

**ARCHITECTURAL GUIDELINES AND
ARCHITECTURAL DESIGN BOARD (ADB) POLICIES**
September 2012

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SECTION I

A. INTRODUCTION

1. ORIGINAL DESIGN PHILOSOPHY OF THE PLANTATION AT PONTE VEDRA, INC.

While there is no certain theme or style of architecture defined for The Plantation, the design intent established by the developers is one of a simple elegance sympathetic with the environment and with other inhabitants and their structures within the community. The building policies defined in the next several pages are suggestions made in an attempt to define what materials, designs, and construction procedures will produce the optimum result for dollars spent by creating an atmosphere of continuity and harmony.

If a theme can be ascribed to The Plantation, it has been taken from the architecture best defined as "Picturesque" timeless elegance sympathetic with the environment. Timeless or historically based styles are also encouraged. Diversity of styles or themes is encouraged giving the Plantation's rich and varied fabric.

It is The Plantation's intent that we not require strict adherence to a historical style, but that the building forms and elements be used to formulate a distinctive "Plantation" look. From these guidelines, the architect should be free to meet his client's needs through a resultant contemporary interpretation of historic form, material, and detailing which will provide for a community of cohesive identity.

2. OVERVIEW OF ADB GUIDELINES, POLICIES, RULES AND REGULATIONS

These Guidelines and Policies reflect that The Plantation at Ponte Vedra, Inc. is a privately owned equity club community with every purchaser immediately owning an interest in the club and common properties requirements set forth in the Declaration of Easements, Covenants, Conditions, Restrictions, and Limitations for The Plantation at Ponte Vedra, Inc., as amended.

The Architectural Design Board (ADB) section of this document sets forth the organization, authority, and administrative procedures for the ADB. These are intended to describe procedures in detail to assist owners in the design and construction of their residences.

The ADB has been established to review and approve all plans for residences to be built in The Plantation and plans for additions/alterations to existing dwellings. The purpose of the Board, which administers aesthetic and environmental control over individual

structures, is not to stifle design freedom or make design decisions but rather to ensure that the individual residences reflect the overall design objectives within an evolving community and that the unique natural setting is preserved and enhanced by a thorough review.

The Architectural Design Board is available to each property owner to lend assistance during the design and construction of the lot owner's residence. In addition, the ADB offers the following pre-planning services:

1. Explanation of service performed by the design disciplines: surveyors, architects and landscape architects.
2. Ecological information concerning tree and vegetation characteristics, their value and relationship to new construction. This consultation, if with the ADB landscape consultant, would occur at the member's expense.
3. Information pertinent to The Plantation regulations.
4. Pre-design conferences with the ADB Administrator, lot owner and/or ADB members if requested by the lot owner and discussions with the architect concerning a full range of considerations that should be given to the design of a particular residence on a specific lot. Such items to be discussed would include
 - a) existing data on the lot;
 - b) descriptions of adjacent and nearby homes either constructed, designed, or in process;
 - c) advice on site views, vegetation, drainage, orientation of sun, lake level, utilities easement, and setbacks;
 - d) construction techniques;
 - e) exterior materials and colors;
 - f) compatibility or potential conflict that may exist between owner's concept and the adjacent homes or community at large.

This consultation, if with the ADB architectural consultant, would occur at the member's expense. Each of the ADB's professional consultants is available to meet with the lot owner at the lot owner's expense.

B. ADB ADMINISTRATOR AND BOARD MEMBERS

Architectural Design Board Administrator:

Allen Van Winkle

Offices:

101 Plantation Drive

Ponte Vedra Beach, FL 32082

Phone: 543-2996

Fax: 543-7293

www.avanwinkle@theplantationpv.com

Developer Representatives:

Successor Developer

Architectural Consultant:

Deryl Patterson

C. DEFINITIONS

In addition to the definitions in Article I of the Declaration of Easements, Covenants, Conditions, Restrictions and Limitations for The Plantation at Ponte Vedra, Inc., adopted September 26, 1986, as amended from time to time, the following definitions are applicable without exclusion of terms having commonly acceptable definition in the trades, disciplines, industry, and professions which may be involved or represented:

1. Builder: Any person and/or legal entity as provided in Florida statutes that is legally registered and/or licensed to engage in building construction in the State of Florida and in St. Johns County, Florida.
2. Contractor: Same definition as builder.
3. Designer: As may be referenced herein and/or in written or oral communication in context with a particular activity, "Designer" is defined as an "Architect," "Interior Designer," "Registered Florida Engineer," and/or a "Registered Florida Landscape Architect."
4. Engineer: Any natural person who is registered under Chapter 471, Florida Statutes with the Florida Board of Engineers to provide legally authorized and regulated design services.
5. Homebuilder: A "Builder," "Contractor," and/or "Developer," and in common reference, the term may refer to a "Homeowner" who is having a home built within the Plantation.
6. Homeowner: Owner shall mean and refer to the record owner, whether one or more persons or entities, of the fee simple title to any Parcel. Owners shall not include those having an interest merely as security for the performance of an obligation. In the event that there is a contract for deed covering any Parcel, the Owner of such Parcel shall be the purchaser under said contract and not the fee simple title-holder.
7. Contract for deed: A "contract for deed" is an agreement whereby the purchaser is required to make periodic payments toward the purchase of a Parcel for a period extending beyond nine (9) months from the date of the agreement, and where the purchaser does not receive title to such Parcel until all periodic payments are made, but is given the use and possession of the Parcel prior to such acquisition of title.
7. Landscape Designer: Any natural person who is a registered Florida Landscape Architect pursuant to Florida Statutes.
8. ADB: "ADB" means the Architectural Design Board.

SECTION II

ADB PROCEDURES

1. STATEMENT OF PRINCIPLES AND PURPOSE

- 1.1 Much effort was given to the master planning of The Plantation to ensure a thoughtful and harmonious development process. A major concern in the planning was the integration of development with its immediate environment. The Plantation at Ponte Vedra, Inc. believes that man made improvements should, as much as possible, blend with nature rather than stand in stark contrast with it. The result is a development more pleasing to the eye and a more attractive community in which to live.
- 1.2 In order to assure that these objectives are achieved and to assure a continuity of physical development such that future development will be compatible with existing development, The Plantation at Ponte Vedra, Inc. has declared and recorded amended Easements, Covenants, Conditions, Restrictions, and Limitations for The Plantation at Ponte Vedra, Inc. Article VII of that Declaration establishes the Architectural Design Board and sets forth its jurisdiction, powers, obligations, and the rules and regulations under which it will conduct its review of proposed improvements. Any statements contained in this document are to condense, amplify, or clarify provisions of that declaration. In the event of a conflict, the declaration's provisions will prevail
- 1.3 Anyone applying for approval of the ADB for a home or project is urged to review carefully all provisions of the declaration prior to submitting an application to the committee.
- 1.4 The Architectural Design Board has been established for the purpose of defining aesthetic standards of construction in The Plantation and examining and approving or disapproving any and all proposed improvements for a building site within The Plantation. Improvements subject to review include but are not limited to: dwellings, garages, outbuildings or any other buildings, construction or installation of sidewalks, driveways, parking lots, mailboxes, decks, patios, courtyards, swimming pools, greenhouses, playhouses, awnings, walls, fences, exterior lights, any exterior addition to or change or alteration to existing structures, the painting or staining of any exterior surface, and landscaping of the property after improvements have been constructed or installed. The ADB reserves the right to require any unapproved outside element to include yard art to be removed.
- 1.5 Architectural Design Board approval must be obtained for shaping of land areas and drainage as well as removal of any trees more than 3" in diameter, measured at breast height.

2. ADMINISTRATION OF THE ADB

2.1 The Board of Directors of The Plantation at Ponte Vedra, Inc., Inc. shall establish and appoint the members of the Architectural Design Board. The ADB shall consist of at least five (5) members who may or may not be members of the Board of Directors, but three of whom must be Parcel/Home Owners.

2.1.1 The regular term of office for each member shall be one year coinciding with the fiscal year of the Association. Any member appointed by the Board may be removed with or without cause by the Board at any time by written notice to such appointee and a successor or successors appointed to fill such vacancy shall serve the remainder of the term of the former member.

2.1.2 The Board of Directors shall appoint a Chairperson. The ADB shall elect a Vice Chairperson, who shall be the presiding officer at its meetings in the Chairperson's absence.

2.2 Administrator: The ADB may appoint an administrator who is not a member of the ADB.

2.2.1 The Administrator shall administer the day-to-day management of the ADB, including:

- a. Receiving and processing all applications to the ADB.
- b. Answering questions concerning the ADB and representing the ADB to the property owners and to the general public.
- c. Supervision of inspection efforts.
- d. At the direction of the Chairperson, scheduling meetings and contacting members.
- e. Preparing routine correspondence for the ADB.
- f. Hiring and supervising support personnel for the Board upon its express approval.

2.2.2 The administrator will report directly to the Chairperson of the ADB.

2.3 So long as there are matters for consideration, the ADB shall meet monthly, as well as upon call of the Chairperson. All meetings shall be held at The Plantation administrative offices, 101 Plantation Drive. The ADB is authorized to retain the services of consulting architects, landscape architects, urban designers, engineers, inspectors, and/or attorneys in order to advise and assist in the ADB in performing its functions set forth herein.

- 2.4 The ADB in its general practice schedules meetings twice a month, on the first and third Tuesday of each month. The costs incurred by the arranging of additional ADB special meetings, including individual consulting by the ADB's chairperson, architectural consultant or landscape consultant, may be billed to the party requesting these special meetings. Special ADB meetings are strongly discouraged.

3. PLAN SUBMISSION PROCEDURES

- 3.1 Four complete sets of all building plans (two for preliminary submission) and two sets of landscape plans must be submitted along with a completed application.
- 3.1.1 Plans must be submitted by 3:30 p.m. on the Tuesday prior to the scheduled meeting to allow the Board enough time for a thorough review. Submissions must be accompanied by the appropriate submission fees and deposits. Submission fees are \$1,000 for full submission. Completion deposits required of the owner are \$5,000 per site. Completion deposits may be required for additions and renovations, at the Board's discretion.
- A \$300 submission fee and \$2,500 completion deposit shall be required for all renovations affecting construction that requires review by the ADB architectural consultant and/or landscape consultant, including but not limited to room additions, garage additions, outbuildings, pools, spas, screen enclosures, hurricane shutters and any other appurtenance which takes significant time to be reviewed by the ADB. Accompanying landscaping, when required, is to be reviewed along with above.
- 3.1.2 Plans must be submitted to The Plantation's administrative offices located at 101 Plantation Drive, Ponte Vedra Beach, Florida 32082.
- 3.1.3 Resubmissions of rejected/incomplete plans must meet the same Tuesday 3:30 p.m. deadline.
- 3.1.4 All building plans must be deemed acceptable to the ADB. All landscape plans must be deemed acceptable to the ADB.
- 3.2 Schematic Presentation/Architectural Renderings – At the discretion of the applicant, an artist's rendition or a schematic rendering of a proposed improvement may be submitted to the ADB in order to determine suitability of a particular style or design for construction in The Plantation. The ADB will render an opinion as to whether or not a particular design would be acceptable. Because an artistic rendering is not always an accurate depiction of a design scheme, the ADB's opinion will be strictly non-binding and will be offered only in an effort to save an applicant's time and expense in pursuing a design that would be disapproved ultimately.
- 3.3 Preliminary Plans:
- 3.3.1 Preliminary plan submission is recommended highly and is used to resolve potential problems before going to the time and expense of final construction

drawings. Each preliminary plan submitted will be given preliminary approval. Preliminary approval does not constitute approval for lot clearance or construction. In the event of disapproval, specific reasons will be stated.

3.3.2 Preliminary plans may be schematic as to architecture but shall include, although not necessarily be limited to:

- a. Tree survey and boundary survey of existing property to be incorporated into the site plan.
- b. Site plan to scale, incorporating or overlaid on tree survey, indicating all structures and other improvements to be included in the scheme with an indication of trees to remain and trees to be removed.
- c. Key elevation drawings.

3.4 Final Plans – Final plans, in complete form, must be submitted and approved in order to gain approval to commence any construction on a building site, including removal of trees, grading, etc.

3.4.1 Final plans must include:

a. Site plans: All plans shall be submitted in consistent scale. Unless otherwise impractical, scale shall be 1/8" – 1" or 1" – 10'0" for all submissions. Site plans must depict:

Note: All of the following may be incorporated into the landscape plan and the landscape plan may also serve as the site plan.

1. Access street(s) and walkway(s), drives and other exterior improvements.
2. Grading drainage plan.
3. Fill plan, if any (indicating run-off and tree preservation method).
4. Culvert(s), location, size, and flow direction.
5. Foundation plan.
6. Exterior lighting plan.
7. Interior lighting and elements which may be readily visible from the outside.
8. Service areas.
9. Service entry to lot, of water, electricity, and telephone.
10. Tree survey showing location and species of trees three (3) inches or larger in diameter measured at breast height above ground. Indicate trees to remain and trees to be removed.
11. Site plan to scale, incorporated or overlaid on tree survey, indicating all structures and other improvements to be included in the scheme with an indication of trees to remain and trees to be removed (at the same scale as boundary/tree survey).

12. Location and identification of special features (e.g. drainage ditch, nearby lagoon, easements, adjacent structures, golf course fairways, tennis courts, etc.). NOTE: Adjacent structures, including previously built residences shall be depicted in relationship to property lines.
 13. Location of contractor's I. D. sign and portable outdoor toilet facilities.
- b. Architectural drawings including:
1. Total enclosed heated/air conditioned square footage (stated by floor in case of multi-floored residences).
 2. Floor plans – including an exact computation of the square footage of each floor.
 3. Elevation drawings – all sides. Indicate existing grade, fill, and finished floor elevation (include treatment of building from grade to floor in elevated buildings).
 4. Detailed drawings of:
 - (a) Typical wall section.
 - (b) Patio wall section, if appropriate.
 - (c) Other features desirable for clarification: exterior walls, screens, pools, and etc.
- c. Complete identification of colors and materials. Samples of exterior materials and colors must be submitted at the time final plans for construction are submitted to the ADB.
- d. Complete landscape plans to scale, indicating number, size, and species of specimens to be installed.
- 3.5 Complete Submission: Any submission that does not include all plans, materials, applications, and other items as required by this section will be rejected by the Administrator and will not be placed on the agenda until all requirements have been met.
- 3.5.1 Rejected submissions must be resubmitted not less than 14 days in advance of the subsequent meeting at which they are to be considered.
- 3.6 St. Johns County has directed The Plantation at Ponte Vedra, Inc. to adhere to the following procedures when considering approval of a setback variance: *

* *Addendum effective November 5, 1997 and Addendum effective November 25, 1997*

3.6.1 Variance Request:

- a. Per St. Johns County, no variance may be approved beyond four feet (4') on side or rear setbacks. The eight foot (8') easement precludes the granting of a side variance in Garden Homes. (*See Garden Homes, Section*)
- b. The variance will not encroach over a property line;

- c. The variance is required due to one or more of the following:
 - (1) To preserve a tree, bush, or shrub; or
 - (2) To avoid an encroachment within an area designated as a wetland by the State of Florida or United States; or
 - (3) Due to irregular or unusual lot shape, the proposed structure could not otherwise be constructed.

Note: "For aesthetic reasons" is not an acceptable criterion to St. Johns County for the purpose of granting variances. However, accessory items such as air conditioning units, pools, pool enclosures, etc. are allowed over the setbacks if approved by the ADB.

This means the ADB may approve for accessory structures to exist over the recommended setbacks. The ADB may choose to restrict all or some accessory structures to existing within the recommended setbacks due to its guidelines or general practices. The ADB guidelines allow for such flexibility with regards to its decisions including what would or would not be pleasing for aesthetic reasons.

- d. Requesting party to complete Variance Request Form.
- 3.6.2. Variance request reviewed by the Architectural Design Board.
 - 3.6.3. Architectural Design Board is to schedule a public hearing regarding variance requests. Notice of such Public Hearing shall be made as provided in Section 11-11-1 of the Zoning Code and any party shall be heard in person or by agent or attorney.
 - a. The public hearing is to be scheduled as part of next regularly scheduled ADB meeting. Should a property owner be unable to attend the scheduled meeting, the meeting will be rescheduled for the following ADB meeting (not more than 30 days from the date of receipt of the request for variance).
 - b. The ADB office is to certify and notarize a list of property owners within 300' of the property that the variance impacts.
 - c. Those property owners on the certified list are to be notified at least ten days prior to public hearing meeting. The ADB is to keep on file a notarized list of those property owners so notified.
Should a property owner be unable to attend the scheduled meeting, the meeting will be rescheduled but not more than thirty (30) days from the date of receipt of the request for a variance. (NOTE:) This would mean the next regularly scheduled ADB meeting.)
 - d. Those wishing to speak for or against the variance may do so at the public hearing/ADB meeting. All hearings related to requests for zoning variances will be conducted in accordance with the Public Meeting requirements set

forth in Section 286.011, Florida Statutes. All interested persons have the right to:

- (1) Present his case or defense by oral or documentary evidence;
 - (2) Submit rebuttal evidence as may be required for a full and true disclosure of the facts;
 - (3) Submit proposed findings and conclusions and supporting reasons therefore;
 - (4) Be accompanied, represented, and advised by counsel or represent himself; and
 - (5) Be promptly notified of any action taken on the request for a zoning variance.
- e. ADB to take action to approve/not approve variance.

A final order (decision) on each request for a zoning variance shall be made within ten (10) calendar days of the last hearing at which the request was considered. Each final order shall contain findings upon which the ADB's order is based. The originals of the final orders, along with minutes of the hearings will be maintained by the ADB consistent with the Public Records requirements set forth in Chapter 119 of the Florida Statutes. A copy of the final order will be furnished to the party that requested the variance. All final orders shall be made available for inspection, examination, and duplication to all persons who request them. Copies shall be furnished for a fee not to exceed reasonable copying costs.

Note: The ADB would most likely make its decision at the time the Public Hearing is scheduled.

Note: A 'final order' can be the ADB letter approving (with the accompanying signed variance form) or the ADB letter not approving the variance request. The minutes of the Public Hearing can be those portions of the ADB minutes addressing the Public Hearing.

- f. If approved, there is a 15 day waiting period before approved variance form can be released to the requesting party due to the possibility of appeal.
- 3.7 The ADB will release stamped, approved architectural plans, landscape plans, approved variances etc. as a complete package when all submission requirements are met and all items have been approved.

4. ARCHITECTURAL DESIGN BOARD MEETINGS

- 4.1 The ADB will conduct regular meetings at least once, but usually twice a month, generally on the first and third Tuesday of each month at 1:00 p.m. in The Plantation administrative offices or as otherwise designated by the Chairperson.
- 4.2 The ADB may conduct special meetings upon five (5) days written notification of date, time, and place from the Chairperson.
- 4.3 The advance submission requirement may be waived for plans submitted to special meetings, upon approval by the Chairperson.
- 4.4 A quorum requirement will have been met if three (3) members of the ADB are in attendance at any regular or special meetings.
- 4.5 Resolutions, approvals, and disapprovals of the ADB may be passed only upon majority vote of those present or by proxy.
- 4.6 The Chairperson may propose resolutions and vote on any resolutions.
- 4.7 All decisions of the ADB will be final unless appealed pursuant to the appeals procedures set forth in Article VII, Section 5, "Appeal," contained herein.
- 4.8 Applicants will be notified in writing of all decisions of the ADB. Oral representations of any decision will not be valid and will not represent decisions of the Board.
- 4.9 Applicants may have returned to them, a copy of plans reviewed by the ADB with appropriate markings to amplify Board comments or recommendations. Markings on plans so received will not bind the ADB to any design indicated therein and may be offered as requirements or suggestions. Final approval must be determined from revised plans submitted to the ADB.
- 4.10 One set of plans received will be retained by the ADB as part of a permanent record along with color and material samples.
- 4.11 Special visual aids, such as models, slides, and etc. may be reclaimed by the applicant.
- 4.12 The ADB minutes will serve as the official language regarding the outcome/response to all ADB submissions.

5. POSTING BONDS *

**Addendum effective March 16, 1993*

- 5.1 The Architectural Design Board in its sole discretion, requires that the owner place in escrow an amount of \$5,000 for each submission to be used as a completion bond/deposit as provided for in the Declaration of Easements, Covenants, Conditions, Restrictions, and Limitations for The Plantation at Ponte Vedra, Inc., as amended. For those who have three or more homes under review and/or construction, a general completion deposit in the amount of \$15,000 can be submitted. This \$15,000 may remain in the account and continuously roll over covering future submissions and homes under construction. The

deposit must be submitted to the ADB at the time of the initial application process and must be in the form and with terms acceptable to the ADB. Cash, check or a Letter of Credit from a financial institution acceptable to the Board may be used to meet bond/deposit requirements. Cash and/or checks will be deposited or maintained as follows:

1. First and second single lot, \$5,000 – non-interest bearing account.
2. A \$15,000 (multiple lots) Builder Deposit will be in the form of a Certificate of Deposit with interest accruing to the builder.

If a builder has a \$15,000 Letter of Credit, cash or CD on deposit and the ADB draws on the bond, the builder must replenish the account within ten business days or upon submission of new plans, whichever is sooner.

The amount in escrow shall be held to assure the satisfactory completion of all improvements, including landscaping, according to the plans approved by the ADB. Satisfactory completion shall be determined by inspections to include, but not limited to: architectural plan compliance, landscape installation, drainage inspection, a review of streets and curbs for damage, a review of adjacent lots for damage, and a review of adjacent areas to see that all debris has been removed. With regards to drainage, the ADB Drainage Certification Form will remain in effect after all inspections and approvals have been granted to insure that future drainage problems will be addressed by the owner and/or contractor.

The term of the bond/deposit shall be for one year. The deposit shall be returned prior to one year if all inspections and approvals have occurred. Should construction extend beyond one year, the ADB will require that the term of the deposit be extended until all inspections and approvals have been given.

5.1.1 The ADB shall assess a homeowner Twenty-five and 00/100 (\$25.00) Dollars for every day the house is not substantially complete 12 months after commencement of construction.

5.2 Upon completion of construction and all improvements to the satisfaction of the ADB, the completion bond shall be returned to owner less penalties provided for herein.

5.3 A \$2,500 completion deposit is required for all renovations affecting an elevation, room additions, garage additions, outbuildings, pools, spas, screen enclosures, hurricane shutters, including but not limited to any other appurtenance to be reviewed by the ADB, etc. Accompanying landscaping changes, when required, are to be reviewed along with the above.

6. PAYMENT OF FEE

6.1 The ADB has established a submission fee of One Thousand and 00/100 (\$1,000.00) Dollars for full submissions and Three Hundred and 00/100 Dollars (\$300.00) for additions and/or renovations.

6.1.1 The fee will be payable to The Plantation at Ponte Vedra, Inc., at the time of a preliminary plan submission.

6.2 The fees of the ADB may be increased or decreased from time to time at the sole discretion of the ADB.

If a major modification of an approved plan is voluntarily submitted by an owner, an additional fee of \$150.00 will be payable to The Plantation at Ponte Vedra, Inc.

7. INSPECTIONS

7.1 The ADB may perform periodic inspections at the building site to insure that all construction activity is in accordance with plans approved by the ADB. The inspections performed by the ADB are for the sole purpose of insuring compliance with guidelines of the ADB and will not be construed as inspection for compliance with any other agency having jurisdiction at the building site.

7.2 Owner/contractors must submit for review and approval to the ADB administrative office a foundation survey showing compliance with all setbacks on that particular lot.

7.2.1 The foundation survey is to be performed before any slab work is done, *i.e.*, before installation of any plumbing, electrical, etc., and before running any walls up. Should the ADB Administrator find that the foundation survey indicates the siting of the home meets the required setbacks, construction may resume immediately.

7.2.2 The foundation survey must show setback compliance for that particular lot. An additional 5" of allowance must show on the survey in any case where brick or other materials besides stucco will be used on the home (*i.e.*: stone, etc.).

7.2.3 The foundation survey must be approved by the ADB Administrator before any construction may continue.

7.2.4 Should the foundation survey not be in compliance with the defined setbacks, the owner/contractor must correct the situation and submit for review and approval a second foundation survey before any construction may continue.

7.2.5 The ADB Administrator will apprise the ADB of any foundation surveys that do not meet the ADB setback requirements.

7.3 At such time as the applicant has completed all improvements including landscaping, he shall request a final inspection.

7.3.1 The ADB will determine if all improvements have been made in accordance with ADB approved plans and will certify the findings to the Administrator by means of an Inspection Certification form which will be sent to the owner.

7.3.2 Upon certification that all improvements have been satisfactorily completed, including landscaping, the Administrator will release the owner's Completion Bond.

7.3.3 The Administrator will issue a final approval certificate.

8. ENFORCEMENT OF ARTICLE VII OF THE DECLARATION OF EASEMENTS, COVENANTS, CONDITIONS, RESTRICTIONS, AND LIMITATIONS FOR THE PLANTATION AT PONTE VEDRA, INC.

8.1 The ADB, through its Administrator and staff, will have the responsibility of enforcing all provisions of Article VII whether or not they are specifically included in these guidelines.

8.2 The Administrator will inform the ADB from time to time of any enforcement activities regarding 8.1 herein above.

9. APPEALS OF ARCHITECTURAL DESIGN BOARD DECISIONS

9.1 An applicant receiving a negative decision from the ADB is advised to revise the plans in accordance with recommendations and resubmit them to the ADB for approval.

9.2 If the applicant is unable or unwilling to comply with an adverse decision of the ADB, he may appeal the ADB's decision to the Board of Directors of The Plantation at Ponte Vedra, Inc. The request must be made in writing and directed to the Administrator. The ADB will forward the necessary information to the Board of Directors, who may reverse or modify the decision of the ADB by a two-thirds (2/3s) vote of all members of the Association's Board of Directors, who are entitled to vote.

9.3 The Board of Directors may request consultation of other professionals as it deems necessary.

9.4 The appellant will be given an opportunity to speak before the Board of Directors using whatever visual aids or consultants he and the Board deem appropriate.

9.5 All decisions of the Board of Directors will be final.

10. AMENDMENT

10.1 The foregoing policies of the ADB may be amended at any time by action of (a) a majority vote of the Architectural Design Board at a duly constituted meeting and (b) a majority vote of the Board of Directors of The Plantation at Ponte Vedra, Inc.

10.2 No prior notices or announcements will be required to amend these rules and regulations.

10.3 Any preliminary or final plan marked received shall be subject to the ADB policies which are in effect at the time.

11. SEVERABILITY

11.1 This document shall not be rendered invalid or unenforceable should any of the provisions of this document or the application or effect thereof be invalid or unenforceable for any reason and to any extent. Those provisions which are not invalid or unenforceable shall be enforced to the greatest extent permitted by law.

12. ADB RELATED MATERIALS STATE, COUNTY, VARIANCES, ETC.

12.1 St. Johns County Variance Procedures

The ADB is authorized by St. Johns County to grant certain requests for variances from the applicable setback requirements as provided below.

12.2 Zoning Variances:

1. **In General.** The ADB may grant zoning variances from applicable setback requirements which are found not to be contrary to the public interest and where the ADB finds that the variance request meets each of the following conditions and criteria:

- a. The variance requested does not exceed four (4) feet;
- b. The variance will not encroach over a property line;
- c. The variance is required due to one or more of the following:
 - (i) To preserve a tree, bush or shrub; or
 - (ii) To avoid an encroachment within an area designated as a wetland by the State of Florida or United States ; or
 - (iii) Due to irregular or unusual lot shape, the proposed structure could not otherwise be constructed.

However, accessory structures such as air conditioning units, driveways, pools and pool enclosures are allowed within the required setback by right.

2. **Public Hearing.** When a variance request is received, the ADB will set the request to be heard at a public hearing at the next regularly scheduled meeting. Notice of such public hearing shall be made as provided in Section 11-11-1 of the Zoning Code and any party shall be heard in person or by agent or attorney. Should a property owner be unable to attend the scheduled meeting, the meeting will be rescheduled, but not more than thirty (30) days from the date of receipt of the request for a variance.

3. **Procedure for Hearing a Zoning Variance.** All hearings related to requests for zoning variances will be conducted in accordance with the Public Meeting requirements set forth in Section 286.011, Florida Statutes. All interested persons have the right to:

- a. Present his case or defense by oral or documentary evidence;
- b. Submit rebuttal evidence as may be required for a full and true disclosure of the facts;

- c. Submit proposed findings and conclusions and supporting reasons therefore; and
- d. Be accompanied, represented and advised by counsel or represent himself; and
- e. Be promptly notified of any action taken on the request for a zoning variance.

4. Orders. A final order on each request for a zoning variance shall be made within ten (10) calendar days of the last hearing at which the request was considered. Each final order shall contain findings upon which the ADB's order is based. The originals of the final orders, along with minutes of the hearings, will be maintained by the ADB consistent with the Public Records requirements set forth in Chapter 119 of the Florida Statutes. A copy of the final order will be furnished to the party that requested the variance. All final orders shall be made available for inspection, examination and duplication to all persons who request them. Copies shall be furnished for a fee not to exceed reasonable copying costs.

12.3 Appeals

- a.. In General. An appeal may be taken by any person aggrieved by any decision of the ADB provided a Notice of Appeal is filed with the secretary of the St. Johns County Planning and Zoning Agency, along with a copy of the Order being appealed, within fifteen (15) days of the decision of the ADB.
- b. Notice. A Notice of Appeal shall be filed with the secretary of the St. Johns County Planning and Zoning Agency and shall include all pertinent information related to the action being appealed. The Notice of Appeal shall be filed on the form established and provided by the St. Johns County Planning and Zoning Agency. A copy of the notice must be provided to the ADB and to the property owner who requested the variance.
- c. Hearing. The St. Johns County Planning and Zoning Agency shall within fifteen (15) days after receipt of such notice of appeal set a reasonable time for hearing thereon and shall give notice of the time and place of the hearing to the applicant, the ADB and the property owner who requested the variance.

- d. Stay of Decision. An appeal shall stay the ADB's decision until such time as a final determination has been made by the St. Johns Planning and Zoning Agency.
- e. Procedure for Appeal. The appeal to the St. Johns County Planning and Zoning Agency is de novo and will proceed as set forth in Section 11-9-4 of the Zoning Code.

SECTION III

BUILDING POLICIES AND RESTRICTIONS

1. SIZE:

All single family dwelling units shall have a minimum footage of enclosed dwelling space as noted below. The term "enclosed dwelling space" as used in these minimum size requirements shall mean the total enclosed heated and air conditioned area within a dwelling. That such term does not however, include garages, terraces, decks, open porches, screen-enclosed areas and like areas.

a. Single Family (Non-Garden Home), Single Story 2,200 sq. ft.

b. Single Family (Non-Garden Home), More Than One Story 2,400 sq. ft. *

* With minimum 1,800 sq. ft. on the ground floor

c. Garden Homes A, B, C and Surrey Lane 1,800 sq. ft. minimum**
 4,350 sq. ft. maximum***

** Refer to Garden Home Section (Section IV)

*** With a second floor maximum of 1,450 sq. ft. or no more than half of the first floor (air conditioned) square footage. (*Addendum effective May 26, 1999*)

2. BUILDING SETBACKS (Measured to wall. Roof overhangs must not be over property lines):

Unobstructed view across a neighboring lot is not guaranteed to an adjacent lot owner.

a. **Units I through VIII:**

	Usual Setbacks	Setbacks with Brick/Stone, etc.
Front or side yard adjoining street	25'	25' 5"
Side or rear yard adjoining water or golf course	20'	20' 5"
Side yard adjoining another yard	10'	10' 5"

b. **Unit IX:**

	Usual Setbacks	Setbacks with Brick/Stone, etc.
Front	20'	20' 5"
Rear	17' 6"	17' 11"
Side	5'	5' 5"

c. **Unit X:**

	Usual Setbacks	Setbacks with Brick/Stone, etc.
Front	25'	25' 5"
Rear	17' 6"	17' 11"
Side	10'	10' 5"

Garden Home "A":

	Usual Setbacks	Setbacks with Brick/Stone, etc.
Front yard adjoining street	25'	25' 5"
Rear	20'	20' 5"
Patio wall (zero line)	2'	2' 5"
Side opposite patio wall	8'	8' 5"

Garden Homes "B", "C", and "Tennis Center" and "Surrey Lane":

	Usual Setbacks	Setbacks with Brick/Stone, etc.
Front	20'	20' 5"
Rear	17' 6"	17' 11"
Patio wall (zero line)	2'	2' 5"
Side opposite patio wall	8'	8' 5"

3. HEIGHTS:

In order to maintain the scale of the residential community, homes will be limited to two stories in height with exceptions as noted below. St. Johns County allows a maximum height of a structure of 35 feet above "measured from the lowest point of the established grade surrounding the perimeter of the house to the highest point of the roof, excluding chimney."* Wherever possible, the second floor should be tucked into or related to roof structure as much as possible with dormers or small roof terraces to diminish the scale.

* Letter, St. Johns County to Plantation at Ponte Vedra ADB, March 9, 1995 (See Reference Section)

Second or third story lookout towers, widow walks, and etc. with a maximum square footage of 250 square feet are permitted where appropriate. These structures, while emerging from main floor roofs, can have distinctive shapes consistent with the architectural theme of the house.

4. FOUNDATIONS:

To provide a base or foundation for the residences of The Plantation, all finish floors will be a minimum of 18" above finish grade and a minimum of 24" above highest road crown elevation adjacent to the lot. While slabs on grade are prohibited visually, they may be accomplished through the use of stem walls with backfilling. Maximum height of finish floor above finished grade shall not exceed 5'-0" unless required by Federal Flood Insurance Program.

In the event a wood floor or crawl space is provided, the ventilation openings are to be covered with grating, wood louvers, or lattice painted to conform with the trim or color scheme of the homes. Standard aluminum vent grilles are not permitted. Any concrete block foundation walls are to be clad or stuccoed. Wooden pilings used for foundation support shall be encased in finish wood trim as exposed round piling is not appropriate. Careful attention should be given to all foundations to provide for the same degree of detailing found in the main body of the house.

Required Foundation Surveys:*

* *Addendum effective November 1, 1993*

- A. Owner/contractors must submit for review and approval to the ADB administrative office a foundation survey showing compliance with all setbacks on that particular lot.
- B. The foundation survey is to be performed before any slab work is done, *i.e.*, before installation of any plumbing, electrical, etc., and before running any walls up. Should the ADB Administrator find that the foundation survey indicates the siting of the home meets the required setbacks, construction may resume immediately.
- C. The foundation survey must show setback compliance for that particular lot. An additional 5" of allowance must show on the survey in any case where brick or other materials besides stucco will be used on the home (*i.e.:* stone, etc.). See examples in #2 above, SETBACKS.
- D. The foundation survey must be approved by the ADB Administrator before any construction may continue.
- E. Should the foundation survey not be in compliance with the defined setbacks, the owner/contractor must correct the situation and submit for review and approval a second foundation survey before any construction may continue.
- F. The ADB Administrator will apprise the ADB of any foundation surveys that do not meet the ADB setback requirements.

5. EXTERIOR WALLS:

Acceptable exterior finishes include stucco, fiber cement siding (Hardie Board or equivalent) approved external coating systems, brick, stone, and cultured stone, limestone, coquina or coral block, or a combination of these materials. Concrete block must have a minimum of $\frac{1}{2}$ " of stucco finish.

The traditional method of rustication, which by definition is the layering of a structure by the articulation of wall surfaces to become smoother in texture as they ascend the house in horizontal bands, is recommended. Veneer materials, such as coquina, must not stop on exterior corners. It is recommended that materials be wrapped around until it ends on an inside corner or architectural break in the structure.

The Architectural Design Board permits the use of traditional brick. Queen size brick is not permitted. Samples of the brick and mortar must be submitted for approval. Use of other brick may also be approved when painted to match the approved color schemes.

Board and batten, weathered wood siding, and cedar shake type materials are not allowed. Vinyl and aluminum siding are not allowed. Fiber cement siding materials may be permitted if such siding is cedar (or another wood) grain, is installed with a maximum $5\frac{1}{4}$ " reveal, and is painted on site, following installation. Factory painted siding is not permitted.

The synthetic aspect of fiber cement siding is diminished when it is applied in a context where horizontal siding would be expected architecturally, such as on homes of traditional design style. Characteristics that comprise traditional design include but are not limited to: overall symmetry, vertical window proportions, authentically applied shutters (each shutter is half the width of the window opening) simple hip or gable roofs, dormers, and a front porch element. The ADB will approve the use of fiber cement siding in this context only.

Electricity is supplied by Beaches Energy Services. The following is the policy of the Beaches Energy Services:

1. Meter locations will be mounted along the sides of the houses within the first six feet of a front corner of the residence.
2. No fencing or other obstructions between the front corner and the meter location will be permitted.
3. Meter surrounds and conduit below must blend with exterior finish of home.
4. By calling telephone 904-247-6258, a representative of Beaches Energy Services will visit the construction site and identify the meter location with the electrical sub-contractor prior to installation.

6. WINDOWS AND DOORS:

Areas with major fenestration or door and window openings shall be oriented to afford privacy while taking advantage of special views, such as lakes or fairways. Windows shall be carefully proportioned and located to enhance both the exterior appearance and interior light quality and views. It is recommended that all exterior doors that are not solid wood or metal and all windows be multi-light. Window and door frames are to have anodized aluminum, vinyl, or painted finishes. Natural color aluminum finishes are not allowed. The use of French doors in lieu of sliding glass doors is highly recommended. No sliding glass doors are to be visible from the main or side streets.

It is recommended that houses not have openings (doors and windows) which total more than 35% of the exterior wall area. All residences, whatever the percentage, shall conform to the Florida Energy Code requirements.

While tinted glass (gray in color only) is acceptable, no foil or reflective material shall be used on any windows for sunscreens. Roof overhangs, awnings, and shutters are appropriate sun screening devices with approval of design and color. Where more than one window treatment is viewed from a single or adjacent elevations, drapery liners must be used to provide consistent appearance.

7. ROOFS:

The roofs of all houses within The Plantation, while perhaps different in material and color, shall have a similarity of form to provide for the homogeneous character with all gable and hip roofs having a minimum overall roof slope of 8/12. While 8/12 is the recommended slope, other slopes will be considered on a case-by-case basis. Flat ceramic or cement roofing tiles are recommended. Slate and barrel tile in ceramics may be permitted. Engineered composite slate or shake shingles may be permitted if approved by the ADB.(Examples are products by Lamarite and CertainTeed Symphony Luxury Shingles or equal products as approved by the ADB . Wood shingles and cedar shake are not allowed. Composition shingles and standing seam metal roofs are not allowed.

Flat roofing pitch is acceptable only in minor areas (not to exceed 15% of roofing area) with primary acceptability in use as a connection to more dominant themes of the roofing mass. All connecting roofs, i.e. garage to main structure or freestanding garage, pool enclosures, and etc. shall have a roof with material similar to that of the main structure.

Roof overhangs form a very integral part of the architectural character of The Plantation and should be maximized wherever possible to shelter from both the subtropical sun and rain showers. While in many cases the roof overhangs can incorporate balconies, decks, and screened porches, the minimum depth shall be 1' - 6" with gable ends of 1' - 0". The more contemporary shed construction is not appropriate to The Plantation. Eaves and roofs should not extend over the property line.

Roof attachments, whether ornamental or functional such as lightning rods, ornamental ridge caps, weather vanes, oversized fireplace flues, observation towers, and etc. are not only permissible but encouraged to give an additional scale of detail to the dwellings. Those items shall have specific approval by the ADB.

All roof accessories such as vent stacks and roof vents shall either be painted to match the roof color or accentuated to form a statement. Wherever possible, vents shall be located away from the entry elevations. Flashing shall be copper (or metal flashing painted to match) except in a case where good construction practice demands other materials. No raw aluminum or galvanized flashing is allowed where it is visible.

The use of solar energy producing devices (active and/or passive) is subject to ADB approval.

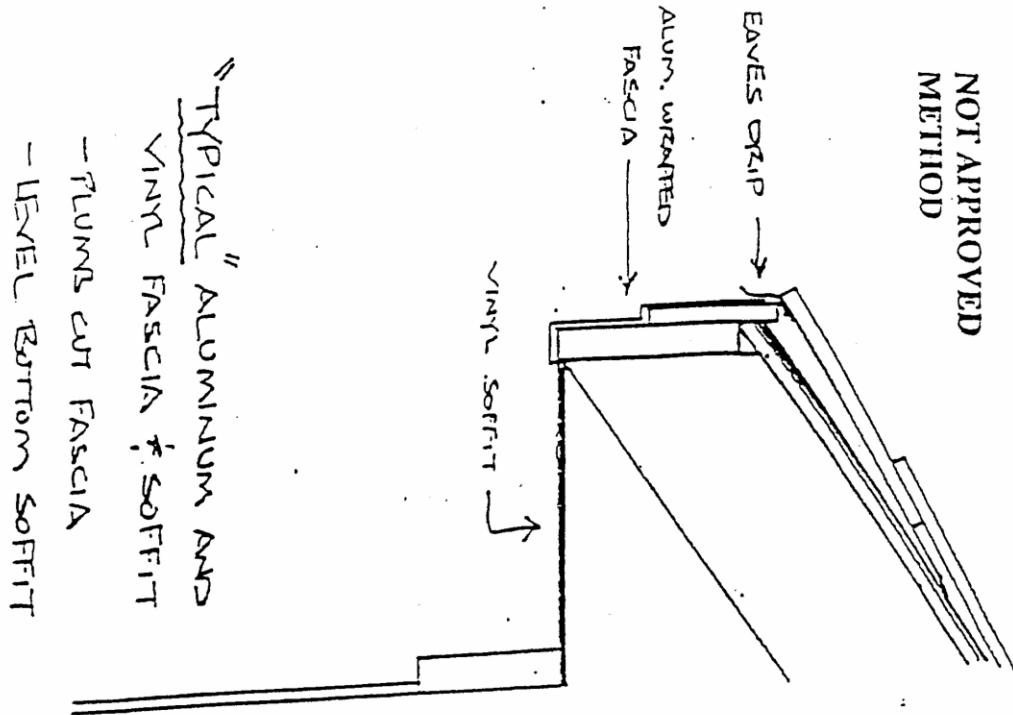
Aluminum Fascia Minimum Specifications:

The use of aluminum fascia and vinyl soffit are approved conditioned upon: (1) the contractor/builder utilizing the *minimum* specifications provided below, and (2) the compliance with the specific construction details provided on the attached specification illustration.*

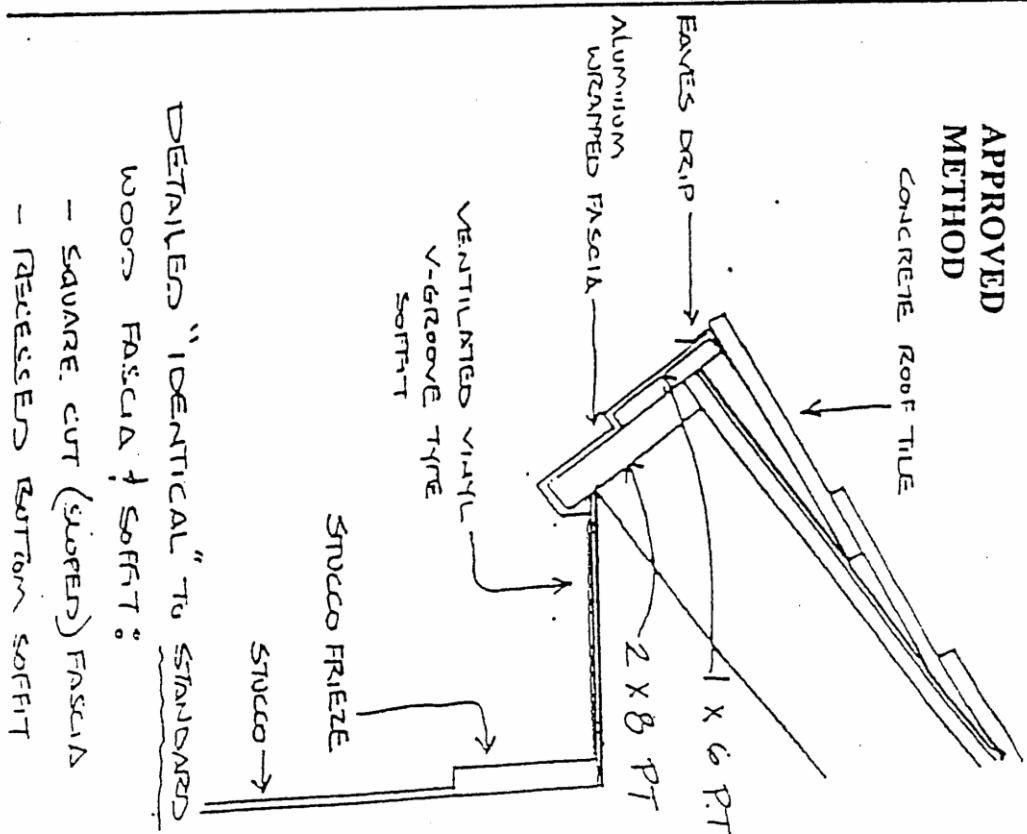
* *Addendum effective October 15, 1997.*

- a. Gauge and Brand - .019 Alesco or Denny Coil.
- b. Texture – Smooth.
- c. Color (as approved) – Factory finish, semi-gloss.
- d. Seams – Bent (wrapped), over-lapped, sealed, nailed on bottom edge.
- e. Corners – Bent (wrapped), over-lapped, folded, nailed.
- f. Nails – Matching color, 1.25" trim.
- g. Caulking – Siroflex brand urethane acrylic is recommended (or other brands of equal quality).
- h. Other materials and installation as per standard construction requirements.
- i. Perforated soffits are not permitted in front facing gables.

NOT APPROVED
METHOD



APPROVED
METHOD



8. CHIMNEYS:

In the style of architecture envisioned for The Plantation, chimneys, along with the other projections above roofing surfaces, play a dominant role in depicting the character desired. Chimney dimensions shall be compatible in scale to the structure; however, the minimum size shall be 2' – 6" x 4' – 6". All exposed surfaces of chimneys shall be of masonry or stucco with a preference for covered flue endings. Prefab metal fireplaces are acceptable within a residence; however, the exposed metal flue must be totally covered with approved materials. No prefabricated metal spark arrestors or flue tops may be exposed to view.

Direct vent gas fireplaces are allowed, but exterior vent location shall be screened from view from street and golf course.

9. OUTBUILDINGS AND GARAGES:

Any outbuilding permitted on a lot, such as pool houses or detached garages, must be compatible within the main house in style as well as materials and color.

Freestanding garages must be attached to the main body of the house by either covered passageways or trellises. In the garage design solution, garage doors shall be screened from the road whenever possible especially when a corner lot. Angled garages/lots on corners garage doors should be painted in the body color of the same or a non-accent color, i.e. a color to blend with the body of the home. Garage doors shall not open to the street or impact on adjacent properties' privacy. Front-facing garages are not allowed in Units I – VIII and X.

10. POOL FENCES

Pool enclosures are permissible so long as their form is similar to that of the main house and do not appear as added appendages. This can be easily accomplished by utilizing roof or screen slopes similar to the house and not of a different slope. It is recommended that they be extensions of the house form rather than add-ons, with elements of the house, e.g. stucco walls, and etc. built into the structure. Aluminum members shall be of a size to demonstrate visual stability and shall be painted or anodized to approved colors. Bronze or black aluminum is encouraged. Kick plates are discouraged on both pool and porch screens and must be screened by landscaping.

Pool/Fence Setback Guidelines are as follows:*

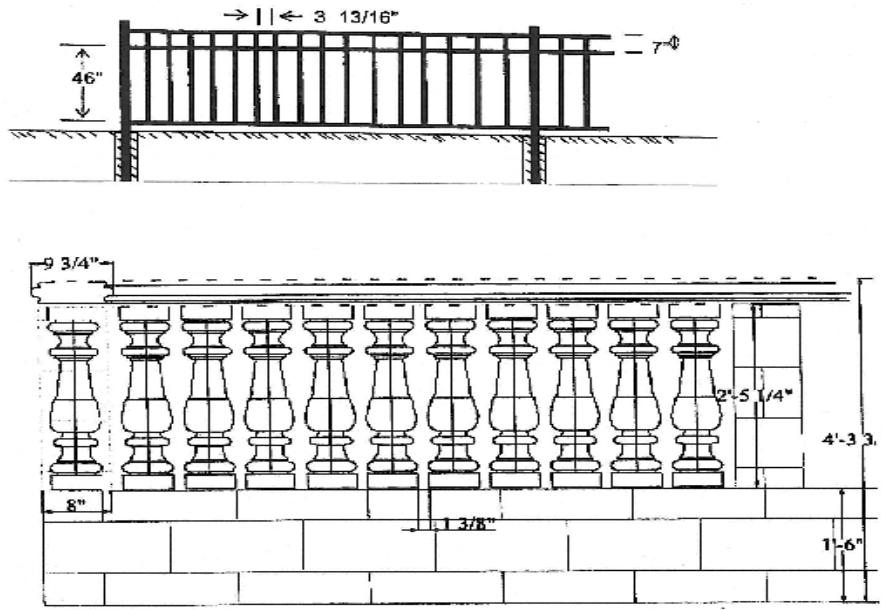
* Addendum effective November 1, 1993; updated and February 2, 2000; updated October 27, 2009.

- A. All pools built after November 1, 1993 must have screen enclosures or be fenced.
- B. It is strongly recommended that setbacks for pool enclosures will be 20' on the rear and 10' on the side.
- C. It is strongly recommended that setbacks for pool fences will be 10' on the rear and 10' on the side.

1. Pool fencing *must meet St. Johns County Code.*
2. Pool fencing must have a self-closing and latching gate.
3. Pool fence color is to be black or dark green. Colors other than black must be specifically approved by the ADB.
4. A specific style of pool fence has been approved by the ADB for The Plantation. Cut sheets of the specific pool fence design which may be utilized must be submitted for review (see illustration below).
5. Pool fences are to follow the general contour of the deck and be no more than five feet from the deck, which will allow for landscaping when desired. A resident may fence the pool but may not fence the yard.
6. Pool fencing must be shown on architectural site plans as well as landscape plans.
7. Appropriate landscape materials must be shown on the landscape plan with regard to softening pool fencing.

With regard to existing pools, the ADB will approve the installation of either an enclosure or the ADB-approved style of fencing, consistent with the above stated setbacks as they relate to the location of the pool on the site. With regards to fencing, exceptions may be necessary for existing pools located outside the 10' setback. All submissions will be reviewed on a case by case basis.

Minimum Required Fencing; Permitted Fencing:



11. COLORS

In addition to the form and massing of a structure, the color is perhaps the single most dominant visual expression to a building. In general, the theme will be to blend with rather than dominate the environment which includes not only the topography and vegetation but also those structures which are in the immediate proximity. Colors are to be submitted for approval.

A given residence and its associated outbuildings and walls shall use not more than three colors, excluding the roof color provided that the roofing color is in a neutral range.

All color selections must be submitted in sample form at the time of submission to the Board. Color samples are to be submitted for the ADB files on 2" by 3" minimum color chips. In addition, new house submissions are to include samples of colors for body and trim to be painted side by side on a pre-cut 2' x 4', 3/8" thick plywood board. Such boards are readily available at Home Depot. The trim color is to be painted 4" wide down the entire 4' length of the left side of the board and the body color is to be painted adjacent (*both colors touching with no space in between*) to the trim and cover the rest of the entire plywood board.

Existing houses submitting color changes are to submit color samples for the ADB files on 2" by 3" minimum color chips. In addition color change submissions must include the same painted plywood 2' x 4' color sample described above or the Owner may paint a 2' x 4' body/trim sample swatch on their existing home for review.

12. SERVICE AREAS

Every house must have a service area for trash receptacles, utility meters, HVAC equipment, pool equipment, fuel tanks, and materials, supplies, and equipment to be stored outside. The service areas are to be screened from view from Association property and adjacent properties by a permanent structural wall at least 4 feet high, which is to be made of the same material as that of the house approved by the Architectural Design Board. Such service area barriers (walls) are to appear to be extensions of the house. Service areas for trash need to be close to the front of the home to allow rubbish collection within service area by vendor.

Material is to be consistent with color and materials used on the house. Chain link fencing is not allowed. It is recommended that interiors of service courts be paved with a hard surface material.

13. PARKING

A minimum of two in-garage parking spaces must be provided for each residence. Additional guest parking, screened by landscaping, space is also recommended with either turn-around or backup areas (side entry garages must have a minimum 24' of backup) being provided to preclude backing onto the streets, which is prohibited. Except for Garden Homes, garage doors must face away from the street.

Driveways must be paved with a hard surface such as concrete, concrete or brick pavers, brick, or exposed aggregate, etc. In the event concrete is to be colored, the color scheme is to be approved. All drives must average at least 5' from and be no closer than 3' to the adjacent property lines to allow for landscape material.

14. BASKETBALL GOALS

Portable basketball goals are prohibited.

Permanent basketball goals are permitted, provided the following procedures are followed:

- A. If ground-mounted, the support post and attachments must be painted either Hunter Green or Black.
- B. If house-mounted, the backboard must be attached to the garage area of the house, with attachment supports painted the color of the house fascia/soffits.
- C. The backboard must be made of clear plastic.
- D. The location of the installation must be made as far away from the street as possible and practical and is subject to the approval of the ADB.

15. SATELLITE DISH ANTENNAE

Out of consideration for your neighbors and others in the community, the ADB requests that satellite dishes be installed on or near the ground and be screened with landscaping.

16. PLAYGROUND EQUIPMENT

Background: The Plantation's Rules and Regulations provide that "Permanent swing sets and permanent play units are permitted subject to approval by the ADB" and "Tree swings and trampolines are permissible provided they are approved by the ADB and meet the landscaping and screening requirements." The ADB has never established any policies or standards relating to these two existing community rules, however, so there are no guidelines to determine what is approvable or to assist Members in planning proposed improvements to their Parcel. In preparing the guidelines set forth below, the ADB has attempted to balance its desire to preserve and protect the community's aesthetics and the "premier golf experience" at the Plantation while also allowing Members to utilize their property in accordance with the Rules and Regulations.

Comparable Guidelines: While not directly comparable, the most useful comparison of existing guidelines used by the ADB is the one for swimming pools since pools and pool enclosures can adversely impact the aesthetics of the community and the golf course with a similar type of noise and visual clutter. The current pool placement guidelines are as follows: (1) the pool must be set back ten (10) feet from the rear and side property lines, (2) a fence at 10' or a fence or screened enclosure at 20' must surround the pool in accordance with building codes, and (3) low landscaping must be planted around the majority of the fence or enclosure's perimeter. The low landscaping preserves the views of the homeowner but also allows views of the pool and patio area from the golf course, common area or adjoining parcels. The standards are the same for pools throughout the community without distinction between those lots that adjoin the golf course and those that have more secluded back yards. Occasionally, in special circumstances, exceptions that allow reductions in

setbacks are made to the requirements although those exceptions are typically made for secluded perimeter areas or for garden homes where the pool would be completely enclosed by a privacy wall.

Approved Guidelines: The ADB's approval of permanent outdoor play equipment, including trampolines, swing sets and play structures shall be approvable on a case-by-case basis taking into account the equipment's visibility from the golf course and other Association Property, subject to the following guidelines:

Setbacks – Ten (10) feet from the rear and side property lines. If the proposed location is adjacent to the golf course there shall be an additional requirement that the equipment be at least (a) seventy five (75) feet from a cart path, (b) seventy five (75) feet from any fairway and (c) 150 feet from any tee or green. *[All distances apply]*

Colors and Materials – Wood finished to a dark brown or gray color (or allowed to naturally weather) and composites that look like wood are the preferred materials. Any metal, plastic or canvas components shall be green or a dark color. Other colors or materials may be considered as an exception in circumstances where the equipment is in a secluded location and not visible from the golf course or other Association Property.

Height – The highest point on the equipment shall be not greater than ten (10) feet.

Screening – Equipment must be substantially screened from view from adjoining Parcels, rear property lines, from the golf course and from other Association Property. Screening shall be dense evergreen landscaping materials with an initial height to be specified by the ADB at the time of approval.

Required Approval Condition: Our Covenants provide that “... *[Owners] shall be obligated to refrain from any actions which would detract from the playing qualities of the golf course.*” Therefore, any equipment approved by the ADB shall be further subject to a condition whereby the equipment shall be removed upon written notice from the Board of Directors due to violations of the Covenants.

17. BULKHEADS – RESIDENTIAL LOTS

Submission requirements:

Step One/Site Plan:

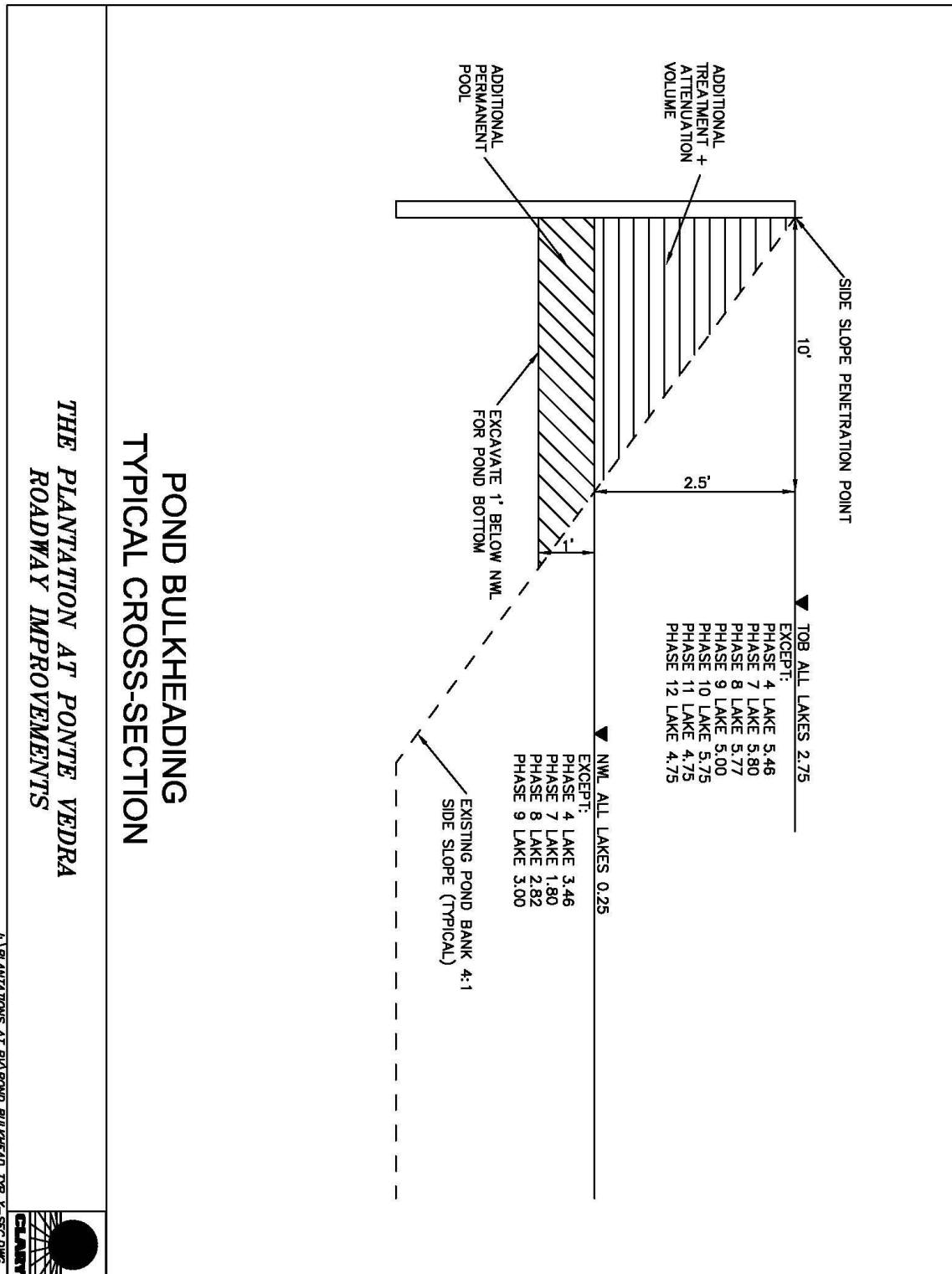
- a. Bulkhead submission fee: \$1,000 payable to The Plantation at Ponte Vedra, Inc..
The submission fee will be returned upon receiving final as-built survey confirming construction to be in compliance with approved plan.
- b. The submission should include a site plan and bulkhead cross-section drawings prepared by an architect/engineer/licensed contractor showing the property lines, water and proposed bulkhead location
 - A. The plan must show the point of penetration and the cap elevation. Reference “Pond Bulkheading typical Cross-Section” page. Note: Some calculations and heights of bulkheads to be allowed are different for different lakes.
 - B. The plan must show bulkhead returns at each end that are parallel to the lot’s side property lines.
 - C. Bulkhead design (aesthetics) is to be consistent with existing current wooden bulkheads at The Plantation.
- c. An owner may reestablish his original lake bank. This point will be reviewed/determined and approved in the field by the ADB on a case-by-case basis prior to construction. Under no circumstances shall encroachment into the lake be permitted beyond the lot’s original lake bank. The design criteria are four-to-one from top of the bank to the original water’s edge.

Step Two – Preparation/In-Field Inspection:

- a. Once site plan and bulkhead cross-section drawings have been reviewed and approved by the ADB, an owner may move forward to prepare the area as approved. The area is to be staked and finish grade is to be established by a registered surveyor in accordance with the approved plan.
- b. When the area has been prepared as described above, the ADB Administrator is to be contacted and he or his designee shall perform an in-field inspection prior to commencement of construction.

Step Three – As-Built Survey:

- a. After construction is completed, an as-built survey confirming the bulkhead has been placed and constructed in accordance with the ADB approved plan must be submitted to the ADB. Upon receiving and reviewing the as-built survey, the owner will receive an inspection letter from the ADB indicating final approval or detailing those steps which must be taken to obtain final approval.
- b. Note: In the case of a new home under construction, this final as-built bulkhead survey can be incorporated into the ADB required house foundation survey.



SECTION IV

GARDEN HOMES – ADDITIONAL BUILDING POLICIES AND RESTRICTIONS

1. **GARDEN HOME SITES DEFINED:**

Residential lots shown on recorded plats and on which the location of a patio wall or building wall is designated are referred to as "Garden Home Sites".

2. **GARDEN HOME DEFINED:**

A garden home refers to a single-family detached dwelling unit consisting of one or more courtyards partially or completely surrounded by enclosed living areas and/or privacy walls.

Dwelling units constructed on Garden Home Sites must be constructed so as to utilize a patio wall as designated on the recorded subdivision plat.

The dwelling unit shall utilize a portion of the patio wall as one of its exterior walls unless an alternative location of the dwelling is approved based on existing natural features (see figure 3). Alternative locations shall be considered on an individual basis, based on the sole discretion of the Architectural Design Board.

3. **GARDEN HOME CONCEPT:**

The Garden Home emphasizes an indoor/outdoor use relationship and full utilization of the site for living purposes addressing the following:

1. Visual and acoustical privacy.
2. Division of public/private areas.
3. Sensitivity in response to views, breezes, sun, existing vegetation, and thoughtful and thorough landscape design.
4. Interior and exterior spatial volumes and sequences.

4. **SIZE OF GARDEN HOME AND LOT COVERAGE:**

All Garden Homes in Units A, B, C and Surrey Lane shall have between 1,800 and of 4,350 square feet of enclosed dwelling area. In two-story Garden Homes, the second floor maximum size is either 1,450 sq. ft. or half of the first floor (air conditioned) square footage, whichever is less. (*See Building Policies and Restrictions, 1 Size, c. Garden Homes.*)

A single story home or the first floor enclosed area of a Garden Home, may not be constructed so as to cover or occupy in excess of forty-five (45%) percent of the entire area of the Garden Home lot.

Due to the growing concern over the massiveness of some two-story garden homes and their bulky appearance on their lots, the ADB has developed a way to lessen their impact on the community. The ADB wants to prevent two story homes side by side creating an

alley 10 feet wide, 20 feet tall and 90 feet long. The following restrictions are intended to limit the size both in footprint and mass of two-story garden homes.

The ADB restricts the second floor to a maximum of 1,450 square feet (air conditioned), and no more than one-half of the first floor square footage (air conditioned). The total of both floors shall not exceed 4,350 square feet (air conditioned).

The ADB prefers the second floor of Garden Homes to be constructed towards the center of the house, keeping a single story profile on either side. (See Preferred Plan & Elevations). When this is not possible, the ADB will restrict the amount of the home that is two-story* on either side. On the two foot setback side, the maximum amount of the home that can be two-story is 30% of the building length. On the eight foot setback side, the maximum amount of the home that can be two-story is 70% of the building length. (See allowed Plan & Elevations) A 90-foot long house, for example, could only have 27 feet of two-story along the two foot setback side and 63 feet of two-story along the eight foot setback side.

- * Because it is the intent of the ADB to reduce the overall massing, two-story is defined as a plate height greater than 12 feet 6 inches above finish floor (a.f.f.). This applies to bonus rooms over garages. However, the 12 foot six inch height is measured from the finish floor of the home and not the garage floor.

The only exception to the 70%/30% two-story limitation is if the two-story portion of the home has a greater side setback. The increased setback is determined by the height. This applies to anything above 12 feet six inches (a.f.f.). Each additional foot of height above 12 feet six inches must be set back an additional foot along the entire side setback line.

If, for example, the plate height of the home is 21'6" and it exceeds the maximum allowable percentage described above, the new side setback would be:

2' Setback Side

21'6" actual height
-12'6" allowed height
9'0" additional setback
<u>+2'0" existing setback</u>
11'0" new side setback

8' Setback Side

21'6" actual height
-12'6" allowed height
9'0" additional setback
<u>+8'0" existing setback</u>
17'0" new side setback

* Addendum effective May 26, 1999

5. HEIGHT OF GARDEN HOMES:

To maintain the scale of the neighborhood of Garden Homes, height will be restricted to two floors of enclosed living space as in figure 1. Maximum height is 35 feet.

This limitation will allow for sloping rooflines (8/12) and flexibility in architectural expression, i.e. organization and spatial relationships.

If a two story scheme is pursued, attention should be given to minimize impact and deal sensitively to potential adjacent one story structures. Figure 1 below depicts a desirable approach to this problem incorporating second story space predominantly within roof form.

NOTE: Finish floor to be established at a minimum of 2'-0" above crown of road.

6. PLACEMENT OF GARDEN HOME ON LOT:

Setback restrictions affecting Garden Home lots at the Plantation at Ponte Vedra, Inc. are as follows:

1. Patio wall must be built between two (2) feet and three and one half (3.5) feet inside and parallel to the side property line, unless Option B is exercised.
2. The minimum side yard setback is eight (8) feet inside and parallel to the property line farthest from the patio wall.
3. Front setback for all permanent structures including privacy wall must be maintained at twenty-five (25) feet for Garden Home Section A and twenty (20) feet for Garden Home Section B, C, and Tennis Center inside and parallel to the front property line.
4. Rear setback must be maintained at twenty (20) feet for Garden Home Section A and seventeen and one half (17 ½) feet for Garden Home Section B, C, and Tennis Center inside and parallel to the rear lot line. Projection into this area along lake and golf course with terraces, seating walls etc., not to exceed 30" in height, is discouraged but may be considered in some circumstances.
5. Second floor windows must be placed so as not to view into and over courtyard walls of adjacent homes.
6. With the exception of high transoms, approved obscure glass block and overhangs which may not exist over the property line, when approved by the ADB, there shall be nothing on the 2' side of a Garden Home: no service areas, windows, grills, doors, etc.
7. The area included within these setbacks is the buildable area. All enclosed dwelling areas and areas impervious to weather of the Garden Home must be contained within the buildable area.
8. The Garden Home is to be designed to its site. When passing on the acceptability of a Garden Home, the Architectural Design Board will consider plans submitted for Garden Homes on lots on either side of the plan under review.

7. LOCATION OF PATIO WALL:

Two options exist in locating a patio wall on a Garden Home lot:

1. Option A

The patio wall shall be constructed simultaneously with a garden home and shall be located so that the exterior of the same shall be located two (2) feet inside of and parallel to the designated lot line on the recorded subdivision plat.

There shall be reserved a two-foot easement of each lot between the exterior of the patio wall and/or dwelling unit and the parallel lot boundary line for the use and enjoyment of the adjacent lot owner, as provided in the Covenants. Said two-foot easement area and the exterior of the patio wall and/or dwelling unit may be used by an adjacent lot owner for the planting and care of shrubbery and other landscaping, providing the same does not interfere with the structural integrity of the patio wall and/or dwelling unit. Roof overhangs are not permitted over the 2' side property line.

An eight-foot easement is granted to the adjoining lot owner along the boundary line of each lot which is opposite the boundary line along which the patio wall is to be constructed for the construction, maintenance, and repair of the patio wall and/or dwelling unit on the adjoining lot. The use of said easement area by the adjoining lot owner shall not exceed a reasonable period of time during construction nor shall it exceed a period of thirty (30) days each year for essential maintenance. Any shrubbery or planting in the eight (8) foot easement area that is removed or damaged by the adjoining lot owner during the construction, maintenance, or repair of his patio wall and/or dwelling unit, shall be repaired or replaced at the expense of the said adjoining lot owner causing such damages. See Figure 3.

2. Option B

Should an owner of a patio lot desire to locate his garden home on a portion of the lot other than contiguous to the patio wall, he may apply to the Architectural Design Board for approval of the alternative location. A site plan showing the proposed alternative location is required. The Architectural Design Board's approval of the alternative location shall not relieve the owner's responsibility to construct and maintain a privacy wall on the line designated for the patio wall. See Figure 3b, Option A.

That owner's unit, however, must not have a view into the adjoining Garden Home lot from any windows. This may require windowless walls on the second story of the unit to ensure privacy to the neighboring patio lot. Obscure glass block and/or high transom windows may be utilized if approved by the Architectural Design Board.

Approval or disapproval of an application for alternative location of a Garden Home may be based by the Architectural Design Board on purely aesthetic or contextual considerations.

8. CHARACTER OF THE PATIO WALL:

A patio wall must form an integral part of the side wall of the house unless Option B is exercised and shall turn to form a courtyard privacy wall.

The patio privacy walls should not be merely a "fence" but part of a courtyard enclosure. Approved walls shall appear to be an extension of the architecture of the structure. A long wall that ends abruptly at the setback line will not be allowed. It is visually unsettling and not in the spirit of a patio house which is to enclose outdoor space for use as an extension of the living area. See Figure 4.

The patio wall at the rear should not necessarily turn because then it will block amenity views of the golf course or lake. However, the owner will be allowed to enclose his property if in an interior lot condition.

Unobstructed view across a neighboring lot is not guaranteed to a Garden Home lot owner.

9. EXTENT OF THE PATIO WALL:

That portion of the patio wall that extends beyond the enclosing walls of the house shall extend no closer than twenty (20) feet to the rear lot line and twenty-five (25) feet to the front lot line in Garden Home Section A; no closer than seventeen and a half (17.5) feet to the rear lot line and twenty (20) feet to the front lot line in Garden Home Sections B, C, and Tennis Center.

The extent of the wing wall depends on the location of the house on the site. It must ensure sideway privacy to the adjoining lot owner. See Figure 5.

Because house in 5b is sited closer to the road than its neighbor, no patio wall extension is needed in front to successfully screen adjoining neighbor's side yard. Rear patio wall does not extend to rear setback.

10. HEIGHT AND MATERIAL OF THE PATIO WALL:

To provide visual and acoustical privacy between homes, height of the patio wall shall be a minimum of

6' – 0" above finished floor of the unit, not to exceed 8' – 0" and of predominantly the same material as that portion of the patio wall that is the exterior wall of the house.

Where the wall turns, it is permissible to introduce another screening material. Acceptability of such a fence or screening material will be decided upon by the Architectural Design Board to ensure that it is consistent with good design principles and the overall character of the house and neighborhood.

A good solution is one that sensitively combines only two materials in a solid-void relationship.

11. TEMPORARY PRIVACY WALL:

If a neighboring patio lot is vacant and if privacy is desired, a temporary fence erected along the property line will be permitted, subject to approval of the Architectural Design Board. Cost of said fence will be borne by the lot owner erecting the fence. This fence must be removed when the patio wall is constructed on the adjacent lot.

12. USE OF EXTERIOR SPACE IN GARDEN HOMES:

1. Front Yard:

The patio wall extending toward the front twenty-five (25) foot setback requirement shall turn to form one or more private or semi-private outdoor enclosures to be used as a service court to enclose HVAC equipment, meters, and refuse. A minimum of two on-site parking spaces must be provided but no more than two spaces are allowed within the twenty-five (25) foot front setback area. See Figure 7a.

2. Side Yards:

In keeping with the concept of a Garden Home, side yards should be treated as outdoor living extensions of the house itself and not simply as storage or unusable space typical of traditional side yards. Service and equipment courts may be incorporated in this area also but may not encroach in setbacks.

3. Rear Yard (when not on golf course or lake):

Where a rear yard is not adjacent to a lake or a golf course fairway, an enclosing wall will extend to and along the rear property line irrespective of the twenty (20) foot setback requirement to allow the owner the maximum use of his property in the instance of interior lots only.

Each property owner will be required to construct the privacy wall which is an extension of the patio wall to the rear property line and approximately one-half the distance along the rear property line, to a point determined by the Architectural Review Board. Color and material of the wall are to be approved by the ADB.

4. Other:

a. Service areas must be screened by a permanent structural wall to match the color and materials of the home and must be a minimum 4' in height or higher if necessary to screen trash receptacles, service equipment, etc. from view. The screen wall is to be screened with landscape materials.

- b. Gas containers must be in screened service areas or be buried per St. Johns County code.
- c. Irrigation clocks must be installed outside (preferably in the service area) and be suitable for exterior use.

13. MAINTENANCE OF PRIVACY:

To facilitate privacy to the neighboring lot, the dwelling unit shall be constructed so that neither the patio wall nor the dwelling unit provides any window or view openings looking into or over viewing the adjacent lot and provides no access way or entryway into said adjacent lot.

In a two-story Garden Home, particular attention must be given to potential vision from decks and/or windows into and over adjacent lots or patios.

14. CHARACTER OF PLANTATION GARDEN HOMES:

The desire of the Plantation is to create a unique garden home community within the context of "the architectural guidelines" as adopted by the Plantation.

The Plantation, in the garden home concept, is encouraging both continuity and attention to context due to close proximity of homes and individuality to prevent the appearance of a "monolithic project".

In achieving continuity, such items as roofing material, roof pitch, and brick veneer shall be consistent. Variations in color, organization, screen wall detailing, louver detailing, chimney detailing, window and door organization, trellis detail, etc. are the types of elements in which individuality can be achieved and will be encouraged.

More specifically, the elements of continuity will be as follows:

Roof pitch – to be 8/12.

Roofing material and color to be approved by Architectural Design Board.

Brick and stone veneer – smooth brick with concave joints to be painted in color to be approved by Architectural Design Board is the most desirable approach. The Board is encouraging the use of different bonds to accentuate elements such as frieze, cap of wall, expression of floor slab, sills, and chimney. Natural brick will be considered; however, a brick sample must be submitted to the Architectural Design Board along with proposed mortar color to receive consideration. Extreme blends, extremely light, or dark brick should be avoided.

Siding – Wood shingles and cedar shake shingles are not allowed. Approved cementitious siding is permitted.

As with other single family homes at the Plantation, sensitivity to landscape design is a must and will be reviewed by the Architectural Design Board with the same scrutiny as the architectural elements. With the Garden Home concept, even more

critically, landscape and site development are essential to the success or failure of the individual scheme and the overall ambience of the community.

15. ADDITIONAL RESTRICTIONS:

No permanent structures shall be constructed in the eight (8) foot side easement to allow access for maintenance of the patio wall on the adjacent lot. However, approved trellises and/or landscaping will be permitted in the easement.

The cost of construction, maintenance, and repair of a patio wall shall be the sole responsibility of the lot owner on whose lot the same is situated.

Every effort should be made to preserve natural vegetation and to fully utilize existing topographic amenities.

16. SPECIAL DESIGNATED GARDEN HOME LOT LANDSCAPING:

See Landscape section of Architectural Guidelines for landscaping information.

An Architectural Design Board approved landscape installation plan has been developed and is required for lots 12 through 20, Surrey Lane (see attached plan for Lots 12 and 17 as an example. The second page is a tree survey for all relevant lot lines).

17. EXAMPLES OF GARDEN HOME PLANS AND ELEVATIONS:

In the Appendix of Sample Garden Home Plans and Elevations (Section VII, below), there are a number of sample drawings, plans and elevations that may assist in the design of garden homes.

SECTION V

LANDSCAPING

1. **INTRODUCTION:** Just as there is no specific architectural theme for house design in The Plantation, there is no rigid prescription for the treatment of grounds of each home. However, the treatment of the home site should be a logical and interesting extension of the architectural expression of the home. The plans for the house and lot should evolve together. The materials and spatial definitions should be relevant to the natural site conditions and the proposed use of outdoor areas. The feeling of a "natural" environment in the use of plant material is encouraged as opposed to a heavily manicured theme.
2. **PURPOSE:** It shall be the principal purpose of these regulations and criteria to:
 1. Assure that all structures, facilities, and objects constructed, developed, and/or installed on a temporary or permanent basis within The Plantation development and property contiguous thereto under the control or jurisdiction of The Plantation are accommodated with landscape plantings and the various elements of landscaping that reflect the prestigious and unique character of the community and the surroundings therein; and,
 2. Assure that property and community values are enhanced and perpetuated through the use of site plantings, foundation area plantings, screen plantings, accent plantings, lake bank treatments, golf course frontage treatments, and driveway and street plantings through the use of fountains, trees, shrubs, grass, permitted decorative privacy walls or fences, earth berms/mounds, bridges, paths, statuary, and other such elements as may be acceptable to the Architectural Design Board; and,
 3. Assure that existing trees and other native plant materials are preserved, enhanced, and incorporated into the landscape development area; and,
 4. Assure that positive drainage and other designed and natural features of the development and the area(s) to be landscaped are maintained and preserved as required.
3. **INTENT:** It is intended that all builders, developers, designers, homeowners, and construction contractors who engage in any type of construction and development activity comply with these regulations.
4. **JURISDICTIONAL AUTHORITY:** The Architectural Design Board of The Plantation at Ponte Vedra, Inc. shall be the jurisdictional authority for the administration, implementation, revision, promulgation, and enforcement of the landscape development regulations and criteria.
5. **ENFORCEMENT:** In addition to the Architectural Design Board's ability to enforce these regulations and criteria as an exercise of the Board's constitution in the Declaration of Easements, Covenants, Conditions, Restrictions and Limitations for The Plantation at

Ponte Vedra, Inc., as amended, the Board may undertake any other enforcement actions and measures that are reasonable and effective.

6. EXCEPTIONS AND WAIVERS: When in the sole discretion of the Architectural Design Board substantial justification exists, exceptions and waivers may be granted. Such exceptions and waivers as may be granted shall not be construed to constitute a precedent or to abrogate any of the rights, responsibilities and duties of the Architectural Design Board.

7. DEFINITIONS:

1. **Landscape Plans:** A set of drawings to scale indicating both existing and proposed landscape elements to be constructed on the site. They shall include trees, shrubs, ground covers, sod and mulch areas, lighting, hardscape elements such as arbors, gazebos, pools, fountains, patios, sun porches, screened enclosures, outdoor kitchens and any other items that may enhance the design of the site. Plans shall be submitted in accordance with the “minimum design requirements” as defined herein.

2. **Irrigation Plans:** A set of drawings to scale indicating both existing and proposed irrigation elements to be constructed on the site. They shall include the water meter, back flow preventer, well and pump, time/controller, piping, valves, rotors, pop-ups, fixed sprays and risers, drip lines and emitters and moisture sensors.

3. **Plant Materials:**

a. **Grass:** Turf grass installed in all areas delineated as sod on the landscape plan. The material shall be fresh cut and weed free. Sod shall be either muck or sand based where existing site conditions are of similar composition. The species Stenotaphrum secundatum – St. Augustine grass shall be used. The cultivated varieties acceptable for use are “Captiva”, a semi-dwarfed, slower growing turf grass resistant to chinch bugs that grows with as little as 4 hours of direct sunlight and requires less water use to sustain; and “Sapphire”, a soft and luxurious turf grass with excellent wear ability. Due to poor insect and cold resistance; “Floratam” is no longer recommended. In heavier shade conditions, “Classic” may be specified as an acceptable St. Augustine variety.

b. **Ground Cover:** Low growing or ground hugging plants of a vine or bunch character which is planted sufficiently close to form a uniform cover over the ground area devoted to such planting. Most plants classified as ground covers for the purposes of these regulations and criteria will attain mature heights of twelve (12") inches or less.

c. **Shrub:** A woody self-supporting evergreen or deciduous plant that may or may not produce conspicuous flowers and which attains a mature height of twelve (12") inches or greater.

d. **Tree (Flowering Ornamental):** A vertical growing plant with a branching character and singular or multiple trunking, deciduous or evergreen, flowers

- during one season of the year at least and attains a mature height of up to twenty-five (25') feet and a mature spread of fifteen (15') to eighteen (18') feet.
- e. Tree (Palm): A vertical growing woody plant characterized by palmate or pinnate type foliage clustered at or near the top of the trunk with a mature height of eight (8') feet or greater.
 - f. Tree (Shade/Canopy): A vertical growing woody plant with heavy branching and limbing, deciduous or evergreen, flowering or non-flowering, and having a mature height of twenty-five (25') feet or greater and a mature spread of fifteen (15') or greater.
4. Screen/Screening:
- a. Structural Screen: Screen walls made of the same material as that of the house or other material approved by the ADB, having a height of at least four (4') feet above grade and not to exceed six (6') feet above grade in height. Brick, stone, or masonry and/or an aesthetically designed combination of not more than two materials having an architectural character consistent with the building may be used. They are to be of a color or colors that are compatible with the approved color/colors of the building. The overall height shall not exceed six (6') feet unless such structure is attached to and is a continuation of a wall of the building which will then allow the overall height to be the same as the building wall at single story level.
 - b. Plant Screen: A planting of shrubs of the same or mixed variety/varieties in an arrangement and at a spacing that will create an opaque or near opaque screen to a height of not more than six (6') feet within one year of planting.

8. MINIMUM LANDSCAPE AND IRRIGATION DESIGN REQUIREMENTS:

- 1. Plan Sheet Size: 30 inches in width by 42 inches in length or 24 inches in width by 36 inches in length shall be the standard size sheets on which plans shall be submitted. Landscape and lawn sprinkler plans shall be submitted on the same size sheets.
- 2. Scale of Drawings: The scale of the landscape and irrigation plans shall be one of the following: 1/10 (1 inch equals 10 feet) or 1/8 (1 inch equals 8 feet). Both landscape and lawn sprinkler system plans shall be prepared at the same scale.
- 3. North Arrow: A north arrow indicating compass north shall be displayed on each sheet on which plan views are illustrated.
- 4. Plant List and Key: The landscape plan shall have a plant list and key including the following: first column – initials of the botanical name of the plant; second column – the quantity of the material to be used; third column – the botanical name of the plant and variety with the common name below it in capital letters; fourth column shall include remarks regarding the height, spread, caliper, trunk quantity and any other distinguishing remarks in describing the plant at the time of installation; fifth column – whether the plant is native or not; sixth column – whether the plant's drought tolerance is high, medium or low. A sample plant list is shown in Landscape Appendix A.

5. Legend of Objects and Elements: Drawings shall include a legend showing the symbol of the object or element in a legend to describe what the symbol represents; i.e. an irrigation head or a path light.
6. Proposed and existing grades: Plans should: (a) indicate existing grades as dashed lines, their elevation noted in parentheses.; (b) note spot elevations at top and bottom of curb and at centerline of right of way; (c) indicate proposed elevations on the plan in solid lines with their elevations in boxes; (d) note elevations of finished floor of buildings, patios, pools, driveways and walkways; and (e) notes of slopes of grades for paved areas.
7. Existing Trees: Existing trees that are three (3") inches in diameter and larger shall be shown by separate symbol according to common name and size. Canopy size shall be shown approximately to scale by freehand outline or templated circle. Where a cluster of trees exist, an encircling freehand outline of the outer edge of clustered canopies shall be used to illustrate the combined canopy area. Existing trees shall be shown on the landscape plan on which the building and other landscape features are represented to scale. An "X" shall be used to mark through those trees which are in the path of construction and are to be removed. Every reasonable effort shall be exercised to preserve existing healthy live and laurel oaks, magnolia, American holly, red maple, sweet gum, loblolly bay, black gum, palms, pine, red cedar, and cypress.
8. Lettering of the plans: Plans submitted shall be clearly labeled and lettering shall be a minimum height of 1/8". A block style in capital letters is recommended.
9. Title Block, Signature, and Seal: Each sheet used for the presentation of plans shall have a title block across the right end or across the bottom edge of each respective sheet. The title block shall indicate the office, firm, and/or individual having a valid occupational license and appropriate legal registration to prepare the plans. The complete address and telephone number of the office, firm, and/or individual shall be a part of the title block. The title block shall include the initials of the person who drew and who designed the plans and the date of such design. A revisions block shall be a part of the title block and each revision shall be dated and noted. Plans submitted to the Architectural Design Board shall be signed, dated, and sealed by the landscape architect responsible for the documents. Planting designers are exempt from the seal requirement.
10. Minimum Specifications and Details Required: In addition to any written specifications initiated and forwarded by the landscape architect, a set of general and/or special instructional and performance notes shall be written on the plan sheet. A sample set of notes is included in Appendix II. Further, explanatory notations shall be used to supplement graphic representations so one may clearly interpret what is intended. For example: If edging is required and illustrated around a plant bed, a further notation should explain that the edging is 1/4" x 5" Ryerson steel or 1/2" x 6" treated pine with 3" entrenched below grade.

As a minimum, a typical shrub planting, shade/canopy tree planting, small or flowering tree planting, and a palm tree planting detail shall be illustrated on the

plan sheet. In addition, illustrations shall be used to depict any unusual or unique construction details that are to be employed and to show relationships between structural elements and plants. Obviously, details depicting the manner in which structural objects and elements will be constructed shall be shown.

11. Minimum Plant Specifications: All plant materials will be of the grade, "Florida Number One" or better ("Florida Fancy") as outline in Florida Grades and Standards. Major front yard canopy trees shall be a minimum of 16 feet in height with 8 feet of spread, 3 ½" caliper, while rear and side yard trees shall be a minimum of 14 feet in height with 7 feet of spread, 3" caliper. All shrubs shall be of three gallon size with a height and spread specified for each shrub which is most commonly furnished by wholesale nurseries. All ground covers shall be a minimum of 1 gallon size with a height and spread specified for each which is most commonly furnished by wholesale nurseries. No splits, quarters, and etc. will be allowed.

All plant materials shall be Florida Grade One or better (Florida Fancy) as defined in the Florida Nursery Grades and Standards Manual. Verify size specifications with local nurseries for accurate descriptions of materials. Plant materials should be healthy, free of insects and disease, and chosen for their appropriate functions; be it shade, screening, accent, foundation, color or ground cover. All plant materials will be considered as to their appropriateness, size at maturity, longevity, toxicity and potential for invasiveness. Trees shall be of the following minimum sizes:

Front yard: Trees such as Live Oaks and other hardwoods: 6" caliper, 18' height, 8' spread. Accent trees such as Ligustrums and Crepe Myrtles: Multi-trunked with 1"-4" trunks minimum, 8'height and spread.

Palm trees such as Washingtonia and Cabb age: 12' to 18' overall heights (planted in groups of three or more) with staggered heights.

Side and back yard: Trees such as Live Oaks and other hardwoods: 4" caliper, 14' height, 6' spread. Accent trees such as Ligustrums and Crepe Myrtles: multi-trunked with 3-3/4" trunks minimum, 6'height and spread.

Palm trees such as Washingtonia and Cabbage: 12' to 18' overall heights

9. MINIMUM SIZES OF SHRUBS AND GROUND COVERS:

Shrubs and ground covers shall be of the following minimum sizes:

Accent shrubs/small trees shall be 15 gallon, 48"-60" height

Small palms shall be 15 gallon, 36"-60" height.

Shrubs for foundation or screening purposes shall be 7 gallon, 36"- 42" height.

Other shrubs shall be a minimum size of 3 gallon, 16" – 20" height.

Vines shall be 3 gallon minimum, 3-5 runners per pot, 18" – 24" height, staked.

Ground covers shall be 1 gallon, 10" – 15" height.

Vining ground covers shall be 4" pots or 1 gallon; 3 10" – 12" runners per pot minimum
Bedding plants shall be 4" pots minimum or 1 gallon, 6" – 10" height.

10. MULCH, WEED BLOCK, EDGING AND SOD:

1. Mulch: Install a 3" minimum depth in all landscape beds. Cypress mulch or pine bark mulch is recommended. Mini nuggets and pine bark may be used but are more susceptible to weeds. Pine straw shall be 4" minimum depth and used in natural areas only. Rubber mulch, gravel and dyed mulches are not acceptable mulches for planting areas but may be considered for special applications on a case by case basis.
2. Weed block: Weed mat or sheets of newspaper are permitted but are not to be visible. Black plastic is not permitted. Weed blocks must be permeable in all landscape bed areas.
3. Edging: Plastic or concrete edging for beds are not permitted and detract from the aesthetics of the community as a whole. Aluminum or steel edging will be considered on a case by case basis.
4. Sod shall be St. Augustine "Captiva", "Sapphire" or "Classic" (for shaded areas). Other St. Augustine sod types may be considered on a case by case basis. In addition, other grasses may be permitted to comply with Florida Statute 373.185, dealing with "Florida-friendly Landscaping." All landscape plans should include the type of sod. Sod or turf selections or changes are to be submitted to the ADB for review and approval. Homeowners should specify to suppliers that all sod should be fresh cut, weed free and in good health at the time of planting. The sod should be installed in accordance with the "Best Management Practices" of the sod suppliers.

Prior to preparing planting design it is recommended that homeowners obtain a soil test for the site to select materials that are readily adapted to the existing soil. One option is to send \$7.00 and 1 cup of soil for testing to UF/IFAS Extension Soil Testing Laboratory, Wallace Building 631, P. O. Box 110740, Gainesville, FL 32611-0740. Specify test for turf and ornamental shrubs. Allow 2-3 weeks for results.

11. MINIMUM IRRIGATION DESIGN REQUIREMENTS:

1. Irrigation plans should be designed by a qualified irrigation designer or registered landscape architect.
2. Right of ways shall be irrigated from back of curb to the property line.

3. A moisture sensing device is superior to a conventional rain switch and shall be used in all landscapes to reduce water usage as required by state law.
4. It is recommended that zones for low, medium and high water use shall be
5. A back flow prevention assembly (DCA 100 or equal) shall be specified and installed on the service side of the meter. Locate the double check valved back flow preventer near the side of the house and at least 12" above the ground. Cover exposed piping with weatherproofing. Covers such as the "Hot Rock" (a plastic cover used to disguise and protect the BFP) are encouraged. Note location on the plan.
6. Drip irrigation is encouraged in planting beds and at the base of trees to reduce water usage. Follow manufacturer's recommendations for emitters, drip lines and distribution hubs.
7. Irrigation controllers shall be weatherproof and mounted in the exterior service court; or in Garden Homes, in the service or patio court. All controllers shall be out of view.
8. Irrigation systems shall be fully automatic and provide 100% coverage of all landscape and sod areas; exclusive of natural areas to remain.
9. It is recommended that automatic control valves be placed in valve boxes along the water main. Valve boxes shall not be covered over with sod or mulch or placed within a bed line.

12. SUBMITTALS, APPROVALS AND REJECTIONS:

1. Submittals: Two complete sets of plans/designs/drawings in a format which are in a format acceptable to the ADB, shall be submitted to the Architectural Design Board for its review and approval or rejection or request for additional information/explanation.

An application must include two sets of plans in accordance with the guidelines to The Plantation prior to the ADB meeting. The ADB Administrator can assist and provide information about the necessary details.

2. Approvals: At its sole discretion, the Architectural Design Board may approve, partially approve, and/or request additional explanation/information before approving any plans submitted.
3. Rejections: At its sole discretion, the Architectural Design Board may reject and require resubmittal of any and all plans submitted.

13. MINIMUM REQUIREMENTS OF SPECIFIC PLANTING AREAS:

1. Plantings surrounding the perimeter of the building: The complete foundation perimeter of the building shall be considered in the design; however, planting shall not be required continuously around the building. Plantings shall be continuous around and on the front and rear exposures of the building with the front being the exposure facing the street and the rear being the opposite side of the building. Where planting is continuous, an outer undulating or curvilinear design balanced bedline shall be established. The minimum depth of the plant bed from the adjacent building wall shall not be less than three-quarters of the single story wall height measured from foundation grade to eave of the roof. The widest areas of the foundation plant bed shall not be greater than one and one-half times the single story wall height measured from foundation grade to eave of the roof. Where space is restricted in patio or garden home areas, plant bed depths shall be adjusted to the limits of the area while passage is maintained for service and safety. Where foundation plant beds must be restricted in depth, the use of plants and other elements that provide accent or substance of a compensating nature shall be used. If, for example, the height of the planting shall not exceed three (3') feet except for individually planted accent plants that shall not exceed two-thirds of the building wall height that is the backdrop for the planting. In all instances of developing plantings around the foundation area of the building, careful consideration shall be given to the bed depth to building height relationship in order to appropriately mass and accent focal locations.
2. Plantings surrounding the perimeter of the lot:

Trees, shrubs and vines should be designed with diversity in mind as to planting. Linear privacy hedges are discouraged. Natural drifts of plants are encouraged and enhance the natural surroundings of the community. Care should be taken not to adversely affect these elements and to preserve the character and sense of place of the community. Plantings should accentuate positive views, i.e. natural amenities of the Plantation; naturalized areas of woodlands, protected wetlands and upland buffers, the golf course and amenity centers, the waterways and the adjacent homes within the community and screen negative ones.
3. Plant selection:
 - a. Plants can become susceptible to disease. Some can require excessive chemical treatment.

Problems with insect control are common to Dwarf Burford Holly, King Sago Palms and Coontie Palms, Oleanders, Cannas and to a lesser degree Azaleas and Camellias.

Problems with fungi and leaf spot are common to Indian Hawthorn, turfgrass, Impatiens and to a lesser degree Ligustrum.

Invasive species include Lantanas, Wax Myrtles, Bamboos, Rice Paper Plants and to a lesser degree Ferns, Periwinkles and Impatiens.

b. Landscaping shall be created with due consideration of the image of the community and when possible respect the need to reduce high water use. See Appendix I for mean canopy spread and spacing guidelines.

c. The use of native trees, shrubs and grasses are encouraged. Native species found growing in the Plantation are preferred with Live, Laurel and Water Oaks, Spruce and Slash Pine, River Birch, Red Maple, Magnolia, Sweet Gum, Cabbage and Washingtonian Palm being the predominant tree species.

4. Site locations & Coverage:

Existing and planted tree groupings may be under-planted with shrubs and ground covers and encompassed within a free form bed line. In site locations where trees are non-existent or in low population, shade/canopy trees shall be installed and distributed in such manner as to create a picturesque framework for the setting of the building and for the architectural character and profile of the house. A guide is included in Landscape Appendix B for the purpose of determining the number and spacing of trees to be added to open areas and to be used to supplement existing trees.

All open spaces and particularly populated areas of the site shall be planted with shade/canopy type trees in order to achieve 40% canopy on the site. The above guide shall be utilized to determine the appropriate coverage utilizing the "mean canopy spread" in preparing the calculation. A calculation sheet shall be prepared for each plan submitted to the Board. The following canopy mix shall be minimum:

Evergreen 75%

Deciduous 15%

Tree type shrubs and flowering ornamentals 10%

Sabal palms may be utilized as substitutions for canopy/shade trees in such areas as along pool side. Sabal palms shall be planted in a minimum cluster of five (5) at a maximum spacing of 10 feet on center with staggered heights and a minimum of 8 feet of clear trunk. For purposes of calculation for canopy tree substitution, mean canopy spread shall be 35 feet on a cluster of five Sabal palms.

14. MISCELLANEOUS MATTERS:

1. All air-conditioning units and pool equipment locations shall be shown on the landscape plans and appropriate screen walls and planting shall be provided.
2. Screen plantings for all garage openings shall be provided.
3. Specific tree types in front yards may be specified by the Architectural Design Board from time to time.
4. The construction of ostentatious site features such as topiary, sculpture, and freestanding fountains in the foregrounds of homes or lighting systems which may

be offensive to adjacent neighbors will be unacceptable. All sculpture, flag poles, etc. must be approved by the ADB and landscaped appropriately.

5. No mailboxes will be installed curbside.
6. Any proposed exterior down lighting will be included on site and architectural plans for review and approval by the Architectural Design Board. Lighting of any color other than white must be specifically approved. Objectionable driveway lighting may be subject to review. Lights shall be carefully positioned so as not to shine on neighboring property.
7. No walls or hedges of plant material will be installed along the lot lines. However, the Architectural Design Board may consider such placement where lot configuration and placement warrant such installation. All hedges and walls must relate to and be an extension of the architectural form of the house and the outdoor space or activity being defined by any such walls or hedges. Any proposed walls must be included on the site and architectural plans for review and approval by the Architectural Design Board. Such plans shall include front, side, and end view, cross section, heights, materials, and colors.
8. Any plant material which dies or becomes unsightly after installation will be replaced with approved plants within 30 days of installation or any notification by the Architectural Design Board. When trees are removed at any time, stumps are to be ground so as not to be visible from roads, adjacent properties, golf course, etc.
9. The landscaping will be installed in accordance with the approved plan and any changes, additions, or deletions to the plan will be submitted to and approved by The Plantation ADB.
10. Electric utility company guidelines specify that utility transformers must have 15' of clear area from the front of the transformer to the curb; mulch bed with ground covers less than ten inches in height at maturity or sod only. Sides and rear of transformer shall maintain a 36" clear area from the box to the mature side of the shrub. The center of the shrub should be 54" to the side of the box to allow for proper growth. Small trees shall be a minimum of 72" from the box to prevent tree root invasion or interference by the tree canopy.
11. Traffic Sight Lines:
Plantings should not hinder clear visibility of oncoming traffic both at the corner of corner lots and where driveways intersect at the street.
12. Drainage of the site:
High amounts of impervious surface cause increased runoff that can affect the storm water retention areas. Slopes away from adjacent lots should be created to avoid runoff onto a neighbor's property or into wetland areas, and at no time should any slope increase the runoff of an adjacent lot, built or vacant. Slopes should collect and divert runoff away from wetland areas and drain the lots to the street, to the rear of the lot where water features exist and collect runoff from

sides of lots adjoining other home sites or in concrete surrounded areas. Catch basins, percolation pipe, french drains and swales may be used to handle the runoff.

13. Hardscaping:

Consideration should be made to include pavers, stamped concrete, rock salt concrete and other hardscape surfaces rather than broom finished concrete for pool decks, walkways and driveways. Samples should be submitted with plans. If a pool or spa is a consideration, screen enclosure plans should be included as well. Variances are discouraged. Builders and architects should ensure adequate space for any of these amenities to include pool/spa equipment location and accompanying screen walls. Arbors, gazebos, etc. are reviewed on a case by case basis.

14. Maintenance of Hedges in Garden Home Sections:

Hedges in Garden Home Sections shall be maintained at a maximum height of eight feet. Exceptions, purely at the discretion of the Plantation Garden Home Maintenance Department, may be made regarding maximum hedge height where side or rear yard hedges are adjacent to roadways.

15. Fertilization:

It is recommended that fertilization be plant specific and applied annually in the spring. Additional applications for species such as Azaleas, Palms, Roses and annuals are encouraged quarterly for optimum growth.

16. Tree Restrictions:

Trees planted along the perimeter of the parcel shall not be planted in the front right of way. Maintaining equally proportioned spacing between trees is recommended. Tree growth should be anticipated when planting takes place. As much as possible, trees should be located so as not to impact adjacent properties at full growth.

17. Planting restrictions:

Plant materials should be selected to grow in their appropriate climate. Plants subject to freeze damage should be placed in protected micro climates; near walls, under tree canopies and where wind breaks can provide them with some protection from cold northwesterly winds. Plants damaged by frost shall be removed and replaced. All dead plant material is to be removed immediately and replaced if required.

ADB Landscape Appendix A

Plant List

<u>Key</u>	<u>Qty.</u>	<u>Name</u>	<u>Remarks</u>
QV	2	Quercus virginiana LIVE OAK	6" cal. 16'-18' ht. 7'-8' spd. Tree spade Y M
AR	3	Acer rubrum "October Glory" RED MAPLE	4" cal. 14'-16' ht. 5'-6' spd. 200 gal. Y M
LJT	2	Ligustrum japonica "Treeform" PATIO LIGUSTRUM	3 trunks@ 3/4" cal. 6' ht. 6' spd. 65 gal. N M
CR	3	Cycas revoluta SAGO PALM	3' ht. 3' spd. 12"-18" trunks 15 gal. N H
RIA	21	Raphiolepis indica "Alba" INDIAN HAWTHORN	16" ht. 16" spd. 3 gal. 30" o.c. N H
LEG	31	Liriope "Evergreen Giant" EVERGREEN GIANT LIRIOPE	12" ht. 12" spd. 1 gal. 18" o.c. N M
AN	120	ANNUAL COLOR - SALVIA RED	4" Pots 8" o.c. N L
SOD	12	Stenotaphrum secundatum "Captiva" Fresh cut 500SF/Pallet ST. AUGUSTINE GRASS	N M
MULCH		CYPRESS	3" Min. Coverage 120SF/yd.

THE PLANTATION AT PONTE VEDRA, INC.
ADB Landscape Appendix B

TREE KIND	MEAN CANOPY SPREAD	SPACING - MINIMUM	SPACING - MAXIMUM
EVERGREEN:			
American Holly	20' Diameter	20' O. C.	30' O. C.
Live Oak	40' Diameter	30' O. C.	50' O. C.
Laurel Oak	35' Diameter	35' O. C.	50' O. C.
Southern Magnolia	40' Diameter	30' O. C.	50' O. C.
Loblolly Bay (Gordonia)	18' Diameter	18' O. C.	30' O. C.
Pine (Slash, Loblolly)	14' Diameter	16' O. C.	30' O. C.
DECIDUOUS:			
Red Maple	35' Diameter	25' O. C.	40' O. C.
Sweetgum	30' Diameter	20' O. C.	40' O. C.
Black Gum	25' Diameter	20' O. C.	40' O. C.
Cypress	12' Diameter	18' O. C.	25' O. C.
Bradford Pear	12' Diameter	18' O. C.	25' O. C.
TREE TYPE SHRUBS AND FLOWERING ORNAMENTALS:			
Crepe Myrtle	10' Diameter	12' O. C.	25' O. C.
Ligustrum (Patio Type)	10' Diameter	12' O. C.	25' O. C.
Wax Myrtle (Patio Type)	10' Diameter	12' O. C.	25' O. C.
Dogwood	10' Diameter	12' O. C.	25' O. C.
Red Bud	10' Diameter	12' O. C.	25' O. C.

Note: Others acceptable to the Architectural Design Board may be proposed for use.

THE PLANTATION AT PONTE VEDRA, INC.

ADB Landscape Appendix C

GENERAL NOTES AND SPECIFICATIONS:

1. The LANDSCAPE CONTRACTOR is responsible for verifying project site conditions and all quantities indicated on these plans before pricing work.
2. All plant material shall be Florida Grade No. 1 or better – nursery grown in accordance to Florida Grades and Standards Handbook.
3. Plants shall be sound, healthy, and vigorous well branched and densely foliated when in leaf. They shall be free of disease, insects, eggs, or larvae and shall have healthy, well developed root systems. They shall be free from physical damage or adverse conditions that would prevent thriving growth.
4. All plants shall be container grown, balled and burlapped, wire basketed or tree spaded.
5. All plants shall conform to the varieties indicated in the plant list.
6. Substitution of plant materials will not be permitted unless authorized in writing by Landscape Architect. If proof is submitted that any plant specified is not obtainable, a proposal will be considered for use of the nearest equivalent size or variety with corresponding adjustment of contract price.
7. The CONTRACTOR shall excavate plant pits according to the drawings, unless otherwise directed.
8. All backfill around plant material shall be worked firmly, tamped, and watered in under and around the rootball to fill all voids.
9. The GENERAL CONTRACTOR shall bear final responsibility for proper surface drainage.
10. Planting beds shall be cut or edged to form a uniform clean line between beds and lawn areas.
11. After all plant material in a plant bed area has been installed, the areas between plants shall be raked to an even grade to conform to pre-mulching finish grades. All planting beds and plant saucers shall then be uniformly covered with a minimum three inch layer of approved mulch.
12. All trees are to be staked unless otherwise directed by LANDSCAPE ARCHITECT, owner or owner's representative. Refer to staking and planting details on the drawings.
13. The LANDSCAPE CONTRACTOR is responsible for all fine grading preparation for planting.
14. Rough grades will be established by the owner's general contractor at approximately 3 inches below curbs, sidewalks, hardscape amenities, mowing strips, and abutments.

15. CONTRACTOR shall coordinate construction of planting areas with installation of irrigation system.
16. Sod areas shall be St. Augustine grass "Captiva", "Sapphaire" or "Classic" (for shaded areas). Grass for sodding shall be freshly cut in squares one foot wide by two feet long. Sod shall be healthy, free of insects, and in naturally flourishing condition. Dry, brown, and unfresh sod will be rejected.
17. Sod shall be laid end-to-end in a staggered line to form a uniform layer. All uneven edges shall be squarely trimmed to allow close and firm fitting of each piece.
18. After sodding is completed, the entire sod areas shall be watered by hand or irrigation system in accordance with Best Management Practices.
19. The LANDSCAPE CONTRACTOR is responsible for fully maintaining all plant material on site during and before planting until the work is accepted by the owner or owner's representative.
20. All plants shall be guaranteed by LANDSCAPE CONTRACTOR to be healthy plants and in flourishing condition of active growth for ninety (90) days from final inspection and acceptance. All trees shall be guaranteed an additional one year from final inspection and acceptance.
21. The owner, or owner's representative shall have the right to reject any and all work which in his opinion does not meet with the requirements of the specifications at any stage of the project operation.
22. In general, the work shall proceed as rapidly as the site becomes available. Keep all areas of work clean, neat, and orderly at all times.
23. The site shall be graded to maintain positive surface drainage.
24. Planting areas locked in by hardscape shall be drained with a minimum 4 inch ADS pipe to catch basin, dry well, or approved out-fall area.
25. No fill over the root systems of trees shall occur and construction equipment shall avoid their roots to prevent compaction.
26. Irrigation system shall be fully automatic and provide 100% coverage of all landscape and sod areas within the property.
27. A back flow prevention assembly (DCA 100 or equal) shall be installed on the service side of the meter. Locate the double check valved back flow preventer near the side of the house and at least 12" above the ground. Cover exposed piping with weatherproofing.

After the landscape plan is approved by the Architectural Design Board, any subsequent changes must be resubmitted to the Board for review and approval as shown on the landscape plans. Small in the field revisions can be made by calling The Plantation to advise of the change. Upon approval in the field by the ADB Administrator, the landscape contractor shall submit one as-built copy to The Plantation and one copy to the home owner.

SECTION VII

FORMS APPENDIX

Form 1

THE PLANTATION AT PONTE VEDRA ARCHITECTURAL DESIGN BOARD

Architectural Design Board Submission Checklist

(To be used in conjunction with ADB Guidelines)

PRELIMINARY REVIEW:

- Completed Application, to include signed Drainage Certificate (a copy of Drainage Certificate must also be filed with St. Johns County during permitting process).
 - \$1,000.00 Submission Fee, payable to The Plantation at Ponte Vedra, Inc..
 - \$5,000.00 Completion Deposit to be submitted by the owner of the lot at time of initial submission.
 - Two sets of plans which are in a format acceptable to the ADB to include:
 - Site Plan to scale (1/8" = 1', or 1" = 10') indicating footprint of home, setbacks, screen walls, walkways, driveways, service yards, etc. Site plan must include a minimum of 50% of the footprint of adjacent homes. The site plan must also incorporate a tree survey and must include trees to remain and trees to be removed.
 - Architectural, to include elevation drawings.
-

FINAL REVIEW:

- Completed Application, to include signed Drainage Certificate (a copy of Drainage Certificate must also be filed with St. Johns County during permitting process).
 - \$1,000.00 Submission Fee, payable to The Plantation at Ponte Vedra, Inc. (if no preliminary submission).
 - \$5,000.00 Completion Bond (if no preliminary submission) paid by owner.
 - Four sets of plans which are in a format acceptable to the ADB to include:
 - Site Plan to scale (1/8" = 1', or 1" = 10') indicating footprint of home, setbacks, screen walls, walkways, driveways, service yards, etc. Site plan must include a minimum of 50% of the footprint of adjacent homes. The site plan must also incorporate a tree survey and must include trees to remain and trees to be removed.
 - Architectural Plans, to include:
 - Wall details.
 - Elevation drawings of all sides of home showing ground line and indicating all exterior materials. Write on all elevations that first floor to be a minimum 18" above finished grade.
 - Floor Plans scale at 1/4" = 1'.0".
 - Cut sheets for exterior appurtenances.
-

- Colors and Materials—stucco color samples (brick, stone and grout samples if applicable) and a roof tile must be submitted. A “blend” roof color style requires submission of a minimum of 3 roof tiles. Brochure pictures or photographs may be acceptable.

Colors must be selected by the Home Owner and so acknowledged by signature on the application. Color samples are to be submitted for the ADB files on 2" x 3" minimum color chips. In addition, new house submissions are to include samples of colors for body and trim to be painted side by side on a pre-cut 2' x 4', 3/8" thick plywood board. Such boards are readily available at Home Depot. The trim color is to be painted 4" wide down the entire 4' length of the left side of the board and the body color is to be painted adjacent (*both colors touching with no space in between*) to the trim and cover the rest of the entire plywood board.

- Two sets of landscape plans which are in a format acceptable to the ADB.
 Pool plan, when applicable, and when not included in architectural plans in detail.
 Screen enclosure plan, when applicable, and when not included in architectural plans in detail.
 Variance, when applicable.

INSPECTIONS:

- Trees (saved vs. removed per landscape plan). Elevations Site, Walkways, etc.
 Setbacks Materials Landscaping

Form 2

THE PLANTATION AT PONTE VEDRA ARCHITECTURAL DESIGN BOARD

CHECKLIST FOR MINOR PROJECT SUBMISSION (Additions and Renovations)

Project Review:

- Letter explaining proposed project.
- Completed Application.
- \$300.00 Submission Fee, payable to The Plantation at Ponte Vedra, Inc. (not required for "color only" revision).
- \$2,500.00 Completion Deposit to be submitted by the owner of the lot at time of initial submission (not required for "color only" revision).
- Four sets of plans which are acceptable to the ADB to include:
 - Site Plan to scale (1/8" = 1', or 1" = 10') indicating footprint of home, setbacks, screen walls, walkways, driveways, service yards, etc. Site plan must include a minimum of 50% of the footprint of adjacent homes. The site plan must also incorporate a tree survey and must include trees to remain and trees to be removed.
 - Architecturals, to include elevation drawings.
- Colors and Materials—stucco color samples. Color samples are to be submitted on 2" x 3" minimum color chips. Color samples are to be submitted for the ADB files on 2" by 3" minimum color chips. In addition, new house submissions are to include samples of colors for body and trim to be painted side by side on a pre-cut 2' x 4', 3/8" thick plywood board. Such boards are readily available at Home Depot. The trim color is to be painted 4" wide down the entire 4' length of the left side of the board and the body color is to be painted adjacent to the trim and cover the rest of the entire plywood board.

Existing houses submitting color changes are to submit color samples for the ADB files on 2" by 3" minimum color chips. In addition color change submissions must include the same painted plywood 2' x 4' color sample described above or the Owner may paint a 2' x 4' body/trim sample swatch on their existing home for review.
- Two sets of landscape plans which are acceptable to the ADB if landscaping to be altered.
- Pool plan, when applicable, and when not included in architectural plans in detail.
- Screen enclosure plan, when applicable, and when not included in architectural plans in detail.
- Variance, when applicable.

INSPECTIONS:

- | | | |
|--|-------------------------------------|---|
| <input type="checkbox"/> Trees (saved vs. removed
Per landscape plan). | <input type="checkbox"/> Elevations | <input type="checkbox"/> Site, Walkways, etc. |
| <input type="checkbox"/> Setbacks | <input type="checkbox"/> Materials | <input type="checkbox"/> Landscaping |

Form 3

**APPLICATION FOR PRELIMINARY OR FINAL APPROVAL OF CONSTRUCTION
AND IMPROVEMENTS
THE PLANTATION AT PONTE VEDRA, INC.**

Name and Address of Property Owner:

Lot and Street Address to be Improved:

Lot: _____ Unit: _____

Street Address _____

Phone _____

FAX _____

Name and Address of Architect:

Name and Address of Contractor:

Phone _____ FAX _____

Phone _____ FAX _____

Submitted by:

Date:

ITEMS TO BE SUBMITTED FOR REVIEW

1. TOPOGRAPHIC AND TREE SURVEY:
Showing location and number of trees to be removed.
2. SITE PLAN:
Showing property lines, contour lines, location of specimen trees, setbacks, location of structure, walks, drives, patios, retaining walls, fences, exterior lighting, and grading plans.
3. FLOOR PLANS
4. EXTERIOR ELEVATIONS:
Showing actual ground line and indicating all exterior materials.
5. EXTERIOR MATERIALS:
Indicate below all applicable specific materials and colors or submit samples (samples must be at least 2" x 3" in size). In addition, new house submissions are to include samples of colors for body and trim to be painted side by side on a pre-cut 2' x 4', 3/8" thick plywood board. Such boards are readily available at Home Depot. The trim color is to be painted 4" wide down the entire 4' length of the left side of the board and the body color is to be painted adjacent to the trim and cover the rest of the entire plywood board:

SIDING:	Material	Color
STUCCO:	Composition & Texture	Color
BRICK:	Manufacturer	Color
ROOFING:	Material & Manufacturer	Color
FASCIA & TRIM:	Material	Color
SHUTTERS:	Material	Color
EXT. DOORS:	Type	Color
WINDOWS:	Type	Color
OTHER:	Material	Color

I hereby approve the above selection of colors and materials and understand that it is being submitted as my **final** selection. (Owner must sign.)

(Signature of Owner)

Amended January 28, 2014

Enclosed dwelling area of proposed structure: _____ sq. ft.

7. Elevation of finished floor: _____ ft. above M. S. L.

8. Is the improvement of this property for speculative purposes:

Yes _____ No _____

9. Expected date of initiation of construction: _____

Any approval issued is limited to design criteria established by the Architectural Design Board as provided by the Restrictive Covenants and should not be interpreted as approval of any variation from restriction or conditions imposed on the property owner by contract or other provisions of the recorded restrictions. **All revisions or additions to the exterior must be resubmitted for approval.**

**THE PLANTATION AT PONTE VEDRA, INC.
ARCHITECTURAL DESIGN BOARD**

Submitted By: _____

Please Send Approval Notification to: _____

Form 4

**THE PLANTATION AT PONTE VEDRA
ARCHITECTURAL DESIGN BOARD**

ARCHITECT'S SITE VISIT & DESIGN CRITERIA CERTIFICATION

LOT #: _____ UNIT OR SECTION: _____

OWNER: _____

DATE OF SITE VISIT: _____

IMPORTANT SITE CONDITIONS: _____

(Include statement regarding important sightlines, views, privacy considerations, orientation, tree locations, vegetation, or other criteria.

DATE: _____

NAME: _____

FIRM: _____

SIGNATURE: _____

This completed form should accompany your preliminary submission to the Board.

Form 5

THE PLANTATION AT PONTE VEDRA, INC.
APPLICATION FOR APPROVAL OF PARCEL ALTERATIONS AND/OR IMPROVEMENTS

Property Address: _____ Unit: _____ Lot: _____

Property Owner: _____

Proposed Contractor: Name _____

Address _____

Contact _____ Phone _____

Description of proposed alteration or improvement:

Attachments:

Anticipated Start Date: _____ Projected Completion Date: _____

As the owner of the above referenced parcel, I hereby apply for approval of the alterations and/or improvements described above. I understand that the completion of the work is subject to the relevant provisions of the recorded Covenants and Restrictions, the Rules and Regulations (including the Rules and Regulations governing construction activities).

Owner Signature

Date

ARCHITECTURAL DESIGN BOARD ACTION

Approved as Submitted _____ Approved with Conditions _____ Not Approved _____

Comments/Conditions:

By: _____ Title: _____ Date: _____

Form 6

THE PLANTATION ARCHITECTURAL DESIGN BOARD
101 Plantation Drive
Ponte Vedra Beach, FL 32082
(904) 543-2996

DRAINAGE CERTIFICATION FROM OWNER AND CONTRACTOR:

With the submission of the Building and Site plans for the residence to be constructed on Unit _____, Lot _____, at the Plantation, the undersigned Owner and Contractor hereby agree with and certify to The Plantation at Ponte Vedra, Inc. and its Architectural Design Board the following:

Drainage for the subject lot will be designed in accordance with sound engineering practices. No fill will be placed and no ditches, contours, berms, or swales created that will interfere with the properly designed drainage of the lot. All runoff will be directed to roadway drainage, retention ponds/lakes, or other drainage facilities approved by the Architectural Design Board and not onto any other residential lot or lots.

All necessary steps will be taken by the Owner and Contractor to ensure that stormwater runoff from adjacent properties, including right-of-way and common areas, is taken into consideration and is in no way interfered with, impeded, or allowed to accumulate or back up upon other property.

The undersigned Owner and Contractor will take such action as shall be necessary to remedy any condition which results from a failure of Owner or Contractor to carry out the provisions of this document.

The agreements, responsibilities, and certifications contained herein shall apply whether or not the Architectural Design Board approves the proposed building and site plans.

"OWNER" _____

Date: _____

"CONTRACTOR" _____

Date: _____

Note: A copy of this completed form must be submitted to St. Johns County along with approved plans during the permitting process.

Form 7

WELLS – SUBMISSION REQUIREMENTS

Site Plan:

- The site plan must show requested location.
- Above ground components must be within setbacks and at a location aesthetically acceptable to the Architectural Design Board.
- The submission must show cut sheets (pictures) of equipment that will be visible above ground.
- The submission should indicate screen wall and/or plant material to be utilized to screen above ground features.
- A Well Certification Form must be signed and submitted by the Owner at the time of the request.

Form 8

THE PLANTATION ARCHITECTURAL DESIGN BOARD
101 Plantation Drive
Ponte Vedra Beach, FL 32082
(904) 543-2996

WELL CERTIFICATION AND OBLIGATIONS

With the submission of this signed Well Certification Form, the Owner of Unit ____, Lot ____, at the Plantation, hereby agrees with and certifies to The Plantation at Ponte Vedra, Inc. ("Plantation") and its Architectural Design Board ("ADB"), the following:

A Site Plan showing the requested location for the well must be submitted to the Architectural Design Board for review and approval. The wells above ground components must be within setbacks and at a location aesthetically acceptable to the Architectural Design Board. Cut sheets (pictures) of equipment that is visible above ground must be submitted for review. A screen wall and/or plant material to be utilized to screen the above ground features must be indicated on the Site Plan and approved.

All necessary steps will be taken by the Owner and Contractor to ensure that the well and all of its components must be installed and operated in a manner so as not to cause a noise nuisance.

Additionally, the well and all of its components must be installed and operated in a manner so as not to cause any stain or discoloring of any kind on the exterior of the home or adjacent homes (to include sidewalks, walls etc.) and/or adjacent common areas, including roads/curbs. Should staining of any kind take place, utilization of the well is to stop until such appropriate corrections have been made. Any discoloring caused to the home or adjacent homes or adjacent common areas, is to be addressed (cleaned and/or painted) at the expense of the owner of the well.

It is strongly recommended that a water sample/report be obtained by the owner confirming the absence of certain quantities of iron, so as to insure that no staining of any kind will take place. Having received such a report does not relieve the Owner from the above mentioned requirements.

The undersigned Owner will take such action as shall be necessary to remedy any condition, which results from a failure of Owner and/or Contractor to carry out the provisions of this document.

The agreements, responsibilities and certifications contained herein shall apply whether or not the Architectural Design Board approved the proposed well and Site Plans. This agreement shall apply to the original and all subsequent owners.

Any costs incurred by Plantation or ADB in corrections, deficiencies or violations of this Well Certificate, shall be a cost to Owner and shall be subject to the provisions of Section 4 of the Fourth Amended and Restated Declaration of Easements, Covenants, Restrictions and Limitations for The Plantation at Ponte Vedra, Inc., as amended.

No well shall be installed which would be in violation of any local or state laws including, but not limited to, St. Johns County, Florida and the St. Johns River Water Management Department. The well shall not be connected to any potable water supply. Back flow prevention devices shall be installed as required and shall be inspected and certified annually and such certificates shall be made available to The Plantation at Ponte Vedra, Inc. upon demand.

All permits required for the installation of wells shall be the responsibility of the owner.

Owner

Date

Amended January 28, 2014

SECTION VII

APPENDIX OF SAMPLE GARDEN HOME PLANS AND ELEVATIONS

EXAMPLES OF GARDEN HOME PLANS AND ELEVATIONS

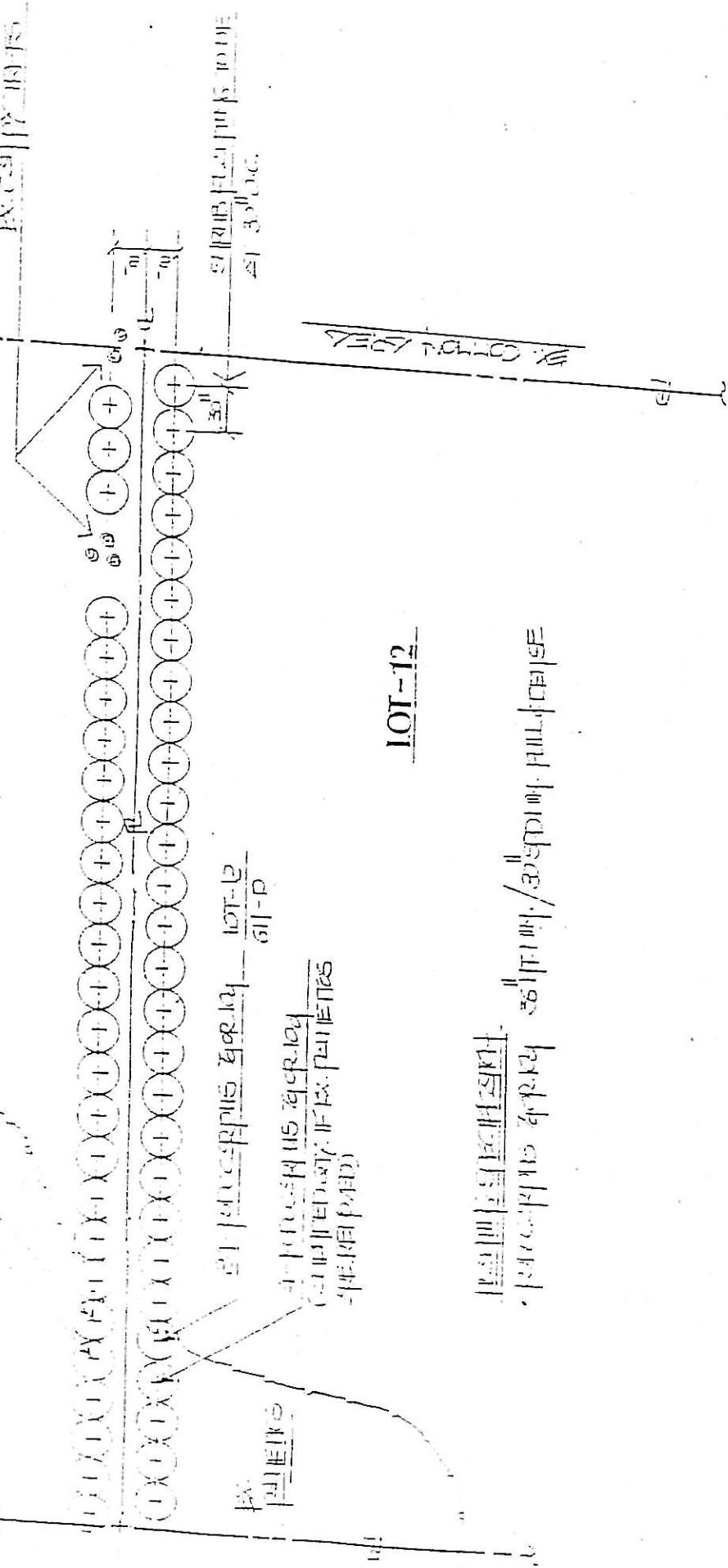
LOT-17

5' PONTE VEDRA ST 192' E
SW - RUE DE LA SAINTE ELEGANCE

SW - RUE DE LA SAINTE ELEGANCE

5' PONTE VEDRA ST 192' E
SW - RUE DE LA SAINTE ELEGANCE

SW



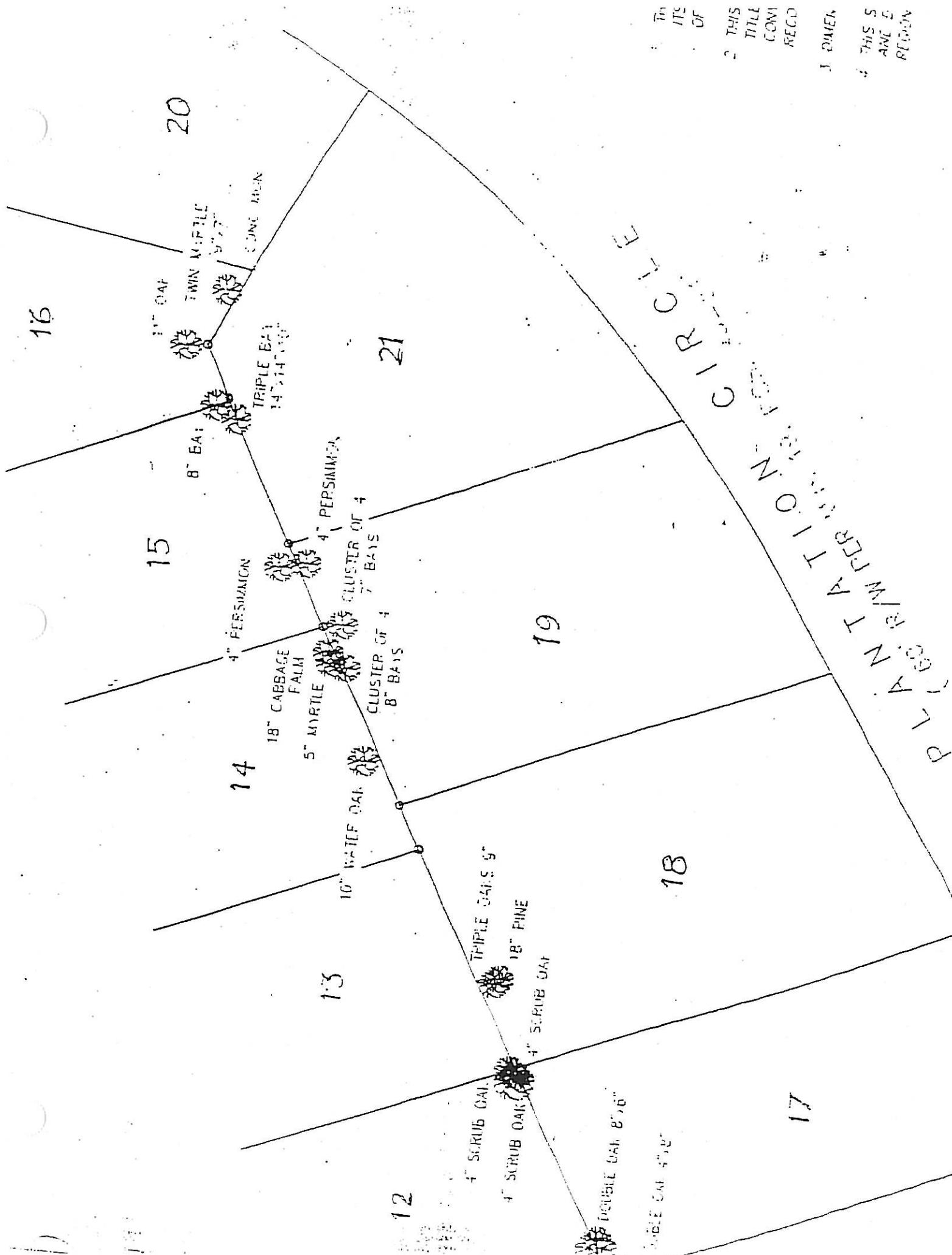
LOT-12

5' PONTE VEDRA ST 192' E
SW - RUE DE LA SAINTE ELEGANCE

SW - RUE DE LA SAINTE ELEGANCE

SCREEN PLANTING PLAN

TREE PLANTATION AT PONTE VEDRA - GHI-P



V. HEIGHT OF GARDEN HOMES:

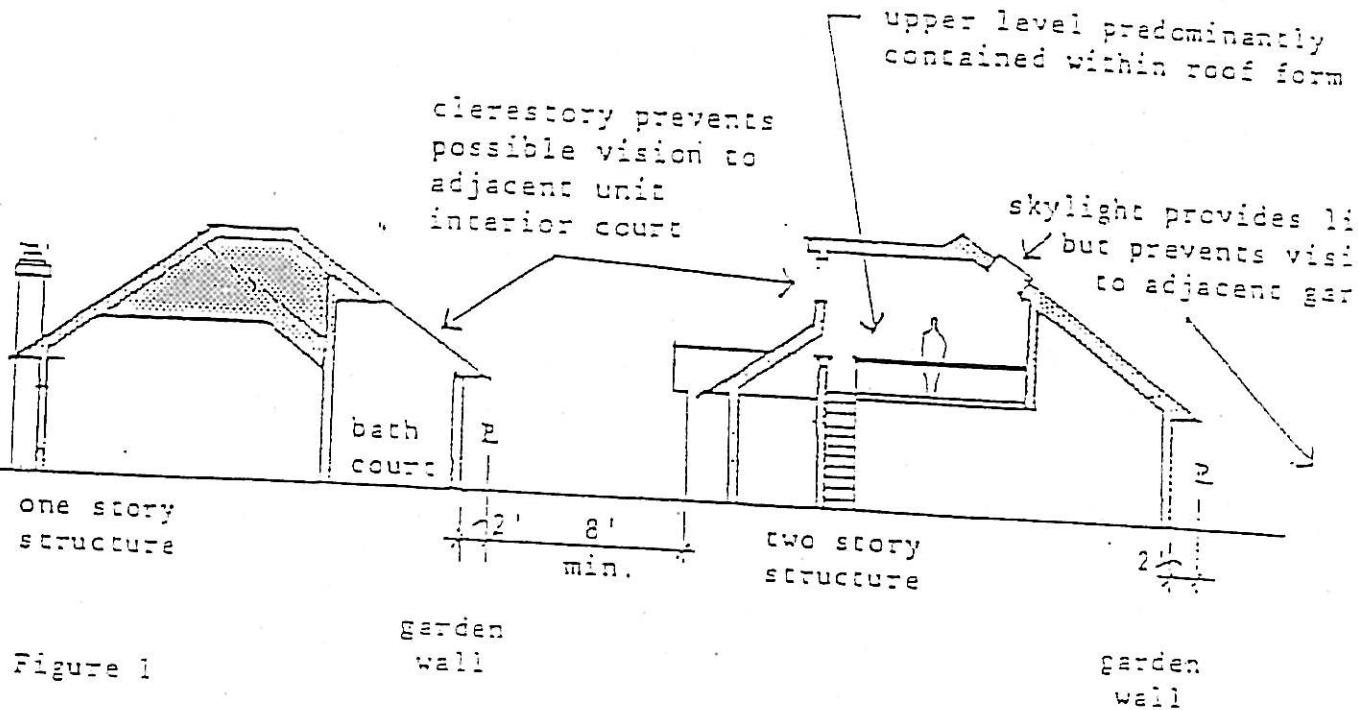
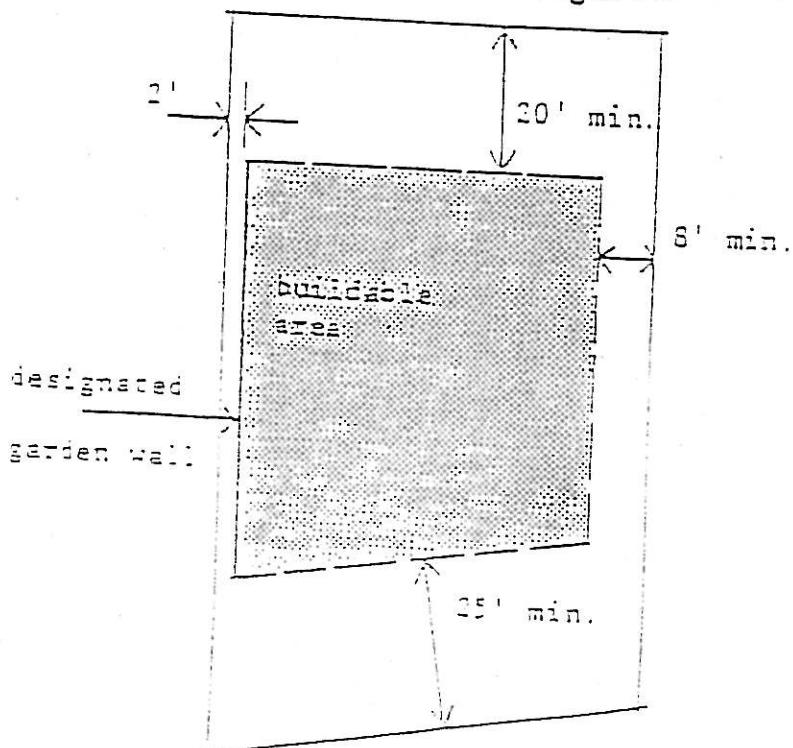
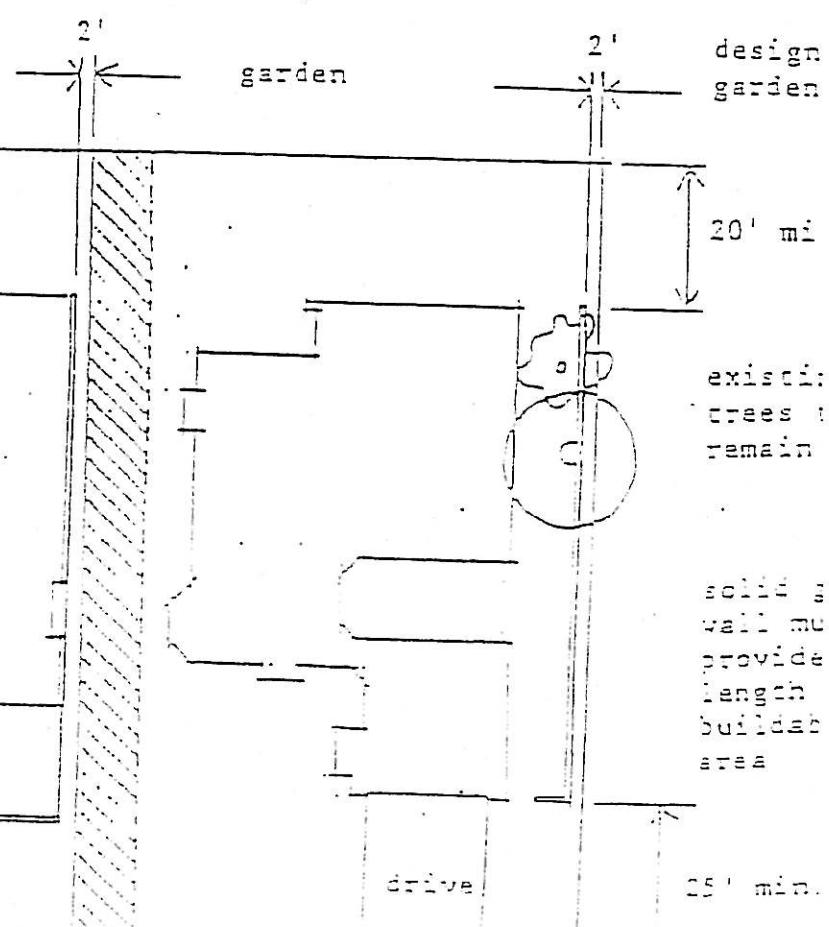
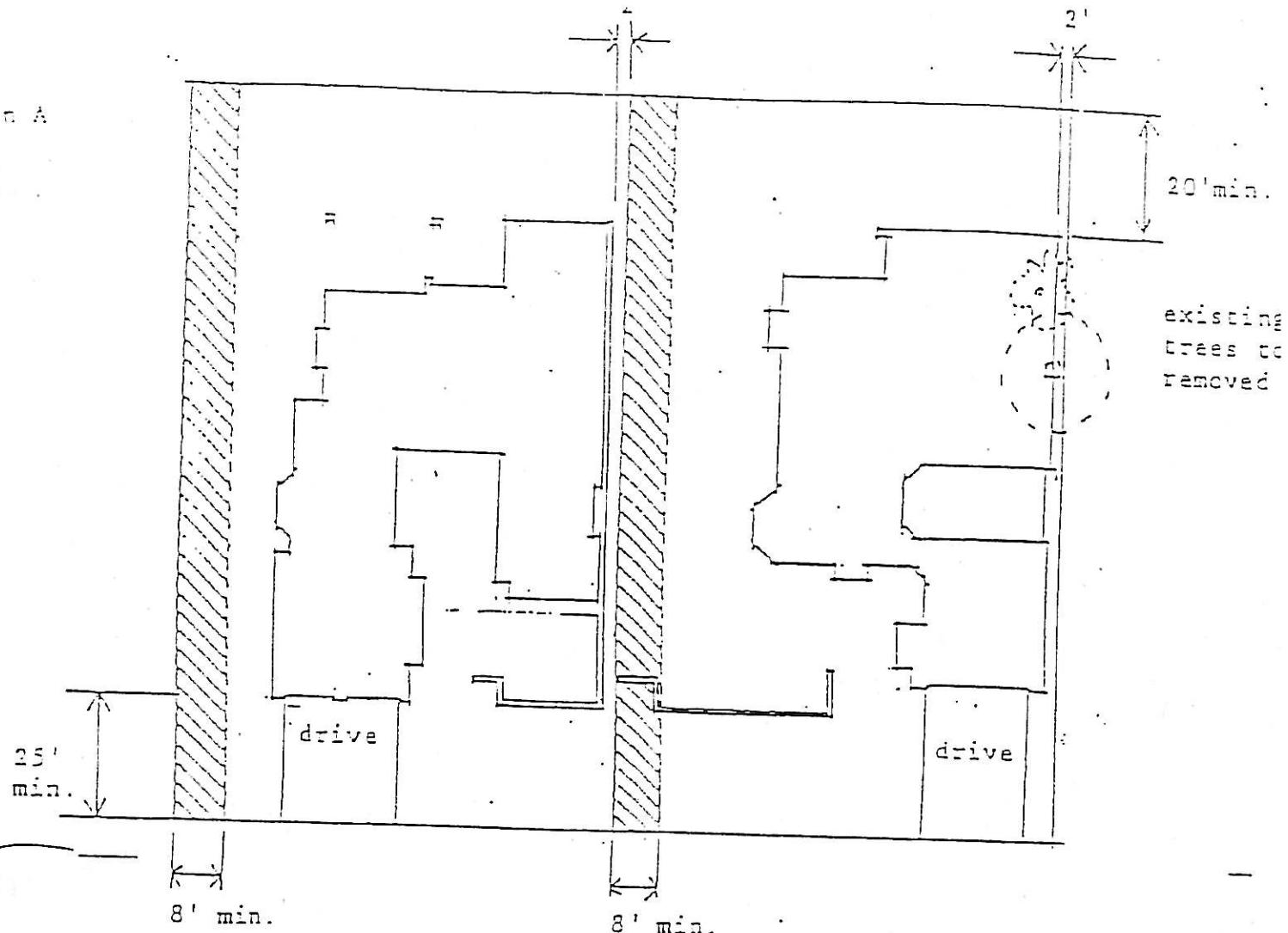


Figure 1

VI. PLACEMENT OF GARDEN HOME ON LOT:

Figure 2





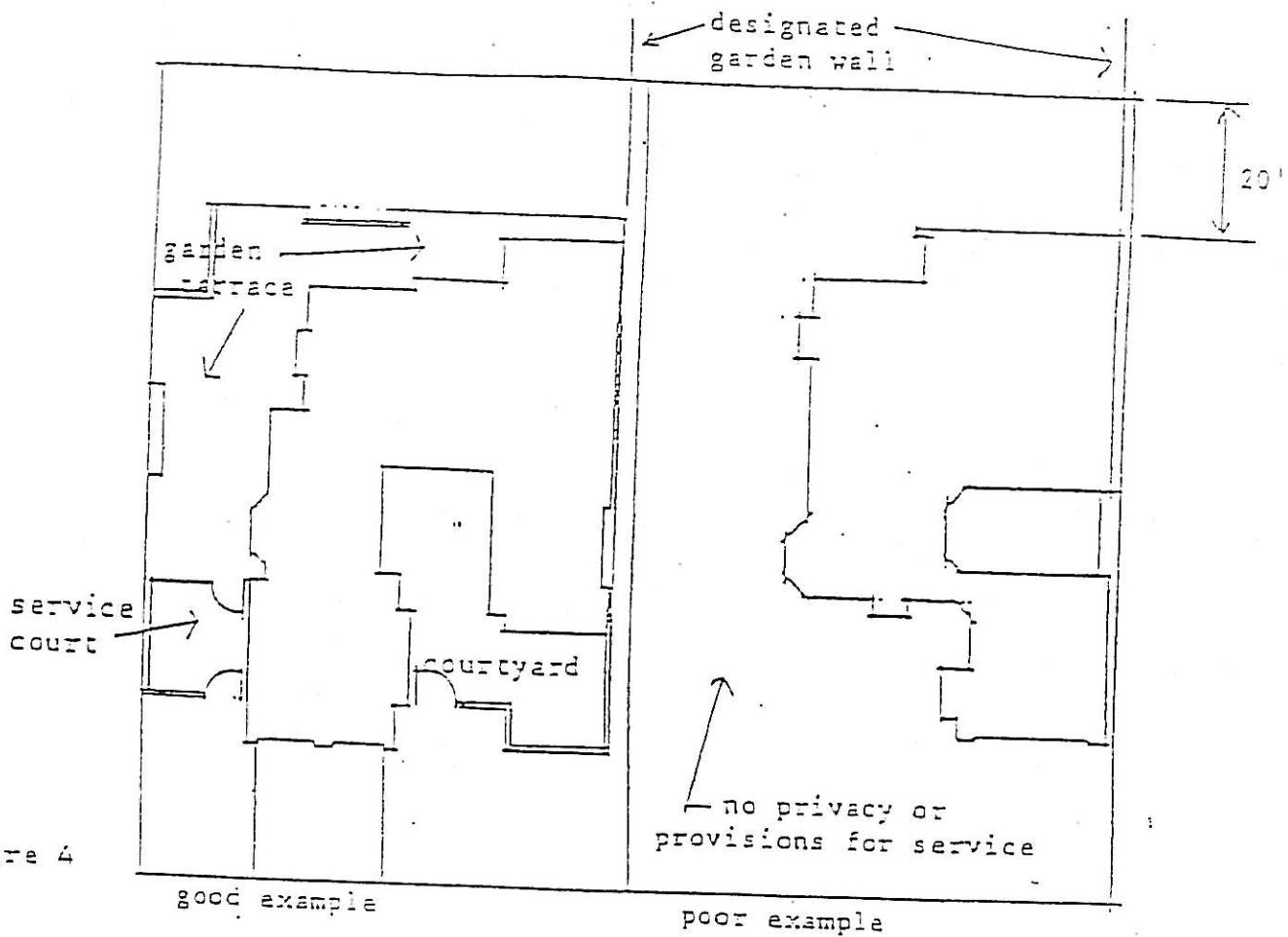


Figure 4

II. EXTENT OF THE PATIO WALL:

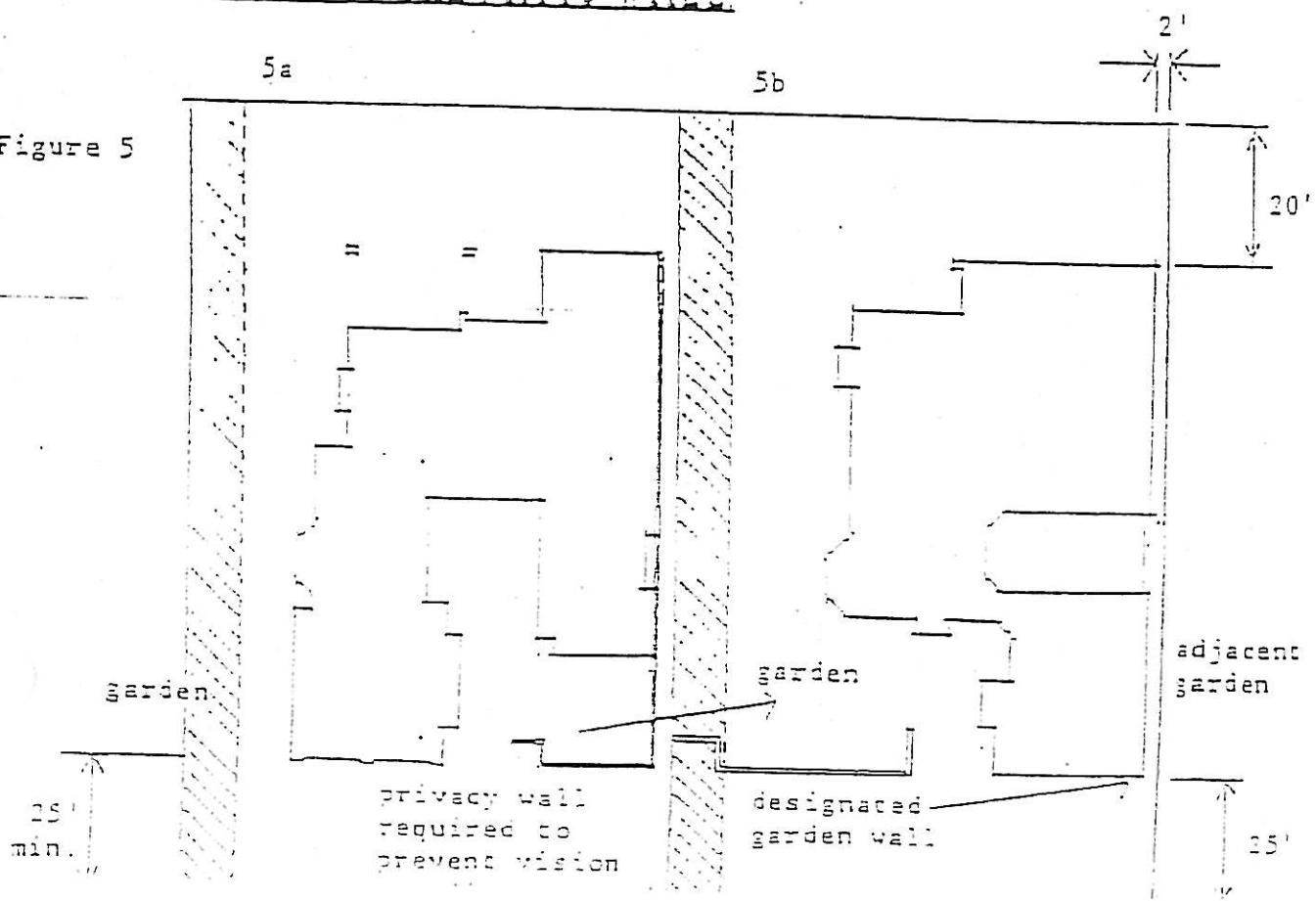


Figure 5

I. HEIGHT AND MATERIAL OF THE PATIO WALL:

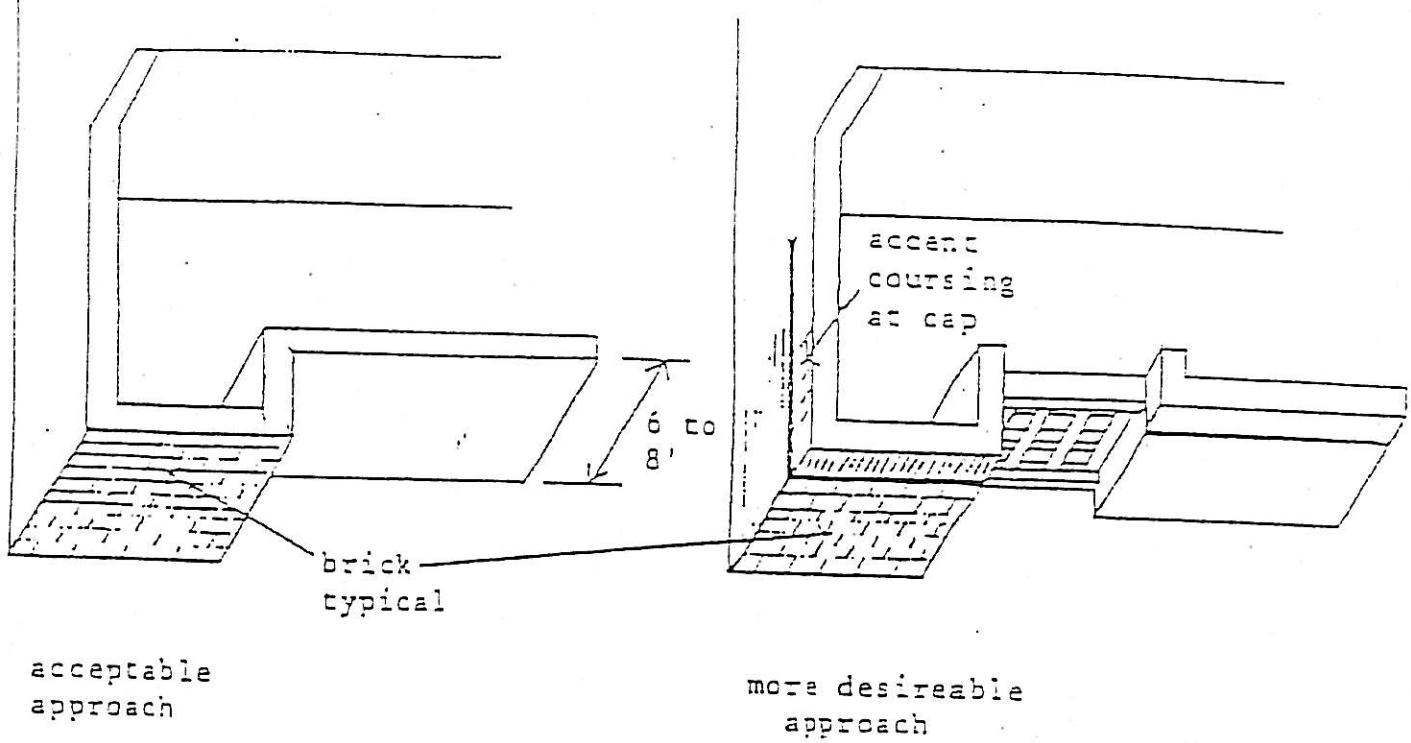


Figure 6

III. MAINTENANCE OF PRIVACY:

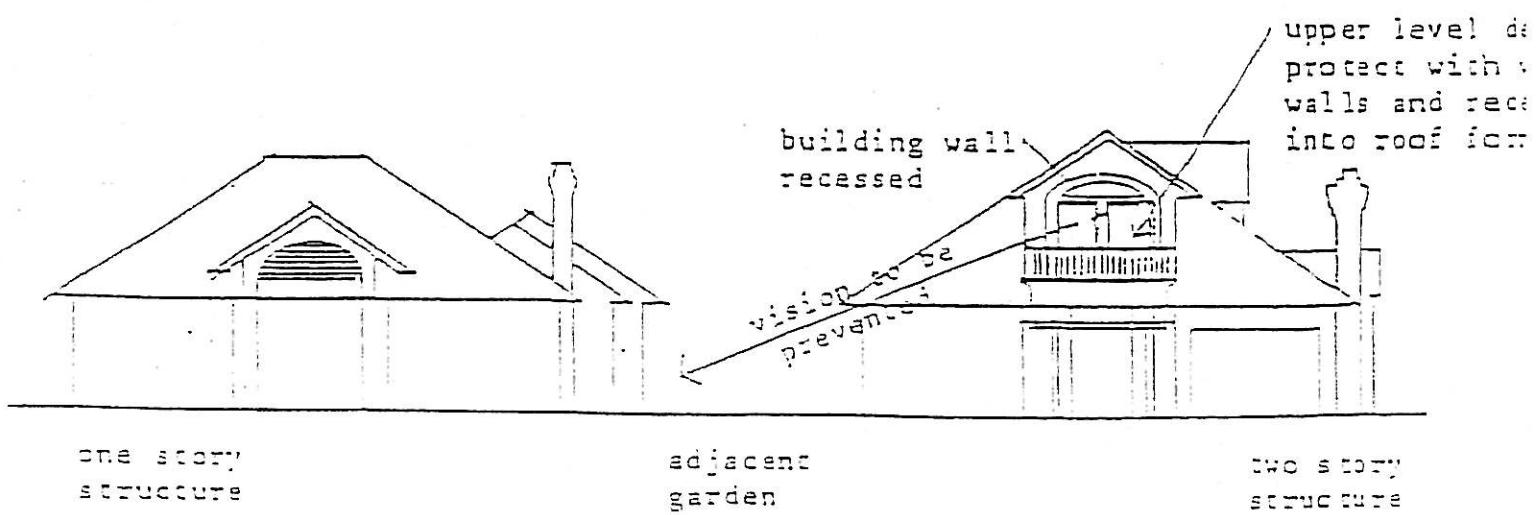
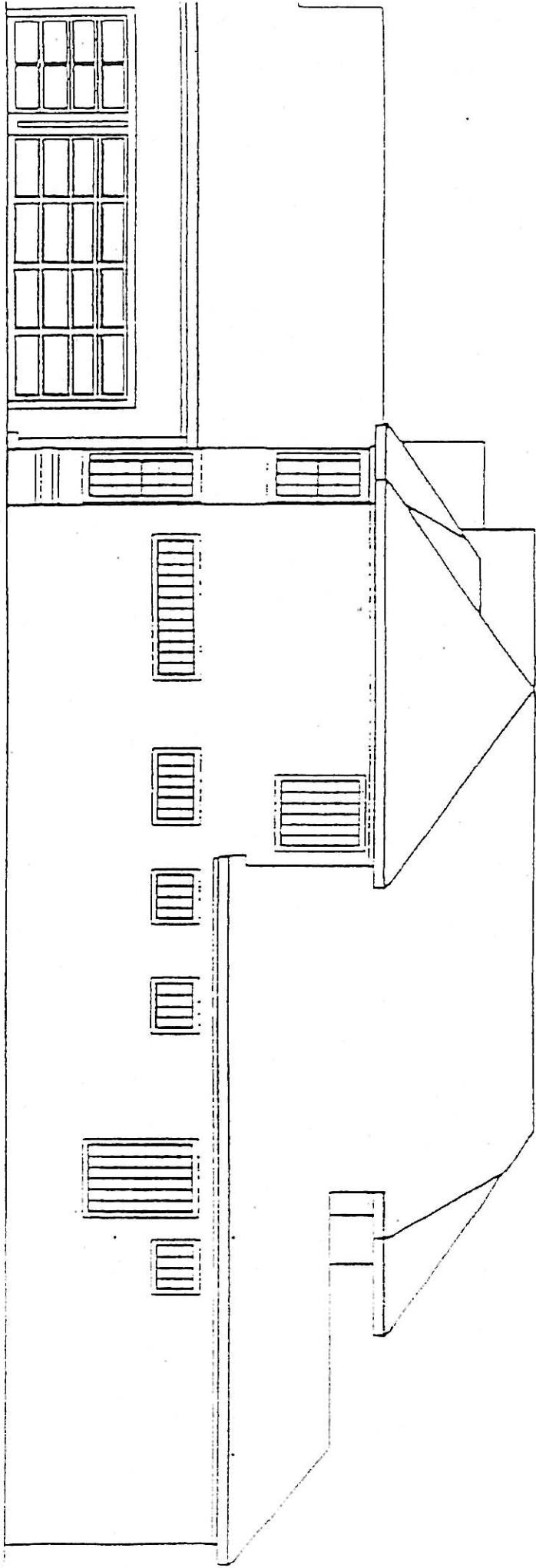


Figure 7

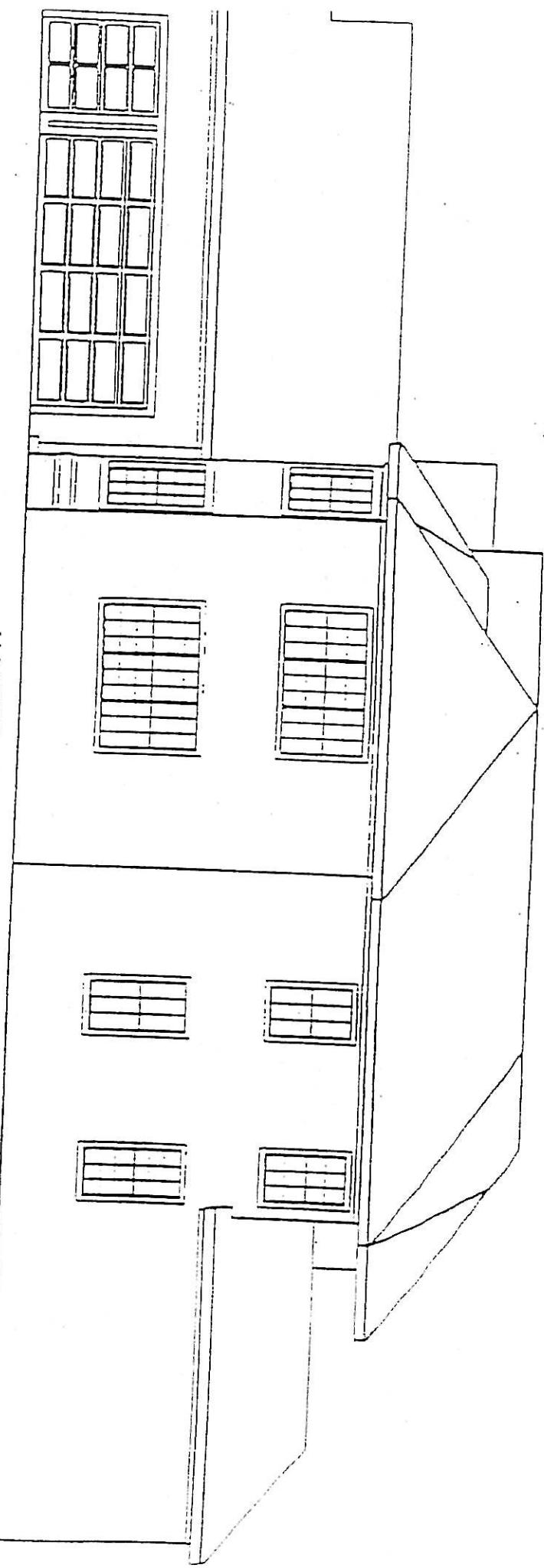


ALLOWED SIDE ELEVATION

3'-0" SIDE PROPERTY LINE
UP TO 10 FT MAX TWO STORY

ALLOWED SIDE ELEVATION

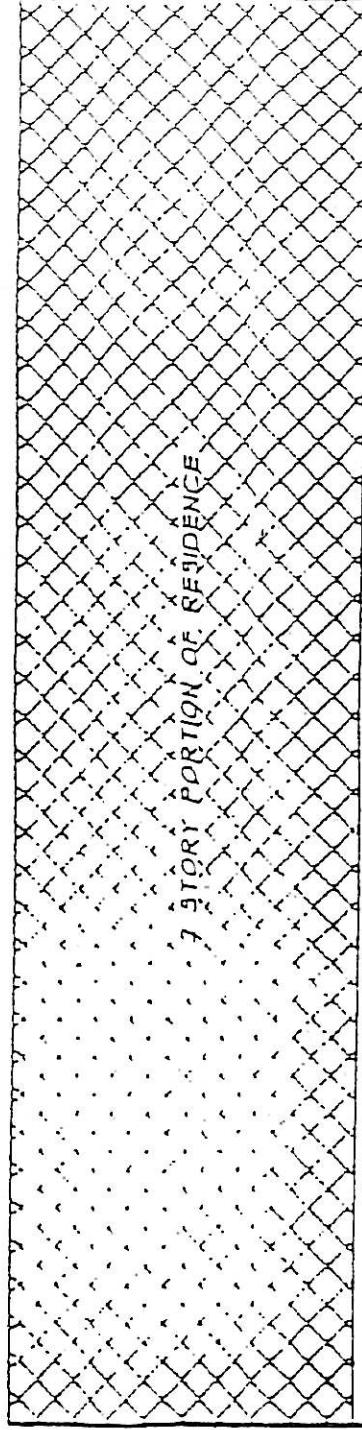
1'-0" side projection limit
up to 10' two story



2' O' PROPERTY LINE ON TWO SIDES

1 STORY PORTION OF RESIDENCE

1 STORY PORTION OF RESIDENCE



1 STORY PORTION OF RESIDENCE

8' O' PROPERTY LINE ON TWO SIDES

PREFERRED PERCENTAGE PLAN

ENTIRE SITE PROPERTY LINE



E-C SIDE
PROPERTY
LINE

ALLOWED FRONT ELEVATION

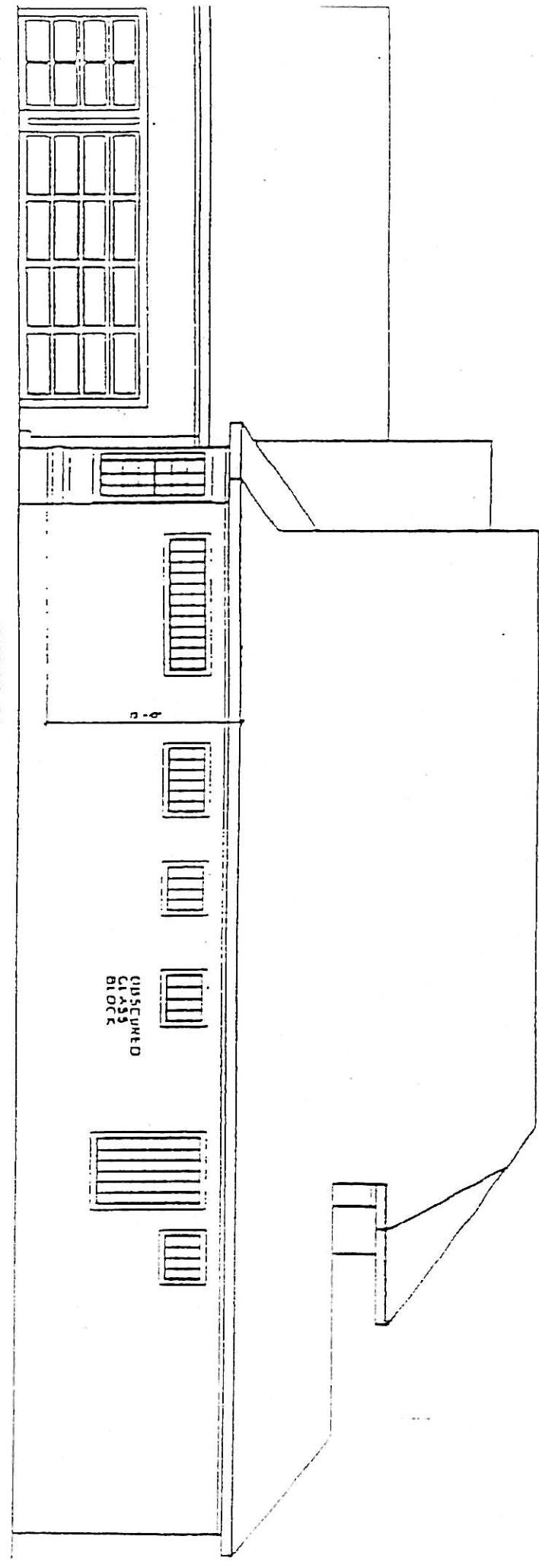
E-C
PROPERTY
LINE



E-C SIDE
PROPERTY
LINE

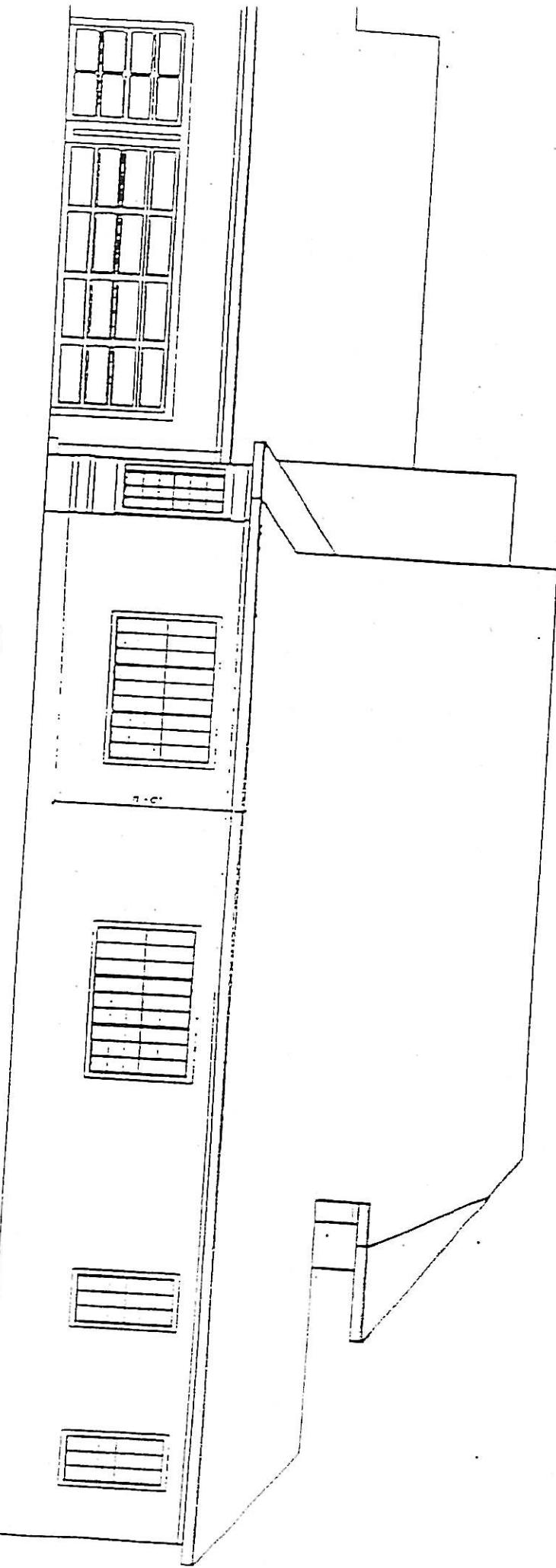
ALLOWED REAR ELEVATION

E-C
PROPERTY
LINE



PREFERRED SIDE ELEVATION

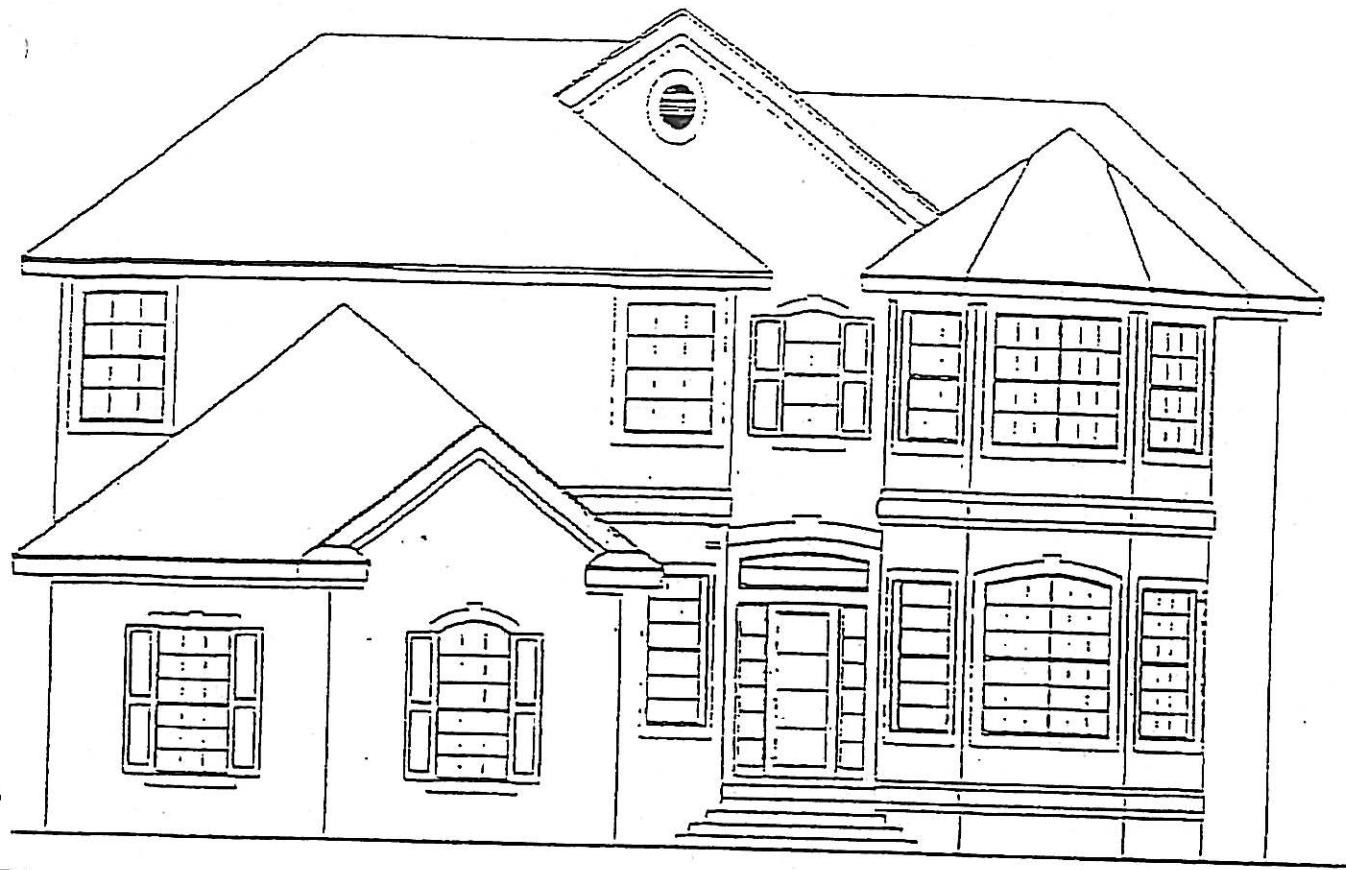
3'-0" SIDE PHRONTIT LINE
SINGLE STORY MAX 12' 0" PLATE HEIGHT



PREFERRED SIDE ELEVATION

8'-0" SIDE PROJECTION LINE
SINGLE STOREY MAX 12'-0" PRIVATE HIGH

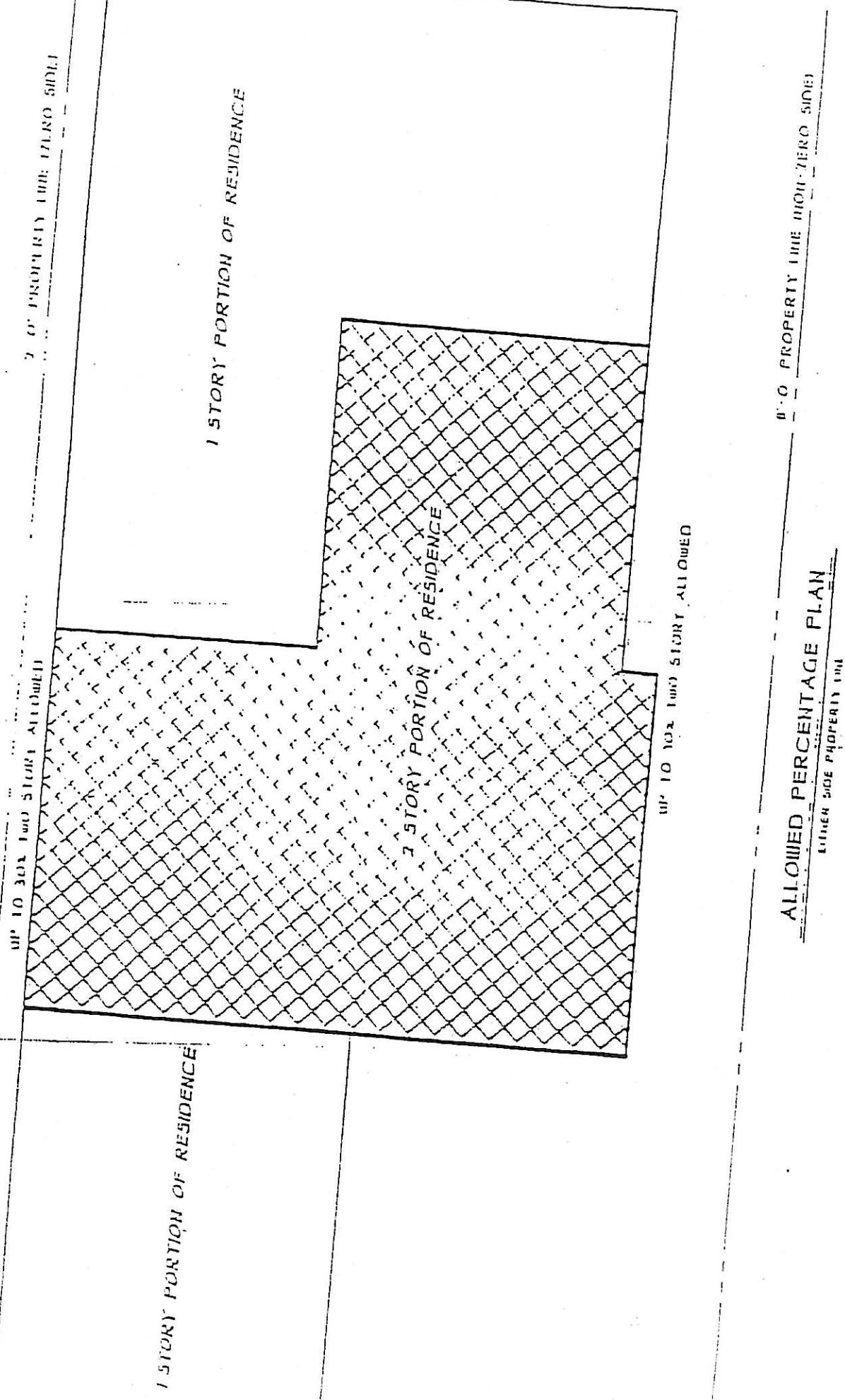
DISALLOWED FRONT AND REAR ELEVATIONS



7'-6" SIDE
PROPERTY
LINE

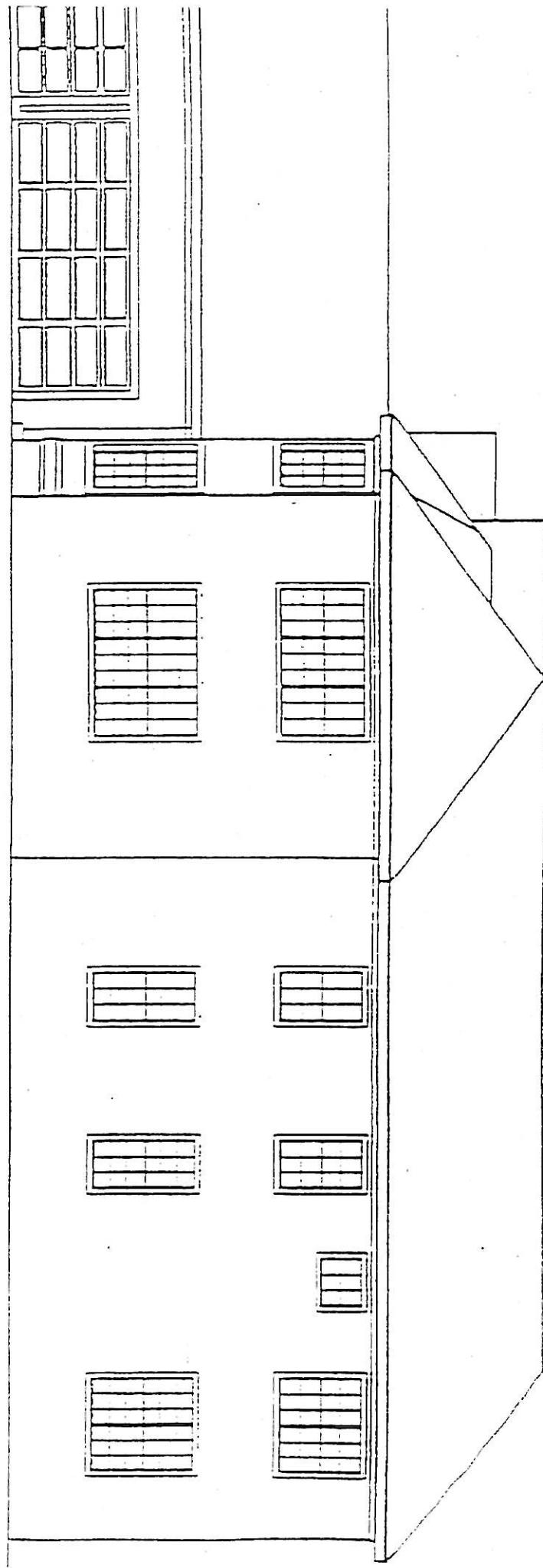
8'-0" S
PROPERTY
LINE





DISALLOWED SIDE ELEVATION

EITHER SIDE PROPERTY LINE



SECTION VIII

APPENDIX OF HELPFUL HINTS

The "Cliff Notes" Version of

Guidelines, Policies and Procedures

(Please note: This information is **NOT** offered in lieu of any policies, etc, contained in the full document which follows. However, it may be helpful for you to review the following items, as they account for many of the reasons for which submissions to the ADB are rejected.)

1. Architectural Design Board Policies, Section 3.1: "...Submissions must be accompanied by the appropriate submission fees and deposits. Submission fees are \$1,000 for full submission and \$300 for additions and renovations. Completion bonds required of the owner are \$5,000 per site..."

[See also Architectural Design Board Policies, Section 5.1 and 6.1.]

Appropriate fees and deposits must be paid at the time of the INITIAL submission, before plans are reviewed.

2. Building Policies and Restrictions, #11 – COLOR: "...In general, the theme will be to blend with rather than dominate the environment which includes not only the topography and vegetation but also those structures which are in the immediate proximity. Colors are to be submitted for approval."

[See also Building Policies and Restrictions, #5 – EXTERIOR WALLS and #7 – ROOFS.]

You must submit roof, exterior wall and trim colors and materials for approval. Within the bounds of good taste, the main requirement is that your colors and materials cannot be the same as the houses on either side.

3. Building Policies and Restrictions, #12 – SERVICE COURTS: "Every house must have a service area for trash receptacles, utility meters, HVAC equipment, pool equipment...[which areas are] to be screened from view from roads and adjacent properties by a permanent structural wall at least 4 feet high, higher if required by the ADB, which is to be material as approved by the ADB..." and Architectural Design Board Policies, Section 3.4.1a-8: "...Site plans must depict...Service areas."

Pool equipment, trash cans, HVAC equipment, etc. must be screened by a masonry wall made of material to match that of the home, unless otherwise approved by the ADB, and such walls must be shown on the site plan. These service areas and walls must be within the setbacks unless otherwise approved by the ADB.

[See also Building Policies and Restrictions, #2 – BUILDING SETBACKS.]

4. Building Policies and Restrictions, #3 – HEIGHTS: "St. Johns County allows a maximum height of a structure of 35' ..." [See also Letter, St. Johns County to Plantation at Ponte Vedra dated 3/9/95 in Reference Section.]

This is a County policy over which we have no control. Variances are seldom, if ever, granted.

5. Architectural Design Board Policies, Section 3.3.2: "Preliminary plans...should include...tree survey and boundary survey of existing property...Site plan to scale, overlaid on tree survey, indicating all structures and improvements...with an indication of trees to remain and trees to be removed..."

[See also Architectural Design Board Policies, Section 3.4.1a-10 and 11.] Architectural Design Board Policies, Section 3.4.1a-12: "Adjacent structures, including previously built residences shall be depicted in relationship to property."

If your site plan does not show existing trees, indicating those to remain and those to be removed, your plans will not be approved. It is important for us to be able to see how the proposed building will fit on the lot and what effort has been made to save significant trees. It is also important to see how your house will be situated related to houses already built on adjacent lots.

6. POOLS, POOL ENCLOSURES, POOL FENCES: See Building Policies and Restrictions, Section II #10 .

(Be sure to take the above into consideration if you are planning to build a pool with a fence or an enclosure or you are planning to add a pool after your house is built: If your house is sited in a manner so as not to be able to meet the above recommended setbacks, you may never be able to screen the pool.)

"Setbacks for pool fences will be 10' on the rear and 10' on the side...Pool fences are to follow the general contour of the deck and be no more than five feet from the deck..."

You can fence the pool, but you can't fence in the yard.

7. Architectural Design Board Policies, Section 4.1 "The ADB will conduct regular monthly meetings, generally on the first and third Tuesday of each month at 1:00 PM..."

Section 3.1.1: "Plans must be submitted by 3:30 PM on the Tuesday prior to the scheduled meeting..."

TUESDAY SUBMITTAL DEADLINE

According to the Plantation Covenants, the ADB is only required to meet once a month.

However, as a convenience to members and builders, it generally meets twice a month. The Tuesday submittal deadline is essential, as it takes time to prepare the meeting agenda and review plans that have been submitted.

8. Four complete sets...of all building plans and two sets of landscape plans must be submitted along with a completed application.

[See Architectural Design Board Policies, Building Policies and Restrictions, #18 – LANDSCAPING],

9. Building Policies and Restrictions, #7 – ROOFS: "The roofs of all houses within the Plantation...shall have a similarity of form to provide for the homogeneous character with all gable and hip roofs having a minimum overall roof slope of 8/12."

While some small deviation is occasionally allowed (on a case by case basis), 8/12 is the desired roof pitch.