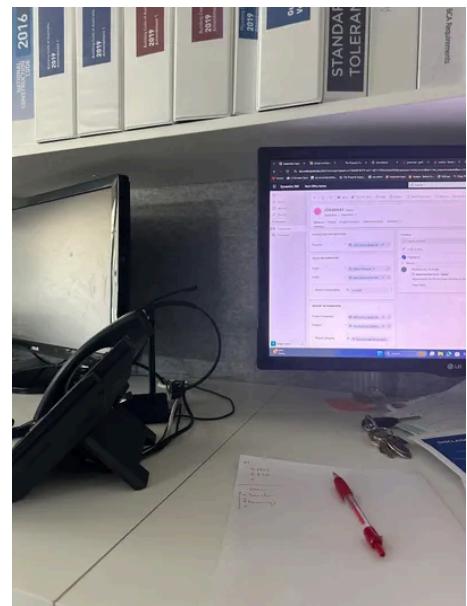
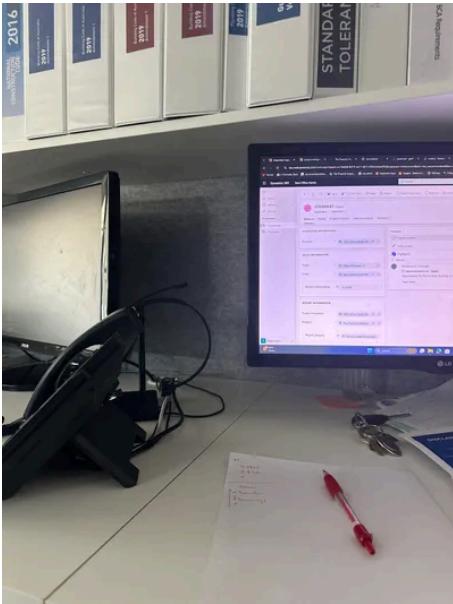
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**Overall Defect Rating: MINOR DEFECT**

**Overall Defect Rating: MAJOR DEFECT**

**Overall Defect Rating: SAFETY HAZARD**

**Overall Defect Rating: FURTHER INVESTIGATION REQUIRED**



## 14. 'SURFACE WATER / BOUNDARY FENCES / RETAINING WALLS'

SUB\_Q: ARE THERE ANY SURFACE WATER INGRESS ISSUES WITHIN THIS SITE ?

**All water appears to fall away from the buildings and the water does not appear to pool up against any structures** *The paving or paths around the walls appeared to be adequately drained away from the subfloor. There was no visible evidence of excess ponding or fall towards the walls of the structure at the time of the inspection.*

**There is water pooling on the pavement and external walls / supporting member of the building - water is pooling on the pavement and wall / footing junction** *Paving or paths along the sides of the property require amending to fall away from the walls of the dwelling. See a plumber or landscaper to assess. Further investigation required.*

**There is Natural Ground / Soil / Lawns found hard up against the buildings - Water is able to pond against the building** *Ground and/or lawn along the sides of the property require amending to fall away from the walls of the dwelling. See a plumber or landscaper to assess. Further investigation required.*

**There are "Pebbles" lining the pathways within this property** *Having pebbles installed around the perimeter of the building is not ideal. Pebbles allow water/moisture to be drained towards the footings, foundations and subfloor area which is not ideal for the structural stability of the property nor is it great as it could contribute towards water pooling under the floor structure and is appealing to pests/termites/borers. Having a hard surface around your building is ideal ( Concrete paths, Pavers, Tiled Pathways ) as it allows you to collect and drain all the surface water away from your building which in turn assists you to preserve your asset/building*

**There are Garden beds installed against the external elevations of the property** *Having garden beds installed close to or hard up against a building / your property is not ideal. Most homeowners love the idea of having soft landscaping next to a hard structure but in fact, it attracts moisture to the foundations, footings and subfloor areas of the property. All moisture should be directed away from a building/supporting wall/member and subfloor areas. It is common to find masonry walls within subfloor areas to be affected by dampness/moisture, with no building defect to be found but the moisture within the subfloor walls, this can be due to the owners watering their gardens which are in close proximity to the subfloor walls or adjacent foundations of a property*

### SPECIAL NOTE: RE SURFACE WATER

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SUB\_Q: WHAT ARE THE CONDITIONS OF THE BOUNDARY FENCES ?

**The boundary fences appears to be in reasonable condition for their age**

**There was leaning timber fencing, the posts may have wood rot in the base of the timber posts** *The fence was seen to be leaning over, the post may have wood rot at the base of the posts - repairs required.*

**There was a gate binding on the doorjamb** *Gates binding and deteriorated areas*

**The pair of gates were binding upon each other**

**I saw minor timber fungal decay within the timber members** *Timber fungal decay in railings, palings, posts and/or plinths. Repairs required by a fencing contractor.*

**I saw considerable timber fungal decay within the timber members**

**I saw major timber fungal decay within the timber members** *Timber fungal decay evident in fencing components. Repairs are required by a fencing contractor to avoid unsafe conditions - possible collapse.*

**There was a metal fence leaning over and defective** *The metal framed and clad fence needs minor works carried out to the fence to have it in a more acceptable condition*

**I saw moisture within the masonry walls** *There is moisture within the masonry boundary wall. The moisture seen within the wall could be due to the wall being an external wall with no membrane applied to the wall, or there could be rising damp within the wall. Further investigation required should be carried out should you want to know the cause/source of this moisture seen within the masonry wall/fence. Minor defect !!*

**Cracks seen within brick boundary walls/fences**

**No Control Joints within the masonry walls that span 6m or more**

**Missing Boundary fences**

#### **SPECIAL NOTE: RE BOUNDARY FENCES**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**SUB\_Q: WHAT ARE THE CONDITIONS OF THE RETAINING WALLS WITHIN THIS PROPERTY ?**

**No defects were seen within the retaining walls** *No defects were seen within the retaining walls*

**I saw no retaining walls that were over 700mm in height**

**Minor cracking evident within the retaining walls** *There were minor and typical cracks seen within the retaining wall, keep an eye on them and should they develop further investigation may be required*

**Major cracks and bowed/leaning retaining walls** *An engineer should be engaged to assess and comment on a solution to this problem*

**Bowed / leaning retaining walls** *This is not a major problem as I see many properties with leaning retaining walls but an engineer should be engaged to assess and advise you on a solution to this problem. Feel free to call our office and ask for Ashleigh and he can send out our engineer to advise you on this matter (02) 9181 5989 M-F 7am to 6pm*

**Collapse imminent within the retaining walls found on site**

**Timber decay evident within the retaining walls**

**Excessive moisture seen within the retaining walls**

**No weep holes nor stormwater/static pressure release valves seen within the retaining walls to release the pressure and moisture built up behind the wall**

**Handrail and balustrading required on top of the retaining walls as the walls are greater than 1m in height**

#### **SPECIAL NOTE: RE RETAINING WALLS**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**Incomplete Works - Area Under Construction and Excluded from this report** *Works in this area are incomplete and non-compliant with AS4349.1-2007 Further inspection is required once work has been completed*

#### **GENERAL COMMENTS**

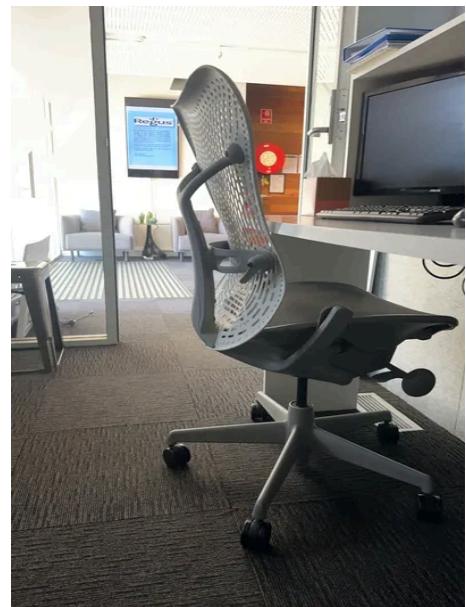
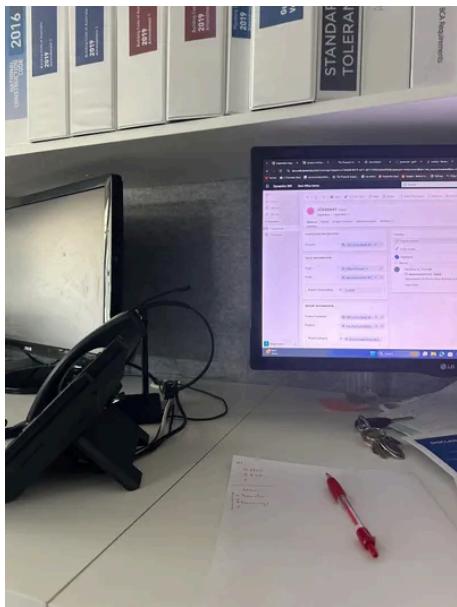
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**Overall Defect Rating: MINOR DEFECT**

**Overall Defect Rating: MAJOR DEFECT**

**Overall Defect Rating: SAFETY HAZARD**

## Overall Defect Rating: FURTHER INVESTIGATION



## 15. 'DETACHED / EXTERNAL GARAGE'

SUB\_Q: WERE THERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE DETACHED GARAGE?

All appears to be in good order within the garage

All appears to be in good order with the adjacent structures to the garage

No control / expansion joints in the concrete floor

Concrete floor is cracked with minor hairline cracks present within the floor

Concrete floor is cracked with major cracks present within the floor

Concrete floor has traces of moisture coming through the floor

**The concrete floor was not inspected due to the excessive personal belongings and objects placed within the garage** Further investigation is required once the garage is emptied should you want an assessment covering the garage floor

**Concrete floor has major cracks / failures within and is beyond repair, a new concrete floor is required**

**Walls within the garage have minor cracks within the walls**

**Walls within the garage also have structural cracks, which need to be rectified**

**Walls within the garage are affected by water ingress, the source of the water must be confirmed and rectified**

**Walls within the garage have rising damp within the walls**

**The walls within the garage have moisture within the walls above 1m in height form the floor** This could mean that the moisture could be coming through the external elevations of the walls into the internal garage walls, as rising damp tends to only show itself up to 1m in height, and anything beyond 1m in height is not common for rising damp issues

**The walls within the garage have considerable wood rot within the timber framing members**

**The walls within the garage have exposed timber members, deteriorated, cracked and damaged, which need to be repaired or replaced**

**The walls within the garage appear to be lined with asbestos wall sheets** A specialist asbestos contractor must be engaged, to assess, test and comment if this assumption is correct

**The walls within the garage have water ingress from the garage door**

**The walls within the garage have water ingress from the garage window**

**The walls within the garage have water ingress due to the single leaf hinged door junction**

**The walls within the garage are affected by moisture from failed roof linings / plumbing above**

**Wall cladding is defective and in need of repair**

**External walls allow water entry via moisture / rising damp** Rising damp visible on lower walls. Salt residue visible. It is imperative that specialist advice be sought to ascertain the cause and extent of the rising damp problem. Rising damp in one area of a dwelling that is visible may mean that other sections of the dwelling may be affected and not yet visible. Accurate diagnosis of the cause and extent of the damp problem is very important., specialist advice should be sought. Further investigation required.

**External walls have no pest prevention measures installed nor is any ant capping installed**

**External walls have rust present within the wall linings and possible further moisture issues within the wall frames**

## **External wall linings are damaged / dented / defective**

**External wall linings appear to be an asbestos based product which are damaged and in need of repair / replacement** A specialist should be engaged to assess, comment and confirm if these wall linings are in actual fact asbestos, and if so, they should quote you to repair / replace and make good the defective wall linings and the associated trimwork

## **External wall linings are weatherboard cladding which are damaged and in need of repair**

### **External walls have cracks within the brickwork**

### **External walls are in need of significant repairs due to the failed structure / cladding**

**Timber decay within wall framing, replacement or repairs are recommended** The timber framing has decayed. Replacement required.

**Timber decay within the door unit** The timber door has decayed. Replacement required. It is preferable to have a solid core door fitted when exposed to weather.

**Timber decay within the external window** The timber window is affected by wet and dry rot. Replacement/repairs to the timber members are required. It is preferable to have a solid timber member fitted when exposed to weather.

### **Timber decay within timber posts on either side of the garage door**

### **No obvious termite barriers are In place**

**Timber framing / wall plates are in direct contact with the slab, wet and dry rot can develop in these timber due to constant moisture from the floor**

**Timber posts are in direct contact with the ground** Wet rot could be present at the base of the posts, it's best to have all timber posts or wall frames not in contact with the floor or moist / damp areas / surfaces to prevent wood rot developing within the timber framing

### **Damaged and defective roof tiles**

### **Damaged / defective roof cappings / roof tiles**

**Garage roof void had no access at the time of my inspection making the roof void excluded from this report**

**Garage roof void had excess goods stored within the roof void making it excluded from this report as I could not see all aspects of the roof void**

**Timber framing within the roof is sagging and over spanning and not compliant with current building regulations**

**Roof linings are in a poor state of repair, work is required to have the roof lining watertight**

**Roof cappings / flashings are damaged and in need of repair**

**Rusted roof sheets / capping's / flashing's**

**Leaking gutters**

**Rusted guttering**

**No gutters** *No gutters installed and this is creating moisture issues within the foundations, footings and wall frames/structure, together with attracting pest infestations to reach the building due to pooling and ponding water*

**Gutters not connected to a downpipe**

**Damaged gutters**

**Gutters pooling and holding water**

**Gutters are blocked**

**Gutters need to be replaced**

**Missing gutters**

**Detached gutters**

**No downpipes**

**Missing downpipes**

**Rusted downpipes**

**Defective downpipes**

**Leaking downpipes**

**Downpipes not connected to a stormwater system**

**Downpipes are damaged / dented**

**Downpipes have holes in them**

**Downpipes have disengaged from the gutters and have fallen from their original position**

**Downpipes draining directly onto the floor**

**Downpipes not sealed off to the in ground stormwater line**

**Excess moisture seen below the downpipe / gutter locations due to faulty roof plumbing**

**There is asbestos roof sheets that are damaged and in need of repair to make the structure below watertight**

**There are asbestos cappings and flashings damaged and in need of repair**

**There is asbestos wall cladding / cappings / trimmings to the garage that is damaged, which need to be repaired / replaced**

**Garage door was not operational at the time of my inspection**

**No access available to the garage - this structure was excluded from the inspection and this assessment and report**

**Excess good stored within the garage making the garage excluded from this assessment and report**

#### **SPECIAL NOTE: DETATCHED GARAGE**

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**Defect Rating: MINOR DEFECTS**

**Defect Rating: MAJOR DEFECTS**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**Incomplete Works - Area Under Construction and Excluded from this report**

#### **GENERAL COMMENTS**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

#### **16. 'DETACHED / EXTERNAL CARPORT'**

**SUB\_Q: WERE THERE ANY SIGNIFICANT ISSUES SEEN WITHIN THE "CARPORT" ?**

**The carport appear to in reasonable condition for its age with no major defects to report on**

**Rising damp was seen within the external walls** *Rising damp visible on lower walls. Salt residue visible. It is imperative that specialist advice be sought to ascertain the cause and extent of the rising damp problem. Rising damp in one area of a dwelling that is visible may mean that other sections of the dwelling may be*

affected and not yet visible. Accurate diagnosis of the cause and extent of the damp problem is very important, specialist advice should be sought. Further investigation required.

**Timber posts are in direct contact with the ground** Wet rot could be present at the base of the posts, it's best to have all timber posts or wall frames not in contact with the floor or moist / damp areas / surfaces to prevent wood rot from developing within the timber framing

**Timber posts have wood rot within**

**Timber beams have wood rot within the body of the beams and the end grain of the beams**

**Timber rafters have signs of wood decay within the rafter tails**

**Carport posts have signs of rust at the base of the post**

**Carport beams have rust within the body of the beam, in need of repair**

**Timber framing / wall plates are in direct contact with the slab, wet and dry rot can develop in these timber due to constant moisture from the floor**

**The timber framing is deteriorated due to water ingress**

**Timber decay to the framing - in need of replacement** The timber framing has decayed. Replacement required.

**Timber decay to the door - replacement required** The timber door has decayed. Replacement required. It is preferable to have a solid core door fitted when exposed to weather.

**Damaged/dented/defective wall linings**

**No termite barriers In place**

**Wall cladding is defective and in need of repair**

**Timber framing within the roof is sagging and over spanning and not compliant with current building regulations**

**Rusted wall cladding at the base of the wall**

**Rusted guttering**

**Rusted downpipes**

**Rusted roof cladding**

**Damaged / defective roof sheeting**

**Missing gutters**

**Damaged gutters**

**Gutters pooling**

**Missing downpipes**

**Damaged downpipes**

**Dented downpipes**

**Leaking downpipes**

**Downpipes not connected**

**Downpipes not connected to the gutters**

**Downpipes not connected to a stormwater system**

**Downpipes draining directly onto the floor**

**Damaged roof tiles**

**Defective roof tiles**

**Cracked roof tiles**

**Damaged / defective roof ridge tiles**

**Damaged / defective hip cappings**

**Moisture affected timber fascia / timber bargeboards**

**Moisture affected ceiling / soffit lining**

**No access to the roof void**

**Carport structure unstable and swaying with minimal pressure applied**

**Carport / garage door not operational at the time of my inspection**

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**No access available - this structure was excluded from the inspection and this assessment and report**

**Excess personal belongings within the roof void obstructing my vision and I was unable to inspect and report on all aspects of the roof framing**

**Incomplete Works - Area Under Construction and Excluded from this report**

## **GENERAL COMMENTS**

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**Overall Defect Rating: MINOR DECECT**

**Overall Defect Rating: MAJOR DECECT**

**Overall Defect Rating: SAFETY HAZARD**

**Overall Defect Rating: FURTHER INVESTIGATION**

## 17. 'PERGOLA'

SUB\_Q: WERE THERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "PERGOLA" ?

**Pergola structure was assessed, with no significant defects to report on**

**Minor wood rot within the timber framing**

**Considerable wood rot within the timber framing**

**Major wood rot within the timber framing**

**Timber pergola in need of repair / re-paint**

**Sagging / overspanning timber members / rafters**

**Sagging / overspanning timber members / beams**

**Sagging / overspanning timber members / roof battens**

**Out of plumb structure / leaning / non-plumb posts**

**Timber posts in direct contact with the floor, deteriorated timber members will eventuate if left as is**

**Rust seen within the pergola steel members / posts / beams**

**Minor steel posts in direct contact with the floor, rust will eventuate if left as is**

**Considerable rust seen within the pergola steel members / posts / beams**

**Major rust seen within the pergola steel members / posts / beams**

**Pergola seen to be slightly swaying when minimal pressure applied to the structure**

**Cracked and damaged timber rafters**

**Cracked and damaged timber beams**

**Cracked and damaged timber battens**

**Defective polycarbonate roof sheets**

## **Defective polycarbonate roof flashings / cappings**

### **Damaged and defective roof flashings / cappings**

**Leaking roof sheets**

**Leaking roof tiles**

**Leaking glass roof panes**

**Missing gutters**

**Damaged gutters**

**Gutters pooling and holding water**

**Blocked gutters**

**Missing downpipes**

**Damaged downpipes**

**Downpipes not connected to a stormwater system**

**Downpipes leaking and draining onto the floor**

**Downpipes draining directly onto the floor**

**Uneven floor finish**

**Damaged and defective timber fascia / bargeboards**

## **Incomplete Works - Area Under Construction and Excluded from this report**

### **GENERAL COMMENTS**

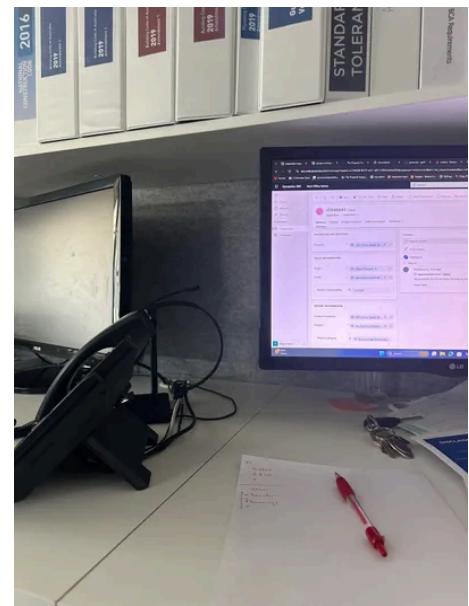
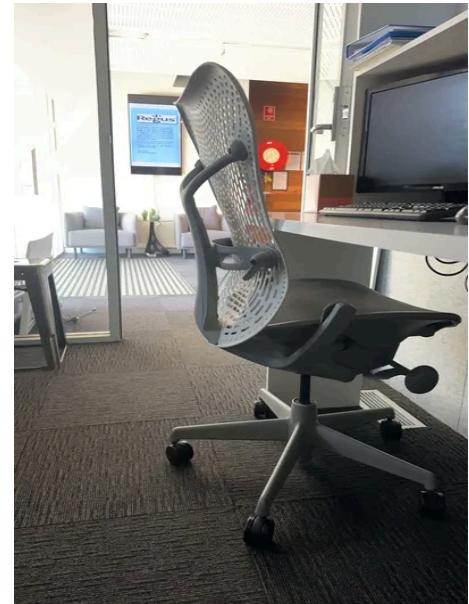
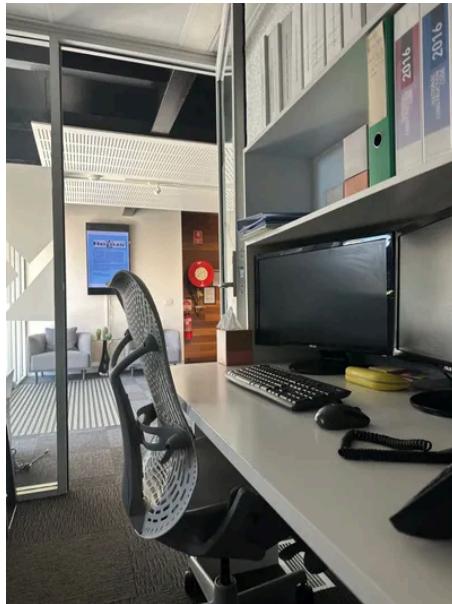
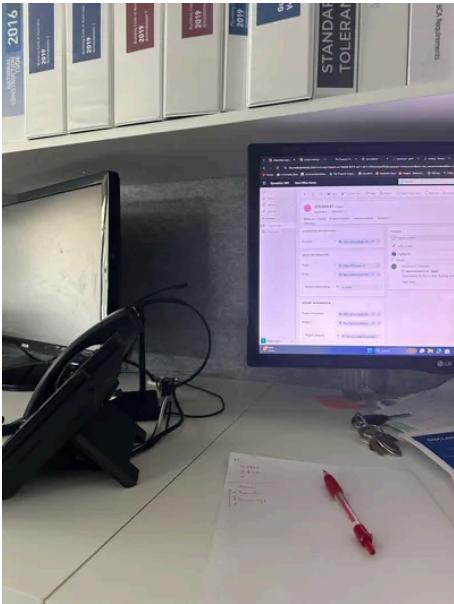
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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**



## 18. 'OPERABLE ROOF / VERGOLA'

SUB\_Q: WERE THERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "OPERABLE ROOF" ?

**Operable roof structure was assessed, with no significant defects to report on**

**Minor wood rot within the timber framing**

**Considerable wood rot within the timber framing**

**Major wood rot within the timber framing**

**Timber pergola in need of repair / re-paint**

**Sagging / overspanning timber members / rafters**

**Sagging / overspanning timber members / beams**

**Sagging / overspanning timber members / roof battens**

**Out of plumb structure / leaning / non-plumb posts**

**Timber posts in direct contact with the floor, deteriorated timber members will eventuate if left as is**

**Rust seen within the vergola steel members / posts / beams**

**Minor rust within steel posts in direct contact with the floor, rust will eventuate if left as is**

**Considerable rust seen within the vergola steel members / posts / beams**

**Major rust seen within the vergola steel members / posts / beams**

**Vergola seen to be slightly swaying when minimal pressure applied to the structure**

**Cracked and damaged timber rafters**

**Cracked and damaged timber beams**

**Cracked and damaged timber battens**

**Defective polycarbonate roof sheets**

**Defective polycarbonate roof flashings / cappings**

**Damaged and defective roof flashings / cappings**

**Leaking roof sheets**

**Leaking roof tiles**

**Leaking glass roof panes**

**Missing gutters**

**Damaged gutters**

**Missing downpipes**

**Damaged downpipes**

**Downpipes not connected to a stormwater system**

**Downpipes leaking and draining onto the floor**

**Downpipes draining directly onto the floor**

**Uneven floor finish**

**Damaged and defective timber fascia / bargeboards**

**The vergola roof blades do not appear to be in working order, repairs are required**

**The vergola roof sheets were not in working order due to rusted roof blade sheets**

**Vergola roof sheets were not in working order, I can only assume there was no power to the motor or switch within the site**

**Vergola roof sheets were not in working order, it appears to be a manually driven vergola / openable roof** *I could not find a way to have the roof opened on the day of my inspection*

**Incomplete Works - Area Under Construction and Excluded from this report**

#### **GENERAL COMMENTS**

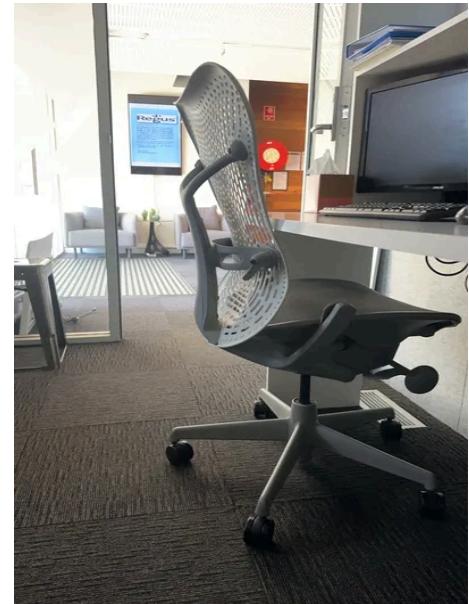
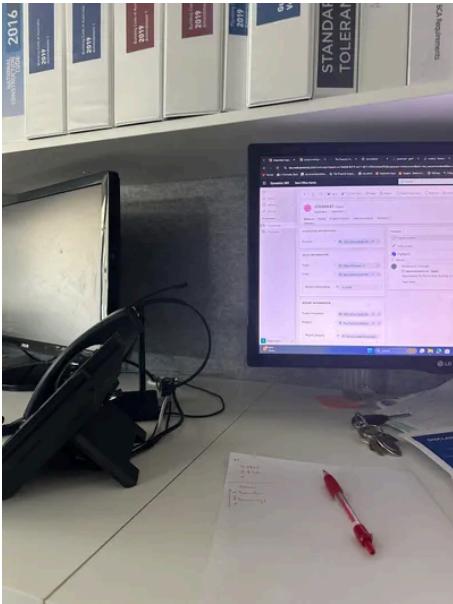
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**Overall Defect Rating: MINOR DEFECT**

**Overall Defect Rating: MAJOR DEFECT**

**Overall Defect Rating: SAFETY HAZARD**

**Overall Defect Rating: FURTHER INVESTIGATION REQUIRED**



## 19. 'DETACHED / EXTERNAL LAUNDRY'

SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "INTERNAL FITOUT" ?

**There were no significant defects seen within the laundry** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the

section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid. Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor physical testing of any electrical fixtures and fittings, nor do we test the circuits for faults. However, our office does assess the Electrical trade of the property which is over and above the standard Building & Pest Report. Within our Electrical Report, we physically test all electrical fixtures and fittings, excluding the appliances, (excluding the rangehood, oven, hotplate, hot water system & insinkerator) seeking defects to be added to our report. The Electrical Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Electrical Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Electrical Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Electrical Report within the section of this report titled Electrical. Should you have not already purchased the Electrical Report, feel free to call our office and we can upgrade your initial report to have the Electrical Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**There were no significant defects seen within the core fabric of the laundry (walls, floors, roof)**

**There were no major defects or items of concern within the internal fitout of the laundry**

**The laundry water supply, waste line, tub & tapware appear to be in working order with no significant faults or defects seen at the time of my inspection** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**The electrical fitout within the laundry appears to be all in good order, there were no issues seen within the power supply, powerpoints, light fittings, switches and exhaust / ventilation within the laundry** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor physical testing of any electrical fixtures and fittings, nor do we test the circuits for faults. However, our office does assess the Electrical trade of the property which is over and above the standard Building & Pest Report. Within our Electrical Report, we physically test all electrical

fixtures and fittings, excluding the appliances, (excluding the rangehood, oven, hotplate, hot water system & insinkerator) seeking defects to be added to our report. The Electrical Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Electrical Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Electrical Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Electrical Report within the section of this report titled Electrical. Should you have not already purchased the Electrical Report, feel free to call our office and we can upgrade your initial report to have the Electrical Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

## SPECIAL NOTE: RE DEFECTS SEEN WITHIN THE INTERNAL FITOUT

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### Defect Rating: MINOR DEFECT

### Defect Rating: MAJOR DEFECT

### Defect Rating: SAFETY HAZARD

### Defect Rating: FURTHER INVESTIGATION

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE "TAPWARE"

**The taps appeared to be free of defects** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Tap(s) appeared to be dripping / leaking. The taps may have faulty o-ring, spindle - further investigation required** Tap(s) can be seen to be leaking through the spindle, the o-ring may require replacement which can be undertaken by a plumber Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines.

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### **Tap(s) dripping / leaking, this could be caused by a faulty washer, further investigation required**

Tap(s) can be seen to be dripping, this is possibly due to a faulty washer, this item can be replaced by a plumber Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**There appears to be leaks / cracks noted in pipes** A plumber should be engaged to make good this issue ASAP Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial

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**Testing of the lines is recommended to understand if there is any water hammer within the hot or cold waterlines** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**There are no water taps to inspect / test and report on** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**There is no laundry tub nor taps to inspect / test and report on** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest

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**The water supply taps of the washing machine were concealed and unable to be tested and reported on** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**The water supply / taps / fittings are old and in original condition, due for replacement soon due to their age** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Exposed / non-concealed water supply lines and tapware due for upgrade / replaced soon** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we

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**The laundry tapware does not appear to have any water supply** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

#### SPECIAL NOTE: RE DEFECTS SEEN IN THE TAPWARE

- *Ssdfa fadfads asdfa sdafasddoiu q erkj laflk weqrpoi afdaskj xzcvxzjk adsfapi qreiuqewr. Slk adakj a dfoiwerq adfsflkj qweriu afa ier. I asdfaksdlfj asdfasdf wreqqoiu 908zxcvz 34245.*

#### Defect Rating: MINOR DEFECT

#### Defect Rating: MAJOR DEFECT

#### Defect Rating: SAFETY HAZARD

#### Defect Rating: FURTHER INVESTIGATION

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE "TUB / CABINET"

**The tub and cabinets appear to be free of defects** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and

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**Water damage to cabinet / timber joinery** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Rust / corrosion damage at base of cabinet** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

## Hinged doors not functioning well

**No laundry tub / tun dish installed** Laundry tub or means for the disposal of wastewater is a requirement under section 3.8.3.2 required facilities of the NCC Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Missing silicone / sealant to the tub and wall junctions** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**The laundry tub is made out of concrete** The concrete is due to be replaced with a new / current fitting (The existing laundry tub is an old / original tub found back in the day) Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing

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### The laundry tub is not fixed off to the supporting wall

#### SPECIAL NOTE: RE DEFECTS IN THE TUB /CABINET

- *Aasfakjhqweruiy asd askdjh weur oiuoasdfljhdfa kjahdfabmnzvckjhk asdfas*

Defect Rating: MINOR DEFECT

Defect Rating: MAJOR DEFECT

Defect Rating: SAFETY HAZARD

Defect Rating: FURTHER INVESTIGATION

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE LAUNDRY "WASTELINE"

**The wasteline and pipes appear unblocked** On visual inspection, the areas appeared to be clear and unblocked Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

### There were signs of leaking pipes found within the laundry cupboard, further investigation required

The water pipes and water supply / plumbing below the laundry tub was blocked or it shows signs of leakages A plumber should be commissioned to test and make good the issue ASAP Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of

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**Rust seen within the base of the laundry tub, normally this is a result of past water leaks (No leaks were seen at the time of my inspection)** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Unable to inspect and comment due to excess goods stored within the cupboard** Have the goods removed and I can re-inspect and comment on the plumbing / wasteline Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**There is no laundry tub, therefore no sewer / wasteline to check**

**There appears to be no running water in the laundry tub / tapware**

**SPECIAL NOTE: RE DEFECTS WITHIN THE LAUNDRY WASTELINE**

- asdfasfd lkj alkdjfoiweuq rklajfd m,nzvvk kjdafsiuqewr asdlfkj adfiewqradf jadfa adflqeri adf

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE LAUNDRY "TILES"

**The laundry tiles appear free of defects**

**Cracked tiles** There are cracked tiles within the laundry These tiles need to be repaired or replaced if no matching tiles can be found

**Drummy tiles**

**Loose / missing grout** Re-grouting of tiled area required.

**Defective / Gaps within the existing sealant / silicone** Sealant should be re-applied to areas where it is not currently evident

**No sealant between the internal wall and floor junctions** Water can leak out of the laundry if flooding occurs if the floor is not waterproofed The laundry walls and floor junctions are not sealed / silicone / waterproofed

**No silicone found in the wall / floor tile junctions** Best Building Practice is to have all internal corners of the wall or floor tiles sealed with mould resistant silicone to tank the room

**No wall tiles are installed behind the laundry tub** It's best to have a small row of tiles / non-porous material installed behind the laundry tub

**No floor tiles are installed** Current industry standards are that the floor and wall junctions are sealed with a waterproof membrane and the splashback behind the laundry tub is also sealed with a membrane, this laundry is not compliant with today's standards / regulations

**The laundry fit out is old and in original condition, with considerable work required to have it brought up to TODAY'S industry standards**

**The laundry BENCHTOP and wall junction has missing / defective silicone applied to this internal corner** It is best to seal the laundry tub and / or the laundry benchtop to the wall / splashback so that no moisture falls behind the laundry tub or cupboards and it prevents mould and dampness within the laundry room

**The laundry TUB and wall junction has missing / defective silicone applied to this internal junction** It's best to seal the laundry tub and wall so no moisture falls behind the laundry tub or cupboards in order to

*prevent mould and dampness within the laundry room or cupboard / joinery within the room*

### **SPECIAL NOTE: RE DEFECTS IN THE LAUNDRY TILES**

- asfa fasdfa sdfiu qwerq saddkfj xcvlkj asdfj;lqewrp af;lkjqwer adfdkja df.*

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE LAUNDRY "WATERPROOFING"**

**The waterproofing appears to be adequate and free of defects**

**I can't see due to no access to the substrate**

**I can't confirm this but I assume it is**

**I can't confirm this but I assume it is not membraned**

**The laundry floor is not tiled nor waterproofed**

**The laundry wall behind the laundry tub is not waterproofed nor tiled**

**The laundry floor has no floor waste installed to collect any overflow**

**I can't see, as the fit out is covering the entire floor area within the laundry closet**

**I can't answer this question, as the floor and wall substrate is unseen**

### **SPECIAL NOTE: RE DEFECTS WITHIN THE LAUNDRY WASTELINE**

- Aosadafia sdfajsdflkjq weroi adf l;ajdsf ;j qewroi adsflkj alksfdpqwer lkjadf sda.*

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE LAUNDRY "VENTILATION"**

**Ventilation appears to be adequate**

**No exhaust fan**

**Inadequate exhaust fan**

**Exhaust fan is faulty**

**Inadequate ventilation**

**No operable window installed**

**Clothes dryer, I cannot confirm this, but it looks like the dryer might be vented externally from the back of the dryer via a concealed duct** *Further investigation is required to confirm if this is the case or not*

**I was advised whilst I was on site that the DRYER is vented externally** *You must do your own investigation to confirm this advice that I received whilst I was on site*

**The apartment has a fresh air extraction system installed within the laundry cubicle / room** A dedicated extraction fan works much better than the slow and constant fresh air extraction system that is installed. Unfortunately, a fresh air ventilation system connected to the entire building is all that is required by the builder / developer for new construction, so it complies. I suggest you look into having an extraction fan installed and ducted from the rear of the dryer to extract all moisture and debris generated by the dryer.

#### **SPECIAL NOTE: RE DEFECTS WITHIN THE LAUNDRY VENTILATION**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**SUB\_Q: WERE ANY SIGNIFICANT DEFECT SEEN WITHIN THE "LAUNDRY STRUCTURE" ?**

**All appears to be in good order within the laundry structure**

**All appears to be in good order with the adjacent structures to the laundry**

**No control / expansion joints in the floor**

**Concrete floor is cracked**

**Concrete floor has traces of moisture coming through the floor**

**Walls are affected by minor cracks**

**Walls are affected by structural cracks**

**Wall cladding is defective and in need of repair**

**External walls allow water entry via moisture / rising damp** *Rising damp visible on lower walls. Salt residue visible. It is imperative that specialist advice be sought to ascertain the cause and extent of the rising damp problem. Rising damp in one area of a dwelling that is visible may mean that other sections of the dwelling may be affected and not yet visible. Accurate diagnosis of the cause and extent of the damp problem is very important., specialist advice should be sought. Further investigation required.*

**External walls have no pest prevention measures installed nor is any ant capping installed**

**External walls have rust present within the wall linings and possible further moisture issues within the wall frames**

**External wall linings are damaged / dented / defective**

**Timber decay within wall framing, replacement or repairs are recommended** *The timber framing has decayed. Replacement required.*

**Timber decay within the door unit** *The timber door has decayed. Replacement required. It is preferable to have a solid core door fitted when exposed to weather.*

**Timber decay within the external window** *The timber window is affected by wet and dry rot. Replacement/repairs to the timber members are required. It is preferable to have a solid timber member fitted when exposed to weather.*

**Timber decay within timber posts on either side of the laundry door**

**No obvious termite barriers are In place**

**Timber framing / wall plates are in direct contact with the slab, wet and dry rot can develop in these timber due to constant moisture from the floor**

**Timber posts are in direct contact with the ground , wet rot could be present at the base of the posts, it's best to have all timber posts or wall frames not in contact with the floor or moist / damp areas / surfaces to prevent wood rot developing within the timber framing**

**Damaged and defective roof tiles**

**Damaged / defective roof cappings / roof tiles**

**Laundry roof void had no access at the time of my inspection making the roof void excluded from this report**

**Laundry roof void had excess goods stored within the roof void making it excluded from this report as I could not see all aspects of the roof void**

**Timber framing within the roof is sagging and over spanning and not compliant with current building regulations**

**Roof linings are in a poor state of repair, work is required to have the roof lining watertight**

**Roof cappings / flashings are damaged and in need of repair**

**Rusted roof sheets / capping's / flashing's**

**Leaking gutters**

**Rusted guttering**

**No gutters** *No gutters installed and this is creating moisture issues within the foundations, footings and wall frames/structure, together with attracting pest infestations to reach the building due to pooling and ponding water*

**Gutters not connected to a downpipe**

**Damaged gutters**

**Gutters pooling and holding water**

**Gutters are blocked**

**Gutters need to be replaced**

**Missing gutters**

**Detached gutters**

**No downpipes**

**Missing downpipes**

**Rusted downpipes**

**Defective downpipes**

**Leaking downpipes**

**Downpipes not connected to stormwater**

**Downpipes are damaged / dented**

**Downpipes have holes in them**

**Downpipes have disengaged from the gutters and have fallen from their original position**

**Downpipes draining directly onto the floor**

**Downpipes not sealed off to the in ground stormwater line**

**Excess moisture seen below the downpipe / gutter locations due to faulty roof plumbing**

**There is asbestos roof sheets that are damaged and in need of repair to make the structure below water tight**

**There are asbestos cappings and flashings damaged and in need of repair**

**There is asbestos wall cladding / cappings / trimmings to the laundry that is damaged, which need to be repaired / replaced**

**Laundry door was not operational at the time of my inspection**

**No access available to the laundry - this structure was excluded from the inspection and this assessment and report**

**Excess good stored within the laundry making the laundry excluded from this assessment and report**

#### **SPECIAL NOTE: RE LAUNDRY STRUCTURE DEFECTS**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**Incomplete Works - Area Under Construction and Excluded from this report** Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection required once works have been completed

#### **GENERAL COMMENTS**

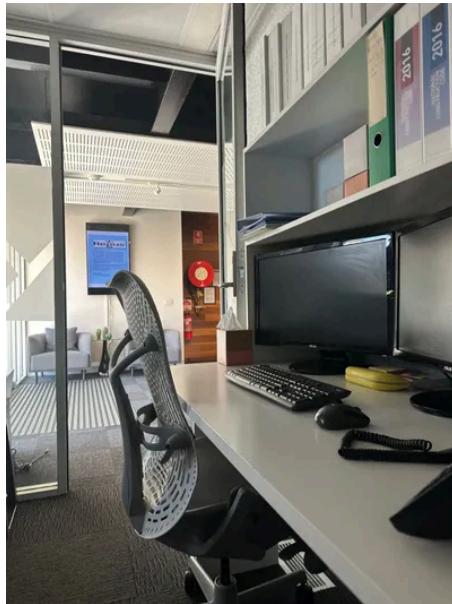
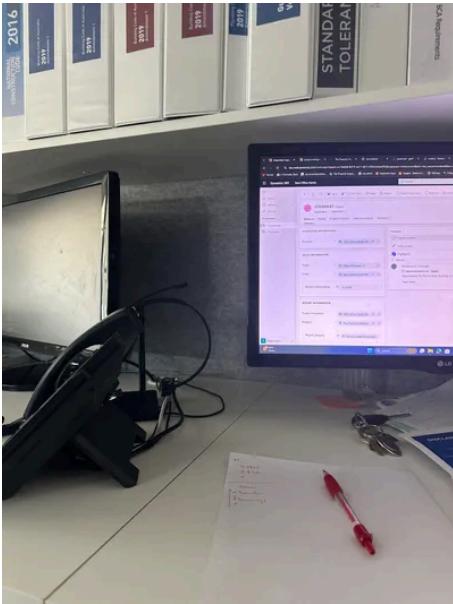
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**Overall Defect Rating: MINOR DEFECT**

**Overall Defect Rating: MAJOR DEFECT**

**Overall Defect Rating: SAFETY HAZARD**

**Overall Defect Rating: FURTHER INVESTIGATION**



## 20. 'DETACHED / EXTERNAL WC'

SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE DETACHED WC INTERNAL FITOUT?

**There were no defects sighted within the bathroom wall and floor tiles**   *There were no leaks*

**There were no leaks seen within the bathroom, shower cubicle or adjacent areas**   *Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the*

*Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.*

**All plumbing fixtures and fittings, water supply and water distribution were assessed and appeared to be in working order** *Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.*

**All lights, fans and powerpoints appeared to be in working order with no defects to report on within the electrical trade within the bathrooms** *Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor physical testing of any electrical fixtures and fittings, nor do we test the circuits for faults. However, our office does assess the Electrical trade of the property which is over and above the standard Building & Pest Report. Within our Electrical Report, we physically test all electrical fixtures and fittings, excluding the appliances, (excluding the rangehood, oven, hotplate, hot water system & insinkerator) seeking defects to be added to our report. The Electrical Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Electrical Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Electrical Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Electrical Report within the section of this report titled Electrical. Should you have not already purchased the Electrical Report, feel free to call our office and we can upgrade your initial report to have the Electrical Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.*

## **SPECIAL NOTE: RE SIGNIFICANT DEFECTS SEEN WITHIN THE DETACHED WC**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

## Defect Rating: SAFETY HAZARD

## Defect Rating: FURTHER INVESTIGATION

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – WC - TOILET - PANS & CISTERNS

**The cisterns / pans / bidets appeared to be in working order at the time of my inspection with no major defects to report on** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Pan cracked** Cracks can be seen in the toilet pan, it would be advisable to have a plumber replace this item Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Cistern cracked / dislodged from the wall or pan below** Cracks can be seen in the cistern, it would be advisable to have a plumber replace this item. Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water

supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Pan & cistern cracked** Cracks can be seen in both the toilet and cistern, it would be advisable to have a plumber replace the entire toilet suite. Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Water leakage from pan** Water can be seen to leak from the toilet pan, this area is to be assessed by a plumber and the appropriate remedial works be undertaken to rectify this issue Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Water leakage from cistern** Water can be seen to leak from the toilet cistern, this area is to be assessed by a plumber and the appropriate remedial works be undertaken to rectify this issue Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Cistern flush mechanism faulty** The flushing mechanism is faulty, requiring assessment by a plumber and the appropriate remedial works be undertaken to rectify the issue Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**No water supply to the toilet cistern** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled

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## SPECIAL NOTE: RE SIGNIFICANT DEFECTS SEEN WITHIN THE DETACHED WC

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – WC - TOILET - PANS / CISTERNS / BIDETS - INSTALLATION

### Cisterns / pans / bidets appear to be correctly installed and look to be stable / rigid Special Note

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**Cistern partially detached from wall** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already

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**Pans inadequately secured to the floor** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

#### **SPECIAL NOTE: WC - TOILET - PANS / CISTERNS / BIDETS - INSTALLATION**

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#### **Defect Rating: MINOR DEFECT**

#### **Defect Rating: MAJOR DEFECT**

#### **Defect Rating: SAFETY HAZARD**

#### **Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – WC - TOILET – PANS & CISTERNS / BIDETS – WATER SUPPLY

**There is running water within the cisterns / pans / bidets** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel

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**No running water was found within the toilet** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**The toilet has a missing flush button** Works are required to the toilet cistern Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**I was unable to inspect the toilet due to objects placed over / obstructing the toilet** Further investigation is recommended once access is made available Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The

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## **SPECIAL NOTE: WC - TOILET – PANS & CISTERNS / BIDETS – WATER SUPPLY**

- *Aoidhf wepoqiwer lkjqwer osdf poi reiwqu i a [oiasdf. I asdfa djlfqwepri 2309184af klasdf.*

### **Defect Rating: MINOR DEFECT**

### **Defect Rating: MAJOR DEFECT**

### **Defect Rating: SAFETY HAZARD**

### **Defect Rating: FURTHER INVESTIGATION**

**SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – WC – BASIN / VANITY UNIT - TAPWARE**

**The basin / vanity taps appear to be free of defects** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Cracks / leaks noted within the pipes** Leaks within the pipework have been observed, assessment of the area is recommended by a plumber and the appropriate remedial works be carried out Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be

added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**Defective Tapware** A plumber should be engaged to inspect and repair any leaks or defective fittings Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**The spout is loose / defective, minor issue** Minor adjustments are required to the basin spout, to have it fixed off to the vanity unit / basin Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

**No water supply within the vanity / tapware** Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines.

However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

#### **SPECIAL NOTE: WC – BASIN / VANITY UNIT - TAPWARE**

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#### **Defect Rating: MINOR DEFECT**

#### **Defect Rating: MAJOR DEFECT**

#### **Defect Rating: SAFETY HAZARD**

#### **Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – WC – BASIN / VANITY UNIT / CABINETS & MIRRORS

#### **The vanity unit, basin & mirrors are free of defects**

**Faulty mirror** *There was delamination / deterioration of the mirrored surfaces*

**Cracked vanity basin** *The basin was seen to have a crack / chip / defect within the bowl*

**Sealant missing around the basin / vanity benchtop and the wall linings** *Missing sealant around the vanity / basin, if left as is, over time, this will contribute towards the joinery rotting out and disengaging from the wall*

**Water damage to vanity cabinet** *Evidence of water damage within the vanity unit*

**Doors / drawers bind on cabinet frame** *The hinged doors and / or drawers require adjustments or repairs so they operate correctly and so they have equal margins*

#### **SPECIAL NOTE: RE DEFECTS WITHIN THE WC**

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## **Defect Rating: MINOR DEFECT**

## **Defect Rating: MAJOR DEFECT**

## **Defect Rating: SAFETY HAZARD**

## **Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – WC – WALL & FLOOR TILES

**The tiles are free of defects** At the time of inspection, the wall and floor tiles appeared in acceptable condition

**Cracked tiles** Tiles can be seen to be cracked, these tiles are to be replaced to avoid the possibility of water exiting the shower cubicle

**Drummy tiles** Tiles have been assessed to be drummy due to failed or inadequate adhesive These tiles are to be removed if possible and re-laid correctly or replaced if this is not achievable

**Loose / missing grout** Grout can be seen to be missing or dislodged requiring the area to be re-grouted

**Gaps / defective sealant** Areas of sealant can be seen to be incomplete or defective requiring attention

**No silicone sealant within the bathrooms** Silicone sealant not evident at the time of inspection Sealant should be applied to all internal and external tiled junctions

**Efflorescence leaching out of the floor tiles** Efflorescence is seen within the bathroom tile mortar joints. This normally means there is a mixture of sands used in the floor tile beds or there may be excess moisture within the mortar / screed / tile grout joints, that pools in the mortar / grout Further investigation is required to see, if in fact, this issue has been already dealt with or if there is still work to be done to this area of the property to overcome this issue

**Minor cracks in the FLOOR & WALL wall tiles junctions** Typically, these cracks are minor and common issues found in most homes / bathrooms due to various reasons All cracks should be monitored and sealed with bathroom silicone if they are seen to be stable / stagnant over a period of twenty four months

**Minor cracks in the VERTICAL WALL TILE junctions** Theses cracks are minor and commonly seen in most properties These cracks are typical settlement cracks seen within masonry and timber framed walls within wet rooms and bathrooms The reason for these cracks can vary but they are normally concealed by grout or silicone and we don't normally see them in new / modern bathrooms as current "new construction regulations" requires tradesmen to apply silicone to all internal junctions of the wall and floor, vertical wall tile junctions within the bathrooms, shower cubicles, laundry floors and walls plus kitchen benchtop and wall junctions All cracks should be monitored and sealed with bathroom silicone if they are seen to be stable / stagnant over a period of twenty four months.

**Minor cracks were seen in the WALL TILES & CORNICES / CEILING junctions** Typical settlement of the wall and ceiling junctions makes these cracks appear These cracks are very common in masonry walls and timber-framed ceiling / floor structure junctions within bathrooms

**Hairline cracks within the body of the WALL TILE MORTAR JOINTS** I saw cracks in the grout of a wall tile The wall tiles can be loose and drummy, further investigation is required as it's not normal to see a tile with cracks within the tile or within the mortar joints around wall or floor tiles, as this could mean the glue has disengaged from the tile or the substrate or that there is an issue within the substrate that is forcing the tile loose / off its original position Further investigation is required

**There is a bow in the wall tiles** Further investigation is required to see, if in fact, the wall tiles are loose or if the wall was bowed or defective

#### SPECIAL NOTE: DEFECTS SEEN WITHIN THE WC

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- Apoi sdf9 aisdfu iadsfa sadflk poi. asdfa df98adfa s

Defect Rating: MINOR DEFECT

Defect Rating: MAJOR DEFECT

Defect Rating: SAFETY HAZARD

Defect Rating: FURTHER INVESTIGATION

SUB\_Q: WERE THERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE DETACHED WC STRUCTURE?

All appears to be in good order within the structure of the detached WC

All appears to be in good order with the adjacent structures to the detached WC

No control / expansion joints in the floor

Concrete floor is cracked

Concrete floor has traces of moisture coming through the floor

Walls are affected by structural cracks

Walls are affected by minor cracks

Wall cladding is defective and in need of repair

**External walls allow water entry via moisture / rising damp** Rising damp visible on lower walls. Salt residue visible. It is imperative that specialist advice be sought to ascertain the cause and extent of the rising damp problem. Rising damp in one area of a dwelling that is visible may mean that other sections of the

*dwelling may be affected and not yet visible. Accurate diagnosis of the cause and extent of the damp problem is very important., specialist advice should be sought. Further investigation required.*

**External walls have no pest prevention measures installed nor is any ant capping installed**

**External walls have rust present within the wall linings and possible further moisture issues within the wall frames**

**External wall linings are damaged / dented / defective**

**Timber decay within wall framing, replacement or repairs are recommended** *The timber framing has decayed. Replacement required.*

**Timber decay within the door unit** *The timber door has decayed. Replacement required. It is preferable to have a solid core door fitted when exposed to weather.*

**Timber decay within the external window** *The timber window is affected by wet and dry rot. Replacement/repairs to the timber members are required. It is preferable to have a solid timber member fitted when exposed to weather.*

**Timber decay within timber posts on either side of the WC door**

**No obvious termite barriers are In place**

**Timber framing / wall plates are in direct contact with the slab, wet and dry rot can develop in these timber due to constant moisture from the floor**

**Timber posts are in direct contact with the ground** *Wet rot could be present at the base of the posts, it's best to have all timber posts or wall frames not in contact with the floor or moist / damp areas / surfaces to prevent wood rot developing within the timber framing*

**Damaged and defective roof tiles**

**Damaged / defective roof cappings / roof tiles**

**WC roof void had no access at the time of my inspection making the roof void excluded from this report**

**WC roof void had excess goods stored within the roof void making it excluded from this report as I could not see all aspects of the roof void**

**Timber framing within the roof is sagging and over spanning and not compliant with current building regulations**

**Roof linings are in a poor state of repair, work is required to have the roof lining watertight**

**Roof cappings / flashings are damaged and in need of repair**

## Rusted roof sheets / capping's / flashing's

### Leaking gutters

### Rusted guttering

**No gutters** *No gutters installed and this is creating moisture issues within the foundations, footings and wall frames/structure, together with attracting pest infestations to reach the building due to pooling and ponding water*

### Gutters not connected to a downpipe

### Damaged gutters

### Gutters pooling and holding water

### Gutters are blocked

### Gutters need to be replaced

### Missing gutters

### Detached gutters

### No downpipes

### Missing downpipes

### Rusted downpipes

### Defective downpipes

### Leaking downpipes

**Downpipes not connected to stormwater** *Downpipes not connected to a stormwater system*

### Downpipes are damaged / dented

### Downpipes have holes in them

### Downpipes have disengaged from the gutters and have fallen from their original position

### Downpipes draining directly onto the floor

### Downpipes not sealed off to the in ground stormwater line

### Excess moisture seen below the downpipe / gutter locations due to faulty roof plumbing

**There is asbestos roof sheets that are damaged and in need of repair to make the structure below watertight**

**There are asbestos cappings and flashings damaged and in need of repair**

**There is asbestos wall cladding / cappings / trimmings to the WC that is damaged, which need to be repaired / replaced**

**WC door was not operational at the time of my inspection**

**No access available to the WC - this structure was excluded from the inspection and this assessment and report**

**Excess good stored within the WC making the WC excluded from this assessment and report**

**SPECIAL NOTE: DETACHED WC STRUCTURE?**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**Incomplete Works - Area Under Construction and Excluded from this report** *Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection required once works have been completed*

**GENERAL COMMENTS**

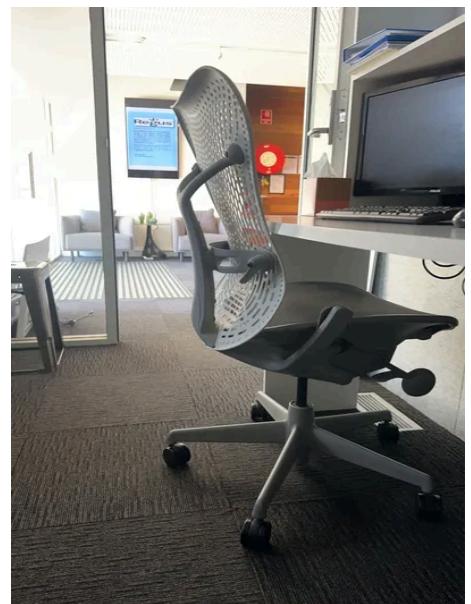
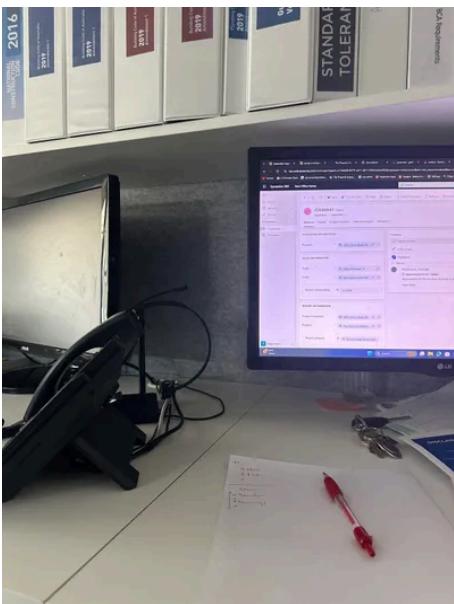
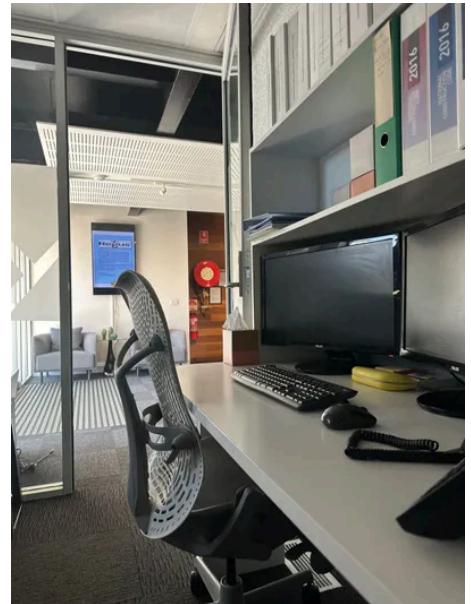
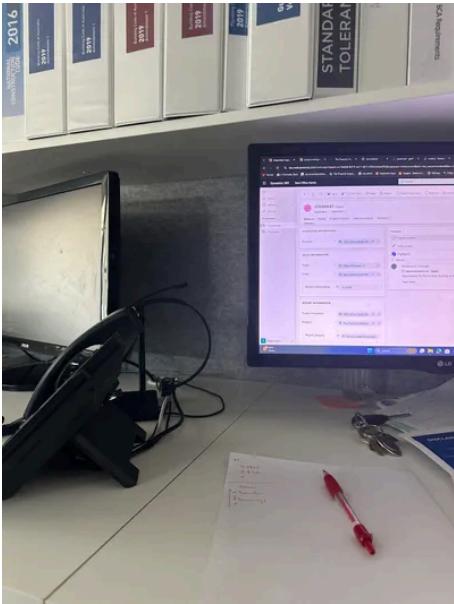
- *Apwrt o34 asf lk;j werptoi sdfj p[oidfg 9 odspj posdfg9sg spoiu oogip pu8wertpoisdf op sdf.*

**Overall Defect Rating: MINOR DEFECT**

**Overall Defect Rating: MAJOR DEFECT**

**Overall Defect Rating: SAFETY HAZARD**

**Overall Defect Rating: FURTHER INVESTIGATION**



## 21. 'GARDEN SHEDS'

SUB\_Q: WERE THERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE GARDEN SHED?

**Not Applicable**

## 22. 'WORKSHOP'

SUB\_Q: WERE THERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE WORKSHOP?

**All appears to be in good order within the workshop**

**All appears to be in good order with the adjacent structures to the workshop**

**No control / expansion joints in the floor**

**Concrete floor is cracked**

**Concrete floor has traces of moisture coming through the floor**

**Walls are affected by structural cracks**

**Walls are affected by minor cracks**

**Wall cladding is defective and in need of repair**

**External walls allow water entry via moisture / rising damp** *Rising damp visible on lower walls. Salt residue visible. It is imperative that specialist advice be sought to ascertain the cause and extent of the rising damp problem. Rising damp in one area of a dwelling that is visible may mean that other sections of the dwelling may be affected and not yet visible. Accurate diagnosis of the cause and extent of the damp problem is very important., specialist advice should be sought. Further investigation required.*

**External walls have no pest prevention measures installed nor is any ant capping installed**

**External walls have rust present within the wall linings and possible further moisture issues within the wall frames**

**External wall linings are damaged / dented / defective**

**Timber decay within wall framing, replacement or repairs are recommended** *The timber framing has decayed. Replacement required.*

**Timber decay within the door unit** *The timber door has decayed. Replacement required. It is preferable to have a solid core door fitted when exposed to weather.*

**Timber decay within the external window** *The timber window is affected by wet and dry rot. Replacement/repairs to the timber members are required. It is preferable to have a solid timber member fitted when exposed to weather.*

**Timber decay within timber posts on either side of the workshop door**

**No obvious termite barriers are In place**

**Timber framing / wall plates are in direct contact with the slab, wet and dry rot can develop in these timber due to constant moisture from the floor**

**Timber posts are in direct contact with the ground**

**Damaged and defective roof tiles**

**Damaged / defective roof cappings / roof tiles**

**Workshop roof void had no access at the time of my inspection making the roof void excluded from this report**

**Workshop roof void had excess goods stored within the roof void making it excluded from this report as I could not see all aspects of the roof void**

**Timber framing within the roof is sagging and over spanning and not compliant with current building regulations**

**Roof linings are in a poor state of repair, work is required to have the roof lining watertight**

**Roof cappings / flashings are damaged and in need of repair**

**Rusted roof sheets / capping's / flashing's**

**Leaking gutters**

**Rusted guttering**

**No gutters**

**Gutters not connected to a downpipe**

**Damaged gutters**

**Gutters pooling and holding water**

**Gutters are blocked**

**Gutters need to be replaced**

**Missing gutters**

**Detached gutters**

**No downpipes**

**Missing downpipes**

**Rusted downpipes**

**Leaking downpipes**

**Defective downpipes**

**Downpipes not connected to a stormwater system**

**Downpipes are damaged / dented**

**Downpipes have holes in them**

**Downpipes have disengaged from the gutters and have fallen from their original position**

**Downpipes draining directly onto the floor**

**Downpipes not sealed off to the in ground stormwater line**

**Excess moisture seen below the downpipe / gutter locations due to faulty roof plumbing**

**There is asbestos roof sheets that are damaged and in need of repair to make the structure below watertight**

**There are asbestos cappings and flashings damaged and in need of repair**

**There is asbestos wall cladding / cappings / trimmings to the workshop that is damaged, which need to be repaired / replaced**

**Workshop door was not operational at the time of my inspection**

**No access available to the workshop - this structure was excluded from the inspection and this assessment and report**

**Excess good stored within the workshop making the garage excluded from this assessment and report**

#### **SPECIAL NOTE: SIGNIFICANT DEFECTS SEEN WITHIN THE WORKSHOP**

- *Apaosf pqweirp[ ;kadf apoi qweprqj;wk [apdosfi lkqwer poadfaf*

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**Incomplete Works - Area Under Construction and Excluded from this report** *Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection required once works have been completed*

#### **GENERAL COMMENTS**

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**Overall Defect Rating: MINOR DEFECTS**

**Overall Defect Rating: MAJOR DEFECTS**

**Overall Defect Rating: SAFETY HAZARD**

**Overall Defect Rating: FURTHER INVESTIGATION**

## 29. THE ACTUAL AREAS INSPECTED WERE:

SUB\_Q: The following areas were inspected and reported on within this report

**Interior of Building** *I have Inspected the internal spaces within the property.*

**Exterior of Building** *I have inspected the external elevations of the building.*

**Entire Roof Exterior** *I have inspected the entire roof linings of this property.*

**PARTIAL Roof Exterior** *I have only inspected the roof in part - Partial Roof Exterior. \*We have not been able to inspect this entire area due to limited access at the time of the inspection. \*This means that this entire area of the property is not assessed nor reported on nor covered by our office in relation to the condition of this aspect of the building, this means that this portion of the property and our report cannot be relied upon by the reader of this report when making a decision on purchasing this property. \*If these areas needs to be assessed, reported on and relied upon by the reader or potential buyer of this property, a second inspection needs to be commissioned prior to making a decision to purchase this property.*

### No Roof Exterior

**Entire Sub Floor Space** *I have inspected the entire subfloor area.*

**PARTIAL Sub Floor Space** *We have not been able to inspect the entire subfloor area due to limited access at the time of the inspection. \*This means that this entire area of the property is not assessed nor reported on nor covered by our office in relation to the condition of this aspect of the building, this means that this portion of the property and our report cannot be relied upon by the reader of this report when making a decision on purchasing this property. \*If these areas need to be assessed, reported on and relied upon by the reader or potential buyer of this property, a second inspection needs to be commissioned prior to making a decision to purchase this property.*

### No Subfloor

**Entire Roof Void/Roof Space** *I have inspected the roof void/space in full.*

**PARTIAL Roof Void/Roof Space** *I have Inspected the roof void in part, Partial Roof Void/Roof Space. \*We have not been able to inspect the entire roof void within this property due to limited access at the time of the inspection. \*This means that this entire roof void of the property is not assessed nor reported on, nor covered by our office in relation to the condition of this aspect of the building, this means that this portion of the property and our report cannot be relied upon by the reader of this report when making a decision on purchasing this property. \*If these areas need to be assessed, reported on and relied upon by the reader or potential buyer of this property, a second inspection needs to be commissioned prior to making a decision to purchase this property.*

### No Roof Void

**The Entire Site (Within 30m of the main structure)** I have inspected the entire external site within 30m of the house. \*All other objects/structures or assets outside the 30m radius is not inspected nor assessed nor reported on within this report.

**PARTIAL Site inspection** I have carried out a Partial - Site inspection, not all areas were inspected deeming the entire external site being excluded from this report and our liability. \*We have not been able to inspect this entire site due to limited access at the time of the inspection. \*This means that this entire area of the property is not assessed nor reported on nor covered by our office in relation to the condition of this aspect of the building, this means that this portion of the property and our report cannot be relied upon by the reader of this report when making a decision on purchasing this property. \*If these areas need to be assessed, reported on and relied upon by the reader or potential buyer of this property, a second inspection needs to be commissioned prior to making a decision to purchase this property.

## No External Site Inspection

**Second dwelling** You will need to pay extra for this trade as its not included within Australian Standards - PrePurchase Inspections of Buildings Part 1 I have inspected the second dwelling on the site. Should any section or component of this Report not have been expressly selected and purchased, findings pertaining to that aspect will be absent from the Report. At the time of purchase, it is required that you have confirmed, via the designated selection box, your need for inclusion of this specific section within the Report. Only those findings expressly included will be provided herein, focusing exclusively on identified defects. In the absence of any specific commentary on a particular matter of concern, it shall be reasonably inferred that the corresponding element is deemed to be in satisfactory and reasonable condition, commensurate with the property's age.

## No Second Dwelling / Granny Flat

**Detached structures (beyond 30m of the main structure)** You will need to pay extra for this trade as its not included within Australian Standards - PrePurchase Inspections of Buildings Part 1 I have inspected all structures within the boundary line of the property. Should any section or component of this Report not have been expressly selected and purchased, findings pertaining to that aspect will be absent from the Report. At the time of purchase, it is required that you have confirmed, via the designated selection box, your need for inclusion of this specific section within the Report. Only those findings expressly included will be provided herein, focusing exclusively on identified defects. In the absence of any specific commentary on a particular matter of concern, it shall be reasonably inferred that the corresponding element is deemed to be in satisfactory and reasonable condition, commensurate with the property's age.

**Detached Garage** I have inspected the detached garage.

## No Detached Garage

**Pool** The inspection of certain pool-related components falls outside the scope of the Australian Standards for Pre-Purchase Building Inspections (AS 4349.1) and thus requires an additional fee. If you have opted for this supplemental inspection service, the following pool-related elements will be assessed: Verification of the presence of a pool fence Confirmation that the pool gate is self-closing Assessment of the pool concourse Evaluation of pool coping tiles Inspection of pool expansion joints Assessment of the overall pool structure

*Inspection of the pool skimmer box Evaluation of the pool's internal linings Condition assessment of the pool equipment Review of the pool equipment enclosure Please note: This inspection service strictly covers the condition of the above-listed pool elements. Compliance assessments regarding pool fencing and gate regulations are not included in this service. If this additional pool inspection service has not been purchased, the aforementioned elements will not appear in your Report. Should you wish to incorporate these findings, an additional fee of \$100 plus GST will apply, and the relevant information will be integrated into your updated Report. For accuracy, it is essential that you have selected and confirmed this option at the time of purchase by ticking the appropriate box to indicate your request for inclusion of this section. Only those sections explicitly selected will be addressed in this Report, focusing solely on identified defects. In the absence of specific commentary on any listed aspect, it may be reasonably inferred that the item is in satisfactory and reasonable condition, given the property's age.*

### **The Swimming Pool was not inspected**

**Electrical** *Inspection of electrical components falls outside the Australian Standards for Pre-Purchase Building Inspections (AS 4349.1) and thus incurs an additional fee. This inspection does not substitute for an assessment by a licensed electrician but includes our general observations of the following electrical elements: Light fittings Electrical fixtures Smoke alarm Sub-board Meter box/board Important: This inspection is not conducted by a licensed electrician and is limited to a general review of the listed components. If this supplemental electrical inspection has not been purchased, the above aspects will not be included in your Report. Should you wish to add these findings, an additional fee of \$100 plus GST applies, and the relevant information will be incorporated into your updated Report. To include this section, please confirm your selection by ticking the designated box at the time of Report purchase. Only those sections explicitly selected and paid for will be addressed, focusing exclusively on identified defects. In the absence of any commentary on specific elements of concern, it may be reasonably inferred that the item is in satisfactory condition relative to the property's age.*

### **The Electrical Trade was not inspected**

**Plumbing** *Inspection of certain plumbing components falls outside the scope of the Australian Standards for Pre-Purchase Building Inspections (AS 4349.1) and therefore incurs an additional fee. Please note that this inspection is not conducted by a licensed plumber, and it covers only the following plumbing-related aspects: Plumbing fittings Plumbing fixtures Sanitary ware with running water Sanitary ware connected to drainage lines or drainage points Important: This inspection does not substitute for an assessment by a qualified plumber and is limited to a general review of the listed items. If this supplemental plumbing inspection has not been purchased, the above elements will not be included in your Report. Should you wish to add these findings, an additional fee of \$100 plus GST applies, and the relevant details will be incorporated into an updated Report. To ensure inclusion of this section, please confirm selection by ticking the designated box at the time of Report purchase. Only those sections explicitly selected and paid for will be addressed, with findings focused exclusively on identified defects. In the absence of specific commentary on any plumbing component, it may reasonably be inferred that the item is in satisfactory and appropriate condition, relative to the property's age.*

### **The Plumbing trade was not inspected**

**Boat shed** The inspection of certain trade-specific components, such as plumbing or electrical systems, falls outside the scope of the Australian Standards for Pre-Purchase Building Inspections (AS 4349.1) and, therefore, requires an additional fee. Please note that any section or component not explicitly selected and purchased will not be included in this Report. At the time of Report purchase, you are required to confirm the inclusion of any additional sections by selecting the relevant option. This Report will address only the findings related to the sections you have chosen, with a primary focus on identified defects. In the absence of specific comments on a particular component, it may be reasonably inferred that the item is in satisfactory condition, commensurate with the age of the property.

**Tennis court** You will need to pay extra for this trade as its not included within Australian Standards - PrePurchase Inspections of Buildings Part 1 Should any section or component of this Report not have been expressly selected and purchased, findings pertaining to that aspect will be absent from the Report. At the time of purchase, it is required that you have confirmed, via the designated selection box, your need for inclusion of this specific section within the Report. Only those findings expressly included will be provided herein, focusing exclusively on identified defects. In the absence of any specific commentary on a particular matter of concern, it shall be reasonably inferred that the corresponding element is deemed to be in satisfactory and reasonable condition, commensurate with the property's age.

**Pontoon** You will need to pay extra for this trade as its not included within Australian Standards - PrePurchase Inspections of Buildings Part 1 Should any section or component of this Report not have been expressly selected and purchased, findings pertaining to that aspect will be absent from the Report. At the time of purchase, it is required that you have confirmed, via the designated selection box, your need for inclusion of this specific section within the Report. Only those findings expressly included will be provided herein, focusing exclusively on identified defects. In the absence of any specific commentary on a particular matter of concern, it shall be reasonably inferred that the corresponding element is deemed to be in satisfactory and reasonable condition, commensurate with the property's age.

**Visual Asbestos Assessments** Assessment of asbestos-related components is not included in the Australian Standards for Pre-Purchase Building Inspections (AS 4349.1) and requires an additional fee. Please note, this inspection is conducted by a qualified builder with over 30 years of industry experience; it is not an assessment performed by a licensed asbestos consultant. The asbestos inspection covers the following areas: External and internal wall linings Roof plumbing and accessible roof linings as available on the inspection date Eaves and soffit linings If you have not purchased this additional asbestos inspection service, the above elements will not appear in your Report. To include these findings, an additional fee of \$100 plus GST is required, and they will be incorporated into an updated Report. It is essential that you confirm the selection of any additional inspection sections at the time of purchase by ticking the designated option. Only findings for the explicitly selected sections will be included, with a focus solely on identified defects. If no specific comments are provided on a particular component, it may be reasonably inferred that the item is in satisfactory and appropriate condition, relative to the age of the property

**Incomplete Works - Area Under Construction and Excluded from this report** Works to this area are incomplete and non-compliant with AS4349.1-2007 \*Further inspection required once works have been completed.

### 30. The areas NOT INSPECTED were:

**Roof plumbing - (Gutters, Valley Irons, Flashings, Downpipes, Box Gutters) - Due to height restrictions / safety / WHS** *Unable to physically access upper roof cladding due to height/safety.*

**Roof cladding - (roof linings) above 2.7m in height** *Unable to physically access upper roof cladding due to height/safety.*

**Roof cladding - due to it being WET & SLIPPERY roof elevations at the time of the inspection** *The roof cladding was not inspected as it was not safe to walk over the roof as it was wet/slippery at the time of this inspection*

**Roof void - Ceiling joists, as the roof void was completely lined with a floor structure** *There was a floor structure within the roof void which concealed the timber framing members, possible electrical cables and possible termite activity. The roof void was not inspected in full because of this restriction in place and should the floor be removed a second inspection is recommended for a full and comprehensive assessment for the timber framing members and other aspects within the roof void which may or may not be concealed by this floor structure.*

**Roof void - Roof framing / Rafters, as the roof void was completely lined with plasterboard concealing the roof timber framing members and the underside of the roof linings** *The roof framing / rafters were not inspected in full as they were concealed behind a lining board within the roof void. We cannot inspect and comment on the roof framing members nor insulation nor electrical cables nor make any comments on the underside of the roof linings due to the obstruction of the cladding applied to the underside of the roof frame members. Should access to the roof framing become available, a second inspection is recommended.*

**Roof void - due to skillion / flat roof construction** *No roof void was found due to the skillion / flat roof on site.*

**Roof void - was not inspected in full due to no access to the entire roof void (The roof void was inspected in part but not in full further investigations is recommended)** *Roof space; I did not access to the entire roof space I was able to inspect the roof void in part / partial inspection of the roof void but not a full and comprehensive inspection due to limited space / restrictions within the roof void. Roof Interior - Access openings must be 500mm x 500 mm , with a Crawl Space of 600mm x 600mm - with a height accessible from a 2.7m step ladder or a 3.6m ladder is placed against the wall*

**Roof void - not inspected in full due to excess personal belongings stored within the void** *I saw a small portion of the roof void and not the entire roof void, due to the objects placed/stored within the roof void which obstructed my access/view of the entire roof void elements, further investigation is required once all the stored items are removed from the roof void*

**Roof void - due to the access hatch being located within the garage and it was blocked due to the vendors belongings being located directly below the roof void access door** *I could not place my ladder*

*under the access hatch without having to move the vendors belongings*

**Roof void - due to the access hatch had furniture / personal belongings located directly below the roof void access door** *I could not place my ladder under the access hatch without having to move the vendors belongings*

**Roof void - due to the access hatch is within the bathroom and the fit-out / fixtures were located directly below the roof void access door** *I could not place my ladder under the access hatch without having to move the vendors belongings*

**Roof void - due to the access hatch being located within the laundry which has furniture / laundry fit out in my way which made it impossible to install a step ladder directly below the access hatch** *I could not place my ladder under the access hatch without having to move the vendors belongings*

**Roof void - due to the access hatch is located above a robe / cupboard** *I could not place my ladder within the room where the roof hatch was found as I may have damaged the vendors goods or belongs*

**Roof void - was not inspected due to no manhole was found within the property** *Roof space; No access to the entire roof space.*

**Roof void - was not inspected due to the access hatch was secured shut / closed and I was unable to open it at the time of my inspection** *Second inspection recommended once the roof void access door is open and safe passage is made available to the roof void*

**Roof void - not inspected due to manhole size being too small to enter / not meeting current standards in manhole size** *The roof void access panel needs to be increased meeting current regulations and once it has been increased or a new access panel created, a second inspection is recommended for a full and comprehensive assessment of the roof void*

**Roof void - was not inspected due to Allen key required to open access hatch / Allen key was not found on site on the day of my inspection** *We do not carry any tools to open nor close any access panels, a second inspection is recommended once the access door is opened or once the Allen key / tool is supplied for a second inspection*

**Roof void - was not inspected due to the access hatch to the roof void was not open nor removed prior to my arrival and due to Covid restrictions in having a contact-free inspection, the roof void was not inspected due to this obstruction**

**The roof void was not inspected as I was not asked to sign in nor was I provided any Covid 19 check-in procedures** *In order for our inspections to be carried out regulations are required by the listing agent to have all visitors to the property sign in to meet Covid 19 Guidelines I was not asked to sign in nor was I supplied a register to sign in nor was there a Q-code on site, therefore, I carried out this inspection contact-free and I did not open nor close any parts of this building other than using my top side of my shoe to open and close cupboard doors and my elbows to turn lights on and off*

**Roof void - due to the ceiling height being greater than 2.4m** We are required to bring a 3.6m step ladder, this same step ladder folded in half is 1.8m in height This stepladder is used to access roof void access holes to a height of 2.4m for safe passage into and existing off the roof void for a single inspector using a step ladder, the ceiling within this property is beyond 2.4m in height, therefore the roof void was not inspected nor entered into due to this restriction

**Roof void - due to NO manhole** No manhole found on site, should one be created a second inspection is recommended

**Roof void - was NOT inspected due to the access hatch / door was smaller than 500mm x 500mm**

The roof void access hole is smaller than current regulations therefore I did not enter the roof void Should the access hole be enlarged or a new one created a second inspection is recommended

**Roof void - was NOT inspected due to the crawlspace was less than 600mm x 600mm** I inspected the roof void within this property and I saw that the crawlspace within the roof void does not meet current building regulations, and that being a 600mm x 600mm crawlspace for an inspector to be able to enter freely and crawl around safely without running the risk of falling through the ceiling Therefore, due to the roof void not meeting these requirements, the roof void was not inspected in full

**Roof void** The roof void within this property was not inspected on the day of our inspection, should access be made available to the roof void a second inspection is recommended for a full and comprehensive assessment

**Roof void was not inspected in FULL due to the crawl space was less than 600mm x 600mm**

**Subfloor** I could not inspect the subfloor area due to no access on site

**Subfloor - No access** I was unable to inspect the sub floor - No access

**Subfloor - was not inspected in full, as the crawl space within the subfloor is minimal and not meeting current industry standards** You should consider engaging our office for a second inspection once access is made available Subfloor areas often have traces of termites or moisture issues, so the subfloor areas should be accessed / inspected prior to making a decision to purchase any property

**Subfloor - was not inspected at all, as the crawl space was minimal and does not meet industry standards** Second inspection is recommended once access is made available Subfloor areas often have traces of termites or moisture issues, so the subfloor areas should be accessed / inspected prior to making a decision to purchase any property

**Subfloor - area due to slab on ground** No Subfloor area was inspected due to the floor being a "slab on ground" with no access below

**Subfloor - No access to the entire subfloor area** I inspected a limited/small area of the subfloor due to restrictions and due to objects within the access point and within the subfloor area I could not access the entire subfloor area The entire subfloor area is now excluded from this report.

**Subfloor - No access due to objects placed over the subfloor manhole access doors** *The furniture / objects that are placed over the access hatch to the subfloor need to be removed or moved off the hatch so a second inspection can be carried out. The second inspection fee is \$300 for a single inspector, which includes the existing report being updated with our new / additional findings.*

**Subfloor - due to the vendors belongings were stored within the sub floor obstructing my entry into the subfloor** *I was unable to inspect the entire subfloor. The subfloor is excluded from this inspection and this report - should clear access be supplied in the future, a second inspection and an amended report is able to be produced if decommissioned.*

**Subfloor - due to the manhole / access hatch was wedged / stuck in position and tools were required to open the access hatch** *Second inspection is recommended once access is made available. Subfloor areas often have traces of termites or moisture issues, so the subfloor areas should be accessed / inspected prior to making a decision to purchase any property.*

**Subfloor - due to the manhole having furniture placed over the access door to the subfloor** *Second inspection is recommended once access is made available. Subfloor areas often have traces of termites or moisture issues, so the subfloor areas should be accessed / inspected prior to making a decision to purchase any property.*

**Subfloor due to the door being locked at the time of my inspection** *Second inspection is recommended once access is made available. Subfloor areas often have traces of termites or moisture issues, so the subfloor areas should be accessed / inspected prior to making a decision to purchase any property.*

**Subfloor, I did not inspect all aspects of the subfloor due to limited / restricted access within the subfloor** *Once access is made available to all aspects of the subfloor a second inspection is recommended so that you understand the entire subfloor condition, as the subfloor of a house often has major issues or issues that need to be addressed / known of so that they can be addressed soon after you move in or prior to negotiating a price to purchase this property.*

**Subfloor - Below TIMBER DECKS due to no access meeting current regulations / crawlspace** *No access was available to crawl beneath the timber floor / timber decks, further investigation is recommended to understand the conditions of the subfloor area beneath the timber decks.*

**Subfloor - was NOT inspected in FULL due to the subfloor access point was less than 500mm x 600mm**

*The subfloor area was inspected in part, but not in full, due to limited access whilst within the subfloor area. It is best to have a full and comprehensive assessment of the subfloor with all aspects / chambers inspected and reported on prior to purchasing any property.*

**Subfloor - was NOT inspected due to the subfloor access point was less than 500mm x 600mm**

*Subfloor access point should be made larger than the current opening so I or any future service contractor can enter the subfloor area freely and I or other service contractors will be able to do our work meeting current regulations, and in turn, you, the purchaser or future owner of the property will get a better level of service from a service contractor.*

**Subfloor - was NOT inspected due to the crawl space within the subfloor was less than 600mm x 600mm** *The subfloor area was not inspected, as I could freely enter and circulate within the subfloor area Once access is made available / an area of 600mm x 600mm crawlspace, a second inspection is recommended so a full and comprehensive assessment and report can be supplied*

**Subfloor - was not inspected in FULL due to the crawlspace within the subfloor being less than 600mm x 600mm** *Whilst I was within the subfloor I inspected the subfloor area in part and not in full due to limited crawlspace within the subfloor area It's best to have every aspect of the subfloor inspected and reported on and should access become available to all aspects of the subfloor area, we recommend that you re-engage our office to re-inspect and to update this report covering all aspects of the subfloor area*

**Subfloor was not inspected due to fragments of asbestos materials were found within the subfloor**

*As I entered the subfloor area, I saw cracked / broken pieces of fibro / possible asbestos fragments on the floor As I have to crawl throughout the floor, I did not go beyond the point where I found these possible asbestos pieces of material scattered on the floor*

**Subfloor was not inspected due to electrical cables hanging from the floor above and onto the soil and crossing over access points** *I am unaware if the current electrical cables are alive or old and redundant cables, as they were hanging down from the above timber floors and as I would need to pass by these cables I chose not to go beyond the electrical cable points for my own safety I recommend, if you choose to buy this property, that you engage an electrician to do a tidy up of the cables within the subfloor area*

**Subfloor was not inspected due to exposed electrical cables / not concealed within junction boxes and not knowing if these cables are live, I did not enter the subfloor beyond this point** *There were open ended electrical cables not concealed within junction boxes, I did not inspect all aspects of the subfloor area due to the risk that these cables are live and exposed I recommend an electrician be engaged to carry out an assessment of all electrical works within the subfloor area and to remove all redundant cables and to conceal all exposed electrical cable junctions*

**Subfloor was not inspected due to wet weather, and as we have to crawl entering into and within the subfloor, I did not enter the subfloor due to the damp / wet soil on the day of my inspection** *As per our Terms & Conditions, in wet weather we do not use our step ladders externally to access the rooftop elevation nor to use the ladder internally to inspect the roof void elevations, due to safety reasons / possible slip hazards whilst using a wet aluminium stepladder As per our Terms & Conditions we do not crawl underneath timber decks or enter subfloor areas as we are often required to crawl on the floor and we get wet and muddy on wet or damp days, and therefore we do not enter the subfloor areas due to wet weather conditions*

**Subfloor was not inspected due to excess building materials / waste stored / stockpiled within the subfloor blocking my access** *Within the subfloor area, there were leftover building materials that blocked our access, once these materials are removed and we have passage through the subfloor area a second inspection is recommended for a full and comprehensive assessment of the subfloor prior to you choosing to purchase this home*

**Concrete Slab & footings - Slab edges not exposed and un- inspect-able due to the way the property was built** *Unable to inspect the concrete slab and footings The concrete slab edges were not exposed on the perimeter of dwelling and floor coverings.*

**Underside of suspended concrete slabs** *There was no access to the underside of the suspended concrete slabs for me to inspect and comment on this aspect of the property*

**Front veranda slab** *There was no access below the front veranda slab to inspect and comment on Once access is made available we can be re-engaged to inspect and comment within the subfloor area of the front veranda*

**Side veranda slab** *There was no access below the side veranda slab to inspect and comment on Once access is made available we can be re-engaged to inspect and comment within the subfloor area of the front veranda*

**Back veranda slab** *There was no access below the back veranda slab to inspect and comment on Once access is made available we can be re-engaged to inspect and comment within the subfloor area of the front veranda*

**Elevated suspended slabs** *The elevated slab is too high to inspect and comment on due to the height of the slab compared to my vantage point Further investigation is required*

**Chimney - too high and not inspected** *No access to inspect Blocked chimneys can harbour termite nesting Chimney was too high and not inspected it should be inspected asap in rule out any pest infestation.*

**Chimney, as it was covered over / cowling installed** *The chimney was covered and no access available to inspect the chimney safely*

**THIS INSPECTION WAS FOR A UNIT - This inspection was carried out within an internal apartment and we did not inspect the following aspects** *Our assessment was based upon the internal elevations of the apartment only, we may make comments on the external verandas, balconies and walls, these are minor comments and comments based upon the walls within the veranda We are not confirming that these balconies and verandas are part of the asset being purchased, as it is common that balconies / verandas are part of the body corporate asset, and we strongly recommend that you have the body corporate asset inspected and reported on via a specialised body corporate asset report and that you commission your own strata report covering this apartment and the entire complex*

**This is a unit internal inspection - The SUBFLOOR was not inspected** *We only inspect the internal elevations of the apartment The subfloor area belongs to the body corporate and we did not inspect nor report on that aspect of this building*

**This is a unit internal inspection - The ROOF VOID was not inspected** *We only inspect the internal elevations of the apartment The roof void area belongs to the body corporate and we did not inspect nor report on that aspect of this building Should you want the roof void inspected a second inspection would be required, but as this is a body corporate asset it is not common for a purchaser to a report covering this aspect of the body corporate asset*

**This is a unit internal inspection - The EXTERNAL SITE / COMMON PROPERTY / BODY CORPORATE assets were not inspected** We only inspect the internal elevations of the apartment Should you want the external / common property / body corporate assets inspected, you would need to engage our office to cover this aspect of the built form, unfortunately this is a very expensive and detailed report and very few buyers engage our office to do so when a portion of the information you are seeking can be found within a strata report

**This is a unit internal inspection - The BASEMENT, GARAGE, CARSSPACE, STORAGE CAGE were not inspected** We only inspect the internal elevations of the apartment and not the basement / garage / body corporate asset You can obtain some level of information with a strata search, but should you want this aspect of the property inspected and reported on a further inspection report is required to be commissioned

**All internal elevations within the apartment were inspected, together with the balcony / veranda** All common property and body corporate assets were not inspected, I have made comments on the external balconies / verandas attached to this apartment but that is not a detailed assessment as the balconies / verandas are part of the body corporate asset and we strongly recommend that you get a full and comprehensive building report on all body corporate assets and a strata report covering the entire complex

**All areas were inspected** All areas were inspected within this property that was made available to me on the day of my inspection, our inspection is limited to the areas that were available and open on the day of the inspection and the areas that were no blocked nor obstructed due to the vendor / tenants having their personal belongings stored or stockpiled within robes, cupboards or other storage areas which could ultimately be concealing defects, major or minor A settlement inspection is strongly recommended once all current occupants belongings are removed and prior to the settlement of the property

#### The following areas were not inspected

- asdfasdfjklk; j;aldfsj lkj aoi qwer qwe ladflk asdf;j ;lasfi qwerlj afi adflj qewoi afdlj ads;jkjwe ria dsfoi asdfk adafj;

**Incomplete Works - Area Under Construction and Excluded from this report** Area noted incomplete throughout the report are noted as such and will require re-inspection.

**#SPECIAL NOTE: Should the areas noted in this section as "not inspected" or "not inspected in full" be altered or access provided a second inspection is recommended so I can advise on the conditions within those areas**

### 31. AREAS TO WHICH ACCESS SHOULD BE GAINED, or fully gained via a second inspection from this initial inspection.

**Roof void** Roof void is a high priority to have it inspected prior to making a decision to purchase this property or any property, as the roof voids often have costly areas to rectify

**Subfloor** Subfloor should be inspected, as termites and moisture issues are often found in these areas and its best to have a full understanding of the risk of purchasing a home and subfloor areas is one fo the more risky areas of the home, and that area should be inspected and reported on in full and considered prior to purchasing this property

## **Roof Elevation**

**Roof Elevation - Single story roof linings & Roof plumbing** We only inspect roofs that are 2.7m in height off the ground floor as we use a 3.6m ladder. We inspect up to 3.6m high gutters, as we can lean our ladder up against the gutters to inspect them as we don't need to walk over the roof to inspect the gutters. This is all in line with WH&S guidelines for a single inspector.

**Roof Elevation - Upper first story roof cladding and plumbing** Upper storey roof cladding was not accessed or walked on due to safe and reasonable access.

**Roof Elevation - Upper second story roof elevations** We only inspect the roof up to 2.7m off the natural ground. Should you want the second story roof inspected we can do so via a drone assessment or via a second inspection with a two man team or a single inspector setting up a harness.

**Roof Elevation - Upper third story roof as a whole** The third story roof was not inspected, a second inspection is recommended should you want a full and comprehensive assessment of the roof elevation within this property.

## **Below the deck / timber floor**

**Below timber decks** We were unable to inspect the subfloor area below the timber deck, once access is provided a second inspection is recommended as subfloor areas below decks are a common area for termite damage and wet & dry rot / dampness issues.

**Below timber floors** No access was available below the timber floor. Should an access point become available a second inspection is recommended covering the entire subfloor area if possible.

**Below concrete slabs** I was unable to inspect and comment on the underside of the concrete slabs.

## **Internal joinery / cupboards / storage areas**

**Internal cupboards/storage areas** Internally, cupboards also had storage items that restricted full visibility of areas.

**Internal storage / behind furniture / blinds and curtains** Internally, some walls, skirting boards, floor linings and the like were not visible due to storage/furniture.

**Internal stairwells and storage spaces** There were obstructions within the undercroft of the stairwell / storage space, once this area has been cleared out of personal belongings a second inspection is recommended.

**Internal robes** We do not touch any personal belongings of the vendor / tenants. On some occasions, the obstruction of the clothes or other personal belongings within the robes do conceal defects. It is best to make sure that all internal elevations of the robes are inspected prior to proceeding with the purchase / exchange of contracts or prior to settling.

**Internal walk-in robes** We do not touch any personal belongings of the occupants. It is best to make sure that all internal elevations of the robes are inspected prior to proceeding with the purchase / exchange of.

contracts or prior to settling

### **Internal kitchen pantries & cupboards**

**Garage** There were obstructions within the garage and once these objects have been removed a second inspection can be carried out to ascertain if there are any issues concealed behind the current obstructions

**Garage walls** Some of the garage walls were concealed with the personal belongings placed and stored within the garage, once these objects have been moved out of the garage and clear access is available a second inspection is recommended to understand if there are any major defects which were concealed by the objects found within the garage at the time of this initial inspection

**Garage roof void** I was unable to inspect the garage roof void and once clear access is provided, a second inspection covering this aspect of the building is recommended

**Garage storage** The garage had storage against walls that restricted views of some wall and flooring areas.

### **Carport**

**Carport roof void** The carport roof void was not inspected Once access to the roof void is made available a second inspection is recommended should the prospective purchaser be interested in understanding the full condition of the roof void within the carport

**External walls & Fences & Vegetation** Vegetation restricted some access and views of walls and fencing.

### **All areas that were blocked or obstructed on the day of my inspection as noted within this report**

Within this report, I make note of areas that were unable to be inspected and I strongly recommend once these areas have been cleared out or access made available by the current vendors, tenants or managing agents that a second inspection be commissioned

**All areas that were noted that were not inspected in the previous question titled "Areas Not Inspected" should be inspected prior to making a decision to purchase this property - second inspection is recommended prior to exchange of contracts**

**All areas have been inspected that should be inspected for the purpose of this inspection** There were no major obstructions within this property at the time of this inspection, of course, we are not able to inspect every aspect of the property due to personal belongings within the property, but I see no major issues within the built form or areas that are concealed with normal furniture, fixtures and fittings installed within the property

**Areas not inspected due to works being incomplete / in construction** Area noted incomplete throughout the report are noted as such and will require re-inspection.

### **THE FOLLOWING AREAS, ACCESS SHOULD BE GAINED VIA A SECOND INSPECTION**

- A asidfi pofasf powqer qlwejr;kajsd fp [poafkj l;af pqwer ;lajf [pi afalkj qewri aflkj lci aflkj qeri afdslkj adsf

## 32. Incidence of MAJOR Defects compared to similar buildings

**No major defects found** All properties have an element of risk, within my inspection I could not see any major defects that you need to consider prior to making a decision to purchase this home

## 33. Incidence of MINOR Defects compared to similar buildings

**Minimal quantity of minor defects found within this property on the day of my inspection.** Small quantity of minor defects when compared to a property of similar age

## 34. Recommendations for further inspections

**Rooftop elevation**

**Subfloor area**

**Roof void**

**Beneath suspended slabs and concrete edges**

**Chimney and its surroundings**

**Internal cupboards / robes / linen cupboards / pantries /storage cupboards**

**Garage**

**Carport / carport roof void**

**Pest Inspection and site treatment covering the subfloor and roof voids + all external elevations of the property**

**Electrician to carry out a power and light circuit test**

**Electrician to test and certify the smoke defectors**

**Roof plumber to inspect the roof linings and roof plumbing due to the roof not being inspected in full within this report**

**Carpenter to inspect the subfloor area once access is provided**

**Carpenter to inspect the roof void once access is provided**

**Glazier to inspect and replace any broken glass**

**Builder to carry out a flood test to confirm if the wet rooms are tanked meeting current building regulations**

**Structural engineer to inspect all structural cracks within this property**

**Pool compliance officer to assess and comment on the pool compliance issues**

**Loose fill asbestos report be commissioned prior to purchasing this property**

**All Appliances**

**All Air Conditioner units and ducting**

**Gas / Electrical / Oil water heaters & fixtures**

## All pool equipment / plant and service lines

Plumber to check all Water supply, Sewer and stormwater lines, Gas supply and all the fixtures and fittings attached to the gas and water lines and all compliance matters of the plumbing and gas trades

Electrician to check all wiring and fixtures and fittings and compliance matters

Council or private certifier for compliance matters of the existing built form / structure and fitout

**ALL BODY CORPORATE ASSETS / COMMON PROPERTY/ ROOF TOP ELEVATIONS / SUBFLOOR AREAS / GARAGES or PARKING BAYS, As I only inspected the internal elevations of the unit**

## GENERAL COMMENTS

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All areas that were blocked or obstructed or not available or nor inspected in full should be inspected once clear access is made available to our inspector

## 35. Overall condition and conclusions

This property is well built and maintained to a high standard for the age of the property

This property is beautifully presented and maintained, a true reflection of the love and commitment from this owner or previous owners

This property needs minor repairs carried out to it once you have moved into the property

The property has a number of areas that need to be repaired once you move in or prior to your initial move in date

This property needs significant repairs carried out to it prior to you moving in

I saw no water entry within the Core Fabric of the building ( Internal Walls, Floors & Ceilings )

I saw no water leaks within the wet rooms ( Kitchen, Bathroom & Laundry )

There is minor moisture issues within this property, which is typical for the age and type of construction of this property

I saw moisture in the internal elevations which should be assessed and comment on prior to buying this home

The property has NO MAJOR Structural Cracks at the time of this inspection

There are a number of small to medium cracks within this property that should be addressed within next few months

There are a number of medium to large cracks within this property that should be considered / repaired once you move into the property

**There are considerable cracks within the structure that needs an engineer to assess and comment on prior to you purchasing this property**

**There are No Major compliance issues within this property that need to be addressed**

**There are minor compliance issues that need to be addressed within the property for the safety of the occupants**

**There are a number of minor to mid tier compliance issues that should be addressed for the safety of the occupants or their visitors**

**The external handrails and balustrade are not compliant with current regulations, for the best interest of the occupants and visitors this area of the house should be made compliant with current regulations to limit liability**

**The Internal handrails and balustrading need to be modified to meet current regulations**

**This property also needs the living areas windows, made compliant with current regulations as the sill height is less than 865mm and the windows can open greater than 125mm**

**The property should have the bedroom windows made compliant with current fall protection regulations**

**There are excessive amounts of compliance / safety issues within this property that should be considered prior to purchasing the home**

**The staircase / step treads should have slip-resistant measures applied to the timber treads for safe passage within this property**

**No major defects found within the electrical trade within this property**

**I saw no (RCD) "Residual Current Device" SAFETY SWITCH installed within the electrical meter box covering ALL CIRCUITS within the electrical meter box, it is best to have this installed covering all power and light circuits**

**There is a powerpoint within 500mm of the water supply / spout that needs to be moved / modified or capped off to make it compliant with current regulations**

**There were open ended electrical cables which need to be terminated for safe passage through the property**

**There were non-concealed electrical cables that could be subject to failures / safety hazard for the occupants within this property**

**All electrical cables, light fixtures & fittings appeared to be in good order**

**An electrician should be engaged to inspect, assess, report on and make good the electrical trade within this property as there are more than normal electrical issues within this property**

**No major issues were seen within this property within the plumbing trade**

**Repairs to the roof plumbing required, as leaks were seen within the gutters and downpipes**

**The roof plumbing and roof tiles are in need of repair as there is the potential of water ingress within the rooftop elevation**

**The roof plumbing and roof sheeting are in need of repair as there is the potential of water ingress within the rooftop elevation**

**A plumber should be engage, assess, repair and make good all plumbing within this property as leaks were seen within the wet rooms**

**Excess moisture was found within this property within the subfloor area, a plumber should be engaged to advise on a scope to have the surface directed away from the home to maintain a dry subfloor area**

**I saw no current pest inspection sticker within the electrical meter box or within the kitchen cupboard doors, it is best to have this house inspected and sprayed / treated every 6-9 months**

**This property has wet and dry rot in a number of timber members**

**This property has no wet and dry rot within the timber member**

**I did not access the entire sub floor area, a pest inspection and treatment and timber framing inspection and report is recommended when access is available**

**I could not access the roof void in full today I recommend a pest contractor and or a carpenter inspect the timber framing**

**I saw no past or present pest activity within this property**

**I saw minor pest activity within this property**

**I saw major pest infestations within this property that must be addressed prior to you purchasing this property**

**I saw no wet nor dry rot within this property**

**I saw a number of timber members affected by wet and dry rot which should be repaired or replaced soon**

**I saw excessive wet and dry rot timber members that need to be replaced ASAP**

**This home represents as a good and sound property to buy with little risk for a new purchaser on condition that they have read this report in FULL, and that they understand the small areas of improvement that are required within this property**

**I see little risk in purchasing this home it in current conditions subject to the buyer having read this entire report and they understand the areas of improvement and noted within each component of the property that are required to be made good or upgraded**

**This property needs minor renovations / works carried out to a number of areas to bring it back to its original condition**

**This home needs considerable work carried out to have it back to an acceptable standard**

**This property has many defects, major and minor, this property is suited for a seasoned renovator or building contractor**

**This property is in VERY GOOD CONDITION for its age**

**This property is in GOOD condition for its age**

**This property is in FAIR & REASONABLE condition for its age**

**This property needs MINOR renovations / works carried out to a number of areas to bring it back to its original condition**

**This property has SIGNIFICANT REPAIRS required**

**This property needs CONSIDERABLE works carried out to it**

**This property has MANY defects and it needs to be renovated**

**This property is in a POOR state of repair ( urgent works is required throughout the property )**

#### **SPECIAL NOTE:**

- *jkhgkhgkhgkikhkllhlkjhkl*
- *sadkfha slfajs dflasjdf adslfj asdfa fasf asdfaksdklfja l;akjsdf adslfjl sdfalds;kfj asdl;fj asf*

### **36. Overall Condition**

**GOOD CONDITION - 8 out of 10**

## 37. OVERALL ASSESSMENT OF ALL PLUMBING OVER AND ABOVE A PRE-PURCHASE BUILDING & PEST REPORT

### SUB\_Q: INTERNAL PLUMBING ASSESSMENT

**Yes, the sink & tapware are free of defects**

**The water supply operated freely**

**Water drained freely at the time of inspection**

**The cisterns / pans / bidets are free of defects**

**Cisterns / pans / bidets are correctly installed and are stable / rigid**

**There is running water within the toilet**

**The bathtub is free of damage and installed correctly**

**The laundry wasteline / pipes were clear / unblocked at the time of my inspection**

**The hot water system appears to be in good / reasonable condition subject to the age of the unit at the time of my inspection**

**I briefly inspected the roof void and I saw no defects within the water supply lines within the roof void**

**There were no major defects seen within the subfloor area within the water distribution lines, sewer lines and overall plumbing trade**

**External garden taps appeared to be in working order with no defects found at the time of my inspection**

### SPECIAL NOTE:RE INTERNAL PLUMBING ASSESSMENT

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### SUB\_Q: KITCHEN - IS THE KITCHEN - SINK & TAPWARE FREE OF DEFECTS ?

**Yes, the sink & tapware are free of defects** *The kitchen sink and taps were in acceptable condition at the time of inspection*

**Metal sink dented / scratched, minor** *The sink can be seen to be dented and / or scratched, this would be typical wear and tear and considered to be a minor defect*

**Non metal sink chipped / cracked** *Porcelain or stone sink can be seen to be chipped, this is likely to be a result of normal wear and tear and minor in nature This defect is likely to be able to be rectified by a*

**Non metal sink cracked** Porcelain or stone sink can be seen to be cracked, this may affect the performance of the sink being able to retain water and would possibly require the item to be replaced

**Tap(s) dripping/leaking, faulty o-ring, spindle** Leaks can be seen from the tap(s) as a result of a faulty / damaged o-ring which is generally a result of wear and tear, this can be easily replaced by a plumber or handyman

**Tap(s) dripping / leaking, faulty washer** Leaks can be seen from the tap(s) as a result of a faulty / damaged washer, which is generally a result of wear and tear, this can be easily replaced by a plumber or handyman

**Tap / spout, loose** Tap / spout seen to be loose at the time of inspection; this item could be rectified with minor adjustment

**There was no water supply, further investigation to find out why no water was running within the kitchen tapware**

**SPECIAL NOTE: RE KITCHEN - SINK & TAPWARE Defects**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: KITCHEN - IS THE KITCHEN SINK - WATER SUPPLY FREE OF DEFECTS ?

**The water supply operated freely** The water supply to the kitchen operated and drained freely at the time of inspection

**Undersink drain trap is blocked** The drain / trap for the sink is blocked, not allowing the water to dissipate A plumber is required to unblock or replace the area in question

**Waste outlet leaking** The waste outlet can be seen to be leaking, the area is to be assessed by a plumber with appropriate remedial works undertaken to rectify this issue

**Undetermined blockage in plumbing** A plumber is required to assess the area further to determine the cause of the blockage and carry out the required remedial works to rectify this issue

**Water hammer sound present when turning on / off the water supply taps** Water hammer sound present when turning on / off the water supply taps, a plumber should be consulted on this matter

**I was unable to access and inspect the kitchen cupboards because there were excess personal belongings stored within the cupboards** I was unable to access and assess the conditions of the plumbing (water supply and drainage points) due to excess items found within the kitchen cupboard at the time of my inspection

**No running water within the kitchen tapset at the time of my inspection** Further investigation to understand the reason for this issue

**There was no water running within the kitchen sink / tapware, further investigation is required to understand why this is / was the case on the day of my inspection** Further investigation to understand the reason for this issue

#### **SPECIAL NOTE: RE KITCHEN SINK - WATER SUPPLY Defects**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**SUB\_Q: KITCHEN - IS THE KITCHEN - DRAINAGE - FREE OF DEFECTS ?**

**Water drained freely at the time of inspection** At the time of my inspection, the water was tested and there were no leaks seen within the kitchen drain or any other exposed waste water within the kitchen cupboards

**The sink drainage system appears to have a blockage within the line, this typically is an easy fix for a handyperson or a very easy fix for a plumber** The drain / trap for the sink is blocked, not allowing the water to dissipate A plumber is required to unblock or replace the area in question

**The wasteline / drainage line was defective / leaking** The waste outlet can be seen to be leaking, the area is to be assessed by a plumber with appropriate remedial works undertaken to rectify this issue

**Blockage within the plumbing pipes** A plumber is required to assess the area further to determine the cause of the blockage and carry out the required remedial works to rectify this issue

**No access to the kitchen cupboards due to excess belongings stored within the below bench cupboards** I was unable to access and assess the conditions of the plumbing (water supply and drainage points) due to excess items found within the kitchen cupboard at the time of my inspection

**There was no water supply in the sink and I therefore could not assess and test and report on the drainage lines below the kitchen sink** I was unable to access and assess the conditions of the plumbing

(water supply and drainage points) due to excess items found within the kitchen cupboard at the time of my inspection

### SPECIAL NOTE: RE KITCHEN - DRAINAGE DEFECTS

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Defect Rating: MINOR DEFECT

Defect Rating: MAJOR DEFECT

Defect Rating: SAFETY HAZARD

Defect Rating: FURTHER INVESTIGATION

SUB\_Q: BATHROOMS - ARE THERE ANY DEFECTS WITHIN THE TOILETS - "PAN & CISTERNS" ?

**The cisterns / pans / bidets are free of defects**

**Pan cracked** Cracks can be seen in the toilet pan, it would be advisable to have a plumber replace this item

**Cistern cracked / dislodged from the wall or pan below** Cracks can be seen in the cistern, it would be advisable to have a plumber replace this item.

**Pan & cistern cracked** Cracks can be seen in both the toilet and cistern, it would be advisable to have a plumber replace the entire toilet suite.

**Water leakage from pan** Water can be seen to leak from the toilet pan, this area is to be assessed by a plumber and the appropriate remedial works be undertaken to rectify this issue

**Water leakage from cistern** Water can be seen to leak from the toilet cistern, this area is to be assessed by a plumber and the appropriate remedial works be undertaken to rectify this issue

**Cistern flush mechanism faulty** The flushing mechanism is faulty, requiring assessment by a plumber and the appropriate remedial works be undertaken to rectify the issue

**No water supply to the toilet cistern** I was unable to test the toilet in full

### SPECIAL NOTE: RE DEFECTS WITHIN THE TOILETS

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Defect Rating: MINOR DEFECT

Defect Rating: MAJOR DEFECT

Defect Rating: SAFETY HAZARD

Defect Rating: FURTHER INVESTIGATION

SUB\_Q: BATHROOMS - IS THE INSTALLATION OF THE TOILET / BIDET / CISTERN DEFECT FREE ?

**Cisterns / pans / bidets are correctly installed and are stable / rigid**

**Cistern partially detached from wall**

**Pans inadequately secured to the floor**

**SPECIAL NOTE: RE THE INSTALLATION OF THE TOILET DEFECTS**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: BATHROOM - ARE THERE DEFECTS WITH THE TOILET / CISTERN WATER SUPPLY ?

**There is running water within the toilet**

**No running water was found within the toilet / cistern**

**Water hammer sound present when the water supply is active** *At the time of testing the fitting water hammer was present*

**Water was running in the bowl constantly after the flush test was carried out** *Repairs / adjustments are required to the cistern waterflow switch*

**I was unable to flush the toilet due to no button** *Works are required to the toilet cistern*

**I was unable to inspect the toilet due to objects placed over / obstructing the toilet** *Further investigation is recommended once access is made available*

**I was unable to test the toilet due to objects placed over / obstruction the toilet** *Further investigation is recommended once access is made available*

**SPECIAL NOTE: RE DEFECTS WITHIN THE TOILET / CISTERN WATER SUPPLY**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

## Defect Rating: FURTHER INVESTIGATION

SUB\_Q: IS THE 'BATHTUB' FREE OF DEFECTS ?

**The bathtub is free of damage and installed correctly**

**Chipped and / or cracked bathtub** *The bathtub was defective due to chips / cracks within the bathtub linings*

**Rusted & stained bathtub** *The bathtub was defective due to rusted and stained bathtub*

**Bathtub is NOT recessed into the wall, it is likely to leak at the junction** *New silicone is required around the bathtub to seal the bath substructure and adjacent walls from water ingress*

**Bathtub is POORLY recessed into wall and likely to leak** *New silicone is required around the bathtub to seal the bath substructure and adjacent walls from water ingress*

**The bathtub has NO silicone sealant between the wall / ledge tiles** *New silicone is required around the bathtub to seal the bath substructure and adjacent walls from water ingress*

**The bathtub has defective / old / poorly applied silicone around the wall tiles and hob tiles of the bathtub junction** *Re-sealing of the bathtub and its surrounding materials are recommended, so there are no leaks / pooling of water within the bathroom (easy fix)*

**The bathtub needs to be re-coated / re-sealed** *The bathtub internal lining is defective*

**The bathtub is old and in need of repair / replacement** *A new bathtub is recommended to be installed or the existing repaired and made good*

### SPECIAL NOTE: BATHTUB DEFECTS

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: BATHROOM - ARE THERE ANY DEFECTS WITHIN THE 'BATHTUB TAPS' ?

**The bathtub taps are free of leaks and the water supply operates correctly**

**Tap(s) dripping / leaking, faulty o-ring, spindle** *Tap(s) can be seen to be leaking through the spindle, the o-ring requires replacement which can be undertaken by a plumber*

**Tap(s) dripping / leaking, faulty washer** *Tap(s) can be seen to be dripping due to a faulty washer, this item can be replaced by a plumber*

**Leaks or cracks noted in pipes** *Leaks within the pipework have been observed, assessment of the area is recommended by a plumber and the appropriate remedial works be carried out*

**Defective taps / spout** *A plumber should be engaged to inspect and repair any leaks or defective fittings*

**Water hammer sound present when turning on / off the water supply taps** *Water hammer sound present when turning on / off the water supply taps, a plumber should be consulted*

### SPECIAL NOTE: RE BATHTUB TAP DEFECTS

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: BATHROOM - BASIN / VANITY - TAPWARE

**Yes, the basin / vanity taps are free of defects** *All taps were in good working order at the time of my inspection*

**Dripping tap(s) / leak within the fitting (possible faulty o-ring / spindle)** *Tap(s) can be seen to be leaking through spindle, the o-ring requires replacement which can be undertaken by a plumber*

**Dripping tap(s) / leak within the fitting (possible faulty washer)** *Tap(s) can be seen to be dripping due to faulty washer, this item can be replaced by a plumber*

**Cracks / leaks noted within the pipes** *Leaks within the pipework have been observed, assessment of the area is recommended by a plumber and the appropriate remedial works be carried out*

**Defective Tapware** *A plumber should be engaged to inspect and repair any leaks or defective fittings*

**The taps were hard to operate at the time of my inspection** *A plumber needs to repair the tap set, so water flows fluently and the taps are easy to operate*

**The spout is loose / defective, minor issue** *Minor adjustments are required to the basin spout, to have it fixed off to the vanity unit / basin*

**Water supply has hammering / vibration within the concealed plumbing** *Water hammer sound present when turning on / off the water supply taps, a plumber should be consulted*

**No water supply within the vanity / tapware**

## SPECIAL NOTE: RE BASIN / VANITY - TAPWARE

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: BATHROOM - FLOOR WASTE / DRAINAGE

**The drains appear to all be clear of any blockages**

**There are blockages in the waterflow within the pipes** *On visual inspection, the areas appeared to be blocked When testing the fixtures and fittings these items do not drain freely at the time of the inspection*

**No water was running through the floor wastes - Further investigation is recommended**

## SPECIAL NOTE: RE FLOOR WASTE / DRAINAGE

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: BATHROOM - DOES THE SHOWER LEAK ?

**The shower is free of signs of leaks / seepage**

**Water damage along adjacent wall, suspected membrane failure** *Flood test is required, to know if the waterproofing membrane within the bathroom or shower cubicle has failed or if there is a leak*

**Water damage found at the base of the doorjamb and architrave** *Flood test is required, to know if the waterproofing membrane within the bathroom or shower cubicle has failed*

**Efflorescence leaching out of the BATHROOM floor tiles** *The waterproofing within the shower cubicle may be leaking / leaching out, as there is efflorescence present in the bathroom floor tiles This could be due to moisture leaking out of the shower cubicle or the moisture within the shower cubicle is bridging over the shower-screen barrier as there is excessive moisture in the floor / wall tiles Further investigation is required to understand the true extent of this issue, if any, as sometimes it's just the sand leaching out salts present within*

the tile mortar bed and it's common that the efflorescence stops leaching out over time or when small remedial works are applied to the area in question

**Efflorescence leaching out of the SHOWER CUBICLE floor tiles** Efflorescence was present in bathroom shower cubicle floor tiles There are many reasons why efflorescence appears within bathroom floor tiles, a common reason is a tiler sometimes gets contaminated sand delivered to site, and then the sand used in the mortar bed is a mixture of "Sydney Sand" & "Bush Sand", as the salt level within the bush sand is high, which therefore assists in generating / contributing to these issues This issue has many solutions within the market place, one is to remove the grout and to re-grout the subject area with a product called FLOCK, which is placed / mixed within the new grout / mortar, to be applied to the subject area It's best to first understand if the subject area has excessive moisture issues or if it's simply the incorrect sand used and once determined it can be easily prepared by a tiler or builder

**All looks to be in order at the time of my inspection** It's always best to have a fresh bead of silicone applied to all internal corners within the shower cubicle and on the outer perimeter of the shower screen / shower cubicle (I personally do this to all of my shower cubicles every three to five years depending upon the amount of use of each shower cubicle)

**No leaks seen, but a fresh bead of sealant to all internal junctions would be a good option**

#### SPECIAL NOTE: RE LEAKAGE OF THE SHOWER

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: BATHROOM - ARE THE 'SHOWER TAPS' IN WORKING ORDER ?

**The shower taps are free of leaks and the water supply operates correctly**

**The shower tap(s) are dripping and leaking, possible faulty o-ring or spindle** Tap(s) can be seen to be leaking through the spindle, the o-ring requires replacement which can be undertaken by a plumber

**Within the shower, the tap(s) are dripping and leaking, possible faulty washer** Tap(s) can be seen to be dripping due to a faulty washer, this item can be replaced by a plumber

**There were leaks / cracks seen within the shower pipes** Leaks within the pipework have been observed, assessment of the area is recommended by a plumber and the appropriate remedial works be carried out

**Tapware defective** A plumber should be engaged to inspect and repair any leaks or defective fittings

**The water supply lines within shower appear to have water hammer / vibration within the concealed plumbing** Water hammer sound present when turning on / off the water supply taps, a plumber should be consulted

**The showerhead is defective, it's in need of repair / replacement, as the existing unit is not operating correctly / water leaks / deteriorated showerhead fitting** Showerheads can be fixed / repaired easily by a handyman or homeowner, or better still, a new shower head can be supplied and installed quite quickly and it's often a better solution

**No water supply servicing the shower tapware**

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: LAUNDRY - WERE THE 'LAUNDRY TAPS' IN WORKING ORDER ?

**The taps are free of defects**

**Tap(s) dripping / leaking, faulty o ring, spindle** Tap(s) can be seen to be leaking through spindle, the o-ring requires replacement which can be undertaken by a plumber

**Tap(s) dripping / leaking, faulty washer** Tap(s) can be seen to be dripping due to faulty washer, this item can be replaced by a plumber

**Leaks or cracks noted in pipes** A plumber should be engaged to make good this issue ASAP

**There is water hammer within the hot / cold waterlines when tested** Water hammer is difficult to repair, there are a number of solutions to this issue, a plumber should be engaged to make good this problem

**There are no water taps to inspect / test and report on**

**There is no laundry tub nor taps to inspect / test and report on**

**The water supply taps of the washing machine were concealed and unable to be tested and reported on**

**The water supply / taps / fittings are old and in original condition, due for replacement soon due to their age**

**Exposed / non-concealed water supply lines and tapware due for upgrade / replaced soon**

**No water supply in the laundry tapware**

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: LAUNDRY - WAS THE 'LAUNDRY TUB / CABINET' IN GOOD CONDITION ?

**The tub and cabinets are free of defects**

**Water damage to cabinet / timber joinery**

**Rust / corrosion damage at base of cabinet**

**No laundry tub / tun dish installed** *Laundry tub or means for the disposal of wastewater is a requirement under section 3.8.3.2 required facilities of the NCC*

**Missing silicone / sealant to the tub and wall junctions**

**The laundry tub is made out of concrete** *The concrete is due to be replaced with a new / current fitting  
(The existing laundry tub is an old / original tub found back in the day)*

**The laundry tub is not fixed off to the supporting wall**

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: LAUNDRY - WAS THE LAUNDRY TUB - 'WASTELINE' - IN GOOD ORDER ?

**The laundry wasteline / pipes were clear / unblocked at the time of my inspection** *When testing the fixtures and fittings, the areas drained freely at the time of the inspection*

**There were signs of leaking pipes found within the laundry cupboard** *The water pipes and water supply / plumbing below the laundry tub was blocked or it shows signs of leakages A plumber should be commissioned to test and make good the issue ASAP*

**Rust seen within the base of the laundry tub, normally this is a result of past water leaks (No leaks were seen at the time of my inspection)**

**Unable to inspect and comment due to excess goods stored within the laundry / cupboard**

**There is no laundry tub, therefore no sewer / wasteline to check**

**No running water in the laundry tub / tapware / wasteline**

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: HOT WATER SYSTEM

**The hot water system appears to be in good / reasonable condition subject to the age of the unit at the time of my inspection** Hot water unit systems can, from time to time, simply fail, which will require a new unit or repairs carried out to it by an electrician or plumber. Hot water units typically have a life expectancy of eight to fifteen years subject to the location of their installation. There were no obvious defects seen within this hot water system that might lead us to raise concerns of the unit, but it should be regularly checked / tested / flushed to eliminate or mitigate the unit from failing, which could cause flooding within the local area of this hot water system if not checked frequently.

**The hot water system is old and possibly in need of repair, an assessment by a qualified hot water specialist is recommended** The hot water system is showing signs of aging / defects and I recommend, should you purchase this property, that you engage a specialised hot water company to inspect, assess and make good the current hot water system to alleviate any issue arising when you least expect it.

**I saw an old and possibly redundant hot water system located within the roof void** Should it be tested and be found to be not in working order, I recommend that it be removed from the roof void.

**The hot water system is rusted and in need of repair or replacement immediately** The hot water system is showing signs of aging / defects and I recommend, should you purchase this property, that you engage a specialised hot water company to inspect, assess and make good the current hot water system to alleviate any issue arising when you least expect it.

#### **SPECIAL NOTE: RE HOT WATER SYSTEM**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: ROOF VOID

**I briefly inspected the roof void and I saw no defects within the water supply lines within the roof void**

**Within the roof void I saw loose and not fixed off water supply lines which could generate water hammer and a possible leak in the future should they remain in their current state** Additional fixings to the water supply lines within the roof void is recommended as this will minimize the water hammering and it will reduce the risk of a leak within the water supply lines, which are the cause of floods or major damage events occurring, especially when you least expect it whilst you are on holidays or away from your home When there are loose and wobbling water supply lines within the roof they are often knocked and damaged by service contractors when moving through the roof void, which could cause your service contractor to fall causing damage to the ceiling and to the service contractor themself

**I saw no plumbing within the roof void** By the way, buildings are sometimes built with roof plumbing tucked away within cavities or attached to ceiling joists and concealed by insulation Further investigation is required to understand if there are plumbing lines located within the roof void

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: SUBFLOOR

**There were no major defects seen within the subfloor area within the water distribution lines, sewer lines and overall plumbing trade**

**There were suspended PVC lines within the subfloor area, that were bowed / damaged / not supported well by the supporting structure around the pipes**

**There were sewer lines not sparged into the floor**

**There were stormwater lines not sparged into the floor**

**I saw stormwater drainage lines leaking within the subfloor area**

**I saw PVC pipes from the habitable rooms above draining directly onto the floor and not into a wasteline**

**I saw penetrations through the floor not plumbed via a PVC or terracotta line**

**I saw PVC lines connected to terracotta sewer lines within the subfloor area that were poorly sealed / connected - minor repairs are required to rectify this defect**

**I saw leaks within the sewer lines within the subfloor area, representing excessive moisture seeping out of the sewer lines**

**The water supply lines within the subfloor area need to be fixed off to the supporting substrate walls / floors to alleviate water hammer and possible future water leaks if left as is**

**I saw leaking water supply lines within the subfloor area**

**I found excess moisture within the subfloor soil / foundation material - further investigation required to confirm the source of the water supply**

**I found excess moisture within the subfloor masonry walls / foundation material - further investigation required to confirm the source of the water supply**

**I found the areas below the bathroom / shower cubicle to be damp and moist, meaning that there could be a leak within the plumbing or water proofing of the bathroom / shower cubicle above**

**I saw excess moisture within the timber flooring within the subfloor area, a flood test required to confirm where the moisture was coming in from**

**There is excessive concrete cancer / exposed steel / rusted reinforcement seen within the subfloor area** *The source of the moisture should be found and rectified, and repairs to the exposed steel and damaged suspended concrete slab*

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

#### SUB\_Q: EXTERNAL PLUMBING ASSESSMENT

**External garden taps appeared to be in working order with no defects found at the time of my inspection**

**External garden taps were damaged, defective and in need of repair**

**External sewer gully pit has no defects seen within this item**

**External sewer gully pit is damaged / defective and stormwater can enter the sewer line at will** *If the gully is flush or lower than the finished external floor level, it allows the stormwater to enter the sewer line, this is non-compliant with building regulations (sewer lines and stormwater lines should never mix)*

**External Sewer gully could not be found at the time of my inspection**

**External floor wastes and grates / grills were in fair and reasonable condition with no obvious blockages seen**

**External floor wastes and grates / grills were damaged / blocked and in need of repair**

**External floor wastes and grates / grills were blocked and full with leaves / debris**

**There were damaged and exposed sewer lines within the external elevation of the property**

**There were damaged and exposed stormwater lines within the external elevation of the property**

**There is excess moisture within the external pavement / floor finishes, a drainage system should be installed to intercept and control all surface and subterranean moisture**

**Sewer air vent pipe / cap is defective** *It's a quick and easy fix for a professional roofing contractor / roof plumber*

**Damaged / Dented downpipes** *There are downpipes that need to be repaired within this property*  
*Damaged and dented downpipes may lead to excess pooling of water under the subfloor area of the house or deck, pooling water or damp subfloors can draw termites to a property Downpipes are not costly items to be repaired or replaced, most handy homeowners can replace a downpipe within thirty minutes with supplies from bunnings or a plumbing supplier*

**Downpipes not connected** *Not all downpipes are connected to a stormwater system See a plumber to have connected This has the potential to cause differential settlement to the footings, cause rising damp and is also conducive to an increased risk of termite infestation This could lead to being a major defect because of the potential problems relating to excess water within the subfloor*

**Downpipe(s) were seen to have rust within** *There was visible evidence of downpipe rust requiring immediate repairs Evidence of leaking joins / connections or blocked downpipes may present during periods of rainfall and this can only be assessed during rainfall periods Any leaks detected will require repair / re-sealing by a plumber*

**Downpipe(s) were seen to have leaks within the joins** *Downpipe joins leaking, have a roofing plumber repair / seal this issue while it's a minor defect*

**There were downpipes not connected to the stormwater system** *Saw cut rock or concrete or garden beds to connect the downpipes to the active stormwater line on site*

**I saw missing downpipe(s) within this property** *All gutters must be connected to a downpipe, which is connected to the in-ground stormwater line*

**I saw excessive moisture on the floor / walls / surrounding areas below the roof plumbing (gutters and downpipes)** *Further works / investigation is required to address the excessive moisture seen on-site within this property (walls and floors)*

**There were missing gutters within the roof elevation** *Gutters and downpipes should be installed to collect and control stormwater overflow from entering the subfloor areas of the house and surrounding structures*

**I did not access the roof & roof plumbing above 3.6m in height** I did not access the roof & roof plumbing as the gutter line was in excess of 2.7m from the ground level below. As per Work Health Occupational Safety Regulations, any roof with a gutter line over 2.7m from the ground level below level is inaccessible for a single inspector as it does not allow the safe use of a ladder as detailed in AS4349.1-2007 section 3.2.2 - Safe and reasonable access, this was the case with this property If I comment on the roof / roof plumbing and it's over 2.7m in height, our assessment is a general comment only, on the basis of the inspection being carried out from afar (ground floor level or from the overlooking windows or verandas) but it's not a comprehensive and complete assessment that you can rely upon when making a decision when buying a property If you want a complete and comprehensive assessment of the roof, we must return and carry out the assessment with a second inspector and then you can rely upon the facts and findings within our report The roof sheeting and roof plumbing on this property is excluded from this assessment and this report NOTE: If comments are made on the roof plumbing, it's because we reported on the areas below 2.7m in height in this report, but anything above that height is excluded from our assessment and this report

**Gutters are rusted in sections that are visible around the dwelling** Excess water leaking from the guttering is conducive to timber fungal decay and an increased risk of termite infestation. This can cause deterioration of the cladding plus wall and roof framing This also can be the cause for the foundations of the dwelling to swell, and cracking within the walls and footings Liaise with a roof plumber for the best solution

**Gutters are damaged / dented / defective, gutters are not in a straight plane, the gutters are in need of repair / replacement** There is damaged / defective gutters on site. The gutter should be repaired to limit the possibility of having excess water flood the eaves lining, walls and floors below the gutter Constant leaking gutters can contribute towards pavers or tiles subsiding over time and a trip hazard is created, together with excessive water pooling under the subfloor areas of a property

**Gutters were blocked** I found blocked guttering and gutters with excess debris within them The gutters need to be cleaned out to prevent blocking of downpipes and leaking into eaves and fascia

#### **Gutters were full of leaves & debris**

**Gutter joins leaking** Gutter joins leaking Excess water leaking is conducive to timber fungal decay and an increased risk of termite infestation if left as is This can cause deterioration of cladding plus wall and roof framing This also can be the cause for the foundations of the dwelling to swell, and cracking within the walls and footings

**Gutter joins separated** Gutter joins separated Repairs required in order to prevent deterioration by leaking Liaise with a plumber to have rectified

**Gutters are ponding** Gutters are ponding Possibly due to debris or poor fall of actual gutter installation You must have gutters cleaned and assessed by a plumber for adequate fall Also regularly clean to prevent ponding, as ponding water will contribute to rust

**There were gutters that are too high to assess and make comment on** Further investigation is required if all gutters conditions are to be reported on

**The gutter external corners appear to be aged / weathered / damaged and in need of repair**

**There were rusted gutter brackets / astragals**

**There were rusted downpipe brackets / astragals**

**There is vegetation / leaves / weeds growth seen within the gutters, the downpipes are probably affected / obstructed as well**

**I inspected the gutters below 2.7m from the external finish floor level and they appear to be in fair condition subject to the age of the house**

**Yes all gutters appear to be in good order** *The gutters & downpipes appeared functional with no major deterioration or major blocking with debris or the like*

**There were stormwater lines in ground not capped off and debris is able to enter the stormwater line at will** *If the stormwater lines are not capped off / sealed it's only a matter of time when an object will fall into these holes and the stormwater line will block up*

**Defect Rating: MINOR DEFECTS**

**Defect Rating: MAJOR DEFECTS**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**Incomplete Works - Area Under Construction and Excluded from this report** *Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection required once works have been completed*

## **GENERAL COMMENTS**

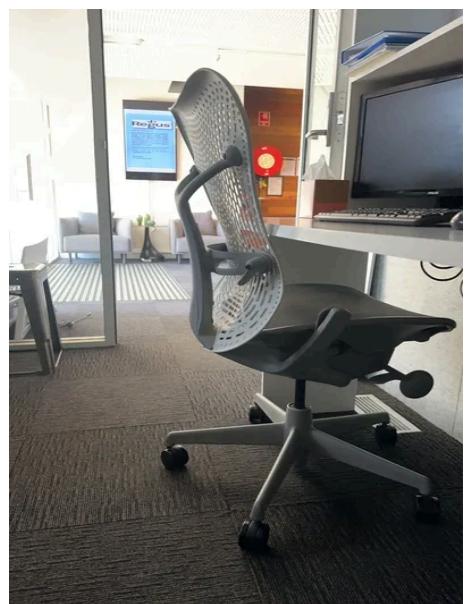
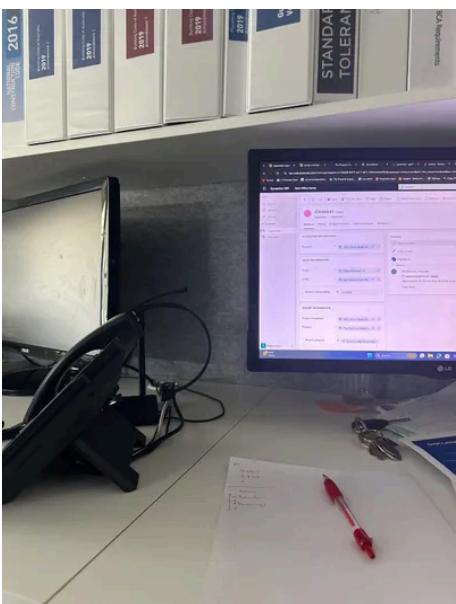
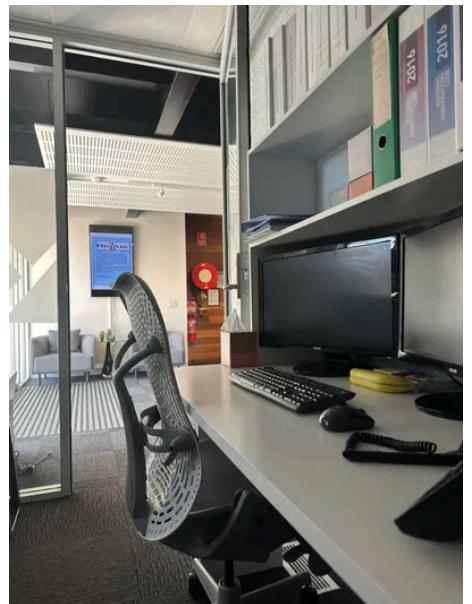
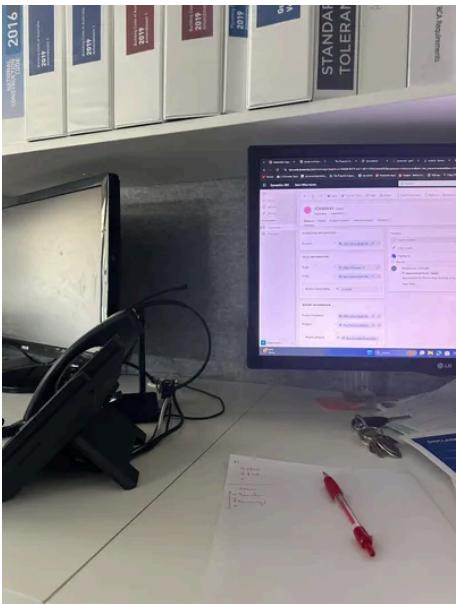
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**Overall Defect Rating: MINOR DEFECTS**

**Overall Defect Rating: MAJOR DEFECTS**

**Overall Defect Rating: SAFETY HAZARD**

**Overall Defect Rating: FURTHER INVESTIGATION**



## 38. ELECTRICAL ASSESSMENT - OVER AND ABOVE A PRE-PURCHASE BUILDING & PEST VISUAL REPORT

### SUB\_Q: INTERNAL ELECTRICAL ASSESSMENT

**The exhaust fan was in working order**

**There were no defects seen within the powerpoints fixtures and fittings**

**All light switches are cosmetically defect free and in working order**

**All light fittings are undamaged and in working order**

**All ceiling fans were in working order at the time of my inspection**

**There was a smoke alarm installed within the property**

**An RCD safety switch was installed**

**Within the roof void, there were no major electrical issues**

**Within the subfloor of this property, there were no major defects seen within the electrical cables**

**All external lights appear to be in working order**

### SPECIAL NOTE: RE INTERNAL ELECTRICAL ASSESSMENT

- *ads asdfa sdfasd asdf asdfa sd*

### SUB\_Q: EXHAUST FAN

**The exhaust fan was in working order**

**No exhaust fan installed** *Condensation damage evident, no exhaust fan installed*

**Inadequate exhaust fan**

**Minor rattle within the exhaust fan** *Repair or replacement of the exhaust fan is required*

**Exhaust fan is faulty**

### SPECIAL NOTE: RE THE EXHAUST FAN

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: POWERPOINTS

**There were no defects seen within the powerpoints fixtures and fittings**

**All powerpoints are installed compliant with current new construction regulations regarding their location and water source**

**All powerpoints appear to be cosmetically undamaged**

**Powerpoint wall plate(s) loose / damaged**

**Switch mechanism(s) incorrectly seated against the wall**

**Faulty / damaged powerpoints**

**Missing powerpoints**

**There was no power within the powerpoints at the time of my inspection**

**SPECIAL NOTE: RE THE POWERPOINTS**

- *asd asdfasdf af asf asdfa sf asf*

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: LIGHT SWITCHES

**All light switches are cosmetically defect free and in working order**

**The light switches appear to be in order at the time of my inspection subject to the age of the original build**

**The light switch wall plates are damaged / loose / not fixed off to the wall well and safely**

**The light switching fixtures are poorly installed / adjustments required**

**Faulty dimmers**

**Missing dimmers**

**Missing light switch(s)**

**Faulty light switch(s)**

**Exposed electrical wires**

**Data / Intercom / Phone / TV fittings missing / defective**

**The light did not turn on when the switch was tested** *Further investigation required*

**SPECIAL NOTE: RE THE LIGHT SWITCHES**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**SUB\_Q: LIGHT FITTINGS**

**All light fittings are undamaged and in working order**

**All light fittings appear to be cosmetically undamaged**

**Fittings partially detached from ceiling / wall**

**Cabling visible**

**Missing fittings**

**Damaged fittings / Missing bulbs**

**Light fittings did not turn on when the light switch was tested**

**SPECIAL NOTE: RE THE LIGHT FITTINGS**

- *asd fa sdfa sdfa fa*

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**SUB\_Q: WALL / CEILING FANS**

**All ceiling fans were in working order at the time of my inspection**

**BATHROOM - The fan was in working order at the time of my inspection**

**BATHROOM - The fan was not working the time of my inspection**

**LAUNDRY - The extraction system was working at the time of my inspection**

**LAUNDRY - The extraction system was not in working order at the time of my inspection**

**SUBFLOOR - The extraction system was adequate / in working order at the time of my inspection**

**SUBFLOOR - The extraction system found within the subfloor area did not appear to be in working order at the time of my inspection**

**BATHROOM - No exhaust fan found within the bathroom**

**LAUNDRY - No exhaust fan found within the laundry**

**SUBFLOOR - No exhaust fan found within the subfloor**

**Exhaust fan faulty / Not working** *Condensation damage evident, exhaust fan faulty*

**Ceiling fans were partially detached / lowered from the ceiling level**

**Clothes dryer, I cannot confirm this, but it looks like the dryer might be vented externally from the back of the dryer via a concealed duct** *Further investigation is required to confirm if this is the case or not*

**I was advised whilst I was on site that the DRYER is vented externally** *You must do your own investigation to confirm this advice that I received whilst I was on site*

**The bathroom has a fresh air extraction system installed within the room, there is no dedicated exhaust fan being able to turn on and off during a shower or whilst using the toilet** *A dedicated extraction fan works much better than the slow and constant fresh air extraction system that is installed. Unfortunately, a fresh air ventilation system connected to the entire building is all that is required by the builder / developer for new construction, so it complies. I suggest you look into having an extraction fan installed to all wet rooms*

**Ceiling fan was wobbling when in operation**

**Ceiling fan was not working at the time of my inspection**

**No exhaust fan was seen within kitchen**

**BATHROOM - I heard the exhaust fan rattle when in operation**

**LAUNDRY - I heard the exhaust fan rattle when in operation**

**KITCHEN - I heard the exhaust fan rattle when in operation**

## **SUBFLOOR - I heard the exhaust fan rattle when in operation**

**Within the roof void the bathroom extraction fan system is not ducted externally through the roof void and out to the external atmosphere**

### **SPECIAL NOTE: RE THE WALL AND CEILING FANS**

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**SUB\_Q: SMOKE ALARMS**

**There was a smoke alarm installed within the property** There was a smoke alarm installed within the property, it is best to have a smoke alarm specialist inspect and install the appropriate amount of smoke alarms and in the appropriate locations once you move in, as I am not confirming the quantity nor locations of the existing alarms being adequate compared to current regulations

**Smoke alarms exist within the property at the time of my inspection** Smoke alarms have been installed within this property Smoke alarms should be checked and tested by a licensed electrician prior to occupancy of this dwelling and tested every twelve months

**A smoke alarm exists but it doesn't appear to be working** Smoke alarms do not appear to operate. A licensed electrician or installer needs to be commissioned to have one installed and checked every twelve months This is a very important issue that needs to be addressed ASAP THIS IS A MAJOR DEFECT

**A smoke alarms exists, but in the wrong location** The smoke detector needs to be located in the correct location meeting current regulations (In front of bedrooms and intercepting smoke or fire from the kitchen to the bedrooms) A licensed electrician or installer needs to be commissioned to have the correct number of smoke alarms installed and checked every twelve months This is a very important issue that needs to be addressed ASAP THIS IS A MAJOR DEFECT

**No smoke alarm was found due to Incomplete Works, Area Under Construction** Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection required once works have been completed This is a very important issue that needs to be addressed ASAP THIS IS A MAJOR DEFECT

**No smoke detector is installed meeting current regulations** No compliant smoke alarm is installed within the property A licensed electrician or installer needs to be commissioned to have the correct number of smoke alarms installed and checked every twelve months This is a very important issue that needs to be addressed ASAP THIS IS A MAJOR DEFECT

**This property does not meet the minimum requirements for smoke alarms** A licensed electrician or installer needs to be commissioned to have the correct number of smoke alarms installed and checked every twelve months This is a very important issue that needs to be addressed ASAP THIS IS A MAJOR DEFECT

### SPECIAL NOTE: RE THE SMOKE ALARMS

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: ELECTRICAL METER BOX

**An RCD safety switch was installed** An RCD safety switch was installed We recommended that an electrician carry out a safety inspection as I am not able to ascertain if any electrical defects exist or if any non-compliant electrical works have been carried out at this dwelling prior to purchasing this dwelling.

**I saw a combination of wired fuses and an RCD circuit breaker in the Electrical Meter Box** It is best to have an electrician have a circuit breaker installed covering all aspects of lights, powerpoints, kitchen appliances, hot water systems, air conditioning units and if the home has a pool or any other external equipment allowing them to be protected by their own RCD / Circuit Breaker

**No RCD Found within the Meter Box, "Porcelain fuse holders were found within the meter box" Safety issue** Porcelain fuse holders are installed. See an electrician to have circuit breakers installed prior to occupying this dwelling A safety switch did not appear to be installed, see an electrician to have one installed prior to occupying this dwelling

**No RCD Found within the Electrical Meter Box plus there were no porcelain fuse holders, it was odd not to see an RCD switch in this meter box, as the meter box doesn't look that old, Safety Issue** A safety switch did not appear to be installed See an electrician to have one installed prior to occupying this dwelling

**Porcelain fuses were seen plus a circuit breaker (RCD) was seen within the meter box, but I cannot see which circuit is protected by the RCD switch** No safety switch was seen attached to each circuit within the electrical meter box I recommend you engage an electrician to have an RCD installed covering all aspects of the electrical circuitry of this property prior to occupying this dwelling.

**The electrical meter box was locked / unable to be opened, I cannot comment on this question**

*Further investigation is required once access is granted*

### SPECIAL NOTE: RE: THE METER BOX CONDITIONS .

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**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: ROOF VOID

**Within the roof void, there were no major electrical issues** All roof voids have an element of risk due to cables not being fixed to the timber members An electrician should inspect, test and report on the electrical cables and electrical trade within the roof void, signing off that the roof is in good order and in safe condition for the occupants or future tradesmen to work within

**There are open ended electrical wires / junctions exposed within the roof voids** Best to have all wires connections concreted with PVC junction boxes

**There was insulation covering the light fittings** This could contribute towards a fire commencing within the roof void should the light fittings become hot This is a safety hazard and should be rectified immediately

**Within the roof void there was a floor structure covering lights and electrical cables** The obstructions / floor within the roof void made the lights and electrical cables unable to be inspected, assessed and reported on

**Bathroom exhaust fans are not ducted externally** It's best to have all bathrooms / kitchen / laundry ducts permanent and vented externally and not within the roof or wall voids

**Within the roof void, there were excess electrical cables hanging from the timber members, which could cause a person to trip whilst traversing through the roof void**

**Within the roof void, there were excess cables crossing the manhole** The excess cables within the roof void made the roof void unable to be safely entered into and inspected and reported on A second inspection is recommended once clear safe access is made available to the roof void

**There were gaps within the roof void / roof linings** This could allow moisture to enter the roof void and break a circuit within the lights or power circuits

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**Within the subfloor of this property, there were no major defects seen within the electrical cables**

*This includes data cables plus power and light cables Minor areas of improvement are required, like most subfloor areas the level of electrical works are sometimes sloppy and an electrician should be engaged to tidy up and fix off any loose and hanging wires and exposed cables not concealed within conduits and to have all connections concealed within junction boxes*

**The subfloor electrical cables were hanging from the timber members** These cables could short out on any moisture that finds its way to be within the subfloor Its always safer for future contractors and existing or future owners of the property not to have any loose or hanging electrical cables within the subfloor areas, especially when crawling through restricted areas of the subfloor, some cables are not often seen and people often brush up against the cables so its always best to have the cables concealed within conduits and cable connections concealed within junction boxes An electrician should be engaged to repair and make good any non-compliant electrical cabling within the subfloor area

**There were excess data cables hanging from the subfloor timber members, draping on the floor**

**Open and exposed electrical cables within the subfloor area, making this a potential safety hazard should these cables be powered** An electrician MUST rectify this defect immediately or have these redundant cables removed or terminated for safe passage through the subfloor area

**Within the subfloor area, there was electrical ducting / mechanical fan system installed - Not in working order at the time of my inspection** I am not confirming that there is no power to the exhaust fan, I am solely confirming that there is an exhaust fan system to the subfloor area, and should it work it would assist, to some degree, for crossflow ventilation within the subfloor THERE CAN NEVER BE ENOUGH VENTILATION AND FRESH AIR INTAKE NOR EXTRACTION FROM THE SUBFLOOR, AS MORE DRAFT WITHIN THE SUBFLOOR KEEPS THE SOIL AND FOUNDATION MATERIAL DRYER AND SUPPORTING MASONRY OR TIMBER MEMBERS DRYER

**Within the subfloor area, there was electrical ducting / mechanical fan system installed in working order** I am not confirming that the mechanical fan is in perfect order, but I am confirming that it was working at the time of my inspection I am solely confirming that there is an exhaust fan system to the subfloor area, and should it continue to work as I saw within my inspection, it would assist, to some degree, for crossflow ventilation within the subfloor THERE CAN NEVER BE ENOUGH VENTILATION AND FRESH AIR INTAKE NOR EXTRACTION FROM THE SUBFLOOR, AS MORE DRAFT WITHIN THE SUBFLOOR KEEPS THE SOIL AND FOUNDATION MATERIAL DRYER AND SUPPORTING MASONRY OR TIMBER MEMBERS DRYER

**Within the subfloor area, there were powerpoints installed, but not in working order at the time of my inspection**

**Within the subfloor area, there were powerpoints installed in working order at the time of my inspection**

**Within the subfloor area, there were lights installed, but not in working order at the time of my inspection**

**Within the subfloor area, there were lights installed in working order at the time of my inspection**

**Within the subfloor area, there were mechanical pumps / pits not in working order at the time of my inspection** *I am not confirming the pump are not in working, I am solely confirming that they were not in operation pumping out water at the time of my inspection Most pumps operate on a float switch I strongly recommend that the powerpoints in the subfloor area servicing these pumps are on their own circuit and that they are never turned off regardless of the home being occupied or not*

**Within the subfloor area, there were mechanical pumps / pits in working order at the time of my inspection** *I am not confirming the pump work perfectly, I am solely confirming that they were pumping out water at the time of my inspection Most pumps operate on a float switch I strongly recommend that the powerpoints in the subfloor area servicing these pumps are on their own circuit and that they are never turned off regardless of the home being occupied or not*

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

#### SUB\_Q: EXTERNAL ELECTRICAL ASSESSMENT

**All external lights appear to be in working order**

**All external powerpoints appear to be in working order**

**All external light switches, fixtures and fittings were in good order at the time of my inspection**

**There were no open or exposed electrical cables seen exposed to the elements at the time of my inspection**

**There were movement sensors installed within this property that were not damaged and as it was daylight at the time of my inspection I could not test to see if they were in working order**

**There faults seen within the external lights - Repair required**

**There were damages seen within the external light fittings, replacement of the damaged fittings are required**

**There were damaged / defective external powerpoints** *They must be replaced or repaired - This is an urgent matter*

**There were open and exposed cables, which could short out should water reach them - This is a major defect and a safety hazard** *This should be rectified immediately*

I saw movement sensors damaged which could result in the movement sensors being faulty, but this can only be tested and confirmed in the evening, and as my inspection was done during the day this aspect of the property was not physically tested not reported on Further investigation required during the evening

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**Incomplete Works - Area Under Construction and Excluded from this report** Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection required once works have been completed

**Overall Defect Rating: MINOR DEFECT**

**Overall Defect Rating: MAJOR DEFECT**

**Overall Defect Rating: SAFETY HAZARD**

**Overall Defect Rating: FURTHER INVESTIGATION**

### 39. Swimming Pool Assessment (This is not a compliance certificate, this is an assessment of the asset)

**The pool gate self closes and locks tight**

**The fences completely surround the pool**

**The pool internal linings are in good condition with no obvious defects sighted**

**The pool coping tiles / pavers appear to be in good condition and there is an expansion joint between the pool coping tiles and pool concourse floor finish**

**Yes, there was a hydraulic / mechanical pool cleaner within the pool**

**Yes, the pool equipment appears to be in working order**

**Yes, the pool core shell appears to be structurally sound and not in need of repair**

SUB\_Q: DOES THE POOL GATE SELF LOCK AND SELF CLOSE ?

**The pool gate self closes and locks tight** As pool gates and fences are moving objects and subject to high impact, it is very important that the current gate, supporting posts and adjacent fences be maintained in good order to alleviate any non-compliance matters creeping into the pool gate and pool fence, as a non-compliant pool could cause a person or animal to drown in the pool with the current owner of the property being liable for the outcome

**No, the pool gate does not self close - major safety hazard** The pool gate must be rectified immediately, it is a major safety hazard to have the pool gate not self close / self lock

**No, the pool gate does not lock tight - major safety hazard** At the time of my inspection, the pool gate did not self lock into position, this is a major safety hazard, and a high level of liability bears upon the owners shoulders should there be an incident of drowning of a person or animal due to a gate being found to be faulty or lock found to be inactive

**Pool gate is rusted / damaged and in need of repair** Repairs should be carried out to the pool gate to have the pool gate and its adjacent posts and fences in good working order at all times

**SPECIAL NOTE: Pool gate self lock**

- *asdf asdf asdfa sdfasdf asdf asdfas dfa df*

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARDS**

## Defect Rating: FURTHER INVESTIGATION REQUIRED

### SUB\_Q: POOL FENCE

**The fences completely surround the pool** This is not a pool compliance report and we are not confirming the current fence complies with current regulations. I strongly recommend that you review the pool compliance report attached to the sale contract, as it will outline all non-compliance issues, if any, and all non-compliance issues must be rectified by the new owners upon transfer of ownership of the property

**Fences do not completely surround the pool** I strongly recommend you review the pool compliance report that is attached to the sale contract and that you have the pool brought to current building regulations / compliance

**Pool fences do not exist** It's odd to see a pool not having a pool fence surrounding it. I strongly recommend you review the pool compliance report that is attached to the sale contract and that you have the pool brought to current building regulations / compliance

**Fence installed but not complete** I strongly recommend you review the pool compliance report that is attached to the sale contract and that you have the pool brought to current building regulations / compliance

**The pool fence was loose and wobbly and not meeting current regulations - non-compliant pool / safety hazard** I strongly recommend you review the pool compliance report that is attached to the sale contract and that you have the pool brought to current building regulations / compliance

**Pool fence is damaged / defective and in need of repair** I strongly recommend you review the pool compliance report that is attached to the sale contract and that you have the pool brought to current building regulations / compliance

**Pool fence is rusted** I strongly recommend you review the pool compliance report that is attached to the sale contract and that you have the pool brought to current building regulations / compliance

**Pool fence has objects placed alongside the fence, which are climbable, making the pool fence non-compliant with current regulations** I strongly recommend you review the pool compliance report that is attached to the sale contract and that you have the pool brought to current building regulations / compliance

## Defect Rating: MINOR DEFECT

## Defect Rating: MAJOR DEFECT

## Defect Rating: SAFETY HAZARDS

## Defect Rating: FURTHER INVESTIGATION REQUIRED

### SUB\_Q: POOL INTERNAL LINING

**The pool internal linings are in good condition with no obvious defects sighted**

**The pool water was obscured / green and I was unable to inspect the internal wall linings of the pool**

*This aspect of the pool asset is excluded from the inspection*

**There are missing water line tiles**

**There are missing tiles from the pool internal wall and floor linings**

**The pool render/finish coat is defective and in need of repair**

**The pool pebblecrete coating is defective and in need of repair**

**The pool internal linings have imperfections / white stains / possible efflorescence leaching out of the internal coatings of the pool**

**I saw cracks within the internal pool linings**

**The pool internal lining is defective and in need of repair**

**The pool fit out is old and in need of a closer assessment to see if in fact there are any leaks or cracks in the pool shell / linings or pool hydraulic system**

**The pool is in poor condition, due for renovations or repairs**

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARDS**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: POOL COPING TILES / PAVERS

**The pool coping tiles / pavers appear to be in good condition and there is an expansion joint between the pool coping tiles and pool concourse floor finish** *All is in order around the pool coping and pool concourse*

**The coping tiles are defective and in need of repair**

**There is no expansion joint in the coping tiles**

**There is no expansion joint in the pool concourse**

**The pool concourse tiles are loose and drummy / in need of repairs**

**The pool coping pavers need to be repaired - loose / chipped pavers worked**

**The pool concourse pavers have subside and minor works are required to make good the pool concourse pavers / floor finish**

**The pool as a whole is in poor condition with substantial work required to the coping and concourse floor finishes**

**The timber cladding around the pool needs some work carried out to this area to have the timber members smooth and flush with each adjoining surfaces**47

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARDS**

**Defect Rating: FURTHER INVESTIGATION**

**SUB\_Q: DOES POOL CLEANING EQUIPMENT EXIST ?**

**Yes, there was a hydraulic / mechanical pool cleaner within the pool** *Pool cleaner was not tested to be in working order, but it was present at the time of my inspection, so I can assume it comes inclusive with the property*

**Yes, There was a hydraulic / mechanical pool cleaner within the pool room at the time of my inspection** *Pool cleaner was not tested to be in working order, but it was present at the time of my inspection, so I can assume it comes inclusive with the property*

**No, I did not sight a hydraulic / mechanical pool cleaner within the pool or within the pool room at the time of my inspection**

**SPECIAL NOTE: Cleaning Equipment**

- *asd asdf asdfa sdfas dfa fasdf asdfa fasd asdf asf*

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

**SUB\_Q: DOES THE POOL EQUIPMENT APPEAR TO BE IN WORKING ORDER ?**

**Yes, the pool equipment appears to be in working order** *No cracks were seen within the pool plant/pumps nor within the filters, the cleaner control unit or PVC fittings and line*

**No, the pool equipment/plant is faulty, work is required to make good the pool equipment**

**No, the pool equipment appears to be leaking, as there is excess moisture beneath the pool pump / filter** *I recommend a pool contractor assess and rectify the pool equipment / pool plant area as soon as the*

new owners move into the property

**No, the pool equipment was not in working order nor does it look like there is any power to the equipment - considerable defect** I suggest you engage a pool contractor to assess and report on all pool plumbing lines, plant and equipment, fixtures and fittings in order to obtain a fixed fee in order to rectify the pool pump, filters and any other auxiliary items required to have a functioning pool within this property

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

SUB\_Q: DOES THE POOL CORE SHELL APPEAR TO BE IN GOOD ORDER ?

**Yes, the pool core shell appears to be structurally sound and not in need of repair**

**No, the pool core shell does not appear to be structurally sound** Rectification work to the core fabric / pool shell is always a costly exercise, this pool should be rectified / renovated as soon as possible

**No, the pool internal linings appear to be defective, which could mean the pool core shell has cracks and imperfections within the substrate** This means that there could be significant defects within the core fabric of the pool shell which could cost a substantial sum of money to have it rectified

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY HAZARD**

**Defect Rating: FURTHER INVESTIGATION**

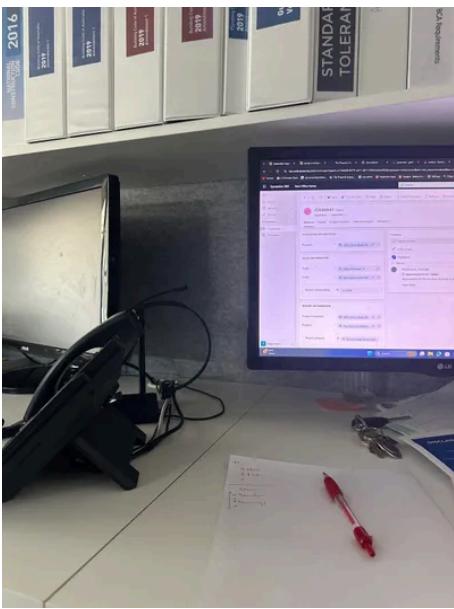
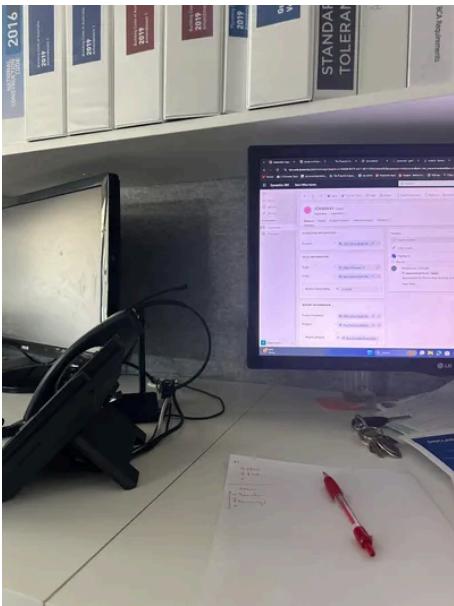
**Incomplete Works - Area Under Construction and Excluded from this report** Works to this area are incomplete and non-compliant with AS4349.1-2007

**Overall Defect Rating: MINOR DEFECT**

**Overall Defect Rating: MAJOR DEFECT**

**Overall Defect Rating: SAFETY HAZARD**

**Overall Defect Rating: FURTHER INVESTIGATION**



## 40. Defects Found Within the Second Dwelling on Site

### GENERAL COMMENTS

- *asdf asdfa sdfa dsa asdf asdf*
- *asdf asdfa fasdfas dfas dfasdf asdf asdfa dsfadsfa sdfa sdfa sdfasf asdf as dfasdf asdfas dfas fasdf asddf asdf asdfa sdfa sdfasd fasdf*

**Overall Defect Rating: MINOR DEFECT**

**Overall Defect Rating: MAJOR DEFECT**

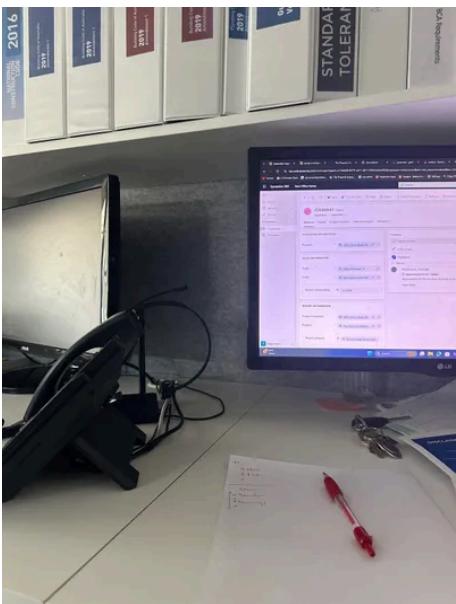
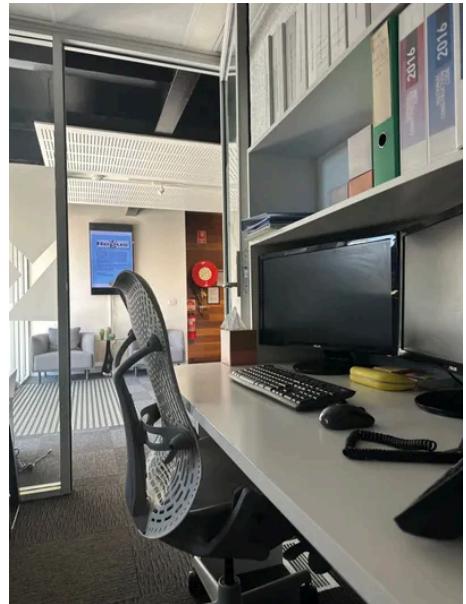
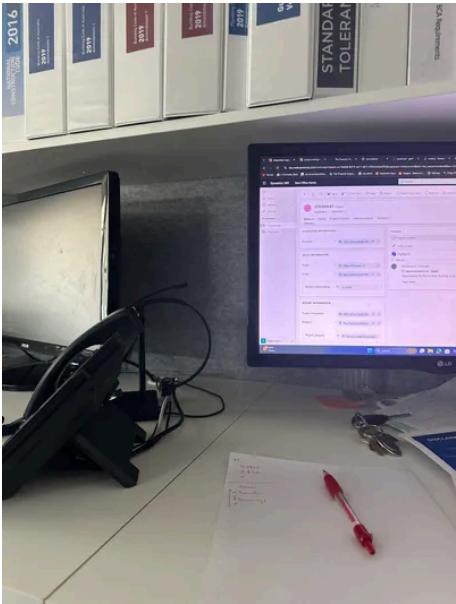
**Overall Defect Rating: SAFETY HAZARD**

**Overall Defect Rating: FURTHER INVESTIGATION**

## 41. SECOND DWELLING - WITHIN MAIN BUILDING

**The following defects were found within the second dwelling**

- *asdf asdfa sdfa fasd asdf*
- *asd asdf asdfasdfas fasdf asdf*
- *3. Safety Hazrads*



## 42. MULTIPLE DWELLINGS WITHIN THE MAIN BUILDING

The following defects were found within the additional dwellings

## 23. 'STUDIO'

### GENERAL COMMENTS:

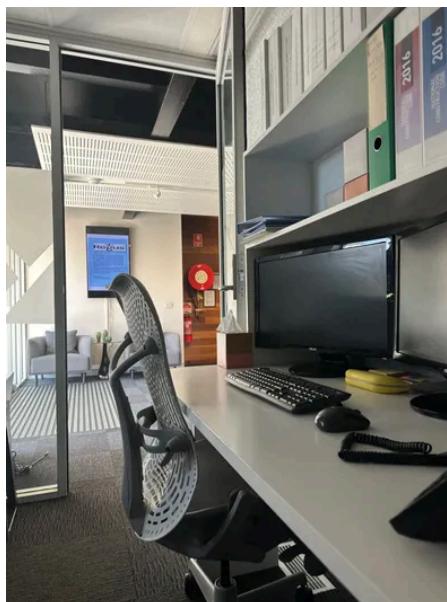
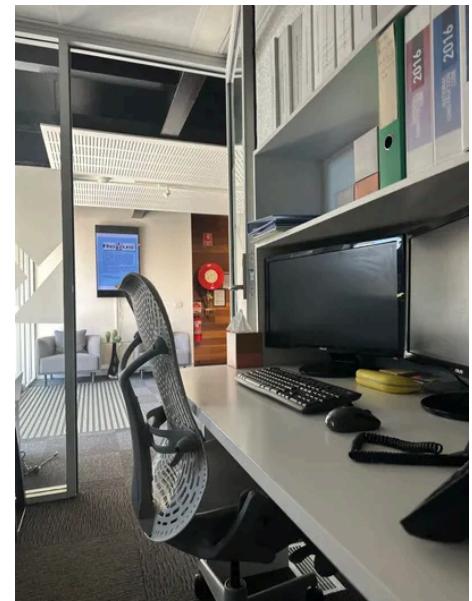
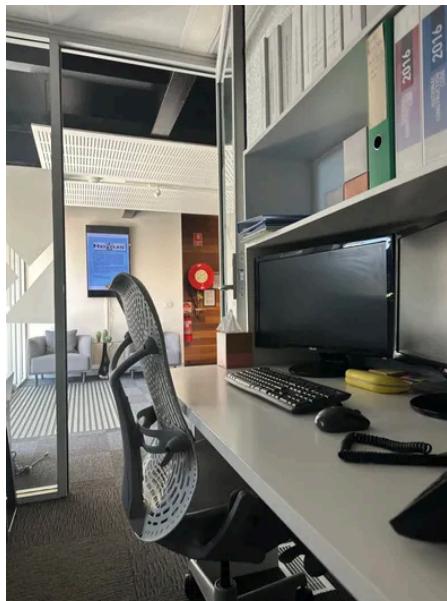
- *asd asdf asdf asdfa sdaf sdfs fas fasdf asdf asfda fa*

Defect Rating: MINOR DEFECTS

Defect Rating: MAJOR DEFECTS

Defect Rating: SAFETY HAZARD

Defect Rating: FURTHER INVESTIGATIONS



## 26. 'BOAT SHED'

### GENERAL COMMENTS:

- *asdf adadf asdfa fasdf asdf asdf asdf*
- *a sdfasd fasdf asdf asdf asdf asdf asfasdfa fasfd asdf sdf asdfadf ads adfa dfa fadsfa d*

Defect Rating: MINOR DEFECT

Defect Rating: MAJOR DEFECT

Defect Rating: SAFETY HAZARD

Defect Rating: FURTHER INVESTIGATION

## 27. 'SLIPWAY' - 'JETTY' - 'WATERWAYS ASSET'

### GENERAL COMMENTS:

- *asd asdfasdf asdf asdfa dfasfd fasdfa sdfas dfasd adsfa asdf asdfa dfasdf afa sda sdfasd*

Defect Rating: MINOR DEFECT

Defect Rating: MAJOR DEFECT

Defect Rating: SAFETY HAZARD

Defect Rating: FURTHER INVESTIGATION

## 25. 'TENNIS COURT'

### GENERAL COMMENTS:

- *asd asdasdfa sdfa sdfas fasdf asdf asdfa sdfadf ada dsf adsf adsf asdfa dfasdf asdf asdf a*

Defect Rating: MINOR DEFECT

Defect Rating: MAJOR DEFECT

Defect Rating: SAFETY HAZARD

Defect Rating: FURTHER INVESTIGATION

## 43. SUMMARY - VISUAL ONLY ASSESSMENT OF POSSIBLE ASBESTOS BASED PRODUCTS

**No, I do not believe this property contains asbestos based products** Friable asbestos products have been commonly used in commercial and industrial settings since the late 1800s for fireproofing, soundproofing and insulation. Some friable products were also used in houses and may still be found in houses built before 1990. In Australia, asbestos cement materials were first manufactured in the 1920s and were commonly used in the manufacture of residential building materials from the mid-1940s until the late 1980s. During the 1980s asbestos cement materials were phased out in favour of asbestos-free products. From 31 December 2003, the total ban on manufacture, use, reuse, import, transport, storage or sale of all forms of asbestos came into force. Many houses built before 1990 therefore contain asbestos cement materials, especially in the eaves, internal and external wall cladding, ceilings (particularly in wet areas such as bathrooms and laundries) and fences. As a General Rule, if a house was built: before the mid-1980s it is highly likely that it has asbestos-containing products between the mid-1980s and 1990 it is likely that it has asbestos containing products after 1990 it is unlikely that it has asbestos-containing products. Some houses built in the 1990s and early 2000s may have still used asbestos cement materials until the total ban on any activity involving asbestos products became effective from December 2003. To be absolutely certain if this property contains or does not contain asbestos, a sample must be taken from this property to a lab for testing, as this inspection is a visual inspection only.

**I do not think this property has asbestos based products** I was engaged to carry out a visual inspection for asbestos, to obtain absolute certainty that this is or is not the case, a sample must be taken and brought to a lab for final and conclusive analysis

**I saw no damaged or cracked asbestos based products at the time of my inspection**

**No, I do not believe this property contains asbestos based products** Friable asbestos products have been commonly used in commercial and industrial settings since the late 1800s for fireproofing, soundproofing and insulation. Some friable products were also used in houses and may still be found in houses built before 1990. In Australia, asbestos cement materials were first manufactured in the 1920s and were commonly used in the manufacture of residential building materials from the mid-1940s until the late 1980s. During the 1980s asbestos cement materials were phased out in favour of asbestos-free products. From 31 December 2003, the total ban on manufacture, use, reuse, import, transport, storage or sale of all forms of asbestos came into force. Many houses built before 1990 therefore contain asbestos cement materials, especially in the eaves, internal and external wall cladding, ceilings (particularly in wet areas such as bathrooms and laundries) and fences. As a General Rule, if a house was built: before the mid-1980s it is highly likely that it has asbestos-containing products between the mid-1980s and 1990 it is likely that it has asbestos containing products after 1990 it is unlikely that it has asbestos-containing products. Some houses built in the 1990s and early 2000s may have still used asbestos cement materials until the total ban on any activity involving asbestos products became effective from December 2003. To be absolutely certain if this property contains or does not contain asbestos, a sample must be taken from this property to a lab for testing, as this inspection is a visual inspection only.

**No, I saw no loose or broken asbestos fragments within this property**

SUB\_Q: IS IT POSSIBLE THAT THIS PROPERTY HAS ASBESTOS BASED PRODUCTS ?

**No, I do not believe this property contains asbestos based products**

**Yes, I believe this property has asbestos based products** Friable asbestos products have been commonly used in commercial and industrial settings since the late 1800s for fireproofing, soundproofing and insulation. Some friable products were also used in houses and may still be found in houses built before 1990. In Australia, asbestos cement materials were first manufactured in the 1920s and were commonly used in the manufacture of residential building materials from the mid-1940s until the late 1980s. During the 1980s asbestos cement materials were phased out in favour of asbestos-free products. From 31 December 2003, the total ban on manufacture, use, reuse, import, transport, storage or sale of all forms of asbestos came into force. Many houses built before 1990 therefore contain asbestos cement materials, especially in the eaves, internal and external wall cladding, ceilings (particularly in wet areas such as bathrooms and laundries) and fences. As a General Rule, if a house was built: before the mid-1980s it is highly likely that it has asbestos-containing products between the mid-1980s and 1990 it is likely that it has asbestos containing products after 1990 it is unlikely that it has asbestos-containing products. Some houses built in the 1990s and early 2000s may have still used asbestos cement materials until the total ban on any activity involving asbestos products became effective from December 2003. To be absolutely certain if this property contains or does not contain asbestos, a sample must be taken from this property to a lab for testing, as this inspection is a visual inspection only.

SUB\_Q: LOCATION OF ASBESTOS BASED PRODUCTS

**I do not think this property has asbestos based products** I was engaged to carry out a visual inspection for asbestos, to obtain absolute certainty that this is or is not the case, a sample must be taken and brought to a lab for final and conclusive analysis

**Roof sheeting**

**Roof capping's**

**Roof flashing's**

**Gutters**

**Downpipes**

**Fascia boards**

**Bargeboards**

**Eave lining boards**

**Veranda soffit lining boards**

**External wall cladding**

**External wall cladding / external corners / capping's**

**Internal ceiling linings**

**Internal cornices**

**Internal wall linings**

**Electrical meter box**

**Garage wall cladding**

**Garage roof plumbing**

**Garage roof sheeting**

**Garage gutters**

**Garage downpipes**

**Garage capping's**

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY RATING**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

SUB\_Q: WERE ALL ASBESTOS BASED PRODUCTS SIGHTED FREE OF DAMAGE ?

**I saw no damaged or cracked asbestos based products at the time of my inspection**

**I saw damaged asbestos based product within the roof sheeting**

**I saw damaged asbestos based product within the roof capping's**

**I saw damaged asbestos based product within the roof flashing's**

**I saw damaged asbestos based product within gutters**

**I saw damaged asbestos based product within the downpipes**

**I saw damaged asbestos based product within the fascia boards**

**I saw damaged asbestos based product within the bargeboards**

**I saw damaged asbestos based product within eave lining boards**

**I saw damaged asbestos based product within veranda soffit lining boards**

**I saw damaged asbestos based product within external wall cladding**

**I saw damaged asbestos based product within external wall cladding / external corners / capping's**

**I saw damaged asbestos based product within the internal ceiling linings**

**I saw damaged asbestos based product within internal cornices**

**I saw damaged asbestos based product within internal wall linings**

**I saw damaged asbestos based product within electrical meter box**

**I saw damaged asbestos based product within garage wall cladding**

**I saw damaged asbestos based product within garage roof plumbing**

**I saw damaged asbestos based product within garage roof sheeting**

**I saw damaged asbestos based product within garage gutters**

**I saw damaged asbestos based product within garage downpipes**

**I saw damaged asbestos based product within garage capping's**

**SPECIAL NOTE: RE WERE ALL ASBESTOS BASED PRODUCTS SIGHTED**

- *asd asdfasdfa sdfasdfs asd asdf asdfa dsfadasd asdfa sdfasdf asdf asdf afa asdfa sdaf fasdf asdf*

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY RATING**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

**SUB\_Q: IS FURTHER DECONSTRUCTIVE TESTING RECOMMENDED ?**

**I do not recommend deconstructive testing**

**I recommend deconstructive testing**

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY RATING**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

SUB\_Q: IS IT RECOMMENDED THAT A SAMPLE FROM THIS PROPERTY IS TAKEN AND SENT TO A LAB ?

**Yes** All properties built prior to 2003, when the current legislation banned the use of asbestos-based products, have a risk of asbestos located within the core fabric or fit-out of the building. It is important to know, for the health of your family, visitors, contractors and n

**No** I do not believe this home requires a lab result due to the age of the property and due to what I could see at the time of my inspection. Of course, should you want certainty, then a lab test with a sample taken from the property is required.

SUB\_Q: WAS ANY STOCKPILED OR BROKEN BUILDING WASTE OR DEBRIS SIGHTED AT THE TIME OF MY INSPECTION ?

**No, I saw no loose or broken asbestos fragments within this property**

**Yes, I saw broken asbestos fragments within the roof void**

**Yes, I saw broken asbestos fragments of asbestos within the subfloor area**

**Yes, I saw broken asbestos fragments within the external elevations of the home**

**Yes I saw broken asbestos pieces in the following area of this property**

#### **SPECIAL NOTE: RE STOCKPILE OR BROCKEN BUILDING WASTE**

- *asdf asdf asdfas asdfa sdfasd asdf asdfa dfa*

**Defect Rating: MINOR DEFECT**

**Defect Rating: MAJOR DEFECT**

**Defect Rating: SAFETY RATING**

**Defect Rating: FURTHER INVESTIGATION REQUIRED**

SUB\_Q: DOES THE ROOF VOID CONTAIN LOOSE FILL ASBESTOS OR A LOOSE FILL ASBESTOS PRODUCT ?

**No** On the day of the inspection, I saw no loose fill products within the area of the roof void that was available and exposed to me at the time of my inspection. On some occasions, loose fill asbestos is concealed and unable to be sighted at the time of our inspection, this mus

**Overall Defect Rating: MINOR DEFECT**

**Overall Defect Rating: MAJOR DEFECT**

**Overall Defect Rating: SAFETY HAZARD**

**Overall Defect Rating: FURTHER INVESTIGATION**

## 44. TERMITES / CHEMICAL DELIGNIFICATION / WOOD ROT / VENTILATION

SUB\_Q: IS THERE A PEST NOTIFICATION LABEL WITHIN THE ELECTRICAL METER BOX OR WITHIN THE KITCHEN CUPBOARD?

**Not Applicable**

## 45. OBSTRUCTIONS WITHIN THIS PROPERTY AT THE TIME OF MY INSPECTION

SUB\_Q: WHICH AREAS WERE 'NOT ABLE TO BE INSPECTED IN FULL'?

**Roof void due to LIMITED ACCESS to all areas** *The roof void of the house has not been inspected in full We, therefore, exclude this entire area from our assessment and our report We take no responsibility or liability for this portion of the property*

**Roof void due to NO ACCESS** *We could not gain access to the roof void and we therefore exclude the entire roof void from our assessment and this report*

**Subfloor area due to LIMITED ACCESS** *We gained access to the subfloor area IN PART only Due to restricted access / spaces within the subfloor area we could not inspect all subfloor chambers within the subfloor area We therefore could not access and report on ALL AREAS and nor do we know the conditions of the entire subfloor floor area, and we therefore exclude the entire subfloor area of this property from this report (Building & Pest report)*

**Subfloor areas due to NO ACCESS** *We could not gain access to the subfloor area We therefore exclude the subfloor areas from our assessment and this report (Building & Pest)*

**External roof linings and roof plumbing**

**Outbuildings**

**Grounds**

**Landscaping**

**Fences**

**Stumps**

**Retaining Walls**

**Exterior**

**Interior**

**All areas were inspected within the property**

SUB\_Q: WHICH AREAS WERE 'ABLE TO BE INSPECTED IN FULL?'

**Interior (Internal walls and floors were inspected)**

**Exterior (Wall and Floors / Main Pathways)**

**Roof Void was NOT INSPECTED IN FULL (Further investigation / second inspection is required)**

**Roof Void was NOT INSPECTED (Further investigation / second inspection is required)**

**Subfloor area was NOT INSPECTED IN FULL (Further investigation is required and recommended)**

**Subfloor area was NOT INSPECTED (Further investigation is required and recommended)**

**Outbuildings**

**Grounds**

**Fences**

**Landscaping**

**Stumps**

**Retaining Walls**

**No**

**Yes, Subfloor areas**

**Yes, Roof voids**

**Yes, Garage walls and roof framings**

**Yes, areas noted within the report as affected by Wet or Rot**

**Yes, areas noted within the report as affected by borers**

**Yes, areas noted as affected by past and or present pest activity**

**Incomplete Works - Area Under Construction and Excluded from this report** Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection required once works have been completed

**Overall Defect Rating: MINOR DEFECT**

**Overall Defect Rating: MAJOR DEFECT**

**Overall Defect Rating: SAFETY HAZARD**

## Overall Defect Rating: FURTHER INVESTIGATION

### 46. DO YOU RECOMMEND A SUBTERRANEAN TERMITE TREATMENT PROGRAM ?

SUB\_Q: DO YOU RECOMMEND A SUBTERRANEAN TERMITE TREATMENT PROGRAM ?

**Yes, I do recommend a subterranean termite treatment program**

**No, do not recommend a subterranean termite treatment program**

SUB\_Q: DO YOU RECOMMEND FUTURE INSPECTIONS BE CARRIED OUT, IF SO AT WHAT INTERVALS ?

**Yes, every 12 months** Pest inspections and treatments should be applied to properties between 9 and 12 months

**Yes, every 6 to 9 months** Pest inspections and treatments should be applied to properties between 9 and 12 months but as this property is not a new build and not 100% compliant, I suggest a more frequent inspection and treatment plan be implemented within this property to lower the risk of termite and pest infestation to this property

**Yes, every 6 months** Pest inspections and treatments should be applied to properties between 9 and 12 months but as this property is not a new build and not 100% compliant, I suggest a more frequent inspection and treatment plan be implemented within this property to lower the risk of termite and pest infestation to this property

**Yes, every 3 months** Pest inspections and treatments should be applied to properties between 9 and 12 months but as this property is not a new build and not 100% compliant, I suggest a more frequent inspection and treatment plan be implemented within this property to lower the risk of termite and pest infestation to this property

**Yes, every month** Pest inspections and treatments should be applied to properties between 9 and 12 months but as this property is not a new build and not 100% compliant, I suggest a more frequent inspection and treatment plan be implemented within this property to lower the risk of termite and pest infestation to this property, as there are indicators telling us this property is at a high risk for pest infestation

SUB\_Q: DO YOU RECOMMEND THAT A SEPARATE, MORE INVASIVE INSPECTION BE CARRIED OUT PRIOR TO PURCHASING THE PROPERTY ?

**Yes, I do recommend one, as not all aspects of the property were able to be inspected** I strongly recommend a specialised pest contractor, inspect, report on and treat this property I recommend that you engage a specialised pest contractor that has a thermal camera of a commercial-grade quality which will be able to scan through the walls, ceilings and floors to detect any live and / or concealed termites Should you want our office to carry out such a report, we can send our specialist pest consultant to the property and he can x-ray / apply his thermal camera to the timber members and supply you further advice beyond this standard

*Building & Pest Report For our office to return and to apply a thermal camera assessment through the timber members our fee will be \$480 + GST and the findings will be integrated within this report once they arrive*

**No, I do not recommend a second inspection and subterranean treatment being applied to this property** I recommend a specialised pest contractor, inspect, report on and treat this property as a standard treatment / spray application, no subterranean treatment required - no soil injection or bait station application required I recommend that you engage a specialised pest contractor that has a thermal camera of a commercial-grade quality which will be able to scan through the walls, ceilings and floors to detect any live and / or concealed termites Should you want our office to carry out such a report, we can send our specialist pest consultant to the property and he can x-ray / apply his thermal camera to the timber members and supply you further advice beyond this standard Building & Pest Report For our office to return and to apply a thermal camera assessment through the timber members our fee will be \$480 + GST and the findings will be integrated within this report once they arrive

## 47. SUMMARY

SUB\_Q: WERE ACTIVE SUBTERRANEAN TERMITES (LIVE SPECIMENS) FOUND ?

**Yes, Read the Report in Full**

**No, Read the Report in Full**

SUB\_Q: WAS VISIBLE EVIDENCE OF SUBTERRANEAN TERMITE WORKINGS OR DAMAGE FOUND ?

**Yes, Read the Report in Full**

**No, Read the Report in Full**

SUB\_Q: WAS VISIBLE EVIDENCE OF BORERS OF SEASONED TIMBER FOUND ?

**Yes, read the report in full**

**No, read the report in full**

SUB\_Q: WAS EVIDENCE OF DAMAGE CAUSED BY WOOD DECAY (ROT) FUNGI FOUND ?

**Yes, read the report in full**

**No, read the report in full**

SUB\_Q: ARE FURTHER INSPECTIONS RECOMMENDED ?

**Yes, read the report in full**

**No, read the report in full**

SUB\_Q: WERE ANY MAJOR ISSUES IDENTIFIED WITHIN THE PEST REPORT (STRUCTURAL ISSUES OR POSSIBLE PEST INFESTATION ISSUES) THAT SHOULD BE CONSIDERED BEFORE YOU BUY THIS PROPERTY ?

**Yes, Minor issues - Read the Report in Full**

**Yes, Typical issues found in period homes such as this property - Read the Report in Full**

**Yes, Mid range issues / typical for a house of this age - Read the Report in Full**

**Yes, Major issues that should be considered before buying this home - Read the Report in Full**

**No, Every property has a risk for pest infestation, but this property is in a good state of repair - Read the Report in Full**

SUB\_Q: AT THE TIME OF THE INSPECTION, THE DEGREE OF RISK OF SUBTERRANEAN TERMITE INFESTATION WAS CONSIDERED TO BE:

**Extremely High**

**High to Extremely High**

**High**

**Medium**

**Low**

**Incomplete Works - Area Under Construction and Excluded from this report** *Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection required once works have been completed*

## **GENERAL COMMENTS**

- *asdfasdf asdfa sdfas fasdf asdfa sdfas fasfd asdf asdf asdf asdf*

## 48. SECOND INSPECTION FINDINGS - BUILDING ONLY

**Summary of our findings within our second inspection** We have been engaged to carry out a second inspection on this property All items within this chapter are our findings based upon our second inspection only We do not modify our earlier report in any way and our second inspection and the findings within that inspection are solely outlined within this chapter

- asdf asfdasdfa sdfa sdfas
- Sat Nov 09 2024 17:41:58 GMT+1100 (Australian Eastern Daylight Time)

**These items are Minor defects with no urgency to them to be acted upon by the vendor or new owners**

**These items are Major defects which require the vendor or new owners to make good urgently**

**Defects found represent as a safety hazard for the occupants or visitors of the property.**

**Further investigation**

**Further Works are required to make good these defects**

**No further actions required**

## 50. ADDITIONAL INFORMATION SUPPLIED TO INSPECTOR POST INITIAL INSPECTION - NO ADDITIONAL SITE INSPECTION CARRIED OUT

**Summary of our findings within our second inspection**



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