

COPYRIGHT 2024 BRS ARCHITECTS - ALL RIGHTS RESERVED. REPRODUCTION OR TRANSLATION OF ANY PART OF THIS WORK WITHOUT WRITTEN PERMISSION OF BRS ARCHITECTS IS UNLAWFUL AND SUBJECT TO CRIMINAL PROSECUTION.

TRÜFUEL

901 N. 27TH ST. #109

GENERAL NOTES

- A. ALL DESIGN CRITERIA NOT SHOWN ON THESE PLANS ARE TO CONFORM TO STANDARD FRAMING PER THE INTERNATIONAL BUILDING CODE.

B. ALL INFORMATION CONTAINED WITHIN THESE DRAWINGS AND ALL ENGINEERING CALCULATIONS ARE INTENDED TO MEET OR EXCEED INTERNATIONAL BUILDING CODE.

C. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH THE PREVAILING BUILDING AND LIFE SAFETY CODES.

D. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT, USING HIS/HER BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.

E. LABOR SHALL BE PERFORMED BY MECHANICS SKILLED AND EXPERIENCED IN THEIR RESPECTIVE TRADES. WORK THROUGHOUT SHALL BE OF THE HIGHEST STANDARDS.

F. THE CONTRACTOR SHALL INSPECT THE PREMISES IMMEDIATELY TO CHECK EXISTING CONDITIONS. SHOULD THE CONTRACTOR FIND CONDITIONS WHICH HE/SHE BELIEVES WOULD IMPEDE HIS/HER WORK, THEN SUCH CONDITIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO DO SO WILL CONSTITUTE NOTICE THAT THE CONTRACTOR IS FULLY SATISFIED WITH THE EXISTING CONDITIONS.

G. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE PROJECT THROUGH INSPECTION OF THE JOB SITE, DRAWINGS AND SPECIFICATIONS, SO AS TO THOROUGHLY UNDERSTAND THE WORK. ANY AND ALL DISCREPANCIES AND OMISSIONS SHALL BE REPORTED AND CLARIFICATION SHALL BE OBTAINED FROM THE OWNER AND ARCHITECT PRIOR TO WORK BEING DONE. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR OCCURS OR CONDITIONS NOT COVERED IN THE DRAWINGS ARE ENCOUNTERED, CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS TO BE VERIFIED IN THE FIELD.

H. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES FOR THE PROPER PROTECTION OF THE EXISTING FACILITY. THE CONTRACTOR SHALL IDENTIFY, PRIOR TO BEGINNING OF WORK, ANY AREAS OF EXISTING DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR, AT HIS/HER OWN COST OF ANY DAMAGE TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS/HER OPERATION OR THAT OF HIS/HER SUBCONTRACTORS OR SUPPLIERS. IN ADDITION, THE CONTRACTOR SHALL FOLLOW ALL SAFETY REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION OVER HIS/HER WORK.

I. THE CONTRACTOR SHALL GUARANTEE IN WRITING ALL LABOR, MATERIALS, AND WORKMANSHIP INSTALLED BY HIM/HER FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR AFTER DATE OF ACCEPTANCE OF THE WORK BY THE OWNER EXCEPT AS MODIFIED HEREIN OR ON OTHER DRAWINGS. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.

J. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE IN A CLEAN AND SAFE CONDITION, INCLUDING PROPER REMOVAL OF WASTE MATERIAL. WASTE MATERIAL SHALL NOT BE STORED WITHIN OR NEAR THE BUILDING. DUMPSTERS PROVIDED FOR THE DISPOSAL OF WASTE MATERIAL SHALL BE REMOVED AWAY FROM THE BUILDING BUT MAY
- K. BE STORED ON SITE DAILY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL COMBUSTIBLE FLUIDS INCLUDING PAINT, PRIMERS, SEALERS, SOLVENTS AND ADHESIVES COMPLY, AND ARE BEING USED IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S WRITTEN INSTRUCTIONS. CONTRACTOR SHALL PROVIDE STORAGE FOR SUCH MATERIALS AWAY FROM THE BUILDING. USE OF THE BUILDING FOR SUCH STORAGE IS PROHIBITED.

L. ALL WALLS CONTAINING WASTE LINES SHOULD BE CONSTRUCTED OF MIN. 6" STUDS OR AS REQUIRED TO ACCOMMODATE PLUMBING LINES.

M. ALL ITEMS EXPRESSED, DRAWN, NOTED, OR SPECIFIED WITHIN THESE DOCUMENTS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. ANY ITEMS NOT INCLUDED AND REQUIRED ARE THE RESPONSIBILITY OF THE CONTRACTOR.

N. ALL MECHANICAL WORK SHALL BE IN STRICT COMPLIANCE WITH PREVAILING CODES, WHICHEVER IS MOST STRINGENT.

O. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH PREVAILING CODES, WHICHEVER IS MOST STRINGENT.

P. BUILDING PERMITS SHALL BE PAID FOR BY OWNER.

Q. CONTRACTOR IS RESPONSIBLE FOR FINAL CLEAN-UP OF ALL EXPOSED SURFACES AT SUBSTANTIAL COMPLETION.

R. SHOP DRAWINGS AND SUBMITTALS SHALL BE SUPPLIED BY THE CONTRACTOR. SHOP DRAWINGS AND SUBMITTALS SHALL INCLUDE PROJECT NAME, LOCATION FOR USE, PRODUCT INFORMATION, DIMENSIONS, FINISHES AND OPTIONS, WARRANTY INFORMATION AS APPLICABLE. SUBMITTALS MAY BE REQUIRED FOR THE FOLLOWING ITEMS AT CONTRACTOR'S REQUEST: DOORS AND FRAMES, WINDOWS, MILLWORK, MECHANICAL AND ELECTRICAL SYSTEMS, CONCRETE DESIGN, EXTERIOR FINISHES, HARDWARE, PAINT/ STAIN, GLAZING AND FRAMES, WOOD AND FINISHES, ROOFING, STRUCTURAL FRAMING.

S. GENERAL CONTRACTOR SHALL CONTACT DIGLINE AT 811 TO LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION

T. THE PLANS ONLY MAKE UP THE CONTRACT DOCUMENTS. THE CONTRACTOR AND THEIR SUB-CONTRACTORS ARE RESPONSIBLE FOR USING THE DOCUMENTS AS A WHOLE FOR COORDINATION BETWEEN TRADES AND VARIOUS REQUIREMENTS.

U. DIMENSIONS ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.

V. ALL PRODUCTS AND SYSTEMS DESCRIBED IN THESE DOCUMENTS ARE TO BE PROVIDED AS COMPLETE SYSTEMS READY TO USE. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE COMPLETE SYSTEMS REGARDLESS OF THE COMPLETENESS OF THE PRODUCT OR SYSTEM DESCRIPTION.

W. THE CONTRACTOR SHALL IDENTIFY ANY DISCREPANCIES IN THE DOCUMENTS DURING BIDDING AND SEEK CLARIFICATION IMMEDIATELY UPON DISCOVERY. ANY DISCREPANCIES NOT CLARIFIED DURING BIDDING SHALL BE BID AS THE MORE EXPENSIVE OPTION.

X. CONSTRUCTION SHALL BE COMPLETED AS ACCURATELY AS PRACTICABLE IN THE FIELD. WHENEVER CONSTRUCTION TOLERANCES OR DIMENSIONAL VARIANCES OCCUR, CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING, SHIMMING, PATCHING, OR OTHER REQUIRED FIXES TO PRODUCE A COMPLETE AND USABLE PRODUCT.

PROJECT INFORMATION

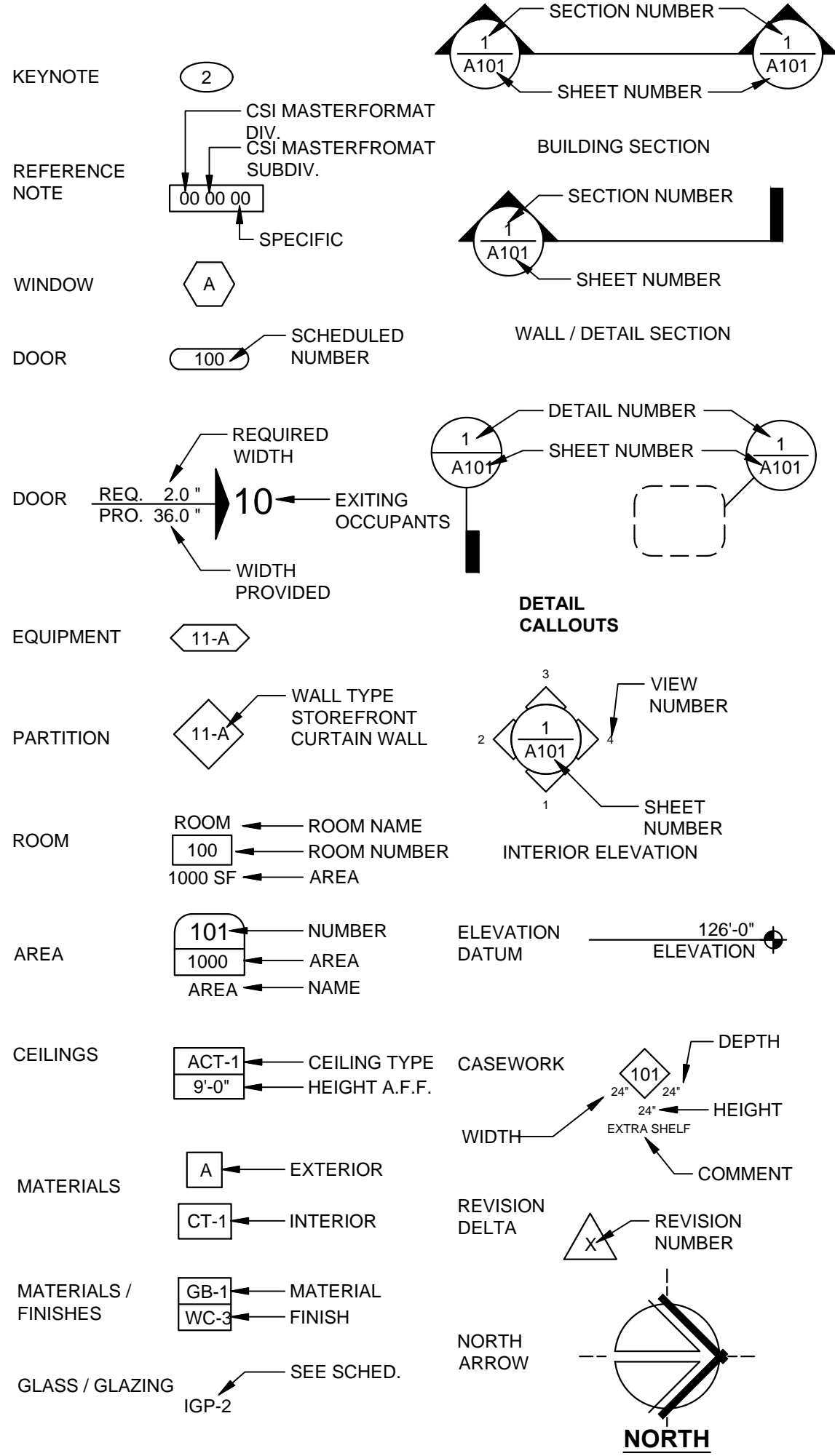
ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL LOCAL, COUNTY, STATE & FEDERAL CODES, LAWS, ORDINANCES AND REGULATIONS AS APPLICABLE. NOTHING IN THIS DOCUMENT IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES, LAWS, ORDINANCES AND REGULATIONS.

APPLICABLE CODES:

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2017 IDAHO STATE PLUMBING CODE
2017 NATIONAL ELECTRICAL CODE
2009 INTERNATIONAL CODE COUNCIL / ANSI A117.1

LEGAL ADDRESS:		901 N. 27th STREET #109, BOISE, IDAHO 83702																				
PARCEL NUMBER:		R1754002161																				
LEGAL DESCRIPTION:		BLK 23, POR BLKS 11 & 22 & ADJ / VAC GOODING & ADJ VAC 27TH ST / FRANK DAVIS ADD / PAR A ROS 12940 EXC ROW #2161-N																				
LAND USE:		SITE SIZE: 1.65 ACRES SITE ZONING: MX-1/DA REQUIRED SET BACKS: FRONT EXISTING SIDE EXISTING REAR EXISTING																				
CODE ITEM:		REMARKS:																				
OCCUPANCY CLASSIFICATION:		A-2 (RESTAURANT) RETAIL - FIRST LEVEL MULTI-FAMILY - SECOND & THIRD LEVELS																				
CONSTRUCTION TYPE:		TYPE V-B																				
BUILDING HEIGHT & NUMBER OF STORIES:		+/- 35'-0" (THREE-STORIES)																				
BUILDING AREA:		33,620 SF GROSS SF (THREE-STORIES) 1,110 SF FIRST LEVEL (AREA OF WORK)																				
ALLOWABLE HEIGHT/AREA TABLE 504.3 BLDG. HT.: TABLE 504.4 BLDG STORIES: TABLE 506.2 AREA:		EXISTING EXISTING EXISTING																				
REQ'D SEPARATION OF OCCUPANCIES TABLE 508.4:		N/A																				
FIRE BARRIER ASSEMBLIES BETWEEN FIRE AREAS: TABLE 707.3.10		N/A																				
FIRE PROTECTION SYSTEM: CHAPTER 903		EXISTING SPRINKLER SYSTEM																				
1004.1 OCCUPANT LOAD		<table><tr><th>TYPE</th><th>AREA</th><th>FACTOR</th><th>OCCUPANTS</th></tr><tr><td>DINING</td><td>680 SF</td><td>/15</td><td>= 45.3 (46)</td></tr><tr><td>KITCHEN</td><td>385 SF</td><td>/200</td><td>= 1.925 (2)</td></tr><tr><td colspan="4">TOTAL: 48 OCCUPANTS</td></tr></table>		TYPE	AREA	FACTOR	OCCUPANTS	DINING	680 SF	/15	= 45.3 (46)	KITCHEN	385 SF	/200	= 1.925 (2)	TOTAL: 48 OCCUPANTS						
TYPE	AREA	FACTOR	OCCUPANTS																			
DINING	680 SF	/15	= 45.3 (46)																			
KITCHEN	385 SF	/200	= 1.925 (2)																			
TOTAL: 48 OCCUPANTS																						
EGRESS REQUIREMENTS: 1005.3.2 EXIT WIDTH 1006.3.2 NUMBER OF EXITS 1017.2 TRAVEL DISTANCE		180" x 0.2 = 36" 1 EXITS REQUIRED - 3 EXITS PROVIDED (A) 250'-0" W/ SPRINKLER																				
1505.1 REQ'D ROOF ASSEMBLY:		EXISTING																				
WATER CLOSETS (MALE) WATER CLOSETS (FEMALE) LAVATORY URINALS DRINKING FOUNTAINS SERVICE SINK		TABLE 2902.1: A (ASSEMBLY) WATER CLOSETS: 1 PER 125 (MALE + FEMALE) LAVATORIES: 1 PER 200 EXISTING RESTROOMS. SHARED WITH ADJACENT SUITE "27th STREET CROSSING COMMUNITY ROOM"																				
		<table><tr><th></th><th># REQD.</th><th># PROVIDED</th></tr><tr><td></td><td>24</td><td>1</td></tr><tr><td></td><td>24</td><td>1</td></tr><tr><td></td><td>48</td><td>2</td></tr><tr><td></td><td>-</td><td>0</td></tr><tr><td></td><td>-</td><td>1</td></tr><tr><td></td><td>-</td><td>1</td></tr></table>			# REQD.	# PROVIDED		24	1		24	1		48	2		-	0		-	1	
	# REQD.	# PROVIDED																				
	24	1																				
	24	1																				
	48	2																				
	-	0																				
	-	1																				
	-	1																				

SYMBOL LEGEND



- THE TERM "REFERENCE" ELEVATION OR DIMENSION REFERS TO A NOMINAL WORK POINT. THE ACTUAL ELEVATION MAY VARY FROM THE REFERENCE POINT. REFER TO THE APPLICABLE DETAIL TO DETERMINE THE RELATIONSHIP BETWEEN THE RELATIONSHIP BETWEEN THE ACTUAL ELEVATION OR DIMENSION & THE STATED REFERENCE POINT.
- "FINISH FLOOR" ELEVATIONS ARE MEASURED AT THE TOP OF CONCRETE FLOOR SLAB UNLESS OTHERWISE NOTED. APPLIED FINISHES SUCH AS RESILIENT FLOORING OR CARPET MAY RAISE THE ACTUAL FINISH SURFACE ABOVE THE REFERENCE ELEVATION PROVIDED FOR FINISH FLOOR.
- WHERE A CONCRETE FLOOR SLAB IS DEPRESSED TO ACCOMMODATE MORTAR BEDS, SETTING BEDS & OTHER SIMILAR FLOOR ASSEMBLIES, FINISH FLOOR ELEVATIONS ARE MEASURED AS IF CONCRETE DEPRESSION DID NOT OCCUR.
- CEILING HEIGHT DIMENSIONS ARE MEASURED TO FINISHED SURFACES, UNLESS OTHERWISE NOTED. WHERE HEIGHT IS NOT NOTED ON THE FLOOR OR CEILING PLANS, VERIFY CEILING HEIGHT W/ ARCHITECT PRIOR TO INSTALLATION.
- THE "REFERENCE ROOF ELEVATION" REFERS TO THE ELEVATION OF THE TOP OF THE STRUCTURALLY ROOF SLAB @ THE PERIMETER OF THE ROOF AS INDICATED UNLESS OTHERWISE NOTED.
- WHERE THE STRUCTURAL ROOF SLAB IS SLOPED TO DRAIN THE ACTUAL TOP OF SLAB ELEVATION WILL VARY FROM THE STATED "REFERENCE ROOF ELEVATION". SEE THE ARCHITECTURAL ROOF PLANS & STRUCTURAL ROOF DRAWINGS TO DETERMINE WHERE THE STRUCTURE IS SLOPED TO DRAIN.
- INSULATION & ROOFING MATERIALS RAISE THE ACTUAL FINISH SURFACE OF THE ROOF ABOVE THE STATED "REFERENCE ROOF ELEVATION". THICKNESS OF INSULATION & ROOFING MATERIALS VARIES W/ THE TYPE OF ROOF SYSTEM INDICATED. SEE ARCH. ROOF PLANS.

CEILING RATING NOTE

THE TENANT SPACE HAS A 1-HOUR RATED CEILING ASSEMBLY. THE CEILING RATING MUST BE MAINTAINED, AND EFFORTS SHALL BE MADE TO ENSURE THAT IT IS EASILY APPARENT TO ANY CONTRACTORS OR TRADES WORKERS.

SHEET INDEX

ARCHITECTURAL GENERAL INFORMATION
G001 COVER SHEET
G002 SITE PLAN

ARCHITECTURAL
A101 FLOOR PLAN
A111 REFLECTED CEILING PLAN

MECHANICAL / PLUMBING
M-1 HVAC FLOOR PLAN
M-2 MECHANICAL SCHEDULES AND DETAILS
P-1 WASTE AND VENT FLOOR PLAN
P-2 WATER AND GAS FLOOR PLAN
P-3 PLUMBING FIXTURE SCHEDULE AND DETAILS

ELECTRICAL
E0.0 ELECTRICAL SYMBOLS AND SHEET INDEX

1010 S. ALLANTE PL.
SUITE 100
BOISE, IDAHO 83709
(208) 336-8370
FAX (208) 336-8380



TRÜFUEL

27th ST. CROSSING - TENANT IMPROVEMENT

901 N. 27th STREET, SUITE #109

BOISE, ID 83702

PROJECT CONTACTS

TENANT

TrüFuel - ACAI BOWL
901 N. 27TH STREET #109
BOISE, ID 83702
CONTACT: -
P: -
E: -

KITCHEN DESIGNER

BSR DESIGN & SUPPLIES
198 LOCUST ST. SOUTH
TWIN FALLS, ID 83301
CONTACT: DOUG BURCH
P: (208) 733-4221
E: doug@bsreqquipment.com

ARCHITECT

BR\$ ARCHITECTS
1010 S. ALLANTE PLACE, SUITE #100
BOISE, ID 83709
PROJECT ARCHITECT: TRENT KOCI
CONTACT: VICTOR FERRAL
P: (208) 336-8370
E: victor@brsarchitects.com

GEN. CONTRACTOR

SUMMIT RESTORATION & CONSTRUCTION
-
CONTACT: CLINT SCHNOOR
P: (208) 734-5311
E: clints@summitrest.com

ELECTRICAL

ELECTRICAL ENGINEERING COMPANY (E2Co)
800 S. INDUSTRY WAY #350
MERIDIAN, ID 83642
CONTACT: JEFF SMITH
P: 208.378.4450
E: jsmith@e2co.com

MECHANICAL

KARTCHNER BEAUCANNON ASSOCIATES, LLC
1301 S. FIVE MILE ROAD
BOISE, ID 83709
CONTACT: JUSTIN R. BEAUCANNON
P: 208.888.7145
E: jbeaucannon@kbamep.com

VICINITY MAP



CITY APPROVAL STAMP

PROPOSED DESIGN FOR:

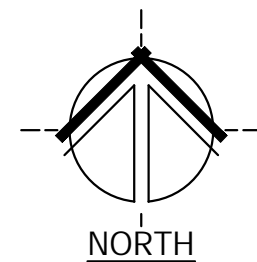
DRAWN	VF
DATE	09/05/2024
CHECKED	TJK
JOB NO.	24069

COVERSHEET

G001

COORDINATION SET

COPYRIGHT 2024 BRS ARCHITECTS - ALL RIGHTS RESERVED. REPRODUCTION OR TRANSLATION OF ANY PART OF THIS WORK WITHOUT WRITTEN PERMISSION OF BRS ARCHITECTS IS UNLAWFUL AND SUBJECT TO CRIMINAL PROSECUTION.

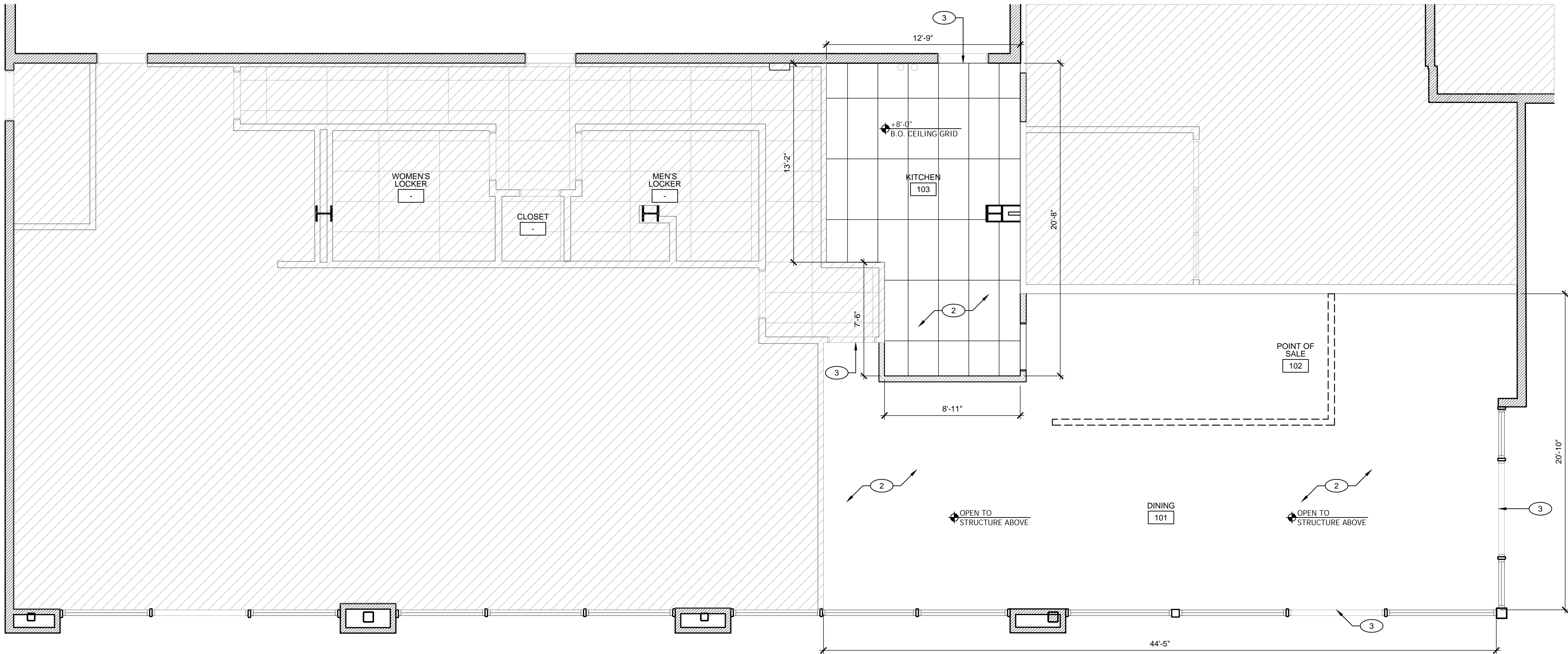


FLOOR PLAN

SCALE: 1/4" = 1'-0"

ADDITIONAL NOTE
ALL SPACES ARE OPEN TO STRUCTURE AND/OR EXISTING GYPSUM BOARD CEILING.

TENANT TO COORDINATE WITH GENERAL CONTRACTOR WHAT AREAS ARE TO BE PAINTED "BLACK" TO HIDE THE EXPOSED EQUIPMENT ABOVE (EXISTING PLUMBING, FIRE SPRINKLER EQUIPMENT, MECHANICAL, ETC.)



WALL LEGEND

- W1
- W2
- W3
- W4
- W5

KEYNOTES

1. NEW CEILING HUNG LIGHT FIXTURE; RE: ELECTRICAL
2. NEW 2'x4' LAY-IN LIGHT FIXTURES; RE: ELECTRICAL
3. NEW EMERGENCY EXIT SIGN; GENERAL CONTRACTOR TO VERIFY AMOUNT AND LOCATIONS OF FIXTURES IN ACCORDANCE WITH LOCAL GUIDELINES.

CEILING RATING NOTE

THE TENANT SPACE HAS A 1-HOUR RATED CEILING ASSEMBLY. THE CEILING RATING MUST BE MAINTAINED, AND EFFORTS SHALL BE MADE TO ENSURE THAT IT IS EASILY APPARENT TO ANY CONTRACTORS OR TRADES WORKERS.

1010 S. ALLANTE PL.
SUITE 100
BOISE, IDAHO 83709
(208) 336-8370
FAX (208) 336-6380



PROPOSED DESIGN FOR:

TRÜFUEL

27th ST. CROSSING - TENANT IMPROVEMENT

901 N. 27th STREET, SUITE #109

BOISE, ID 83702

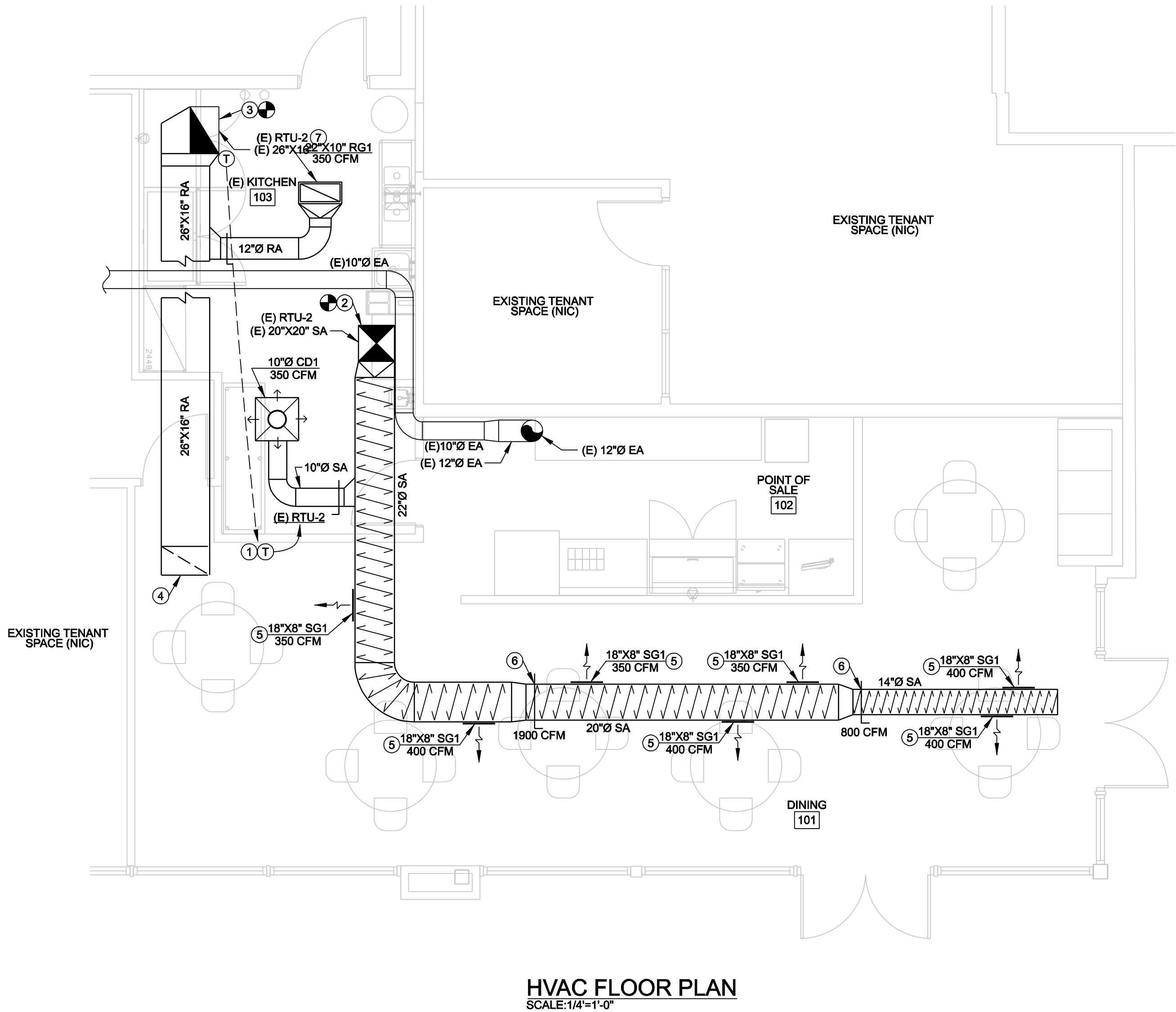
DRAWN	VF
DATE	09/05/2024
CHECKED	TJK
JOB NO.	24069

REFLECTED
CEILING PLAN

A111

COORDINATION SET

...24-61 M-1 HVAC FLOOR PLAN.dgn 9/3/2024 4:13:23 PM



HVAC FLOOR PLAN
SCALE: 1/4"=1'-0"

GENERAL NOTES

1. GENERAL NOTES, SYMBOLS LIST AND DETAILS ARE APPLICABLE TO ALL DRAWINGS.
2. DRAWINGS ARE DIAGRAMMATIC, THEREFORE DETERMINE EXACT LOCATIONS OF SYSTEMS AND COMPONENTS IN FIELD.
3. COORDINATE WORK OF THIS SECTION WITH THAT OF OTHER SECTIONS.
4. ADJUST ALL FAN RPM TO DELIVER CFM VALUES SHOWN AT ELEVATION WHERE INSTALLED.
5. INSULATE PIPING AND DUCTWORK AS REQUIRED BY CODE. MINIMUM R-8 INSULATION ON ALL DUCTWORK IN UNCONDITIONED SPACES.
6. RUN DUCTS AND PIPING CONCEALED, UNLESS SPECIFIED OTHERWISE. ALL DUCTWORK SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO WALL AND WITHIN OF BEAMS AND JOISTS.
7. VERIFY AND PROVIDE DUCT TRANSITIONS TO FURNISHED EQUIPMENT. FIELD VERIFY AND COORDINATE ALL DIMENSIONS BEFORE FABRICATION.
8. THE INSTALLATION OF THE MECHANICAL SYSTEM SHALL COMPLY WITH THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING, FIRE, AND MECHANICAL CODES.
9. SUPPORT ALL EQUIPMENT, PIPING AND DUCTWORK FROM BLDG STRUCTURE TO PROVIDE A VIBRATION FREE INSTALLATION.
10. INTERNAL AIR FLOW DIMENSIONS ARE SHOWN FOR DUCTS. MECHANICAL CONTRACTOR SHALL INCREASE DUCT SIZE FOR LINER IF APPLICABLE.
11. ALL MATERIALS AND EQUIPMENT SHALL BE NEW UNLESS STATED OTHERWISE.
12. DIFFUSER SIZES SHOWN ARE NECK SIZES, REGISTER AND GRILLE SIZE ARE NOMINAL.
13. PROVIDE FLEXIBLE CONNECTIONS ON ALL DUCTS CONNECTING TO AIR HANDLING UNITS.
14. THE INSIDE OF ALL UNLINED DUCTWORK VISIBLE THROUGH A GRILLE OR DIFFUSER SHALL BE PAINTED FLAT BLACK.
15. PROVIDE HANGERS, CLAMPS, OFFSETS, EXPANSION JOINTS, ANCHORS AND GUIDES AS NECESSARY TO PREVENT STRESS ON PIPING.
16. ALL SHEET METAL DUCTWORK SHALL BE IN ACCORDANCE WITH 'SMACNA' LVDS
17. SYSTEM TO COMPLY WITH 2018 INTERNATIONAL ENERGY CONSERVATION CODE. SEE COMCHECK FOR APPLICABLE DETAILS.
18. PRIME AND PAINT ALL EXPOSED DUCTWORK. COORDINATE WORK WITH GENERAL CONTRACTOR.
19. SEAL ALL FIRE RATED WALL PENETRATIONS TO MAINTAIN WALL ASSEMBLY RATING. COORDINATE WORK WITH ARCHITECTURAL PLANS/GENERAL CONTRACTOR.

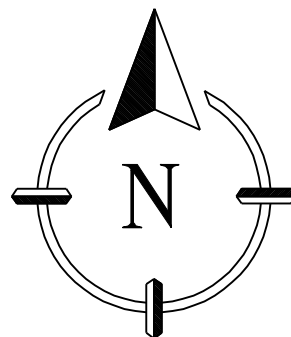
KEYED NOTES

- ① RELOCATE EXISTING 7-DAY PROGRAMMABLE T-STAT W/ AUTO CHANGE-OVER TO THIS LOCATION. MOUNT 48" ABOVE FINISHED FLOOR.
- ② CONNECT TO EXISTING SUPPLY AIR DUCTWORK AT THIS LOCATION WITH NEW. TRANSITION AS REQUIRED TO DUCTWORK SHOWN. KEEP DUCTWORK AS HIGH AS POSSIBLE.
- ③ CONNECT TO EXISTING RETURN AIR DUCTWORK AT THIS LOCATION WITH NEW. TRANSITION AS REQUIRED TO DUCTWORK SHOWN. KEEP DUCTWORK AS HIGH AS POSSIBLE.
- ④ TURN DUCTWORK UP TOWARDS STRUCTURE AND LEAVE RETURN DUCT OPEN TO SPACE, PROVIDE 1/2"x1/2"x1/2" INLET SCREEN ON INLET.
- ⑤ MOUNT SUPPLY GRILLE AT 22.5" FROM BOTTOM OF DUCT.
- ⑥ PROVIDE MANUAL BALANCING DAMPER. BALANCE TO CFM SHOWN.
- ⑦ RE-BALANCE MINIMUM OUTSIDE AIR ON EXISTING RTU TO 355 CFM.

MECHANICAL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	BRANCH DUCT		CEILING DIFFUSER
	DUCTWORK (OVERHEAD)		RETURN / EXHAUST GRILLE
	DUCT TRANSITION		CARBON DIOXIDE SENSOR
	BALANCING DAMPER		BY ELECTRICAL CONTRACTOR
	RA / SA		THERMOSTAT
	EA / OSA		FIRE DAMPER
	FLEX DUCT		FIRE SMOKE DAMPER
	SPIRAL DUCT		

ALL SYMBOLS SHOWN MAY NOT BE USED ON DRAWING.



Kartchner
Associates LLC

KB
Beaucannon
MEP consultants

1301 S Five Mile RD / BOISE ID 83709
Phone : 208-888-7145



NO.	REVISIONS	DATE

1010 S. ALLANTE PL.
SUITE 100
BOISE, IDAHO 83709
(208) 336-8370
FAX (208) 336-8380

BPS
ARCHITECTS

PROPOSED DESIGN FOR:

TRÜFUEL
27th ST. CROSSING - TENANT IMPROVEMENT
901 N. 27th STREET, SUITE #109

BOISE, ID 83702

DRAWN	BPS
DATE	9/13/24
CHECKED	JB/RTK
JOB NO.	24-61
HVAC FLOOR PLAN	
M-1	

AIR DEVICE SCHEDULE			
DESIGNATION	SG1	CD1	RG1
TYPE & DUTY	SUPPLY GRILLE	DIFFUSER	RETURN GRILLE
CEILING TYPE	---	LAY-IN	LAY-IN
N.C. LEVEL MAX	16	19	---
MANUFACTURER	TITUS	TITUS	TITUS
MODEL	S300FL	TDC	350RL
NOTES	1	1	1
NOTES: 1. CONTRACTOR HAS OPTION TO PROVIDE EQUIVALENT ALTERNATE. SUBMIT TO ENGINEER FOR APPROVAL.			

EXISTING ROOFTOP UNIT SCHEDULE				
DESIGNATION		(E) RTU-2		
MANUFACTURER		CARRIER		
MODEL		#48HCED08		
NOM. CFM		3000		
ESP (IN WC)		0.5		
HEATING CAPACITY / COOLING	MBH		89.0	
	STAGE		1	2
INPUT MBH		90	180	
OUTPUT MBH		73	148	
MCA		46		
MOCP		50		
VOLTAGE/PHASE		208/3		
WEIGHT (LB)		925		
LENGTH		91.5		
WIDTH		59.5		
HEIGHT		47		
SEER RATING		13		
SEE NOTES:		1		
NOTES:				
1. SET MINIMUM OUTSIDE AIR ON EXISTING RTU TO 355 CFM.				

LOAD CALCULATIONS

Air System Sizing Summary for SPACE LOAD				08/26/2024	
Project Name: 24-61 TRUFUEL TENANT IMPROVEMENT				03:33PM	
Prepared by: Kartchner Beaucannon Associates					
Air System Information					
Air System Name		SPACE LOAD	Number of zones		1
Equipment Class		SPLIT AHU	Floor Area		1095.0 ft ²
Air System Type		SCZAV	Location		Boise, Idaho
Sizing Calculation Information					
Calculation Months		Jan to Dec	Zone CFM Sizing		Peak zone sensible load
Sizing Data		Calculated	Space CFM Sizing		Individual peak space loads
Central Cooling Coil Sizing Data					
Total coil load		2.9 Tons	Load occurs at		Sep 1400
Total coil load		35.1 MBH	OA DB / WB		92.1 / 69.7 °F
Sensible coil load		35.1 MBH	Entering DB / WB		78.0 / 61.2 °F
Coil CFM at Sep 1400		1873 CFM	Leaving DB / WB		58.6 / 54.3 °F
Max block CFM		1873 CFM	Coil ADP		56.7 °F
Sum of peak zone CFM		1873 CFM	Bypass Factor		0.100
Sensible heat ratio		1.000	Resulting RH		49 %
CFM/Ton		641.1	Design supply temp		58.0 °F
ft³/Ton		374.8	Zone T-stat Check		1 of 1 OK
BTU/(hr·ft²)		33.0	Max zone temperature deviation		0.0 °F
Water flow @ 10.0 °F rise		N/A			
Central Heating Coil Sizing Data					
Max coil load		34.6 MBH	Load occurs at		Dec Htg
Coil CFM at Des Htg		1873 CFM	BTU/(hr·ft²)		31.6
Max coil CFM		1873 CFM	Ent. DB / Lvg DB		58.6 / 77.5 °F
Water flow @ 20.0 °F drop		N/A			
Supply Fan Sizing Data					
Actual max CFM		1873 CFM	Fan motor BHP		0.00 BHP
Standard CFM		1687 CFM	Fan motor kW		0.00 kW
Actual max CFM/ft²		1.71 CFM/ft²	Fan static		0.00 in wg
Outdoor Ventilation Air Data					
Design airflow CFM		355 CFM	CFM/person		12.23 CFM/person
CFM/ft²		0.32 CFM/ft²			

ENERGY COMPLIANCE



NO.	REVISIONS		DATE	

1010 S. ALLANTE PL.
SUITE 100
BOISE, IDAHO 83709
(208) 336-8370
FAX (208) 336-8380

PROPOSED DESIGN FOR:

TRUFUEL

27th ST. CROSSING - TENANT IMPROVEMENT

901 N. 27th STREET, SUITE #109

BOISE, ID 83702

DRAWN	BPS
DATE	9/13/24
CHECKED	JB/RTK
JOB NO.	24-61
MECHANICAL SCHEDULES AND DETAILS	
M-2	

1301 S Five Mile RD / BOISE ID 83709
Phone: 208-888-7145