

HEATER SCHEDULE					
TAG	MAKE	MODEL	KW	AMPS	V/PH/HZ
EUH-1	QMARK	MUHO381	3	14.5	208/1/60
EUH-2	QMARK	MUHO581	5	24	208/1/60
EW1-1	QMARK	AWH3150F	1.5	12.5	120/1/60
EW1-2	QMARK	AWH4404AF	3	14.4	208/1/60
EW1-3	QMARK	AWH4508F	4.8	23.1	208/1/60
TUH-1	QMARK	MUHO581	5	24	208/1/60
EPH-1	QMARK	CHPR25	1.9	-	208/1/60

FAN SCHEDULE											
MARK	MFR	MODEL	CFM	ESP (IN.WG)	FAN SPEED (RPM)	DBA	INLET SONES	ELECTRICAL			WEIGHT (LBS)
								POWER	V PH	HZ	
CF-1 - GARAGE CIRCULATION	AIRKING	9314	1,470	-	1/20 HP	-	-	120	1	60	-
EF-1 - GARAGE EXHAUST	GREENHECK	60-AFDW-41	86,800	1	445	78	-	30 HP	208	3	6,427.2
EF-3 TRASH ROOM EXHAUST	GREENHECK	SP-B150	150	0.25	1050	43	3	128 W	115	1	60
EF-4 TRASH ROOM EXHAUST	GREENHECK	SP-B150	150	0.25	1050	43	3	128 W	115	1	60
EF-5 ELECTRIC RM	GREENHECK	SP-B150	150	0.25	1050	43	3	128 W	115	1	60
EF-6 WATER-FP RM	GREENHECK	SQ-S-5	500	0.25	1550	57	8.1	1/8 HP	115	1	60
SE-1 GARAGE SUPPLY	GREENHECK	60-AFDW-41	86,800	1	445	78	-	30 HP	208	3	6,427.2
SP-1 STAIR PRESS FAN	GREENHECK	USF-44	15,600	1	432	63	-	5 HP	208	3	6,195.3
SP-2 STAIR PRESS FAN	GREENHECK	USF-44	15,600	1	432	63	-	5 HP	208	3	6,195.3

NOTES:

1. ALL FANS SHALL BE PROVIDED WITH A BACKDRAFT DAMPER, IF AVAILABLE FOR FAN.
2. PROVIDE SPEED CONTROLLER FOR ALL DIRECT DRIVE FANS.
3. PROVIDE MASON NEOPRENE MOUNTS FOR ALL GARAGE CIRCULATION FANS TYPE CF-1.
4. SEE GARAGE EXHAUST CONTROL DIAGRAM DETAIL #3 ON MP002 FOR CONTROL OF EF-1 AND SF-1.
5. TRASH RISER EXHAUST FAN EF-3 SHALL RUN CONTINUOUSLY.
6. FAN EF-4, EF-5, AND EF-6 SHALL BE WIRED TO OPERATE WITH LIGHT FIXTURE IN ROOM TO PROVIDE VENTILATION WHEN OCCUPIED.

ROOFTOP UNIT SCHEDULE - ELEVATOR SHAFT										
TYPE	MANUFACTURER	MODEL	TONS	TOTAL CAPACITY (MBH)	ESP (IN-WG)	SEER	SUPPLY CFM	ELECTRICAL DATA		
								SUPPLY FAN HP	V/HZ/PH	MCA/MOP
RTU-1	GOODMAN	GPC1424H41E	2	23.6	0.3	14.0	800	1/2	208/60/1	21/30

PROVIDE THE FOLLOWING:

1. ZONE SENSOR, STAND-ALONE 7-DAY PROGRAMMABLE TEMPERATURE CONTROLLER, DIFFERENTIAL PRESSURE SWITCH, CONDENSATE TRAP AND STANDARD FILTERS.
2. AUTO-CHANGEOVER THERMOSTAT WITH REMOTE TEMPERATURE SENSORS.

SEQUENCE OF OPERATION:

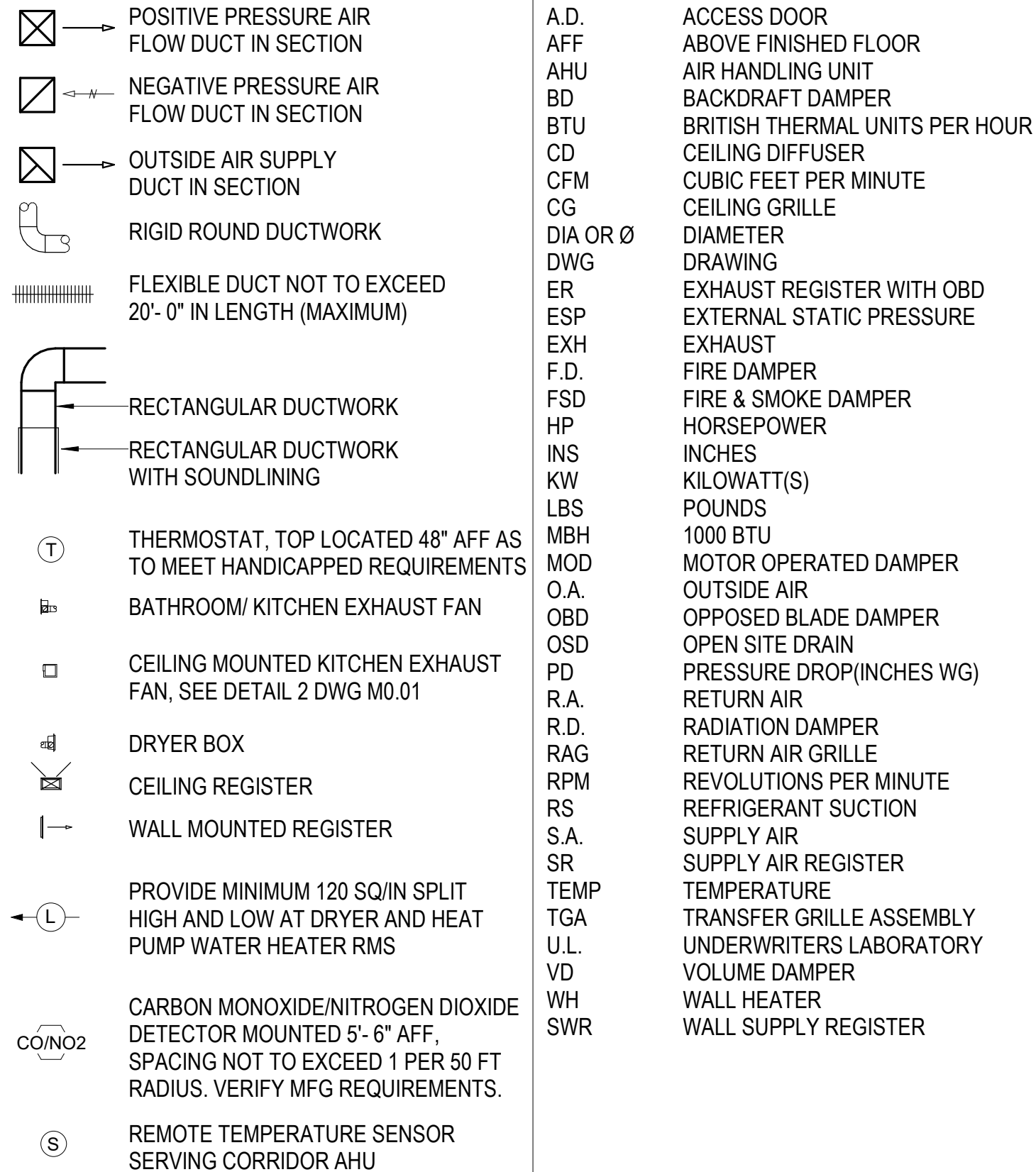
1. SYSTEM SHALL BE CONTROLLED VIA A STAND-ALONE 7-DAY PROGRAMMABLE THERMOSTAT TO INDICATE OCCUPIED OR UNOCCUPIED MODES.

A. OCCUPIED MODE: OUTSIDE AIR DAMPERS ARE OPEN AND OUTSIDE AIR FANS ARE ENERGIZED. THERMOSTATS SHALL OPERATE THE HEATING AND COOLING MODES TO MAINTAIN SETPOINT TEMPERATURES.

B. UNOCCUPIED MODE: FAN IS OPERATED AS NEEDED TO MAINTAIN NIGHT SET BACK TEMPERATURE SETPOINTS

MINI-SPLIT A/C UNIT SCHEDULE			
INDOOR UNIT		TYPE WM-1	TYPE WM-2
CAPACITY AT 80° F. DB/67° F. WB ENT - 50% RH			
	COOLING TOTAL MBH	9.0	12.0
	HEATING TOTAL MBH @ 17°F 27.0	11.1	13.8
	LG MODEL	LSN090HSV	LSN120HSV
FAN			
	CFM	459 (MAX)	459 (MAX)
	AMPS	0.4	0.4
OUTDOOR UNIT		TYPE HP-1	TYPE HP-2
VOLT/PHASE		208/1	208/1
MCA/MOCP (AMPS)		10/15	10/15
HSPF		11.3	11.4
SEER		23.5	22.7
LG MODEL		LSU090HSV	LSU120HSV

MECHANICAL SYMBOLS AND ABBREVIATIONS



AIR DEVICE SCHEDULE		
TYPE	TAG	MODEL
CEILING DIFFUSER (NON-RESIDENTIAL)	CD	TUTTLE & BAILEY APV
SUPPLY REGISTER (APARTMENTS)	SR	HEART & COOLEY 682
RETURN AIR GRILLE (APARTMENTS)	RAG	HEART & COOLEY 672
RETURN AIR REGISTER (APARTMENTS)	RAR	HEART & COOLEY 6A180B
SUPPLY REGISTER (NON-RESIDENTIAL)	ER	TUTTLE & BAILEY A750
EXHAUST GRILLE (NON-RESIDENTIAL)	EG	TUTTLE & BAILEY CR6500
LOUVER	LVR	SEE ARCHITECTURAL DWGS
SUPPLY REGISTER (NON-RESIDENTIAL)	SR	TUTTLE & BAILEY A52

NOTE:

1. SEE PLANS FOR AIR DEVICE SIZES AND CFM'S. MODELS LISTED ARE EXAMPLES OF ACCEPTABLE DEVICES. FOR CFM & REGISTER SIZES INDICATED ON PLANS NOISE CRITERIA FOR LIVING AREAS SHALL NOT EXCEED NC 30 & FOR BATHROOMS, KITCHENS & UTILITY ROOMS NC 35.
2. FOR COMMON AREAS, CORRIDORS, AND AMENITY AREAS, SEE ID PLANS FOR AIR DEVICE INFORMATION.

MECHANICAL GARAGE DRAWING LIST	
NO.	TITLE
MP000	MECHANICAL COVERSHEET
MP001	GARAGE DETAILS
MP002	GARAGE DETAILS
MP201	P1 LEVEL
MP202	P2 LEVEL
MP203	P3 LEVEL
MP204	TYP P4-P8 LEVELS
MP205	P9 LEVEL

GENERAL MECHANICAL NOTES

- MECHANICAL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE LOCAL AND FEDERAL REGULATORY AGENCIES INCLUDING THE 2018 INTERNATIONAL MECHANICAL CODE AND THE 2018 INTERNATIONAL FUEL GAS CODE.
- THESE NOTES ARE GENERAL IN NATURE AND PERTAIN TO THE ENTIRE PROJECT, WHEN EXCEPTIONS, ADDITIONS, OR REVISIONS EXIST THEY SHALL BE NOTED ON THE DRAWINGS WHERE THEY OCCUR.
- CONTRACTOR SHALL CLOSELY EXAMINE FIELD CONDITIONS AND COORDINATE WITH THE OTHER DISCIPLINES SUCH AS ELECTRICAL, PLUMBING, AND STRUCTURAL, TO AVOID INTERFERENCE AND CONFLICT WITH STRUCTURAL ELEMENTS, PIPING, CONDUITS, ETC. PRIOR TO FABRICATION OF NEW DUCTWORK.
- THE MECHANICAL CONTRACTOR SHALL INSTALL ALL DUCTWORK TO ACCOMMODATE ARCHITECTURAL CEILING HEIGHTS. THE MECHANICAL CONTRACTOR SHALL INSTALL ALL DUCTWORK AS HIGH AS POSSIBLE AND TO CLEAR ALL LIGHT FIXTURES. DUCTWORK SHALL BE COORDINATED WITH THE SPRINKLER CONTRACTOR PRIOR TO INSTALLATION.
- INDICATED PIPE SIZES ARE INCHES. NOMINAL REFRIGERANT PIPING SIZES SHALL BE AS REQUIRED BY THE EQUIPMENT MANUFACTURER.
- PROVIDE FLEXIBLE PIPING AND DUCTWORK CONNECTIONS TO ROTATING EQUIPMENT AND AT ALL TRAVELING EXPANSION SLOTS.
- DUCTWORK FABRICATION, FITTINGS, AND INSTALLATION SHALL CONFORM TO THE LATEST EDITION OF THE APPLICABLE "SMACNA" DUCT CONSTRUCTION STANDARDS, NFPA 90A & 90B, THE LATEST EDITION OF ASHRAE GUIDE AND DATA BOOK, AS DETAILED BY THE DRAWINGS AND PER LOCAL CODES.
- INDICATED DUCTWORK SIZES ARE INCHES. INSIDE CLEAR. ADJUST SHEET METAL SIZES AT TERMINAL INSULATED DUCTS.
- TAPES ALL DUCTWORK JOINTS WITH NASHUA 324 ALUMINUM FOIL TAPE. ALL DUCTWORK JOINTS SHALL BE SEALED WITH MASTIC.
- BALANCE AIR FLOW TO CF.M. INDICATED ON PLANT.
- PROVIDE 1/2" GALVANIZED WIRE MESH BIRD SCREEN AT ALL OUTSIDE AIR INTAKE AND DISCHARGE DEVICES AND EQUIPMENT EXCLUDING DRYER DISCHARGE. PROVIDE BACK DRAFT DAMPERS WITH ALL FANS EXCEPT AS NOTED.
- PROVIDE INSULATION WITH VAPOR BARRIER ON CONCEALED AND HORIZONTAL INDOOR CONDENSATE DRAIN PIPING. PROVIDE TAP AND CUT JOINTS AT EQUIPMENT AND DRAIN CONNECTIONS.
- ALL RATED PENETRATIONS SHALL BE PROTECTED BY U.L. LISTED FIRE DAMPER OR RADIATION DAMPER ASSEMBLIES AS REQUIRED.
- ALL THERMOSTATS SHALL BE LOCATED 8" FROM ANY DOOR JAMB. THERMOSTATS SHALL BE MOUNTED AT 48" A.F.F. TO TOP OF THERMOSTAT. EXACT LOCATIONS OF THERMOSTATS SHALL BE COORDINATED WITH OTHER TRADES BEFORE INSTALLATION.
- ALL ELECTRIC RESISTANCE HEATERS SHALL BE PROVIDED WITH TAMPER-RESISTANT THERMOSTATS.
- PROVIDE PROGRAMMABLE THERMOSTATS AT THE MODEL UNITS AND AMENITY AREAS AS REQUIRED.
- ALL THERMOSTATS SERVING COMMON AREAS SHALL BE PROGRAMMABLE TYPE WITH LOCKING COVER.
- SEAL ALL DUCTWORK JOINERY. PROVIDE 1/2" THICK DUCT WRAP INSULATION WITH VAPOR BARRIER ON ALL OUTSIDE AIR DUCTWORK. ALL SUPPLY AIR DUCTWORK, AND EXHAUST DISCHARGE WITHIN UNCONDITIONED SPACES AND ALL CLOTHES DRYER DUCTWORK WITHIN UNCONDITIONED SPACES AND ALL CLOTHES DRYER DUCTWORK TO BE SPACE LACKING IN HEATING AND/OR AIR CONDITIONED. RETURN AIR DUCTWORK SHALL BE INSULATED IN THE SAME MANNER, WHERE DUCTWORK IS INSTALLED WITHIN A SPACE THAT IS UN-HEATED, OA AND/OR RA MIXTURE DUCTWORK SHALL BE GALVANIZED SHEET METAL FROM THE INTAKE TO THE AHU RETURN PLENUM.
- PROVIDE APPROPRIATE ACCESS DOOR PANELS FOR ALL MOTOR OPERATED DAMPERS AND FIRE DAMPERS AS REQUIRED. COORDINATE INSTALLATION WITH CONTRACTOR.
- PROVIDE RISER AND DROPS IN DUCTWORK AS REQUIRED TO MAINTAIN CEILING HEIGHTS.
- COORDINATE LOCATION OF MECHANICAL EQUIPMENT WITHIN UTILITY ROOMS WITH APPROPRIATE TRADE CONTRACTORS.
- ALL DUCTWORK OPENINGS SHALL BE SEALED WITH PLASTIC UNTIL BUILDING IS COMPLETED.
- TRASH ROOM EXHAUST FANS SHALL BE SELECTED FOR LOW NOISE AND HIGH 1" SOUND LINED DUCTS FOR AT LEAST 5' - 0" FROM THE FAN CONNECTION.
- AT ALL ACCESSIBLE DWELLING UNIT WASHING MACHINES SHALL BE SHALL BE CONSISTENTLY LOCATED TO THE LEFT OF THE DRYERS, REGARDLESS OF DWELLING UNIT ORIENTATION. REFER TO THE ARCHITECTURAL DRAWING FOR THE REQUIRED CLEARANCES. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL DUCTWORK, PIPING, WIRING, CONNECTIONS, AND DEVICE LOCATIONS TO ACHIEVE THE REQUIRED AVAILABLE POSITION.
- COORDINATE "U" TURN (AT AVE CARPET OR FLOORING) AT ALL DWELLING UNIT INTERIOR DOORS WITH ARCHITECT FOR RETURN AIR AND/OR MAKE UP AIR.
- NOT USED.
- THE MECHANICAL CONTRACTOR SHALL FIELD ADJUST THE LENGTH OF THE MAIN TRUNK DUCT AND ROUTE THE RUN-OUTS TO FIT THE FIELD CONDITIONS OF THE FLOOR/CEILING ASSEMBLY AND OTHER TRADES TRAVERSING THE FLOOR/CEILING ASSEMBLY FOR EACH DWELLING UNIT. PROHIBITION OF "U" TURN (AT AVE CARPET OR FLOORING), PIPES, HANGERS, CONDUIT, AND ELECTRICAL FIXTURES IS PROHIBITED.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL ROOF OPENINGS THROUGH STRUCTURAL WALLS, FLOOR AND/OR ROOF REQUIRED FOR THE DUCTWORK SYSTEM. THE MECHANICAL CONTRACTOR SHALL COORDINATE LOCATION AND SIZES OF PENETRATIONS THROUGH WALLS, ROOF AND FLOORS WITH ALL OTHER TRADES.
- ALL MATERIALS AND EQUIPMENT SHALL BE PROPERLY AND EFFECTIVELY PROTECTED BY THE CONTRACTOR DURING THE EXECUTION OF THE WORK.
- INDIVIDUAL APARTMENT OUTSIDE AIR VENTILATION REQUIREMENT IS ACHIEVED VIA 100%/% OA CORRIDOR SUPPLY.
- MAINTAIN A MINIMUM OF TEN FEET BETWEEN OA INTAKE AND VENT/EXHAUST DISCHARGE LOCATIONS.
- COORDINATE ALL MOTORS & ELECTRICAL EQUIPMENT WITH ELECTRICAL CONTRACTOR.
- REFER TO ARCHITECTURAL ELEVATIONS FOR WALL CAP LOCATIONS. CONTRACTOR SHALL LOCATE WALL CAPS PER THE ARCHITECTURAL ELEVATION DRAWINGS. FINAL INSTALLATION SHALL NOT EXCEED MANUFACTURERS CRITERIA FOR DRYER EXHAUST LENGTH.
- PROVIDE ALL EXHAUST REGISTERS (ER) WITH OPPOSED BLADE DAMPERS. GENERAL MECHANICAL NOTES.

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Bethesda MD 20814
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info@skiarch.com

CIVIL ENGINEER
URBAN Ltd.

LANDSCAPE ARCHITECTS
LAND DESIGN

STRUCTURAL ENGINEER
TCE

1501 FARM CREDIT DRIVE
SUITE 2300
MCLEAN, VA 22102

MEP ENGINEER
SSA

7979 OLD GEORGETOWN
SUITE 510
BETHESDA, MD 20814

INTERIOR DESIGNERS
RD 1

400 E. PRATT ST SUITE 902
BALTIMORE, MD 21202

70% CD SET

PROJECT NAME

**RESTON CRESCENT -
BLOCK C**
Reston Section 904, Block
Hunter Mill District, Fairfax
County, VA

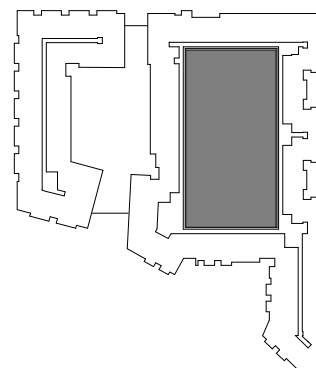
PROJECT NUMBER AKR04

OWNER
JACO-TMG Halley Rise, LLC
601 13TH ST. NW
WASHINGTON, DC

OWNER'S PHONE 202.624.8659
OWNER CONTACT

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DRAWING TITLE

MECHANICAL COVERSHEET

DATE 02.04.2022

SCALE	As indicated
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MP000

PROJECT NAME

**RESTON CRESCENT
BLOCK C**

Reston Section 904, Block
Hunter Mill District, Fairfax
County, VA

PROJECT NUMBER A

OWNER
JACO-TMG Halley Rise, LLC
601 13TH ST. NW
WASHINGTON, DC

OWNER'S PHONE 202.624
OWNER CONTACT

ISSUE

2022.02.04	DESIGN DEVELOPMENT
2022.02.18	GARAGE PERMIT SET
2022.04.01	GARAGE UPDATED SE

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SEAL

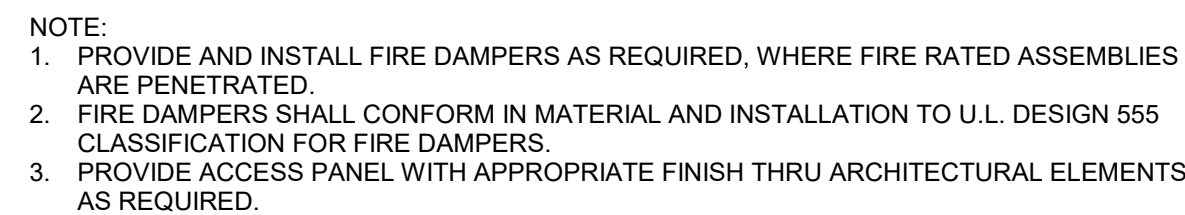


DRAWING TITLE

GARAGE DETAILS

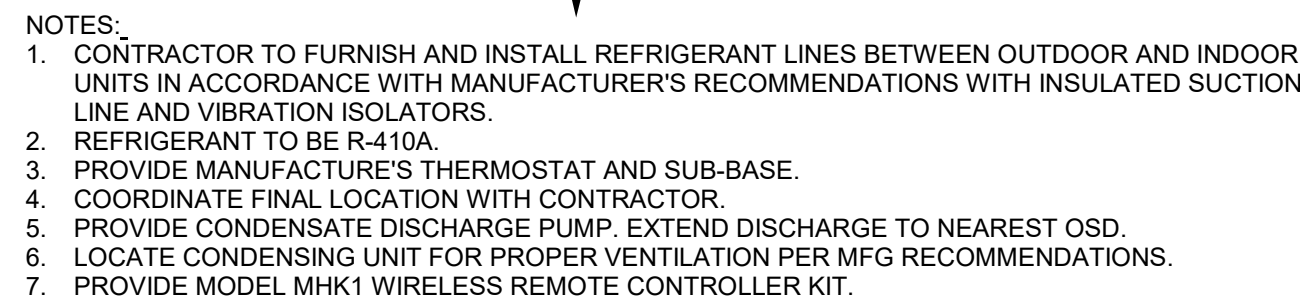
DATE 02.04

SCALE 1/8" =

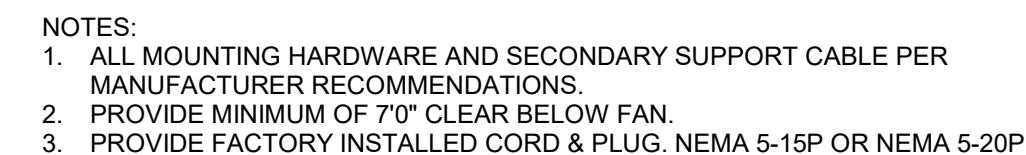


8 FIRE DAMPER DETAIL

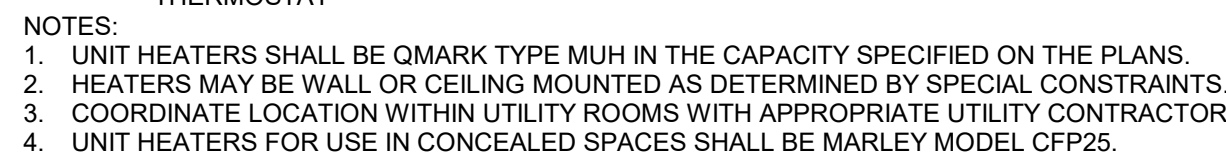
NOT TO SCALE



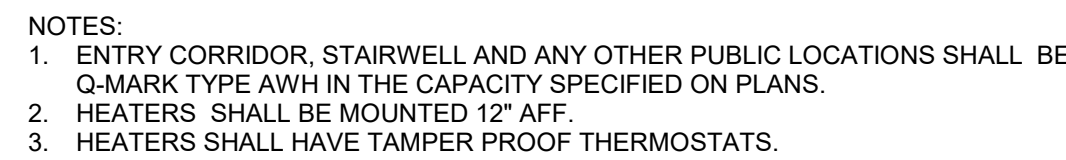
7 WALL MOUNTED A/C UNIT PIPING DETAIL
NOT TO SCALE



5 GARAGE CIRCULATION FAN DETAIL
NOT TO SCALE



4 ELECTRIC UNIT HEATER DETAIL



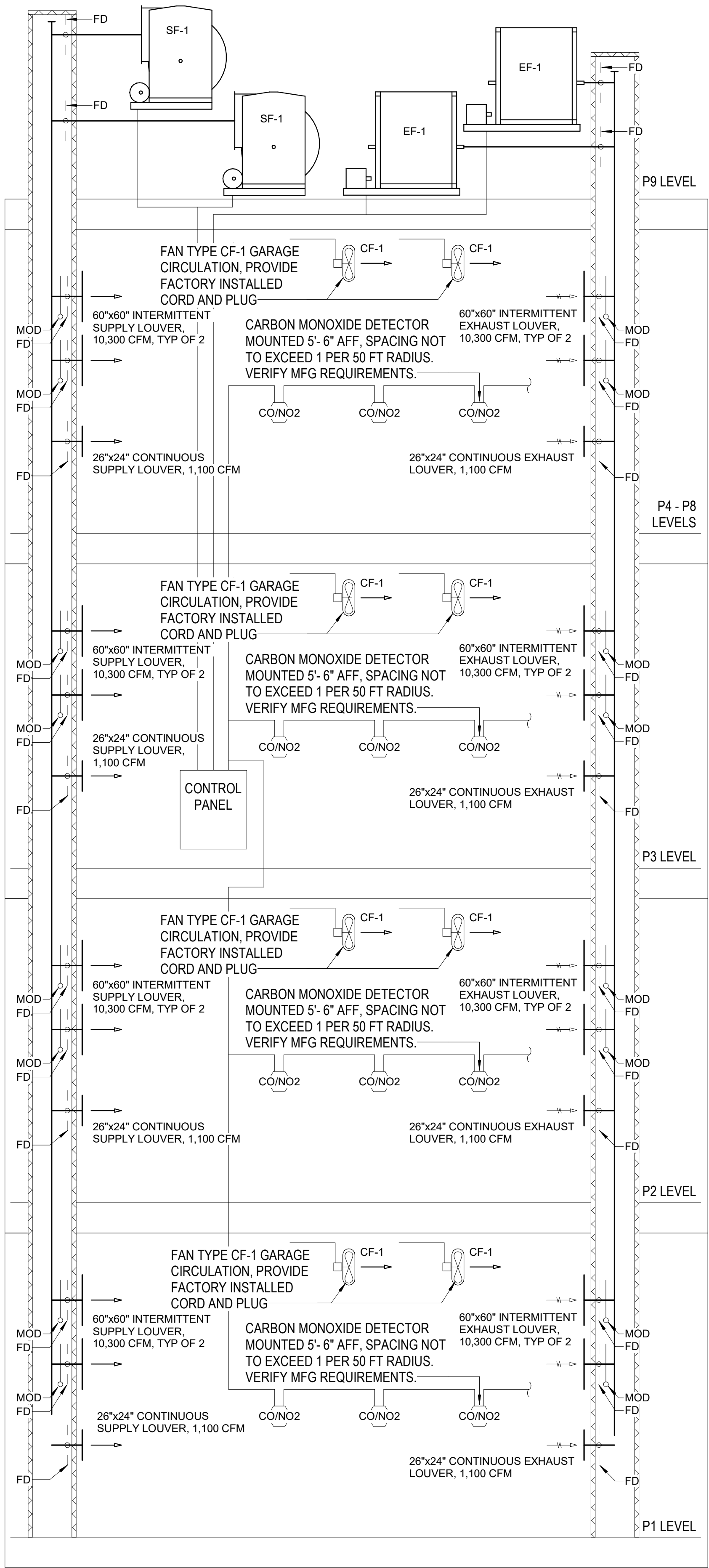
3 ELECTRIC FAN-FORCED WALL HEATER DETAIL



2 IN-LINE EXHAUST FAN SUPPORT DETAIL

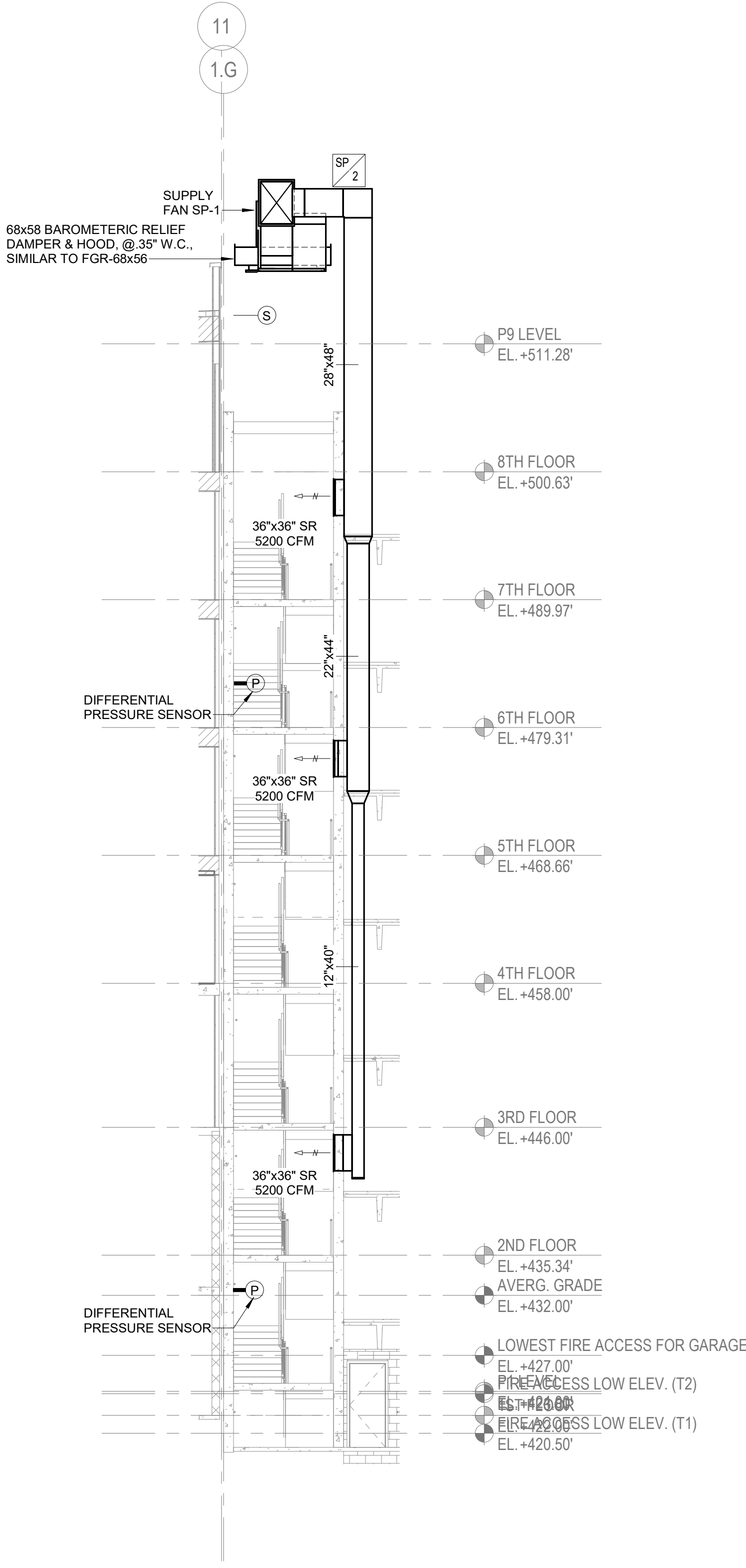


1 IN-LINE EXHAUST FAN DETAIL

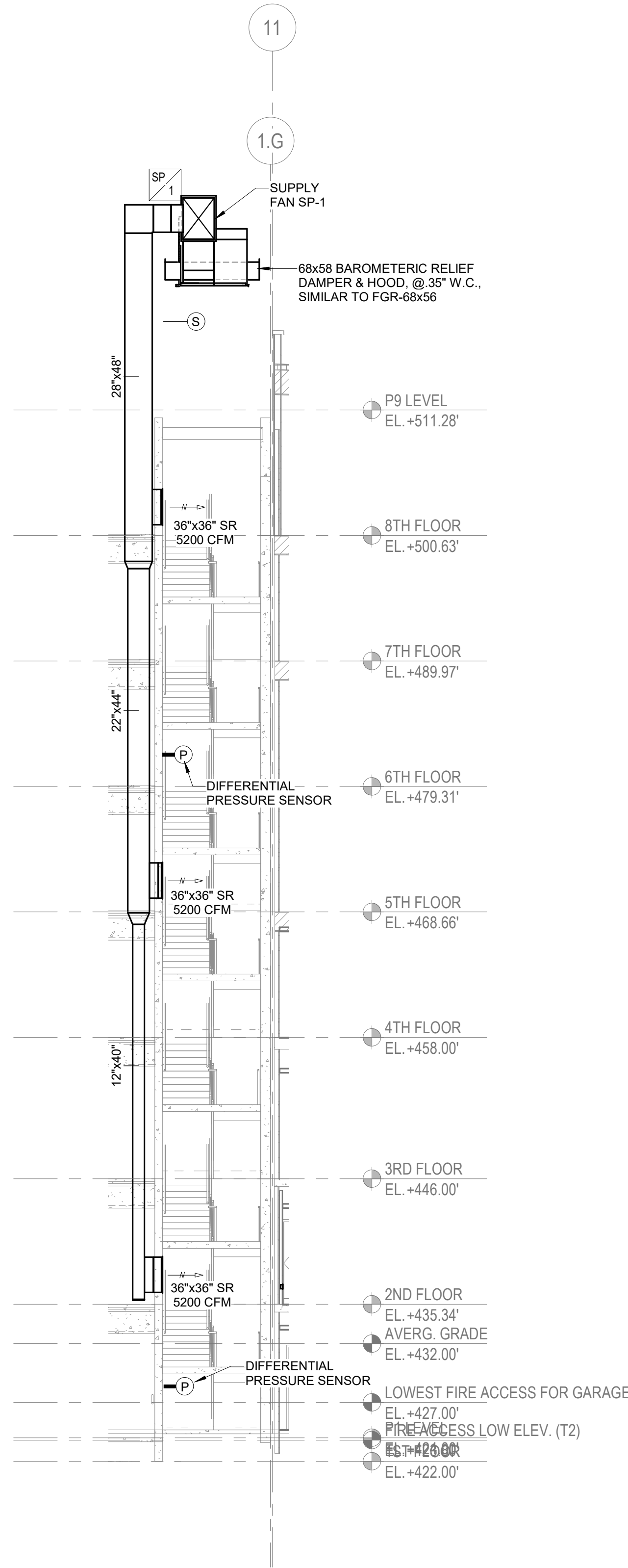


- NOTES:
1. EXHAUST & SUPPLY FANS EF-1 AND SF-1 SHALL RUN CONTINUOUSLY AS TO ALLOW 0.05 CFM PER SQ/FT BASED UPON 2018 IMC SECTION 404.2.
 2. CONTROL PANEL SHALL SIGNAL EXHAUST & SUPPLY FANS EF-1 AND SF-1 TO INCREASE CFM VIA VFD AND ENERGIZE ASSOCIATED MOD'S AT 25 PPM CO TO PROVIDE VENTILATION PER GARAGE LEVEL. ALARM SHALL ACTIVATE AT 200 PPM CO.
 3. ALL GARAGE CIRCULATION FANS CF-1 SHALL OPERATE CONTINUOUSLY.
 4. COMBINATION CARBON MONOXIDE / NITROGEN DIOXIDE DETECTORS SHALL MEET THE REQUIREMENTS OF 2018 IMC SECTION 404.1.

3 GARAGE EXHAUST DIAGRAM
NOT TO SCALE



2 STAIR PRESSURIZATION RISER SP/2
1/8" = 1'-0"



1 STAIR PRESSURIZATION RISER SP/1
1/8" = 1'-0"

70% CD SET

PROJECT NAME

**RESTON CRESCENT -
BLOCK C**
Reston Section 904, Block C -
Hunter Mill District, Fairfax
County, VA

PROJECT NUMBER

AKR04

OWNER

JACO-TMG Halley Rise, LLC
601 13TH ST. NW
WASHINGTON, DC

OWNER'S PHONE

202.624.8659

OWNER CONTACT

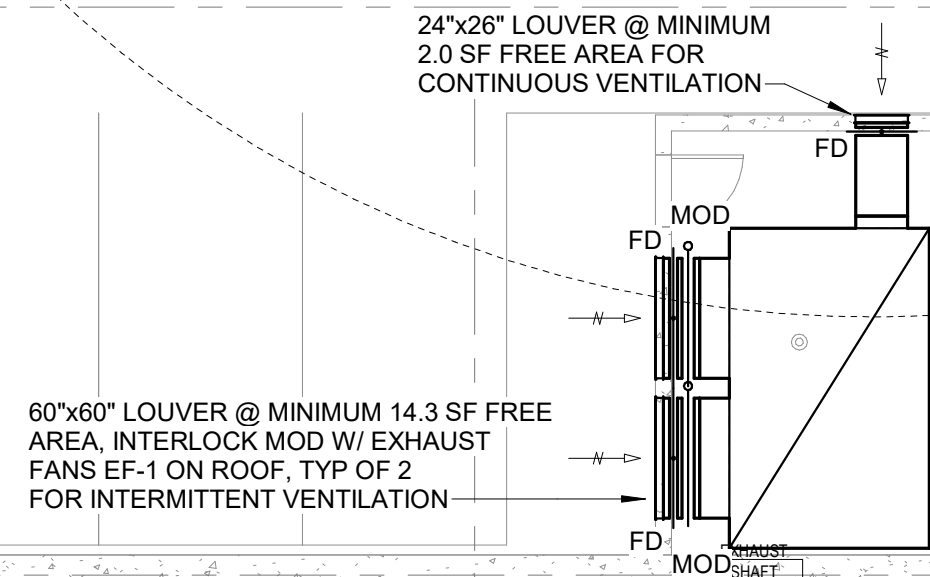
ISSUE

MARK	DATE	DESCRIPTION
4	2022.02.04	DESIGN DEVELOPMENT SET
	2022.02.18	GARAGE PERMIT SET
	2022.04.01	GARAGE UPDATED SET

SEAL

DRAWING TITLE

GARAGE DETAILS



0' 4' 8' 16' 32'

SCALE: 1/8" = 1'-0"

70% CD SET

PROJECT NAME

**RESTON CRESCENT -
BLOCK C**

Reston Section 904, Block
Hunter Mill District, Fairfax
County, VA

PROJECT NUMBER AKR04

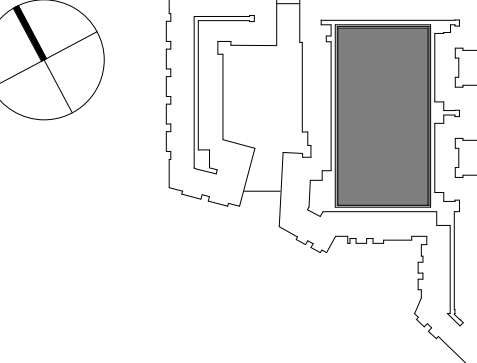
OWNER
ACO-TMG Halley Rise, LLC
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OWNER'S PHONE 202.624.8659
OWNER CONTACT

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KEYPLAN



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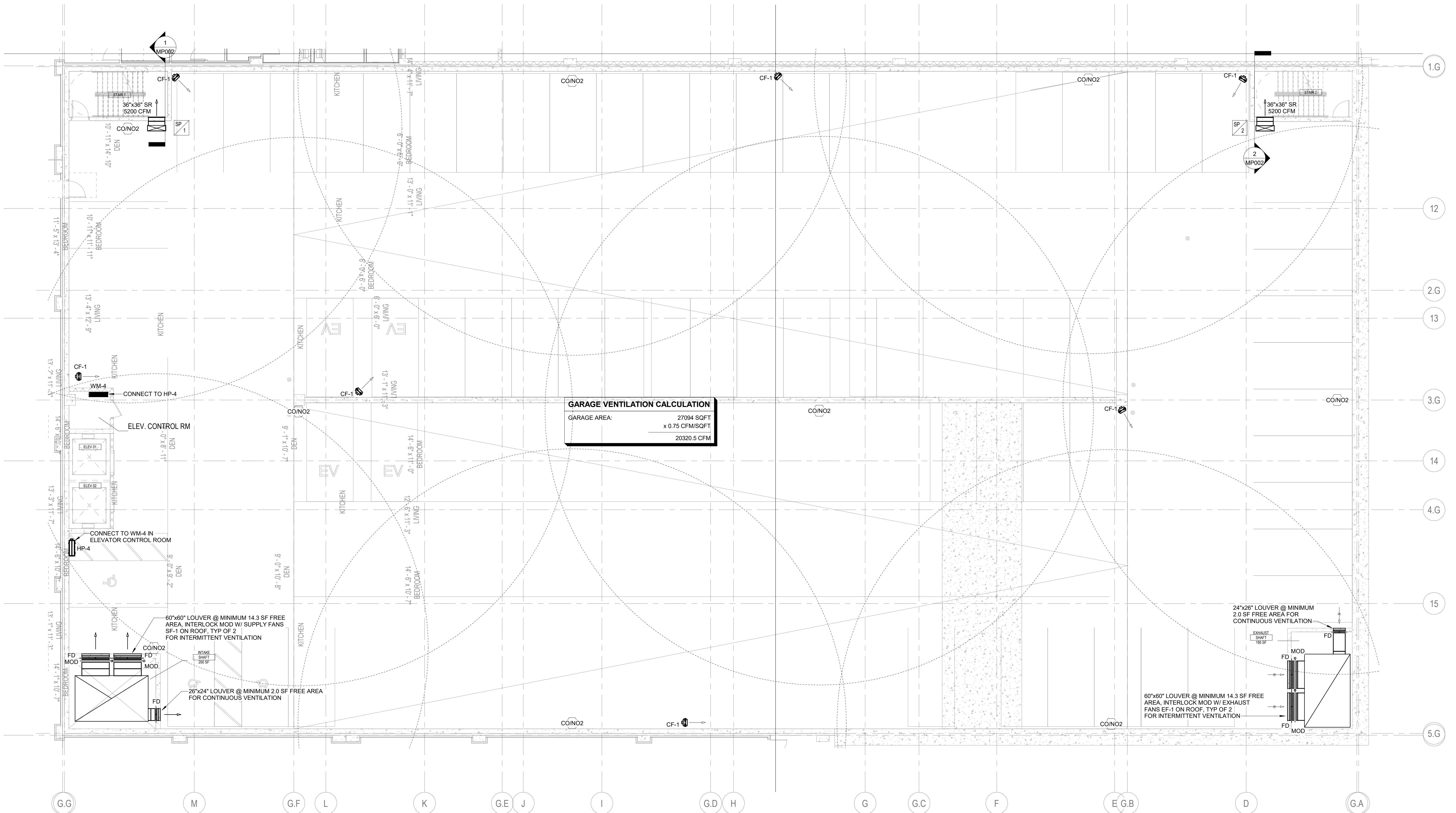
P2 LEVEL

DATE 02.04.2022

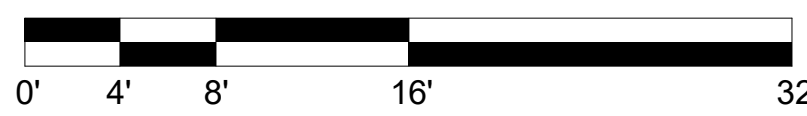
SCALE $1/8" = 1'-0"$

MD000

MP202



1 P2 LEVEL - MECHANICAL
1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

70% CD SET

PROJECT NAME
**RESTON CRESCENT -
BLOCK C**
Reston Section 904, Block C -
Hunter Mill District, Fairfax
County, VA

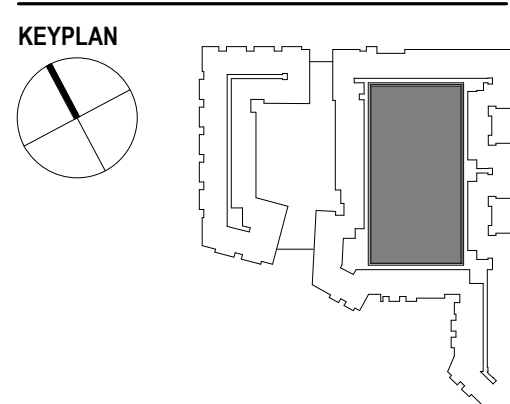
PROJECT NUMBER
AKR04
OWNER
JACO-TMG Halley Rise, LLC
601 13TH ST. NW
WASHINGTON, DC

OWNER'S PHONE
OWNER CONTACT
202.624.8659

ISSUE	MARK	DATE	DESCRIPTION
1		2022.02.04	DESIGN DEVELOPMENT SET
2		2022.02.18	GARAGE PERMIT SET
3		2022.04.01	GARAGE UPDATED SET

MARK	DATE	DESCRIPTION
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DRAWING TITLE
P3 LEVEL

DATE
02.04.2022

SCALE
1/8" = 1'-0"

MP203

GARAGE VENTILATION CALCULATION
GARAGE AREA: 28094 SQFT
x 0.75 CFMSQFT
21070.5 CFM

24"x26" LOUVER @ MINIMUM
2.0 SF FREE AREA FOR
CONTINUOUS VENTILATION

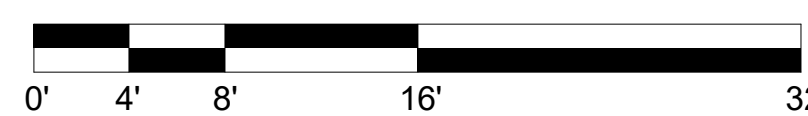
CONNECT TO WM-2 IN
FIRE COMMAND CENTER,
MOUNT ON FLOOR

60"x60" LOUVER @ MINIMUM 14.3 SF FREE
AREA, INTERLOCK MOD W/ EXHAUST
FANS EF-1 ON ROOF, TYP OF 2
FOR INTERMITTENT VENTILATION

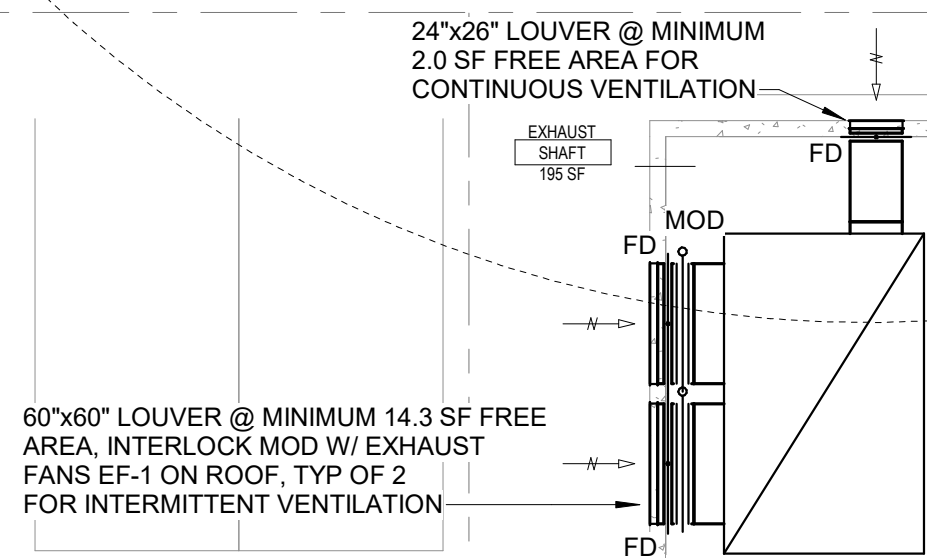
60"x60" LOUVER @ MINIMUM 14.3 SF FREE
AREA, INTERLOCK MOD W/ SUPPLY FANS
SF-1 ON ROOF, TYP OF 2
FOR INTERMITTENT VENTILATION

26"x24" LOUVER @ MINIMUM 2.0 SF FREE AREA
FOR CONTINUOUS VENTILATION

P3 LEVEL - MECHANICAL
1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



0' 4' 8' 16' 32' SCALE: 1/8" = 1'-0"

3 PROJECT NAME

**RESTON CRESCENT -
BLOCK C**

Reston Section 904, Block C
Hunter Mill District, Fairfax
County, VA

PROJECT NUMBER AKR04

OWNER

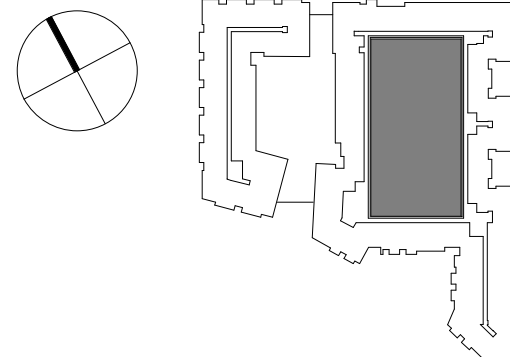
JACO-TMG Halley Rise, LLC
601 13TH ST. NW
WASHINGTON, DC

OWNER'S PHONE 202.624.8659
OWNER CONTACT

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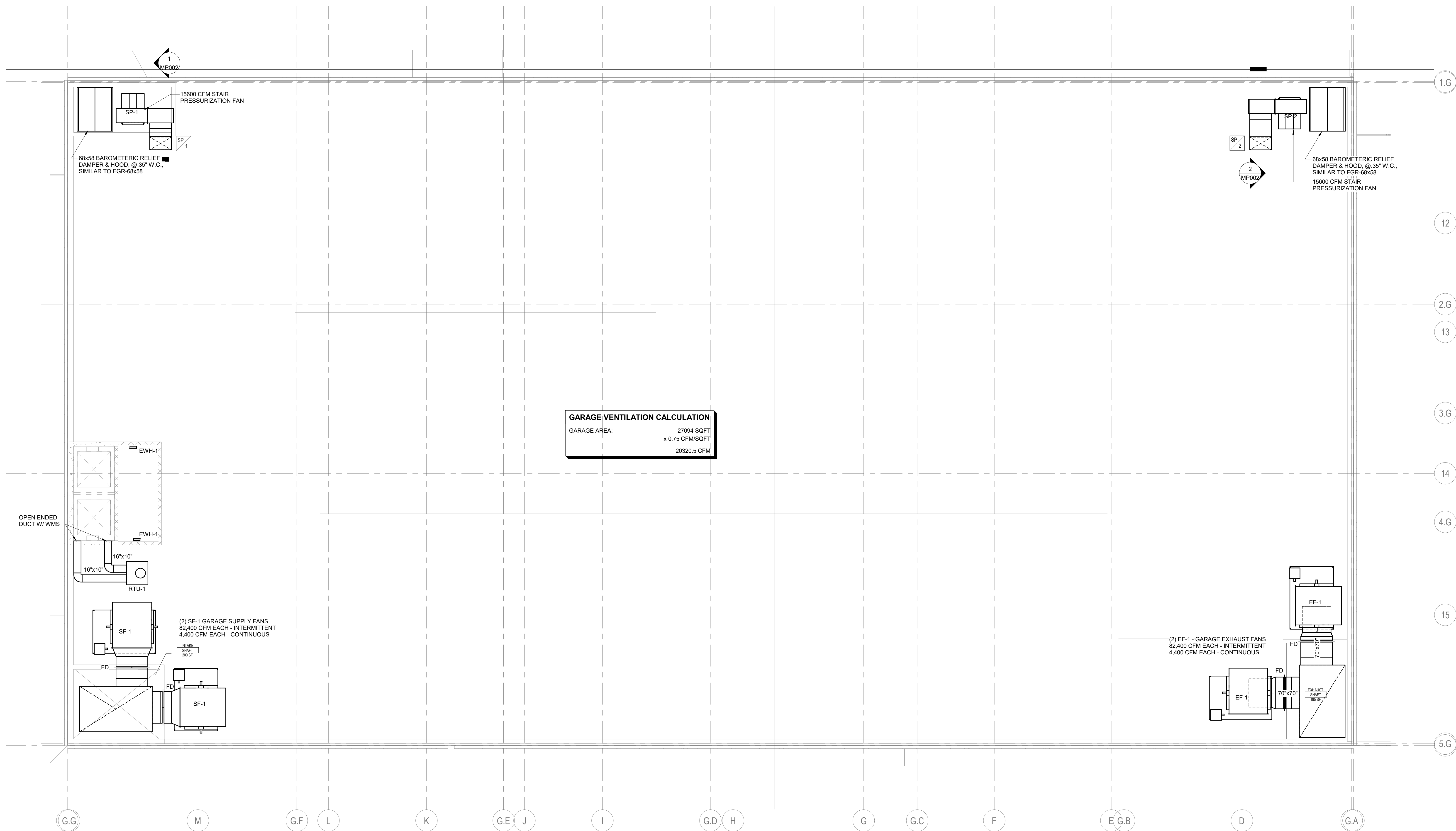
DRAWING TITLE

P9 LEVEL

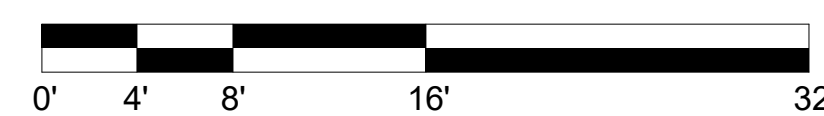
DATE 02.04.2022

SCALE 1.00 = 61.08

MP205



1 P9 LEVEL - MECHANICAL
1/8" = 1'-0"



SCALE: 1/8" = 1'-0'