

ZONING INFORMATION:

ADDRESS: 2749 JACKSON AVE.,
LONG ISLAND CITY, NY
BLOCK: 432
LOT: 3
ZONE: M1-5/ R9 (LIC-QUEENS PLAZA)
MAP #: 9d
C.C.: I-B
U.G.: 2A (APARTMENTS) 6A (RETAIL)
O.G.: R2 (RESIDENTIAL) M (RETAIL)

LOT SIZE:
LOT AREA= 4000 SF

USE REGULATIONS:

32-11 USE GROUP 2A PERMITTED AS-OF-RIGHT
32-14 USE GROUP 6A PERMITTED AS-OF-RIGHT

BULK REGULATIONS (LIC QUEENS PLAZA)

117-502 QUEENS PLAZA SUB-DISTRICT PLAN
THE PROJECT IS LOCATED IN MAP 1, AREA B-M1-5/R9,
RESIDENTIAL DESIGNATED DISTRICT.
THE PROJECT IS LOCATED IN MAP 2-GROUND FLOOR USE AND
FRONTAGE OF QUEENS PLAZA DISTRICT PLAN, ZR 117-512 SHALL
APPLY.

117-513 TRANSPARENCY REQUIREMENT

WITHIN QUEENS PLAZA SUB-DISTRICT...SHALL APPLY TO ALL
DEVELOPMENTS...AT LEAST 50% OF A BUILDING'S STREET WALL
SURFACE SHALL BE GLAZED AND TRANSPARENT AT GROUND FLOOR
LEVEL. FOR THE PURPOSED OF THE GLAZING REQUIREMENTS, THE
BUILDING'S STREET WALL SURFACE AT GROUND FLOOR TO THE
HEIGHT OF THE CEILING OR 14' ABOVE GRADE, WHICHEVER IS LESS.
THE LOWEST POINT AT ANY POINT OF ANY TRANSPARENCY THAT IS
PROVIDED TO SATISFY THE REQUIREMENT...SHALL NOT BE HIGHER
THAN 4' ABOVE CURB LEVEL.

117-522 MAX. FLOOR AREA RATIO

AREA B= 8.0
MAX. FAR=4000 X 8.0=32,000 SF

117-523(a) LOT COVERAGE

ALL RES. BUILDING...SHALL COMPLY WITH THE LOT COVERAGE
REQUIREMENTS...IN SEC. 23-153.

23-153 FOR QUALITY HOUSING BUILDINGS

CORNER LOT=100%
MAX. PERMITTED FOOTPRINT=100% X 4000= 4000 SF
PROPOSED LOT FOOTPRINT = 2765 SF < 4000 SF O.K.

QUALITY HOUSING PROGRAM

23-153
MAX. FAR= 7.99 (SUPERSEDES BY 117-522, MAX. FAR=8.0)
MAX. LOT COVERAGE FOR CORNER LOT=100%

23-22 MAX. NUMBER OF DWELLING UNITS
R9 = 740 FACTOR
= (LOT AREA)x(MAX. RES. FAR)/FACTOR
= 4000 x 8 /740
= 32000 / 740 = 43.24 UNITS ALLOWED
PROPOSED 35 UNITS < 43.24 - OK

117-532(a) HEIGHT AND SETBACK (AREA B)

MIN. BASE HEIGHT: 100'
MAX. BASE HEIGHT: 150'
INITIAL SETBACK ON WIDE STREET: 10'
INITIAL SETBACK ON NARROW STREET: 15'

PROPOSED BUILDING BASE HEIGHT= 118'-0" OK

PROPOSED BUILDING HEIGHT=150'-0" OK

117-531 STREET WALL LOCATION

a) ON WIDE STREET....THE STREET WALL OF A BUILDING SHALL BE
LOCATED ON THE STREET LINE AND EXTEND ALONG THE ENTIRE WIDTH OF
THE STREET FRONTAGE OF THE ZONING LOT AND RISE WITHOUT SETBACKS
UP TO AT LEAST MIN. BASE HEIGHT OR THE HEIGHT OF THE BUILDING.
RECESSES, NOT TO EXCEED 3' IN DEPTH FROM THE STREET LINE, SHALL
BE PERMITTED ON THE GROUND FLOOR WHERE REQUIRED TO PROVED
ACCESS TO THE BUILDING.
PROPOSED 3" SETBACK @ RES. ENTRY AND EXIT. SEE A102

c) ON A WIDE STREET ABOVE THE GROUND FLOOR LEVEL, UP TO 30% OF
THE AGGREGATE WIDTH OF STREET WALLS MAY BE LOCATED BEYOND THE
STREET LINE, IN COMPLIANCE WITH OUTER COURT REGULATIONS.

LOT WIDTH=40'-0", 30% X 40'= 12'

PROPOSED 12' STREET WALL LOCATED 2' BEYOND THE STREET LINE. SEE
A104~A108 FOR DETAIL.

23-841 NARROW OUTER COURT

IF AN OUTER COURT IS LESS THAN 30' W, THE WIDTH OF SUCH OUTER
COURT SHALL BE AT LEAST ON AND ONE-THIRD THE DEPTH OF SUCH
OUTER COURT.

117-525 YARD REGULATIONS

NO SIDE YARD REQUIRED.

26-33 PLANTING STRIPS

A MIN. THREE-FOOT WIDE PLANTING STRIP SHALL BE PROVIDED
ADJACENT TO AND ALONG THE ENTIRE LENGTH OF THE REQUIRED CURB.
WITHIN THE REQUIRED PLANTING STRIP, ONE TREE OF AT LEAST THREE
INCHES IN CALIPER SHALL BE PLANTED FOR EVERY 25' OF LENGTH OF
SUCH PLANTING STRIP.

26-41 STREET TREES CALCULATION

PROVIDE ONE STREET TREE EVERY 25' OF STREET FRONTAGE OF THE
PROPERTY
- 40'/25' =1.6, 2 STREET TREES REQUIRED
2 STREET TREES WILL BE PLANTED OFF SITE -OK

28-24 LAUNDRY FACILITY

1 WASHING MACHINE PER 20 UNITS, 1 DRYER PER 40 UNITS
35/20=1.75=2, 35/40=0.875=1, 2 WASHERS AND 1 DRYER REQUIRED.
PROPOSED LAUNDRY ROOM IN CELLAR, 2 WASHERS, 2 DRYERS - OK

ZONING CALCULATION

FLOOR	BUILDING GROSS FLOOR AREA (SQ.FT.) **	RESIDENTIAL (SQ.FT.)	COMMERCIAL (SQ.FT.)	DEDUCTION (SQ.FT.)*	TOTAL ZONING FLOOR AREA (S.F.)	PROPOSED UNIT #
USE GROUP		U.G. 2	U.G. 6			
CELLAR*	4000	2135	1865			
1	3898.6	224.6	3350.0	324.0	3574.6	
2	3532.1	216.8	3265.7	49.6	3482.5	
3	2765.0	1443.5		1321.5	1443.5	2
4	2765.0	2367.4		397.6	2367.4	4
5	2765.0	2367.4		397.6	2367.4	4
6	2765.0	2367.4		397.6	2367.4	4
7	2765.0	2367.4		397.6	2367.4	4
8	2765.0	2367.4		397.6	2367.4	4
9	2765.0	2367.4		397.6	2367.4	4
10	2747.0	2354.0		393.0	2354.0	3
11	2747.0	2354.0		393.0	2354.0	2
12	2747.0	2354.0		393.0	2354.0	2
13	2747.0	2354.0		393.0	2202.6	2
ROOF	722.3	0.0			0	
TOTAL	42496.0	25505.3	6615.7	5653	31969.6	35
FAR		6.38	1.65		7.99	
MAX. FA OF BUILDING				31969.60		
TOTAL FAR OF BUILDING				7.99 < 8.00 (ZR117-522)		
				(LOT AREA: 4,000 SF)		

* CELLAR FLOOR, CHASE & MECH. SPACE NOT COUNT AS ZONING FLOOR AREA. (ZR 12-10)

** TOTAL BUILDING GROSS AREA INCLUDE CELLAR F.A. & DEDUCTIBLE FLOOR AREA.

*** PARKING WAIVER IN SMALL ZONING LOT IN HIGH BULK DISTRICT (ZR 25-242)

NOTE: THIS IS A SCHEMATIC DESIGN
& SHALL SUBJECT TO REVIEW
& INTERPRETATION BY
NYC DEPT. OF BLDGS ON
ZONING AND BUILDING CODES.

PROJECT: 27-49 JACKSON AVENUE
LONG ISLAND CITY, NY
MIXED USE BUILDING

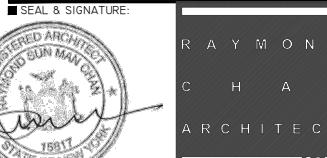
DRAWING TITLE:

ZONING INFO.

MEP ENGINEER: ALL CITY ENGINEERING, PC
161 BAY 46TH STREET, BROOKLYN, NY, 11214
Tel: (917) 832-0824

STRUCTURAL ENGINEER:

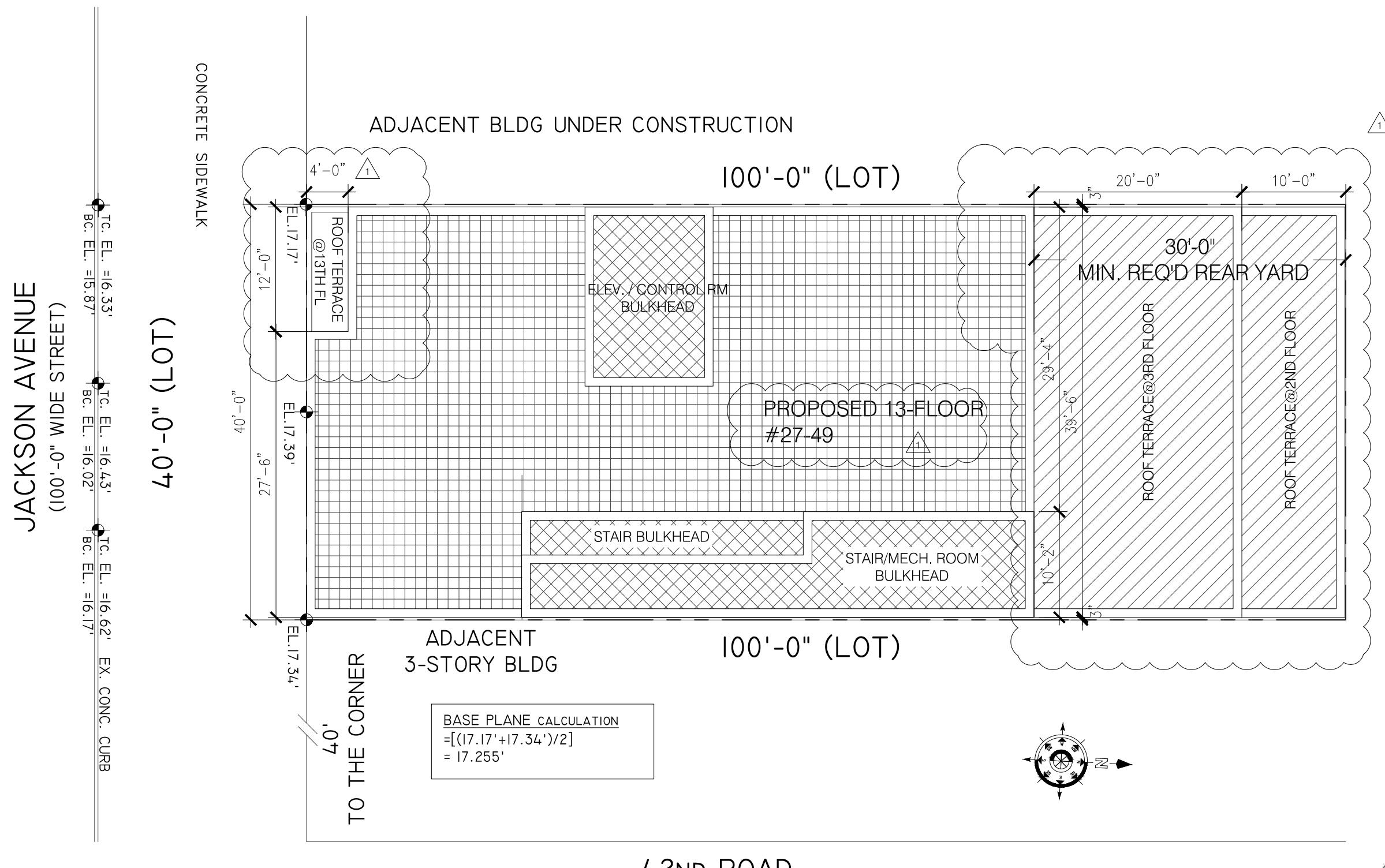
HPI Engineering P.C.
31 ROSEWOOD RD, EDISON, NJ 08817
Tel: 732-501-8848, Fax: 973-588-3123
■ SEAL & SIGNATURE:



136-40 39TH AVENUE FLUSHING, NEW YORK 11354
Tel: (718) 445-2345 Fax: (718) 359-8809
Email: info@raymondchanarchitect.com
Web: www.raymondchanarchitect.com

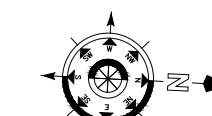
DATE: 04/27/2018 DWG. No.:
PROJECT NO.: 21406
PROJECT MANAGER: R.C.A.
DRAWN BY: CL CADD FILE No.:
1 OF 46

N.Y.C. D.O.B. NO. :



PLOT PLAN 3/16" = 1'-0"

42ND ROAD



NOTE: THIS IS A SCHEMATIC DESIGN
& SHALL SUBJECT TO REVIEW
& INTERPRETATION BY
NYC DEPT. OF BLDGS ON
ZONING AND BUILDING CODES.

**PROJECT:
27-49 JACKSON AVENUE
LONG ISLAND CITY, NY
MIXED USE BUILDING**

DRAWING TITLE:

EP ENGINEER:
ALL CITY ENGINEERING. PC
161 BAY 46TH STREET, BROOKLYN, NY, 11214
Tel: (917) 832-0824

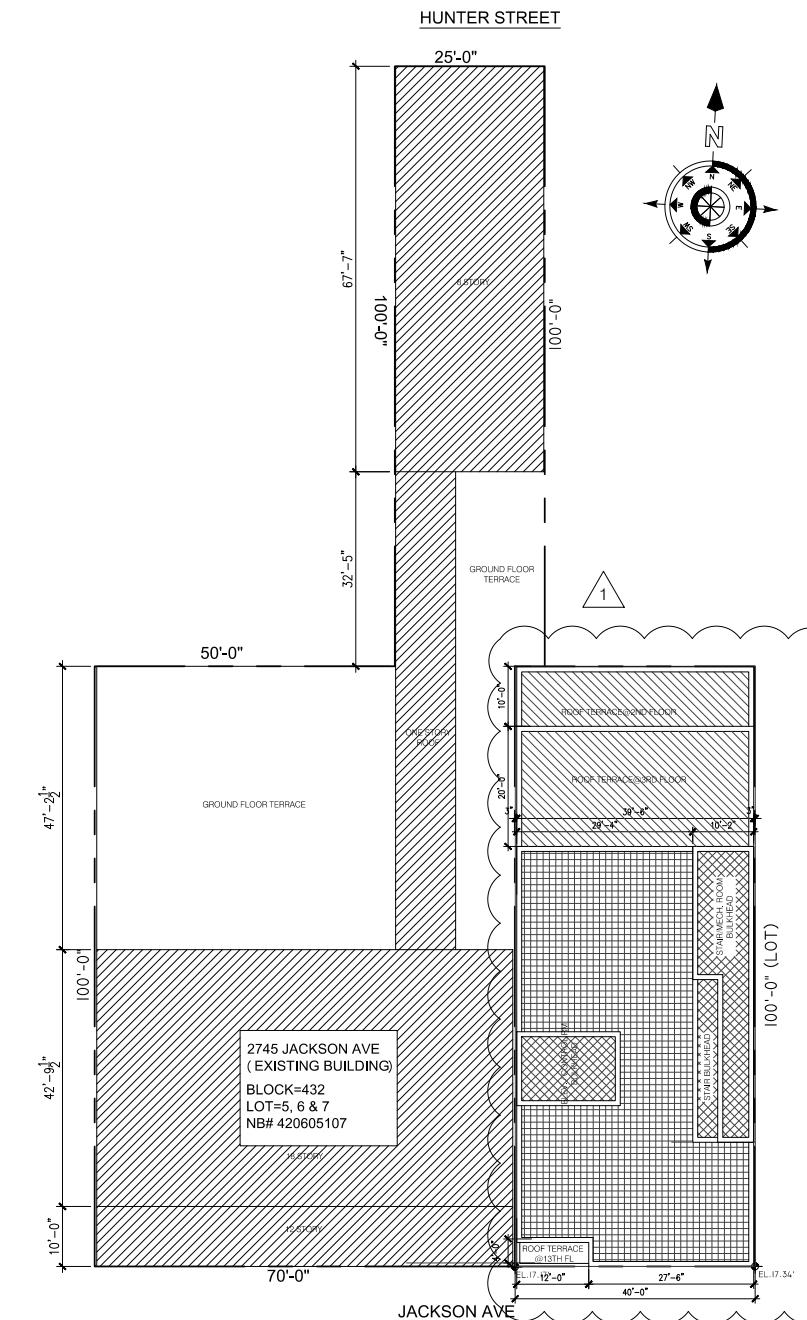
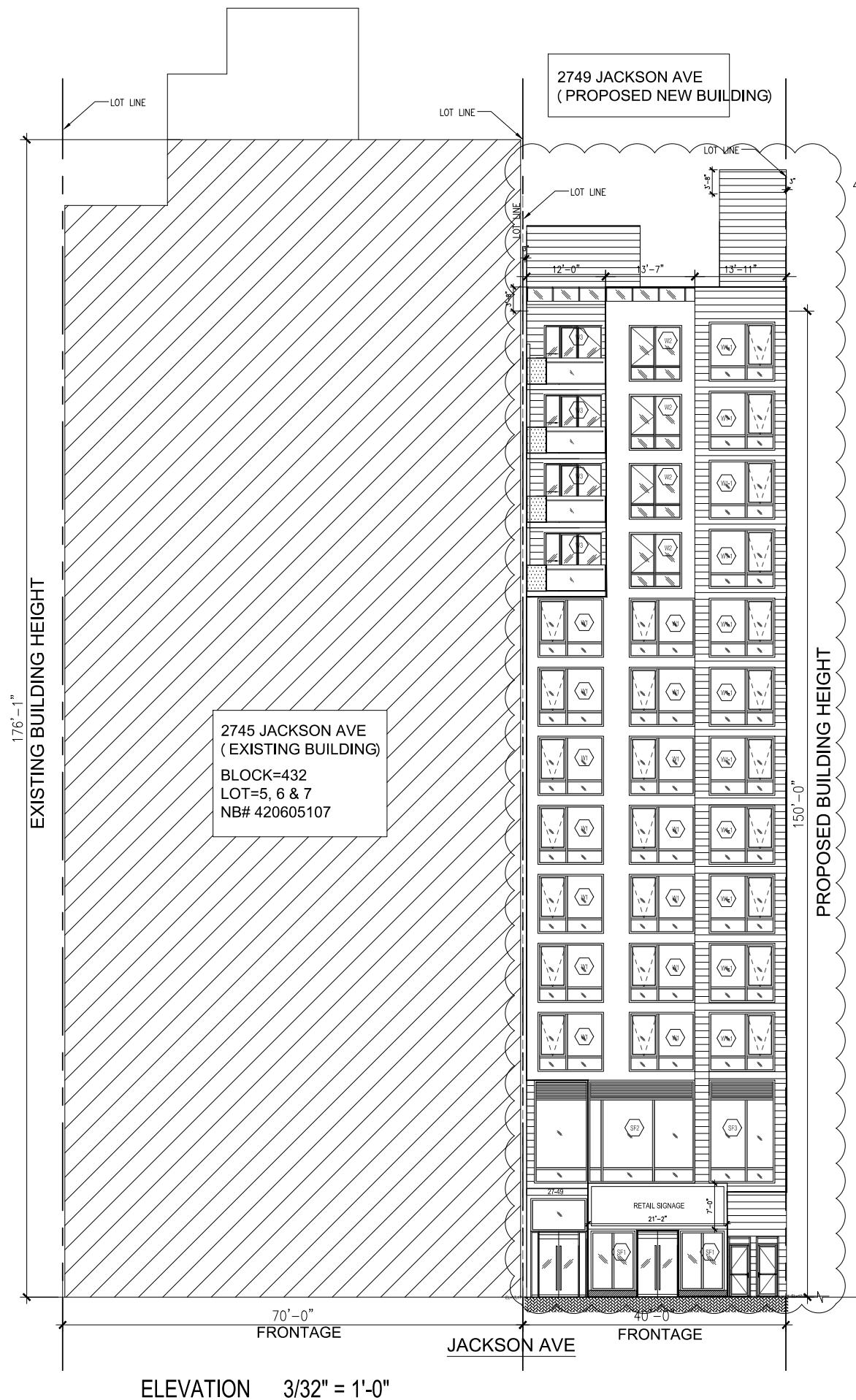
STRUCTURAL ENGINEER:
HPL Engineering P.C.
31 ROSEWOOD RD. EDISON, NJ 08817
Tel: 732-501-8818 Fax: 732-500-3122

SEAL & SIGNATURE: _____

ARCHITECTS•PLANNERS
36-40 39TH AVENUE FLUSHING, NEW YORK 11354
tel: (718) 445-2345 Fax: (718) 359-8809
email: info@raymondchanarchitect.com
web: www.raymondchanarchitect.com

DATE: 04/27/2018 DWG. No.:
PROJECT No.: 21406
PROJECT MANAGER: RCA
DRAWN BY: CL A-002.01

ADD FILE No.: 2 OF 46



HEIGHT LIMITATION OF NARROW BUILDINGS (SLIVER LAW)

23-692(a)

IN THE DISTRICTS INDICATED (R9), PORTIONS OF BUILDINGS WITH STREET WALLS LESS THAN 45 FEET IN WIDTH SHALL NOT BE PERMITTED ABOVE THE FOLLOWING HEIGHTS:

FOR INTERIOR LOTS...A HEIGHT EQUAL TO THE WIDTH OF THE STREET ON WHICH SUCH STREETS FRONT OR 100 FEET, WHICHEVER IS LESS.

EXCEPTION:23-692(d)(1)

ON A WIDE STREET, SUCH PORTION OF A BUILDING WITH A STREET WALL LESS THAN 45 FEET IN WIDTH ABUTS AN EXISTING BUILDING WITH A STREET WALLS MAY REACH THE HEIGHT OF SUCH ABUTTING BUILDING.

JACKSON AVE=100" WIDE STREET -OK

PROPOSED NEW BUILDING: 2749 JACKSON AVE, BLOCK 432, LOT 3
ABUTTING EXISTING BUILDING: 2745 JACKSON AVE, BLOCK 432,
LOT 5, 6 & 7. NB# 420605107

(SEE PLOT PLAN ON A-003 FOR DETAIL) -OK

ABUTTING EXISTING BUILDING HEIGHT=176'-1"

PROPOSED NEW BUILDING HEIGHT=150'-0"

(SEE ELEVATION DIAGRAM ON A-003 FOR DETAIL) -OK

PROPOSED NEW BUILDING, 2749 JACKSON AVE (BLOCK 432, LOT 3)
BUILDING HEIGHT=150'-0" -OK.

NOTE: THIS IS A SCHEMATIC DESIGN
& SHALL SUBJECT TO REVIEW
& INTERPRETATION BY
NYC DEPT. OF BLDGS ON
ZONING AND BUILDING CODES.

PROJECT:
27-49 JACKSON AVENUE
LONG ISLAND CITY, NY
MIXED USE BUILDING

DRAWING TITLE:

ZONING INFO.

MEP ENGINEER:
ALL CITY ENGINEERING, PC
161 BAY 46TH STREET, BROOKLYN, NY 11214
Tel: (917) 832-0824

STRUCTURAL ENGINEER:

HPL Engineering P.C.
31 ROSEWOOD RD, EDISON, NJ 08817
Tel: 732-501-8848, Fax: 973-588-3123

SEAL & SIGNATURE:

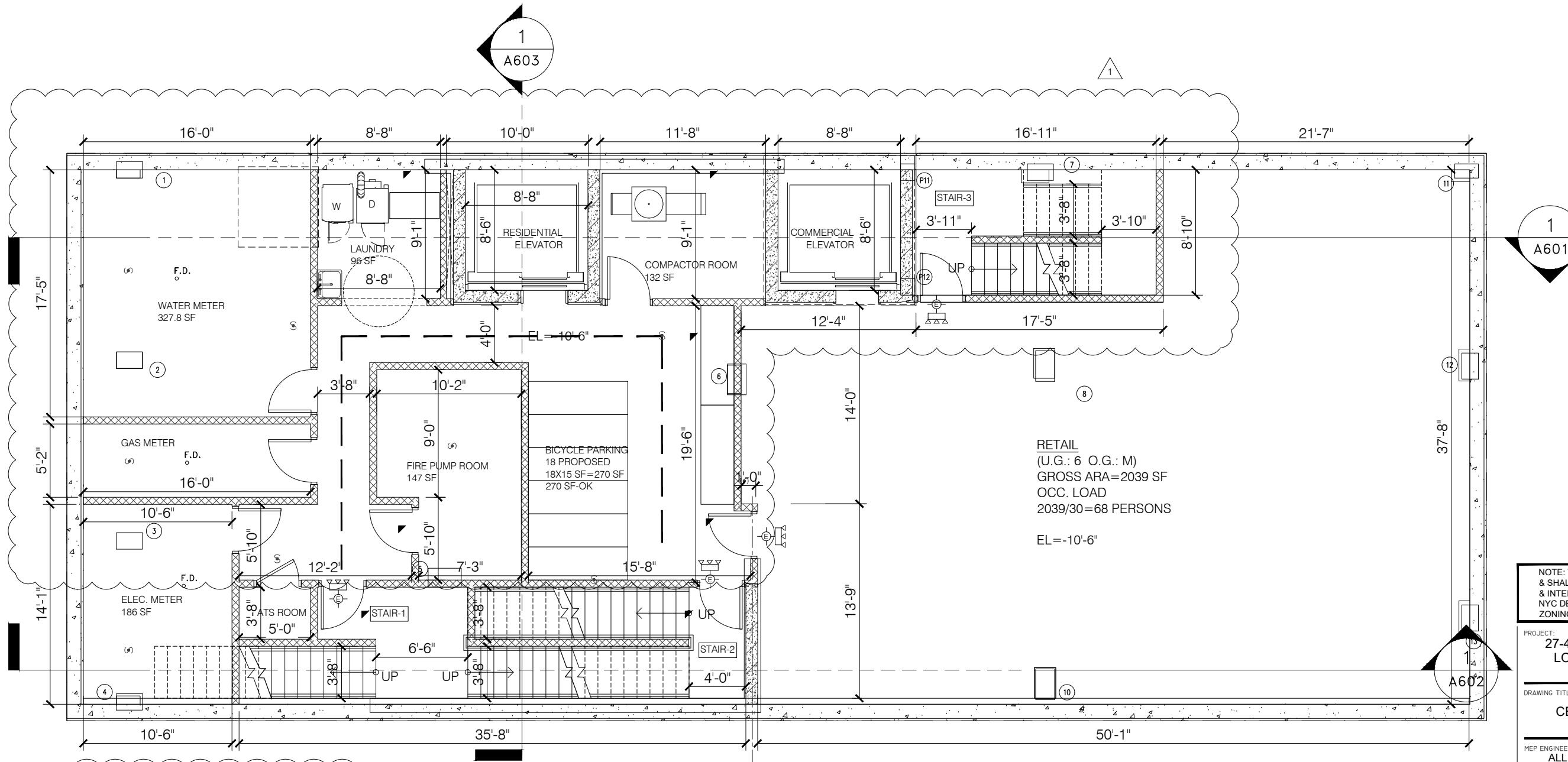


136-40 39TH AVENUE FLUSHING, NEW YORK 11354
Tel: (718) 445-2345 Fax: (718) 359-8809
Email: info@raymondchanarchitect.com
Web: www.raymondchanarchitect.com

DATE: 04/27/2018 DWG. No.:
PROJECT No.: 21406
PROJECT MANAGER: RCA
DRAWN BY: CL
CADD FILE No.:
A-005.01

N.Y.C. D.O.B. NO. :

5 OF 46



EGRESS LOAD		
COMMERCIAL RETAIL= 68 OCCUPANTS		TOTAL 68 OCCUPANTS
EGRESS CAPACITY		
EXIT TYPE	WIDTH	CAPACITY
ST-1	3'-8"	146 OCCUPANTS
ST-2	3'-8"	146 OCCUPANTS
ST-3	3'-8"	146 OCCUPANTS
TOTAL	438 OCCUPANTS > 68 - OK.	

CELLAR NOTES:

- ALL WALLS SHALL BE 6" CMU WITH EPOXY PAINT, UNLESS NOTED OTHERWISE.
- ENTIRE CELLAR FLOOR SLAB SHALL BE MIXED WITH 'HYCRETE'.

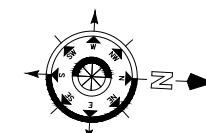
CONSTRUCTION NOTES

- CONTRACTOR TO PROVIDE CONSTRUCTION DIMENSION DRAWINGS FOR REVIEW AND APPROVAL BY THE DESIGN TEAM.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR THE FOLLOWING:
 - A) CURTAIN WALL
 - B) BALCONY
 - C) ELEVATOR
 - D) STAIRS
 - E) CASEWORK, WOODWORKING
 - F) DOORS & HARDWARE
 - G) ELECTRICAL FIXTURES
 - H) HVAC SYSTEM
 - I) PLUMBING FIXTURE
 - J) SPRINKLER SYSTEM
- CONTRACTOR SHALL VERIFY THE FINAL PLUMBING FIXTURES, POWER, LIGHTING, SWITCHING, TELEPHONE, COMPUTER OUTLET ETC LOCATIONS AS PER LATEST ARCHITECTURAL PLAN OR OWNER APPROVED SNAP-ON FLOOR LAYOUT PRIOR TO INSTALLATION. CONSULT ARCHITECT FOR ANY DISCREPANCIES.
- CONTRACTOR SHALL SUPPORT AND COORDINATE WITH OFFICE SYSTEM SUPPLIER, AND OTHER EQUIPMENT SUPPLIER FOR INSTALLATION AND DETAILS.

1 **CELLAR PLAN**

SCALE: 1/8"=1'-0"

0 4' 8' 10'



NOTE: THIS IS A SCHEMATIC DESIGN & SHALL SUBJECT TO REVIEW & INTERPRETATION BY NYC DEPT. OF BLDGS ON ZONING AND BUILDING CODES.

PROJECT:
27-49 JACKSON AVENUE
LONG ISLAND CITY, NY
MIXED USE BUILDING

DRAWING TITLE:
CELLAR FLOOR PLAN

MEP ENGINEER:
ALL CITY ENGINEERING, PC
161 BAY 46TH STREET, BROOKLYN, NY, 11214
Tel: (917) 832-0824

STRUCTURAL ENGINEER:
HPL Engineering P.C.
31 ROSEWOOD RD, EDISON, NJ 08817
Tel: 732-501-8848, Fax: 973-588-3123
■ SEAL & SIGNATURE:

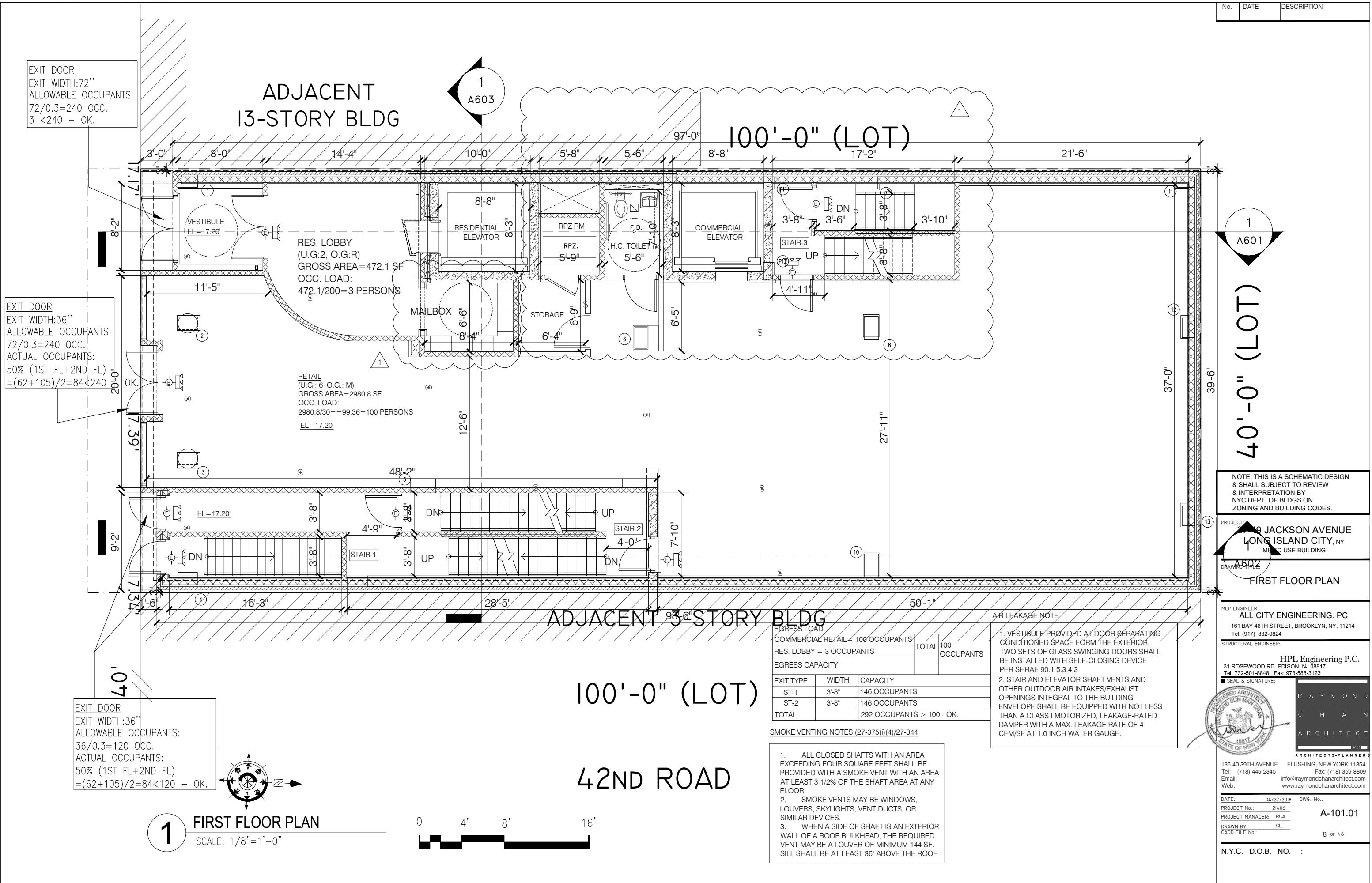


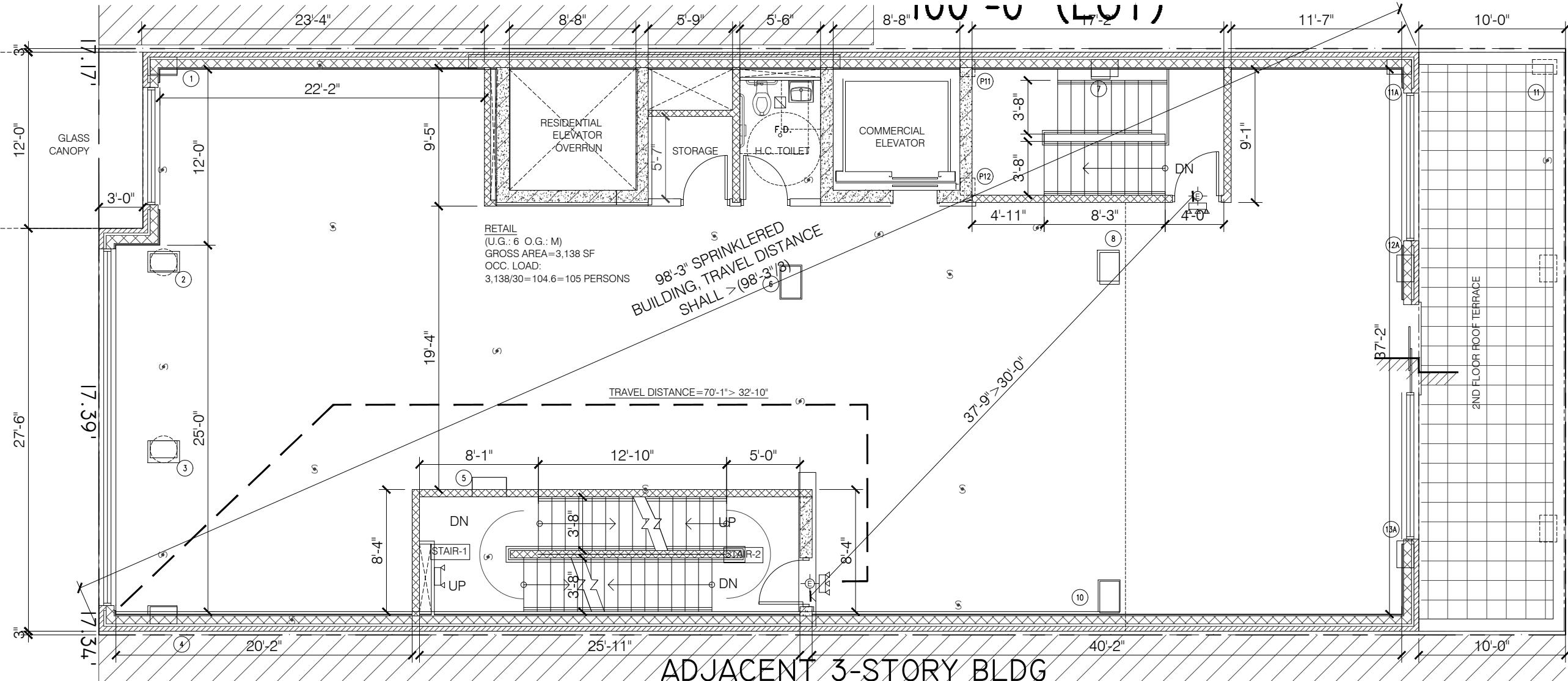
136-40 39TH AVENUE FLUSHING, NEW YORK 11354
Tel: (718) 445-2345 Fax: (718) 359-8809
Email: info@raymondchanarchitect.com
Web: www.raymondchanarchitect.com

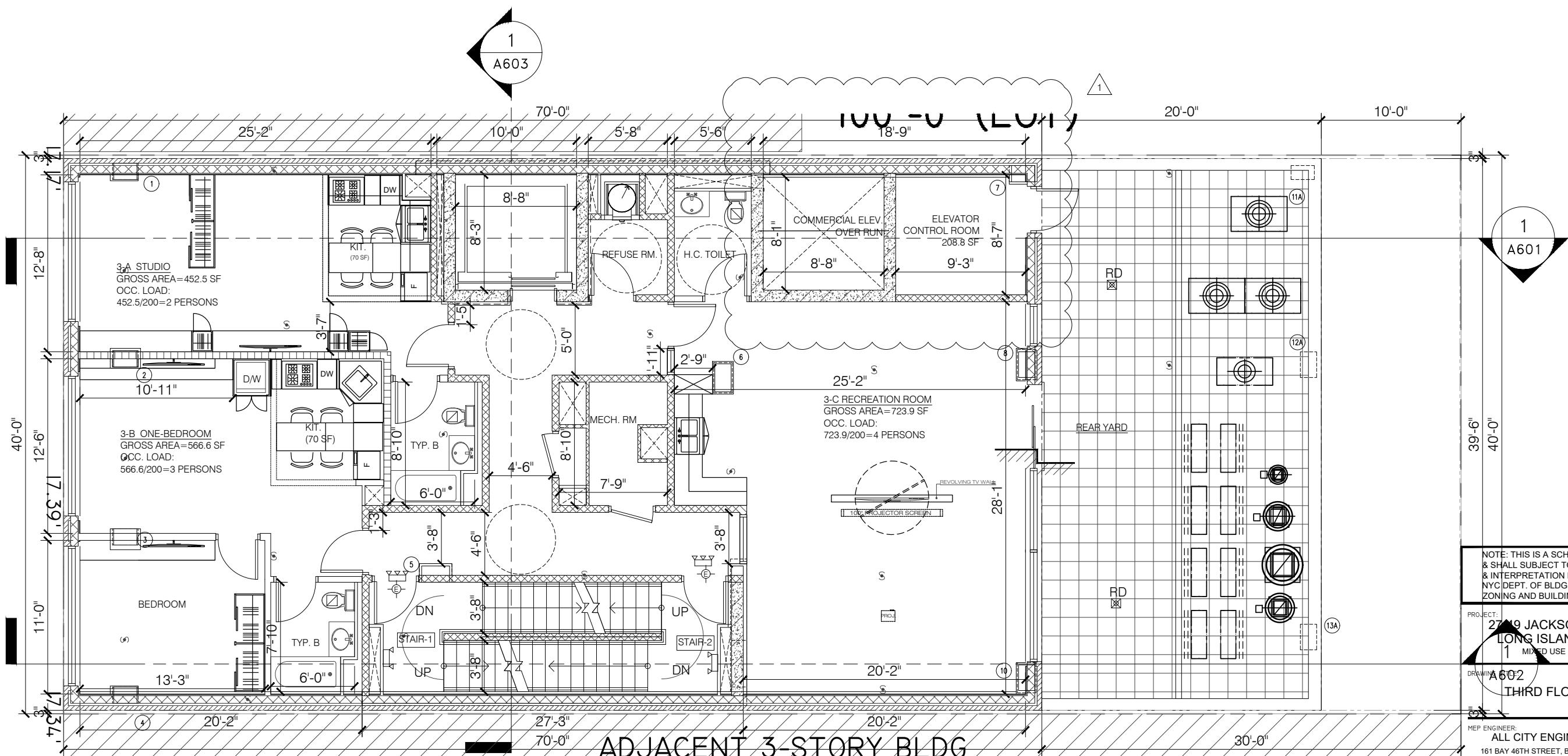
DATE: 04/27/2018 DWG. No.:
PROJECT NO.: 21406
PROJECT MANAGER: RCA
DRAWN BY: CL
CADD FILE No.: 7 OF 46

N.Y.C. D.O.B. NO. :

A-100.01







NOTE: THIS IS A SCHEMATIC DESIGN
& SHALL SUBJECT TO REVIEW
& INTERPRETATION BY
NYC DEPT. OF BLDGS ON
ZONING AND BUILDING CODES.

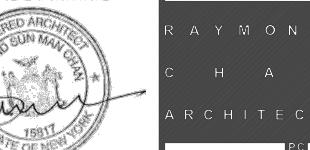
PROJECT:
2149 JACKSON AVENUE
LONG ISLAND CITY, NY
1 MIXED USE BUILDING
DRAWING NO.:
A602
THIRD FLOOR PLAN

MEP ENGINEER:
ALL CITY ENGINEERING, PC
161 BAY 46TH STREET, BROOKLYN, NY, 11214
Tel: (917) 832-0824

STRUCTURAL ENGINEER:

HPL Engineering P.C.
31 ROSEWOOD RD, EDISON, NJ 08817
Tel: 732-501-8848, Fax: 973-588-3123

SEAL & SIGNATURE:

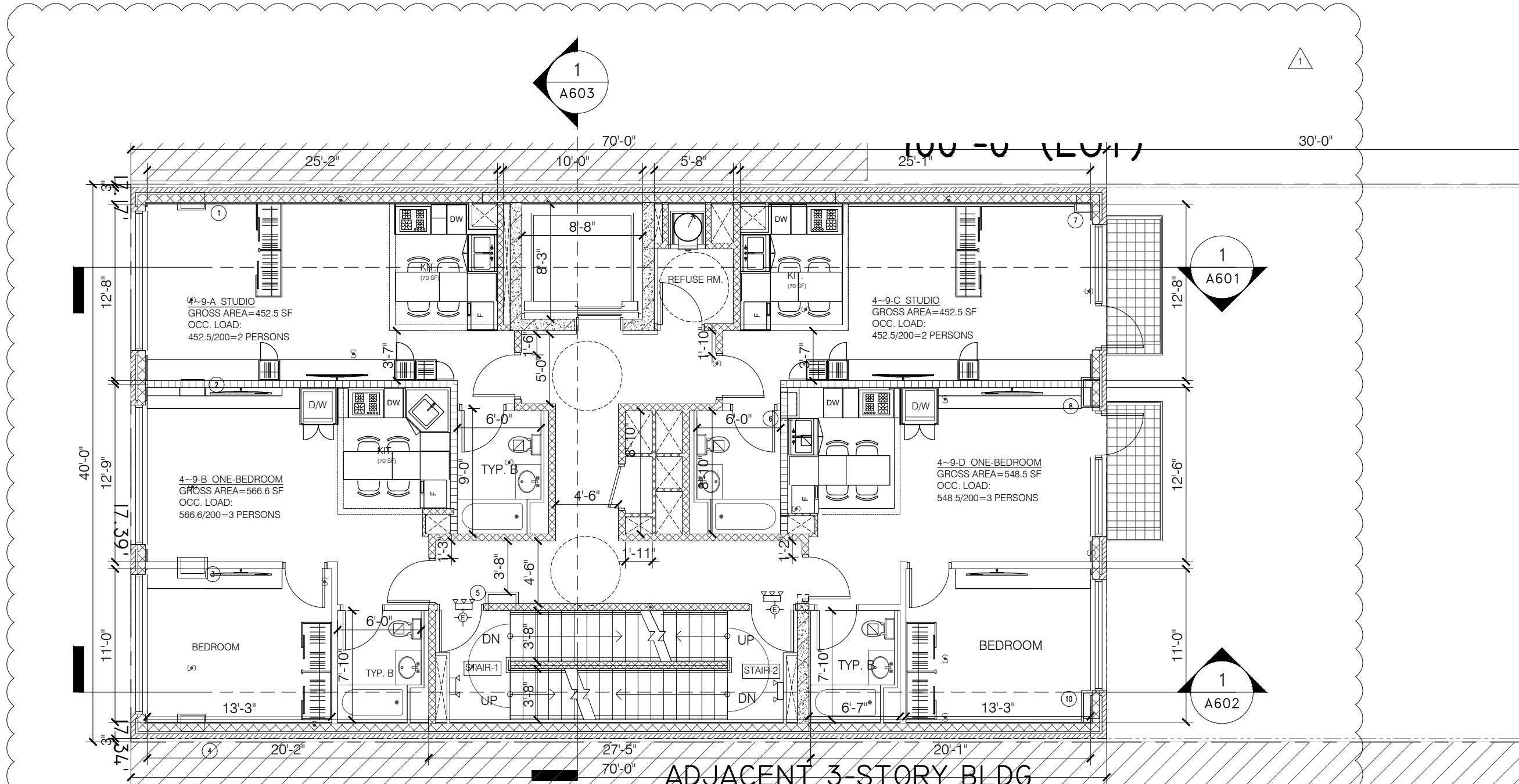


136-40 39TH AVENUE FLUSHING, NEW YORK 11354
Tel: (718) 445-2345 Fax: (718) 359-8809
Email: info@raymondchanarchitect.com
Web: www.raymondchanarchitect.com

DATE: 04/27/2018 DWG. No.:
PROJECT NO.: 21406
PROJECT MANAGER: RCA
DRAWN BY: CL
CADD FILE No.: 10 OF 46

N.Y.C. D.O.B. NO. :

A-103.01


SMOKE VENTING NOTES (27-375(i)(4)/27-344)

4TH~9TH FLOOR GROSS AREA=2765SF		EGRESS LOAD		
ZONING FLOOR AREA=2367.4 SF		RES. UNIT = 10 OCCUPANTS		TOTAL 10 OCCUPANTS
		EGRESS CAPACITY		
STUDIO	2	EXIT TYPE	WIDTH	CAPACITY
ONE-BEDROOM	2	ST-1	3'-8"	146 OCCUPANTS
TOTAL:	4	ST-2	3'-8"	146 OCCUPANTS
		TOTAL		292 OCCUPANTS > 10 - OK.

- ALL CLOSED SHAFTS WITH AN AREA EXCEEDING FOUR SQUARE FEET SHALL BE PROVIDED WITH A SMOKE VENT WITH AN AREA AT LEAST 3 1/2% OF THE SHAFT AREA AT ANY FLOOR.
- SMOKE VENTS MAY BE WINDOWS, LOUVERS, SKYLIGHTS, VENT DUCTS, OR SIMILAR DEVICES.
- WHEN A SIDE OF SHAFT IS AN EXTERIOR WALL OF A ROOF BULKHEAD, THE REQUIRED VENT MAY BE A LOUVER OF MINIMUM 144 SF. SILL SHALL BE AT LEAST 36" ABOVE THE ROOF.

0 4' 8' 16'

1 FOURTH~NINTH FLOOR PLAN
SCALE: 1/8"=1'-0"

NOTE: THIS IS A SCHEMATIC DESIGN & SHALL SUBJECT TO REVIEW & INTERPRETATION BY NYC DEPT. OF BLDGS ON ZONING AND BUILDING CODES.

PROJECT:
27-49 JACKSON AVENUE
LONG ISLAND CITY, NY
MIXED USE BUILDING

DRAWING TITLE:
FOURTH~NINTH FLOOR PLAN

MEP ENGINEER:
ALL CITY ENGINEERING, PC
161 BAY 46TH STREET, BROOKLYN, NY, 11214
Tel: (917) 832-0824

STRUCTURAL ENGINEER:

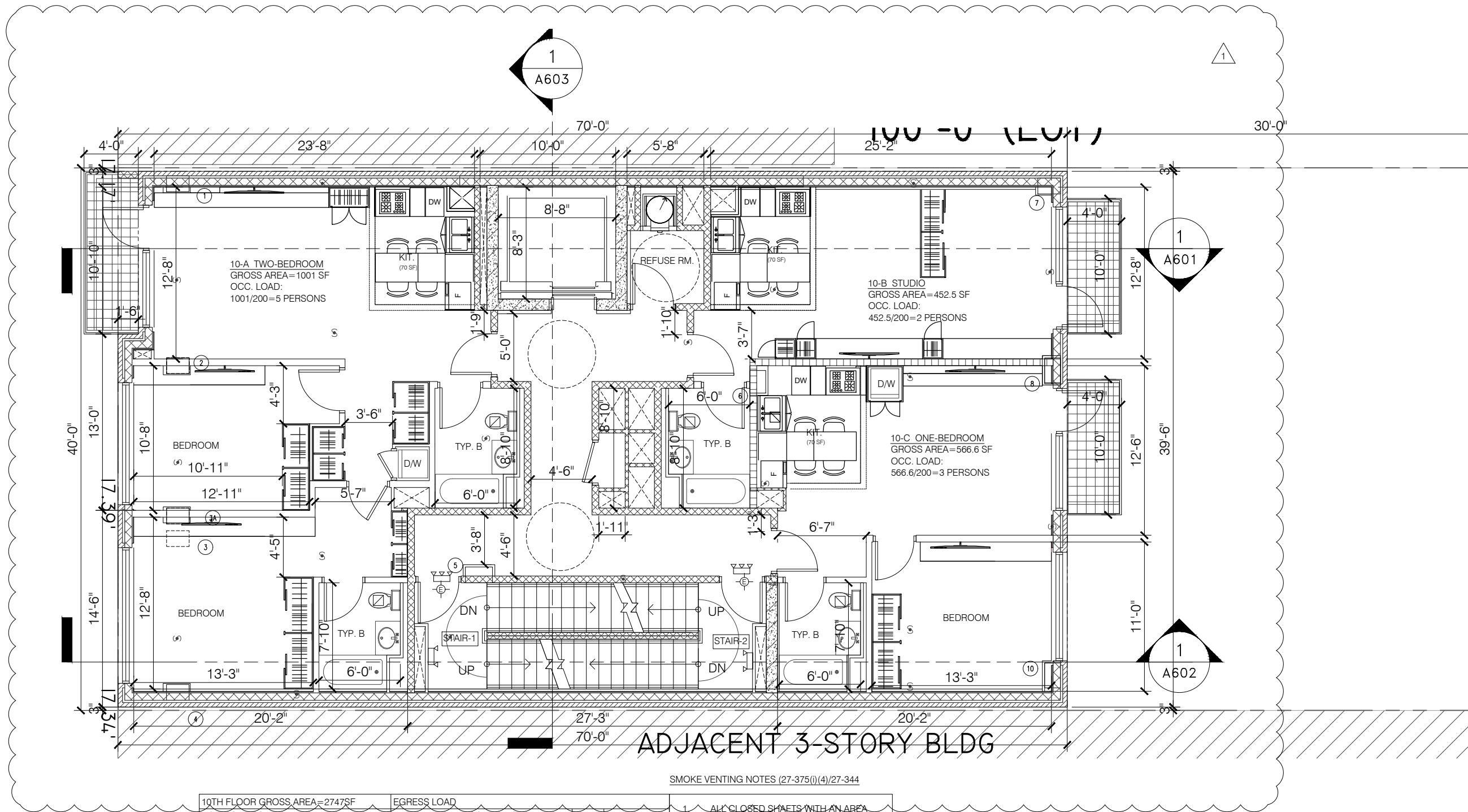
HPL Engineering P.C.
31 ROSEWOOD RD, EDISON, NJ 08817
Tel: 732-501-8848, Fax: 973-588-3123
SEAL & SIGNATURE:



REGISTERED ARCHITECT
RAYMOND CHAN ARCHITECT
STATE OF NEW YORK
15817
FLUSHING, NEW YORK 11354
Tel: (718) 445-2345 Fax: (718) 359-8809
Email: info@raymondchanarchitect.com
Web: www.raymondchanarchitect.com

DATE: 04/27/2018 DWG. No.: A-104.01
PROJECT No.: 21406
PROJECT MANAGER: RCA
DRAWN BY: CL
CADD FILE No.: 11 OF 46

N.Y.C. D.O.B. NO. :

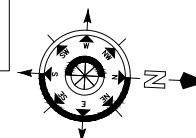

SMOKE VENTING NOTES (27-375(i)(4)/27-344)

10TH FLOOR GROSS AREA=2747SF ZONING FLOOR AREA=2354 SF		EGRESS LOAD RES. UNIT = 10 OCCUPANTS			TOTAL 10 OCCUPANTS	
		EGRESS CAPACITY				
STUDIO	1	EXIT TYPE	WIDTH	CAPACITY		
ONE-BEDROOM	1	ST-1	3'-8"	146 OCCUPANTS		
TWO-BEDROOM	1	ST-2	3'-8"	146 OCCUPANTS		
TOTAL:	3			292 OCCUPANTS > 10 - OK.		

1. ALL CLOSERED SHAFTS WITH AN AREA EXCEEDING FOUR SQUARE FEET SHALL BE PROVIDED WITH A SMOKE VENT WITH AN AREA AT LEAST 3 1/2% OF THE SHAFT AREA AT ANY FLOOR.
 2. SMOKE VENTS MAY BE WINDOWS, LOUVERS, SKYLIGHTS, VENT DUCTS, OR SIMILAR DEVICES.
 3. WHEN A SIDE OF SHAFT IS AN EXTERIOR WALL OF A ROOF BULKHEAD, THE REQUIRED VENT MAY BE A LOUVER OF MINIMUM 144 SF. SILL SHALL BE AT LEAST 36" ABOVE THE ROOF.

1
TENTH FLOOR PLAN
 SCALE: 1/8"=1'-0"

0 4' 8' 16'



NOTE: THIS IS A SCHEMATIC DESIGN & SHALL SUBJECT TO REVIEW & INTERPRETATION BY NYC DEPT. OF BLDGS ON ZONING AND BUILDING CODES.

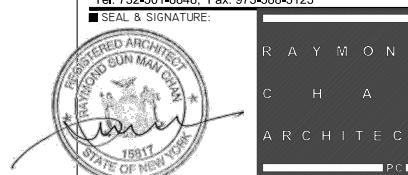
PROJECT:
27-49 JACKSON AVENUE
LONG ISLAND CITY, NY
 MIXED USE BUILDING

DRAWING TITLE:
TENTH FLOOR PLAN

MEP ENGINEER:
ALL CITY ENGINEERING, PC
 161 BAY 46TH STREET, BROOKLYN, NY, 11214
 Tel: (917) 832-0824

STRUCTURAL ENGINEER:

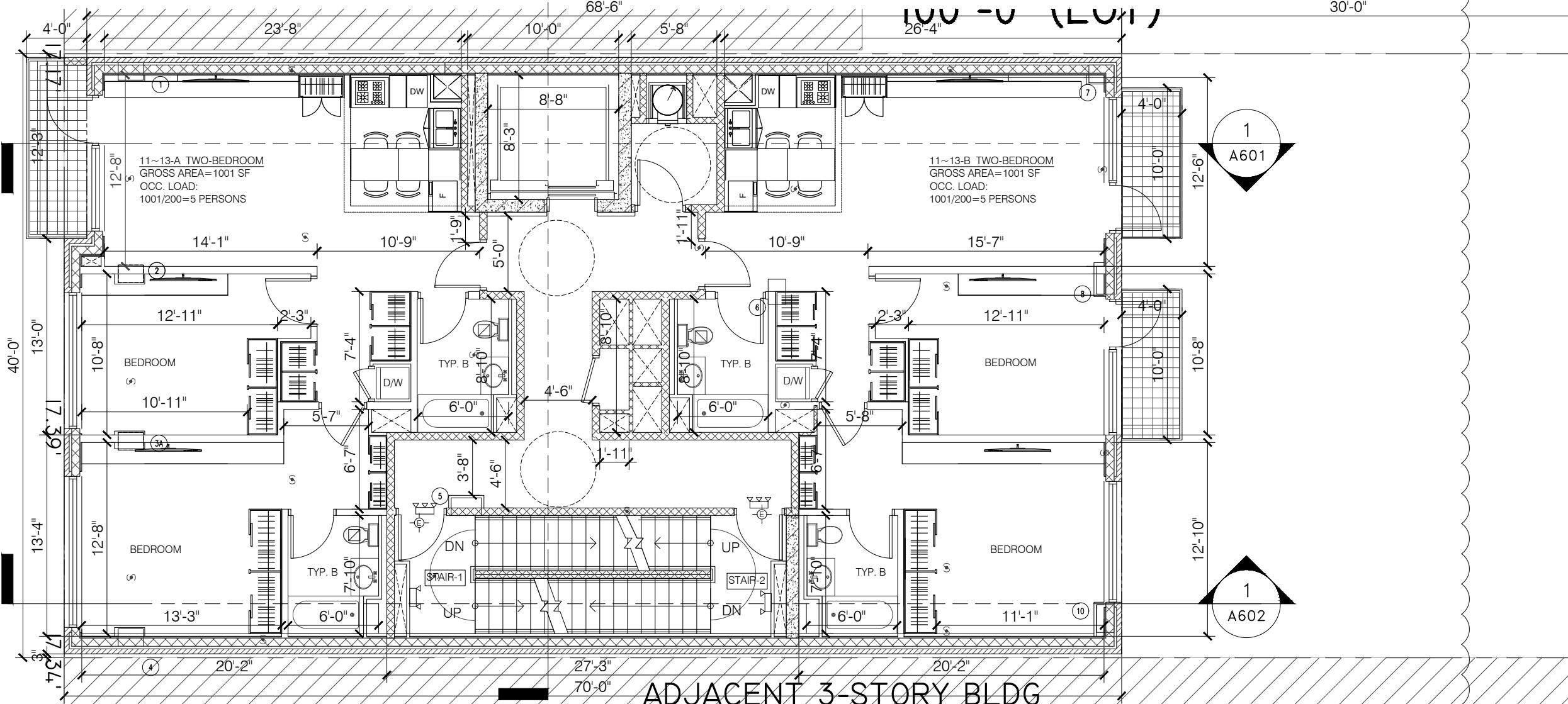
HPL Engineering P.C.
 31 ROSEWOOD RD, EDISON, NJ 08817
 Tel: 732-501-8848, Fax: 973-588-3123
 ■ SEAL & SIGNATURE:



136-40 39TH AVENUE FLUSHING, NEW YORK 11354
 Tel: (718) 445-2345 Fax: (718) 359-8809
 Email: info@raymondchanarchitect.com
 Web: www.raymondchanarchitect.com

DATE: 04/27/2018 DWG. No.: A-105.01
 PROJECT No.: 21406
 PROJECT MANAGER: RCA
 DRAWN BY: CL
 CADD FILE No.: 12 OF 46

N.Y.C. D.O.B. NO. :

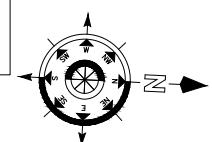


1

ELEVENTH~THIRTEEN FLOOR PLAN

SCALE: 1/8"=1'-0"

0' 4' 8' 16'



NOTE: THIS IS A SCHEMATIC DESIGN & SHALL SUBJECT TO REVIEW & INTERPRETATION BY NYC DEPT. OF BLDGS ON ZONING AND BUILDING CODES.

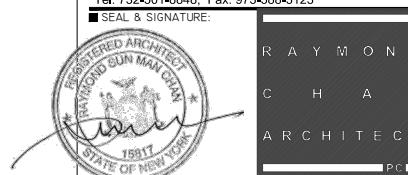
PROJECT:
27-49 JACKSON AVENUE
LONG ISLAND CITY, NY
MIXED USE BUILDING

DRAWING TITLE:
TENTH~THIRTEENTH FLOOR
PLAN

MEP ENGINEER:
ALL CITY ENGINEERING, PC
161 BAY 46TH STREET, BROOKLYN, NY, 11214
Tel: (917) 832-0824

STRUCTURAL ENGINEER:

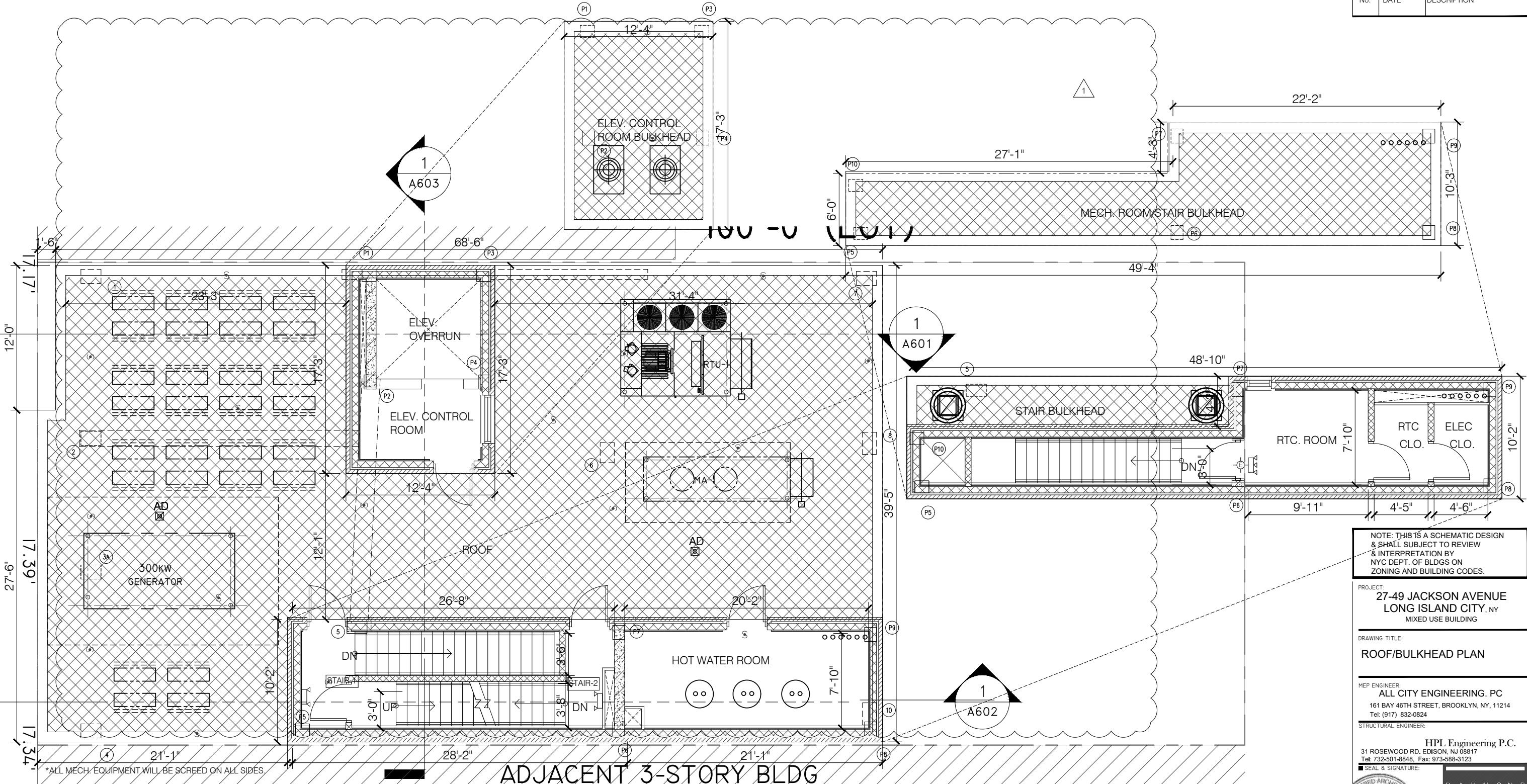
HPL Engineering P.C.
31 ROSEWOOD RD, EDISON, NJ 08817
Tel: 732-501-8848, Fax: 973-588-3123
■ SEAL & SIGNATURE:



136-40 39TH AVENUE FLUSHING, NEW YORK 11354
Tel: (718) 445-2345 Fax: (718) 359-8809
Email: info@raymondchanarchitect.com
Web: www.raymondchanarchitect.com

DATE: 04/27/2018 DWG. No.: A-106.01
PROJECT No.: 21406
PROJECT MANAGER: RCA
DRAWN BY: CL
CADD FILE No.: 13 OF 46

N.Y.C. D.O.B. NO. :



ZR 23-62 (g)(3)(i) ROOF STRUCTURE CALCULATION
THE PRODUCT, IN SQUARE FEET, OF THE AGGREGATE WIDTH OF STREET WALLS OF SUCH OBSTRUCTIONS FACING EACH STREET FRONTOAGE, TIMES THEIR AVERAGE HEIGHT, SHALL NOT EXCEED AN AREA EQUAL TO EIGHT FEET TIMES THE WIDTH, IN FEET, OF THE STREET WALL OF THE BUILDING FACING SUCH FRONTAGE.
PROPOSED STREET WALL=39'-6"
ALLOWABLE ROOF STRUCTURE = 8' X 39'-6"=316 SF
PROPOSED ROOF STRUCTURE FRONTOAGE=10'-2" + 17'-3"=27'-5"
PROPOSED AVERAGE HEIGHT OF SUCH STRUCTURE=11'-6"
PROPOSED ROOF STRUCTURE=27'-5" X 11'-6"=315.33 SF < 316 SF - OK.

B.C. 504.3 ROOF STRUCTURE

PROPOSED ROOF AREA=2573.9 SF
ALLOWABLE ROOF STRUCTURE IS $\frac{1}{3}$ OF ROOF AREA= $2573.9 \times \frac{1}{3}=857.97$ SF
PROPOSED ROOF STRUCTURE IS 704.1 SF < 857.97 SF - OK

NOTE: THIS IS A SCHEMATIC DESIGN & SHALL SUBJECT TO REVIEW & INTERPRETATION BY NYC DEPT. OF BLDGS ON ZONING AND BUILDING CODES.

PROJECT: 27-49 JACKSON AVENUE
LONG ISLAND CITY, NY
MIXED USE BUILDING

DRAWING TITLE: ROOF/BULKHEAD PLAN

MEP ENGINEER: ALL CITY ENGINEERING, PC
161 BAY 46TH STREET, BROOKLYN, NY, 11214
Tel: (917) 832-0824

STRUCTURAL ENGINEER:

HPL Engineering P.C.
31 ROSEWOOD RD, EDISON, NJ 08817
Tel: 732-501-8848, Fax: 973-588-3123

SEAL & SIGNATURE:

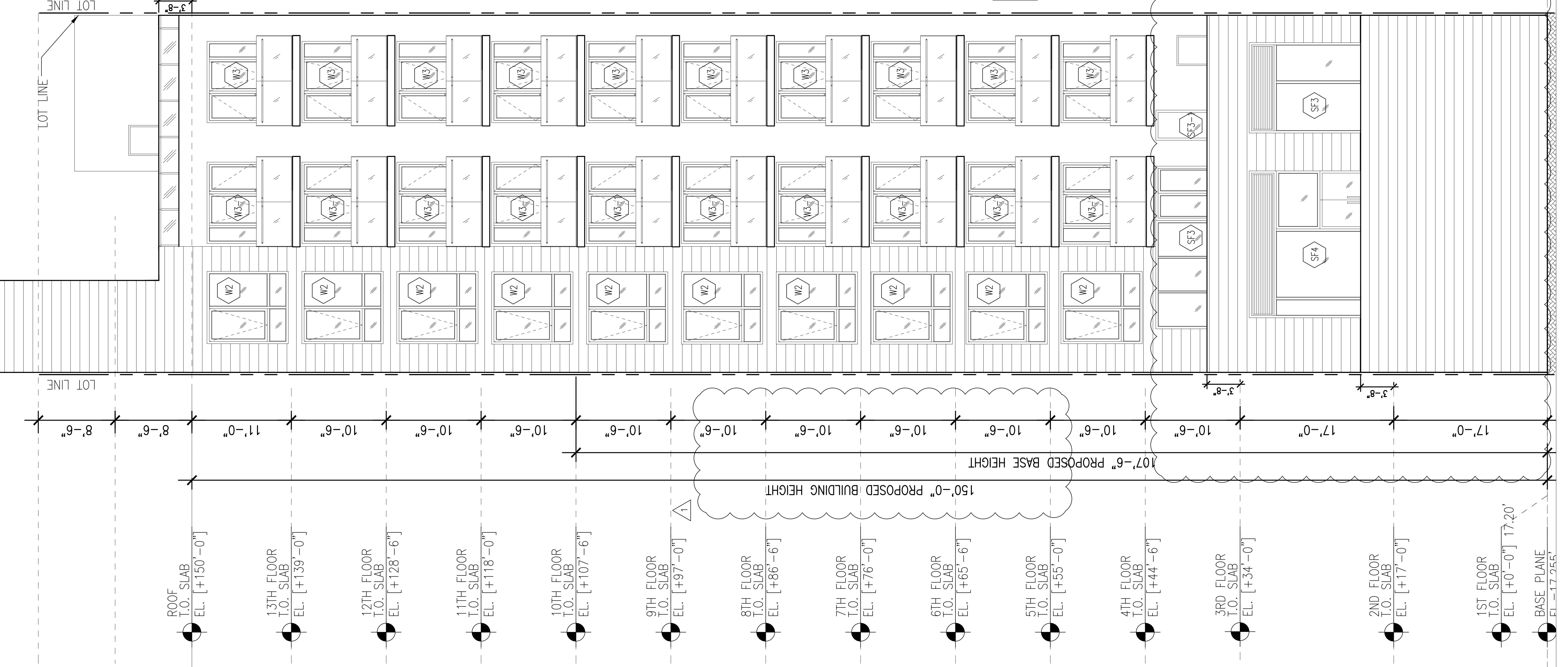


136-40 39TH AVENUE FLUSHING, NEW YORK 11354
Tel: (718) 445-2345 Fax: (718) 359-8809
Email: info@raymondchanarchitect.com
Web: www.raymondchanarchitect.com

DATE: 04/27/2018 DWG. No.: A-107.01
PROJECT No.: 21406
PROJECT MANAGER: RCA
DRAWN BY: CL
CADD FILE No.: 13 OF 46

N.Y.C. D.O.B. NO. :

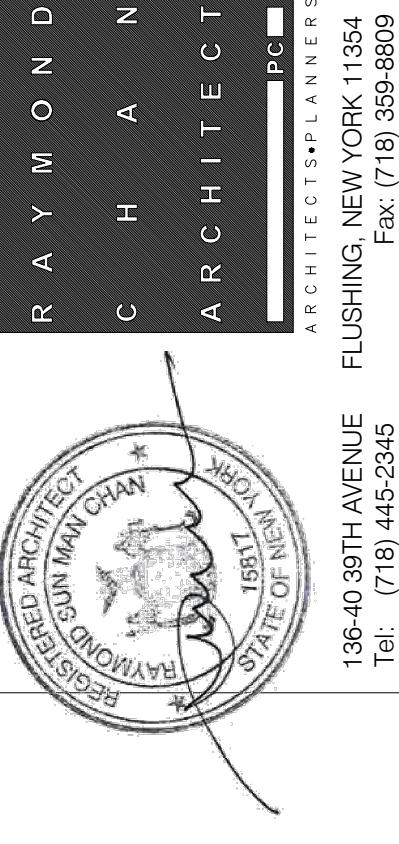
No.	Date	Description



1 BUILDING ELEVATION @ REAR
SCALE: 3/16"=1'-0"

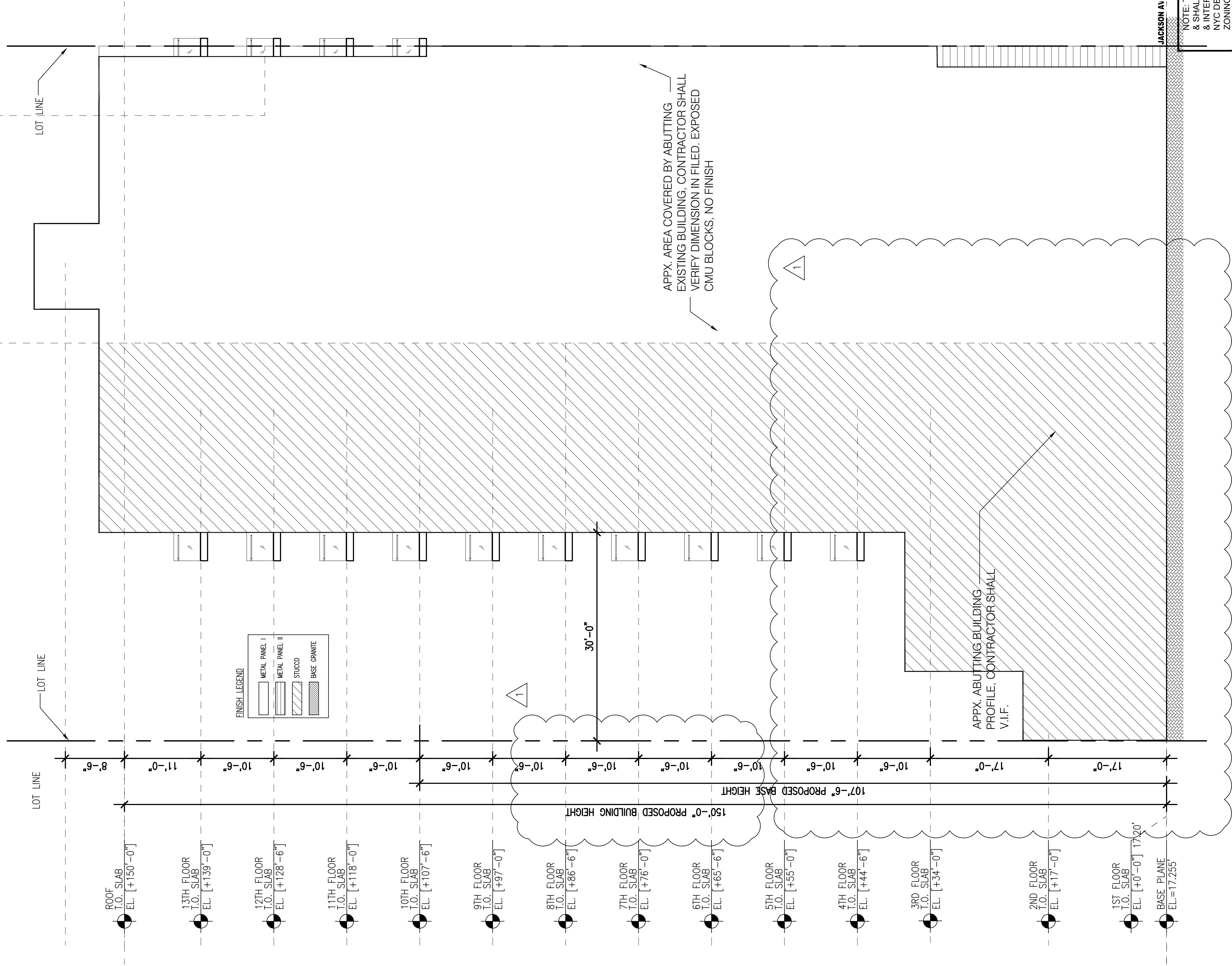
NOTE: THIS IS A SCHEMATIC DESIGN
& SHALL SUBJECT TO REVIEW
BY NYC DEPT. OF BLDGS ON
ZONING AND BUILDING CODES.
PROJECT:
27-51 JACKSON AVENUE
LONG ISLAND CITY, NY
MIXED USE BUILDING
DRAWING TITLE:
BUILDING ELEVATION @ REAR

REF. ENGINEER:
ALL CITY ENGINEERING, PC
161 BAY 46TH STREET, BROOKLYN, NY, 11214
Tel: (917) 632-0524
STRUCTURAL ENGINEER:
HPI Engineering P.C.
31 ROSEWOOD RD, EDISON, NJ 08817
Tel: 732-501-8848, Fax: 973-588-3123
■ SEAL & SIGNATURE:
PROJECT:
27-51 JACKSON AVENUE
LONG ISLAND CITY, NY
MIXED USE BUILDING
DRAWING TITLE:
BUILDING ELEVATION @ REAR



DATE: 04/02/2018
DWG. No.: 2106
PROJECT NO.: 2106
PROJECT MANAGER: RCA
DRAWN BY: CL
CADD FILE NO.: 25 of 46
N.Y.C. D.O.B. NO.: A-502.00

No.	Date	Description



NOTE: THIS IS A SCHEMATIC DESIGN & SHALL SUBJECT TO REVIEW & INTERPRETATION BY NYC DEPT. OF BLDGS ON ZONING AND BUILDING CODES.

PROJECT: 27-51 JACKSON AVENUE LONG ISLAND CITY, NY MIXED USE BUILDING

DRAWING TITLE: BUILDING ELEVATION @ 11TH STREET

REF. ENGINEER: ALL CITY ENGINEERING, PC
161 BAY 46TH STREET, BROOKLYN, NY, 11214
Tel: (917) 632-0524
STRUCTURAL ENGINEER: HPI Engineering P.C.
31 ROSEWOOD RD, EDISON, NJ 08817
Tel: 732-501-8848, Fax: 973-588-3123

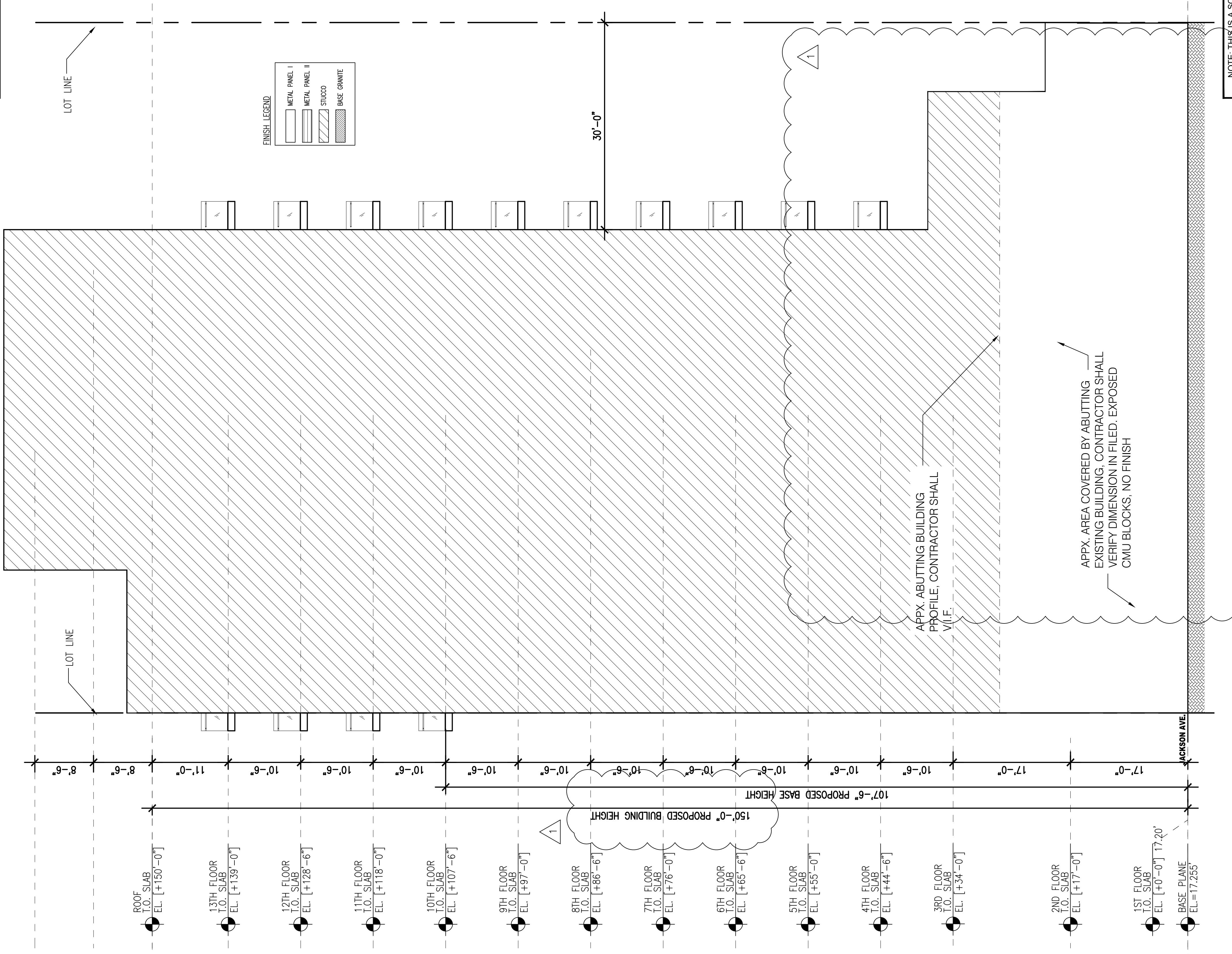
REGISTERED ARCHITECT: RAYMOND CHAN
STATE OF NEW YORK
15814
PROJECT: 27-51 JACKSON AVENUE
FLUSHING NEW YORK 11354
Tel: (718) 445-2345
Fax: (718) 359-8829
Email: info@raymondchanarchitect.com
Web: www.raymondchanarchitect.com

DATE: 04/02/2018
PROJECT NO.: 21406
PROJECT MANAGER: RCA
DRAWN BY: CL
CADD FILE NO.: 260f 46

A-503.00

N.Y.C. D.O.B. NO. :

No.	DATE	DESCRIPTION
-----	------	-------------



<p>BUILDING ELEVATION @ REAR</p> <p>1</p>	<p>SCALE: 1/8"=1'-0"</p>
--	--------------------------

**NOTE: THIS IS A SCHEMATIC DESIGN
& SHALL SUBJECT TO REVIEW
& INTERPRETATION BY
NYC DEPT. OF BLDGS ON
ZONING AND BUILDING CODES.**

MEP ENGINEER:
ALL CITY ENGINEERING. PC

HPL Engineering P.C.
31 ROSEWOOD RD. EDISON, NJ 08817

<p>Tel: 732-501-8848, Fax: 973-588-3123</p> <p>■ SEAL & SIGNATURE:</p>	
--	--

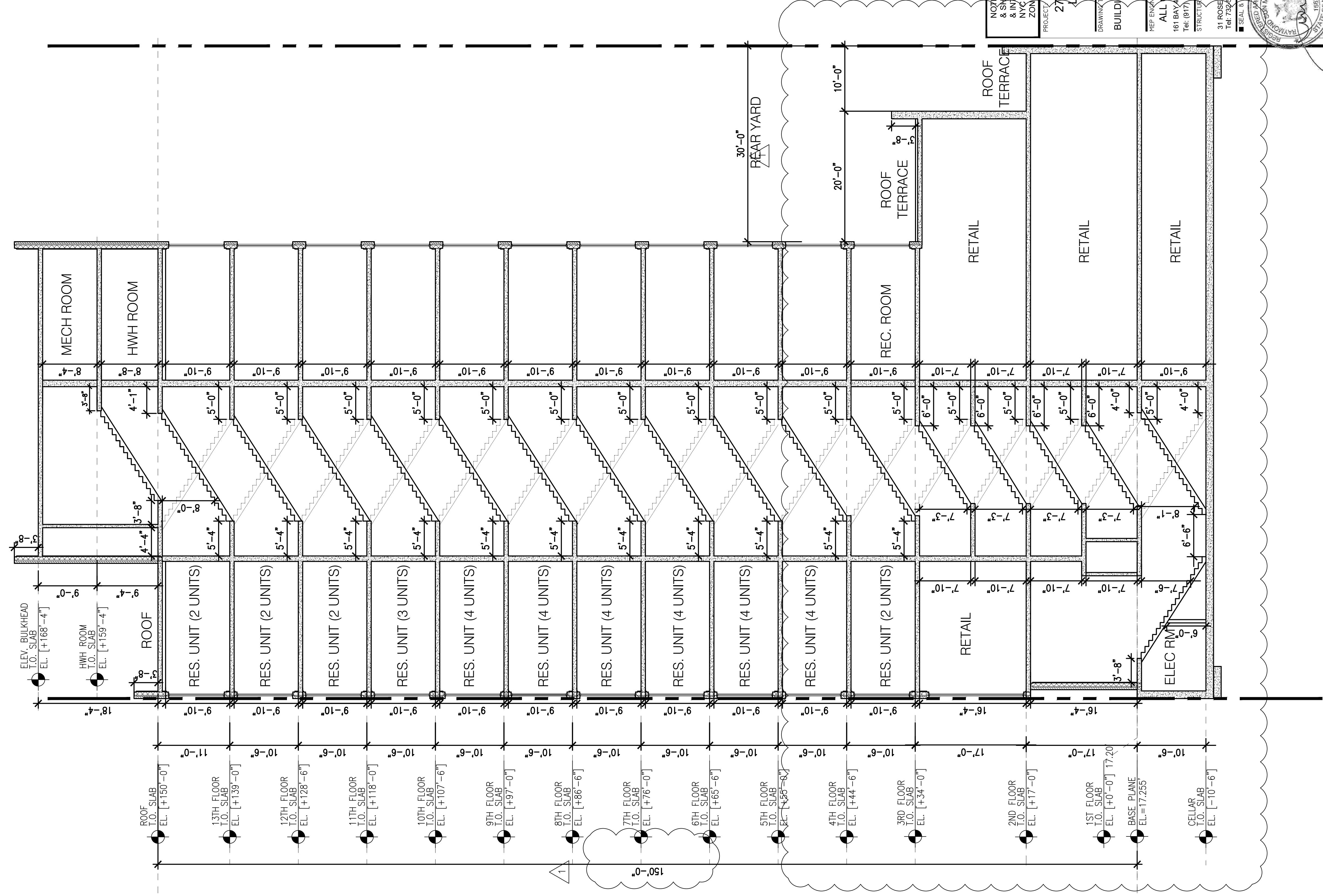
A detailed architectural drawing of a circular emblem. The outer ring contains the text "NEW YORK" at the top and "STATE OF NEW YORK" at the bottom. The inner circle features a central figure, likely a Minotaur, with its head turned left. The date "1681" is inscribed near the bottom of the inner circle.

RAYMOND CHAN ARCHITECT
136-40 39TH AVENUE
Tel: (718) 445-2345
Email:
FLUSHING, NEW YORK 11355
Fax: (718) 359-8800
info@raymondchanarchitect.com

Web: www.raymondchanarchitect.com
DATE: 04/02/2018 DWG. No.:
PROJECT No.: 21406

A-504.00
PROJECT MANAGER: RCA
DRAWN BY: C.I.

No.	Date	Description



BUILDING SECTION
SCALE: 1/8=1'-0"

1

ARCHITECTS PLANNERS
RAYMOND CHAN
C H A N
A R C H I T E C T
136-40 39TH AVENUE
FLUSHING NEW YORK 11354
Tel: (718) 445-2345
Fax: (718) 359-8829
Email: info@raymondchanarchitect.com
www.raymondchanarchitect.com

DATE: 04/02/2018
PROJECT NO.: 21406
PROJECT MANAGER: RCA
DRAWN BY: CL
CADD FILE NO.: 29 of 46
DWG. No.: A-602.00

N.Y.C. D.O.B. NO. :