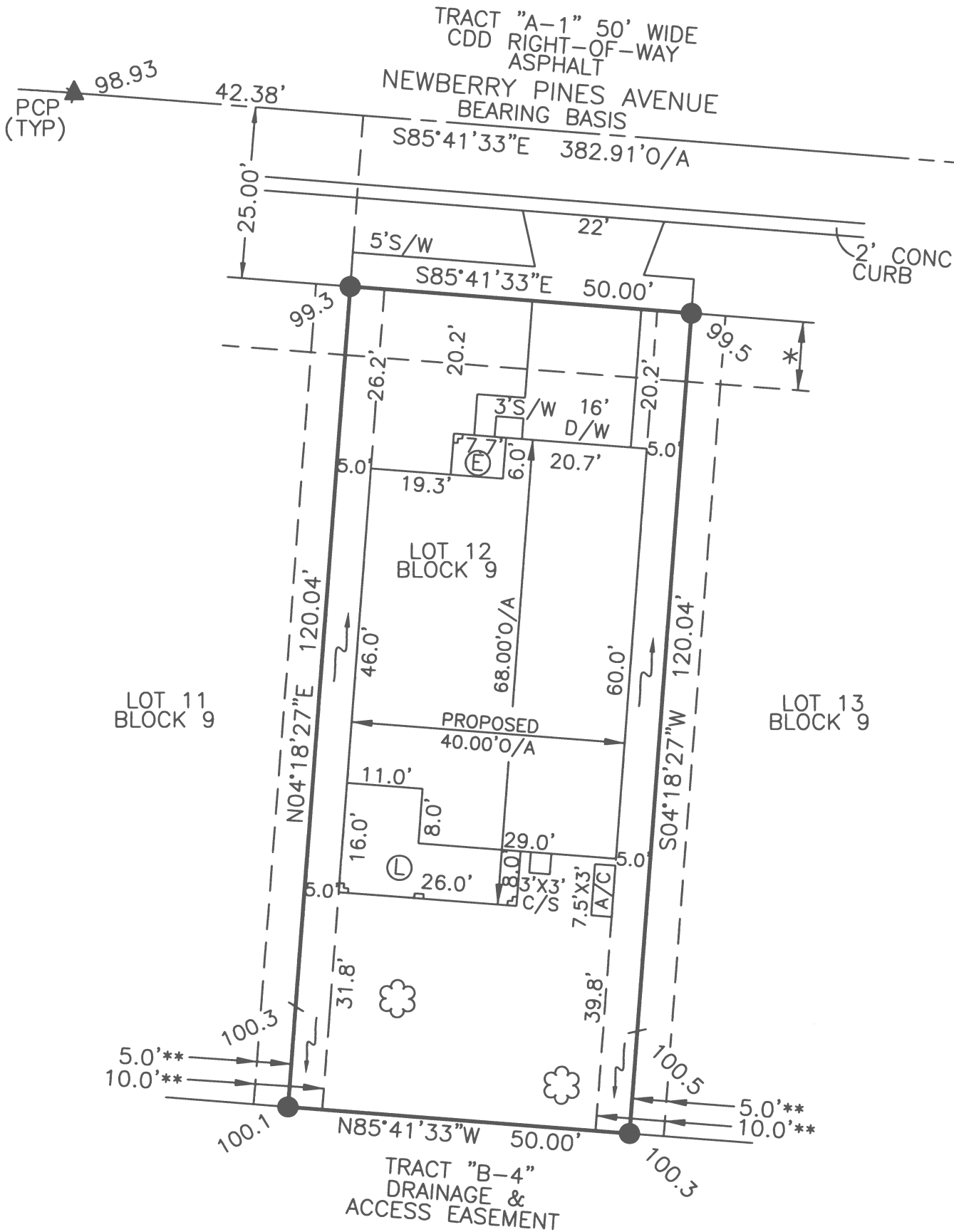


BUILDING SETBACKS  
FRONT - 20.0'  
SIDE - 5.0'  
REAR - 15.0'

Scale: 1"=20' Job No. 1099KW.2 Section 10, Township 26 South, Range 20 East.  
Use of this survey by anyone other than those certified to, will be the re-users sole risk without liability to ZBI, or the undersigned surveyor. There may be additional restrictions affecting this property that may be found in the Public Records of this County. This survey was prepared without the benefit of a title policy. Underground installations and improvements have not been located unless otherwise noted. Elevations are based upon North American Vertical Datum, 1988 (NAVD). Unless otherwise noted, all bearings and distances were measured within an acceptable accuracy tolerance with the recorded value, (plat or deed value). Bearings are based upon an assumed datum utilizing the recorded plat, more specifically the bearing of: THE CENTERLINE OF NEWBERRY PINES AVENUE AS S85°41'33"E.

LOT AREA = 6,002 SQ. FT. +/-



This is NOT a survey  
Proposed "SONOMA II" Model  
"A" Elevation  
Proposed lowest floor  
Elevation = 101.37  
NO TREES ON LOT  
TYPE "B" LOT GRADE

ON LOT AREA CALCULATIONS

|                  |       |
|------------------|-------|
| LOT              | 6,002 |
| LIVING AREA      | 1,547 |
| ENTRY            | 46    |
| GARAGE           | 649   |
| COVERED LANAI    | 296   |
| PAD              | 9     |
| DRIVEWAY         | 323   |
| A/C PAD          | 23    |
| PRIVATE SIDEWALK | 30    |
|                  | 2,923 |
| IMPERVIOUS       | 49%   |
| SOD              | 3,079 |

OFF LOT AREA CALCULATIONS

|                 |       |
|-----------------|-------|
| RIGHT OF WAY    | 650   |
| DRIVE APRON     | 232   |
| PUBLIC SIDEWALK | 170   |
| SOD             | 248   |
| TOTALS          |       |
| AREA            | 6,652 |
| DRIVEWAY        | 555   |
| SIDEWALK        | 200   |
| SOD             | 3,327 |

Property lies within Flood Zone X  
per Flood Insurance Rate Map Number: 12103C 0431F  
Effective Date: 9/26/14

- \* = 10' Utility Easement
- \*\* = Drainage/Access Easement (Size as Noted)
- (D) = Data per Description
- (P) = Plat Data
- (M) = Measured Data
- (C) = Calculated Data
- (R) = Radial Line
- PG.(s) = Pages (s)
- OR = Official Records Book
- PB = Plat Book
- DB = Deed Book
- FIR = Found Iron Rod 5/8" (LB 6472 unless noted)
- FPP = Found Pinched Pipe
- FOP = Found Open Pipe
- FCM = Found Concrete Monument(LB 6707)
- SIR = Set Iron Rod (5/8") & Cap (LB 6472)
- LB = Corporate Certificate Number
- LS = Professional Land Surveyor/Mapper
- N&D = Nail & Disk (LB 6472 unless noted)
- N/C = No Cap
- (XXXX) = Corner Marking
- ± = Plus or Minus (more or less)
- Ac. = Acres
- ESMT. = Easement
- C/C = Covered Concrete
- C/S = Concrete Slab
- CONC. = Concrete
- C/O = Sewer Cleanout
- CBS = Concrete Block Structure
- CLF = Chain Link Fence
- CL = Centerline
- E = Electric Control Box
- FH = Fire Hydrant
- F/S = Fiberglass Slab
- F/C = Fence Corner
- FIP = Found Iron Rod
- D/W = Driveway
- IRCV = Irrigation Control Valve
- LP = Light Pole
- OHW = Overhead Wires
- O/A = Overall
- PP = Power Pole
- NS = Not Set
- UE = Utility Easement
- R/W = Right-of-Way
- S/W = Sidewalk
- S/S = Styrofoam Slab
- T = Telephone Control Box
- TV = Cable Television Control Box
- WM = Water Meter
- W/C = Water Connection
- W/F = Wood Fence
- PCP = Permanent Control Point(LB 6707)
- WL = Wetland Line
- WSL = Wetland Setback Line
- (E) = Entry
- (L) = Lanai
- MEG = Match Existing Grade
- WCA = Wetland Conservation Area
- WCASL = Wetland Conservation Area Setback Line
- EPC = Environmental Protection Commission
- SWFWMD = Southwest Florida Water Management District

A SITE PLAN OF LOT 12, BLOCK 9, CHAPEL CROSSINGS PARCEL E,  
AS RECORDED IN PLAT BOOK 86, PAGES 133-138, OF THE PUBLIC RECORDS OF  
PASCO COUNTY, FLORIDA.

|                                       |       |                  |
|---------------------------------------|-------|------------------|
| DATES OF WORK                         |       | FORMBOARD TIE IN |
| SITE PLAN                             | DRAWN | FOUNDATION CHECK |
| 6/27/22                               | JA/ML |                  |
| BOUNDARY                              |       | FINAL            |
| ZARRA BOYD, INC.                      |       |                  |
| Land Surveying and Mapping            |       |                  |
| 1480 Beltrees, Dunedin, Florida 34698 |       |                  |
| (727)738-9010 Fax:(727)733-0083       |       |                  |
| LB 6472                               |       |                  |

I hereby certify that this survey meets the minimum technical standards as set forth by the Florida Board of Professional Land Surveyors in Chapter 5J-17.051, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes  
Survey not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper, except those with electronic signature and electronic seal.

Mark S. Lischalk  
PROFESSIONAL LAND SURVEYOR # 5727  
STATE OF FLORIDA