

Scale: 1" = 20'

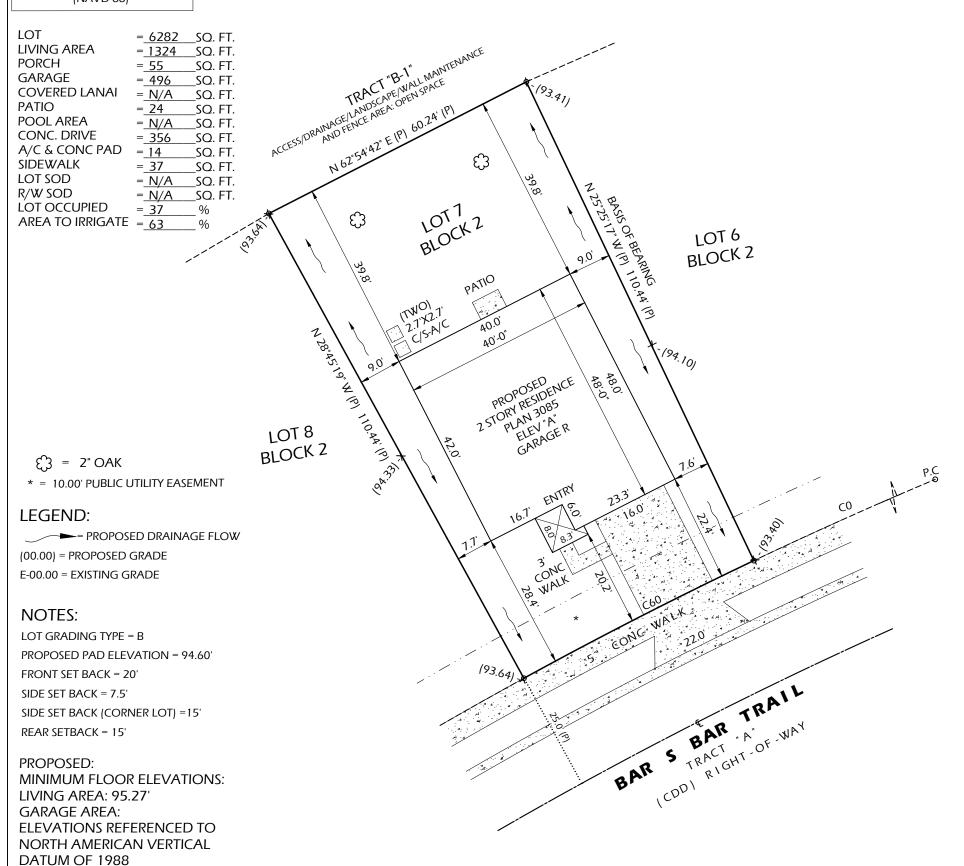
PROPOSED ELEVATIONS AND GRADING SHOWN HEREON ARE TAKEN FORM THE **ENGINEERING PLANS OF** "ABBOTT SQUARE RESIDENTIAL", PREPARED BY "WRA" PROVIDED BY CLIENT

This SITE PLAN Prepared for and Certified To: Lennar Homes

ALL ELEVATIONS REFERENCED TO NORTH AMERICAN **VERTICAL DATUM OF 1988** (NAVD 88)

## **CURVE DATA (P)**

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CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C60	925.00'	53.83'	53.82'	S 62°54'42" W	3°20'03"
C0	925.00	360.63	358.35	S 75°44'52" W	22°20'17"



APPARENT FLOOD HAZARD ZONE: "X" COMMUNITY NO. 120235 (MAP NUMBER 12101C-0289-F) EFFECTIVE DATE: 09/26/2014

P/E = POOL EQUIPMENT PG = PAGE

PK =PARKER KALON

PR = PROPERTY LINE

PI = POINT OF INTERSECTION

PC = POINT OF CURVE PCC = POINT OF COMPOUND CURVE PCP = PERMANENT CONTROL POINT

POB = POINT OF BEGINNING POC = POINT OF COMMENCTMENT

POL = POINT ON LINE PRC = POINT OF REVERSE CURVE

## **SURVEY ABBREVATIONS**

(D) = DEED D.E= DRAINAGE EASEMENT EL OR ELEV = ELEVATION A/C = AIR CONDITIONER AF = ALUMINUM FENCE BFE = BASE FLOOD ELEVATION BM = BENCH MARK EL OR ELEV = ELEVATION
EOP = EDGE OF PAVEMENT
ESMT = EASEMENT
F/C = FENCE CORNER
FCM = FOUND CONCRETE C = CURVE (C) = CALCULATED € = CENTERLINE
CLF = CHAIN LINK FENCE
CMP = CORRUGATED METAL PIF MONUMENT FIP = FOUND IRON PIPE FIR = FOUND IRON ROD FN&D = FOUND NAIL & DISK FOP = FOUND OPEN PIPE

COL = CORROGATED METAL
COL = COLUMN
CONC = CONCRETE
C/S = CONCRETE SLAB
CST = CLEAR SIGHT TRIANGLE

JOB #5086 Date of Site Plan: 3-2-22

File: Drawn by: DJB

DWG:AS-L7-B2-SITE

Checked by:JH **REVISIONS** 

OHW = OVERHEAD WIRE(S)
O.R. = OFFICIAL RECORDS
(P) = PLAT FPP = FOUND PINCHED PIPE PB = PLAT BOOK **SURVEYOR'S NOTES:** 1.) Current title information on the subject property had not been furnished to Initial Point Land Surveying, LLC. at the time of this

SITE PLAN **2.)** This sketch was prepared without the benefit of a title search. No instruments of record reflecting ownership, easements or rights-of-way were furnished to the undersigned, unless otherwise shown hereon.

INV = INVERT LB =LICENSED BUISNESS L.E = LANDSCAPE EASEMENT

(M) = MEASURED
MES = MITERED END SECTION

NCF = NO CORNER FOUND O/A = OVERALL

LFE = LOWEST FLOOR ELEVATION
LS = LICENSED SURVEYOR

3.) Roads, walks, and other similar items shown hereon were taker from engineering plans and are subject to survey. 4.) This SITE PLAN does not reflect nor determine ownership.

5.) This SITE PLAN is subject to matters shown on the Plat of "ABBOTT SQUARE PHASE 1A"

**6.)** Dimensions shown hereon are in feet and decimal portions thereof.

7.) Contractor and owner are to verify all setbacks, building dimensions, and layout shown hereon prior to any construction, and immediately advise Initial Point Land Surveying, LLC. of any deviation from information shown hereon. Failure to do so will be at user's sole risk.

## PRM = PERMANENT REFERENCE MONUMENT VF = VINYL FENCE

(R) = RECORD RNG = RANGE

SEC = SECTION

LB#8183

RRS = RAIL ROAD SPIKE R/W = RIGHT OF WAY

TOB = TOP OF BANK

U.F = UTILITY FASEMENT

TWP = TOWNSHIP

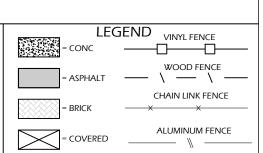
SN&D = SET NAIL AND DISK

SIR = SET 1/2" IRON ROD LB# 8183 TBM = TEMPORARY BENCH MARK

SURVEYOR'S CERTIFICATE

This certifies that sketch of the hereon described property was made under my supervision and meets the Applicable Sundards of Practice for survey as set town by the Parida Board of Land Surveyors in Chapter 32-97.051 through 5J-173053, Florida Administrative Code pursuant of Section 472 027, Florida State STATE OF FLORIDA PROPERSIONAL SURVEYOR AND MAPPER NO. LS#7 123 LB#8183

NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER





Initial Point Land Surveying, LLC.