

# SUNSET LANDING

## A PLANNED UNIT DEVELOPMENT

A PORTION OF THE NE 1/4 OF THE SW 1/4, THE SE 1/4 OF THE SW 1/4, AND THE NW 1/4 OF THE SE 1/4, ALL IN SEC. 29, T. 27 N., R. 4 E., W.M.  
CITY OF MOUNTLAKE TERRACE, SNOHOMISH COUNTY, WASHINGTON

### DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS THAT, PHOENIX DEVELOPMENT, INC., A WASHINGTON CORPORATION, THE UNDERSIGNED OWNER(S), IN FEE SIMPLE OF THE LAND HEREBY PLATTED, AND FIRST MUTUAL BANK, THE MORTGAGEE THEREOF, HEREBY DECLARE THIS PLAT AND DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, AVENUES, PLACES AND UTILITY EASEMENTS OR WHATEVER PUBLIC PROPERTY THERE IS SHOWN ON THE PLAT, AND THE USE FOR ANY AND ALL PUBLIC PURPOSES NOT INCONSISTENT WITH THE USE THEREOF FOR PUBLIC HIGHWAY PURPOSES. ALSO, THE RIGHT TO MAKE ALL NECESSARY SLOPES FOR CUTS AND FILLS UPON LOTS, BLOCKS, TRACTS, ETC., SHOWN ON THIS PLAT IN THE REASONABLE ORIGINAL GRADING OF ALL THE STREETS, AVENUES, PLACES, ETC., SHOWN HEREON. ALSO, THE RIGHT TO DRAIN ALL STREETS OVER AND ACROSS ANY LOT OR LOTS WHERE WATER MIGHT TAKE A NATURAL COURSE AFTER THE STREET OR STREETS ARE GRADED. ALSO, ALL CLAIMS FOR DAMAGE AGAINST ANY GOVERNMENTAL AUTHORITY ARE WAIVED WHICH MAY BE OCCASIONED TO THE ADJACENT LAND BY THE ESTABLISHMENT, CONSTRUCTION, DRAINAGE, AND MAINTENANCE OF SAID ROADS.

FOLLOWING ORIGINAL REASONABLE GRADING OF ROADS AND WAYS HEREON, NO DRAINAGE WATERS ON ANY LOT OR LOTS SHALL BE DIVERTED OR BLOCKED FROM THEIR NATURAL COURSE SO AS TO DISCHARGE UPON ANY PUBLIC ROAD RIGHTS-OF-WAY TO HAMPER PROPER ROAD DRAINAGE. THE OWNER OF ANY LOT OR LOTS, PRIOR TO MAKING AN ALTERATION IN THE DRAINAGE SYSTEM AFTER THE RECORDING OF THE PLAT, MUST MAKE APPLICATION TO AND RECEIVE APPROVAL FROM THE CITY OF MOUNTLAKE TERRACE FOR SAID ALTERATION. ANY ENCLOSING OF DRAINAGE WATERS IN CULVERTS OR DRAINS OR REROUTING THEREOF ACROSS ANY LOT AS MAY BE UNDERTAKEN BY OR FOR THE OWNER OF ANY LOT SHALL BE DONE BY AND AT THE EXPENSE OF SUCH OWNER, AFTER ACQUIRING A CIVIL SITE ENGINEERING PERMIT FROM THE CITY OF MOUNTLAKE TERRACE COMMUNITY DEVELOPMENT DEPARTMENT, IF REQUIRED, AND SUBJECT TO ANY OTHER EXISTING PERMITTING REQUIREMENTS THEREFOR.

TRACTS 997 (RECREATION AREA/OPEN SPACE), TRACT 998 (OPEN SPACE/LANDSCAPE) AND TRACT 999 (OPEN SPACE/NGPA) ARE HEREBY GRANTED AND CONVEYED TO THE SUNSET LANDING HOMEOWNERS ASSOCIATION (HOA) UPON RECORDING OF THIS PLAT SUBJECT TO AN EMERGENCY MAINTENANCE EASEMENT GRANTED AND CONVEYED TO THE CITY OF MOUNTLAKE TERRACE. OWNERSHIP AND MAINTENANCE OF SAID TRACTS CONSISTENT WITH CITY CODE SHALL BE THE RESPONSIBILITY OF THE HOA UNLESS AND UNTIL TRACT OWNERSHIP BY ALL LOTS WITHIN THIS SUBDIVISION IS AUTHORIZED PURSUANT TO A FINAL PLAT ALTERATION. USE OF SAID TRACTS IS RESTRICTED TO THAT SPECIFIED IN THE APPROVED FINAL PLAT. THE HOA AND THE OWNERS OF ALL LOTS WITHIN THE SUBDIVISION SHALL COMPLY WITH THOSE CITY REGULATIONS AND CONDITIONS OF FINAL SUBDIVISION APPROVAL SPECIFIED ON THE PLAT. THE HOA SHALL REMAIN IN EXISTENCE UNLESS AND UNTIL ALL LOTS WITHIN THIS SUBDIVISION HAVE ASSUMED COMMON OWNERSHIP OF SAID TRACTS. IN THE EVENT THAT THE HOA SHOULD BE DISSOLVED, THEN EACH LOT SHALL HAVE AN EQUAL AND UNDIVIDED OWNERSHIP INTEREST IN THE TRACTS PREVIOUSLY OWNED BY THE HOA AS WELL AS RESPONSIBILITY FOR MAINTAINING THE TRACTS. MEMBERSHIP IN THE HOA AND PAYMENT OF DUES OR OTHER ASSESSMENTS FOR MAINTENANCE PURPOSES SHALL BE A REQUIREMENT OF LOT OWNERSHIP, AND SHALL REMAIN AN APPURTENANCE TO AND INSEPARABLE FROM EACH LOT. THIS COVENANT SHALL BE BINDING UPON AND INURE TO THE BENEFIT OF THE HOA, THE OWNERS OF ALL LOTS WITHIN THE SUBDIVISION AND ALL OTHERS HAVING ANY INTEREST IN THE TRACTS OR LOTS.

IN WITNESS WHEREOF, WE SET OUR HANDS AND SEALS THIS 28<sup>th</sup> DAY OF MARCH, 2005

PHOENIX DEVELOPMENT, INC., A WASHINGTON CORPORATION

BY: Robert P. Vick TITLE: SENIOR VICE - PRESIDENT

FIRST MUTUAL BANK

BY: James R. Boudreau TITLE: EXEC. VP

### ACKNOWLEDGMENTS

STATE OF WASHINGTON

COUNTY OF Snohomish } SS

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT Robert P. Vick IS THE PERSON WHO APPEARED BEFORE ME, AND SAID PERSON ACKNOWLEDGED THAT (HE/SHE) SIGNED THIS INSTRUMENT, ON OATH STATED THAT (HE/SHE) WAS AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED IT AS THE Senior Vice President OF PHOENIX DEVELOPMENT, INC., A WASHINGTON CORPORATION, TO BE THE FREE AND VOLUNTARY ACT OF SUCH PARTY FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

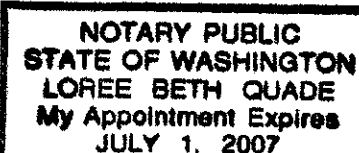
DATED THIS 28<sup>th</sup> DAY OF MARCH, 2005

SIGNED: Loree Beth Guade  
NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON

Loree Beth Guade  
(NOTARY NAME TO BE PRINTED)

RESIDING AT Camano Island

MY APPOINTMENT EXPIRES 7/1/07



STATE OF WASHINGTON

COUNTY OF King } SS

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT James R. Boudreau IS THE PERSON WHO APPEARED BEFORE ME, AND SAID PERSON ACKNOWLEDGED THAT (HE/SHE) SIGNED THIS INSTRUMENT, ON OATH STATED THAT (HE/SHE) WAS AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED IT AS THE Exec. VP OF FIRST MUTUAL BANK, TO BE THE FREE AND VOLUNTARY ACT OF SUCH PARTY FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

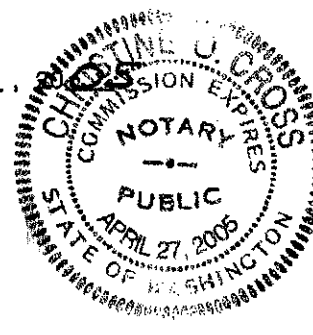
DATED THIS 30<sup>th</sup> DAY OF MARCH

SIGNED: Christine O. Cross  
NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON

Christine O. Cross  
(NOTARY NAME TO BE PRINTED)

RESIDING AT Redmond

MY APPOINTMENT EXPIRES 4/27/05



### LEGAL DESCRIPTION

PARCEL 1:  
THE WEST 288.94 FEET OF THE EAST 497.66 FEET OF THE SOUTH 264 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M.

PARCEL 2:  
NEW PARCEL G ACCORDING TO THE CITY OF MOUNTLAKE TERRACE BOUNDARY LINE ADJUSTMENT NO. PLL030002-2, RECORDED UNDER AUDITOR'S FILE NO. 200502185003.

PARCEL 3:  
COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON; THENCE SOUTH 104.36 FEET; THENCE WEST 104.36 FEET; THENCE NORTH 104.36 FEET; THENCE EAST 104.36 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL 4:  
ALL THAT PORTION OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SOUTHEAST 1/4 OF THE SOUTHWEST 1/4; THENCE SOUTH 208.71 FEET; THENCE WEST 208.71 FEET; THENCE NORTH 208.71 FEET; THENCE EAST 208.71 FEET TO THE TRUE POINT OF BEGINNING;  
EXCEPT THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M.; THENCE SOUTH 104.36 FEET; THENCE WEST 104.36 FEET; THENCE NORTH 104.36 FEET; THENCE EAST 104.36 FEET TO THE TRUE POINT OF BEGINNING.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

### RESTRICTIONS AND GENERAL NOTES

1. NO LOT OR PORTION OF A LOT IN THIS PLAT SHALL BE DIVIDED AND SOLD OR RESOLD OR OWNERSHIP CHANGED OR TRANSFERRED WHEREBY THE OWNERSHIP OF ANY PORTION OF THIS PLAT SHALL BE LESS THAN THE AREA REQUIRED FOR THE USE DISTRICT IN WHICH LOCATED. NO FURTHER SUBDIVISION OF ANY LOT WITHOUT RESUBMITTING FOR FORMAL PLAT PROCEDURE.
2. THIS PLAT SHALL NOT BE A GATED COMMUNITY.
3. THE GENERAL PUBLIC SHALL FOREVER BE ALLOWED ACCESS TO, AND USE OF, THE OPEN SPACE/RECREATION AREAS IN TRACT 997, SUBJECT TO THE PLANNED UNIT DEVELOPMENT (PUD) PROVISION TO GRANT THE GENERAL PUBLIC USE AND ENJOYMENT ACCESS RIGHTS. IT SHALL BE THE RESPONSIBILITY OF THE SUNSET LANDING HOMEOWNERS ASSOCIATION TO MAINTAIN THE COMMON IMPROVEMENTS FOR THE USE AND ENJOYMENT OF ALL AT THE SOLE EXPENSE OF SAID HOMEOWNERS ASSOCIATION.
4. ROOF AND FOOTING DRAIN CONVEYANCE SYSTEMS SHALL BE MAINTAINED BY THE LOT OWNER, INSIDE AS WELL AS OUTSIDE OF RIGHT-OF-WAY.
5. ALL LANDSCAPED AREAS IN PUBLIC RIGHTS-OF-WAY SHALL BE MAINTAINED BY THE OWNER(S) OR THEIR SUCCESSOR(S) AND MUST BE REDUCED OR ELIMINATED AT THE REQUEST OF THE CITY IF DEEMED NECESSARY FOR CITY ROAD PURPOSES.
6. THIS PLAT IS SUBJECT TO PUD EASEMENTS FOR ELECTRIC TRANSMISSION PER A.F. NOS. 8201130063 AND 8408280074. THE DESCRIPTIONS CONTAINED THEREIN ARE NOT SUFFICIENT TO DETERMINE THEIR EXACT LOCATION WITHIN THE WEST PORTION OF TRACT 999.
7. THIS PLAT IS SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, AGREEMENTS AND NOTES, PER CITY OF MOUNTLAKE TERRACE SHORT PLAT, AFN 9308305002.
8. THIS PLAT IS SUBJECT TO PRIVATE ROAD MAINTENANCE PROVISIONS, AND THE TERMS, CONDITIONS AND OBLIGATIONS THEREOF PER CITY OF MOUNTLAKE TERRACE SHORT PLAT, AFN 9308305002.
9. THIS PLAT IS SUBJECT TO AN EASEMENT FOR THE USE OF EXISTING PARKING, PER AFN 9312160851. THE DESCRIPTION CONTAINED THEREIN IS NOT SUFFICIENT TO DETERMINE ITS EXACT LOCATION WITHIN THE WEST PORTION OF TRACT 999.
10. THIS PLAT IS SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, DEDICATIONS, AGREEMENTS, EASEMENTS, MAINTENANCE PROVISIONS AND NOTES, PER RECORD OF SURVEY AND BOUNDARY LINE ADJUSTMENT PER AFN 200407135118.
11. EACH LOT OWNER, AS A CONDITION OF OWNERSHIP OF SAID LOT IN THE PLAT OF SUNSET LANDING AND BY TAKING TITLE TO SAID LOT, SHALL UNCONDITIONALLY AND FOREVER WAIVE HIS/HER INDIVIDUAL RIGHT TO PROTEST THE HEIGHT OF ANY FUTURE BUILDING WHICH MAY BE CONSTRUCTED UPON THE PROPERTY LYING IMMEDIATELY TO THE WEST OF THE NORTH 537.75 FEET OF THE PLAT OF SUNSET LANDING.
12. THE COSTS ASSOCIATED WITH SHARED MAINTENANCE AND REPAIR OF THE OFF-SITE DETENTION POND FACILITY AS SET FORTH IN THAT CERTAIN AGREEMENT ENTERED INTO BETWEEN PHOENIX DEVELOPMENT, INC., THE WASHINGTON ICE SKATING ASSOCIATION AND THE SCOTT FAMILY TRUST AND RECORDED UNDER SNOHOMISH COUNTY AFN 200409070990.
13. THIS PLAT IS SUBJECT TO AN AGREEMENT FOR AN OFF-SITE STORM DRAINAGE EASEMENT LYING ADJACENT TO THE EAST MARGIN OF 70TH AVE. W., PER AFN 200503170469.
14. THIS PLAT IS SUBJECT TO AN AGREEMENT FOR AN OFF-SITE STORM WATER DETENTION FACILITIES EASEMENT, PER AFN 200503170470.
15. THIS PLAT IS SUBJECT TO AN AGREEMENT FOR AN OFF-SITE STORM DRAINAGE EASEMENT MODIFICATION, PER AFN 200503170471.
16. THIS PLAT IS SUBJECT TO AN AGREEMENT FOR AN OFF-SITE STORM DRAINAGE EASEMENT MODIFICATION AND RESTATEMENT, PER AFN 200503170472.
17. THIS PLAT IS SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED UNDER AFN 200503170468.

Scans: scans021950.pdf

### AUDITOR'S CERTIFICATE

FILED FOR RECORD AT THE REQUEST OF THE CITY OF MOUNTLAKE TERRACE  
THIS 5 DAY OF April, A.D., 2005 AT 3:43 MINUTES  
PAST 0 O'CLOCK RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

AFN 200504056005

Bob Terwilliger  
AUDITOR, SNOHOMISH COUNTY

BY: DeSaunja  
DEPUTY COUNTY AUDITOR

### APPROVALS

EXAMINED AND APPROVED AS TO THE SURVEY DATA, THE LAYOUT OF STREETS, ALLEYS AND OTHER RIGHT-OF-WAY, THE DESIGN OF BRIDGES, THE SEWAGE AND WATER SYSTEMS, AND OTHER STRUCTURES, THIS 4 DAY OF April, A.D., 2005.

William H. VanRy  
CITY ENGINEER

EXAMINED AND APPROVED THIS 4 DAY OF April, A.D., 2005

CITY COUNCIL  
CITY OF MOUNTLAKE TERRACE

Jerry Smith  
MAYOR: JERRY SMITH  
Virginia V. Olson  
ATTEST: Virginia V. Olson  
CITY CLERK

### TREASURER'S CERTIFICATES

I, Mike Horton, TREASURER OF THE CITY OF MOUNTLAKE TERRACE, WASHINGTON, DO HEREBY CERTIFY THAT THERE ARE NO OUTSTANDING LIEN ASSESSMENTS ON ANY PORTION OF THE ABOVE DESCRIBED TRACT WHICH, UNDER THE SUBDIVISION THEREOF, BECOME PUBLIC STREETS, ALLEYS, OR OTHER PUBLIC PLACES, AND THAT THE RECORDS WERE EXAMINED THIS 31 DAY OF MARCH, 2005.

Mike Horton  
TREASURER  
CITY OF MOUNTLAKE TERRACE

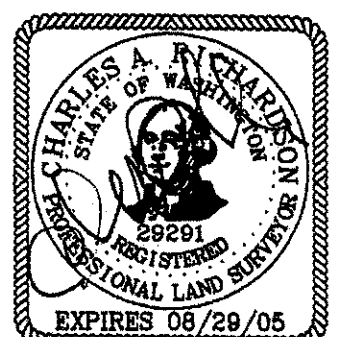
I, Bob Dantini, TREASURER OF SNOHOMISH COUNTY, WASHINGTON, DO HEREBY CERTIFY THAT ALL TAXES AND DELINQUENT ASSESSMENTS ON THE ABOVE DESCRIBED TRACT HAVE BEEN FULLY PAID-UP TO AND INCLUDING THE YEAR 2005.

Bob Dantini  
TREASURER, SNOHOMISH COUNTY  
BY: Kimberly Hurd 3-28-05  
DEPUTY TREASURER 4-5-05 KH

### SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PLAT OF SUNSET LANDING IS BASED ON AN ACTUAL SURVEY AND SUBDIVISION OF SECTION 29, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., AS REQUIRED BY STATE STATUTES; THAT THE DISTANCES, COURSES AND ANGLES ARE SHOWN THEREON CORRECTLY; THAT THE MONUMENTS SHALL BE SET AND LOT AND BLOCK CORNERS SHALL BE STAKED CORRECTLY ON THE GROUND; AND THAT I FULLY COMPLIED WITH THE PROVISIONS OF THE STATE AND LOCAL STATUTES AND REGULATIONS GOVERNING PLATTING.

Charles A. Richardson 03/28/05  
DATE  
CHARLES A. RICHARDSON,  
REGISTERED PROFESSIONAL LAND SURVEYOR  
CERTIFICATION NO. 29291



### SUNSET LANDING

A PORTION OF THE NE 1/4 OF THE SW 1/4, THE SE 1/4 OF THE SW 1/4, AND THE NW 1/4 OF THE SE 1/4, ALL IN SEC. 29, T. 27 N., R. 4 E., W.M.  
CITY OF MOUNTLAKE TERRACE,  
SNOHOMISH COUNTY, WASHINGTON

**SUMMIT**  
**SURVEYING**

12606-82ND AVE. N.E., KIRKLAND, WA 98034 (425) 814-8487

SHEET 1 OF 4

A.F. NO. 200504055005

# SUNSET LANDING

## A PLANNED UNIT DEVELOPMENT

A PORTION OF THE NE 1/4 OF THE SW 1/4, THE SE 1/4 OF THE SW 1/4, AND THE NW 1/4 OF THE SE 1/4, ALL IN SEC. 29, T. 27 N., R. 4 E., W.M.  
CITY OF MOUNTLAKE TERRACE, SNOHOMISH COUNTY, WASHINGTON

### EASEMENT PROVISIONS

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO SNOHOMISH COUNTY P.U.D. NO. 1, VERIZON NORTHWEST, PUGET SOUND ENERGY, CABLE T.V. AND THE CITY OF MOUNTLAKE TERRACE (SEWER AND WATER) AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, UNDER AND UPON THE EXTERIOR 10 FEET PARALLEL WITH AND ADJOINING THE STREET FRONTAGE OF ALL LOTS, TRACTS AND PARCELS IN WHICH TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE AND MAINTAIN UNDERGROUND CONDUITS, CABLES, PIPE, AND WIRES WITH NECESSARY FACILITIES AND OTHER EQUIPMENT FOR THE PURPOSE OF SERVING THIS SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC, TELEPHONE, GAS AND UTILITY SERVICES TOGETHER WITH THE RIGHT TO ENTER UPON THE LOTS, TRACTS AND PARCELS AT ALL TIMES FOR THE PURPOSES HEREIN STATED.

NO LINES OR WIRES FOR THE TRANSMISSION OF ELECTRIC CURRENT OR FOR TELEPHONE USE, CATV, FIRE OR POLICE SIGNALS, OR FOR OTHER PURPOSES SHALL BE PERMITTED TO BE PLACED UPON ANY LOT OUTSIDE THE BUILDINGS THEREON UNLESS THE SAME SHALL BE UNDERGROUND OR IN CONDUIT ATTACHED TO THE BUILDING.

ALL LOTS ARE SUBJECT TO PRIVATE DRAINAGE EASEMENTS. REFER TO C.C. & R.'S RECORDED UNDER AUDITOR'S FILE NO. 200503170468.

### PRIVATE UTILITY EASEMENT PROVISIONS

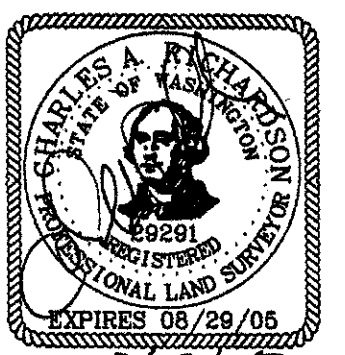
1. THE PRIVATE UTILITY EASEMENT SHOWN ACROSS TRACT 998 AND 999 IS HEREBY GRANTED AND CONVEYED TO LOT 1 FOR THE PURPOSE OF STORM DRAINAGE AND SANITARY SEWER. THE 15 FOOT WIDE PRIVATE UTILITY EASEMENT SHOWN ACROSS TRACT 997 IS HEREBY GRANTED AND CONVEYED TO LOT 16 FOR THE PURPOSE OF STORM DRAINAGE AND SANITARY SEWER. THE OWNERS OF SAID LOTS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND/OR RECONSTRUCTION OF THAT PORTION OF THE PRIVATE STORM DRAINAGE AND SANITARY SEWER FACILITIES THEY HAVE BENEFIT OF USE.

2. THE PRIVATE STORM DRAINAGE EASEMENT SHOWN ACROSS LOT 15 IS HEREBY GRANTED AND CONVEYED TO LOT 14. THE OWNERS OF SAID LOTS 14 AND 15 SHALL BE EQUALLY RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND/OR RECONSTRUCTION OF THAT PORTION OF THE PRIVATE DRAINAGE FACILITIES THEY HAVE BENEFIT OF USE, EXCEPT NO OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND/OR RECONSTRUCTION OF THAT PORTION OF THE COMMONLY USED STORM SEWER LOCATED UPSTREAM FROM THE POINT OF CONNECTION OF THAT RESPECTIVE LOT OWNER.

3. THE PRIVATE SANITARY SEWER EASEMENT SHOWN ACROSS LOT 14 IS HEREBY GRANTED AND CONVEYED TO THE ADJOINING PROPERTY LYING IMMEDIATELY SOUTH OF SAID LOT 14. THE OWNERS OF SAID ADJOINING PROPERTY SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND/OR RECONSTRUCTION OF THAT PORTION OF THE PRIVATE SEWER FACILITY THEY HAVE BENEFIT OF USE, AND WHEN NECESSARY TO REPAIR, CLEAN OR RECONSTRUCT THE SEWER, THE OWNERS OF SAID PROPERTY SHALL HAVE A RIGHT OF ENTRY FOR THAT PURPOSE.

### NATIVE GROWTH PROTECTION AREA (N.G.P.A.) PROVISIONS

THE NATIVE GROWTH PROTECTION AREA AND EASEMENT IS SITUATED IN TRACT 999 OF THIS SUBDIVISION. ALL LOTS WITHIN THE SUBDIVISION ARE SUBJECT TO THE FOLLOWING MAINTENANCE AND ENFORCEMENT REGULATIONS: TO WIT: FENCING ON LOTS SHALL BE PLACED ON THE N.G.P.A. BOUNDARY AT ALL TIMES TO PROTECT IT FROM NORMAL RESIDENTIAL USE IMPACTS AND ALLOW IT TO GROW IN A NATURAL STATE. THERE SHALL BE NO TREE TRIMMING, TREE TOPPING, TREE CUTTING OR REMOVAL, NOR SHRUB OR BRUSH CUTTING OR REMOVING, NOR APPLICATION OF PESTICIDES, HERBICIDES, OR FERTILIZERS, NOR CONSTRUCTION, CLEARING, DUMPING OR YARD CLIPPINGS OR OTHER DEBRIS, OR ALTERATION, ACTIVITIES WITHIN THE ENTIRE NATIVE GROWTH PROTECTION AREA. THERE SHALL BE NO DISTURBANCE OR ALTERATION MADE TO THE N.G.P.A. WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY OF MOUNTLAKE TERRACE. APPLICATION FOR SUCH WRITTEN APPROVAL IS TO BE MADE TO THE MOUNTLAKE TERRACE COMMUNITY DEVELOPMENT DEPARTMENT OR DESIGNATED REPRESENTATIVE WHO MAY REQUIRE INSPECTION OF THE PREMISES BOTH BEFORE ISSUANCE OF THE WRITTEN APPROVAL AND FOLLOWING COMPLETION OF THE ACTIVITIES. THE DEPARTMENT MAY ALSO REQUIRE RESTORATION OF THE AFFECTED AREA TO EFFECTIVELY RE-ESTABLISH COMPATIBLE VEGETATION. REMOVAL OF DAMAGED OR FALLEN VEGETATION OR DEBRIS MAY ALSO BE REQUIRED. A REPLACEMENT/RE-VEGETATION PLAN SHALL BE SUBMITTED TO THE COMMUNITY DEVELOPMENT DEPARTMENT FOR REVIEW AND APPROVAL AS REQUIRED. ANY PERSON CONDUCTING OR AUTHORIZING ACTIVITY IN VIOLATION OF THIS PARAGRAPH OR THE TERMS OF ANY WRITTEN APPROVAL ISSUED PURSUANT HERETO, SHALL BE SUBJECT TO THE ENFORCEMENT PROVISIONS OF THE MOUNTLAKE TERRACE MUNICIPAL CODE.



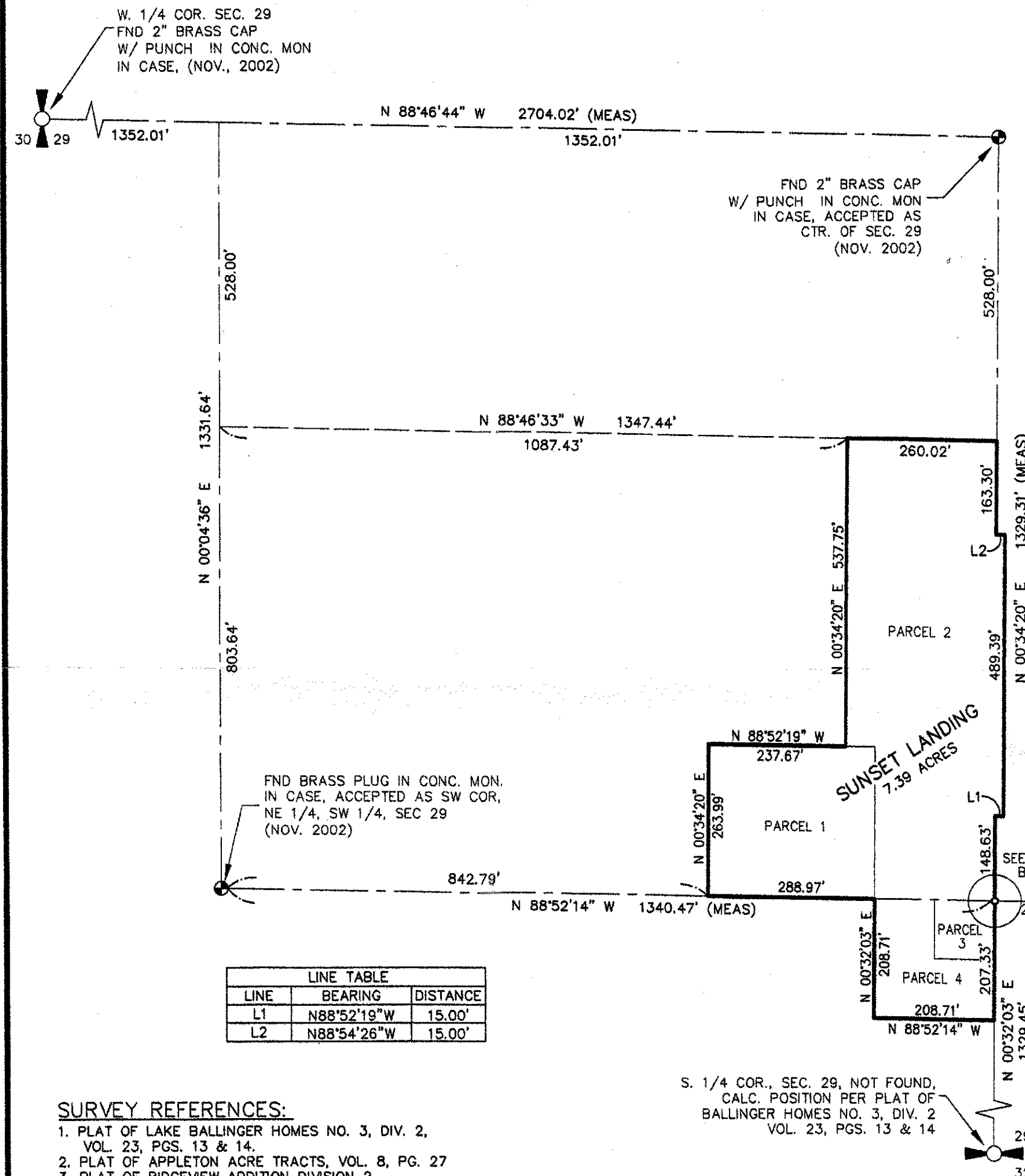
### SUNSET LANDING

A PORTION OF THE NE 1/4 OF THE SW 1/4, THE SE 1/4 OF THE SW 1/4, AND THE NW 1/4 OF THE SE 1/4, ALL IN SEC. 29, T. 27 N., R. 4 E., W.M.  
CITY OF MOUNTLAKE TERRACE, SNOHOMISH COUNTY, WASHINGTON

**SUMMIT SURVEYING**

12606-82ND AVE. N.E., KIRKLAND, WA 98034 (425) 814-8487

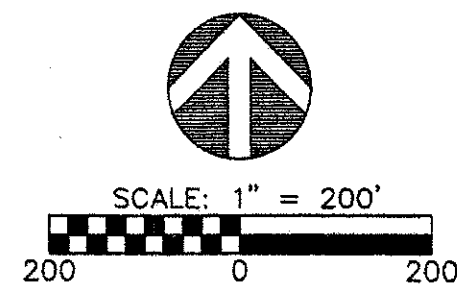
SHEET 2 OF 4



#### SURVEY REFERENCES:

1. PLAT OF LAKE BALLINGER HOMES NO. 3, DIV. 2, VOL. 23, PGS. 13 & 14.
2. PLAT OF APPLETON ACRE TRACTS, VOL. 8, PG. 27
3. PLAT OF RIDGEVIEW ADDITION DIVISION 2, VOL. 18, PG. 10.
4. PLAT OF GREENRIDGE, VOL. 34, PG. 92.
5. RECORD OF SURVEY, AFN 9107245015.
6. RECORD OF SURVEY, AFN 9610175006.
7. RECORD OF SURVEY, AFN 200203265001.
8. RECORD OF SURVEY, AFN 8804275001.

#### SURVEY CONTROL AND PARTIAL SUBDIVISION OF SECTION 29, T. 27 N., R. 4 E., W.M.



#### BASIS OF BEARING:

HELD BEARING OF N 88°52'19" W BETWEEN FOUND MONUMENTS ALONG 224TH ST. SW, PER RECORD OF SURVEY, AFN 9107245015.

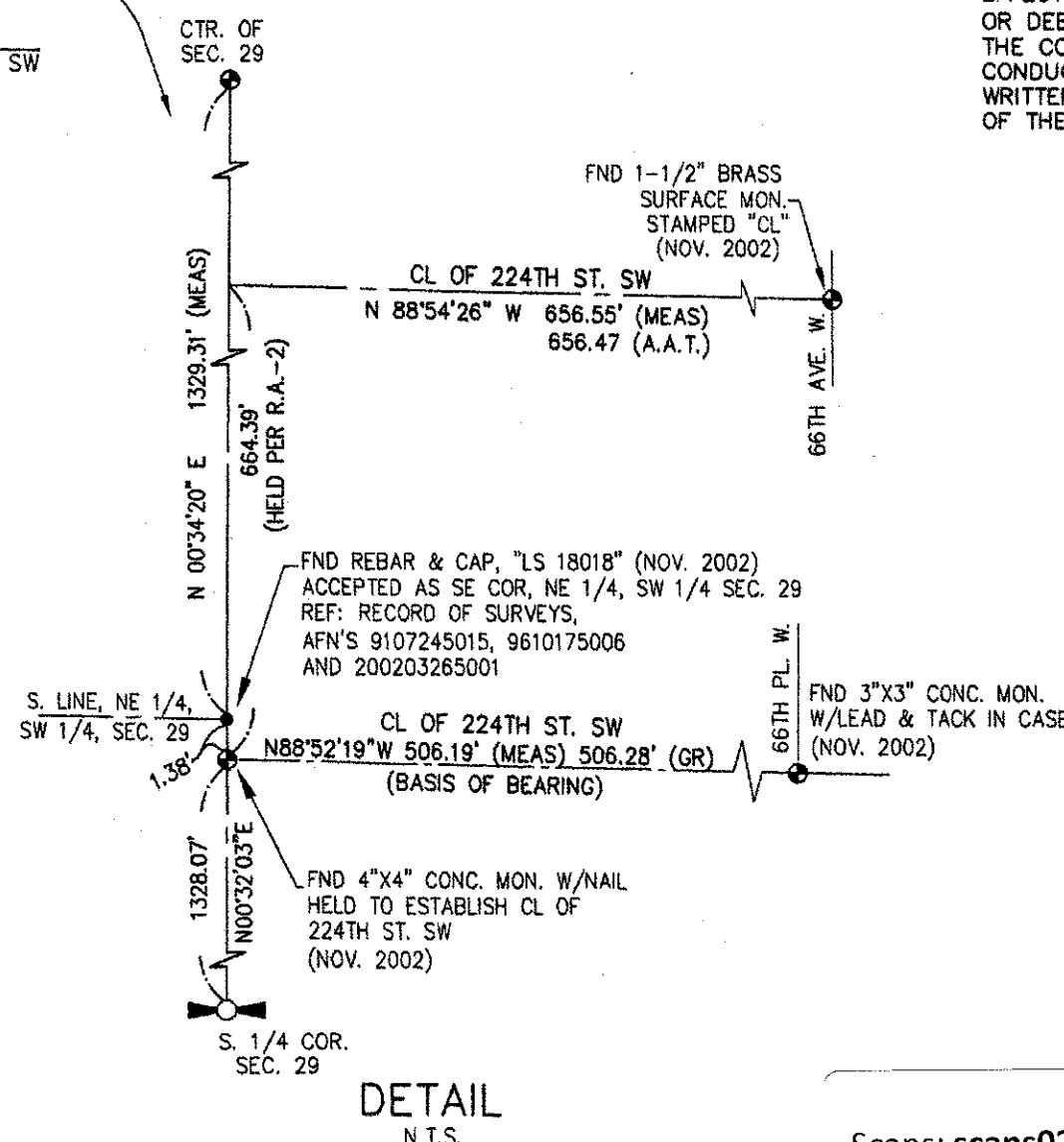
EQUIPMENT USED:  
5-SECOND THEODOLITE W/ELECTRONIC DISTANCE METER

METHOD: FIELD TRAVERSE

ACCURACY:  
MEETS OR EXCEEDS STANDARDS SET BY W.A.C. 332-130-090

#### LEGEND

- A.A.T. .... PLAT OF APPLETON ACRE TRACTS  
V. 8, PG. 27
- GR ..... PLAT OF GREENRIDGE  
V. 34, PG. 92
- R.A.-2 ..... PLAT OF RIDGEVIEW ADDITION DIVISION 2  
V. 18, PG. 10



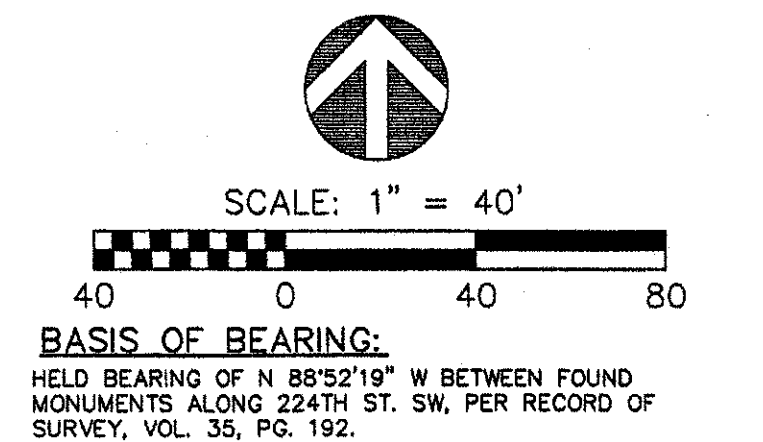
DETAIL  
N.T.S.

Scans: scans021951.pdf

A.F. NO. 200504055005



A PORTION OF THE NE 1/4 OF THE SW 1/4, THE SE 1/4 OF THE SW 1/4, AND THE NW 1/4 OF THE SE 1/4, ALL IN SEC. 29, T. 27 N., R. 4 E., W.M.  
CITY OF MOUNTLAKE TERRACE, SNOHOMISH COUNTY, WASHINGTON



EQUIPMENT USED:  
5-SECOND THEODOLITE W/ELECTRONIC DISTANCE METER

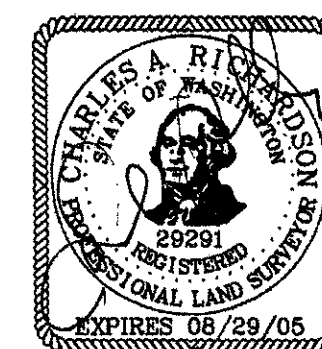
METHOD: FIELD TRAVERSE

ACCURACY:  
MEETS OR EXCEEDS STANDARDS SET BY  
W.A.C. 332-130-090

### LEGEND

- ① . . . . . STANDARD SNOHOMISH COUNTY  
ROAD MONUMENT IN CASE,  
STAMPED LS NO. "729291"  
(TO BE SET AS CONSTRUCTION  
IS COMPLETED)
- . . . . . 1/2" X 24" REBAR &  
PLASTIC CAP "SSI LS 29291"  
(TO BE SET AS CONSTRUCTION  
IS COMPLETED)
- . . . . . FND. PROPERTY CORNER AS NOTED  
(IN NOVEMBER 2002)
- NGPA. . . . . NATIVE GROWTH PROTECTION AREA
- M.L.T. . . . . CITY OF MOUNTLAKE TERRACE
- . . . . . FOUND MONUMENT, AS NOTED ON SHEET 2

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N88°54'26"W	15.00'
L2	N88°54'26"W	14.32'



Scans: scans021952.pdf

SUNSET LANDING

A PORTION OF THE NE 1/4 OF THE SW 1/4,  
THE SE 1/4 OF THE SW 1/4, AND THE NW 1/4 OF THE  
SE 1/4, ALL IN SEC. 29, T. 27 N., R. 4 E., W.M.  
CITY OF MOUNTLAKE TERRACE,  
SNOHOMISH COUNTY, WASHINGTON



## SUMMIT SURVEYING

12606-82ND AVE. N.E., KIRKLAND, WA 98034 (425) 814-8487

SHEET 3 OF 4

A.F. NO. 200504055005

A PLANNED UNIT DEVELOPMENT

NEW PARCEL A  
PER BLA NO. PPL030002  
AFN 200407135118

SEE SHEET 3 OF 4  
8



SCALE: 1" = 40'



BASIS OF BEARING:  
HELD BEARING OF N 88°52'19" W BETWEEN FOUND  
MONUMENTS ALONG 224TH ST. SW, PER RECORD OF  
SURVEY, VOL. 35, PG. 192.

EQUIPMENT USED:  
5-SECOND THEODOLITE W/ELECTRONIC  
DISTANCE METER

METHOD: FIELD TRAVERSE

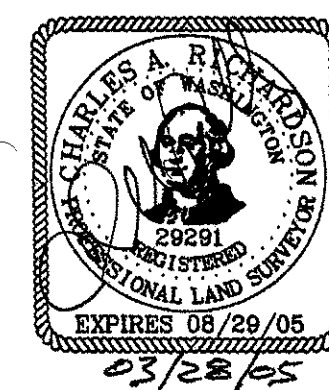
ACCURACY:  
MEETS OR EXCEEDS STANDARDS SET BY  
W.A.C. 332-130-090

### LEGEND

- . . . STANDARD SNOHOMISH COUNTY  
ROAD MONUMENT IN CASE,  
STAMPED LS NO. "29291"  
(TO BE SET AS CONSTRUCTION  
IS COMPLETED)
- . . . 1/2" X 24" REBAR &  
PLASTIC CAP "SSI LS 29291"  
(TO BE SET AS CONSTRUCTION  
IS COMPLETED)
- . . . FND. PROPERTY CORNER AS NOTED  
(IN NOVEMBER, 2002)
- NGPA. . . . NATIVE GROWTH PROTECTION AREA
- M.L.T.. . . . CITY OF MOUNTLAKE TERRACE
- . . . . FOUND MONUMENT, AS NOTED ON SHEET 2

CURVE	DELTA	LENGTH	RADIUS
C1	86°29'09"	22.64'	15.00'
C2	02°05'42"	3.66'	100.00'
C3	11°12'15"	19.55'	100.00'
C4	22°48'40"	7.32'	18.50'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N88°52'19"W	15.00'
L2	N88°52'19"W	15.73'
L3	N00°32'03"E	1.38'
L4	N88°52'19"W	15.49'
L5	N62°21'08"E	9.98'
L6	N01°07'46"E	11.59'
L7	N88°52'14"W	7.31'
L8	N00°32'03"E	13.03'
L9	N88°52'14"W	14.62'
L10	N15°00'42"E	20.00'



SUNSET LANDING

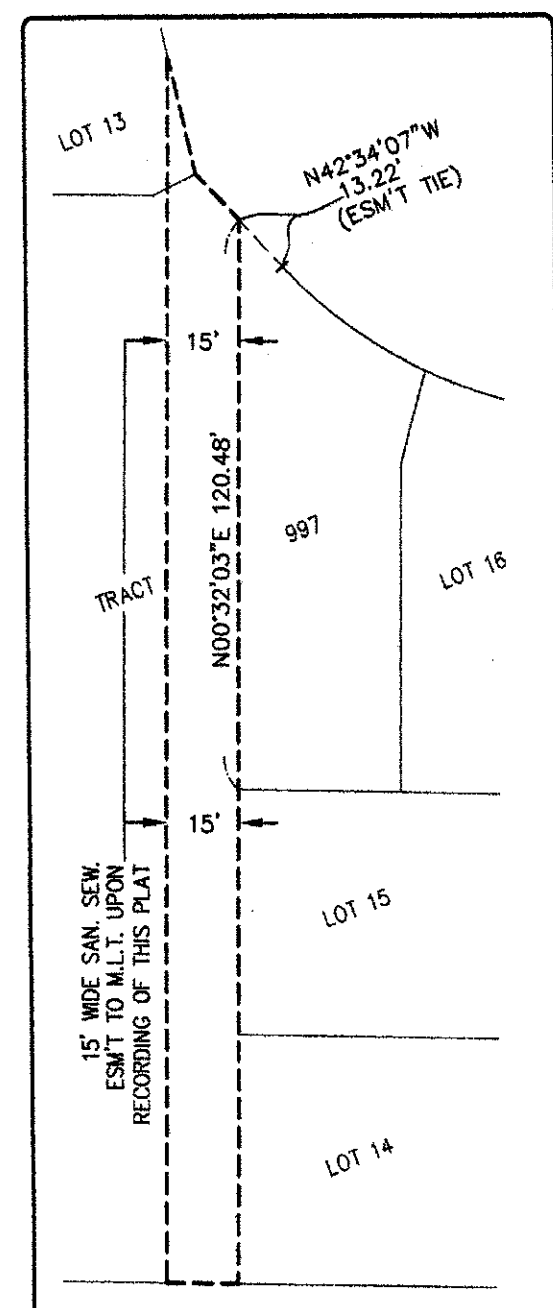
A PORTION OF THE NE 1/4 OF THE SW 1/4,  
THE SE 1/4 OF THE SW 1/4, AND THE NW 1/4 OF THE  
SE 1/4, ALL IN SEC. 29, T. 27 N., R. 4 E., W.M.  
CITY OF MOUNTLAKE TERRACE,  
SNOHOMISH COUNTY, WASHINGTON



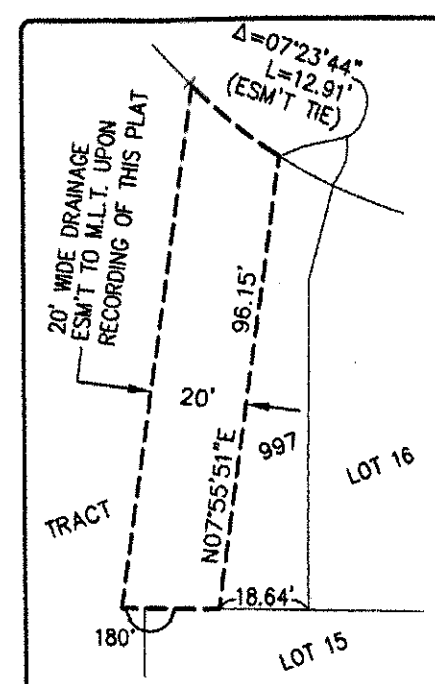
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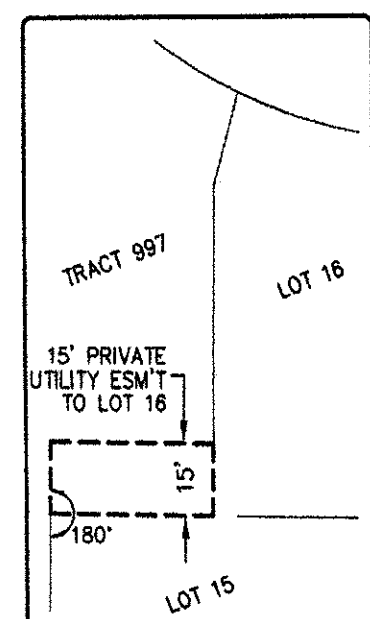
SHEET 4 OF 4



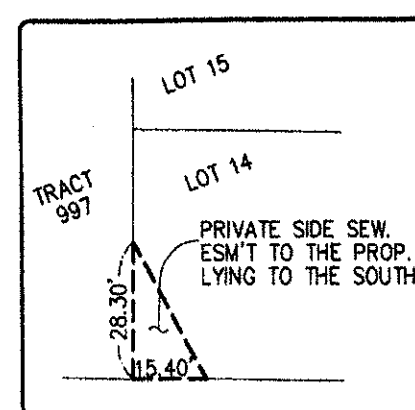
EASEMENT DETAIL "A"  
SANITARY SEWER EASEMENT



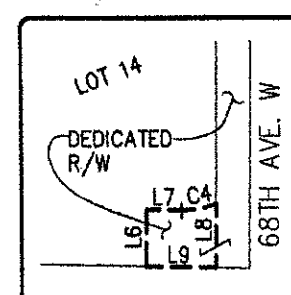
EASEMENT DETAIL "B"  
STORM DRAINAGE EASEMENT



EASEMENT DETAIL "C"  
PRIVATE UTILITY EASEMENT  
(SEE PROVISION ON SHEET 2)



EASEMENT DETAIL "D"  
PRIVATE SIDE SEWER EASEMENT  
(SEE PROVISION ON SHEET 2)



DETAIL "E"  
THIS PORTION HEREBY DEDICATED TO  
THE PUBLIC FOR ROAD PURPOSES

UNPLATTED

UNPLATTED

S. 1/4 COR.  
SEC. 29  
(SEE SHEET 2)

A.F. NO. 200504055005