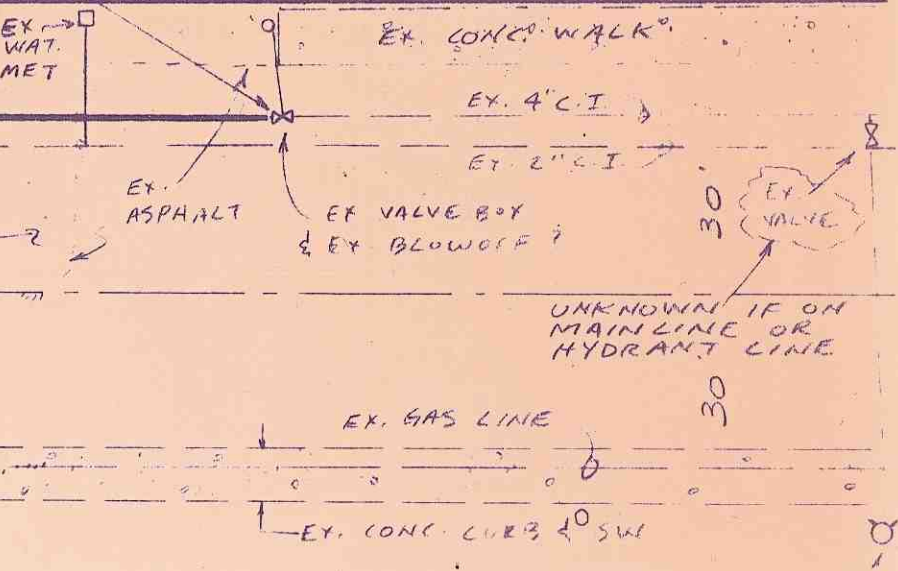


# GENERAL NOTES

SEE NOTES SHEET 5. AND DETAILS SHEET 6.

CONNECT TO EX. 4" CI. REMOVE END CAP, BLOCKING & BLOWOFF EXTEND WITH 4" DI ONLY CITY PERSONNEL TO TURN OFF ON WATER SERVICES.



REMOVE ~40' L.F. CURB & GUTTER, AND REPLACE WITH NEW CURB WITH 2" DI DRIVEWAY CURB CUT ADJOINING THE SITE (22') ENTRANCE WITH WHEEL-CHAIR/BARRIER FREE CUT ADJOINING THE NEW SIDEWALK WITH NO LIP FOR 5' EAST OF SIDEWALK TO ALLOW DRAINAGE OF ROAD (SIMILAR TO EXISTING SYSTEM LOCATED WHERE NEW SIDEWALK WILL BE).

EXISTING ASPHALT DRAINAGE PATH, APPROX. 4' WIDE X 6' LONG, CARRIES RUNOFF FROM ROAD ONTO SUBSTATION SITE. REMOVE IT, AND RECONSTRUCT IT EAST OF NEW SIDEWALK.

DEVELOPER TO SAVE & PROTECT EXISTING TREES. NO GRADING, CONSTRUCTION OR STORAGE OF MATERIALS ALLOWED WITHIN DRIPLINE OF THE TREES.

EXISTING HEDGE FOLLOWS ALONG E.F. IN A PLANTING STRIP ON THE ADJACENT PUD PROPERTY. RESTORE, STABILIZE AND REVEGETATE ANY PORTION OF THE PLANTING STRIP THAT IS DAMAGED OR DISTURBED DURING CONSTRUCTION.

PAINT "NO PARKING" IN TURN-AROUND AREA AND NEAR ROAD ENTRANCE. 4" WIDE, BRIGHT LETTERS.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MOUNTLAKE TERRACE STANDARD PLANS AND SPECIFICATIONS. SEE SHTS 5 & 6.

IN CONFORMANCE WITH THE CITY OF MOUNTLAKE TERRACE STANDARDS AND ORDINANCES BY Slope Swales DATE 7-25-90

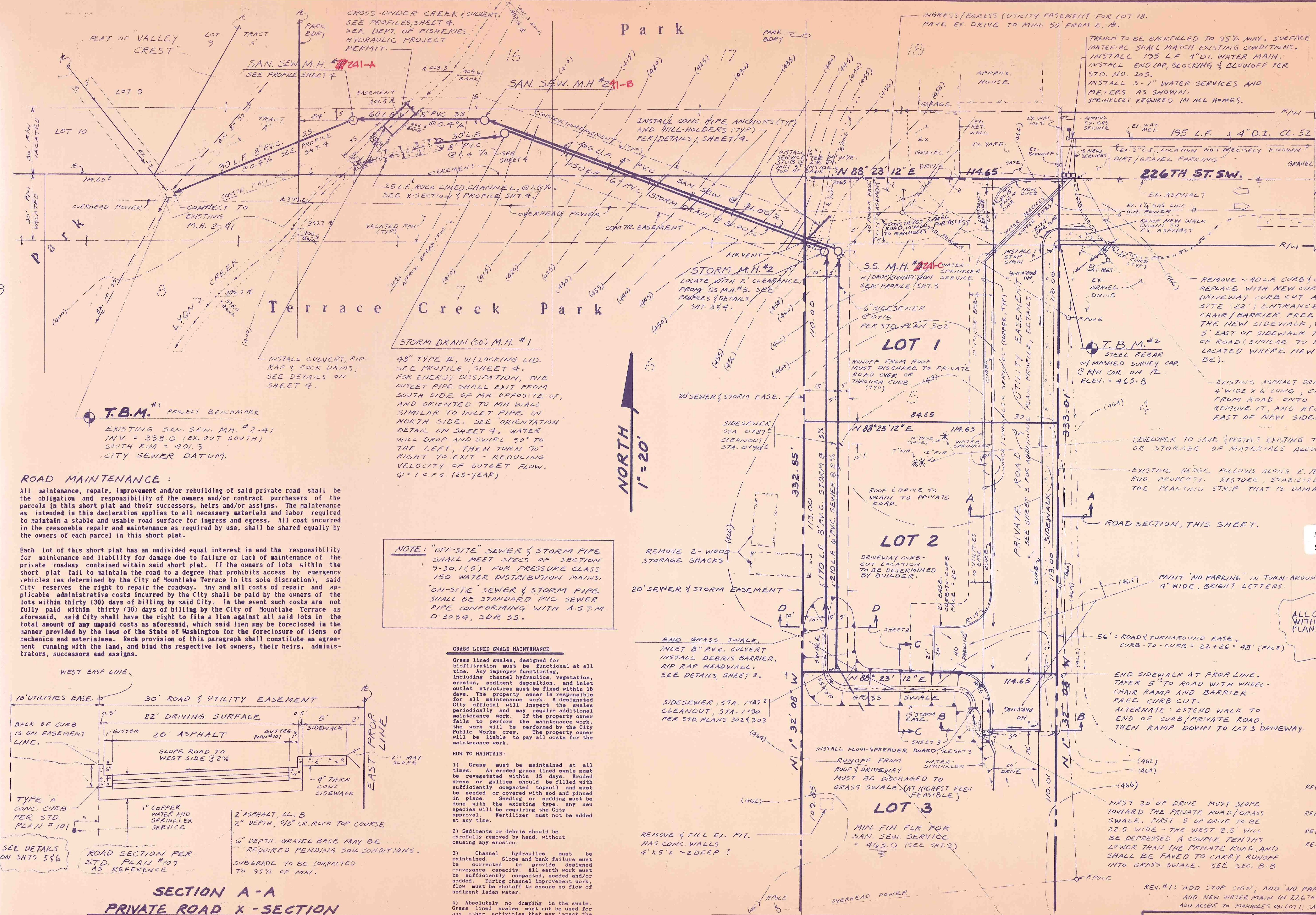
REVISIONS:  
REV #1: ADD STOP SIGN, ADD "NO PARKING" PAINT MARKINGS; ADD NEW WATER MAIN IN 226TH; ADD CULVERT IN LYONS CREEK; SHORTEN SIDESEWER; ADD ACCESS TO MANHOLES ON LOT 1; SAVE TREES, NOTED; PER CITY 12' REVIEW, E.J.BONE 5/21/90  
REV #2: ADD SEWER STUB NEAR #3 FOR PROPERTY TO THE NORTH; ADD AIRVENT TO STORM MH; REVISE OFFSITE "CONTOUR" EASE; ADD CURB/LOW RAMP; DESIGNATE "COPPER" WATER SERVICES; ADD GRASS SWALE MAINTENANCE NOTES; E.J.BONE 6/15/90  
REV #3: SEE SHT 4, 6/14/90 E.J.B  
REV #4: ADD 10' UTILITIES EASE ADJACENT TO ROAD; MOVE WATER SERVICES INTO EASE. 6/28/90 E.J.B  
REV #5: ADD ROAD MAINTENANCE NOTES; REVISE TREE NOTE; REVISE ROAD X-SECTION - REDUCE THICKNESS; ADD 2ND T.B.M. 7/17/90 E.J.B

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**BONE**  
ENGINEERING & SURVEYING  
10800 ROOSEVELT WY.N.E.  
APT # 105  
SEATTLE, WASH. 98125  
365-7096 775-3374

**S.P. 89-131**  
**ROAD, SEWER, STORM PLAN**  
DEVELOPER: DARWIN E. BEAN  
18812 ASHWORTH AVE. N.  
SEATTLE, WASH. 98133  
542-8147

DRAWN: E.J.BONE DATE: 2/26/90 FIELD BOOK: 810 SCALE: 1"=20' JOB #: 89.73



**SECTION A-A**  
**PRIVATE ROAD X-SECTION**  
SCALE: 1"=5' HORIZ.  
1"=2' VERT.

SEE ADDITIONAL NOTES & INFO ON PLAN/PROFILE, SHEET 3.  
THIS SECTION APPLIES TO THE SMALL LENGTH OF ROAD TO BE BUILT IN 226TH ST. SW. "WEST EASE LINE" = ± 226TH ST. "EAST EASE LINE" = SOUTH R/W LINE 226TH.

**ROAD MAINTENANCE:**  
All maintenance, repair, improvement and/or rebuilding of said private road shall be the obligation and responsibility of the owners and/or contract purchasers of the parcels in this short plat and their successors, heirs and/or assigns. The maintenance as intended in this declaration applies to all necessary materials and labor required to maintain a stable and usable road surface for ingress and egress. All cost incurred in the reasonable repair and maintenance as required by use, shall be shared equally by the owners of each parcel in this short plat.

Each lot of this short plat has an undivided equal interest in and the responsibility for maintenance and liability for damage due to failure or lack of maintenance of the private roadway contained within said short plat. If the owners of lots within the short plat fail to maintain the road to a degree that prohibits access by emergency vehicles (as determined by the City of Mountlake Terrace in its sole discretion), said City reserves the right to repair the roadway. Any and all costs of repair and applicable administrative costs incurred by the City shall be paid by the owners of the lots within thirty (30) days of billing by said City. In the event such costs are not fully paid within thirty (30) days of billing by the City of Mountlake Terrace as aforesaid, said City shall have the right to file a lien against all said lots in the total amount of any unpaid costs as aforesaid, which said lien may be foreclosed in the manner provided by the laws of the State of Washington for the foreclosure of liens of mechanics and materialmen. Each provision of this paragraph shall constitute an agreement running with the land, and bind the respective lot owners, their heirs, administrators, successors and assigns.

**NOTE: "OFF-SITE" SEWER & STORM PIPE**  
SHALL MEET SPECS OF SECTION 9-30.1(5) FOR PRESSURE CLASS 150 WATER DISTRIBUTION MAINS.  
"ON-SITE" SEWER & STORM PIPE SHALL BE STANDARD PVC SEWER PIPE CONFORMING WITH A.S.T.M. D-3034, SDR 35.

**GRASS LINED SWALE MAINTENANCE:**  
Grass lined swales, designed for biofiltration must be functional at all times. Any improper functioning, including channel hydraulics, vegetation, erosion, sediment deposition, and inlet erosion, must be fixed within 15 days. The property owner is responsible for all maintenance work. A designated City official will inspect the swales periodically and may require additional maintenance work. If the property owner fails to perform the maintenance work, the work will be performed by the City Public Works crew. The property owner will be liable to pay all costs for the maintenance work.

**HOW TO MAINTAIN:**  
1) Grass must be maintained at all times. An eroded grass lined swale must be revegetated within 15 days. Eroded areas or gullies should be filled with sufficiently compacted topsoil and must be seeded or covered with sod and pinned in place. Seeding or sodding must be done with the existing type, any new species will be requiring the City approval. Fertilizer must not be added at any time.  
2) Sediments or debris should be carefully removed by hand, without causing any erosion.  
3) Channel hydraulics must be maintained. Slope and bank failure must be corrected to provide designed conveyance capacity. All earth work must be sufficiently compacted, seeded and/or sodded. During channel improvement work, flow must be shut off to ensure no flow of sediment laden water.  
4) Absolutely no dumping in the swale. Grass lined swales must not be used for any other activities that may impact the water, swale, grass, inlet and outlet, and energy dissipator.  
5) Clogged inlets or outlet pipes must be cleaned to assure the designed flow rate.  
6) Grass height in excess of six inches must be mowed. Mowing should be done when necessary.  
FREQUENCY OF INSPECTION:  
The grass lined swales will be inspected bi-weekly, until the grass is well established. Thereafter, inspection will be done monthly.

**24 HOUR NOTICE**  
REQUIRED PRIOR TO NEED FOR INSPECTION. CALL 24 HOUR REQUEST LINE 775-9694

PROPERTY BOUNDARY AS ESTABLISHED AND SURVEYED/STAKED (UNRECORDED) BY THOMAS D. REIS/DORFF, P.E., P.L.S., CERTIFICATE NO. 17379.

**SEWERAGE UNIT Z-11A**