



FIRM NAME AND ADDRESS
URBAN
PIONEERING
ARCHITECTURE
555 8th Avenue, Suite 2101
New York, NY 10018
T (646) 309-7259
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PROJECT NAME AND ADDRESS
ASTORIA
RESIDENCE
27-05 27TH STREET
ASTORIA, NY 11102
UPA Job #: 208-06 PRINTED: 9/16/2020

GENERAL NOTES

DOB APPLICATIONS:

BIS: 420966531-01
SOE: 420966531-02
BPP: BPB

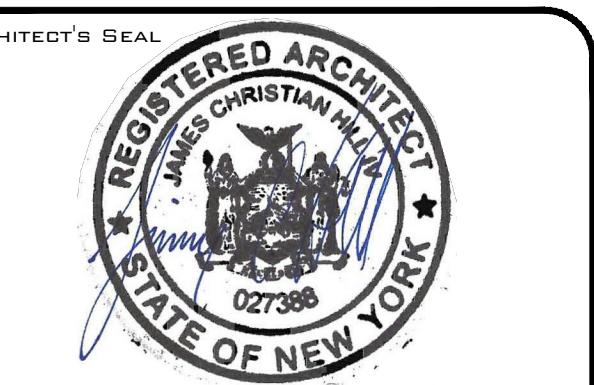
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ST: Q00385116-11
PLSP: C00385116-11
MH: C00297454-11
ELECTRIC: ELECTRICAL
CURB CUT: CURB CUT
FENCE/SHED: FENCE/SHED
ELEVATOR: ELEVATOR

DOB APPROVAL STAMP

NO. REVISION/ISSUE DATE

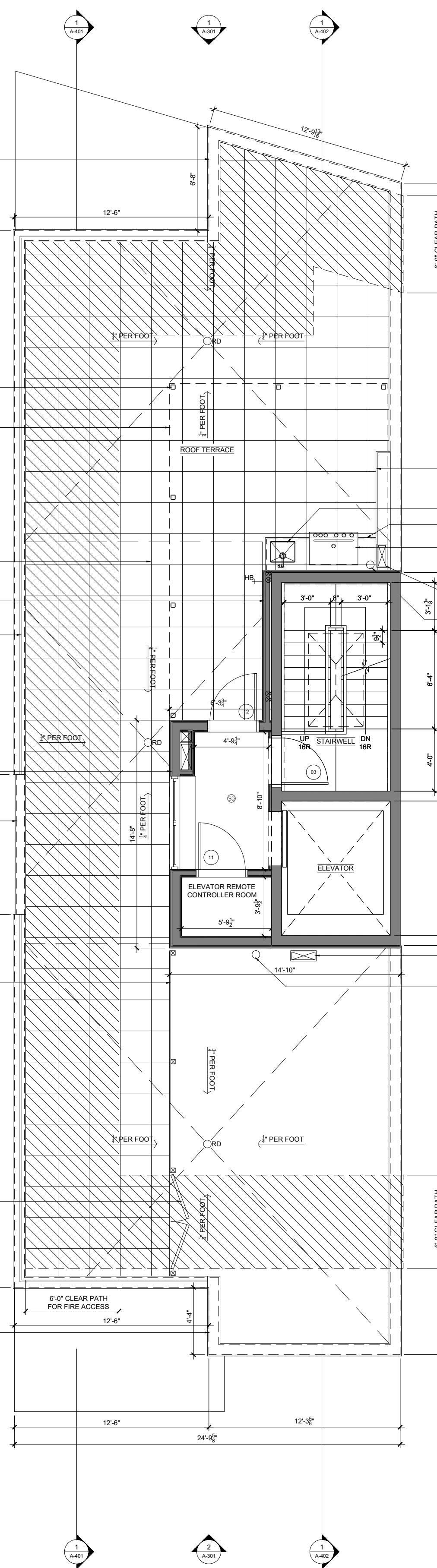
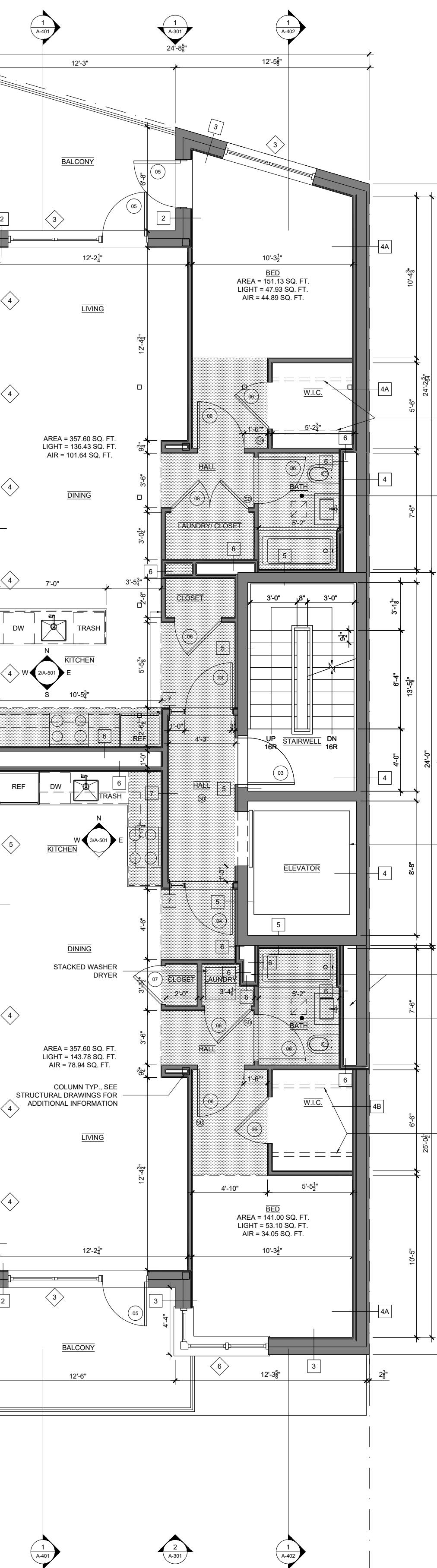
SHEET TITLE
**CONSTRUCTION
PLANS - TYP. PLAN @
FLOORS 3,4,5, SIXTH
& ROOF**

SCALE AS NOTED DATE SEPT 16, 2020



SHEET A-102.00

5 OF 14





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LEGEND

- | | |
|-----|------------------------------------------------------------------------------------------------------------------------------|
| | DUPLEX RECEPTACLE |
| GFI | GROUND FAULT INTERRUPT |
| | SWITCH, ALL SWITCHES TO BE DIMMER |
| | 3 SUBSCRIPT DENOTES 3-WAY |
| | J SUBSCRIPT DENOTES JAMB SWITCH |
| | LINE VOLTAGE RECESSED LIGHT FIXTURE |
| | SURFACE MTD LIGHT FIXT, PROVIDE
J-BOX, PROVIDE SOLID BLOCKING FOR
HEAVY FIXTURES, INSTALL FIXTURES
PROVIDE BY OWNER |
| | WALL SCONCE |
| | COMBINATION SMOKE & CARBON
MONOXIDE DETECTOR |
| | EXHAUST FAN |
| VIF | VERIFY LOCATION & HEIGHT IN FIELD |
| | INTERCOM |
| | UNDER CABINET LIGHTING |
| | DROP CEILING |

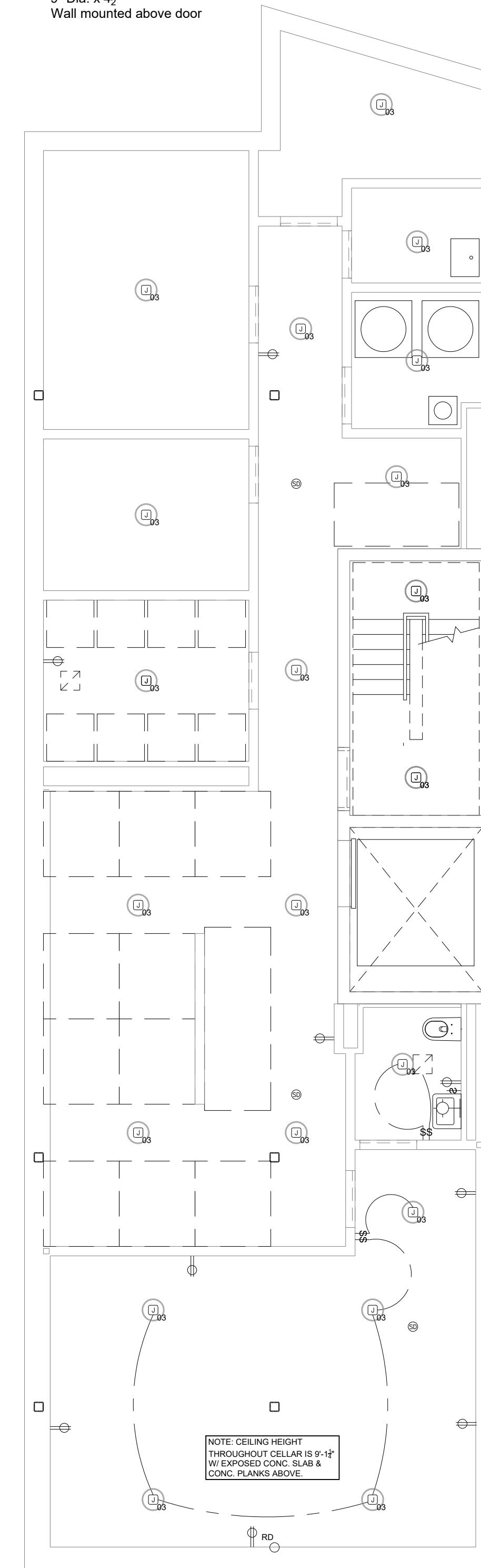
LIGHTING SCHEDULE

-  01 dweLED, Niveous - 3000K Pendant
14" globe mounted 13" from ceiling

 -  02 Stuff, Barbell Light
46" long & mounted 30" below ceiling

 -  03 AFX, Cirrus LED Flush Mount
14" Dia. x 4 $\frac{1}{2}$ "

 -  04 AFX, Cirrus LED Flush Mount
9" Dia. x 4 $\frac{1}{2}$ "
Wall mounted above door



CELLAR
1 3/16" = 1'-0"

FIRST FLOOR
2 3/16" = 1'-0"

SECOND FLOOR

1

A circular seal for a registered architect. The outer ring contains the words "REGISTERED ARCHITECT" at the top and "STATE OF NEW YORK" at the bottom. Inside the ring, the name "JAMES CHRISTIAN HILL" is written in a curved font. In the center of the seal is a shield featuring a central figure, possibly a Minotaur or a similar mythical creature, flanked by two smaller figures. Below the shield is the number "027388". The entire seal is stamped with a blue ink.

SHEET A-201.00

SHEET TITLE

**REFLECTED CEILING
PLAN**

SCALE AS NOTED DATE 6/16/2020

SHEET TITLE

REFLECTED CEILING

GENERAL NOTES

DOB APPLICATIONS:

BIS:
OT: 420666531-01
SOE: 420666531-02
BPP: BPP

DOB NOW:
ST: Q00385116-I1
PL/SP: Q00385088-I1
MH: Q00297454-I1
ELECTRIC: ELECTRICAL
CURB CUT: CURB CUT
FENCE/SHED: FENCE/SHED
ELEVATOR: ELEVATOR

DOB APPROVAL STAMP

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An oval-shaped seal with a decorative border containing the text "ARCHITECT'S SEAL".

SHEET A-201.00

RS\UPA4\GOOGLE DRIVE\UPA\JOBS\2018-06 27-05 27TH ST - ASTORIA\DRAWINGS\ASTORIA\SHEETS\A-201 REFLECTED CEILING PLAN.DWG, SEP. 16, 20



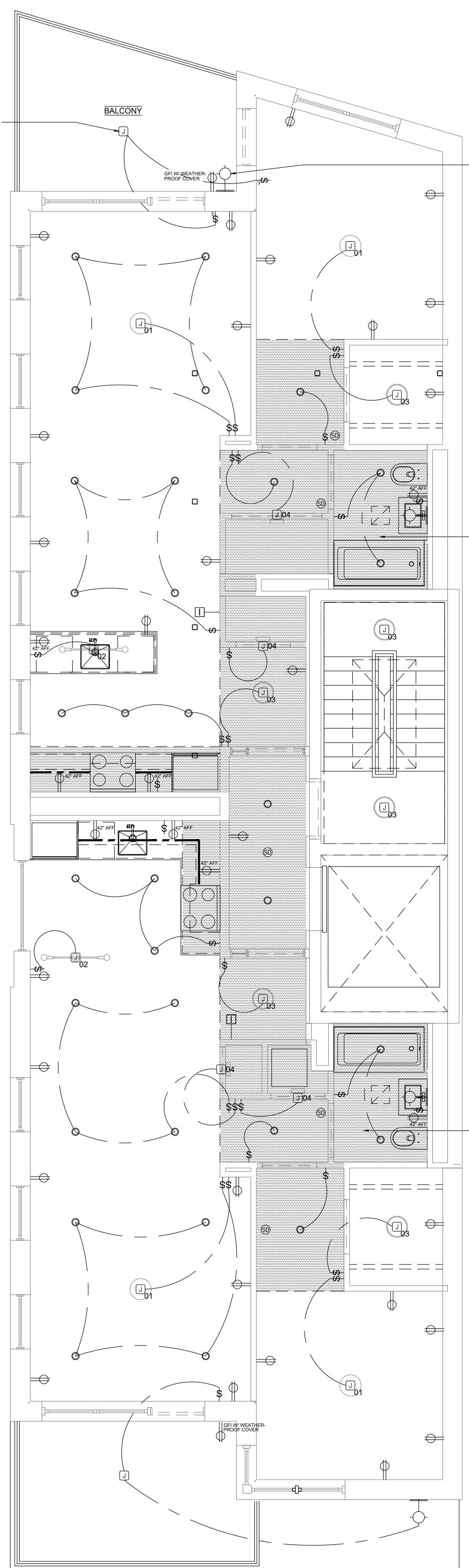
The logo consists of a red circular graphic on the left. Inside the circle, there are two crossed tools: a hammer in the upper-left position and a pencil in the lower-right position, both rendered in white.

LEGEND

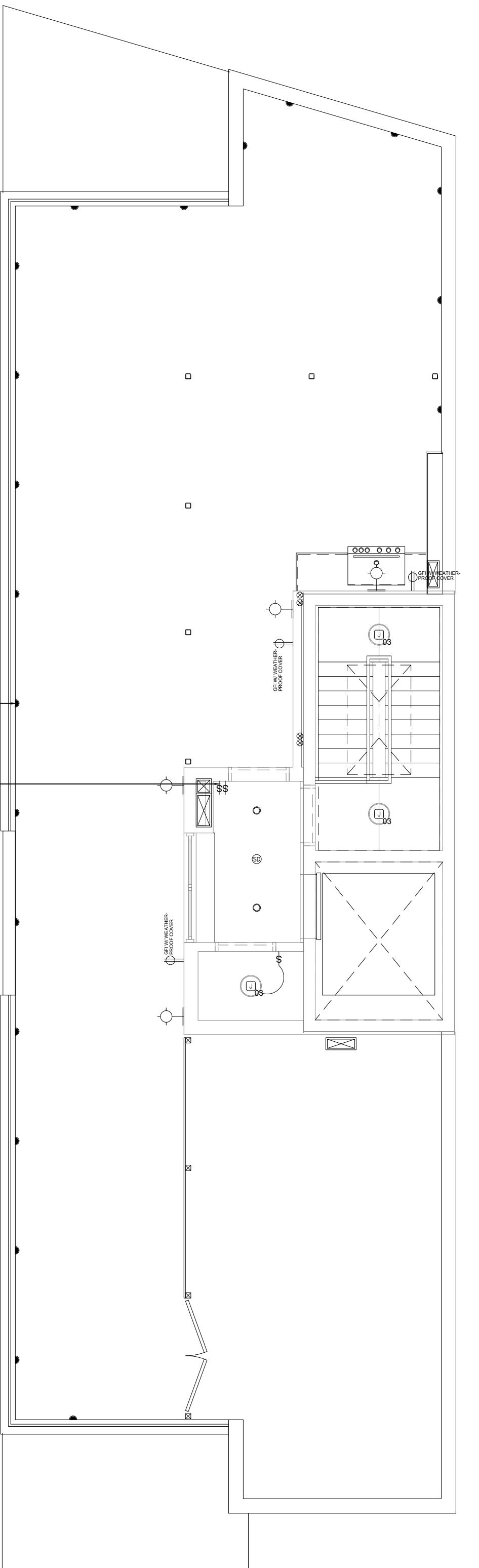
- | | |
|-----|----------------------------------------------------------------------------------------------------------------------|
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| | INTERCOM |
| | UNDER CABINET LIGHTING |
| | DROP CEILING |

NOTES:

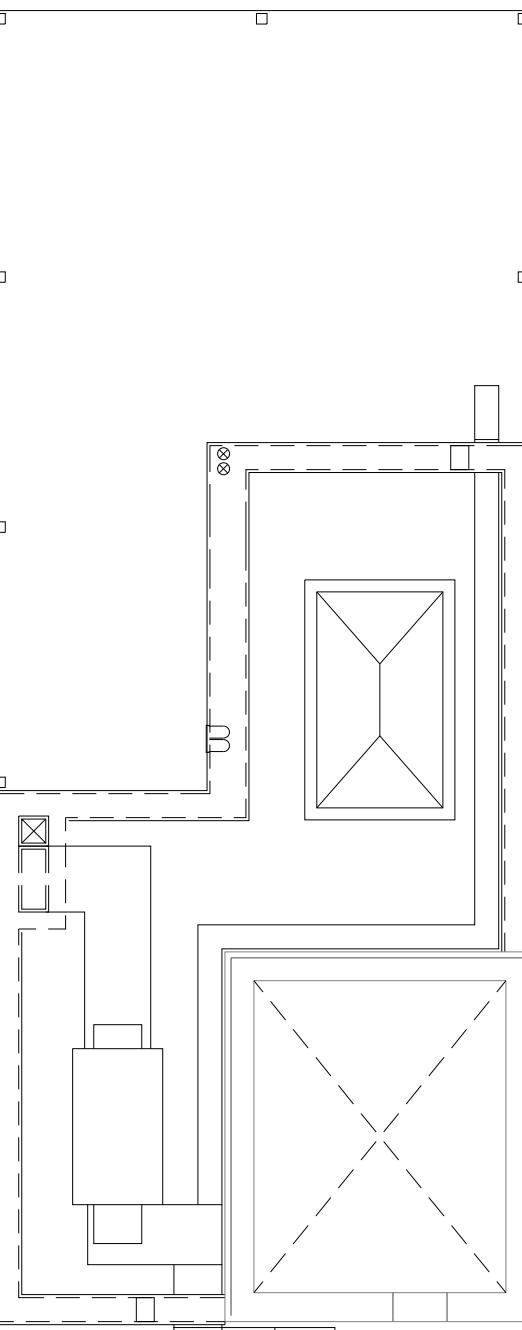
1. UNLESS OTHERWISE NOTED, ALL SWITCHES TO BE LUTRON DECORA DIMMERS, COLOR: WHITE. ALL ELECTRICAL, PHONE, CATV, ETC. RECEPTACLES TO MATCH SWITCHES
 2. NOT LESS THAN 90 PERCENT OF THE LAMPS PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL USE LAMPS WITH AN EFFICACY OF AT LEAST 65 LUMENS PER WATT, OR HAVE A TOTAL LUMINAIRE EFFICACY OF AT LEAST 45 LUMENS PER WATT.
 3. UNLESS OTHERWISE NOTED, ALL SWITCHES TO BE @ 42" ABOVE FINISHED FLOOR.



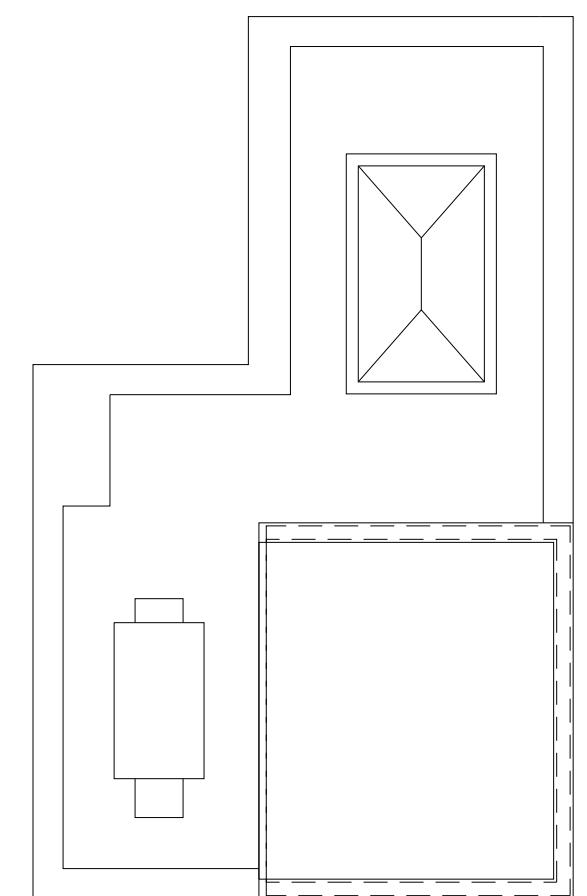
1 TYPICAL FLOOR (3-5)



2 ROOF
3/16" = 1'-0"

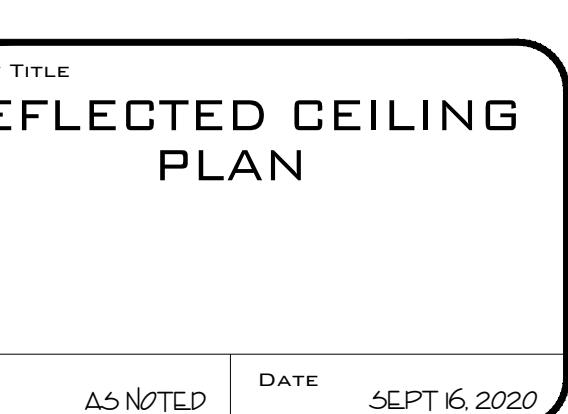


BULKHEAD ROOF

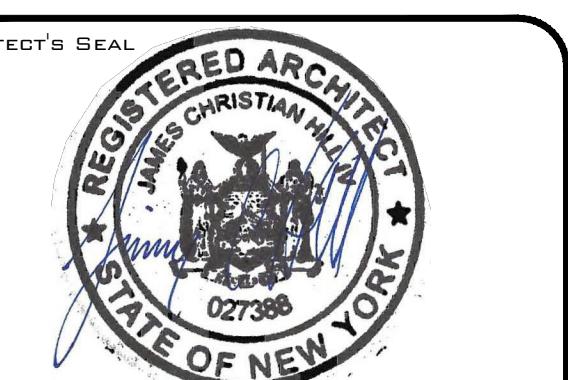


4 ELEVATOR ROOF

3/16" = 1'-0"



**REFLECTED CEILING
PLAN**



A-202.00

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 PLSP: Q0038489-11
 MH: Q0029745-11
 ELECTRIC: ELECTRICAL
 CURB CUT: CURB CUT
 FENCE/SHED: FENCE/SHED
 ELEVATOR: ELEVATOR

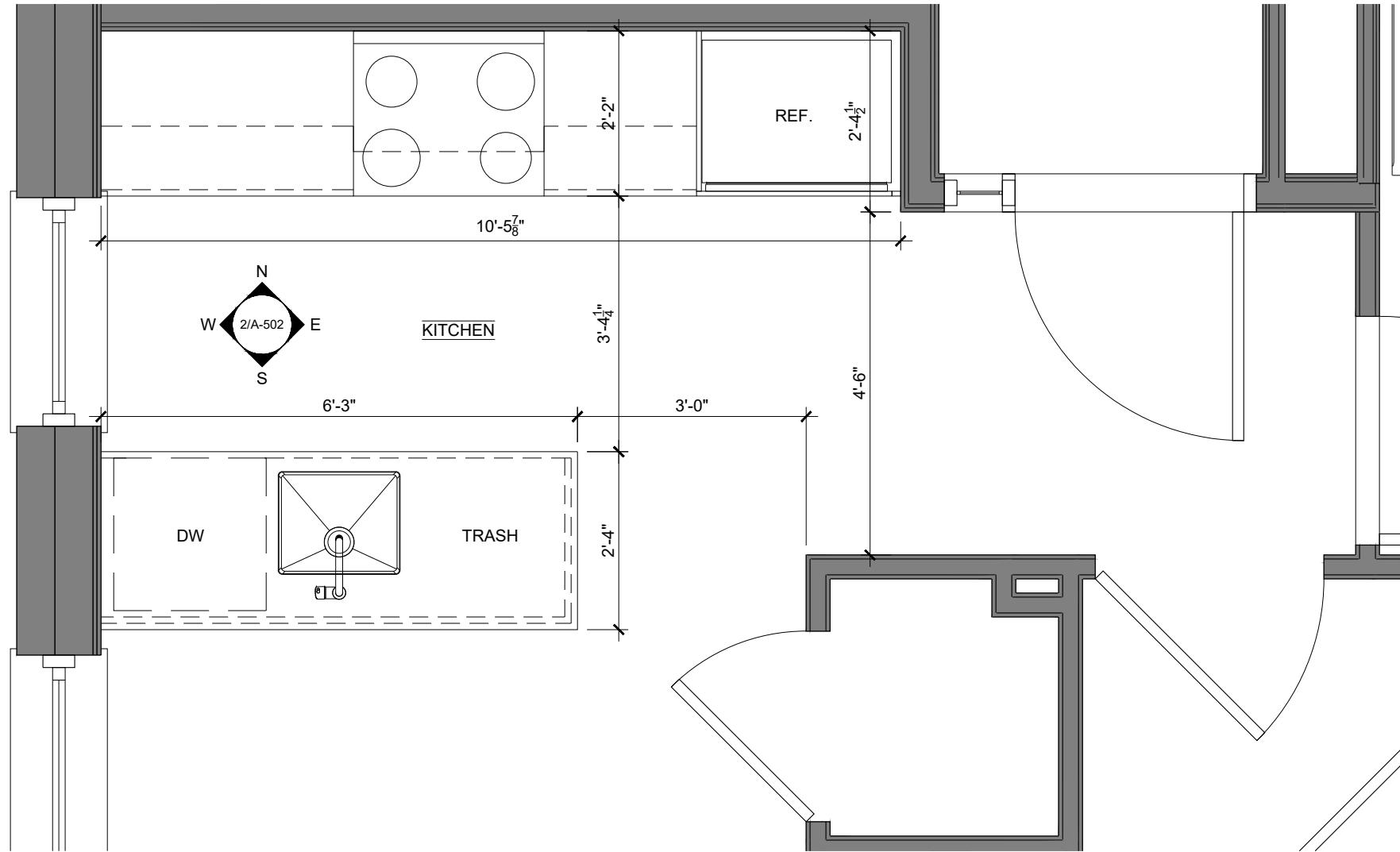
DOB APPROVAL STAMP

NO. REVISION/ISSUE DATE

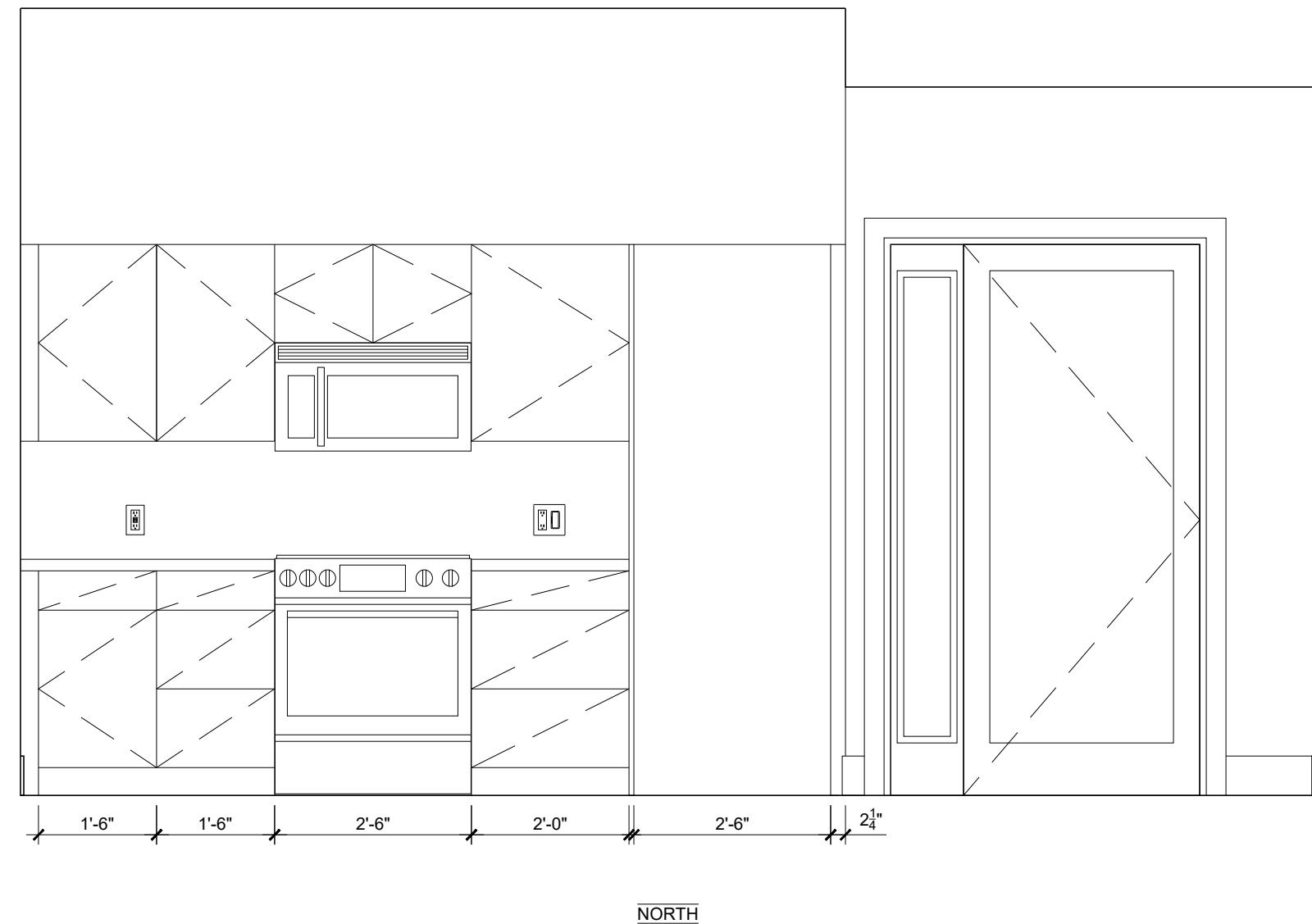
SHEET TITLE
INTERIOR ELEVATIONS



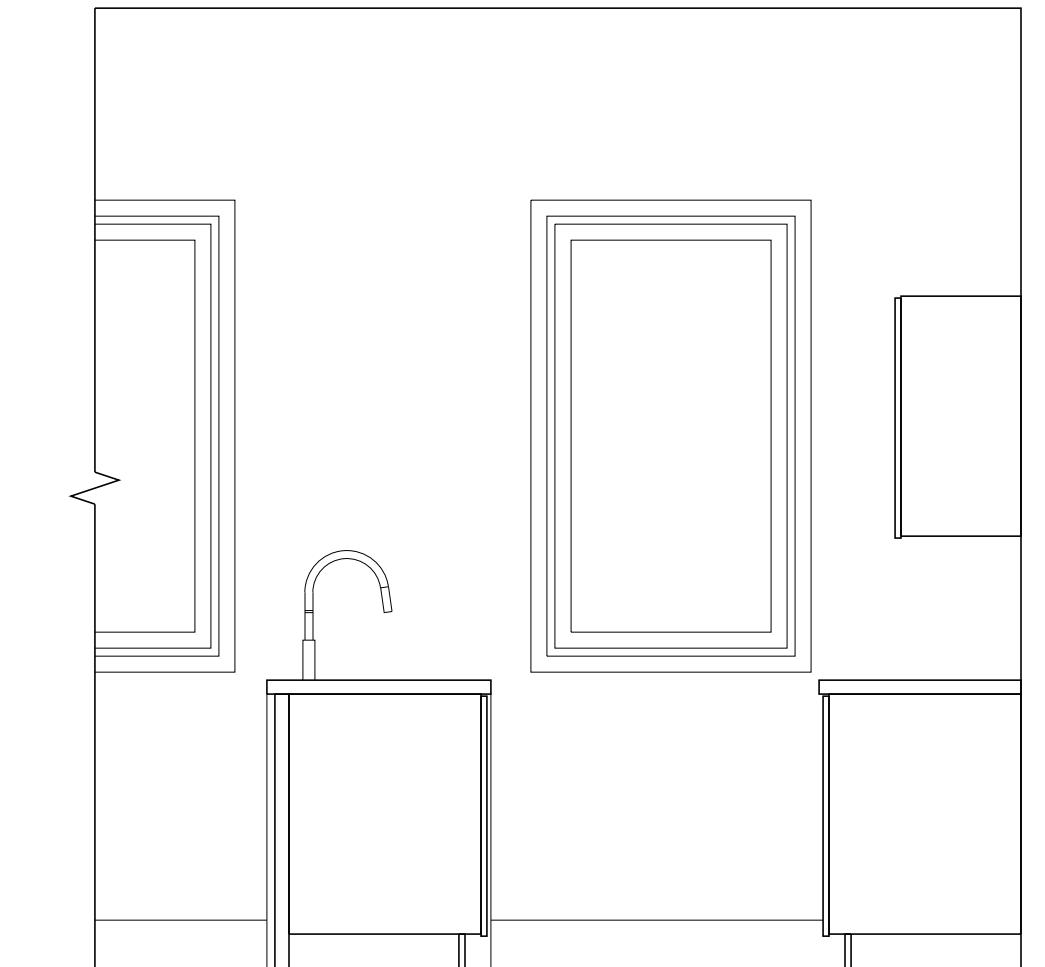
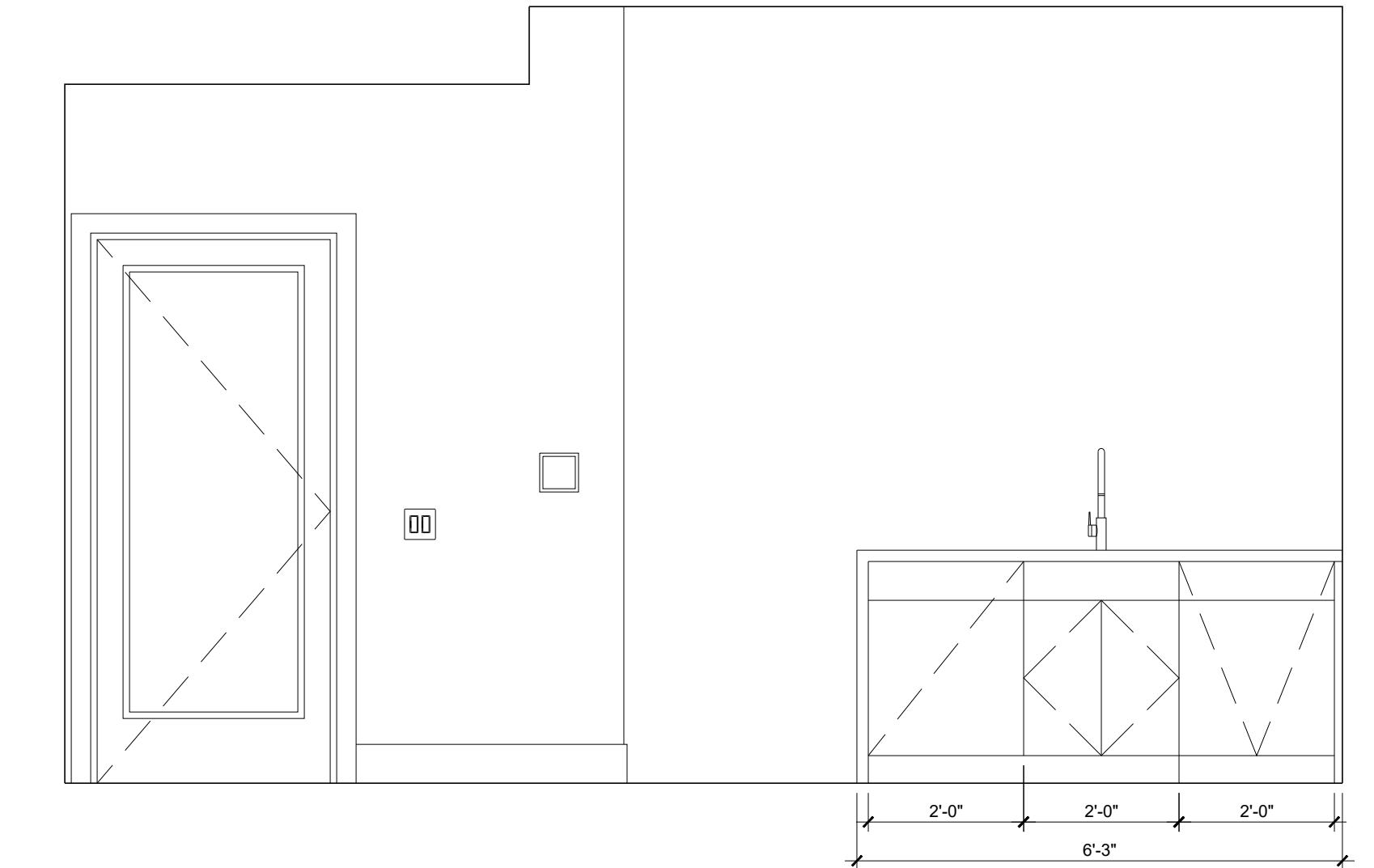
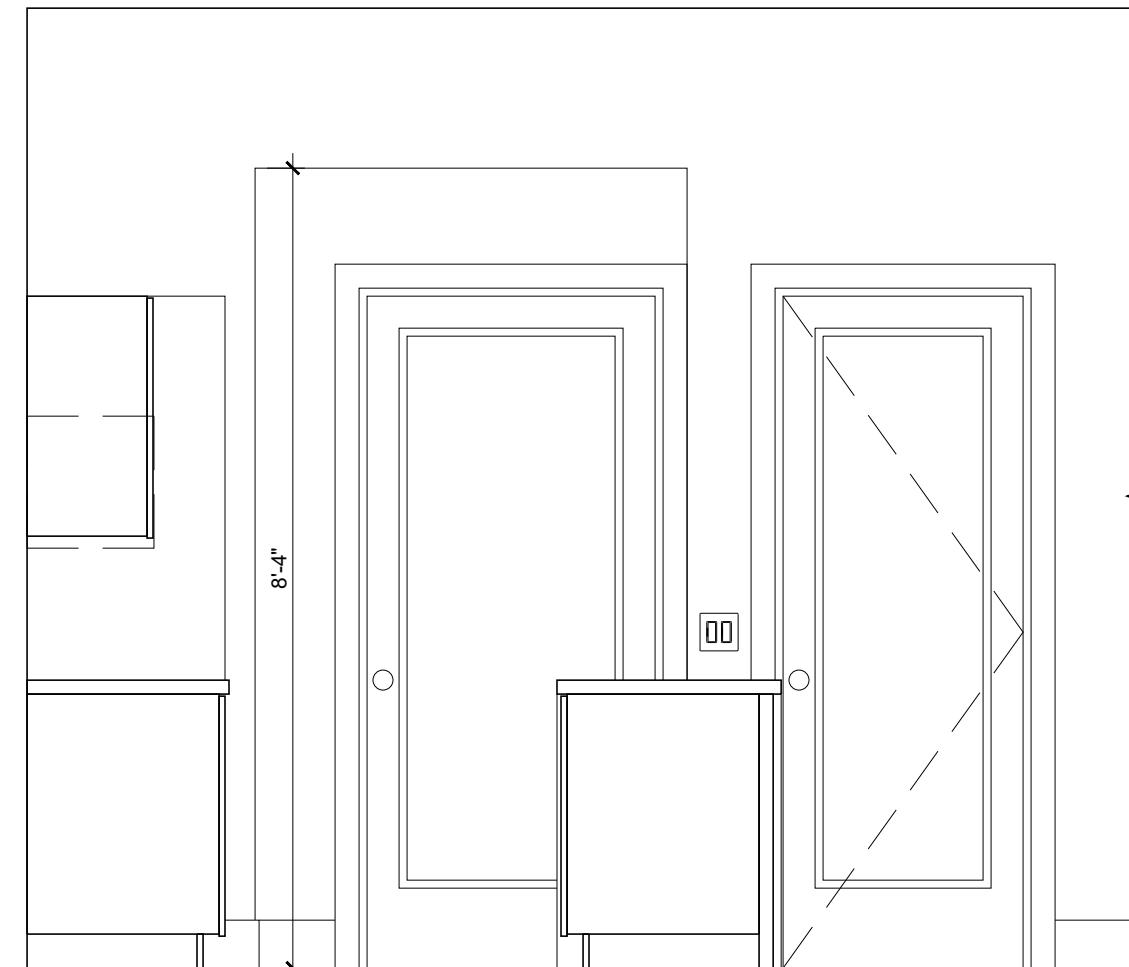
SHEET A-502.00
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① PLAN FIRST FLOOR SOUTH UNIT KITCHEN
 $1/2'' = 1'-0''$



NORTH

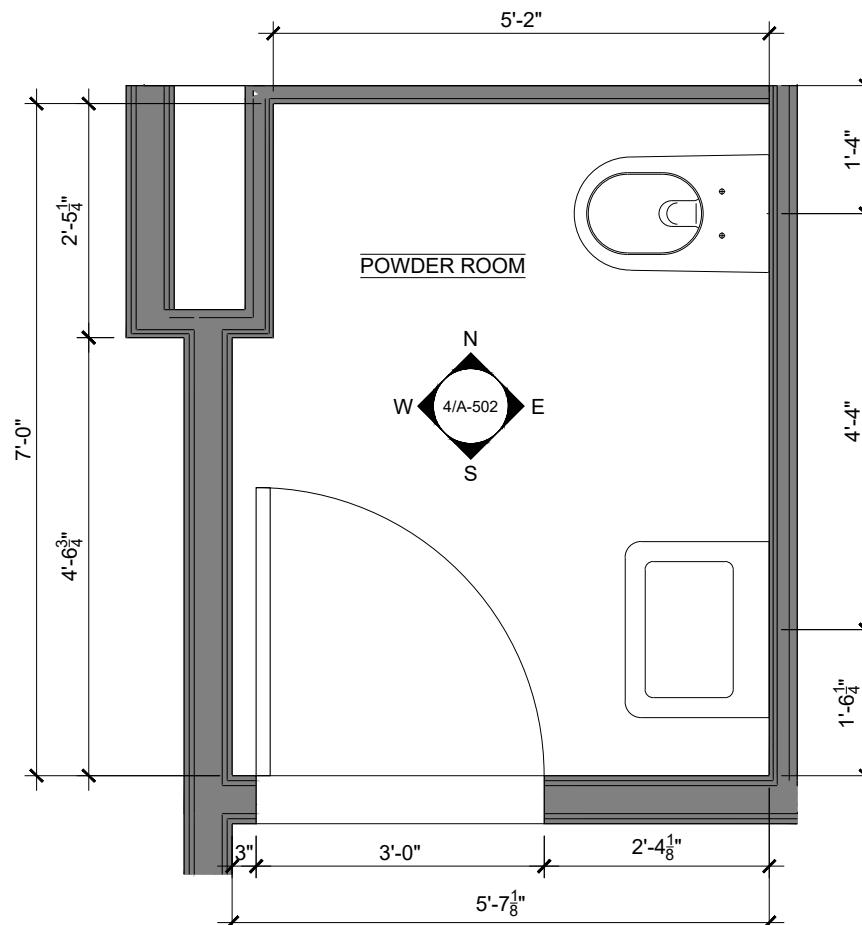


EAST

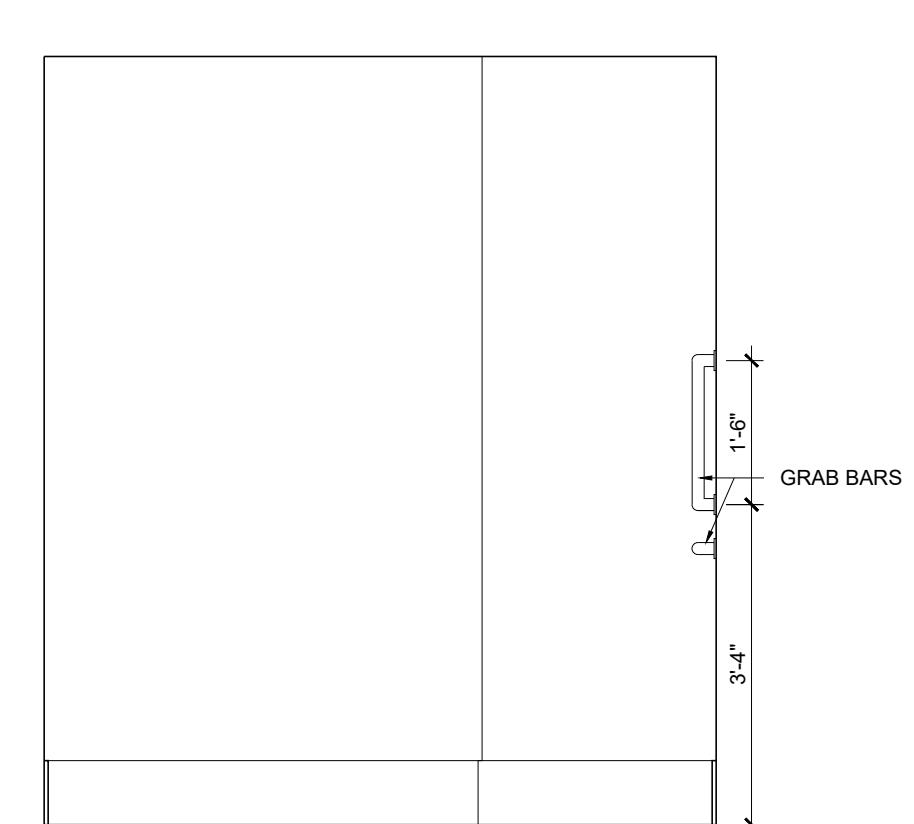
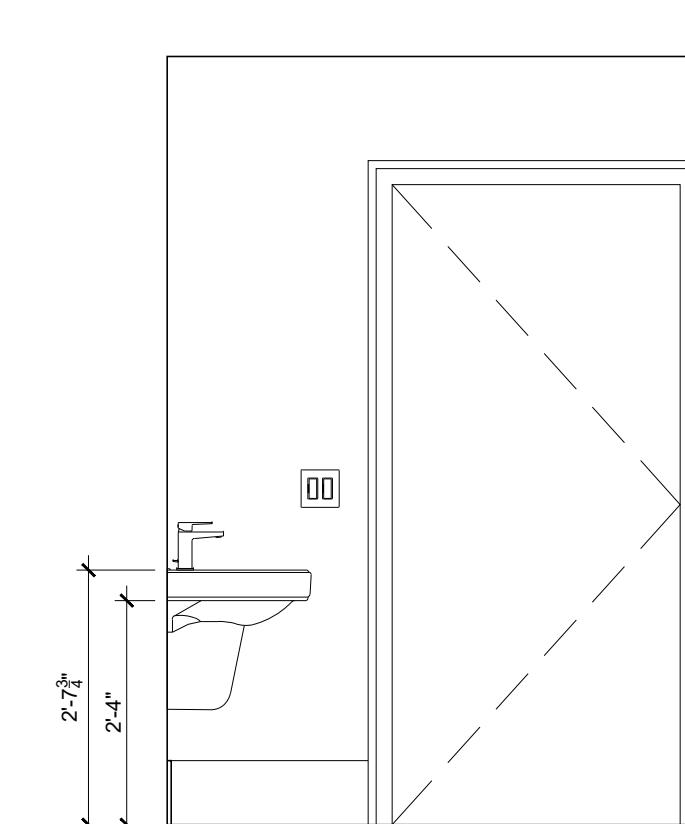
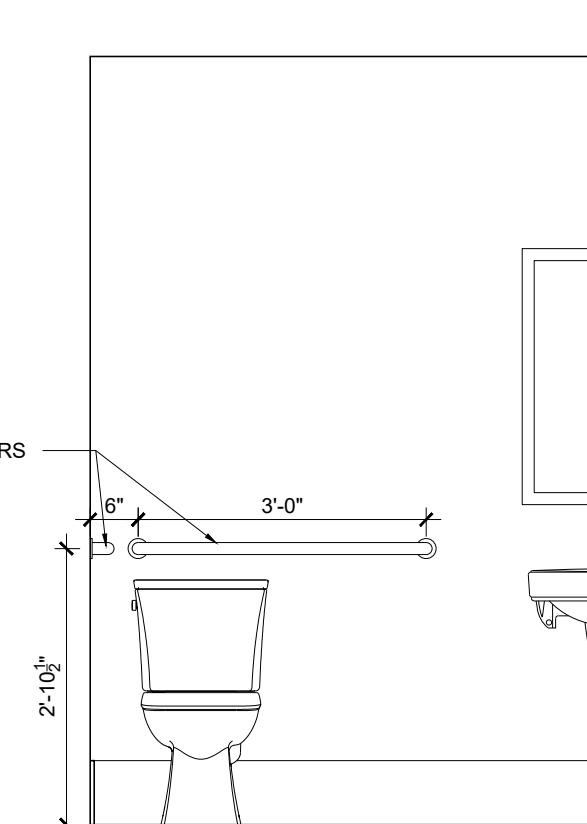
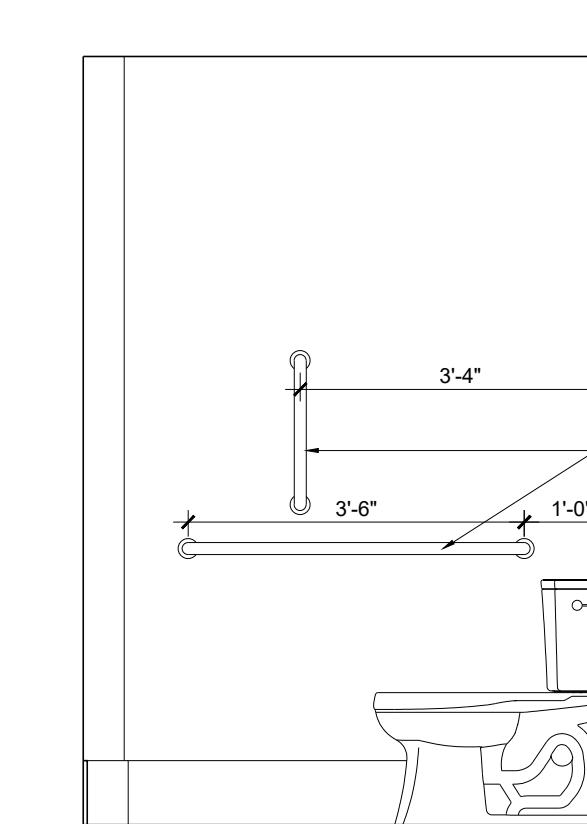
SOUTH

WEST

② FIRST FLOOR SOUTH UNIT KITCHEN
 $1/2'' = 1'-0''$



③ POWDER ROOM PLAN
 $1/2'' = 1'-0''$



④ POWDER ROOM ELEVATIONS
 $1/2'' = 1'-0''$

NORTH

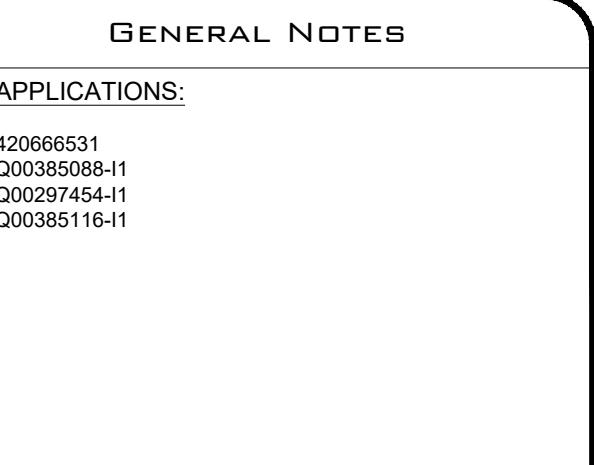
EAST

SOUTH

WEST



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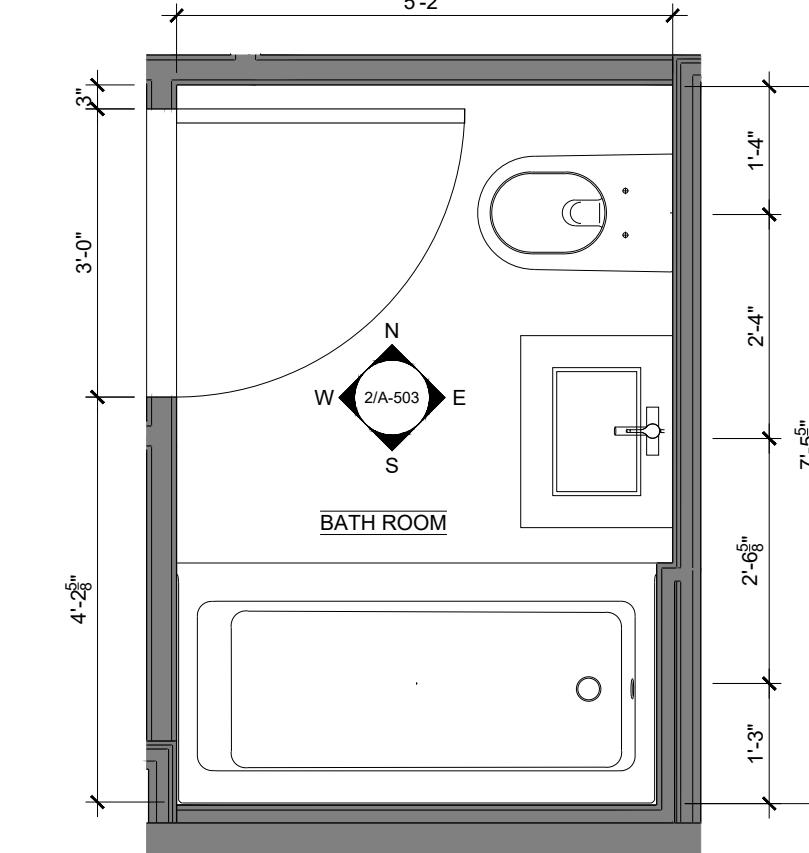


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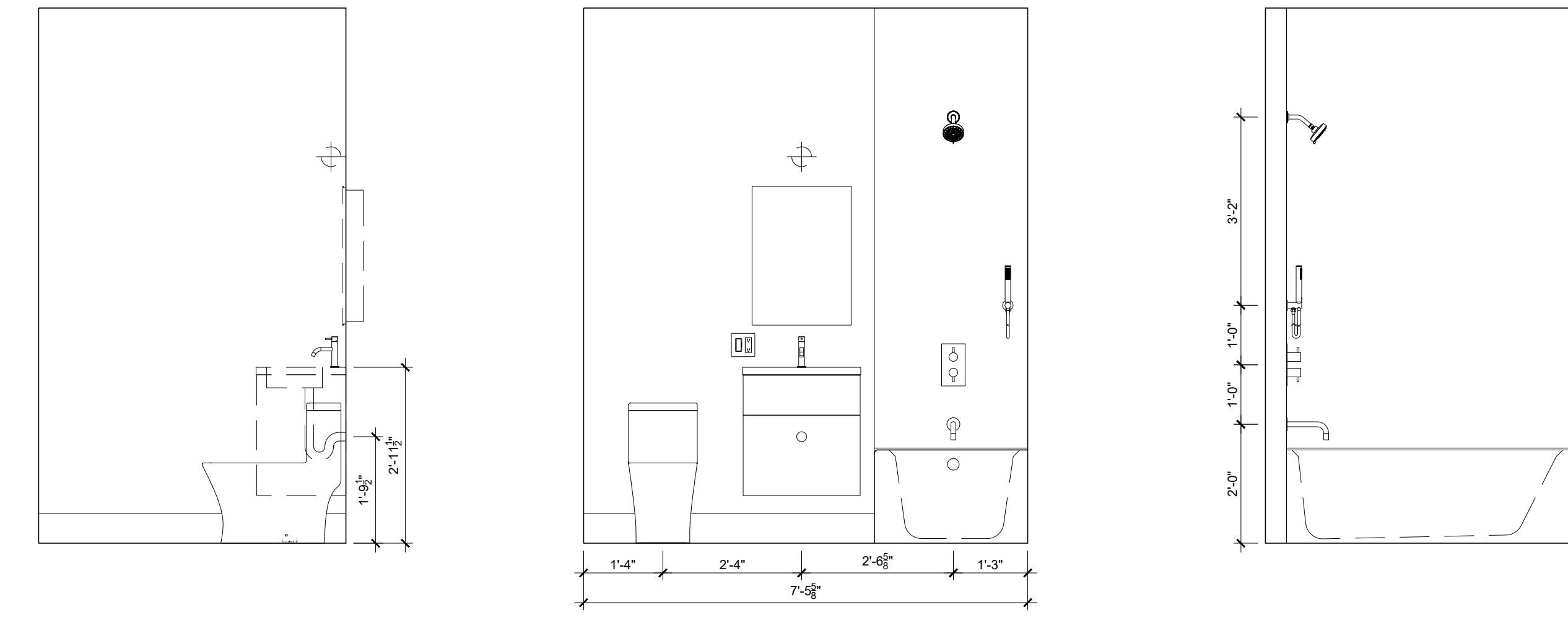
SHEET TITLE
INTERIOR ELEVATIONS
SCALE As Noted DATE SEPT 16, 2020



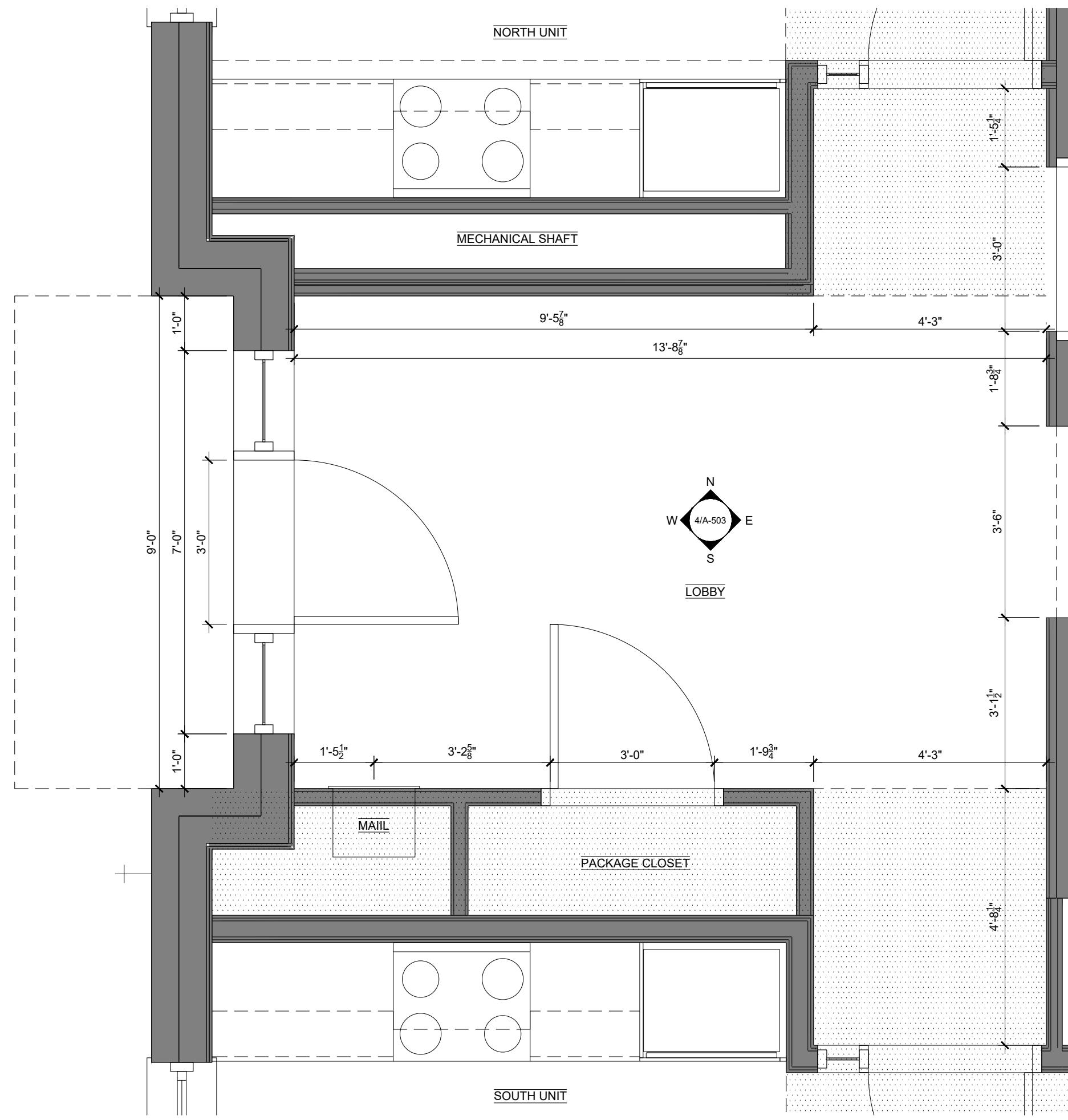
SHEET A-503.00
14 OF 14



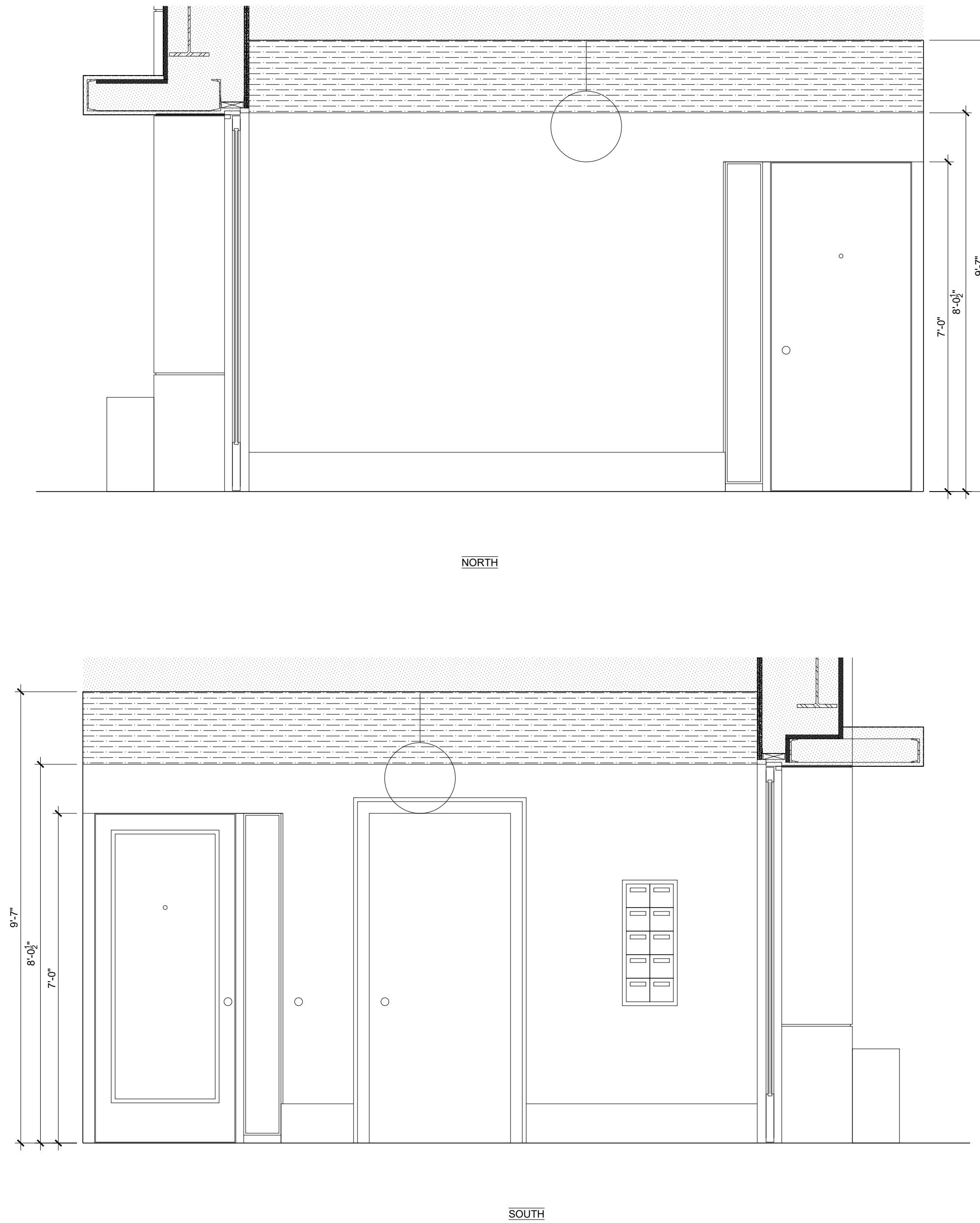
① PLAN TYPICAL BATH NORTH UNIT
1/2" = 1'-0"



② TYPICAL BATH NORTH UNIT ELEV.
1/2" = 1'-0"



③ MAIN ENTRANCE
1/2" = 1'-0"



④ MAIN ENTRANCE
1/2" = 1'-0"

