

DESCRIPTION: LOT 3, BLOCK 14, ABBOTT SQUARE PHASE 1A,
ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK ____
PAGE ____ OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

SITE PLAN (NOT A SURVEY)

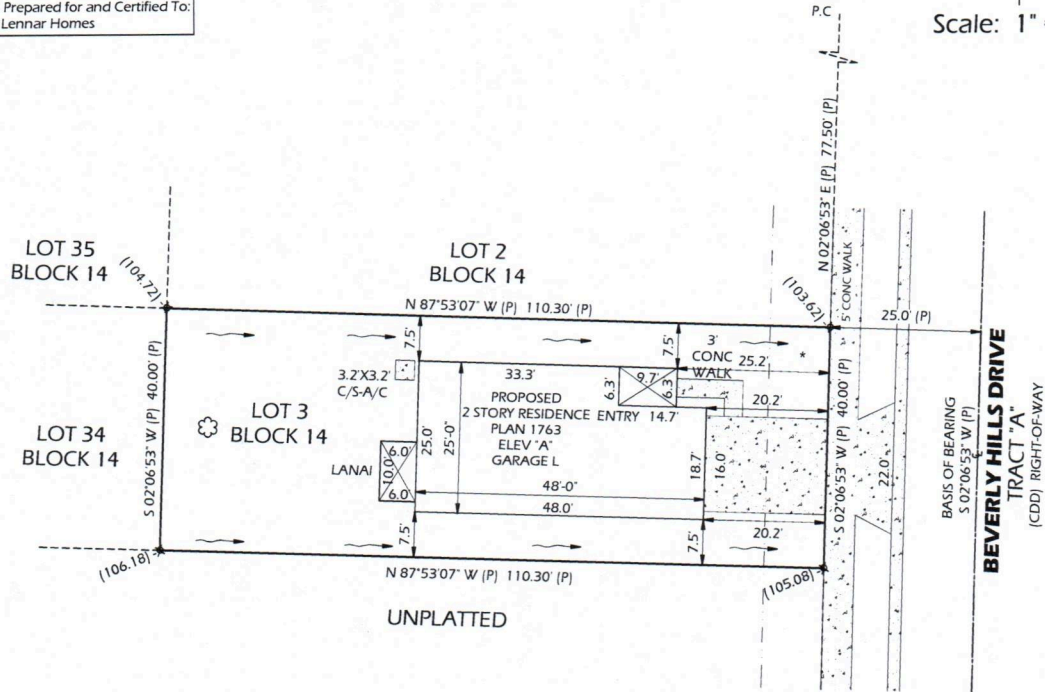
SEC. 4, TWP. 26 S, RNG 21 E.
PASCO COUNTY, FLORIDA
(ABBOTT SQUARE)

ALL ELEVATIONS REFERENCED
TO NORTH AMERICAN
VERTICAL DATUM OF 1988
(NAVD 88)

This SITE PLAN Prepared for and Certified To:
Lennar Homes



Scale: 1" = 20'



LOT = 4412 SQ. FT.
LIVING AREA = 728 SQ. FT.
PORCH = 62 SQ. FT.
GARAGE = 379 SQ. FT.
COVERED LANAI = 60 SQ. FT.
PATIO = N/A SQ. FT.
POOL AREA = N/A SQ. FT.
CONC. DRIVE = 323 SQ. FT.
A/C & CONC PAD = 10 SQ. FT.
SIDEWALK = 42 SQ. FT.
LOT SOD = X SQ. FT.
R/W SOD = X SQ. FT.
LOT OCCUPIED = 36 %
AREA TO IRRIGATE = 63 %

PROPOSED:
MINIMUM FLOOR ELEVATIONS:
LIVING AREA: 107.07'
GARAGE AREA:
ELEVATIONS REFERENCED TO
NORTH AMERICAN VERTICAL
DATUM OF 1988

NOTES:

LOT GRADING TYPE = A
PROPOSED PAD ELEVATION = 106.40'
FRONT SET BACK = 20'
SIDE SET BACK = 7.5'
SIDE SET BACK (CORNER LOT) = 15'
REAR SETBACK = 15'

☼ = 2" OAK

* = 10.00' PUBLIC UTILITY EASEMENT

LEGEND:

→ = PROPOSED DRAINAGE FLOW
(00.00) = PROPOSED GRADE
E-00.00 = EXISTING GRADE

PROPOSED ELEVATIONS AND GRADING
SHOWN HEREON ARE TAKEN FROM THE
ENGINEERING PLANS OF
'ABBOTT SQUARE RESIDENTIAL', PREPARED
BY 'WRA' PROVIDED BY CLIENT

SURVEY ABBREVIATIONS

A) = ARC LENGTH
A/C = AIR CONDITIONER
AF = ALUMINUM FENCE
BFE = BASE FLOOD ELEVATION
BM = BENCH MARK
C = CURVE
(C) = CALCULATED
CL = CENTERLINE
CLF = CHAIN LINK FENCE
CMP = CORRUGATED METAL PIPE
COL = COLUMN
CONC = CONCRETE
C/S = CONCRETE SLAB
CST = CLEAR SIGHT TRIANGLE

(D) = DEED
D/E = DRAINAGE EASEMENT
EL OR ELEV = ELEVATION
EOP = EDGE OF PAVEMENT
ESMT = EASEMENT
F/C = FENCE CORNER
FCM = FOUND CONCRETE
MONUMENT
FIP = FOUND IRON PIPE
FIR = FOUND IRON ROD
FNAD = FOUND NAIL & DISK
FOP = FOUND OPEN PIPE
FPP = FOUND PINCHED PIPE

SURVEYOR'S NOTES:

- 1.) Current title information on the subject property had not been furnished to Initial Point Land Surveying, LLC. at the time of this SITE PLAN
- 2.) This sketch was prepared without the benefit of a title search. No instruments of record reflecting ownership, easements or rights-of-way were furnished to the undersigned, unless otherwise shown hereon.
- 3.) Roads, walks, and other similar items shown hereon were taken from engineering plans and are subject to survey.
- 4.) This SITE PLAN does not reflect nor determine ownership.
- 5.) This SITE PLAN is subject to matters shown on the Plat of 'ABBOTT SQUARE PHASE 1A'
- 6.) Dimensions shown hereon are in feet and decimal portions thereof.
- 7.) Contractor and owner are to verify all setbacks, building dimensions, and layout shown hereon prior to any construction, and immediately advise Initial Point Land Surveying, LLC. of any deviation from information shown hereon. Failure to do so will be at user's sole risk.

SURVEYOR'S CERTIFICATE

This certificate and sketch of the person described
properly was made and approved in relation to
measuring and applicable standards of practice for
surveys as set forth in the Florida Statutes, and
I, the undersigned, am a duly licensed and
qualified Surveyor in the State of Florida, and
I hereby certify that the foregoing is a true and
correct copy of the original survey as shown
to me by the owner of the property.

Date: 3/4/2014

Initial Point Land Surveying, LLC.
Surveyor No. LS# 7125 and LS# 8183

LEGEND

CONC = CONCRETE
ASPH = ASPHALT
BRICK = BRICK
COVERED = COVERED
VINYL FENCE
WOOD FENCE
CHAIN LINK FENCE
ALUMINUM FENCE

JOB #5112

Date of Site Plan: 3-3-22

DWG: AS-L3-B14-SITE

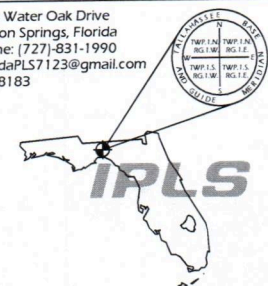
File:

Drawn by: DJB

Checked by: JH

REVISIONS

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LB# 8183



Initial Point Land Surveying, LLC.