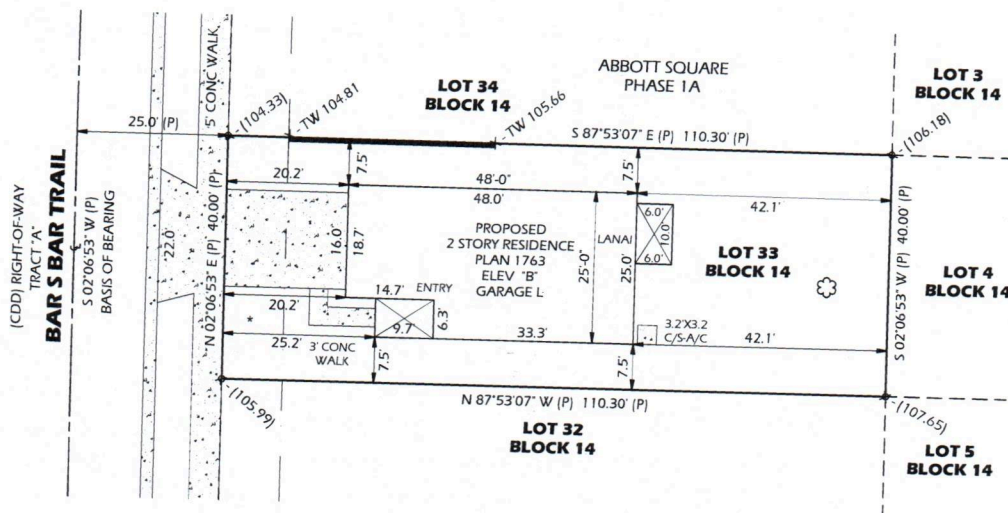


ALL ELEVATIONS REFERENCED
TO NORTH AMERICAN
VERTICAL DATUM OF 1988
(NAVD 88)

This SITE PLAN Prepared for and Certified To:
Lennar Homes



Scale: 1" = 20'



LOT	=	4412	SQ. FT.
LIVING AREA	=	728	SQ. FT.
PORCH	=	62	SQ. FT.
GARAGE	=	379	SQ. FT.
COVERED LANAI	=	60	SQ. FT.
PATIO	=	N/A	SQ. FT.
POOL AREA	=	N/A	SQ. FT.
CONC. DRIVE	=	323	SQ. FT.
A/C & CONC PAD	=	10	SQ. FT.
SIDEWALK	=	42	SQ. FT.
LOT SOD	=	N/A	SQ. FT.
R/W SOD	=	N/A	SQ. FT.
LOT OCCUPIED	=	54	%
AREA TO IRRIGATE	=	46	%

PROPOSED:
MINIMUM FLOOR ELEVATIONS:
LIVING AREA: 108.47'
GARAGE AREA:
ELEVATIONS REFERENCED TO
NORTH AMERICAN VERTICAL
DATUM OF 1988

NOTES:

LOT GRADING TYPE = A
PROPOSED PAD ELEVATION = 107.80'
FRONT SET BACK = 20'
SIDE SET BACK = 7.5'
SIDE SET BACK (CORNER LOT) = 10'
REAR SETBACK = 15'

☼ = 2" OAK

* = 10.00' PUBLIC UTILITY EASEMENT
TW = TOP OF WALL

LEGEND:

 = PROPOSED DRAINAGE FLOW
 (00.00) = PROPOSED GRADE
 E-00.00 = EXISTING GRADE

PROPOSED ELEVATIONS AND GRADING
SHOWN HEREON ARE TAKEN FROM THE
ENGINEERING PLANS OF
"ABBOTT SQUARE RESIDENTIAL", PREPARED
BY "WRA" PROVIDED BY CLIENT

SURVEY ABBREVIATIONS

A) = ARC LENGTH A/C = AIR CONDITIONER AL = ALUMINUM FENCE BFE = BASE FLOOD ELEVATION BM = BENCH MARK C = CURVE CL = CALCULATED CLF = CENTERLINE CLF = CHAIN LINK FENCE CMP = CORRUGATED METAL PIPE COL = COLUMN CONC = CONCRETE C/S = CONCRETE SLAB C/S = CONCRETE SLAB	(D) = DEED D/E = DRAINAGE EASEMENT EL OR ELEV = ELEVATION EOP = EDGE OF PAVEMENT ESMT = EASEMENT F/C = FENCE CORNER FCM = FOUND CONCRETE MONUMENT FI = FOUND IRON PIPE FIRC = FOUND IRON ROD FN&D = FOUND NAIL & DISK FOP = FOUND OPEN PIPE FPP = FOUND PINCHED PIPE
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INV - INVERT
LB - LICENSED BUSINESS
LE = LANDSCAPE EASEMENT
LFE = LOWEST FLOOR ELEVATION
LS = LICENSED SURVEYOR
(M) = MEASURED
MES - MITERED END SECTION
NCF = NO CORNER FOUND
O/A = OVERALL
OH-W = OVERHEAD WIRE(S)
O.R. = OFFICIAL RECORDS
(P) = PLAT
PB = PLAT BOOK

PC = POINT OF CURVE
PCC = POINT OF COMPOUND CURVE
PCP = PERMANENT CONTROL POINT
P/E = POOL EQUIPMENT
PG = PAGE
PI = POINT OF INTERSECTION
PK = PARKER KALON
e = PROPERTY LINE
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
POL = POINT ON LINE
PRC = POINT OF REVERSE CURVE
PRM = PERMANENT REFERENCE MONUMENT

(R) = RECORD
RNG = RANGE
RRS = RAIL ROAD SPIKE
R/W = RIGHT OF WAY
SEC = SECTION
SN&D = SET NAIL AND DISK
LB#8183
SIR = SET 1/2" IRON ROD LB# 8183
TBM = TEMPORARY BENCH MARK
TOB = TOP OF BANK
TWP = TOWNSHIP
U.E = UTILITY EASEMENT
VF = VINYL FENCE

LEGEND

CONC
ASPHALT
BRICK
COVERED

JOB #5161

Date of Site Plan: 3-4-22

DWG:AS-PH1B-L33-BL14-SITE

File:

Drawn by: DJE

Checked by: JH

REVISIONS

SURVEYOR'S NOTES:

- 1.) Current title information on the subject property had not been furnished to Initial Point Land Surveying, LLC. at the time of this SITE PLAN
- 2.) This sketch was prepared without the benefit of a title search. No instruments of record reflecting ownership, easements or rights-of-way were furnished to the undersigned, unless otherwise shown hereon.
- 3.) Roads, walks, and other similar items shown hereon were taken from engineering plans and are subject to survey.
- 4.) This SITE PLAN does not reflect nor determine ownership.
- 5.) This SITE PLAN is subject to matters shown on the Plat of "ABBOTT SQUARE PHASE 1A"
- 6.) Dimensions shown hereon are in feet and decimal portions thereof.
- 7.) Contractor and owner are to verify all setbacks, building dimensions, and layout shown hereon prior to any construction, and immediately advise Initial Point Land Surveying, LLC. of any deviation from information shown hereon. Failure to do so will be at user's sole risk.

SURVEYOR'S CERTIFICATE

This certifies that _____ hereon described property was made under my supervision and meets the applicable standards and criteria for surveys set forth by the Florida Board of Land Surveyors in Chapter 39F, Florida Statutes, 515.0053, Florida Administrative Code, pursuant to Section 472.020, Florida State Statutes.

[Signature] Date 3/8/12

FLORIDA PROFESSIONAL SURVEYOR AND
MAPPING LSR # 1000483

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Tarpon Springs, Florida
Phone: (727)-831-1990
FloridaPLS7123@gmail.com
LB# 8183



Initial Point Land Surveying, LLC.