

## Pre-Purchase Building & Pest Inspection Report

Complies with Australian Standard AS 4349.1-2007

Inspection of Buildings Part 1: Pre-Purchase  
Inspections Residential Buildings - Appendix C



## BUILDING & PEST REPORT

Commissioning Party's Name: Eric & Donna Priestly

**Property Address: 16 Cormack Road, Beacon Hill NSW, Australia**

Date of Inspection: 25/11/2024

Inspector's Name : Emilio Calandra

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level 2, 118 Christie St, St Leonards NSW 2065

# **DISCLAIMER OF LIABILITY TO ANY THIRD PARTIES:**

## **IMPORTANT**

The information on this page is important and must be read before looking at the accompanying report.

You should not rely on this report if you wish to purchase the property.

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Accordingly, you should not rely upon this document if you intend to purchase the property to which it relates.

In receiving or viewing this report you are acknowledging that you will not rely upon it if you intend to purchase the property.

If you require information contained in this report, you should seek out and commission the completion of your own report.

In that regard, The Property Inspectors can supply a report that you can rely upon.

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Consideration of your individual needs and concerns can affect the recommendations and conclusions of the author of the report.

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You, as reader, must accept sole responsibility for what you do in relation to any material

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This report can be relied upon if a sales transaction is made and/or a person's name is added to the report

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# BUILDING

## SUMMARY OF THE BUILDING ONLY

**YOU MUST READ THE ENTIRE REPORT TO UNDERSTAND THE CONDITION OF THIS PROPERTY PRIOR TO PURCHASING THE HOME**

A summary of the results of the building inspection is highlighted below:

Were MINOR DEFECTS, MAJOR DEFECTS or SAFETY HAZARDS found in this property?

| Defect Ratings            | Found | Not Found |
|---------------------------|-------|-----------|
| Were Minor Defect Found?  |       | ✓         |
| Were Major Defect Found?  | ✓     |           |
| Were Safety Hazard Found? | ✓     |           |

## SUMMARY

The purpose of the inspection is to identify the major defects and safety hazards associate with the property at the time of inspection. The inspection and report is limited to a visual assessment of the building members only in accordance with Appendix C AS4349. 1-2007.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

**The incidences of MAJOR DEFECTS in this property compared to similar buildings is considered to be:**

**The incidence of MINOR DEFECTS in this property as compared with similar buildings is considered:**

The **Overall Condition** of this property in the context of its age, type and general expectations of similar properties is:

## OVERALL CONDITION COMMENTS:

**Special Note:**

This is a general appraisal only and cannot be relied upon on its own - read the report in its entirety.

**Building - Recommendation and Conclusion**

This summary is supplied to allow a quick and superficial overview of the inspection results. This summary is not the report and cannot be relied upon on its own. This summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in this report and anything in this summary, the information in the report shall override that on this summary.

# Pest

## SUMMARY OF PEST ONLY

### WERE ACTIVE SUBTERRANEAN TERMITES (LIVE SPECIMENS) FOUND ?

No, Read the Report in Full

### WAS VISIBLE EVIDENCE OF SUBTERRANEAN TERMITE WORKINGS OR DAMAGE FOUND ?

No, Read the Report in Full

### WAS VISIBLE EVIDENCE OF BORERS OF SEASONED TIMBER FOUND ?

No, read the report in full

### WAS EVIDENCE OF DAMAGE CAUSED BY WOOD DECAY (ROT) FUNGI FOUND ?

Yes, read the report in full

### ARE FURTHER INSPECTIONS RECOMMENDED ?

Yes, read the report in full

### WERE ANY MAJOR ISSUES IDENTIFIED WITHIN THE PEST REPORT (STRUCTURAL ISSUES OR POSSIBLE PEST INFESTATION ISSUES) THAT SHOULD BE CONSIDERED BEFORE YOU BUY THIS PROPERTY ?

Yes, Mid range issues / typical for a house of this age - Read the Report in Full

### AT THE TIME OF THE INSPECTION, THE DEGREE OF RISK OF SUBTERRANEAN TERMITE INFESTATION WAS CONSIDERED TO BE

High

## Purpose And Scope Of Inspection

This report complies with Australian Standard AS4349.1-2007 Inspection of Buildings, Part 1: Pre-Purchase Inspections-Residential Buildings.

### INSPECTION AGREEMENT - INDIVIDUAL TITLE PROPERTY

Requirement for Inspection agreement AS 4349.1-2007 requires that an inspection agreement be entered into between the inspector & the client prior to the conduct of the inspection.

This agreement sets out specific limitations on the scope of the inspection and on limits that apply in carrying it out.

Where specific State or Territory requirements apply in addition to the scope of work in this agreement, or where the inspector and client agree to additional matters being covered, that additional scope is listed at the end of this agreement.

It is assumed that the existing use of the building will continue.

### PURPOSE OF INSPECTION

The purpose of the inspection is to provide advice to a prospective purchaser or other interested party regarding the condition of the property on the date and at the time of the inspection.

The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix B or C AS4349.1-2007 (Appendix B for Strata or Company Title and Appendix C for other residential buildings).

### IMPORTANT INFORMATION AND DISCLAIMER

Any person who relies upon the contents of this report does so acknowledging that the following clauses both below and at the end of this report.

These define the Scope and Limitations of the inspection and form an integral part of the report.

Before you decide to purchase this property, you should read and understand all of the information contained herein.

It will help explain what is involved in a Pre-Purchase Building Inspection Report, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects, latent or otherwise.

This information forms an integral part of the report.

If there is anything contained within this report that is not clear or you have difficulty understanding, please contact the inspector prior to acting on this report.

The extent and thoroughness of this inspection has been limited by our reading of what was reasonable by way of time, intrusion, and risk of doing physical damage to the property being inspected.

We have not inspected woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the structure is free from defect. Identification of hazardous materials or situations that may be in the building or on or near the property is outside the scope of this inspection.

This report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law, and is not a warranty against problems developing with the building in the future.

This report does not include the identification of unauthorized building work or of work not compliant with building regulations. With respect to minor defects, the inspection is limited to reporting on their overall extent.

It is not intended to detail each individual minor defect or imperfection.

This service is provided on an independent professional basis.

It seeks to present a factual, unbiased, and balanced assessment.

We have no financial interest in any work that may be recommended or in any share of commission if the property is sold.

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## SCOPE OF INSPECTION

The inspection comprised a visual assessment of the property to identify major defects and safety hazards, and to form an opinion regarding the general condition of the property at the time of inspection.

An estimate of the cost of rectification of defects is outside the scope of the Standard and therefore does not form part of this report.

AS 4349.1 - 2007 requires that the basis for comparison is a building of similar age and similar type to the subject building and which is in reasonable condition, having been adequately maintained over the life of the building.

This means that building being inspected may not comply with Australian Standards, building regulations or specific state or territory requirements applicable at the time of the inspection.

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## WHAT IS REPORTED ON:

- The inspection includes subjective appraisal by an inspector competent to assess the condition of residential buildings. It involves a subjective assessment so different inspectors or even the same inspector on a different occasion may reach different conclusions.

- The inspection comprises a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection.
- The following areas shall be inspected where applicable:
- The interior of the building: ceilings; walls; floors; windows; doors & frames; kitchen; bathroom; WC; ensuite; laundry; stairs & damp problems.
- The exterior of the building: walls (including lintels, claddings, doors & windows); timber or steel frames & structures; chimneys; stairs; balconies, verandas, patios, decks, suspended concrete floors, balustrades.
- The roof exterior: roof (including tiles, shingles & slates, roof sheeting, gables, flashings); skylights, vents, flues; valleys; guttering; downpipes; eaves, fascias and bargeboards.
- The roof space: roof covering; roof framing; sarking; party walls; insulation
- The sub-floor space: timber floor (including supports, floor, ventilation, drainage, damp); suspended concrete floors.
- The property within 5m of the house and within the boundaries of the site: car accommodation, detached laundry, ablution facilities and garden sheds; retaining walls (where supporting other structures and landscaping retaining walls > 700mm high); paths & driveways; steps; fencing (excluding swimming pool fences) ; surface water (drainage effectiveness)

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#### WHAT IS NOT REPORTED ON:

- General exclusions detailed in the standard AS 4349.1-2007.
- Parts of a building that are under construction.
- The inspection is not intended to include rigorous assessment of all building elements in a property.
- Defects that would only be apparent under weather conditions or when using fittings & fixtures.
- Defects not apparent due to occupancy or occupancy behavior e.g., nonuse of a leaking shower.
- The inspection report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law, or by-law and is not a warranty against problems developing with the building in the future.
- Unauthorized building work or of work not compliant with building regulations.
- Title and ownership matters, matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters.
- Estimation of the cost of rectification of specific defects.
- Specifics excluded by the standard AS 4349.1 - 2007 Footings below ground,
- Concealed damp-proof course,
- Electrical installations,
- Operation of smoke detectors,
- Light switches and fittings,
- TV,
- Sound and communication and security systems,
- Concealed plumbing,
- Adequacy of roof drainage as installed,
- Gas fittings and fixtures,

- Air conditioning,
- Automatic garage door mechanisms,
- Swimming pools and associated filtration and similar equipment,
- The operation of fireplaces and solid fuel heaters, including chimneys and flues,
- Alarm systems,
- Intercom systems,
- Soft floor coverings,
- Electrical appliances including dishwashers,
- Incinerators,
- Ovens,
- Ducted vacuum systems,
- Paint coatings except external protective coatings,
- Health hazards (e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea formaldehyde)
- Timber and metal framing sizes and adequacy,
- Concealed tie downs and bracing,
- Timber pest activity,
- Other mechanical or electrical equipment (such as gates, inclinators),
- Soil conditions,
- Control joints,
- Sustainable development provisions,
- Concealed framing-timbers or any areas concealed by wall linings or sidings,
- Landscaping,
- Rubbish,
- Floor cover,
- Furniture and accessories,
- Stored items,
- Insulation,
- Environmental matters e.g. BASIX,
- Water tanks,
- BCA environmental provisions,
- Energy efficiency,
- Lighting efficiency.

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## SPECIAL REQUIREMENTS

It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the above mentioned Australian Standard. If we do comment on an area outside of the above scope, you cannot rely upon the information within the report as it is not deemed as included within our report regardless of if payment has been made towards those areas of property.

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## LIMITATIONS

This report is limited to a visual inspection of areas where safe and reasonable access is available, and access permitted on the date and at the time of inspection.

The Inspection will be carried out in accordance with AS4349.1-2007.

The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the date and time of inspection.

Areas for Inspection shall cover all safe and accessible areas.

It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorized appliances.

It is strongly recommended that an appropriately qualified contractor check these services prior to purchase.

As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor & a structural engineer carry out an assessment of the structural integrity of the property prior to purchasing this property as our comments are general only and you cannot rely upon our report for electrical, plumbing and engineering matters.

This report is limited to (unless otherwise noted) the main structure on the site and no other building, structure or outbuilding within 5m of the main structure and within the site boundaries including fences.

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## SAFE AND REASONABLE ACCESS

Only areas to which safe and reasonable access is available were inspected. The Australian Standard 4349.1 defines reasonable access as "areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers."

Reasonable access does not include the use of destructive or invasive inspection methods, nor does it include cutting or making access traps or moving any furniture, floor coverings or stored goods.

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## DIMENSIONS FOR REASONABLE ACCESS

**Roof Interior** - Access opening = 400 x 500 mm - Crawl Space = 600 x 600mm - Height accessible from a 3.6m ladder. The safe use of a 3.6m ladder requires the ladder to contact the building no greater than 2.7m from the FFL.

**Roof Exterior** - Must be accessible from a 3.6m ladder placed on the ground. The safe use of a 3.6m ladder requires the ladder to contact the building no greater than 2.7m from the FFL.

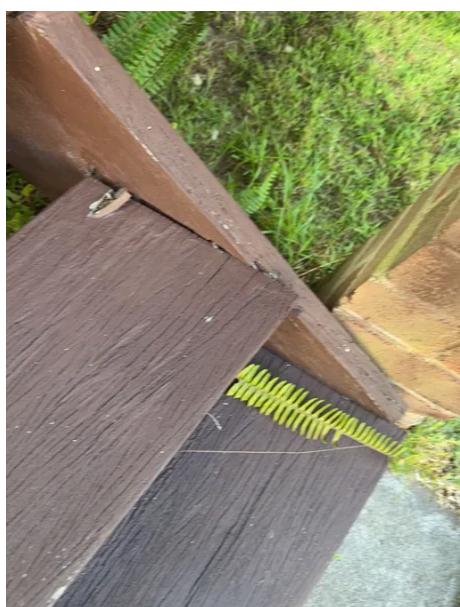
## General Photos

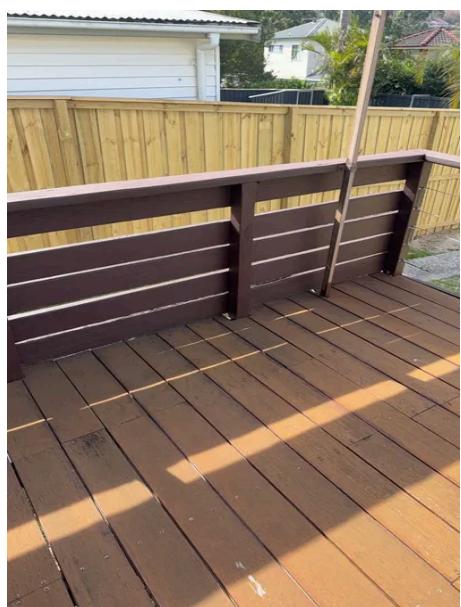




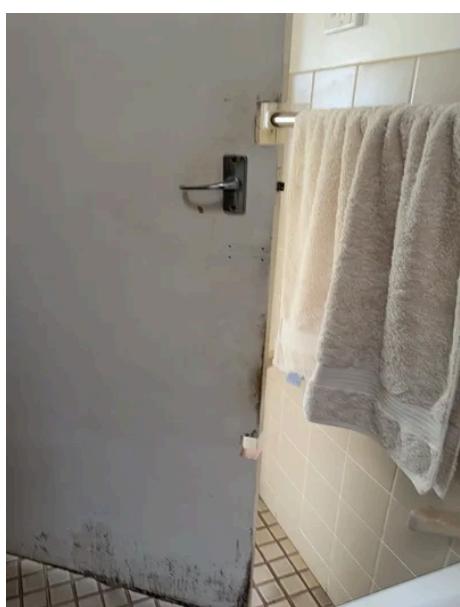
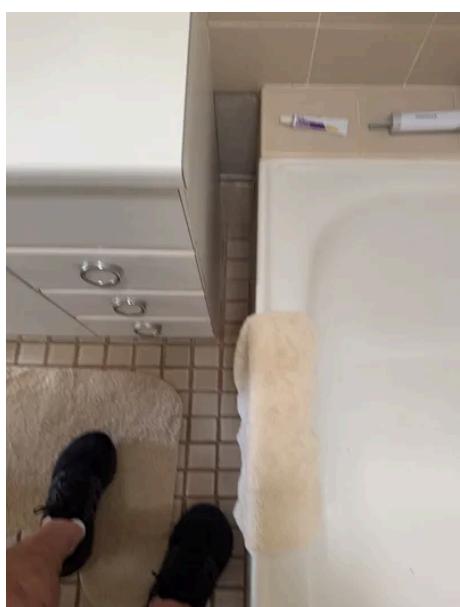




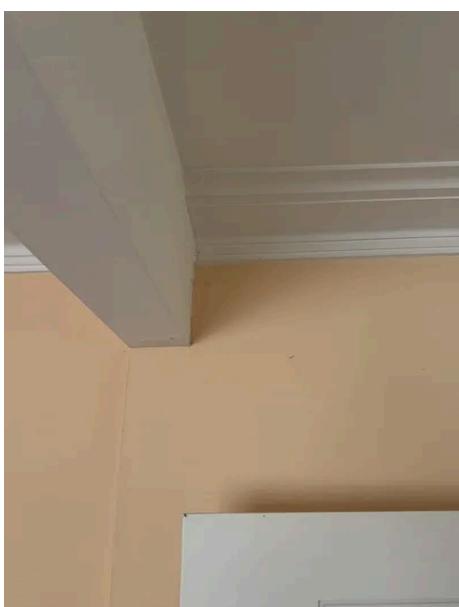
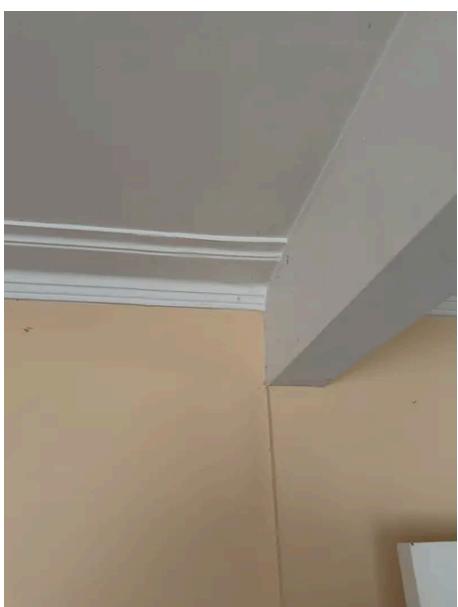
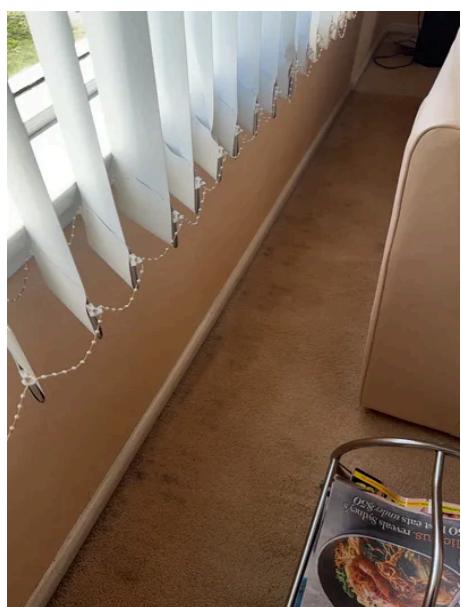












## Description of Building

### The Key Aspects Of The Building That Was Inspected

#### SUB\_Q: TYPE OF BUILDING

Residential House

#### SUB\_Q: TYPE OF STRUCTURE

House

#### SUB\_Q: APPROXIMATE AGE OF ORIGINAL BUILDING - GUESSTIMATION

Approximately 150+ years old

No Home Owners Warranty is available for this property if it's older than six years old. Your solicitor must do their own investigation to confirm if this is the case or not (we only assume the age of the property). If renovation works / new building works have been completed within the past six years and the contract sum was above \$20K you will then have the right to request a copy of the Home Owners Warranty Insurance Policy that belongs to the property and the works carried out. We strongly recommend that you request a certificate of currency of the Home Owners Warranty Policy to be supplied by the Builder/Developer/Owner Builder prior to the settlement of this property. Department Of Fair Trading guidelines make Builders, Owner Builders or Developers provide the consumer/the owner of the property a warranty for the period of two years and or six years against all defects from the date of the Practical Completion of the project.

#### SUB\_Q: ROOF COVERING

Metal Deck Roof Sheets

Tile roof

#### SUB\_Q: EXTERNAL WALLS

Timber Cladding Walls

Weatherboard Walls

Other (External Walls)

- Pvc wall cladding over timber wall cladding to the house And metal wall cladding over timber and possible asbestos wall cladding over the house - The garage is horizontal timber wall cladding

#### SUB\_Q: FLOOR CONSTRUCTION

## **Concrete - Slab On Ground**

*Concrete floors require the edges of the slab visible for periodic pest inspection Pest inspections should be carried out every six to nine months to monitor any potential pest activity. The exposed concrete edges and slabs should be inspected and reported on every twelve to fourteen months for concrete cancer or any deterioration of the concrete slabs*

## **Concrete - External Pathways**

*This property has concrete pathways around the property*

## **Timber Flooring**

*Timber floor covering on a timber structure can be a combination of hard or softwood joists covered with plywood, particle board flooring, hard or softwood strip flooring All floor framing should be inspected and treated every six to nine months for pest activity*

## **Timber Flooring - Fibrous Cement Flooring / Particle Board**

*We cannot confirm if this property has compressed fibrous floor linings within the wet rooms We assume that this property has been built with timber frames and compressed fibrous floor linings, In newly built properties it is common to find particle board flooring installed over the timber floor joints and then waterproofed within each bathroom, laundry/wet rooms All floor framing should be inspected and treated every six to nine months for pest activity*

## **Timber Flooring - External Timber Staircase**

*Timber decks require periodic maintenance including cleaning and oiling / painting to ensure their longevity If timber members have been oiled, painted or stained it cannot be confirmed if they are fit for purpose for exterior use, if items are not suitable for exterior use the longevity of this item would be compromised If at the time of inspection, access beneath the deck is unavailable, it could not be confirmed that the structure has the appropriate ground clearance to meet required regulations, further investigation would be required All floor framing should be inspected and treated every six to nine months for pest activity*

## **Timber Flooring - External Timber Deck**

*Timber decks require periodic maintenance including cleaning and oiling/painting to ensure its longevity. If timber members have been oiled, painted or stained it cannot be confirmed if they are fit for purpose for exterior use, if items are not suitable for exterior use, the longevity of this item would be compromised. If at the time of inspection, access beneath the deck is unavailable, it is assumed that the structure has the appropriate ground clearance to meet required regulations, further investigation would be required. All floor framing should be inspected and treated every six to nine months for pest activity.*

## **SUB\_Q: OUTBUILDINGS / DETACHED STRUCTURES FROM THE MAIN PROPERTY**

### **Garage**

## **SUB\_Q: ROOF FRAME**

**Timber - Hand Pitched Roof**

**Timber - Flat skillion roof**

**Unable to confirm due to no access within roof void**

**SUB\_Q: ROOF PITCH (APPROXIMATE PITCH OF STEEPEST ROOF)**

**20 - 25 degrees**

**SUB\_Q: NUMBER OF STOREYS**

**Single Storey Building**

**SUB\_Q: STYLE OF BUILDING**

**Period Building**

**SUB\_Q: FOOTINGS**

**Concrete - Pad Footings**

*Concrete pad footings appear to be in place supporting piers and the floor/wall structure above*

**Concrete - Strip Footings**

*The outer and inner walls of the property appear to have the walls built off the concrete strip footings*

**Brick - Pad Footings**

*This property appears to have brick footings embedded within the foundations*

**Brick - Strip Footings**

*This property looks to have brick footings within the foundation / soil material*

**SUB\_Q: FRONT OF BUILDING FACE (APPROXIMATELY)**

**South**

## General Observations

### SUB\_Q: WEATHER CONDITIONS - ON THE DAY OF THE INSPECTION

#### Clear & Sunny

*Special Note : We have been engaged to inspect this property at the requested date and time by the commissioning party In some events we do not have opportunity to gain full access to all areas as they are locked or unavailable at the time of the inspection In some events we are unable to inspect all areas due to the loss of natural daylight or the sun setting whilst we are surveying the property We often lose the natural daylight whilst the inspection is in progress and therefore our assessment and report is limited due to the reduced visibility and access within the property. We do our best to carry out this inspection by using a flashlight, this limits our ability to carry out a detailed and comprehensive assessment of the property. We do not carry any responsibility in the event that we have missed any area that is vital in creating this report due to the lack of natural daylight or if access to the property was reduced due to limited areas being available to us at the time of the inspection Our reports and working conditions are in line with Work Health & Safety Regulations We encourage the reader or the commissioning party of this report to re-engage our office to re-inspect the property to make sure all vital aspects of the property are seen and reported on. We Do Not Take Any Responsibility For Any Aspect Of The Property If We Did Not Get The Opportunity To Inspect The Property In Natural Daylight Or If We Did Not Have Access To All Areas Of The Property At The Time Of The Inspection*

### SUB\_Q: WEATHER CONDITIONS - WITHIN THE LAST 7 DAYS

#### Clear & sunny - No Rain in the past 7 days

### SUB\_Q: IS THE BUILDING FURNISHED?

#### Yes, NORMAL LEVEL OF FURNITURE, and belongings found within the property)

*We do not move the Vendor/Tenants belongs when we carry out our inspection. We do not move nor touch objects within the property. For Example: We do not move any objects in the following areas nor look at nor report on the conditions of the property if they are obstructed by the vendor or tenant objects stored within the following rooms, and not limited to these rooms and objects: 1. We do not look behind bed heads, nor beds when they are up against a wall or two walls within the room 2. We do not look at the walls and floors which are covered by furniture or objects stored or placed up against the walls and floors 3. We do not look at the walls and floors which are covered by portable cupboards/furniture/tables 4. We do not look behind nor move curtains, blinds or fixed or loose shutters 5. We do not look behind nor move goods within robes/walk in robes/linen cupboards/stairwells/ kitchen and laundry cupboards /vanity units 6. We do not look behind nor move goods found within the garage or storeroom 7. We do not look behind nor move goods within the roof voids 8. We do not look behind nor move goods within the subfloor areas If a defect is hidden behind or in*

these areas due to an obstruction we don't report on them nor do we take responsibility for including these defects within our report

## **SUB\_Q: THE FOLLOWING AREAS WERE - NOT INSPECTED**

### **SPECIAL NOTE: I COULD NOT INSPECT ALL AREAS WITHIN THIS PROPERTY TODAY .I DID NOT INSPECT THE FOLLOWING AREAS AS NOTED BELOW :**

*I could not inspect all areas of the property today The areas noted below are excluded from our report, you cannot rely upon any facts within this report for these areas, even if I make comment to them in this report, as I may have been able to inspect the areas in question IN PART BUT NOT IN FULL. As I could not inspect the areas in FULL, I, therefore, make the entire area(s) excluded from our report I strongly recommend the commissioning party or the reader of this report request that the vendors or their agent make the following areas available to be inspected/re-inspected once access is created We encourage you to re-engage our office to carry out a second inspection to include the non-inspected areas, an additional fee is applicable for a second inspection The areas not inspected in full nor included in this report are:*

#### **Roof void due to manhole being blocked/inaccessible at the time of the inspection**

*No access to the roof void due to the manhole being blocked/inaccessible at the time of the inspection The roof void was inaccessible when I was on site We therefore did not inspect nor report on the roof void/s within this property If this part of the property needs to be inspected and reported on a second site inspection is required once access is created meeting current regulations.*

#### **Roof void due to a flat skillion roof**

*I could not gain access to all roof void(s) within this property due to the property having a flat metal roof, with no access hatches to service the roof voids.*

#### **Roof void due to manhole being in an unsafe location for the inspector to install a stepladder**

*No access to the roof void due to the manhole being in an unsafe location for the inspector to install a stepladder.*

#### **Roof void due to manhole being unsafe for the inspector to enter (size/location)**

*No access to the roof void due to the manhole being unsafe for the inspector to enter (size/location).*

#### **Roof tiles due to height restrictions**

*This property has roof tiles / roof elevations higher than allowed within current regulations I did not access the roof due to the height exceeding the safe use of a 3.6m ladder, The safe use is 2.7 metres in height from the finished ground floor or the roof(s) being over a single storey structure, complying with current WH&S regulations.*

#### **Roof sheets due to height restrictions**

*This property has roof sheets ( Metal roofing ) / roof elevations higher than allowed within current regulations I did not access the roof due to the height exceeding the safe use of a 3.6m ladder, The safe use is 2.7 metres in height from the finished ground floor or the roof(s) being over a single storey structure, complying with current WH&S regulations.*

## **Roof plumbing due to height restrictions**

*This property has roof plumbing ( Gutters, valleys, flashings, cappings, Box gutters, downpipes ) / Roof elevations higher than allowed within current regulations I did not access the roof due to the height exceeding the safe use of a 3.6m ladder, The safe use is 2.7 metres in height from the finished ground floor or the roof(s) being over a single storey structure, complying with current WH&S regulations.*

## **Partial access to the sub floor area, due to limited space within the sub floor area, I was unable to gain access to all areas of the sub floor area and this portion of the property is excluded from my report**

*I had limited access to the subfloor area within this property, due to no / limited access and missing access hatches found on site, nor did I have approbate crawl space within the subfloor area meeting Australian Standards access regulations Access hatches must be 400mm x 500mm, with 600mm x 600mm minimum crawl space, within the entire subfloor and therefore this area was not inspected on this basis NOTE If the subfloor area is commented on, it's on the basis of the inspector viewing the subfloor in part only ) If the subfloor area is not inspected in full such as this inspection/property, I will still comment on what was seen at the time of this inspection and any comments are made against the area/s that were inspected - this doesn't mean the report is covering the entire subfloor area, it means we have assessed and commented on the one subfloor changer as you enter the subfloor and the remaining areas are excluded from our assessment and this report and you can not rely upon this report for the other subfloor areas that were not inspected. I was unable to inspect the entire subfloor area within this property, therefore, the entire subfloor condition is not inspected nor reported on nor can you rely upon this report covering the subfloor area*

## **Partial access to the roof tiles & roof plumbing due to height restrictions, I was unable to gain access to all areas and this portion of the house is excluded from my assessment and this report**

*I had partial access to the roof tiles, gutters and valley iron and flashings, and cappings Any comment made is a passing comment made from observation from afar or from overlooking windows or from a zoom camera I did not access the entire roof elevation making the roof tiles and gutters and valleys and flashings excluded from this report*

## **Partial access to the roof sheeting & roof plumbing, due to height restrictions, I was unable to gain access to all areas and this portion of the property is excluded from my report**

*I was unable to access the roof in full, I accessed the roof in a small portion due to WH&S regulation I had partial access to the roof sheets, gutters, valley iron, flashings, and cappings Any comments made is a passing comment made from an observation from afar or from overlooking windows or from a zoom camera I did not access the entire roof elevation making the sheets, gutters, valleys, flashings excluded from this report*

**Once access to the areas noted above are made available by the vendor / listing agent, we strongly recommend that you re-engage our office for a second inspection to have the areas not inspected in full, inspected and reported on within an amended / updated report p**

**SUB\_Q: THIS REPORT IS VALID FOR**

## **28 Calendar Days**

*The findings recorded within this report were seen and noted on the day of our inspection. Buildings move and settle on a daily basis, with the most movement and changes to the property are seen between the change of a wet and dry season. We are experiencing inconsistent weather patterns and extended dry periods, within which, buildings tend to re-stabilize or move during prolonged dry or wet periods, making new defects apparent when it has changed from a prolonged dry period to a wet period and vice versa. In most events, properties have been prepared for sale and cracks or imperfections are concealed by freshly painted walls, ceilings, cornices and other internal linings which we are unaware of at the time of our inspection, making them unable to be seen or reported on. It is most common to find new defects within three to six months of the date of the home being repaired or renovated and having passed a summer or winter period. Our inspections are a visual inspection only, with no thermal cameras, moisture meters nor torches being used within the internal habitable rooms, meeting Department of Fair Trading Standards & Tolerances Guidelines, it is best, once you have read this report to re-inspect the property in different times of the day, as defects may be concealed when the morning sun or afternoon shade sets in place which we did not have the benefit of during our inspection.*

### **SUB\_Q: AT THE TIME OF OUR INSPECTION, WE ASSUME THIS PROPERTY WAS OCCUPIED BY**

**Empty Property - Staged for the purpose of the sale of the property**

## Question 1. ARE THE INTERNAL - CEILINGS, WALLS & FLOORS FREE OF DEFECTS ?

### SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE - CEILING

#### Minor imperfections within the ceiling linings

Minor sagging and / or minor imperfections in places, I can see there is a combination of the following: 1. Sagging of the plasterboard ceilings in various locations 2. Minor defects found within the plasterboard ceiling linings 3. Minor cracks found in the cornices and wall junctions 4. Minor cracks found in the cornices and ceiling linings NOTE: Any property beyond two years old can have cracks in the plasterboard and cornices and this will be rated a minor defect, and those defects may not all reach this report If the property was recently painted, we cannot pick up defects in the plasterboard ceilings nor old or existing moisture issues within the ceilings and cornices We only report on major defects and not minor imperfections or typical wear and tear issues within older plasterboard ceilings and cornices Our objective is to advise on areas of concern that may involve future liability or expenses, I cannot see any major issues within this property within the ceiling linings or cornices in their current condition Any cracks in the ceiling linings that have roof access above could have been created by a service contractor or owner when accessing the roof void, making the cracks within the ceiling non-critical I recommend that all roof voids are not to be used as storerooms, as the additional loads to the roof framing, plasterboard linings and cornices may create or contribute towards cracks within the ceilings and cornices (Unless a new timber floor structure and floor lining boards are installed and are detached to the ceiling joints)

#### Minor cornice cracking

Minor cornice cracks are seen between the cornices and ceilings as well as the cornices and walls, this is possibly due to normal movement within a property and is considered an acceptable and non-structural issue 1. Cracks were found within the cornices where each length of cornices meet and are set together 2. A good plasterer and painter can repair and make good these issues quite easily and cost effectively. All properties with the above issues should be monitored and if they further develop, a structural engineer should be engaged to assess and report on the entire property

#### Slight cracking to ceiling joints & cornices

Minor cracks evident at the plasterboard ceiling joints, these cracks are not structurally significant. 1. Some sagging of the plasterboard ceiling is evident in places 2. Minor defects found within the plasterboard ceiling linings 3. Minor cracks found in the cornices and wall junctions 4. Minor cracks found in the cornices and ceiling linings NOTE: A property beyond two years old can have cracks in the plasterboard and cornices and it is not a major defect

#### Water stains / Discoloration in the ceiling / cornices

There are imperfections in the ceiling, it appears to be old moisture stains within the ceiling / cornices A painter can repair and make good these issues quickly and inexpensively

## **Yellow stain in the ceilings**

*Yellow stains normally mean that there was or still is water / moisture ingress into the internal elevations of the property, this should be looked at to see if it is a current issue or an old and past / rectified issue, and then all that is required is prep work and re-painting of the area in question*

## **Yellow stain in the cornices**

*Yellow stains in cornices are not ideal as it could mean that there was or still is water / moisture ingress into the property Further investigation is recommended to see if it is a current issue or an old issue*

## **Moisture damage to the bedroom ceilings**

*Further investigation recommended confirming the source of the moisture*

### **SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE - WALLS**

#### **Minor cracks to plaster linings, typical settlement cracks found within a building**

*Minor cracks were seen within the internal wall linings due to normal settlement and can be left as is. Hairline cracks in the wall linings are normal and they are normally fixed up by a painting contractor when a property is re-painted. A normal life cycle for painting a property internally is every six to ten years. Note If the property was recently painted for sale, we will not be able to see the defects (structural or cosmetic) concealed by the recent work. Defects, if any, will normally re-appear within the next three to twelve months (in the change of seasons). The most common periods to see cracks in walls are in the summer period when properties foundation moisture content is lowered or in the reverse if the improvements were carried out in summer, if this is the case, please re-contact our office to re-engage us to carry out a second inspection to obtain a true position of the property.*

#### **Minor Imperfections in the walls**

*The imperfections could easily be rectified prior to the next painting.*

#### **Yellow stain in the wall linings**

*Yellow stains normally mean that there was or still is water / moisture ingress into the internal elevations of the property, this should be looked at to see if it is a current issue or an old and past / rectified issue, and then all that is required is prep work and re-painting of the area in question*

### **SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE - FLOORS**

#### **No expansion joints installed to the floor finishes**

*There are no expansion joints installed to the floor finishes All floors must have expansion joints It is good building practice to have an expansion joint every 5.5 L/M in timber flooring or up to 6 L/M maximum as per DFT Standards & Tolerances 12.10 Movement Joints Expansion joints should be installed to all timber, concrete, or tiled floor finishes that have a length of 5.5m or an area greater than 5.5m squared for tiled or concrete floor finishes*

## **Floor out of level**

*The flooring finish is out of level This is may not be structurally significant Some floors are out of level because the room may have been an external veranda which has now been converted into a new room and the purpose and use of the room has changed but the floor finish and levels may have not changed Some floors are out of level due to subsided piers or substrate structures*

## **There is a bow in the timber floor**

### **SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN HOME IN RELATION TO - MOISTURE**

#### **Water stains within the internal walls, condensation / condensation damage seen within the wall linings**

*On inspection of the wet rooms, I saw signs of condensation, an environmental scientist should be engaged to confirm the state of play within the room*

#### **External doors, minor moisture seen to be entering the property via the external doors**

#### **External doors, considerable moisture entry is seen to be entering the property via the external doors**

#### **External windows, minor moisture seen within the house in and around the window frames / reveals / architrave**

#### **External windows, considerable amount of moisture seen within the house in and around the window frames / reveals / architrave**

*I saw moisture within the internal non-cavity walls, this is a common issue found in : WC rooms, laundries, garages, rooms that used to be external veranda's which are now a habitable room, period buildings were commonly built with non-cavity brick walls, so every period building*

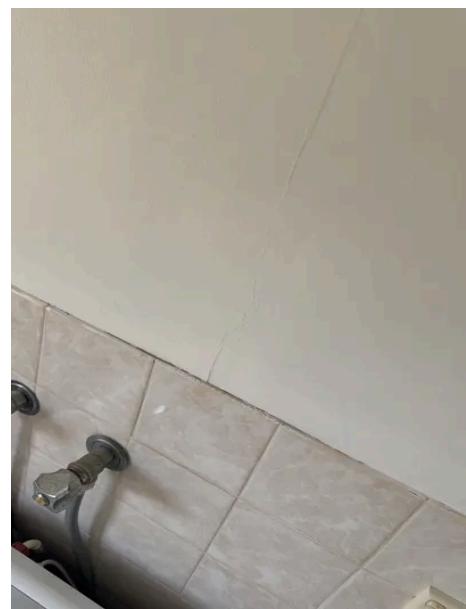
#### **Moisture damage seen within the internal window frames / window suites**

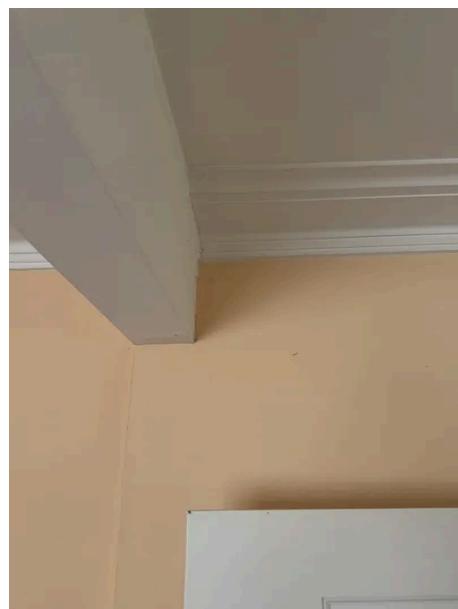
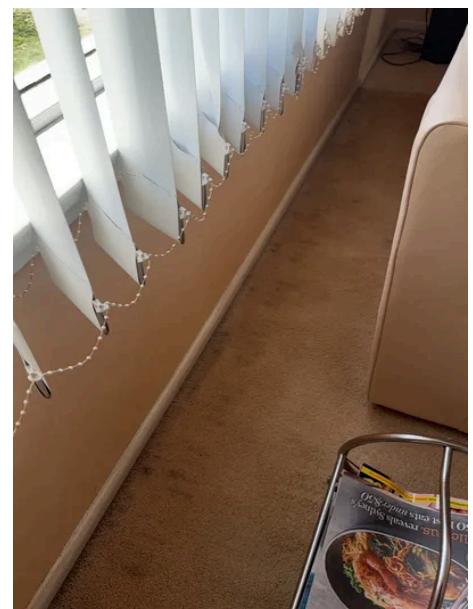
#### **Water stains seen on the internal walls**

#### **Moisture damage seen within the timber skirting / architrave**

#### **Incomplete Works - Area Under Construction and Excluded from this report**

*Works to this area are incomplete and non-compliant with AS4349.1-2007 Further inspection is required once works have been completed*





## Question 2. ARE THE INTERNAL & EXTERNAL - DOORS & WINDOWS - DEFECT FREE ?

### SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE – INTERNAL DOORS

#### Moisture damage present within the internal elevation of the external doors

*External door(s) are damaged due to not being adequately protected from the weather*

#### One or more doors bind on the frame

*One or more doors bind on the door frame. The doors require minor adjustment and once rectified the doors are to be appropriately protected (Painted or Stained, so they are sealed)*

#### Minor maintenance required to the internal doors

*Minor maintenance required to internal doors and door jamb so the doors close and lock correctly and as originally installed and designed*

#### Door hardware requires adjustment

*Door hardware requires adjustments so they operate as designed.*

#### Robe doors bind and they need attention to have them working well and as originally designed and installed

#### Doorjambs have moisture damage seen at the base of the door jambs

*A flood test should be commissioned to see where the moisture is coming in from*

#### The doors have minor moisture seen within the doors leaf's entering the property via the external doors

#### Missing door hardware

*Minor defect, easy and inexpensive fix*

#### Defective door hardware

### SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN THE – EXTERNAL DOORS & WINDOWS – TIMBER FRAMED

#### There were windows / doors that require minor maintenance and repairs

*One or more windows require maintenance carried out to maintain the operation and function of the external windows / doors*

#### Evidence of minor rotting

*Evidence of minor rotting found within the external doors / windows. Repairs and re-painting are required by a painting contractor to preserve the timber members*

## **Evidence of major rotting**

*Timber fungal decay evident within the external door and window suites. A carpenter needs to replace the rotten timber and have the new and existing timber re-painted by a painter*

## **There is weather damage evident to external door(s)**

*External door(s) are damaged due to not being adequately protected from the elements.*

## **Weather damage evident to external window(s)**

*The external window(s) are damaged due to not being adequately protected from the elements*

## **The external windows / doors / architrave and mouldings need to be maintained with paint / stain to preserve them from further deterioration**

*All external timber windows and doors should be re-painted or stained, as the existing timber units are slightly deteriorated and in need of re-coat / repair, Minor defect*

## **The windows need to be prepared and re-painted**

## **The doors need to be sanded back / prepped & re-painted**

## **Not all external doors and windows were able to be opened / inspected / tested at the time of my inspection**

*All doors and windows need maintenance and regular upkeep Prior to purchasing this property, I suggest that you have the vendor / agent open all doors and windows for your assessment / consideration as they can become expensive to repair*

### **SUB\_Q: ARE THE BEDROOM WINDOWS COMPLIANT?**

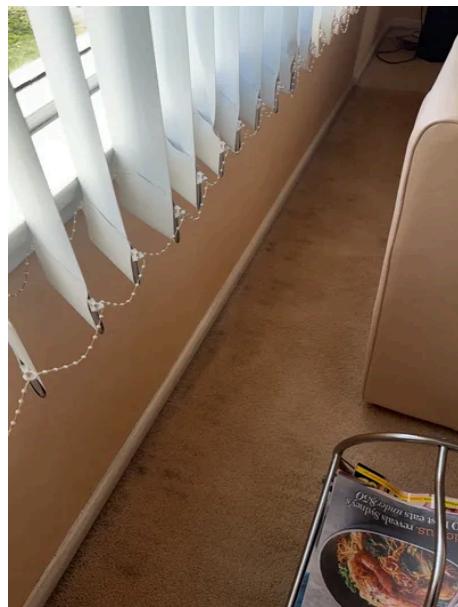
## **Yes, All bedroom windows are compliant with current regulations**

*To my best knowledge, the bedroom windows are compliant with current regulations as per the date of my inspection and subject to the age of the original build / renovation to the bedroom windows*

### **SUB\_Q: OTHER THAN BEDROOM WINDOWS, ARE THERE ANY OTHER NON-COMPLIANCE WINDOWS?**

## **YES, there are non-compliant windows within this property that do not comply with current regulations. "I assume the windows may have complied when they were originally built".**

*There is a window sill found within the property that is lower than 865mm from the internal finished floor level with a fall greater than 4 metres The window in question must not open greater than 125mm and must have a fixed barrier installed at a minimum of 865mm The barrier must not have horizontal elements between 150mm and 760mm that facilitate climbing*



### **Question 3. IS THE - 'KITCHEN' - FREE OF DEFECTS ?**

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**All kitchen cupboards appear to be in good order with no significant defects found**

**The kitchen benchtop has no major cracks or imperfections within the benchtop**

**Kitchen splashback is in good order**

**All kitchen plumbing (water supply, water distribution, fixtures & fittings) appeared to be in working order with no significant defects to report on subject to this visual inspection**

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**All Electrical fixtures and fittings (light switches & powerpoints) within the kitchen appear to be in working order**

*Our office carries out a secondary assessment of the Electrical trade for each inspection We recommend that you contact our office and purchase the additional Electrical Trade Assessment which is a comprehensive assessment of the Electrical trade within this property. The difference is that we physically test the Electrical fixtures and fittings, together with applying a load test of the electrical system looking for faults within the powerpoints, light fittings, switches, sub-board and smoke alarms Our fees for the additional element / trade are: Electrical - \$150 + GST*

**We recommend that you buy a copy of the existing Plumbing & Electrical Assessment Report or commission your own Plumbing & Electrical Report, which is over and above what is required within the Australian Standards Pre-Purchase Building & Pest Report**

*These reports are physical load tests of the water supply, water distribution, sewer & stormwater as well as the electrical trade covering the power supply, light cabling, fixtures and fittings, powerpoints, smoke alarms & switchboards. These reports can be purchased from our office by calling 9181 5989 for a fee of \$300 + GST should an existing Plumbing & Electrical Report already be available for this property or should we be required to re-attend site to carry out such a report our fee would be \$450 + GST*



## Question 4. ARE THE - 'BATHROOMS' - FREE OF DEFECTS ?

### SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM - TOILET - PANS & CISTERNS

**The cisterns / pans / bidets appeared to be in working order at the time of my inspection with no major defects to report on**

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### SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM - TOILET - PANS / CISTERNS / BIDETS - INSTALLATION

**Cisterns / pans / bidets appear to be correctly installed and look to be stable / rigid**

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#### **SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM - TOILET – PANS & CISTERNS / BIDETS – WATER SUPPLY**

##### **There is running water within the cisterns / pans / bidets**

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#### **SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM - BATHTUB**

##### **The bathtub has defective / old / poorly applied silicone around the wall tiles and hob tiles of the bathtub junction**

Re-sealing of the bathtub and its surrounding materials are recommended, so there are no leaks / pooling of water within the bathroom (easy fix)

#### **SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM – BATHTUB - TAPWARE**

## **The bathtub taps appear to be in good order**

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## **SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM – BATHTUB - TILES**

### **There are cracked tiles**

*Tiles can be seen to be cracked, these tiles are to be replaced to avoid the possibility of water exiting the shower cubicle*

### **There are drummy wall tiles**

*Tiles have been assessed to be drummy due to failed or inadequate adhesive These tiles are to be removed if possible and re-laid correctly or replaced if this is not achievable*

### **There is loose / missing grout**

*Grout can be seen to be missing or dislodged requiring the area to be re-grouted*

### **Gaps in the silicone / sealant applied**

*Grout can be seen to be missing or dislodged requiring the area to be re-grouted*

### **The bathtub is sealed with grout and not silicone**

## **SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM – BASIN / VANITY UNIT - TAPWARE**

### **The spout is loose / defective, minor issue**

*Minor adjustments are required to the basin spout, to have it fixed off to the vanity unit / basin Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we*

physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

## **SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM – BASIN / VANITY UNIT / CABINETS & MIRRORS**

### **Sealant missing around the basin / vanity benchtop and the wall linings**

*Missing sealant around the vanity / basin, if left as is, over time, this will contribute towards the joinery rotting out and disengaging from the wall*

### **Doors / drawers bind on cabinet frame**

*The hinged doors and / or drawers require adjustments or repairs so they operate correctly and so they have equal margins*

### **Cracked tiles**

*Tiles can be seen to be cracked, these tiles are to be replaced to avoid the possibility of water exiting the shower cubicle*

### **Drummy tiles**

*Tiles have been assessed to be drummy due to failed or inadequate adhesive These tiles are to be removed if possible and re-laid correctly or replaced if this is not achievable*

### **Loose / missing grout**

*Grout can be seen to be missing or dislodged requiring the area to be re-grouted*

### **Gaps / defective sealant**

*Areas of sealant can be seen to be incomplete or defective requiring attention*

### **No silicone sealant within the bathrooms**

*Silicone sealant not evident at the time of inspection Sealant should be applied to all internal and external tiled junctions*

### **Efflorescence leaching out of the floor tiles**

*Efflorescence is seen within the bathroom tile mortar joints. This normally means there is a mixture of sands used in the floor tile beds or there may be excess moisture within the mortar / screed / tile grout joints,*

that pools in the mortar / grout Further investigation is required to see, if in fact, this issue has been already dealt with or if there is still work to be done to this area of the property to overcome this issue

### **Minor cracks in the FLOOR & WALL wall tiles junctions**

Typically, these cracks are minor and common issues found in most homes / bathrooms due to various reasons All cracks should be monitored and sealed with bathroom silicone if they are seen to be stable / stagnant over a period of twenty four months

### **Minor cracks in the VERTICAL WALL TILE junctions**

These cracks are minor and commonly seen in most properties These cracks are typical settlement cracks seen within masonry and timber framed walls within wet rooms and bathrooms The reason for these cracks can vary but they are normally concealed by grout or silicone and we don't normally see them in new / modern bathrooms as current "new construction regulations" requires tradesmen to apply silicone to all internal junctions of the wall and floor, vertical wall tile junctions within the bathrooms, shower cubicles, laundry floors and walls plus kitchen benchtop and wall junctions All cracks should be monitored and sealed with bathroom silicone if they are seen to be stable / stagnant over a period of twenty four months.

## **SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM – SHOWER SCREEN**

### **Inadequately sealed at floor / wall junctions**

Inadequately sealed at floor / wall junctions: New silicone sealant is required to the wall and floor tiles where they are in contact with the shower screen

### **Cracked / delaminating glass shower screen**

Cracked shower screen: Repair or replacement of the shower screen is required

### **Minor gaps in sealant**

Minor gaps in sealant New silicone sealant is required to the wall and floor tiles where they are in contact with the shower screen

### **Shower screen and tile junctions need to be cleaned and re-sealed**

The shower screen and tile junctions need to be cleaned and re-sealed New silicone sealant is required to the wall and floor tiles where they are in contact with the shower screen, once the bathroom is cleaned

### **The shower screen door does not operate smoothly**

Minor works / adjustments are required to the shower screen door / frame / hardware

## **SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM – SHOWER CUBICLE – WATER LEAKS**

### **Water damage along adjacent wall, suspected membrane failure**

Flood test is required, to know if the waterproofing membrane within the bathroom or shower cubicle has failed or if there is a leak Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any

plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

### **Water damage found at the base of the doorjamb and architrave**

Flood test is required, to know if the waterproofing membrane within the bathroom or shower cubicle has failed Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building & Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

### **There are cracks within the tiles of the shower cubicle**

Tiles can be seen to be cracked, these tiles are to be replaced to avoid the possibility of water exiting the shower cubicle

### **There are drummy tiles within the shower cubicle**

Tiles have been assessed to be drummy due to failed or inadequate adhesive These tiles are to be removed if possible and re-laid correctly or replaced if this is not achievable

### **There is loose and missing grout within the shower cubicle tiles**

Grout can be seen to be missing or dislodged requiring the area to be re-grouted

### **Gaps in the existing sealant / silicone / grout**

Gaps can be seen in the sealant, this will require the area in question removed and new sealant applied

## **No silicone sealant is applied within the BATHROOM**

*All internal corners, both vertical and horizontal, should have silicone sealant applied to the junctions within the bathroom, WC, laundry*

## **No silicone is applied within the SHOWER CUBICLE / internal junctions within the shower cubicle**

*Within the shower cubicle, there should be silicone or a flexible sealant applied to all wall and floor tiles junctions, plus vertical wall tile junctions and wall and floor tiles where they meet the shower screen, this is not the case within this property This is an easy fix for any handy person or tradesman This assists in retaining moisture within the wet room / shower cubicle and this assists in limiting any cracks occurring within the wall and floor tiles when the building settles / moves between seasons This is a minor defect and commonly found in older style homes or not so recently built or renovated properties*

**I suggest you apply a bead of silicone to all internal junctions within the shower cubicle (over the existing grout / sealant) to keep all moisture within the shower**

## **Shower cubicle floor tiles has Efflorescence leaching out of the floor tile joints**

*Efflorescence was present in bathroom shower cubicle floor tiles There are many reasons why efflorescence appears within bathroom floor tiles, a common reason is a tiler sometimes gets contaminated sand delivered to site, and then the sand used in the mortar bed is a mixture of "Sydney Sand" & "Bush Sand", as the salt level within the bush sand is high, which therefore assists in generating / contributing to these issues This issue has many solutions within the market place, one is to remove the grout and to re-grout the subject area with a product called FLOCK, which is placed / mixed within the new grout / mortar, to be applied to the subject area It's best to first understand if the subject area has excessive moisture issues or if it's simply the incorrect sand used and once determined it can be easily prepared by a tiler or builder*

## **There was Efflorescence seen to be leaching out of the bathroom floor tiles**

*The waterproofing within the shower cubicle may be leaking / leaching out, as there is efflorescence present in the bathroom floor tiles This could be due to moisture leaking out of the shower cubicle or the moisture within the shower cubicle is bridging over the shower-screen barrier as there is excessive moisture in the floor / wall tiles Further investigation is required to understand the true extent of this issue, if any, as sometimes it's just the sand leaching out salts present within the tile mortar bed and it's common that the efflorescence stops leaching out over time or when small remedial works are applied to the area in question*

## **SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM – SHOWER CUBICLE – TAPWARE**

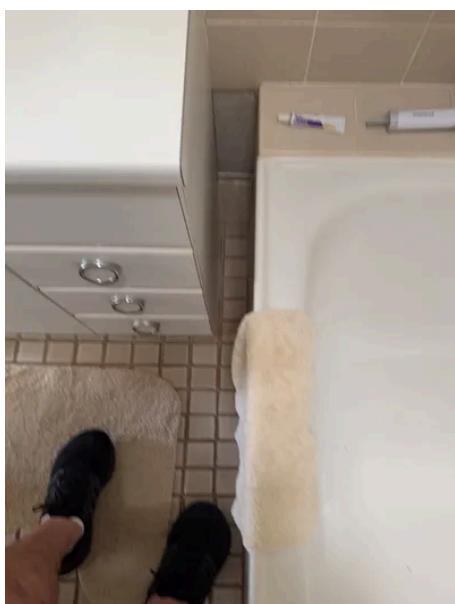
### **The shower taps appear to be free of leaks and the water supply looks to operates correctly**

*Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor flood testing nor physical testing of any plumbing fixtures and fittings, nor do we test the water distribution lines or water waste lines. However, our office does assess the Plumbing trade of the property which is over and above the standard Building & Pest Report. Within our Plumbing Report, we physically test all plumbing fixtures and fittings, water supply lines and water distribution / sewer lines, seeking defects to be added to our report. The Plumbing Report can be integrated within the Building &*

Pest Report should you choose to buy that additional report. Note, all tests are carried out by qualified and / or licenced builders with a minimum of twenty years building experience. Should you want the Plumbing Report integrated within the Building & Pest Report, feel free to contact our office on 02 9181 5989 to have the Plumbing Report integrated within the Building & Pest Report, or if you have already commissioned this additional report, you will find the Plumbing Report within the section of this report titled Plumbing. Should you have not already purchased the Plumbing Report, feel free to call our office and we can upgrade your initial report to have the Plumbing Report integrated within, for a fee of \$150 + GST over and above the fee that you have already paid.

#### **SUB\_Q: THE FOLLOWING DEFECTS WERE SEEN WITHIN – BATHROOM – CONDENSATION - EXHAUST FANS - MOISTURE**

The bathrooms are free of condensation / moisture damage





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## Question 5. IS THE - 'LAUNDRY' - FREE OF DEFECTS ?

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**There were no significant defects seen within the laundry**

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**The laundry water supply, waste line, tub & tapware appear to be in working order with no significant faults or defects seen at the time of my inspection**

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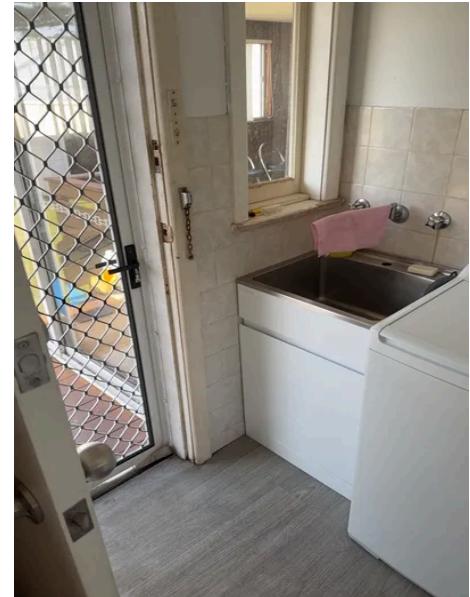
**The electrical fitout within the laundry appears to be all in good order, there were no issues seen within the power supply, powerpoints, light fittings, switches and exhaust / ventilation within the laundry**

Special Note Under Australian Standards, a pre-purchase Building & Pest Report is a visual inspection only, with no contact nor load testing nor physical testing of any electrical fixtures and fittings, nor do we test the circuits for faults. However, our office does assess the Electrical trade of the property which is over and above the standard Building & Pest Report. Within our Electrical Report, we physically test all electrical fixtures and

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#### SPECIAL NOTE: LAUNDRY DEFECTS

- *The washing machine and dryer needs to be removed in order to have a standard stepladder installed beneath the current manhole for compliant access into the roof for a single Inspector*



**Missing tiles within the bathroom, located between the handbasin and bathtub**

**Shower leaks around the shower screen and hob location**

**Bottom of the door is affected by moisture within the bathroom. New door required.**

**Bathroom needs to be renovated, as it is unknown if the shower screen alone or the shower screen and bathroom waterproofing has failed, however, new shower membrane and bathroom floor and wall membrane required**

**No silicone found within the wall and floor tile junctions and vertical wall tile junctions within the bathroom**

**Bathroom door has had check outs created within the door to allow for bathroom handrails. One of the handrails is now damaged and not in place, which needs to get replaced, together with a new door.**

**Bathroom vanity unit has moisture damage within the carcass**

**There is mould and moisture within the walls of the bathroom**

**There is minor mould within the bathroom ceiling and cornices**

**The rear living room has a bow within the wall. The bow can be seen behind the bar**

**Within the rear living room / bar room, the wall cladding has signs of moisture damage and water ingress issues**

**Rear living room sliding door is very hard to operate**

**South and east elevation windows has excessive moisture entry coming through the window frames**

**Within the bedrooms, there is yellow staining within the ceilings, walls and cornices. This is common for old homes which lack ventilation and have objects placed up against surfaces for long periods of time. These moisture stains were seen within the bedroom ceiling, walls and within the robes.**

**There is a significant undulation within the floor within the doorway between the kitchen and laundry**

**There are no control joints or expansion joints within the internal floor linings**

**In various locations, there were minor cracks within the internal plaster wall linings. These wall linings could also be asbestos. Lab testing required for confirmation**

**No access to the roof void, as the manhole is located above the washing machine and dryer in the laundry. They need to be removed so I can install my ladder beneath the roof void for clear and safe passage into and out of the roof void**

## Question 8. ARE THE EXTERNAL WALLS - CLADDING - WINDOWS - BEAMS - FLASHINGS - FREE OF MAJOR DEFECTS ?

### SUB\_Q: WERE THERE ANY "MAJOR STRUCTURAL ISSUES" WITHIN THE CORE FABRIC OF THE BUILDING?

#### **The structure appears to be in fair & reasonable condition with no major defects to report on**

No significant defects were found at the time of my inspection No major cracks / defects were seen within the external walls or beams Most properties have minor issues and with regular maintenance, this building will continue to withstand the test of time, remember "it's more cost-effective to regularly maintain a building than to repair / rebuild"

#### **I saw timber beams which had wood rot / damage evident present within the timber beams**

There is timber rot found within the external structural timbers within this property We cannot see the extent of the wet / dry rot within the timber frames I suggest you engage a builder or licenced carpenter to assess and report on this issue

#### **I saw timber posts within this building which had decay / wood rot present within the timber members**

I found wood rot within the external timbers within this property We cannot see the entire extent of the wet / dry rot within the timber frames, I suggest you engage a builder or licenced carpenter to assess and report on this issue

#### **I saw timber walls within this building which had decay / wood rot present within the timber members**

I found wood rot within the external timbers within this property We cannot see the entire extent of the wet / dry rot within the timber frames, I suggest you engage a builder or licenced carpenter to assess and report on this issue

### SUB\_Q: WERE THERE ANY DEFECTS FOUND WITHIN THE "NON-STRUCTURAL" ELEMENTS WITHIN THE BUILDING?

#### **Minor timber weatherboard fungal decay**

It could be seen at the time of inspection that there was minor timber weatherboard timber fungal decay (rot) in sections requiring replacement Liaise with a carpenter to have assessed / repaired

#### **Minor damage to the weatherboard linings**

#### **Bowed / distorted weatherboards**

Some bowing and unevenness detected in weatherboards Liaise with a carpenter to assess & remedy

*Further investigation may be required, as this may require the removal of cladding or wall linings to assess the wall frame conditions*

### **Timber battens, fungal decay**

*Timber battens bases have timber fungal decay Liaise with a carpenter to have rectified*

### **There are holes in the external walls that could allow for moisture / vermin to enter the property / cavities / subfloor areas**

*All holes within the external walls should be repaired / sealed to reduce the risk of water / moisture entry or pest entry / infestation*

### **Timber / base board are in contact with the ground**

*This is conducive to termite infestation and timber fungal decay and it is preferable to have no non-durable timber in touch with the ground*

### **Air vents / grills were covered and / or blocked**

*The air vents installed to the external walls are covered / obstructed which will allow pests and moisture to enter the subfloor area if left as is. The purpose of air vent is to allow fresh air ventilation to the subfloor area meeting current or past regulations I see that there is inadequate vents / grills within the external walls making the subfloor area non-compliant due to poor / reduced volume of air for ventilation and poor crossflow ventilation to the subfloor area*

### **Air vents / grills missing from the external walls**

*The purpose of air vents is to allow fresh air ventilation to the subfloor to meet current or past regulations I see that there are missing vents / grills from the external walls, therefore making the subfloor area non-compliant due to poor ventilation and poor crossflow ventilation to the subfloor area*

### **Soffit linings are defective within the verandas / decks / patios**

*Repairs are required to the external ceiling linings*

### **Eaves linings were seen to be defective and are in need of repair**

*The eaves linings are in need of repair by a carpenter / plasterer plus painter*

### **Minor damages / hairline cracks in the wall cladding**

## **SUB\_Q: WERE ANY SIGNIFICANT ISSUES FOUND WITHIN THE "DOORS & WINDOWS" ?**

### **Excessive gaps around flashing / storm moulds within the external doors allowing water entry into the cavity walls of the property**

*There is excessive gaps seen at the base of the door suites and sill junctions*

### **Excessive gaps around flashing / storm moulds within the external windows allowing water entry into the cavity walls of the property**

*There is excessive gaps seen at the base of the window suites and sill junctions*

## **Evidence of water entry through door sills**

*The sill and door junctions should be flood tested and made good to prevent any further water entry*

## **Evidence of water entry through window sills**

*The sill and window junctions should be flood tested and made good to prevent any further water entry*

## **Wood root in the timber doors**

## **Wood rot in the timber windows**

## **Minor Repairs required to the external doors and windows to have them operate smoothly**

### **SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "WALL FLASHINGS & DAMP PROOF COURSE" ?**

#### **I cannot see flashings evident above and below the WINDOWS AND DOORS (masonry walls)**

*Flashings should be installed above and below each window and door unit Weep holes should be installed to allow moisture to seep out of the wall cavities When no weep holes are installed or seen in a property such as this one, it raises the possibility of moisture being trapped within the internal skin of the property NOTE: This is a common problem found in properties that are rendered after the original build Builders and bricklayers often install flashings and weep holes when they build a new building, but when new owners move into a property they often render the external wall linings and the weep holes get covered over by the renderer and painter as they don't always expose the weep holes All period buildings that are not renovated do not have weep holes installed over the doors and windows as it was not industry standards back when this home was built THIS IS A MINOR DEFECT!*

#### **I cannot see a damp proof course / flashing evident at the BASE OF THE EXTERNAL WALLS**

*I did not see a damp proof course (DPC) within ALL EXTERNAL WALLS within this building I am not confirming that there is not a concealed DPC within the mortar joints but I am confirming that I did not see the normal PVC / LEAD / SLATE damp proof course embedded within the external walls / brick joints within the external elevations within this property It is best practice to have all surrounding surfaces around the building clear of any materials that may retain moisture, with minimal garden beds up against the building All hard surfaces around the building should direct the surface water and any stormwater away from the building, keeping the walls, foundations and footings of the property as dry as possible limiting the possibility of rising damp. THIS IS A MINOR ISSUE / DEFECT*

#### **I saw dampness within the external walls (lightweight wall structure)**

*There is dampness seen within the external wall of the property There is a need to have this issue assessed and made good by a qualified builder*

#### **Missing window storm moulds**

*There are missing window storm moulds / excess gaps which may allow pests / vermin / moisture to enter the cavity*

## **Missing door storm moulds**

*Door storm moulds are missing, gaps may allow pests / vermin / moisture to enter the cavity*

## **Missing sill beading / sealant within the external walls**







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## Question 9. ARE THE EXTERNAL FLOORS, STAIRS, BALCONIES / VERANDAS, TIMBER & CONCRETE DECKS, DRIVEWAY & PATHWAYS FREE OF MAJOR DEFECTS ?

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**SUB\_Q: ARE THERE ANY MAJOR DEFECTS WITHIN THE "STAIRS LEADING TO THE FRONT DOOR" ?**

**The stairs are in good condition and are safe to use**

*Stairs and handrails are in order at the time of this inspection*

**SUB\_Q: WHERE ANY MAJOR DEFECTS SIGHTED WITHIN THE "SIDE, REAR OR GARDEN STAIRS" ?**

**Timber finish to the staircase is defective**

*Timber finish to the staircase can be seen to be defective and in need of replacement, these works should be*

*undertaken by a carpenter to limit further deterioration of the staircase*

### **Timber stairs have signs of deterioration within the stairs / wood rot**

#### **I saw water damage / wood rot to the timber staircase**

*The timber stairs need to be repaired, as they are not in good condition A carpenter must be engaged to repair and make good the staircase treads and goings / stringer and substructure*

### **The handrail running down the stairs should be 865mm in height, the handrail within this property does not meet this minimum requirement - SAFETY HAZARD**

## **SUB\_Q: WERE THE "BALCONIES / DECKS FLOORS & WALLS" DEFECT FREE ?**

#### **Timber members of the veranda are defective and in need of repair**

*The veranda floor structure needs work carried out to it, to have it brought back to a fair and reasonable state of repair*

#### **Timber flooring, defective**

*Timber flooring could be seen to be defective requiring attention*

#### **Timber floor has a bounce within the structure**

*The timber floor is bouncy underfoot when assessed A carpenter needs to assess and make good the structure*

#### **Loose timber decking boards**

#### **Timber decay, significant**

*Timber fungal decay noted and maintenance is required*

#### **Timber fascia, defective**

*Timber fascia can be seen to be defective requiring attention, these items should be attended to by a carpenter*

#### **Timber fascia affected by wood rot**

## **SUB\_Q: WERE THERE ANY SIGNIFICANT DEFECTS WITHIN THE "BALCONIES / RETAINING WALLS, HANDRAILS & BALUSTRADINGS" ?**

#### **Handrails installed under 1000mm**

*Handrails installed are under 1000mm in height The handrail and balustrading details are non-compliant, this is a major safety issue that should not be ignored You should have a builder or balustrading contractor attend the property and have this made good ASAP*

#### **Non-structural / loose handrail & balustrade detail installed on site**

**The handrail & balustrade is non-compliant with current spacing / height requirements as per "current building regulations"**

*The balustrading may have been approved as is, in the past when it was originally built I recommend that you have the existing balustrading made compliant with current regulations to limit your liability and to avoid an accident occurring in the future*

**SUB\_Q: WERE THERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "TIMBER DECKS / EXTERNAL TIMBER MEMBERS" ?**

**Decking boards are cupping**

*The decking boards were seen to be cupped, these boards could pose a safety risk and should be replaced by a carpenter*

**Decking boards are loosely fixed**

*Decking boards were seen to be loosely fixed, these areas could be seen as a trip hazard and should be attended to by a carpenter*

**Defective ant capping installed**

*Ant capping was defective at the time of inspection*

**There were missing ant cappings within the subfloor / underside of the timber deck**

**Inappropriate materials used**

*Materials used are not appropriate for use in areas exposed to the elements*

**Dry / wet rot within the timber structure**

*Dry / wet rot can be seen within the timber structure, these areas should be attended to by a carpenter to ensure the integrity of the structure is maintained.*

**Wood rot within the timber decking boards**

**Timber bearers over spanning - Minor bounce in the floor**

*Timber bearers can be seen to be over spanning, additional piers / posts should be added or bearers strengthened to rectify this issue*

**Timber joists over spanning - Minor bounce / spring felt under a standard foot traffic assessment**

*Timber joists used can be seen to be over spanning, additional bearers should be added to rectify this issue*

**The handrails of the deck are not 1000mm in height**

*Handrails installed are under 1000mm in height The handrail and balustrading details are non-compliant, this is a major safety issue that should not be ignored You should have a builder or balustrading contractor attend the property and have this made good ASAP*

**SUB\_Q: ARE ALL "FLOOR AREAS" FREE OF "SUBSIDENCE/DAMAGED" AND "SAFE TO WALK UPON"**

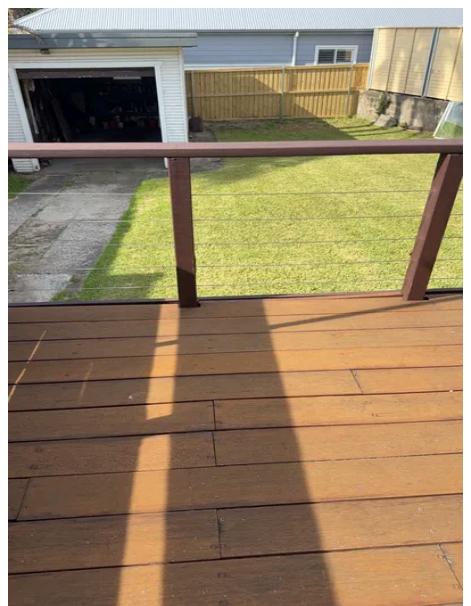
## Medium size cracks in the floor finish - Minor tripping hazards - settlement to be monitored

Minor cracks, some settlement and unevenness was observed. Although not an immediate concern these should be monitored for future movement. A landscaper or concreter should be engaged to repair/rectify. Major defects due to safety/injury concerns.

## Major cracks - Considerable tripping hazards - settlement of the floor - This is a safety issue if left as is

Major cracks, some settlement and unevenness was observed. A landscaper or concreter should be engaged to repair/rectify. Major defects due to safety/injury concerns.





## Question 10. STRUCTURAL CRACKS

**SUB\_Q: Are there any major or significant cracks within the CORE BUILDING FABRIC:**

**No**

*Note: Building members are core members to the dwellings (not cosmetic or finish linings as these are easily repaired and no advice is required by an engineer)*

**Lacking ventilation to the subfloor via the front and right elevation of the property**

**No evidence of termite treatment within the electrical meter box or within the internal kitchen cupboards**

**Most of the downpipes are damaged slightly and in need of repair**

**Unable to inspect the entire subfloor area due to building materials and other objects within the subfloor, however, when I was able to inspect the subfloor in part, it all looks to be in fair and reasonable condition subject to the age of the property**

**Within the subfloor area, there is missing ant capping, which is a termite prevention measure to protect the home and to magnify the termites if they are present for any pest contractor or the homeowner to clearly see that there is termite infestation**

**There is wood rot within the external timber doors and windows of the main house**

**The rear shed/garage wall cladding has wood rot within the horizontal cladding and within the back hinged door**

**The rear shed has no gutters, nor does the back rear skillion roof of the house have any gutters**

**The roof sheets and roof plumbing, flashing and capping over the rear of the house are rusted**

**The back deck handrail and balustrade detail has wood rot, and the handrail is not 1 m in height**

**The back staircase of the house has severe wood rot within the stringers and treads. The back timber staircase is not stable.**

**The back of the timber deck located at the rear of the home has major wood rot within the structure and rust on the ant cappings. The deck in general needs minor improvements to re-stabilize the structure.**

**There were a number of downpipes connected to a PVC stormwater line, which is also above ground, and the PVC storm lines are crushed and damaged**

**The concrete driveway needs to be replaced in various locations as it is crushed and subsided**

**The garage wall cladding and garage lining has significant repairs required due to wood rot and general wear and tear damage, together with the window at the back of the garage also needs to be repaired.**

**It would appear that water freely enters the internal elevation of the garage due to the lay of the land and because the soil around the property is higher externally than the internal concrete floor**

**finish, making water permissible to pass through the wall and floor junction of the garage  
The rear skilling roof structure at the back of the home has a sliding door. This sliding door is an  
aluminum frame, and the sliding door was very hard to operate on the day of my inspection.**

**The wall and floor junctions and top of the wall tiles within the laundry has no silicon**

**There is a significant bump in the floor between the laundry and kitchen**

**There is missing silicon within the main bathroom, wall and floor tile junctions and vertical wall tile junctions. There is missing tiles between the vanity unit and bathtub within the main bathroom.**

**There is minor mold and moisture damage seen within the Plasterboard ceiling and corners just above the main bathroom shower**

**there are a number of windows showing signs of mold and moisture, meaning that the windows allow water ingress from the external elevations into the internal elevations of the home**

**there were internal doors that have missing door, hardware locks, and handles**

**Within the bedrooms, there is mould within the blinds and ceilings and walls**

## Question 11. EXTERNAL ROOF & ROOF PLUMBING

### SUB\_Q: DID YOU ACCESS THE "ENTIRE ROOFTOP ELEVATION" ?

#### I inspected the roof up until 2.7m off the natural ground level

*I accessed the roof, where it is a single story building which has a gutter level of 2.7m or lower Any areas above 2.7m off the ground was not inspected due to WH&S regulations The roof was access using a 3.6 metre ladder from the natural ground level There were Roof Innings, Gutters / Fascia / Barge boards at 2.7m or lower from the natural ground level, that were inspected making it compliant for an assessment to be carried out Any areas above 2.7m were not inspected and a 2nd inspection is recommend by two inspectors, or via a harness being set up or via drone assessment of the roof, if you want the entire roof top elevation inspected and reported on.*

#### This property has multiple roof levels, I accessed the roof in part only, not in full

*The building has gutters ABOVE and BELOW 2.7m in height I only inspected the roof linings and gutters that were at 2.7m in height or lower The remaining roofs / roof plumbing were not inspected nor reported on within this report I did not access the entire roof elevation nor roof plumbing as the gutter line is above 2.7m in height in random locations (A 3.6m ladder services a 2.7m high gutter line) As per Work Health Occupational Safety Regulations, any roof over 2.7m from the natural / finished ground level is inaccessible for a single inspector, and that was the case with this property If you want a complete and comprehensive assessment of this roof and all the elements associated with this roof, we must return to carry out a second inspection with a harness and a second inspector, then you can rely on the facts and our findings within that report A second inspection to cover the entire roof will cost \$690 + GST (This includes two men plus ladder / harness hire to safely access the roof) You cannot rely upon this report for the condition of the roof tiles / roof sheeting / roof plumbing or any other elements found on the roof over the entire property NOTE : If I comment on the roof tiles / roof sheeting / roof plumbing, and the roof / gutter line is over 2.7m in height, our comments are general comments only If we do comment on the roof it's an assessment done via: \* From a distance or by using our zoom camera \* Overlooking windows or structure which allows us to view the roof without actually gaining full access \* We comment on the roofs as seen off a ladder*

#### Defect Rating: FURTHER INVESTIGATION REQUIRED

### SUB\_Q: WERE THERE ANY MAJOR DEFECTS WITHIN THE "ROOF TILES, SHINGLES, SLATES" ?

#### Dislodged tiles & minor adjustment of the roof tiles and flashings are required to keep the house watertight

#### Minor repairs are required to the roof elevation to make the roof linings / roof void watertight

*Dislodged tiles in a few areas Minor cracks were seen within the roof tiles Minor gaps were seen in the roof tiles and valley iron junctions I encourage you to engage a roof tiler to rectify this issue*

## **Cracked roof tiles**

*There were cracked and chipped roof tiles visible There are gaps in the roof elevations that would allow water to enter in a storm, water could enter the house roof void and possibly walls and ceilings below Replacement of the tiles is required to keep the house watertight This can potentially cause further deterioration to the dwelling, for example, damage to internal ceiling plaster linings and frame*

### **SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "ROOF SHEETING"**

#### **Lead flashing & colourbond in direct contact with each other**

*There is lead flashing & colourbond metal in direct contact with each other causing a chemical reaction This must be rectified, otherwise the colourbond metal will deteriorate / rust allowing water penetration The replacement of the flashing(s) or additional silicone / PVC flashing to be installed to have the two metals avoid direct contact with each other Have a chat with a roof plumber or builder / carpenter for the best solution to be offered*

#### **Extensive rust found within the roof sheeting**

*Extensive rust was found on the roof sheeting Replacement is required ASAP Call a roofing contractor to have this made good and the house watertight*

#### **Minor rusting to flashings**

*Minor rust found in sections on the roof flashing, repairs or replacement is required ASAP The roof flashings may be able to remain as is, with minor surface repairs carried out. Call a roofing contractor or handyman to have this made good*

#### **Roof nails / screws lifted**

*Some roof fixing nails/screws have lifted Have a plumber re-fix with roof fixing screws*

#### **Minor dents in the roof sheets, flashings and capping's**

*Minor imperfections / dents and undulations within the metal deck roof sheets, roof flashings and capping's*

#### **Roof sheets do not sit tight and flush with each other**

*Minor repairs are required to have the roof plumbing / roof sheets made watertight It is common to leave the sheets as is, with a filling / waterproofing compound applied to the open junction and excessive gaps in between the sheets when they do not sit tight nor hard up against each other*

### **SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "ROOF FLASHINGS/CAPPINGS" ?**

#### **Lifted flashings**

*The flashings installed need to be worked on as they are lifted and defective which could allow water to enter the roof void and the internal spaces below A roof plumber should be engaged to repair and make good this issue*

#### **Corroded flashings**

*The flashings are corroded and in need of repair or replacement A roof plumber would be the best*

contractor to call to have this repaired

### **Impact damaged flashings**

*The flashings installed needs to be worked on as they are defective A roof plumber should be engaged to repair and make good this issue*

### **Damaged and defective roof capping's**

*Repairs are required to the roof capping, to make the property and roof framing / void watertight*

## **SUB\_Q: WERE THERE ANY "MAJOR UNDULATIONS" WITHIN THE "ROOF PLANE" ?**

### **The roof has a minor but acceptable wave in the roof linings**

*The roof is not perfect but it's in a fair and reasonable condition, I had limited access on the day of the inspection*

## **SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "ROOF GABLE" ?**

### **Wood rot to gable fascia**

### **Wood rot to gable trimmings / timber members**

### **Wood rot in the gable barge / fascia board**

### **Twisted and bowed gable end cladding**

### **Damaged cladding to the gable end**

### **Missing cladding to the gable end**

### **Soffit linings / eaves within the gables are defective**

### **Paint / coating in poor condition**

*The gable and soffit linings need to be re-painted*

### **Gable eave linings are damaged and in need of repair**

### **Minor works are required to repair and make good the roof gable ends**

### **Mould and moisture seen within the gable eave lining boards**

## **SUB\_Q: DOES THE ROOF APPEAR TO BE "WATERTIGHT" ? CONSIDERING SKYLIGHTS, FLASHINGS, VENTS, VALLEY IRONS?**

**I did not inspect the entire roof elevation, as the gutter lines are above 2.7m from the natural ground, I did however inspect the roof in part, off a ladder / from a distance**

*As I did not see all aspects of the roof, I cannot comment nor can I give a comprehensive assessment and*

advice on this aspect of the roof Any comments made are on the basis of what I could see from a distance on the roof but my advice is not covering the entire property I suggest you have the roof assessed by two inspectors or a drone if you want a full and complete assessment of the roof elevations

**Roof cappings were seen to be bowed and distorted**

**Roof cappings were seen to be missing from the rooftop elevation**

**Roof cappings were seen to be missing in part**

#### **SUB\_Q: ROOF PLUMBING - WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "ROOF VALLEYS / GUTTERS / DOWNPipes" ?**

**There were missing gutters within the roof elevation**

*Gutters and downpipes should be installed to collect and control stormwater overflow from entering the subfloor areas of the house and surrounding structures*

**There were gutters that were damaged / dented / defective, gutters are not in a straight plane, the gutters are in need of repair / replacement**

*There is damaged / defective gutters on site. The gutter should be repaired to limit the possibility of having excess water flood the eaves lining, walls and floors below the gutter Constant leaking gutters can contribute towards pavers or tiles subsiding over time and a trip hazard is created, together with excessive water pooling under the subfloor areas of a property*

**There were gutters that were separated within the gutter joins**

*Gutter joins separated Repairs required in order to prevent deterioration by leaking Liasse with a plumber to have rectified*

**There were gutters disengaged from the fascia**

**I saw leaks within the downpipe joins**

*Downpipe joins leaking, have a roofing plumber repair / seal this issue while it's a minor defect*

#### **SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "EAVES / FASCIAS / BARGES" ?**

**The eave and soffit linings were detached / defective**

*Eave and soffit lining detached, damaged and loose. Get a carpenter to repair or replace the eaves / soffit linings.*

**The eave and soffit lining have moisture staining / bubbling visible within the finished surfaces**

*Staining / bubbling visible Have a painter re-paint / treat the surfaces to preserve the timber / fibro linings The staining appears to be old and not a recent leak, but the staining is visible Staining can occur due to blocked guttering An assessment by a plumber is advised prior to the painting of the timber or fibro*

## **There were damaged / defective eaves linings**

*The eaves / soffit linings are in place but they are in need of repair due to the defects seen within the eaves linings*

## **Moisture damage to the eaves / soffit linings board**

*Moisture / discolouration of the eaves linings, source of moisture should be determined and repaired and then the lining board should be repaired / made good*

## **There was bowed and defective eave lining boards**

### **The eave lining boards have mould and moisture present**

*The eaves are in need of rectification*

### **The timber fascia has fungal decay**

*Timber fungal decay evident Have carpenter repair or replace*

### **The timber fascia paintwork is defective / flaking**

*Flaking paint on sections of fascia Sand back and re-paint*

### **The timber fascia board is cracked / split**

*Fascia can be seen to be cracked / split, this should be replaced or repaired by a carpenter*

### **The timber bargeboard have fungal decay**

*Fungal decay seen to be present on the bargeboards Repairs to this area should be undertaken by a carpenter and painter*





## Question 12. 'ROOF VOID' / 'ATTIC' / 'ROOF SPACE'

### SUB\_Q: DID YOU ACCESS THE ROOF VOID ?

**The roof void was not inspected within the flat skillion roof area**

*I was not able to reach the roof void because there was no access hatch within the ceiling at the time of my inspection. This is normal for flat metal roof construction, as roof voids normally do not exist as the plasterboard linings are normally fixed directly to the underside of the roof rafters / beams. We, therefore, exclude this portion of the building within our report and you cannot rely upon this report for the element / roof void.*

**I did not access the roof void as there were obstructions below and around the manhole**

*There were obstructions in and around the manhole limiting the installation of a ladder and a safe entry*

and exit of the roof void Access was obstructed due to furniture / belongings / obstructions located below the manhole We recommend further inspection once access is made available within the roof void

#### SPECIAL NOTE: RE ACCESS TO ROOF VOID

- I went to inspect the roof void and I found the manhole located with the laundry above the dryer. The dryer and washing machine needs to be removed so I can install a step belief the manhole for direct access into the roof void
- I did not inspect nor report on any aspect of the roof void due to these obstructions



## Question 13. 'SUBFLOOR'

### SUB\_Q: DID YOU HAVE "FULL & UNOBSTRUCTED ACCESS" TO THE SUBFLOOR AREA WITHIN THIS PROPERTY?

No, but most, let's say approx. 60- 80% of the subfloor area was able to be inspected at the time of the inspection

As we have not been able to access the entire subfloor area, we cannot comment on the entire subfloor, we deem the entire subfloor area excluded from this report You cannot rely upon this report to reflect the true conditions of the entire subfloor area as it has not been inspected nor reported on within this report A second inspection is recommended once access is provided

No, I was however able to insert my arm / head / camera within the limited / restricted subfloor area only, and I only give you commentary on what I saw via that one access point on the day of my inspection

I could not physically enter the subfloor due to limited access / lower clearance I have commented on what I could see via my camera and arm being inserted within the subfloor Please take my advice within this subheading as part advice, and it's not a full nor comprehensive assessment of the subfloor I recommend access to the subfloor be made available if you want a full and compressive assessment and report of the subfloor

### SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "TIMBER FLOOR / BEARERS & JOISTS & SUPPORTING WALLS" ?

**Timber rot / wet rot damage seen to the timber members**

**Missing ant cappings along the perimeter walls**

Ant cappings are installed to mitigate / highlight possible termite / pest infestation

**Damaged / defective ant cappings along the perimeter walls**

Ant cappings should be installed in order to mitigate / highlight possible termite / pest infestation

**Corrosion evident in steel members**

**Missing packers between the top of the piers and the underside of the bearers**

This would result in a spring / bounce within the internal floor structure if left as is

### SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "TIMBER FLOOR / COLUMNS, POSTS & PIERS" ?

## **Missing / damaged / defective - ant cappings on top of the posts / piers**

*There are missing ant capping's within the subfloor area This is a major issue within the current Building Codes of Australia guidelines But: If you have your home inspected and sprayed every six to nine months it drastically reduces the risk of pest infestation If you have good crossflow ventilation within your subfloor area it reduces the risk for pest infestations, as termites like damp and dark areas If you have no timber or debris stored within your subfloor area it assists in reducing the possibility of pest infestation If you keep the subfloor area dry and free from damp, this reduces the risk for termites and other pest activity within the subfloor If you keep all your plumbing (sewer and stormwater lines) in order, this will assist in keeping the site and subfloor areas dry If you keep all external pathways maintained and have the surface water drain away from the subfloor areas, this will assist in keeping the subfloor areas pest-free Note: All properties built prior to the 1970s have no termite barriers installed, (pier capping, lineal capping) as it wasn't legislation then If you want, you can always have ant capping's retrospectively installed to most of the house, if not all areas A contractor can assess and quote on these works and have the works carried out within a few days to have the subfloor area comply with current regulations*

## **Missing / damaged / defective - ant cappings along the perimeter walls**

*There are missing ant capping's within the subfloor area This is a major issue within the current Building Codes of Australia guidelines But: If you have your home inspected and sprayed every six to nine months it drastically reduces the risk of pest infestation If you have good crossflow ventilation within your subfloor area it reduces the risk for pest infestations, as termites like damp and dark areas If you have no timber or debris stored within your subfloor area it assists in reducing the possibility of pest infestation If you keep the subfloor area dry and free from damp, this reduces the risk for termites and other pest activity within the subfloor If you keep all your plumbing (sewer and stormwater lines) in order, this will assist in keeping the site and subfloor areas dry If you keep all external pathways maintained and have the surface water drain away from the subfloor areas, this will assist in keeping the subfloor areas pest-free Note: All properties built prior to the 1970's have no termite barriers installed, (pier capping, lineal capping) as it wasn't legislation then If you want, you can always have ant capping's retrospectively installed to most of the house, if not all areas A contractor can assess and quote on these works and have the works carried out within a few days to have the subfloor area comply with current regulations*

## **SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "TIMBER FLOOR REGARDING VENTILATION / DAMPNESS" ?**

### **Inadequate ventilation within the subfloor areas inspected compared to NEW CONSTRUCTION REGULATIONS**

*Inadequate crossflow ventilation within the subfloor areas As with most older dwellings, subfloor ventilation is inadequate when compared with today's requirements The older dwellings have small rooms and subfloor chambers and hence there is less opportunity for movement of air within the subfloor, this is often because many properties have objects placed up against the external walls and landscaping hard up against the external walls, preventing natural air from flowing into the subfloor area You could improve the subfloor ventilation to meet today's regulations / requirements if desired, as is advisable in older / period and brick dwellings You can install additional air vents which would be a days work for a handyman and costs in the*

realms of \$600 to \$1,000 You could install a simple mechanical fan "DIY Pack" from \$600 for the equipment and an electrician can install it within a days work Or You could get a ventilation contractor to install a good quality mechanical fan system servicing the entire subfloor area for as little as \$1,500 and up to \$3,500 for a higher quality fan / low noise fan system

#### **SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "TIMBER FLOOR & MASONRY WALLS RELATING TO DAMPNESS / DECAY" ?**

**Minor timber decay evident to underside of floorboards**

**Minor timber decay evident to the bearers & joists**

**Minor dampness was seen within soil / foundations within this property**

**Installation of a mechanical fan within the subfloor would be a good idea to improve the lowering of the moisture content within the subfloor members and foundation materials**

#### **SUB\_Q: WERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE "SUSPENDED CONCRETE FLOORS" ?**

**I could not access the entire subfloor area where the suspended slab was, no comment due to no access to the entire area**

**I could not access the entire subfloor area where the entire suspended slab covers, but I was able to inspect part of it, and my comments made in this section are subject to inspection of this partial area**

**I was unable to access the entire subfloor area! I inspected a limited area (approx. 60-80% of the subfloor) not all areas were able to be inspected nor reported on due to limited access**

*The entire subfloor area is excluded from this report and any liability against its conditions If I have commented on the subfloor area, it's in part only for the area that I inspected If I have commented on the subfloor area do not assume that this condition is limited to that one area, other areas could have more defects Better access must be made available so a second inspection can be carried out and therefore we will be able to supply you a full and comprehensive assessment and report covering the entire subfloor area so that you can rely upon those facts A second inspection is recommended once access is provided*

**Timber was seen to be stored within the subfloor, it's best to have it removed and the subfloor clear of any timber or paper**

**Excess building waste was seen to be stored within the subfloor, it's best to have it removed for clear access within the subfloor area**

**All subfloor areas should be kept clear, clean, dry / damp free and well ventilated to avoid attracting termites to the subfloor**





## Question 14. 'SURFACE WATER / BOUNDARY FENCES / RETAINING WALLS'

### SUB\_Q: ARE THERE ANY SURFACE WATER INGRESS ISSUES WITHIN THIS SITE ?

**There is water pooling on the pavement and external walls / supporting member of the building - water is pooling on the pavement and wall / footing junction**

*Paving or paths along the sides of the property require amending to fall away from the walls of the dwelling. See a plumber or landscaper to assess. Further investigation required.*

**There is Natural Ground / Soil / Lawns found hard up against the buildings - Water is able to pond against the building**

*Ground and/or lawn along the sides of the property require amending to fall away from the walls of the dwelling. See a plumber or landscaper to assess. Further investigation required.*

**There are Garden beds installed against the external elevations of the property**

*Having garden beds installed close to or hard up against a building / your property is not ideal. Most homeowners love the idea of having soft landscaping next to a hard structure but in fact, it attracts moisture to the foundations, footings and subfloor areas of the property. All moisture should be directed away from a building/supporting wall/member and subfloor areas. It is common to find masonry walls within subfloor areas to be affected by dampness/moisture, with no building defect to be found but the moisture within the subfloor walls, this can be due to the owners watering their gardens which are in close proximity to the subfloor walls or adjacent foundations of a property.*

### SUB\_Q: WHAT ARE THE CONDITIONS OF THE BOUNDARY FENCES ?

**The boundary fences appears to be in reasonable condition for their age**





## Question 15. 'DETACHED / EXTERNAL GARAGE'

**SUB\_Q: WERE THERE ANY SIGNIFICANT DEFECTS SEEN WITHIN THE DETACHED GARAGE?**

**No control / expansion joints in the concrete floor**

**Walls within the garage have minor cracks within the walls**

**Walls within the garage are affected by water ingress, the source of the water must be confirmed and rectified**

**Walls within the garage have rising damp within the walls**

**The walls within the garage have moisture within the walls above 1m in height form the floor**

*This could mean that the moisture could be coming through the external elevations of the walls into the*

*internal garage walls, as rising damp tends to only show itself up to 1m in height, and anything beyond 1m in height is not common for rising damp issues*

### **External wall linings are weatherboard cladding which are damaged and in need of repair**

#### **Timber decay within the door unit**

*The timber door has decayed. Replacement required. It is preferable to have a solid core door fitted when exposed to weather.*

#### **Timber decay within the external window**

*The timber window is affected by wet and dry rot. Replacement/repairs to the timber members are required. It is preferable to have a solid timber member fitted when exposed to weather.*

#### **Timber decay within timber posts on either side of the garage door**

#### **No obvious termite barriers are In place**

**Timber framing / wall plates are in direct contact with the slab, wet and dry rot can develop in these timber due to constant moisture from the floor**

#### **Timber posts are in direct contact with the ground**

*Wet rot could be present at the base of the posts, it's best to have all timber posts or wall frames not in contact with the floor or moist / damp areas / surfaces to prevent wood rot developing within the timber framing*

#### **Roof cappings / flashings are damaged and in need of repair**

#### **No gutters**

*No gutters installed and this is creating moisture issues within the foundations, footings and wall frames/structure, together with attracting pest infestations to reach the building due to pooling and ponding water*

#### **No downpipes**



## Question 37. OVERALL ASSESSMENT OF ALL PLUMBING OVER AND ABOVE A PRE-PURCHASE BUILDING & PEST REPORT

### SUB\_Q: INTERNAL PLUMBING ASSESSMENT

#### SUB\_Q: KITCHEN - IS THE KITCHEN - SINK & TAPWARE FREE OF DEFECTS ?

**Yes, the sink & tapware are free of defects**

*The kitchen sink and taps were in acceptable condition at the time of inspection*

#### SUB\_Q: KITCHEN - IS THE KITCHEN SINK - WATER SUPPLY FREE OF DEFECTS ?

**The water supply operated freely**

*The water supply to the kitchen operated and drained freely at the time of inspection*

#### SUB\_Q: KITCHEN - IS THE KITCHEN - DRAINAGE - FREE OF DEFECTS ?

**Water drained freely at the time of inspection**

*At the time of my inspection, the water was tested and there were no leaks seen within the kitchen drain or any other exposed waste water within the kitchen cupboards*

#### SUB\_Q: BATHROOMS - ARE THERE ANY DEFECTS WITHIN THE TOILETS - "PAN & CISTERNS" ?

**The cisterns / pans / bidets are free of defects**

#### SUB\_Q: BATHROOMS - IS THE INSTALLATION OF THE TOILET / BIDET / CISTERN DEFECT FREE ?

**Cisterns / pans / bidets are correctly installed and are stable / rigid**

#### SUB\_Q: BATHROOM - ARE THERE DEFECTS WITH THE TOILET / CISTERN WATER SUPPLY ?

**There is running water within the toilet**

#### SUB\_Q: IS THE 'BATHTUB' FREE OF DEFECTS ?

**The bathtub has NO silicone sealant between the wall / ledge tiles**

*New silicone is required around the bathtub to seal the bath substructure and adjacent walls from water ingress*

#### SUB\_Q: BATHROOM - ARE THERE ANY DEFECTS WITHIN THE 'BATHTUB TAPS' ?

**The bathtub taps are free of leaks and the water supply operates correctly**

## **SUB\_Q: BATHROOM - BASIN / VANITY - TAPWARE**

### **Dripping tap(s) / leak within the fitting (possible faulty o-ring / spindle)**

*Tap(s) can be seen to be leaking through spindle, the o-ring requires replacement which can be undertaken by a plumber*

### **Defective Tapware**

*A plumber should be engaged to inspect and repair any leaks or defective fittings*

### **The taps were hard to operate at the time of my inspection**

*A plumber needs to repair the tap set, so water flows fluently and the taps are easy to operate*

### **The spout is loose / defective, minor issue**

*Minor adjustments are required to the basin spout, to have it fixed off to the vanity unit / basin*

### **Water supply has hammering / vibration within the concealed plumbing**

*Water hammer sound present when turning on / off the water supply taps, a plumber should be consulted*

## **SUB\_Q: BATHROOM - FLOOR WASTE / DRAINAGE**

### **There are blockages in the waterflow within the pipes**

*On visual inspection, the areas appeared to be blocked When testing the fixtures and fittings these items do not drain freely at the time of the inspection*

## **SUB\_Q: BATHROOM - DOES THE SHOWER LEAK ?**

### **Water damage along adjacent wall, suspected membrane failure**

*Flood test is required, to know if the waterproofing membrane within the bathroom or shower cubicle has failed or if there is a leak*

### **Water damage found at the base of the doorjamb and architrave**

*Flood test is required, to know if the waterproofing membrane within the bathroom or shower cubicle has failed*

### **Efflorescence leaching out of the BATHROOM floor tiles**

*The waterproofing within the shower cubicle may be leaking / leaching out, as there is efflorescence present in the bathroom floor tiles This could be due to moisture leaking out of the shower cubicle or the moisture within the shower cubicle is bridging over the shower-screen barrier as there is excessive moisture in the floor / wall tiles Further investigation is required to understand the true extent of this issue, if any, as sometimes it's just the sand leaching out salts present within the tile mortar bed and it's common that the efflorescence stops leaching out over time or when small remedial works are applied to the area in question*

## **Efflorescence leaching out of the SHOWER CUBICLE floor tiles**

*Efflorescence was present in bathroom shower cubicle floor tiles There are many reasons why efflorescence appears within bathroom floor tiles, a common reason is a tiler sometimes gets contaminated sand delivered to site, and then the sand used in the mortar bed is a mixture of "Sydney Sand" & "Bush Sand", as the salt level within the bush sand is high, which therefore assists in generating / contributing to these issues This issue has many solutions within the market place, one is to remove the grout and to re-grout the subject area with a product called FLOCK, which is placed / mixed within the new grout / mortar, to be applied to the subject area It's best to first understand if the subject area has excessive moisture issues or if it's simply the incorrect sand used and once determined it can be easily prepared by a tiler or builder*

### **Defect Rating: MAJOR DEFECT**

#### **SUB\_Q: BATHROOM - ARE THE 'SHOWER TAPS' IN WORKING ORDER ?**

**The shower taps are free of leaks and the water supply operates correctly**

#### **SUB\_Q: LAUNDRY - WERE THE 'LAUNDRY TAPS' IN WORKING ORDER ?**

**The taps are free of defects**

#### **SUB\_Q: LAUNDRY - WAS THE 'LAUNDRY TUB / CABINET' IN GOOD CONDITION ?**

**The tub and cabinets are free of defects**

#### **SUB\_Q: LAUNDRY - WAS THE LAUNDRY TUB - 'WASTELINE' - IN GOOD ORDER ?**

**The laundry wasteline / pipes were clear / unblocked at the time of my inspection**

*When testing the fixtures and fittings, the areas drained freely at the time of the inspection*

#### **SUB\_Q: HOT WATER SYSTEM**

**The hot water system appears to be in good / reasonable condition subject to the age of the unit at the time of my inspection**

*Hot water unit systems can, from time to time, simply fail, which will require a new unit or repairs carried out to it by an electrician or plumber Hot water units typically have a life expectancy of eight to fifteen years subject to the location of their installation There were no obvious defects seen within this hot water system that might lead us to raise concerns of the unit, but it should be regularly checked / tested / flushed to eliminate or mitigate the unit from failing, which could cause flooding within the local area of this hot water system if not checked frequently*

#### **SUB\_Q: ROOF VOID**

## **I saw no plumbing within the roof void**

*By the way, buildings are sometimes built with roof plumbing tucked away within cavities or attached to ceiling joists and concealed by insulation Further investigation is required to understand if there are plumbing lines located within the roof void*

## **Defect Rating: FURTHER INVESTIGATION**

### **SUB\_Q: SUBFLOOR**

**There were stormwater lines not sparged into the floor**

**I saw stormwater drainage lines leaking within the subfloor area**

**I saw PVC pipes from the habitable rooms above draining directly onto the floor and not into a wasteline**

**The water supply lines within the subfloor area need to be fixed off to the supporting substrate walls / floors to alleviate water hammer and possible future water leaks if left as is**

**I found excess moisture within the subfloor soil / foundation material - further investigation required to confirm the source of the water supply**

**I found the areas below the bathroom / shower cubicle to be damp and moist, meaning that there could be a leak within the plumbing or water proofing of the bathroom / shower cubicle above**

### **SUB\_Q: EXTERNAL PLUMBING ASSESSMENT**

**External garden taps appeared to be in working order with no defects found at the time of my inspection**

**There were damaged and exposed stormwater lines within the external elevation of the property**

#### **Damaged / Dented downpipes**

*There are downpipes that need to be repaired within this property Damaged and dented downpipes may lead to excess pooling of water under the subfloor area of the house or deck, pooling water or damp subfloors can draw termites to a property Downpipes are not costly items to be repaired or replaced, most handy homeowners can replace a downpipe within thirty minutes with supplies from bunnings or a plumbing supplier*

#### **Downpipe(s) were seen to have leaks within the joins**

*Downpipe joins leaking, have a roofing plumber repair / seal this issue while it's a minor defect*

#### **I saw missing downpipe(s) within this property**

*All gutters must be connected to a downpipe, which is connected to the in-ground stormwater line*

## **I saw excessive moisture on the floor / walls / surrounding areas below the roof plumbing (gutters and downpipes)**

*Further works / investigation is required to address the excessive moisture seen on-site within this property (walls and floors)*

## **There were missing gutters within the roof elevation**

*Gutters and downpipes should be installed to collect and control stormwater overflow from entering the subfloor areas of the house and surrounding structures*

## **I did not access the roof & roof plumbing above 3.6m in height**

*I did not access the roof & roof plumbing as the gutter line was in excess of 2.7m from the ground level below. As per Work Health Occupational Safety Regulations, any roof with a gutter line over 2.7m from the ground level below level is inaccessible for a single inspector as it does not allow the safe use of a ladder as detailed in AS4349.1-2007 section 3.2.2 - Safe and reasonable access, this was the case with this property If I comment on the roof / roof plumbing and it's over 2.7m in height, our assessment is a general comment only, on the basis of the inspection being carried out from afar (ground floor level or from the overlooking windows or verandas) but it's not a comprehensive and complete assessment that you can rely upon when making a decision when buying a property If you want a complete and comprehensive assessment of the roof, we must return and carry out the assessment with a second inspector and then you can rely upon the facts and findings within our report The roof sheeting and roof plumbing on this property is excluded from this assessment and this report NOTE: If comments are made on the roof plumbing, it's because we reported on the areas below 2.7m in height in this report, but anything above that height is excluded from our assessment and this report*

## **Gutter joins leaking**

*Gutter joins leaking Excess water leaking is conducive to timber fungal decay and an increased risk of termite infestation if left as is This can cause deterioration of cladding plus wall and roof framing This also can be the cause for the foundations of the dwelling to swell, and cracking within the walls and footings*

## **Gutter joins separated**

*Gutter joins separated Repairs required in order to prevent deterioration by leaking Liasse with a plumber to have rectified*

## **Gutters are ponding**

*Gutters are ponding Possibly due to debris or poor fall of actual gutter installation You must have gutters cleaned and assessed by a plumber for adequate fall Also regularly clean to prevent ponding, as ponding water will contribute to rust*

## Question 38. ELECTRICAL ASSESSMENT - OVER AND ABOVE A PRE-PURCHASE BUILDING & PEST VISUAL REPORT

### SUB\_Q: INTERNAL ELECTRICAL ASSESSMENT

### SUB\_Q: EXHAUST FAN

Exhaust fan is faulty

### SUB\_Q: POWERPOINTS

All powerpoints are installed compliant with current new construction regulations regarding their location and water source

### SUB\_Q: LIGHT SWITCHES

The light switching fixtures are poorly installed / adjustments required

Faulty light switch(s)

### SUB\_Q: LIGHT FITTINGS

Fittings partially detached from ceiling / wall

Damaged fittings / Missing bulbs

Light fittings did not turn on when the light switch was tested

LAUNDRY - No exhaust fan found within the laundry

SUBFLOOR - No exhaust fan found within the subfloor

**This property does not meet the minimum requirements for smoke alarms**

A licensed electrician or installer needs to be commissioned to have the correct number of smoke alarms installed and checked every twelve months This is a very important issue that needs to be addressed ASAP  
**THIS IS A MAJOR DEFECT**

### SUB\_Q: ELECTRICAL METER BOX

An RCD safety switch was installed

An RCD safety switch was installed We recommended that an electrician carry out a safety inspection as I

am not able to ascertain if any electrical defects exist or if any non-compliant electrical works have been carried out at this dwelling prior to purchasing this dwelling.

## **SUB\_Q: ROOF VOID**

### **SPECIAL NOTE: RE ROOF VOID**

- *There was no access to the roof void therefore no comments were made about the electrical trade within the roof void. Once the dryer and washing machine machine has been moved and direct access is created into the roof void a second inspection covering the roof void plumbing and electrical and asbestos is recommended prior to purchasing.*

## Question 52. TERMITES / CHEMICAL DELIGNIFICATION / WOOD ROT / VENTILATION

**No live termites where visible at the time of my inspection, subject to the areas that where available to me.**

*No visible evidence of active termites found at the time of inspection in the areas that were able to be inspected and noted within this report as inspected*

**We recommend a termite management proposal, but we were not engaged to prepare one for this project.**

*Although we are not engaged to provide a termite management proposal, a full written proposal is strongly recommended. Please contact a licensed pest control operator for further advice. This recommendation should be implemented as a matter of urgency and prior to you buying this property. A full written subterranean termite management proposal is recommended in accordance with Australian Standards*

**No evidence of termite damage was found within the timber members.**

*I have claimed that I have not seen any timber damage due to current termite activity within this property. NOTE: If the inspector claims he has not seen any termite activity within the areas that he has inspected, this does not mean that there are no termites within the property. The inspector does not lift the roof insulation batts, nor can he inspect all timber junctions and timber members within the roof voids, sub floor areas or within the wall cavities due to limited access and limited time available to inspect this property for this pre-purchase inspection and report. In some cases, the vendors belongings can conceal current and past termite activity. We strongly recommend a pest contractor assess and chemically treat the property prior to being purchased, this will give you a twelve-month warranty over the property and it will give you a firm security over the property prior to you investing in it.*

**I saw no evidence of a previous termite management program.**

*I saw no evidence in support that this property has been inspected on a regular basis by a pest contractor for termites. This property must be inspected and treated for past and or present pest infestations and this must be done prior to you buying this property*

**I did not inspect the entire subfloor area within this property.**

*We recommend that a second inspection be carried out, prior to purchasing the home, by a specialist pest contractor. We recommend that the pest contractor or our office return and re-inspect the entire subfloor once access is made available and that a thermal camera assessment be commissioned by the potential purchaser to understand if there are any concealed damage or any pest activity being present within this property that you should consider before purchasing the property*

**I recommend a specialized pest contractor be engaged to carry out an inspection of this property**

**I recommend that you have this property inspected by a PEST specialist before you purchase this property as there is a high risk of pest infestation**

*This property is an extremely high-risk property for ongoing termite issues*

**No chemical delignification was seen within the roof void that was able to be inspected. NOTE: not the entire roof void was able to be inspected.**

*No Chemical Delignification was found. In the past, this type of timber damage has been referred to using many different terms, Hairy Timber or Defibrosis. In the early 1990's it was agreed that the true description of this type of timber deterioration is Chemical Delignification. This term describes the deterioration in its true form, the lignin in timber is damaged by airborne chemicals. Lignin is the natural glue that holds the fibres of wood together and is therefore a major component of any wood. When the lignin is broken down or damaged the fibres then detach from each other creating a visible hairy surface to a section of the timber, as the delignification progresses the structure of the timber section is weakened and therefore chemical delignification is regarded as a structural pest of timber in service. Chemical Delignification damage is most commonly found in timber sections used as roof tile battens of buildings that are located in close proximity to the sea, large chemical factories or major arterial roads that have heavy traffic. Buildings close to the sea are exposed to salts brought to land by wind and sea breezes and dwellings within five kilometers of the sea are often found to have chemical delignification in their roof tile battens. Buildings surrounding chemical factories that have chemical delignification would indicate that the air quality where this building is located is influenced by the chemical production process and/or use of chemicals by the adjoining industry. The cost of repair of the chemical delignification damage would need to be taken into account when this damage is found but it also would be prudent to consider the possibility that the air quality in the area may be affected by chemicals and therefore if any health hazards are present that could cause long term damage to an occupants health. Buildings found to have chemical delignification that are in close proximity to a major arterial road would often be affected by fumes from vehicles using the adjoining roads. Chemical delignification generally will not occur to timbers in service that are sealed, painted or well oiled as the lignin is protected from airborne chemical substances. Therefore as with most timber damage if we can remove the cause of the damage or protect the timber from exposure to the cause of damage the damage will cease. If the damage is initiating, the timber section can be painted or oiled to stop further deterioration, where the chemical delignification damage is advanced then replacement of the damaged timbers is needed. When chemical delignification is found in roof tile battens or rafters then it is recommended not to have persons walk on the roof as collapse may occur and therefore a fall could cause bodily injury. Chemical delignification is more common in species of softwood timbers although certain species of softwood are more prone to damage than others. Chemical delignification may only occur after timbers have been exposed to airborne substances for a relatively long period of time, it is not common to find chemical delignification in buildings that are younger than ten years. The most common timber species that is used in buildings in the Sydney area that we find damaged is the Douglas fir otherwise known as Oregon. Douglas fir is an imported timber species that originates in Northern America and Canada.*

**No borers were sighted today but I did not gain access to all areas within the property and external elevations**

*This property must be treated by a pest contractor prior to purchasing, if you want to be certain that there are no active borers within the property, garden and surrounding structures within the boundary*

**I did not see a current pest control sticker within the electrical meter box or within the kitchen cupboards.**

#### **SUB\_Q: WERE ACTIVE (LIVE) TERMITES FOUND?**

**No, None were visible at the time of my inspection**

*No visible evidence of active termites found at the time of inspection in the areas that were able to be inspected and noted within this report as inspected*

#### **SUB\_Q: IS A TERMITE MANAGEMENT PROPOSAL RECOMMENDED?**

**Yes, but we were not engaged to prepare proposal**

*Although we are not engaged to provide a termite management proposal, a full written proposal is strongly recommended. Please contact a licensed pest control operator for further advice. This recommendation should be implemented as a matter of urgency and prior to you buying this property A full written subterranean termite management proposal is recommended in accordance with Australian Standards*

#### **SUB\_Q: WAS EVIDENCE OF TERMITE DAMAGE FOUND WITHIN TIMBER?**

**No**

*I have claimed that I have not seen any timber damage due to current termite activity within this property  
NOTE: If the inspector claims he has not seen any termite activity within the areas that he has inspected, this does not mean that there are no termites within the property The inspector does not lift the roof insulation batts, nor can he inspect all timber junctions and timber members within the roof voids, sub floor areas or within the wall cavities due to limited access and limited time available to inspect this property for this pre-purchase inspection and report. In some cases the vendors belongings can conceal current and past termite activity. We strongly recommend a pest contractor assess and chemically treat the property prior to being purchased, this will give you a twelve month warranty over the property and it will give you a firm security over the property prior to you investing in it*

#### **SUB\_Q: WAS EVIDENCE OF A POSSIBLE PREVIOUS TERMITE MANAGEMENT PROGRAM NOTED?**

**No, I saw no evidence in support that this property has been inspected on a regular basis by a pest contractor for termites**

*I saw no evidence in support that this property has been inspected on a regular basis by a pest contractor for termites This property must be inspected and treated for past and or present pest infestations and this must be done prior to you buying this property*

#### **SUB\_Q: WAS THE 'ENTIRE' SUBFLOOR AREA INSPECTED?**

## No it was not

We recommend that a second inspection be carried out, prior to purchasing the home, by a specialist pest contractor. We recommend that the pest contractor or our office return and re-inspect the entire subfloor once access is made available and that a thermal camera assessment be commissioned by the potential purchaser to understand if there are any concealed damage or any pest activity being present within this property that you should consider before purchasing the property.

## SUB\_Q: DO YOU RECOMMEND A SECOND INSPECTION BY A SPECIALIZED PEST CONTRACTOR?

**Yes, I recommend a specialized pest contractor be engaged to carry out an inspection of this property**

## SUB\_Q: NEXT INSPECTION RECOMMENDED IN

**I recommend that you have this property inspected by a PEST specialist before you purchase this property as there is a high risk of pest infestation**

*This property is an extremely high-risk property for ongoing termite issues*

## SUB\_Q: WAS EVIDENCE OF CHEMICAL DELIGNIFICATION FOUND?

### No, But I did not access the roof void

No Chemical Delignification was found. In the past this type of timber damage has been referred to using many different terms, Hairy Timber or Defibrosis. In the early 1990's it was agreed that the true description of this type of timber deterioration is Chemical Delignification. This term describes the deterioration in its true form, the lignin in timber is damaged by airborne chemicals. Lignin is the natural glue that holds the fibres of wood together and is therefore a major component of any wood. When the lignin is broken down or damaged the fibres then detach from each other creating a visible hairy surface to a section of the timber, as the delignification progresses the structure of the timber section is weakened and therefore chemical delignification is regarded as a structural pest of timber in service. Chemical Delignification damage is most commonly found in timber sections used as roof tile battens of buildings that are located in close proximity to the sea, large chemical factories or major arterial roads that have heavy traffic. Buildings close to the sea are exposed to salts brought to land by wind and sea breezes and dwellings within five kilometers of the sea are often found to have chemical delignification in their roof tile battens. Buildings surrounding chemical factories that have chemical delignification would indicate that the air quality where this building is located is influenced by the chemical production process and/or use of chemicals by the adjoining industry. The cost of repair of the chemical delignification damage would need to be taken into account when this damage is found but it also would be prudent to consider the possibility that the air quality in the area may be affected by chemicals and therefore if any health hazards are present that could cause long term damage to an occupant's health. Buildings found to have chemical delignification that are in close proximity to a major arterial road would often be affected by fumes from vehicles using the adjoining roads. Chemical delignification generally will not occur to timbers in service that are sealed, painted or well oiled as the lignin is protected from airborne chemical substances. Therefore as with most timber damage if we can remove the

cause of the damage or protect the timber from exposure to the cause of damage the damage will cease. If the damage is initiating, the timber section can be painted or oiled to stop further deterioration, where the chemical delignification damage is advanced then replacement of the damaged timbers is needed. When chemical delignification is found in roof tile battens or rafters then it is recommended not to have persons walk on the roof as collapse may occur and therefore a fall could cause bodily injury. Chemical delignification is more common in species of softwood timbers although certain species of softwood are more prone to damage than others. Chemical delignification may only occur after timbers have been exposed to airborne substances for a relatively long period of time, it is not common to find chemical delignification in buildings that are younger than ten years. The most common timber species that is used in buildings in the Sydney area that we find damaged is the Douglas fir otherwise known as Oregon. Douglas fir is an imported timber species that originates in Northern America and Canada.

#### **SUB\_Q: WAS EVIDENCE OF WOOD BORERS FOUND?**

**No, But I did not access all areas of the subfloor area due to restricted access within the subfloor**

No borers were sighted today in the areas that I could gain access to within the subfloor area. This home must be treated by a pest contractor prior to purchasing this property if you want to be certain that there are no active borers within the house, garden and surrounding structures within the boundary of this home.

#### **SUB\_Q: WAS EVIDENCE OF FUNGAL DECAY, WET OR DRY ROT FOUND?**

**Yes within the Internal doors**

**Yes within the external doors**

**Yes within the internal windows**

**Yes within the external windows**

**Yes within the timber fascia**

**Yes within the timber barge boards**

**Yes within the roof trimmings / timber members**

**Yes within the soffit linings**

**Timber stairs**

**Balustrading**

**Handrails**

**Decking boards**

**Bearers and Joists**

## **Staircases - timber members**

### **Timber posts**

### **Wall cladding**

### **External wall trimmings**

## **SUB\_Q: WAS EVIDENCE OF EXCESSIVE MOISTURE FOUND?**

### **Yes, water pooling against structure**

*Water is pooling on the soil adjacent to the building structure. This may be due to a drainage problem or some other factor. This should be rectified as moist soil conditions are highly conducive to timber pest attack, ideally contact a plumber for their opinion*

### **Yes, poor subfloor ventilation**

*Poor sub floor ventilation and drainage needs to be improved. This should be rectified as these conditions are highly conducive to timber pest attack.*

### **Yes, damp soil abutting structure**

*Damp soil conditions abutting the building structure. This maybe due to a drainage problem or some other factor. This should be rectified as moist soil conditions are highly conducive to timber pest attack.*

### **Yes, faulty stormwater pipe(s)**

*The faulty storm water downpipe(s) should be repaired so that it does not cause excessive moisture. Excessive moisture conditions are ideal for timber pest attack.*

### **Yes, faulty guttering**

*The faulty guttering should be repaired so it does not cause excessive moisture. Excessive moisture conditions are ideal for timber pest attack.*

## **SUB\_Q: CONDUCTIVE CONDITIONS - IS THE SUBFLOOR WELL VENTILATED?**

### **No, the subfloor is not well ventilated, a fan or extra air vents should be considered to be installed**

*A subfloor fan is not expensive to have installed and it will improve the subfloor ventilation issue instantly / over a short period of time. You will see a considerable improvement in the overall subfloor area if the correct fan is selected and installed or additional external and internal air vents are installed within the subfloor area of this property*

## **SUB\_Q: WAS THE FINISHED GROUND / PAVING LEVEL ABOVE THE INTERNAL FLOORS? OR WERE WEEP HOLES / AIR VENTS OBSTRUCTED?**

### **Yes, soil / paths / paving higher**

*The level of some external soil/concrete paths/paved areas is either higher than or at a similar level than, of*

*that of the internal floors. This situation may allow or have allowed concealed termite entry and also may cause drainage issues. We strongly recommend the lowering of concrete and/or soil to that area(s) below the internal slab/floor level to reduce the risk of concealed termite entry and drainage issues.*

### **Yes, external cladding in contact with soil**

*External cladding is in contact with concrete / soil, this may allow or have allowed concealed termite entry and we recommend modifications be made so that the concrete / soil is not in contact with the cladding*

### **Yes, garden beds abutting structure**

*Garden beds close to or abutting the external walls of the structure and have breached any previous barriers. These can allow concealed termite entry into the structure, we recommend the removal of these gardens and termite treatment to rectify.*

### **Yes, covered subfloor vents**

*The subfloor vents have been partially covered by an exterior element, either soil or concrete slab. This limits the airflow to the subfloor space not allowing it to dry which will see potential from pest attack*

## **SUB\_Q: WAS EVIDENCE OF BRIDGING OR BREACHING FOUND?**

**No, there were no defects where found at the time of the inspection, all appears to be in order**

### **Yes, there are concrete slabs against the external walls of the property**

*Concrete slabs/paths placed against the external walls and slabs of the structure increase the chances that pest / termites can enter the cavities of the building via concealed openings within the external walls and floor junctions. We recommend the lowering of these slabs/paths to 75 millimetres below the slab edge or the use of a chemical termiticide treatment as an alternative method if no treatments were made, or if the life expectancy of the treatment has expired or nearly expired.*

## **SUB\_Q: WAS EVIDENCE OF ANY OTHER CONDITION CONDUCIVE TO TIMBER PEST ATTACK FOUND?**

### **Yes, external timbers in contact with concrete/soil**

*Some external timber(s) are in contact or in close contact with the concrete/soil. This may allow or have allowed concealed timber pest activity and/or damage. The situation should be modified so that timber to ground contact does not occur. A clearance of at least 75 millimetres is recommended.*

### **Yes, external cladding in contact with concrete/soil**

*External cladding is in contact with concrete/soil, this may allow or have allowed concealed termite entry and we recommend modifications be made so that the concrete/soil is not in contact with the cladding*

### **Yes, decking timbers in contract with soil**

*Decking timbers are in contact with the soil and may allow or have allowed concealed timber pest activity and/or damage. These should be modified so that timber to ground contact does not occur.*

### **Yes, landscaping timber abutting**

*Landscaping timbers abutting the external areas of the dwelling, these should be removed as they may be concealing timber pest activity and/or damage and are highly attractive as a food source. It is not possible to fully inspect these timbers and they may be concealing timber pest activity and/or damage. This will only be discovered when the timbers are removed.*

### **Yes, timber stairs are in contact with the floor**

*Stair timbers are in contact with or are in close contact with; concrete and/or earth You must arrange to either remove, or modify so this does not occur. Timbers in ground contact or in close contact to earth may allow concealed access for termite activity A minimum clearance of 75 millimetres is recommended.*

### **Yes, rusty / faulty ant capping**

*Rusty and / or faulty ant capping. Ant capping should be kept in good order to be effective. Contact a builder to inspect and determine if it needs replacement or use a termiticide barrier to rectify as an alternative method.*

### **Yes, damaged / defective lineal ant cappings**

*Get a carpenter or pest contractor in to make good this issue - easy and inexpensive to make good*

### **Yes, damaged / defective ant cappings**

*Any person/adult can buy an ant capping from there local hardware and install it themselves. ( no tradies required ) You don't need to be a specialist to install a metal cap on top of a pier, you may need to modify the existing capping which you will need a pair of plyers, you may simply need to lift the floor slightly with a car jack and then install the new ant capping I suggest that you watch a quick Youtube video on how to install an ant cap onto a pier to get the job done yourself !!!!*

### **Yes, missing lineal / wall ant cappings**

*I suggest you consider having the lineal ant cappings installed ( retrospectively ) or have a pest contractor inspect and report on the subfloor conditions on a regular basis*

### **Yes, missing pier ant cappings**

*Ant capping is missing, we recommend you have this addressed via installing new ant cappings or by having the property regularly inspected and treated by a pest contractor*

## **SUB\_Q: IS THERE A PEST NOTIFICATION LABEL WITHIN THE ELECTRICAL METER BOX OR WITHIN THE KITCHEN CUPBOARD?**

### **No sticker seen - Minor Defect**

*I recommend that you have this property inspected for termites and chemically treated every 6-9 months*

## **Question 53. OBSTRUCTIONS WITHIN THIS PROPERTY AT THE TIME OF MY INSPECTION**

## **SUB\_Q: WHICH AREAS WERE 'NOT ABLE TO BE INSPECTED IN FULL?'**

### **Roof void due to NO ACCESS**

*We could not gain access to the roof void and we therefore exclude the entire roof void from our assessment and this report*

### **Subfloor area due to LIMITED ACCESS**

*We gained access to the subfloor area IN PART only Due to restricted access / spaces within the subfloor area we could not inspect all subfloor chambers within the subfloor area We therefore could not access and report on ALL AREAS and nor do we know the conditions of the entire subfloor floor area, and we therefore exclude the entire subfloor area of this property from this report (Building & Pest report)*

### **External roof linings and roof plumbing**

## **Question 54. RECOMMENDATIONS**

### **SUB\_Q: DO YOU RECOMMEND A SUBTERRANEAN TERMITE TREATMENT PROGRAM ?**

**Yes, I do recommend a subterranean termite treatment program**

### **SUB\_Q: DO YOU RECOMMEND FUTURE INSPECTIONS BE CARRIED OUT, IF SO AT WHAT INTERVALS ?**

**Yes, every 6 to 9 months**

*Pest inspections and treatments should be applied to properties between 9 and 12 months but as this property is not a new build and not 100% compliant, I suggest a more frequent inspection and treatment plan be implemented within this property to lower the risk of termite and pest infestation to this property*

### **SUB\_Q: DO YOU RECOMMEND THAT A SEPARATE, MORE INVASIVE INSPECTION BE CARRIED OUT PRIOR TO PURCHASING THE PROPERTY ?**

**Yes, I do recommend one, as not all aspects of the property were able to be inspected**

*I strongly recommend a specialised pest contractor, inspect, report on and treat this property I recommend that you engage a specialised pest contractor that has a thermal camera of a commercial-grade quality which will be able to scan through the walls, ceilings and floors to detect any live and / or concealed termites Should you want our office to carry out such a report, we can send our specialist pest consultant to the property and he can x-ray / apply his thermal camera to the timber members and supply you further advice beyond this standard Building & Pest Report For our office to return and to apply a thermal camera assessment through the timber members our fee will be \$480 + GST and the findings will be integrated within this report once they arrive*

## Question 55. SUMMARY

**SUB\_Q: WERE ACTIVE SUBTERRANEAN TERMITES (LIVE SPECIMENS) FOUND ?**

No, Read the Report in Full

**SUB\_Q: WAS VISIBLE EVIDENCE OF SUBTERRANEAN TERMITE WORKINGS OR DAMAGE FOUND ?**

No, Read the Report in Full

**SUB\_Q: WAS VISIBLE EVIDENCE OF BORERS OF SEASONED TIMBER FOUND ?**

No, read the report in full

**SUB\_Q: WAS EVIDENCE OF DAMAGE CAUSED BY WOOD DECAY (ROT) FUNGI FOUND ?**

Yes, read the report in full

**SUB\_Q: ARE FURTHER INSPECTIONS RECOMMENDED ?**

Yes, read the report in full

**SUB\_Q: WERE ANY MAJOR ISSUES IDENTIFIED WITHIN THE PEST REPORT (STRUCTURAL ISSUES OR POSSIBLE PEST INFESTATION ISSUES) THAT SHOULD BE CONSIDERED BEFORE YOU BUY THIS PROPERTY ?**

Yes, Mid range issues / typical for a house of this age - Read the Report in Full

**SUB\_Q: AT THE TIME OF THE INSPECTION, THE DEGREE OF RISK OF SUBTERRANEAN TERMITE INFESTATION WAS CONSIDERED TO BE:**

High

## Credits

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