

LEGAL DESCRIPTION

(PER ALTA COMMITMENT NO. 500036476, AMENDMENT 1)

PARCEL A:

ALL THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 27 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:
COMMENCING AT A POINT ON THE EAST LINE OF ABOVE SAID SUBDIVISION, SOUTH 01°3'27" EAST, 46.01 FEET FROM THE NORTHEAST CORNER THEREOF; THENCE NORTH 89°34'34" WEST, PARALLEL WITH THE NORTH LINE OF THE ABOVE SAID SUBDIVISION 338.79 FEET TO THE TRUE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED; THENCE CONTINUING NORTH 89°34'34" WEST, PARALLEL WITH THE NORTH LINE OF THE ABOVE SAID SUBDIVISION, 672.43 FEET, TO THE NORTHEAST CORNER OF TRACT OF LAND CONVEYED TO CARL F. SODERBERG AND WIFE BY DEED RECORDED UNDER AUDITOR'S FILE NO. 400573, RECORDS OF SNOHOMISH COUNTY, WASHINGTON; THENCE SOUTH 0°43'17" EAST, PARALLEL WITH THE WEST LINE OF THE ABOVE SAID SUBDIVISION, 278.97 FEET; THENCE SOUTH 18°41'09" WEST, 105.31 FEET; THENCE SOUTH 89°35'35" EAST, PARALLEL WITH THE SOUTH LINE OF THE ABOVE SAID SUBDIVISION, 47.00 FEET, TO THE NORTHEAST CORNER OF LOT 1 IN THE PLAT OF LAKE BALLINGER HOMES NO. 3, DIVISION NO. 2, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 23 OF PLATS, PAGES 13 AND 14, RECORDS OF SNOHOMISH COUNTY, WASHINGTON; THENCE NORTH 201°31'18" EAST, 106.29 FEET; THENCE SOUTH 89°35'35" EAST, PARALLEL WITH THE SOUTH LINE OF THE ABOVE SAID SUBDIVISION, 270.00 FEET; THENCE SOUTH 0°24'25" WEST, PERPENDICULAR TO THE SOUTH LINE OF THE ABOVE SAID SUBDIVISION, 100.00 FEET; THENCE SOUTH 89°35'35" EAST, PARALLEL WITH THE SOUTH LINE OF THE ABOVE SAID SUBDIVISION, 30.00 FEET; THENCE NORTH 0°24'25" WEST, PERPENDICULAR TO THE SOUTH LINE OF THE ABOVE SAID SUBDIVISION, 100.00 FEET; THENCE SOUTH 89°35'35" EAST, PARALLEL WITH THE SOUTH LINE OF THE ABOVE SAID SUBDIVISION, 32.00 FEET; THENCE NORTH 01°32'27" WEST, PARALLEL WITH THE EAST LINE OF THE ABOVE SAID SUBDIVISION, 278.74 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT THAT PORTION THEREOF AS CONVEYED TO THE CITY OF MOUNTLAKE TERRACE BY QUIT CLAIM DEED RECORDED UNDER AUDITOR'S FILE NO. 8712030154, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, BEING THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 27 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 5 OF THE PLAT OF LAKE BALLINGER HOMES NO. 3, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 22 OF PLATS, PAGE 105, RECORDS OF SNOHOMISH COUNTY, WASHINGTON; THENCE SOUTH 89°35'35" EAST ALONG THE NORTH MARGIN OF THE RIGHT-OF-WAY OF 226TH STREET S.W., A DISTANCE OF 31.12 FEET; THENCE NORTH 15°51'02" EAST, A DISTANCE OF 188.14 FEET; THENCE NORTH 00°51'53" WEST, A DISTANCE OF 156.25 FEET; THENCE SOUTH 39°34'50" WEST, A DISTANCE OF 78.72 FEET; THENCE SOUTH 00°43'17" EAST, A DISTANCE OF 244.24 FEET, TO THE NORTHEAST CORNER OF SAID LOT 5; THENCE CONTINUING SOUTH 0°43'17" EAST, A DISTANCE OF 53.70 FEET; THENCE SOUTH 18°41'09" WEST, A DISTANCE OF 105.31 FEET, TO THE TRUE POINT OF BEGINNING (PER ALTA COMMITMENT NO. 500036476, AMENDMENT 1)

PARCEL A-1:

AN EASEMENT FOR INGRESS, EGRESS AND PARKING AS CREATED BY EASEMENT AGREEMENT RECORDED UNDER AUDITOR'S FILE NO. 8712030151, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, OVER, ACROSS, ALONG, UPON AND UNDER THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 27 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 5 OF THE PLAT OF LAKE BALLINGER HOMES NO. 3, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 22 OF PLATS, PAGE 105, RECORDS OF SNOHOMISH COUNTY, WASHINGTON; THENCE SOUTH 89°35'35" EAST ALONG THE NORTH MARGIN OF THE RIGHT-OF-WAY OF 226TH STREET S.W., A DISTANCE OF 13.27 FEET, TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89°35'35" EAST, A DISTANCE OF 17.85 FEET; THENCE NORTH 15°51'02" EAST, A DISTANCE OF 188.14 FEET; THENCE NORTH 00°51'53" WEST, A DISTANCE OF 156.25 FEET; THENCE SOUTH 39°34'50" WEST, A DISTANCE OF 3.23 FEET; THENCE NORTH 18°41'09" WEST, A DISTANCE OF 49.74 FEET; THENCE SOUTH 105°45'57" WEST, A DISTANCE OF 19.61 FEET; THENCE SOUTH 20°10'37" WEST, A DISTANCE OF 38.02 FEET; THENCE SOUTH 21°02'51" WEST, A DISTANCE OF 134.90 FEET, TO THE TRUE POINT OF BEGINNING.

PARCEL B:

ALL OF THE SOUTH 149.99 FEET OF THE NORTH 459.99 FEET OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 27 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN;

EXCEPT THE EAST 208.72 FEET AND THE WEST 325.10 FEET THEREOF.

EXCEPT THAT PORTION THEREOF AS CONVEYED TO THE CITY OF MOUNTLAKE TERRACE BY QUIT CLAIM DEED RECORDED UNDER AUDITOR'S FILE NO. 8712030154, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, BEING THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 27 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 5 OF THE PLAT OF LAKE BALLINGER HOMES NO. 3, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 22 OF PLATS, PAGE 105, RECORDS OF SNOHOMISH COUNTY, WASHINGTON; THENCE SOUTH 89°35'35" EAST ALONG THE NORTH MARGIN OF THE RIGHT-OF-WAY OF 226TH STREET S.W., A DISTANCE OF 31.12 FEET; THENCE NORTH 15°51'02" EAST, A DISTANCE OF 188.14 FEET; THENCE NORTH 00°51'53" WEST, A DISTANCE OF 156.25 FEET; THENCE SOUTH 39°34'50" WEST, A DISTANCE OF 78.72 FEET; THENCE SOUTH 00°43'17" EAST, A DISTANCE OF 244.24 FEET, TO THE NORTHEAST CORNER OF SAID LOT 5; THENCE CONTINUING SOUTH 0°43'17" EAST, A DISTANCE OF 53.70 FEET; THENCE SOUTH 18°41'09" WEST, A DISTANCE OF 105.31 FEET, TO THE TRUE POINT OF BEGINNING.

PARCEL C:

THE SOUTH 155 FEET OF THE NORTH 310 FEET OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 27 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN;

EXCEPT THE EAST 208.72 FEET; AND

EXCEPT THE WEST 325.10 FEET THEREOF.

PARCEL D:

LOT 1, LAKE BALLINGER HOMES NO. 3, DIVISION NO. 2, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 23 OF PLATS, PAGES 13 AND 14, RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

ALL SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

(PARCELS A THROUGH D ARE ALSO KNOWN AS CITY OF MOUNTLAKE TERRACE BOUNDARY LINE ADJUSTMENT LOT CONSOLIDATION NO. PL06004 RECORDED UNDER AUDITOR'S FILE NO. 200903055219, RECORDS OF SNOHOMISH COUNTY, WASHINGTON).

BASIS OF BEARINGS

THE MONUMENTED CENTERLINE OF 226TH PL SW, AS SHOWN HEREON

BENCH MARK

PER PACIFIC SURVEY & ENGINEERING, INC TOPOGRAPHY SURVEY CONDUCTED APPROXIMATELY IN 2001, SUPPLIED BY CLIENT.

ORIGINATING CITY OF MOUNTLAKE TERRACE BENCH MARK :

FD. 4" DIA. CONC. MONUMENT WITH TACK IN MONUMENT CASE, AT S.L. OF 226TH PLACE SW AND 73RD PL. W. PER CITY OF MOUNTLAKE TERRACE INTERURBAN TRAIL SHEET L-1 & K-2

T-B.M. ON SITE :
SET RAILROAD SPIKE IN SE FACE OF POWER POLE WITH DROP, SOUTHWEST CORNER OF PROJECT SITE
ELEV: 301.64'

LEGEND	
<input type="checkbox"/>	FEMA 100-YEAR FLOOD PLAIN
<input checked="" type="checkbox"/>	WETLAND - CATEGORY III
<input type="checkbox"/>	POST CONSTRUCTION GEOLOGIC HAZARD AREA (LEVEL 2 - 15%-40%)
<input type="checkbox"/>	POST CONSTRUCTION GEOLOGIC HAZARD AREA (LEVEL 4 - 40% OR GREATER)
<input checked="" type="checkbox"/>	T.B.M. ON SITE :

CREEKSIDEMEADOWS (PLANNED UNIT DEVELOPMENT) SITE DEVELOPMENT PLANS

SW 1/4, SEC 29, TWP 27N, RGE 4E, W.M.

City of Mountlake Terrace, WA
Civil Permit Approval

(Valid only with all of the following signatures)

Jesse Bingham
City Engineer

8/6/19
Date:

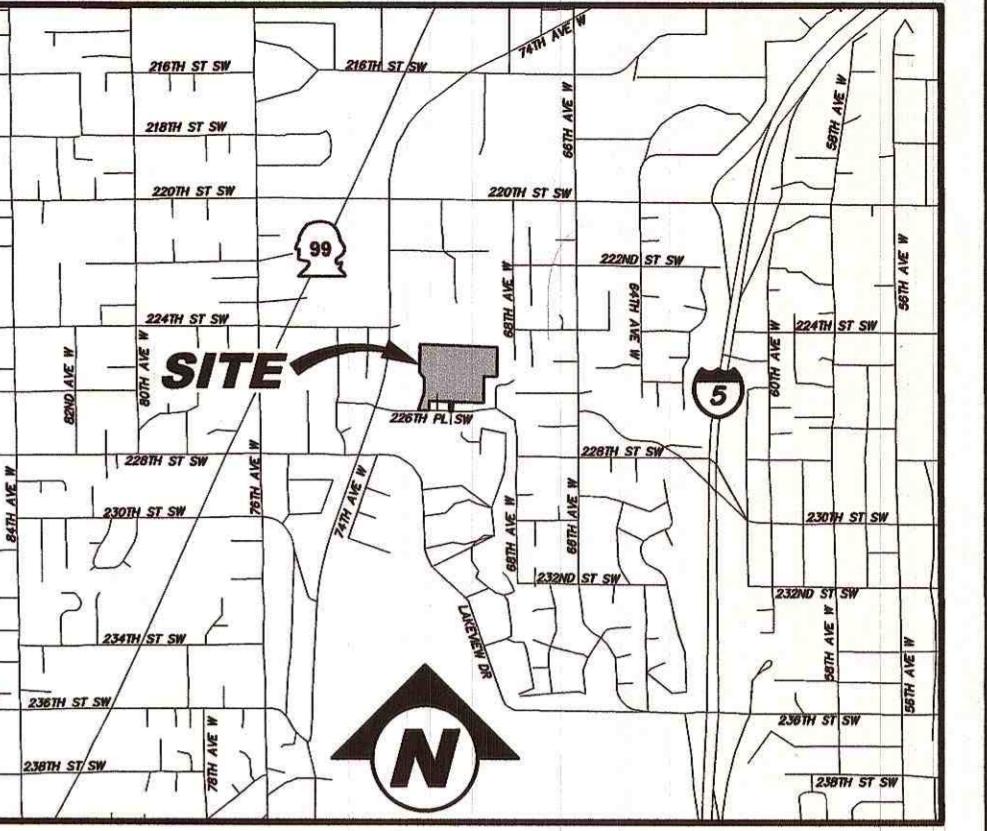
GT Miller
Planning Division (CED Director or designee)

8/6/19
Date:

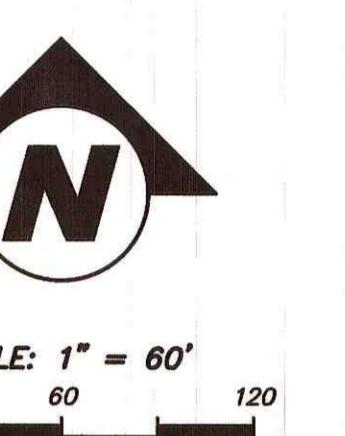
Approval subject to all "redlined" permit and/or following conditions:

CONSTRUCTION IS ONLY APPROVED
IF WITHIN RED BUBBLED AREA,
UNLESS OTHERWISE NOTED.

SUNSET
LANDING
(200504055005)

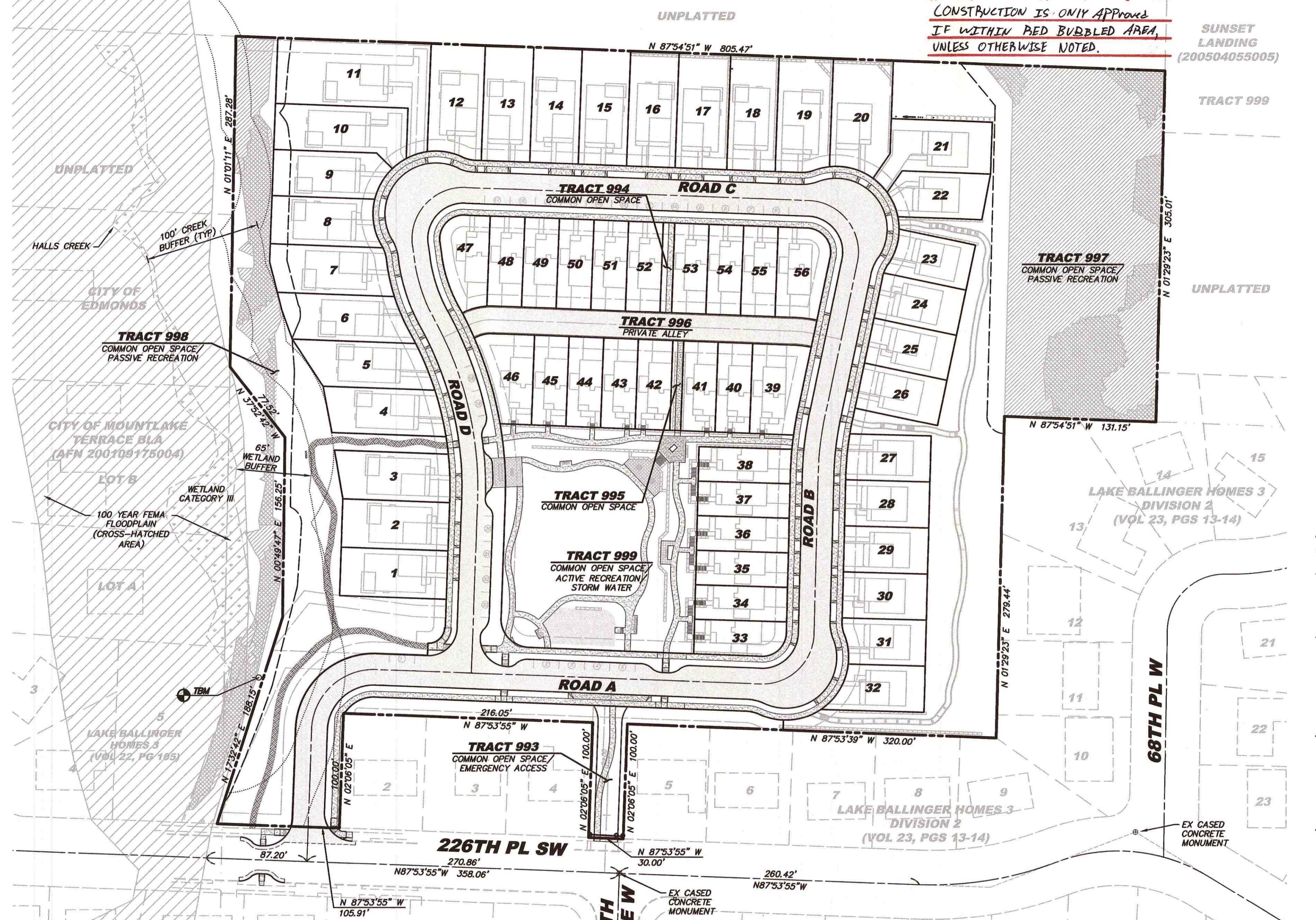


VICINITY MAP
SCALE: 1" = 2000'



REVISION

NO	DATE	DESCRIPTION	REVISED PER CITY COMMENTS
1	7/12/19		



STORM DRAINAGE GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION," WASHINGTON STATE DEPARTMENT OF TRANSPORTATION, CURRENT EDITION, TOGETHER WITH THE LATEST EDITION OF THE CITY OF MOUNTLAKE TERRACE ENGINEERING STANDARDS.
- AN APPROVED COPY OF THESE PLANS MUST BE ON SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN STREET USE AND ANY OTHER RELATED PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITY IN CITY RIGHT-OF-WAY.
- PRIOR TO ANY CONSTRUCTION ACTIVITY, THE CITY OF MOUNTLAKE TERRACE ENGINEERING DEPARTMENT (425-776-1161) MUST BE CONTACTED FOR A PRECONSTRUCTION MEETING.
- ALL LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER SECURE AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN. THE CONTRACTOR SHALL CONTACT THE UTILITIES UNDERGROUND LOCATION SERVICE (1-800-424-5555) PRIOR TO CONSTRUCTION. THE OWNER OR HIS REPRESENTATIVE SHALL BE IMMEDIATELY CONTACTED IF A UTILITY CONFLICT EXISTS.
- CATCH BASINS, INLETS, YARD DRAINS, AND GRATES:
 - ALL CATCH BASINS, INLETS, OR YARD DRAINS SHALL BE ONE OF THE FOLLOWING:
 - YARD DRAIN - CITY OF MOUNTLAKE TERRACE STANDARD PLAN NO. 407 OR EQUAL.
 - CONCRETE INLET - WSDOT B-25.60 OR EQUAL.
 - CATCH BASIN - TYPE I - WSDOT B-5.20 OR EQUAL.
 - CATCH BASIN - TYPE II - WSDOT B-5.40 OR EQUAL.
 - CATCH BASIN - TYPE II - WSDOT B-10.20 OR EQUAL.
 - OTHER CATCH BASIN TYPES SHALL BE APPROVED FOR INSTALLATION BY THE CITY ENGINEER.
 - ALL TYPE II CATCH BASINS SHALL HAVE LADDERS OR SAFETY STEPS PER CITY OF MOUNTLAKE TERRACE STANDARD PLAN NO. 306 OR EQUAL.
- LOCKING GRATES ARE REQUIRED ON ALL CITY RIGHT-OF-WAY AND CITY EASEMENT INSTALLATIONS. ALL GRATES SHALL BE ONE OF THE FOLLOWING:
 - CATCH BASINS TO BE CONSTRUCTED WITH A THROUGH-CURB INLET GRATE. SEE WSDOT STANDARD PLAN B-25.20
 - ALL OTHER GRATES SHALL BE DUCTILE IRON, AND OF THE LOCKING TYPE. WSDOT B-30.30 AND B-30.50 FOR GRADES EQUAL OR MORE THAN 4 PERCENT.
 - ALL CATCH BASIN FRAME AND GRATES IN THE CURB LINE SHALL BE FLUSH WITH THE PAVEMENT/CURB LEVEL. SOLID FRAME AND LIDS IN THE TRAVELED ROADWAY SHALL BE FLUSH.
 - ALL OIL/WATER SEPARATOR AND DETENTION CONTROL CATCH BASIN GRATES SHALL BE OF THE LOCKING TYPE.
- STORM SEWER PIPE:
 - ALL STORM SEWER CONVEYANCE PIPE SHALL BE ONE OF THE FOLLOWING:
 - CONCRETE, PER A.S.T.M. C-14, CLASS II, NON-REINFORCED BELL AND SPICOT (WITH BELL FLUSH WITH C.B. WALL IF USED), WITH RUBBER GASKETS.
 - PVC CONFORMING TO A.S.T.M. D-3034 - SDR 35.
 - DUCTILE IRON CLASS 50 CONFORMING TO AWWA C 151.
 - PIPE MAY BE ANY OF THE ABOVE PROVIDED:
 - PIPE JOINTS MUST BE OF THE SAME MATERIALS.
 - WHERE A PIPE MATERIAL IS SPECIFICALLY SHOWN ON THE PLAN, THAT MATERIAL MUST BE USED. ANY CHANGES TO THE PIPE MATERIAL SHOWN ON THE PLAN MUST BE PRE-APPROVED.
 - MEDIUM PIPE COVER IS DEPENDENT ON PIPE TYPE.
 - ALL PIPE BEDDING SHALL CONFORM TO STANDARDS SPECIFICATIONS SECTION 7-08.3(1)c, STANDARD SPECIFICATIONS FOR DUCTILE IRON, PVC PIPE, OR CONCRETE PIPE. ALL TRENCH BACKFILL SHALL BE COMPACTION MINIMUM 95% DRY OPTIMUM DENSITY PER ASTM D1557, OR LATEST REVISION, (MODIFIED PROCTOR).
 - ALL PIPE SHALL BE LAID ON A PROPERLY PREPARED FOUNDATION ACCORDING TO STANDARD SPECIFICATIONS SECTION 7-08.3(2)b. THIS SHALL INCLUDE NECESSARY LEVELING OF THE TRENCH BOTTOM OR THE TOP OF THE FOUNDATION MATERIAL AS WELL AS PLACEMENT AND COMPACTION OF REQUIRED BEDDING MATERIAL TO UNIFORM GRADE SO THAT THE ENTIRE LENGTH OF THE PIPE WILL BE SUPPORTED ON A UNIFORMLY DENSE UNYIELDING BASE. IF THE NATIVE MATERIAL IN THE BOTTOM OF THE TRENCH MEETS THE REQUIREMENTS FOR "GRAVEL BACKFILL FOR PIPE ZONE BEDDING, STANDARD SPECIFICATIONS SECTION 9-03.12(3), THE FIRST LIFT OF PIPE BEDDING MAY BE OMITTED, PROVIDED THE MATERIAL IN THE BOTTOM OF THE TRENCH IS LOOSEND, REGRADED, AND COMPACTED TO FORM A DENSE UNYIELDING BASE.
 - ALL ROOF AND FOOTING DRAINS SHALL BE LOCATED IN THE FIELD AND ADJUSTED AS NECESSARY TO AVOID IMPACTING EXISTING TREES TO BE SAVED AS DENOTTED ON THE GRADING PLAN. DRAIN LINES SHOULD BE LOCATED OUTSIDE THE DRIPLINE OF TREES TO BE SAVED WHENEVER POSSIBLE.
 - THE STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED ACCORDING TO THE APPROVED PLANS WHICH ARE ON FILE IN THE ENGINEERING DEPARTMENT. ANY DEVIATION FROM THE APPROVED PLANS WILL REQUIRE WRITTEN APPROVAL FROM THE PROPER AGENCY.
 - BUILDINGS SHALL NOT BE PERMITTED WITHIN 10 FEET OF THE SPRING LINE OF ANY STORM DRAIN PIPE, OR WITHIN 15 FEET OF THE TOP OF A CHANNEL BANK. STORM SEWERS 6" DIAMETER OR LESS MAY BE LOCATED WITHIN 30' OF A STRUCTURE PROVIDED THAT THE SOIL SUPPORT PRISM IS NOT DISTURBED FOR THE ADJACENT FOUNDATION.
 - PRIOR TO OCCUPANCY, THE PERMANENT STORM DRAINAGE SYSTEM MUST BE CLEANED OUT BY PUMPING. (DO NOT PUMP OR DISPOSE OF THIS WASTE INTO ANY STREAM, STORM SEWER, OR SANITARY SEWER SYSTEM.)
 - RIP RAP ROCK FOR EROSION PROTECTION SHALL BE OF SOUND QUARRY ROCK PLACED TO A MINIMUM DEPTH OF ONE (1) FOOT. ROCK AGGREGATE TO BE AS FOLLOWS:

ROCK SIZE	PERCENTAGE
8"	40% TO 70%
2" TO 4"	20% TO 40%
1/2" TO 2"	10% TO 40%

 - TESTING OF ALL STORM SEWER PIPE WILL BE AT THE OPTION OF THE CITY OF MOUNTLAKE TERRACE. ALL PIPE WILL BE INSPECTED BY TV VIEWING.
 - WHEN PLAIN ALUMINUM PIPE ARCH IS USED WHERE IT WILL BE IN CONTACT WITH CONCRETE OR CONCRETE PIPE, ALL ALUMINUM SURFACES IN CONTACT WITH THE CONCRETE OR CONCRETE PIPE SHALL BE PAINTED WITH TWO COATS OF PAINT. THE ALUMINUM PIPE TO BE PAINTED SHALL BE CLEANED WITH SOLVENT TO REMOVE CONTAMINANTS. AFTER CLEANING, THE PIPE SHALL BE PAINTED WITH TWO COATS OF PAINT CONFORMING TO FEDERAL SPECIFICATION TT-P-645 (PRIMER, PAINT, ZINC CHROMATE, ALKYD VEHICLE).
 - AN AS BUILT STORM SEWER DRAWING SHALL BE SUBMITTED FOR ALL DEVELOPMENTS, SHORT PLATS, AND SUBDIVISIONS.
 - SAND COLLARS OR OTHER CITY APPROVED COUPLINGS ARE REQUIRED ON ALL PVC PIPE CONNECTIONS TO CONCRETE CATCH BASINS OR MANHOLES.
 - ALL STORM SEWERS SHALL BE DESIGNED AND CONSTRUCTED TO GIVE MEAN VELOCITIES, WHEN FLOWING FULL, OF NOT LESS THAN 3 FEET PER SECOND.
 - FOR CITY MAINTAINED STORM SYSTEMS, TRASH RACKS SHALL BE INSTALLED ON THE UPSTREAM END OF PIPES OR CULVERTS.

SW 1/4, SEC 29, TWP 27N, RGE 4E, W.M.

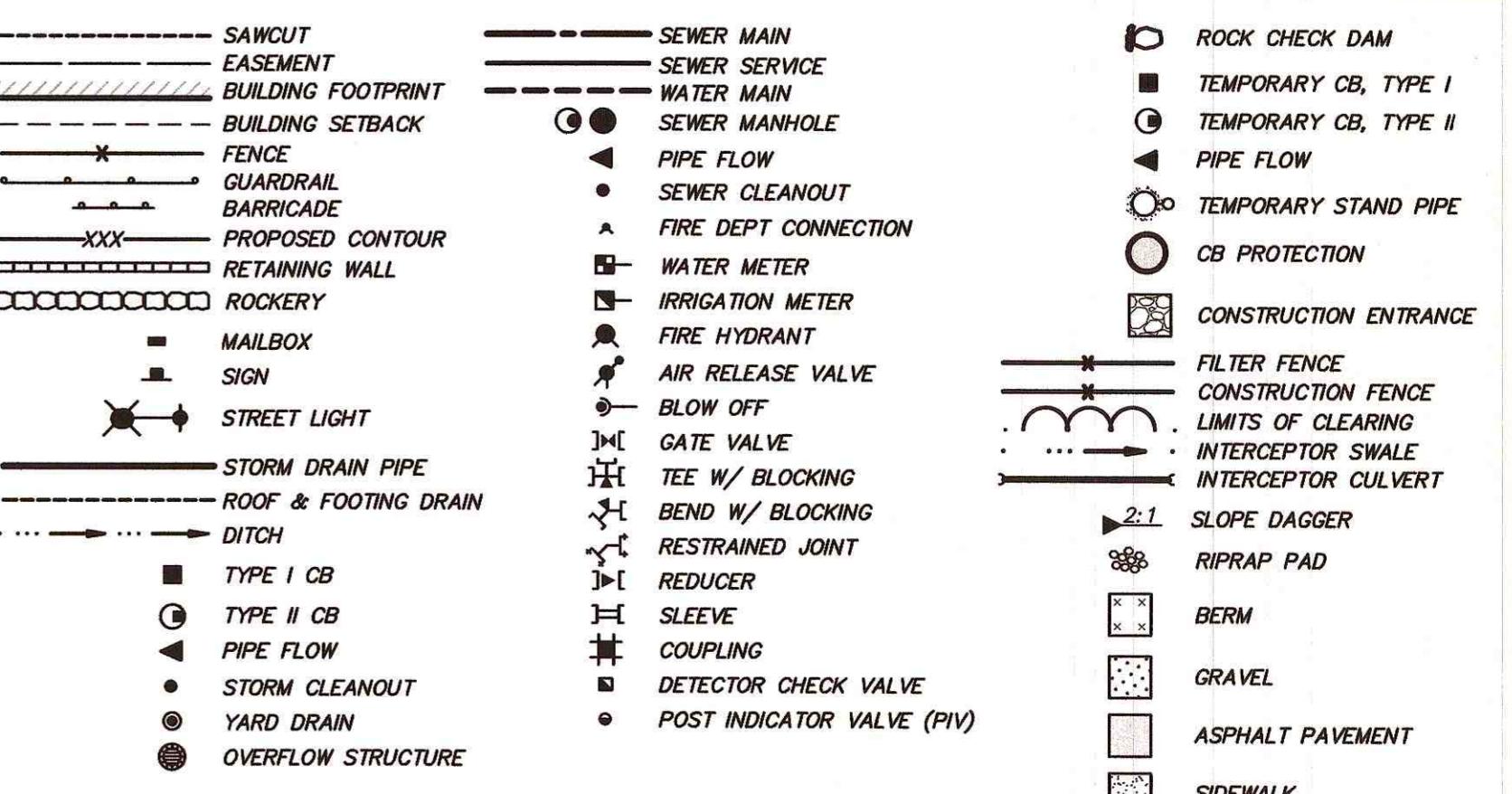
TEMPORARY EROSION & SEDIMENT CONTROL NOTES

- PRIOR TO ANY CONSTRUCTION, RECONSTRUCTION, OR RENOVATION ACTIVITY, THE CITY OF MOUNTLAKE TERRACE ENGINEERING DEPARTMENT MUST BE CONTACTED FOR A PRECONSTRUCTION MEETING (425-776-1161).
- AN APPROVED COPY OF THESE PLANS MUST BE ON SITE AT ALL TIMES.
- ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND MAINTAINED DURING CONSTRUCTION.
- WHERE POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL AND TO MINIMIZE EROSION CONTROL MEASURES, AND DIRECT SURFACE RUNOFF AWAY FROM THE EXPOSED AREAS, STEEP SLOPES, OR EROSION HAZARD AREA.
- ALL REQUIRED SEDIMENTATION/EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM OR OFF-SITE STORM DRAINS. (SEE CONSTRUCTION SEQUENCE). ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. SYSTEM IMPLEMENTATION, MAINTENANCE, AND REPLACEMENT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE, ALONG WITH ANY REQUIRED ADDITIONS.
- THE EROSION AND SEDIMENTATION CONTROL SYSTEMS DEPICTED ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, THE PERMITTEE SHOULD ANTICIPATE THAT MORE EROSION AND SEDIMENTATION CONTROL FACILITIES MAY BE NECESSARY TO INSURE COMPLETE EROSION AND SEDIMENT CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, IT IS THE OBLIGATION OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE MINIMUM REQUIREMENTS SHOWN, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES AND WATER QUALITY OF THE RECEIVING DRAINAGE SYSTEM. ADDITIONAL MEASURES MAY ALSO BE REQUIRED BY THE CITY OF MOUNTLAKE TERRACE INSPECTOR.
- APPROVAL OF THE PLAN IS FOR EROSION/SEDIMENTATION CONTROL ONLY. IT DOES NOT CONSTITUTE AN APPROVAL OF STORM DRAINAGE DESIGN, SIZE OR LOCATION OF PIPES, RESTRICTORS, CHANNELS, OR RETENTION FACILITIES.
- IN ANY WORK WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 30 DAYS OR MORE, ALL DISTURBED AREAS MUST BE IMMEDIATELY STABILIZED WITH BY MULCHING, HYDROSEEDING, OR OTHER APPROVED EROSION CONTROL MEASURE APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF APRIL THROUGH SEPTEMBER INCLUSIVE. SEEDING MAY PROCEED WHENEVER IT IS IN THE INTEREST OF THE PERMITTEE, BUT MUST BE AUGMENTED WITH MULCHING, NETTING, OR OTHER MEASURES APPROVED BY THE CITY OF MOUNTLAKE TERRACE, OUTSIDE OF THE SPECIFIED TIME PERIOD.
- GRASS SEEDING SHALL BE DONE USING AN APPROVED TYPE HYDRO-SEEDER, OR AS OTHERWISE APPROVED BY THE CITY OF MOUNTLAKE TERRACE. SEED MIX SHALL CONSIST OF RAPID, PERSISTENT, AND LEGUME GRASSES (MIN. BOLB. PER ACRE) AS NOTED BELOW UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER:
 - 70% PERENNIAL RYEGRASS(3 VARIETIES)
 - 30% RED AND/OR CHEWING FESCUES(2 VARIETIES)
- STRAW MULCH SHALL CONSIST OF A MINIMUM THICKNESS OF FOUR (4) INCHES SPREAD EVENLY OVER THE SURFACE TO BE PROTECTED. MULCH MUST BE PROPERLY ANCHORED TO THE GROUND. NETTING MAY BE REQUIRED TO HOLD MULCH IN PLACE ON STEEP SLOPES.
- A MINIMUM THREE (3) FOOT HIGH CHAIN LINK FENCE SHALL BE CONSTRUCTED AROUND ANY POND USED FOR SEDIMENTATION AND/OR DETENTION WHEN IT CAN BE EXPECTED THAT THE WATER DEPTH WILL EXCEED ONE (1) FOOT.
- THE CONTRACTOR SHALL ASSURE THAT NO CONCRETE OR CONCRETE BY-PRODUCTS, CHEMICALS, PAINTS, GLUES, OR ANY OTHER POLLUTANTS ENTER THE STORM DRAINAGE SYSTEM OR NATURAL STREAM COURSES.
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES WHEN THE EROSION HAZARD IS COMPLETELY OVER. REMOVE ALL DEPOSITED SEDIMENT AND DEBRIS AND REHABILITATE THE DISTURBED AREAS BY PLANTING VEGETATIVE COVER AS REQUIRED BY THE CITY OF MOUNTLAKE TERRACE.
- THE APPLICANT SHALL PROVIDE FOR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL TO BE ON-SITE OR ON-CALL AT ALL TIMES. A SPILL CONTROL KIT SHALL BE KEPT ON-SITE FOR ALL CONSTRUCTION EQUIPMENT.

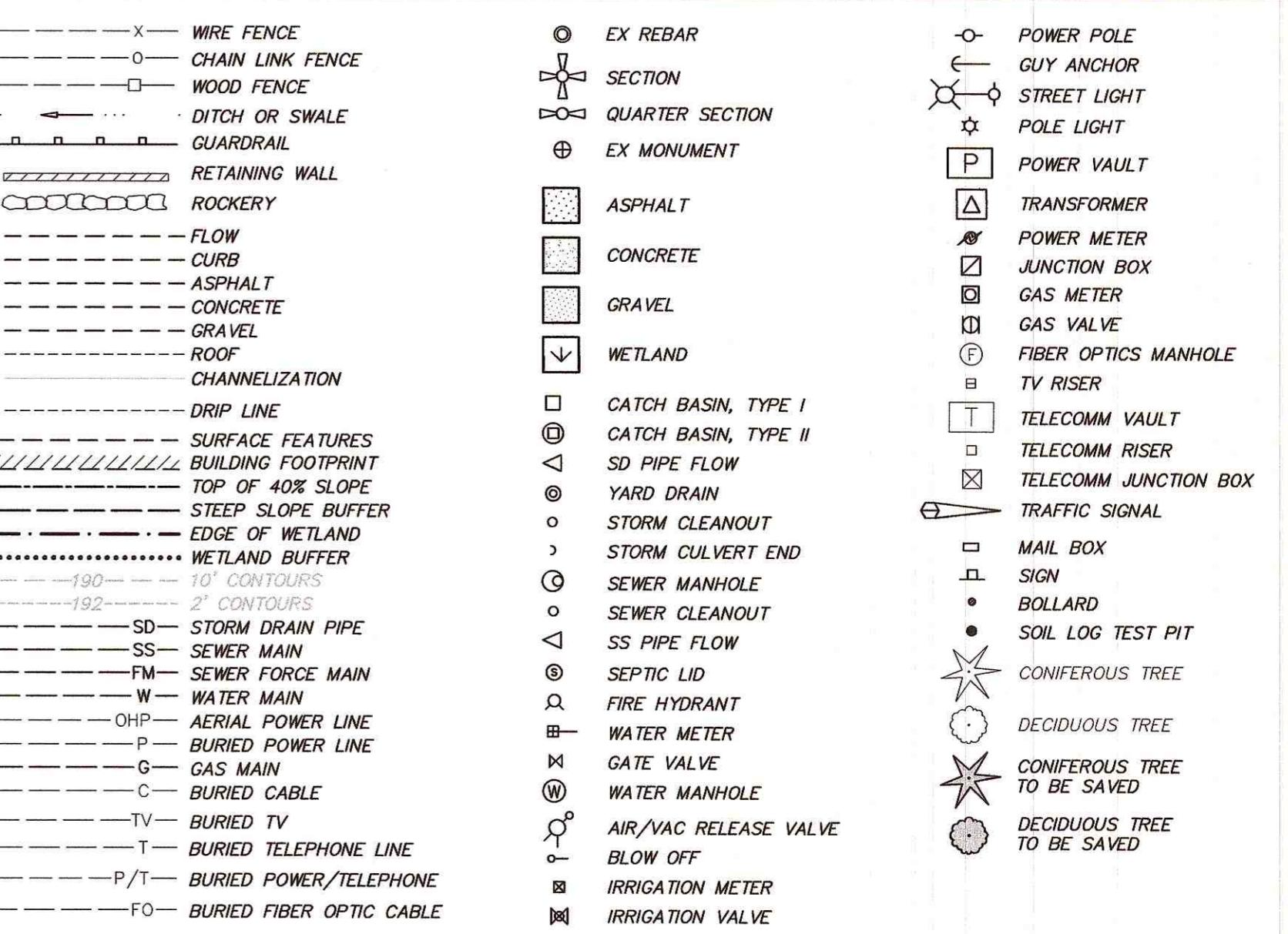
GRADING NOTES

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION," WASHINGTON STATE DEPARTMENT OF TRANSPORTATION, CURRENT EDITION, TOGETHER WITH THE LATEST EDITION OF THE CITY OF MOUNTLAKE TERRACE ENGINEERING STANDARDS.
- AN APPROVED COPY OF THESE PLANS MUST BE ON SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN STREET USE AND ANY OTHER RELATED PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITY IN CITY RIGHT-OF-WAY.
- PRIOR TO ANY CONSTRUCTION ACTIVITY, THE CITY OF MOUNTLAKE TERRACE ENGINEERING DEPARTMENT (425-776-1161) MUST BE CONTACTED FOR A PRECONSTRUCTION MEETING.
- ALL LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER SECURE AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN. THE CONTRACTOR SHALL CONTACT THE UTILITIES UNDERGROUND LOCATION SERVICE (1-800-424-5555) PRIOR TO CONSTRUCTION. THE OWNER OR HIS REPRESENTATIVE SHALL BE IMMEDIATELY CONTACTED IF A UTILITY CONFLICT EXISTS.
- THE TEMPORARY EROSION/SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED PRIOR TO ANY GRADING OR EXTENSIVE LAND CLEARING IN ACCORDANCE WITH THE APPROVED TEMPORARY EROSION/SEDIMENTATION CONTROL PLANS. THESE FACILITIES MUST BE SATISFACTORILY MAINTAINED UNTIL CONSTRUCTION AND LANDSCAPING IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED.
- ALL ROCKERY SHALL CONFORM WITH THE CITY OF MOUNTLAKE TERRACE STANDARD PLAN NO. 601, A FOUR (4) INCH MINIMUM DIAMETER PVC PERFORATED PIPE, OR EQUAL, WILL BE INSTALLED BEHIND THE ROCKERY AT OR BELOW THE BOTTOM OF THE LOWEST ROCK IN THE ROCKERY BACKFILL (SEE DETAIL). THIS PIPE SHALL BE DIRECTLY CONNECTED TO THE UNDERGROUND STORM DRAINAGE SYSTEM WITH NON-PERFORATED PVC PIPE OR AS OTHERWISE SHOWN ON THE PLANS.
- ALL EARTHWORK UNDER PAVING SHALL BE COMPACTION TO MINIMUM 95% DRY OPTIMUM DENSITY PER ASTM D-1557, OR LATEST REVISION, (MODIFIED PROCTOR).
- UNLESS OTHERWISE NOTED, ALL ELEVATIONS SHOWN IN PAVED AREAS ON THE PLANS ARE TOP OF PAVING.
- SEE TEMPORARY EROSION/SEDIMENTATION CONTROL GENERAL NOTES FOR ACCEPTABLE EROSION CONTROL MEASURES UPON COMPLETION OF GRADING.
- MAJOR EXPOSED GRADED SLOPES SHOWN ON THESE PLANS SHALL BE PROTECTED WITH PLASTIC SHEETS UNTIL SUCH TIME AS THE VEGETATIVE COVER HAS BEEN ESTABLISHED SUFFICIENTLY TO ELIMINATE EROSION.
- GRADES SHOWN REPRESENT THE ENGINEER'S ESTIMATE OF APPROXIMATE MINIMUM EARTHWORK, PRESERVATION OF THE MAXIMUM NUMBER OF EXISTING TREES, AND OTHER GRAVING/SOIL CONSIDERATIONS. THE CONTRACTOR MAY ALTER THE GRADES SHOWN TO BETTER ACHIEVE THESE RESULTS, PROVIDED THAT ANY ALTERATION IS SUBJECT TO THE PRIOR APPROVAL IN WRITING BY THE ENGINEER, OWNER, AND THE APPROPRIATE DEPARTMENTS OF THE CITY OF MOUNTLAKE TERRACE.
- THE SITE WORK IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE APPROVED PLANS WHICH ARE ON FILE IN THE ENGINEERING DEPARTMENT. ANY DEVIATION FROM THE APPROVED PLANS WILL REQUIRE APPROVAL FROM THE PROPER AGENCY.
- THE CONTRACTOR SHALL KEEP PARKING LOTS AND STREETS CLEAN AT ALL TIMES BY SWEEPING, WASHING OF ANY STREETS, PARKING LOTS OR DRIVEWAYS TO REMOVE CONSTRUCTION RELATED DIRT IS STRICTLY FORBIDDEN AND SUBJECT TO FINES.
- ALL PARKING AND DRIVEWAY AREAS TO HAVE POSITIVE DRAINAGE TO COLLECTION, CONVEYANCE SYSTEMS OR OVERLAND SHEET DRAIN AREAS AT A MINIMUM OF ONE PERCENT SLOPE. PLAN DETAILS SHALL NOT SUPERSEDE THIS REQUIREMENT.
- OPEN-CUT ROAD CROSSINGS FOR UTILITY TRENCHES ON EXISTING TRAVELED ROADWAYS SHALL BE BACKFILLED IN ACCORDANCE WITH CITY OF MOUNTLAKE TERRACE STANDARD PLAN NO. 112 AND MECHANICALLY COMPACTION. CUTS INTO THE EXISTING ASPHALT SHALL BE NEAT LINE CUT WITH SAW IN A CONTINUOUS LINE. A TEMPORARY COLD MIX PATCH MUST BE PLACED IMMEDIATELY AFTER BACKFILL AND COMPACTION. A PERMANENT HOT MIX PATCH SHALL BE PLACED WITHIN 30 DAYS AND SHALL BE THE THICKNESS OF THE ORIGINAL ASPHALT, OR THREE (3) INCHES, WHICHEVER IS GREATER. A 2" THICK ATB TEMPORARY PATCH MAY BE USED IN LIEU OF A COLD MIX PATCH.
- EXTRUDED CEMENT CONCRETE CURBS AROUND ASPHALT EDGES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF MOUNTLAKE TERRACE STANDARD PLAN NO. 109.
- EXISTING VEGETATION SHALL BE RETAINED IN AREAS WHERE GRADING IS UNNECESSARY.
- ALL RECOMMENDATIONS MADE BY THE GEOTECHNICAL ENGINEER(S) UP TO NOW, OR AT ANY TIME IN THE FUTURE, INCLUDING, BUT NOT LIMITED TO RECOMMENDATIONS FOR CONSTRUCTION TECHNIQUES, CONSTRUCTION SCHEDULE, AND CONTROL OF STORM WATER RUNOFF THROUGHOUT THE PROJECT COMPLETION SHALL BE FOLLOWED. WHOEVER CONSTRUCTS SITE IMPROVEMENTS SHALL RETAIN A LICENSED GEOTECHNICAL ENGINEER TO OVERSEE AND ADVISE DURING CONSTRUCTION AND SITE GRADING TO ASSURE THAT ALL GEOTECHNICAL RECOMMENDATIONS ARE ADHERED TO.
- THE APPLICANT IS RESPONSIBLE FOR PROVIDING SPECIAL INSPECTION AND COMPACTION CERTIFICATION FOR THE BUILDING PADS, UTILITY TRENCHES, RETAINING WALLS AND DETENTION VAULT/TANK BACKFILL.

LEGEND - PROPOSED UTILITIES / SURFACE FEATURES

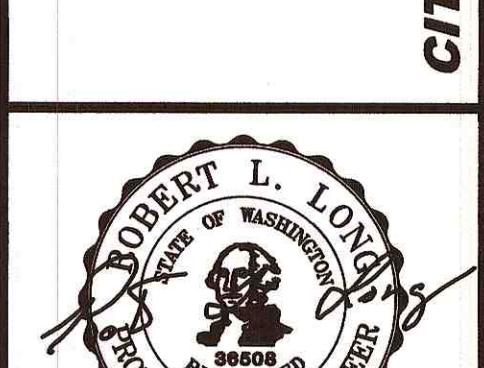


LEGEND - EXISTING UTILITIES / FEATURES

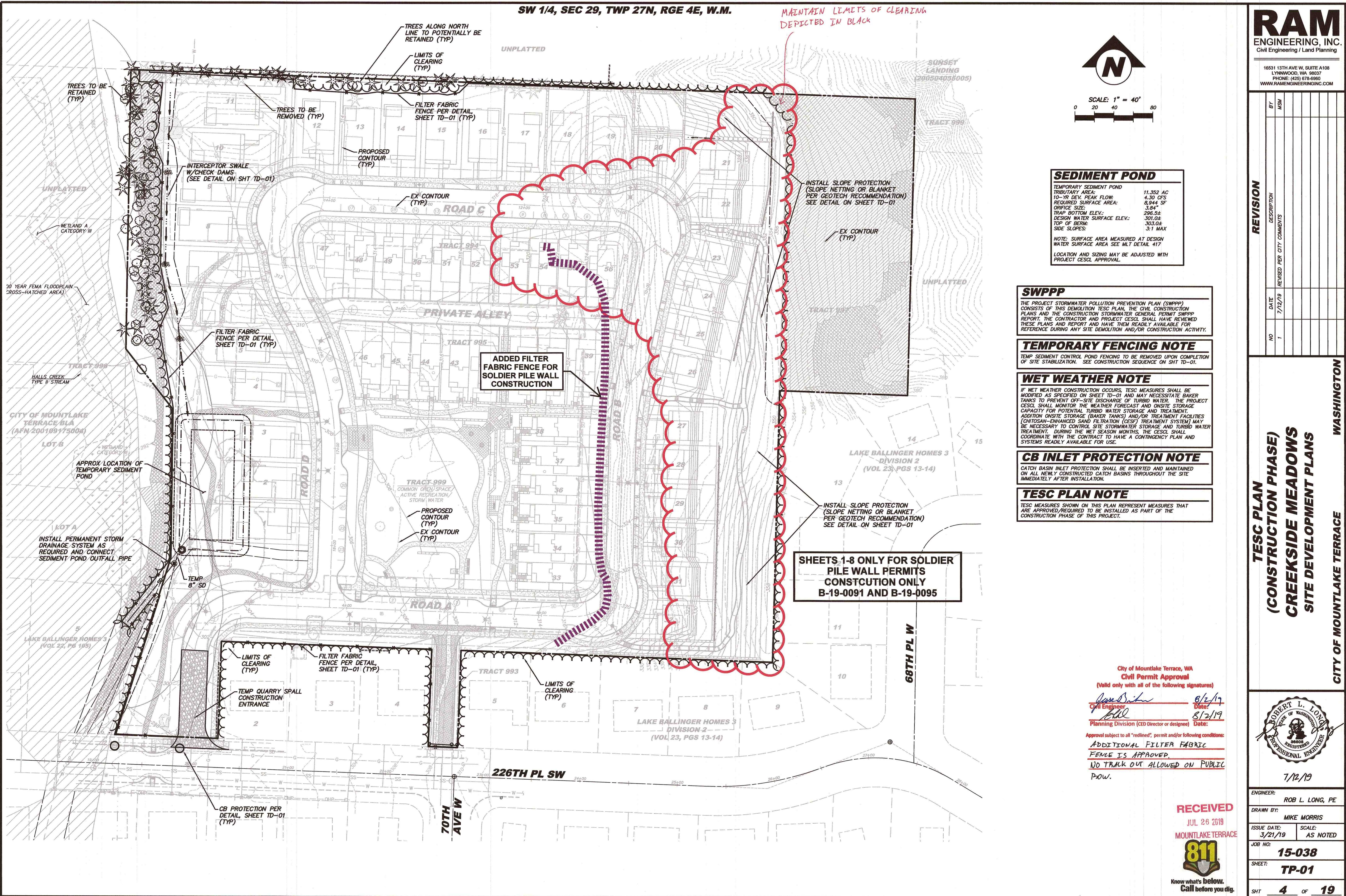


CREEKSIDE MEADOWS SITE DEVELOPMENT PLANS

GENERAL NOTES & LEGEND	RECEIVED
City of Mountlake Terrace, WA Civil Permit Approval (Valid only with all of the following signatures)	Jesse D. Binkley Date: 8/2/19 Planning Division (CED Director or designee) Approval subject to all "relinquished" permit and/or following conditions: _____ _____ _____ _____
Engineering: ROB L. LONG, PE	Date: MIKE MORRIS Issue Date: JUL 26 2019 Scale: AS NOTED Job No.: 15-038 Sheet: GN-01 811 Know what's below. Call before you dig.

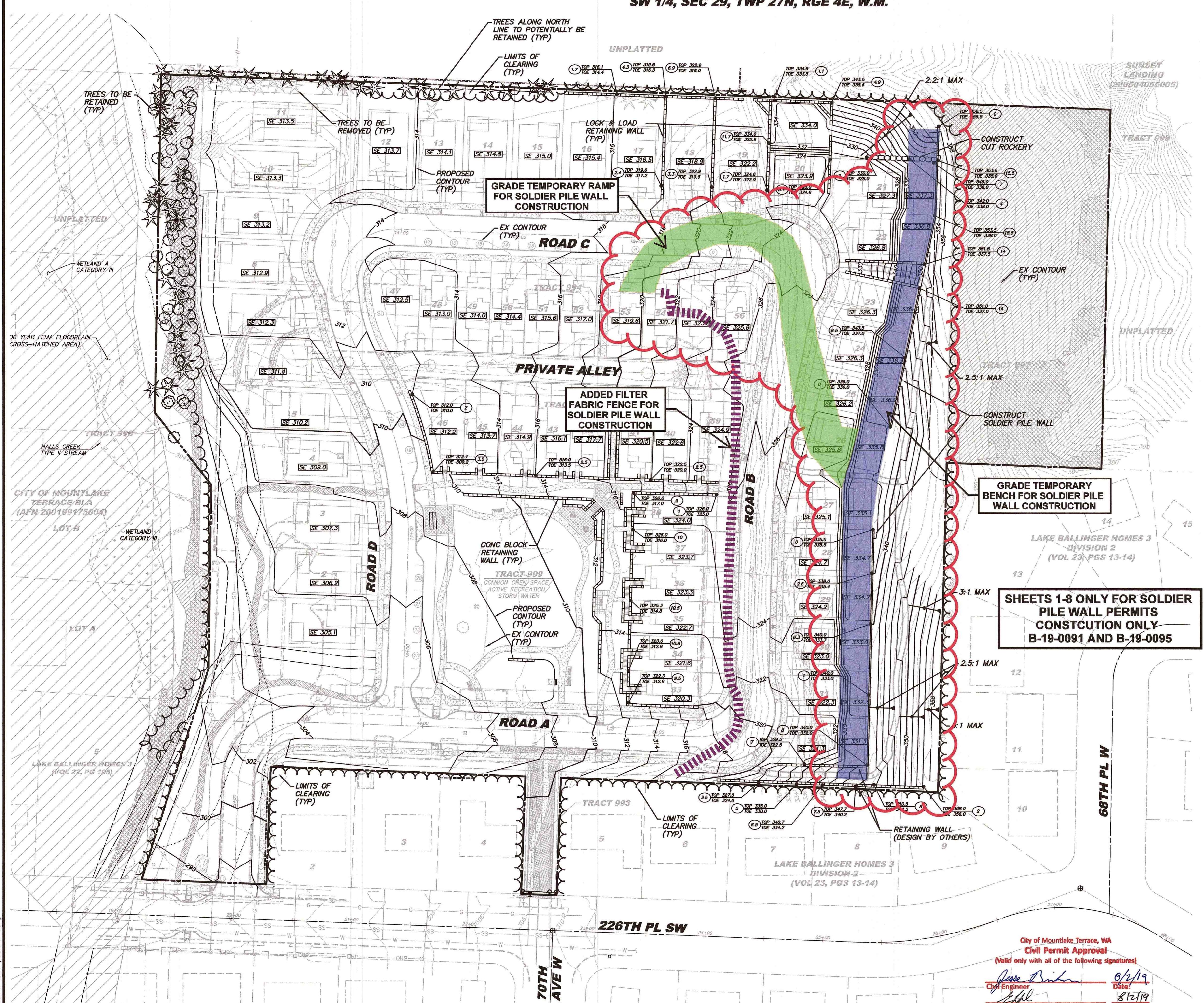


7/12/19
DRAWN BY: MIKE MORRIS
ISSUE DATE: 3/21/19
SCALE: AS NOTED
JOB NO: 15-038
SHEET: GN-01
811
Know what's below.
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RAM ENGINEERING, INC.

16531 13TH AVE W, SUITE A108
LYNNWOOD, WA 98037
PHONE: (425) 678-6960
WWW.RAMENGINEERINGINC.COM

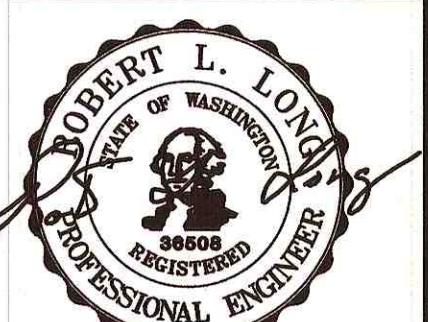


CREEKSIDE MEADOWS SITE DEVELOPMENT PLANS

CREEKSIDE MEADOWS SITE DEVELOPMENT PLANS

CITY OF MOUNTLAKE TERRACE

WASHINGTON



7/12/19

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JUL 26 2019
UNIVERSITY LIBRARIES

The logo consists of the number "811" in large yellow digits with a black outline. Below the digits is a white shovel head digging into a stylized green and brown ground surface.

LEGEND	
	FEMA 100-YEAR FLOOD PLAIN
	WETLAND - CATEGORY III
	POST CONSTRUCTION GEOLOGIC HAZARD AREA (LEVEL 2 - 15%-40%)
	POST CONSTRUCTION GEOLOGIC HAZARD AREA (LEVEL 4 - 40% OR GREATER)

2041

City of Mountlake Terrace, WA

Civil Permit Approval

(Valid only with all of the following signatures)

Planning DIVISION (CED Director or designee) Date:

GINEER: **ROB L. LONG, PE**
AWN BY: **MIKE MORRIS**

15 east

GB 01

5

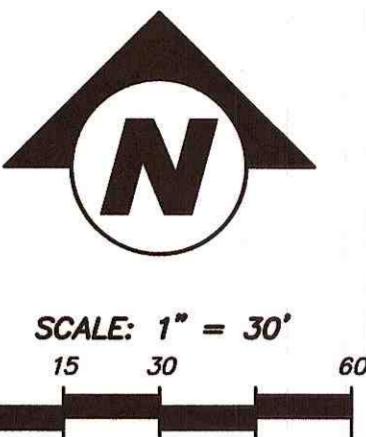
— 5 —

SW 1/4, SEC 29, TWP 27N, RGE 4E, W.M.

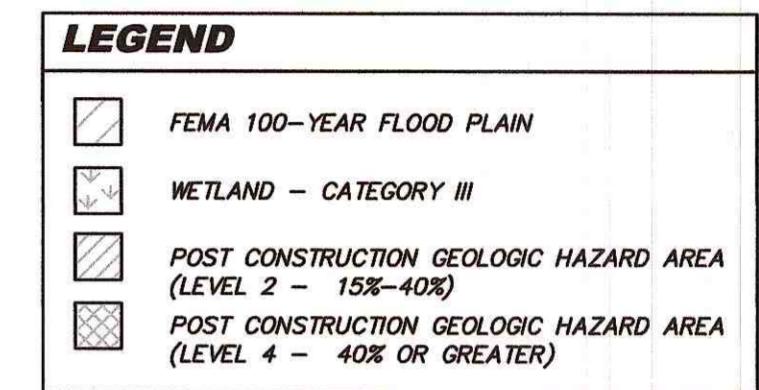
RAM **ENGINEERING, INC.**

Civil Engineering / Land Planning

16531 13TH AVE W, SUITE A108
LYNNWOOD, WA 98037
PHONE: (425) 678-6960
WWW.RAMENGINEERINGINC.COM



SCALE: 1" = 30'



DESCRIPTION

REEDING VALLEY CREEKSIDE MEADOWS SITE DEVELOPMENT PLANS

WASHINGTON CITY OF MOUNTLAKE TERRACE

CITY OF MOUNTLAKE TERRACE

TOMS
ER

GINEER:

AWN BY:

MIKE MORRIS

3/21/19 AS NOTED

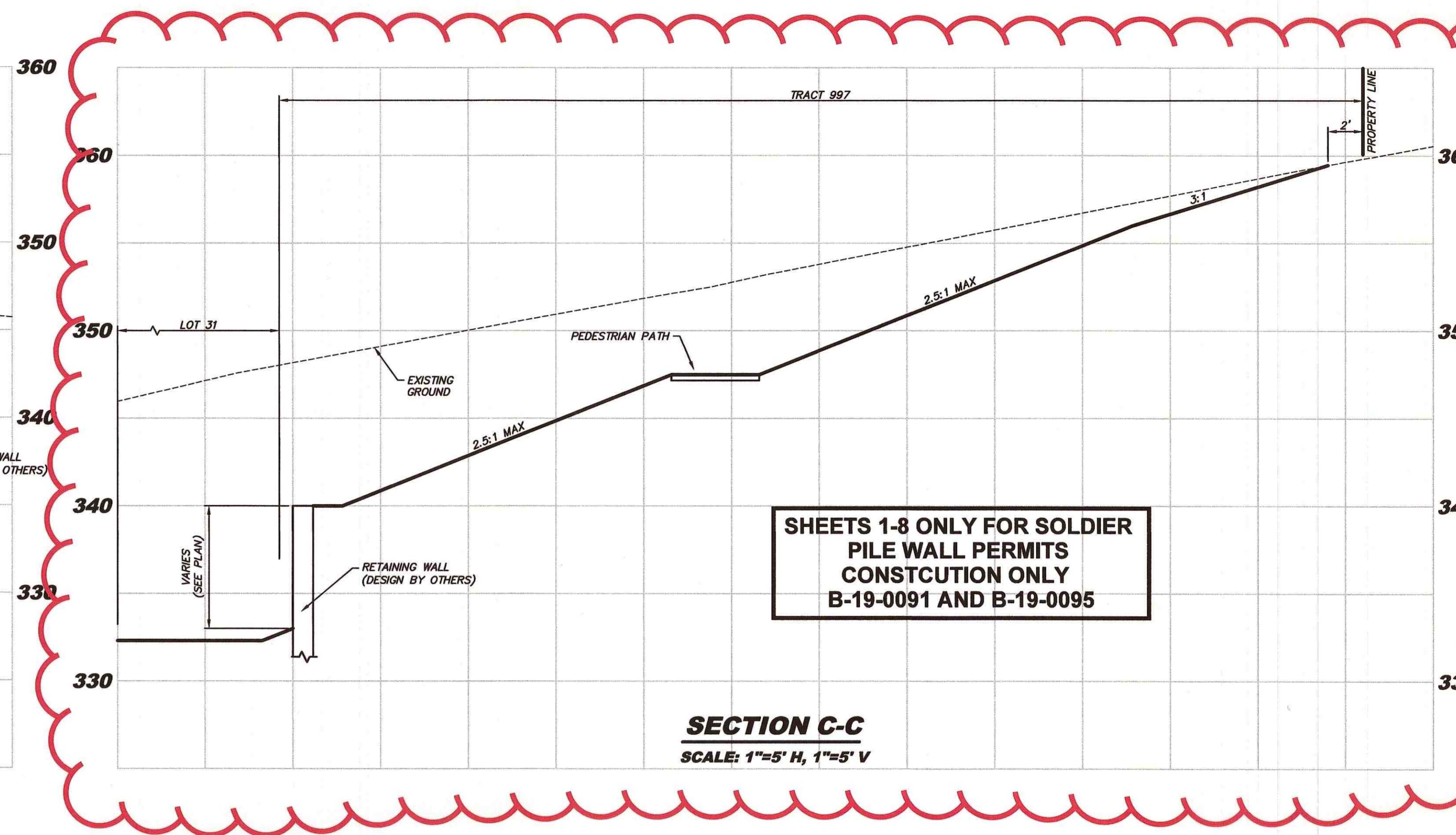
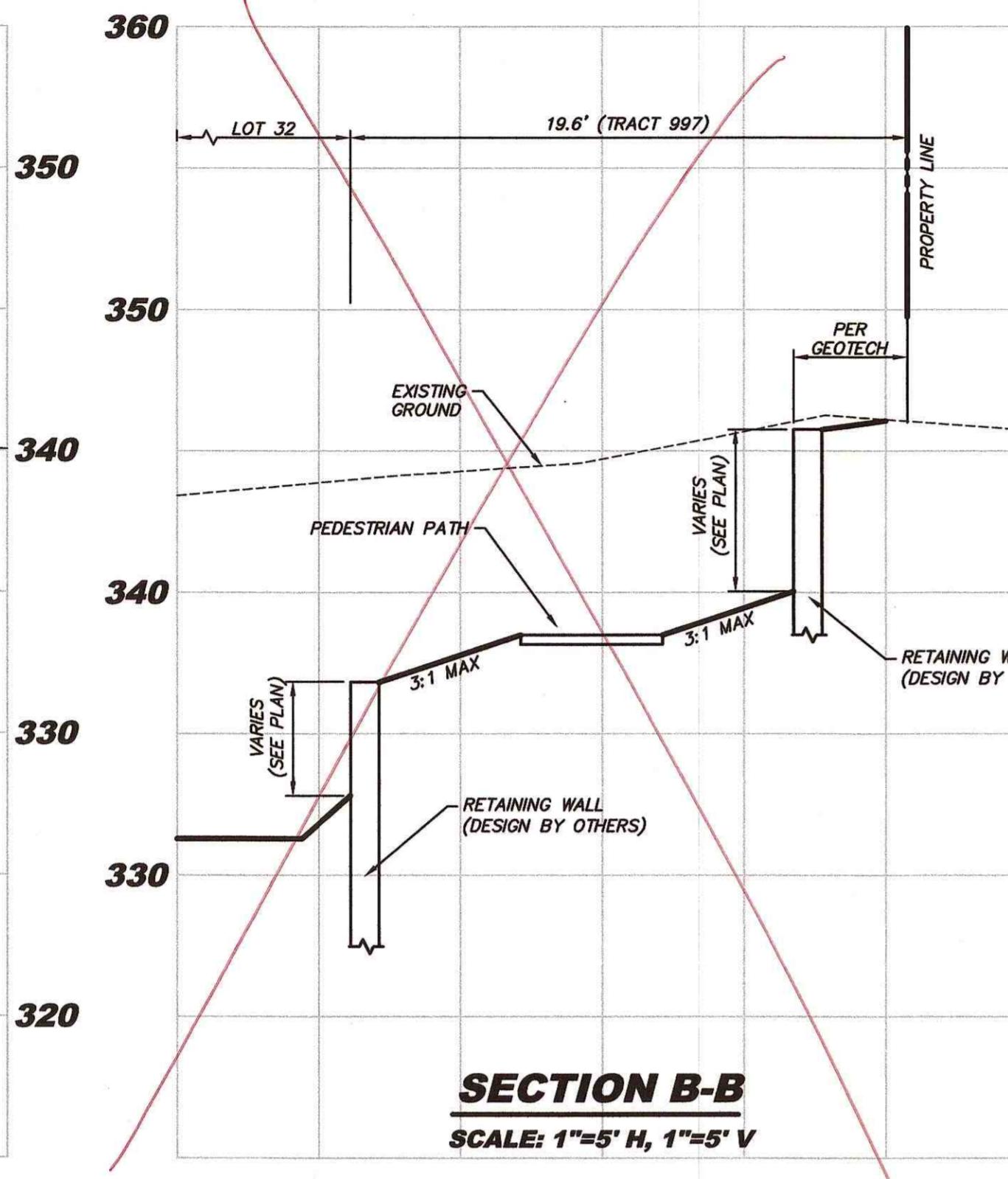
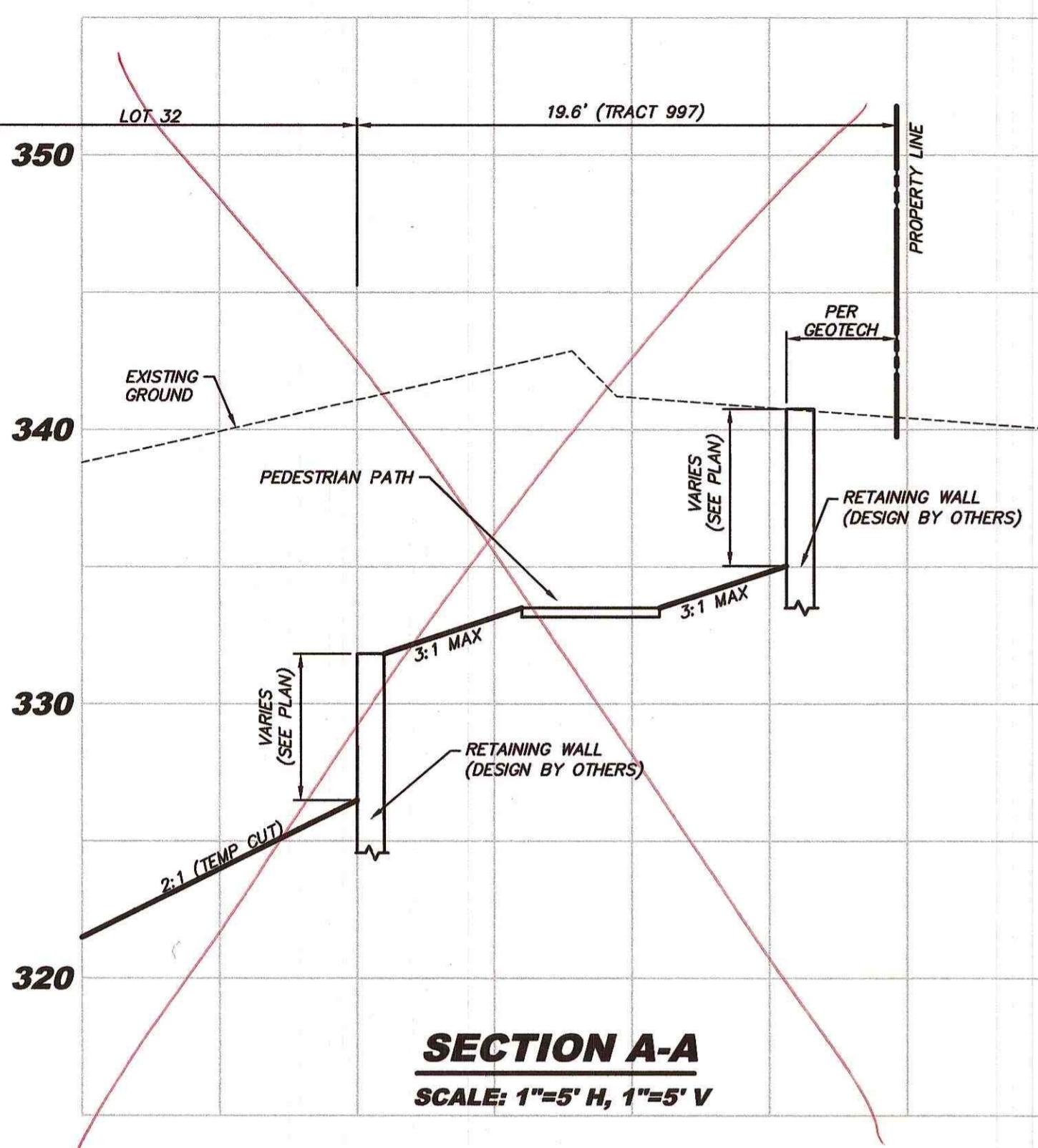
B NO: 15-038

EET: **GR 02**

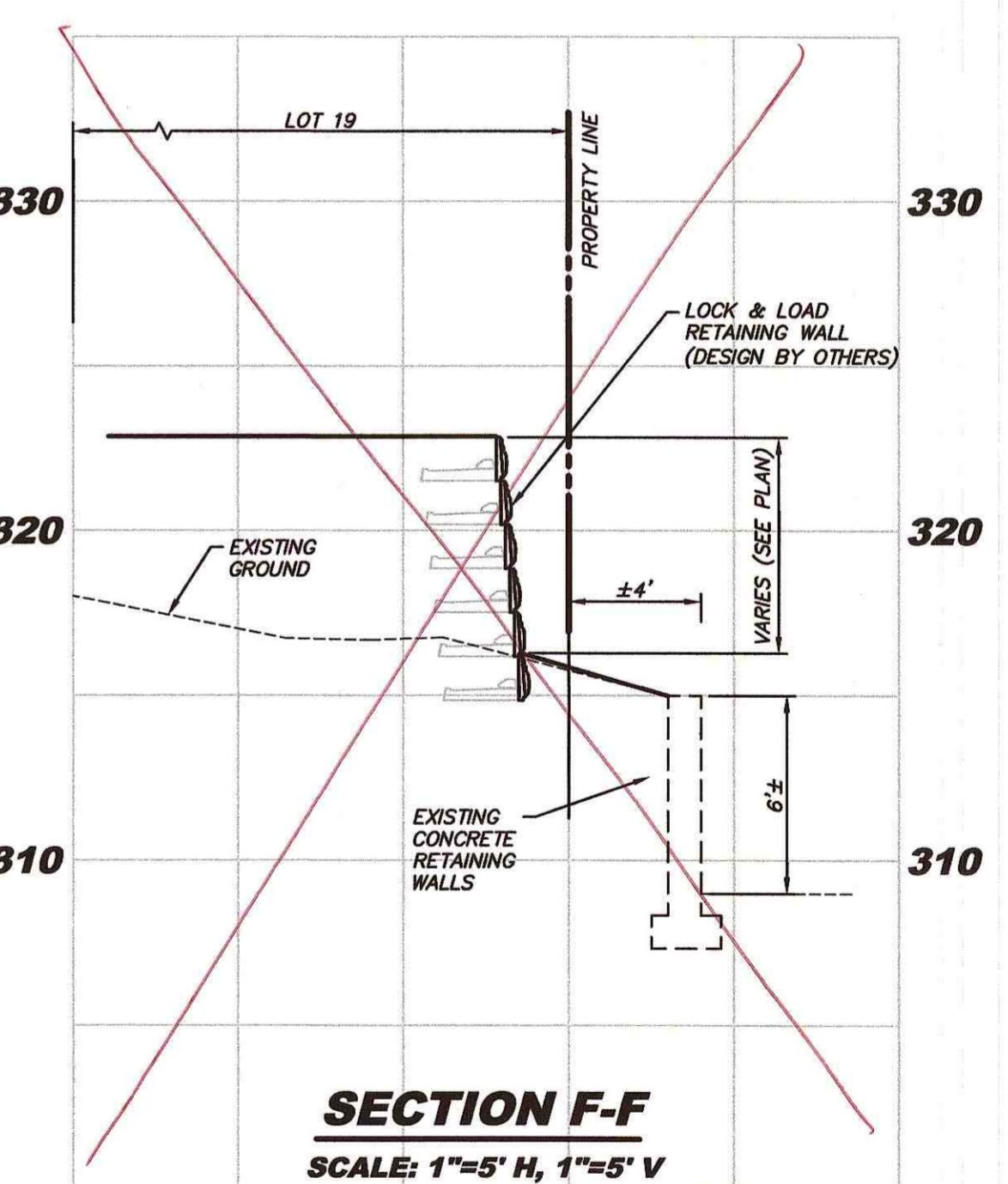
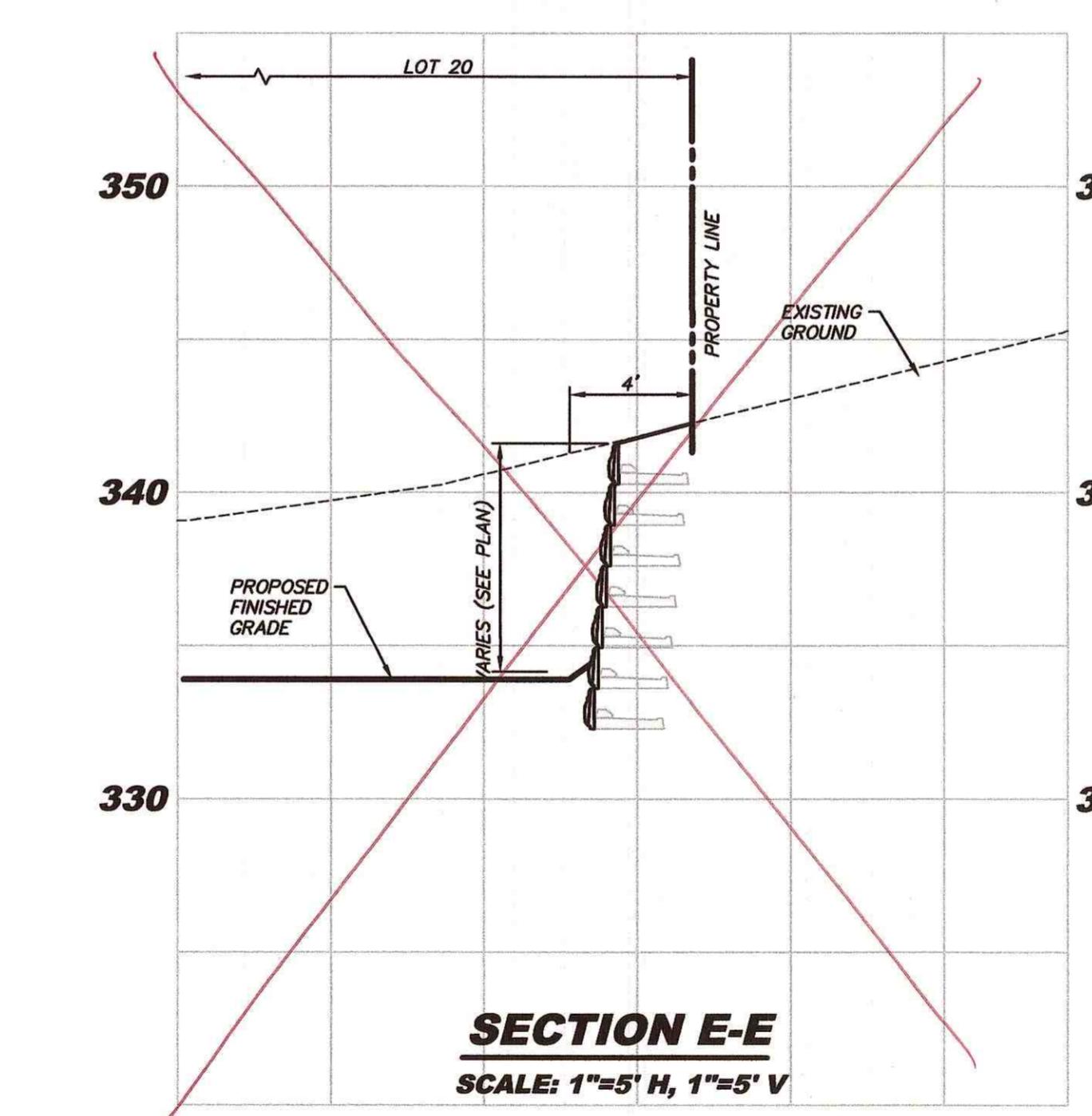
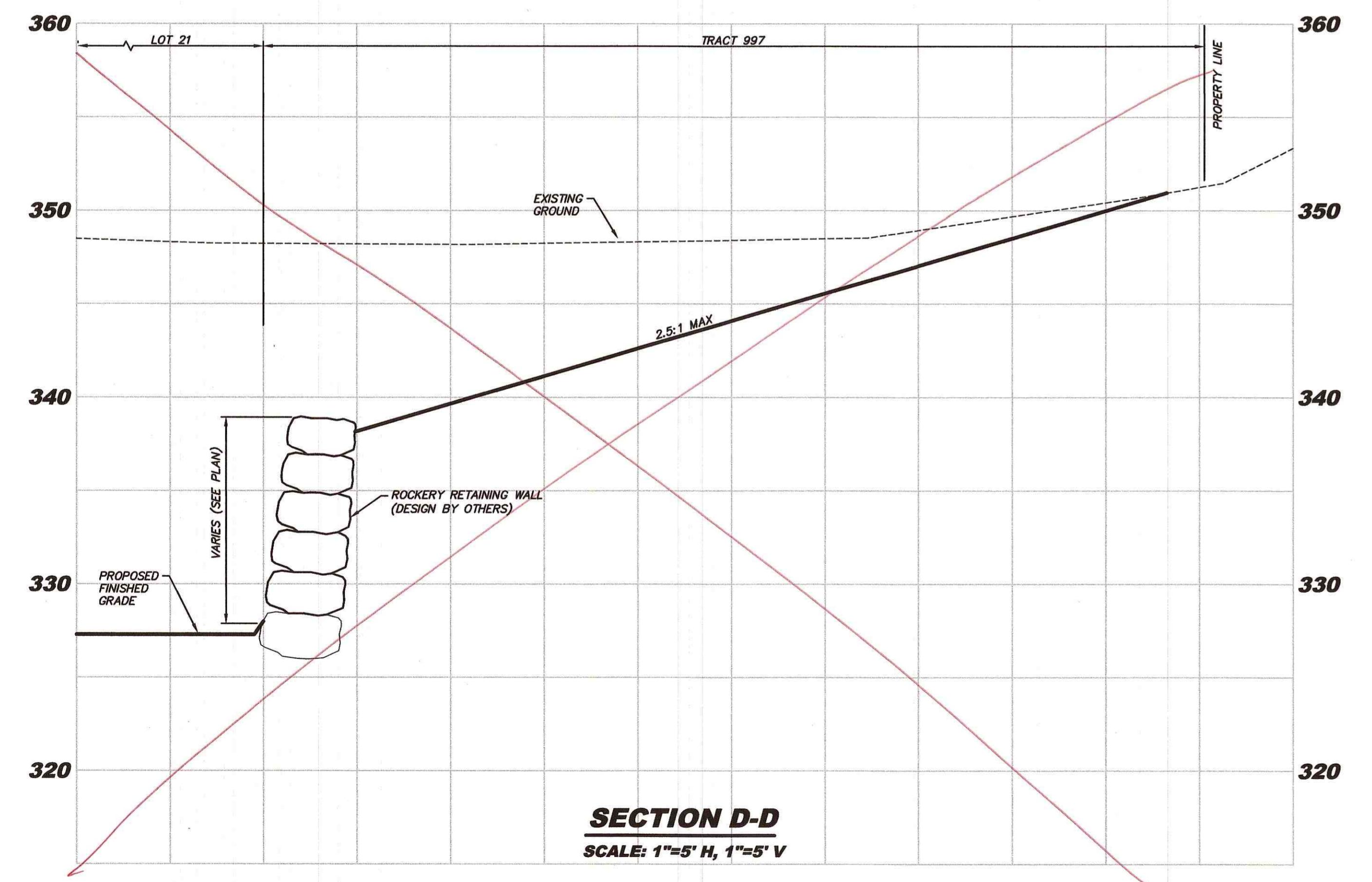
OK-02

T **6** OF **19**

10. The following table summarizes the results of the study.



WALL CROSS SECTIONS
CREEKSIDE MEADOWS
SITE DEVELOPMENT PLANS



City of Mountlake Terrace, WA
Civil Permit Approval
(Valid only with all of the following signatures)

Jan Brinkman 8/1/19
Chief Engineer Date: 8/1/19

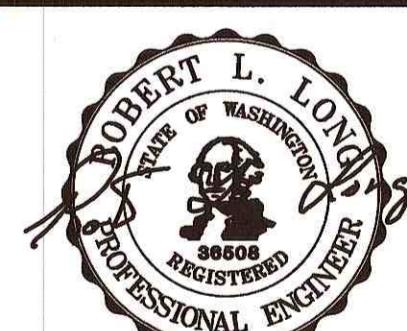
Planning Division (CED Director or designee) Date:

Approval subject to all "redlined" permit and/or following conditions:

RECEIVED
UL 26 2019
MOUNTLAKE TERRACE



Know what's below.
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7/12/19

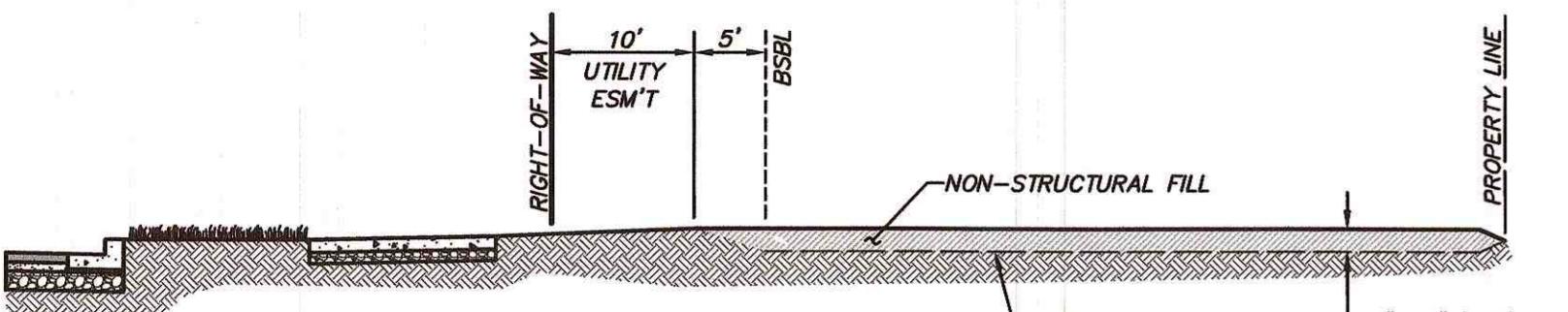
ENGINEER:	ROB L. LONG, PE
DRAWN BY:	MIKE MORRIS
ISSUE DATE:	3/21/19
JOB NO.:	15-038
SHEET:	CS-01
SHT	7 OF 19

REVISION

NO	DATE	DESCRIPTION	REVISED PER CITY COMMENTS
1	7/12/19		

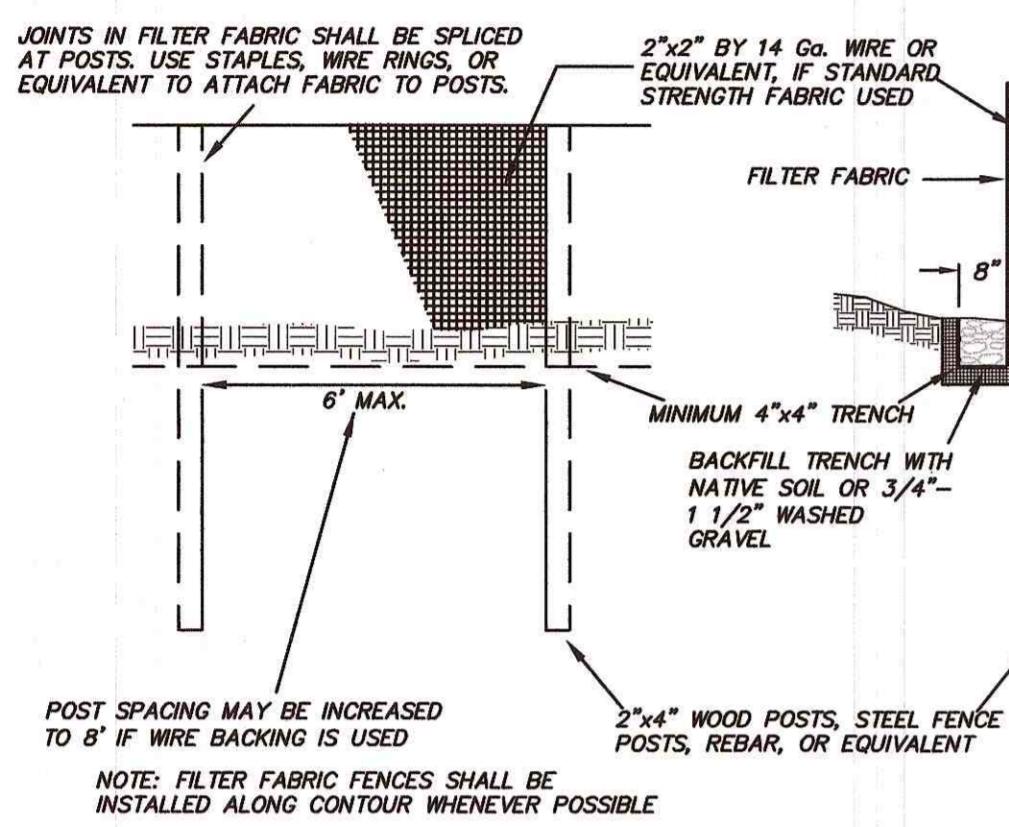
CITY OF MOUNTLAKE TERRACE
CREEKSIDE MEADOWS
SITE DEVELOPMENT PLANS

WASHINGTON



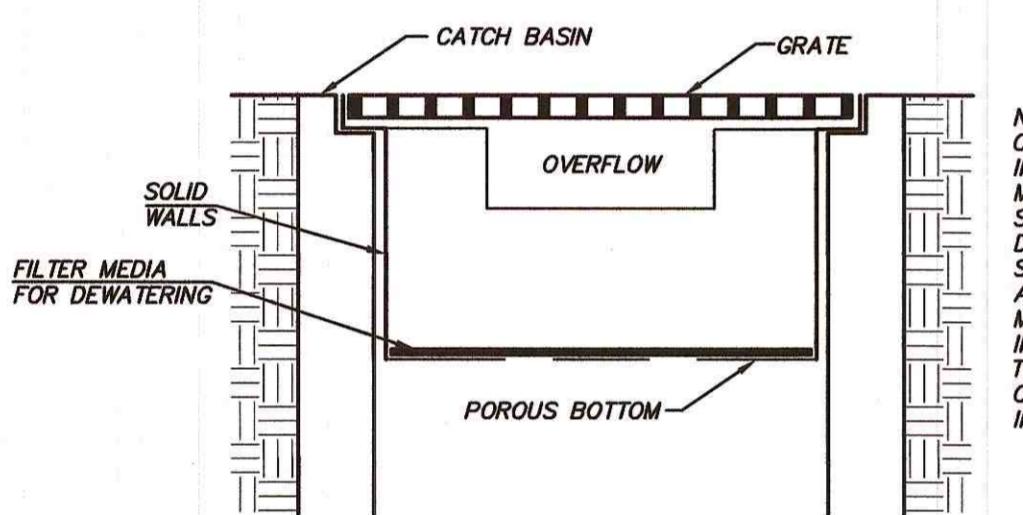
LOT GRADING CROSS SECTION

NOT TO SCALE



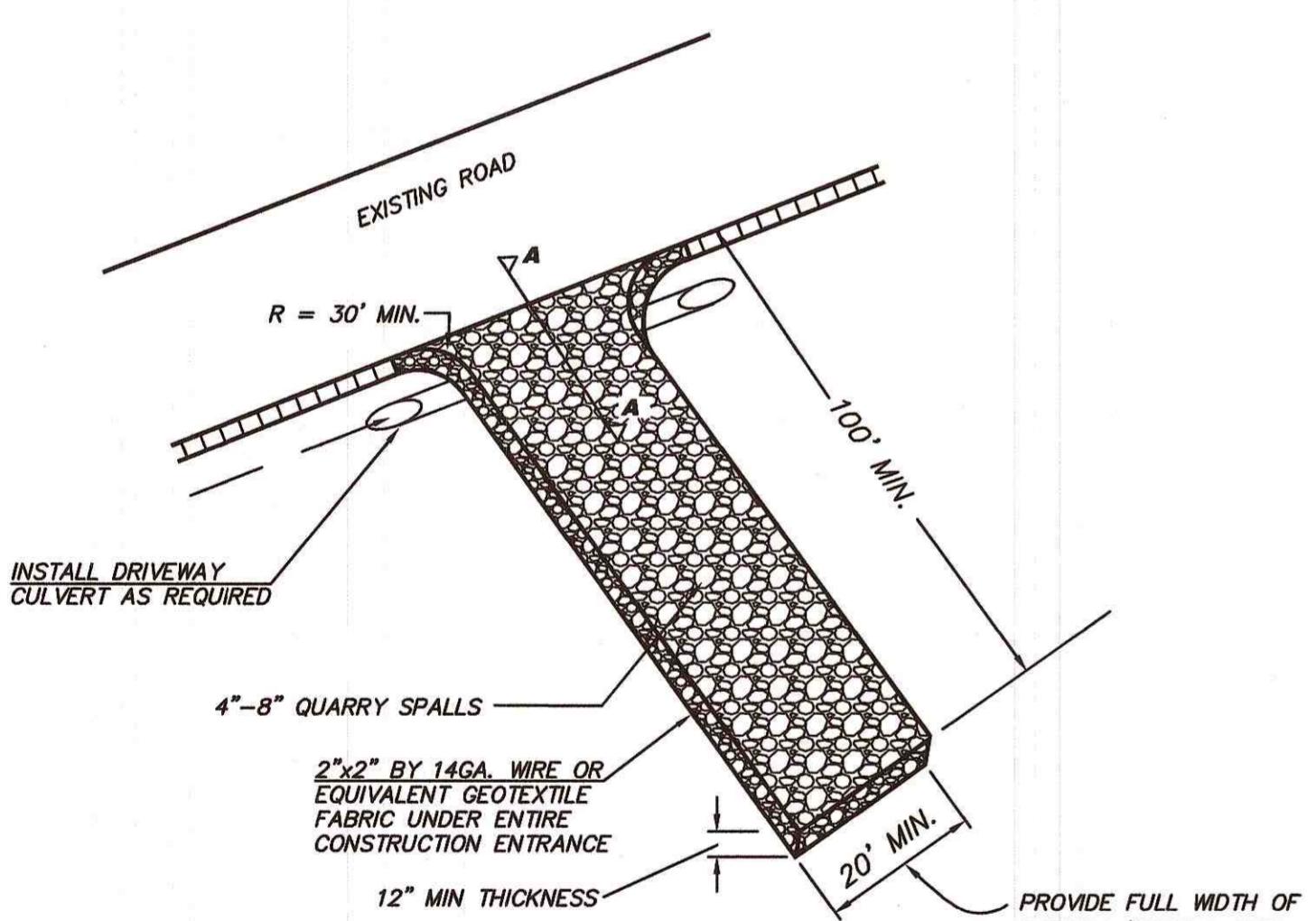
FILTER FABRIC FENCE

NOT TO SCALE



CATCH BASIN INSERT

NOT TO SCALE



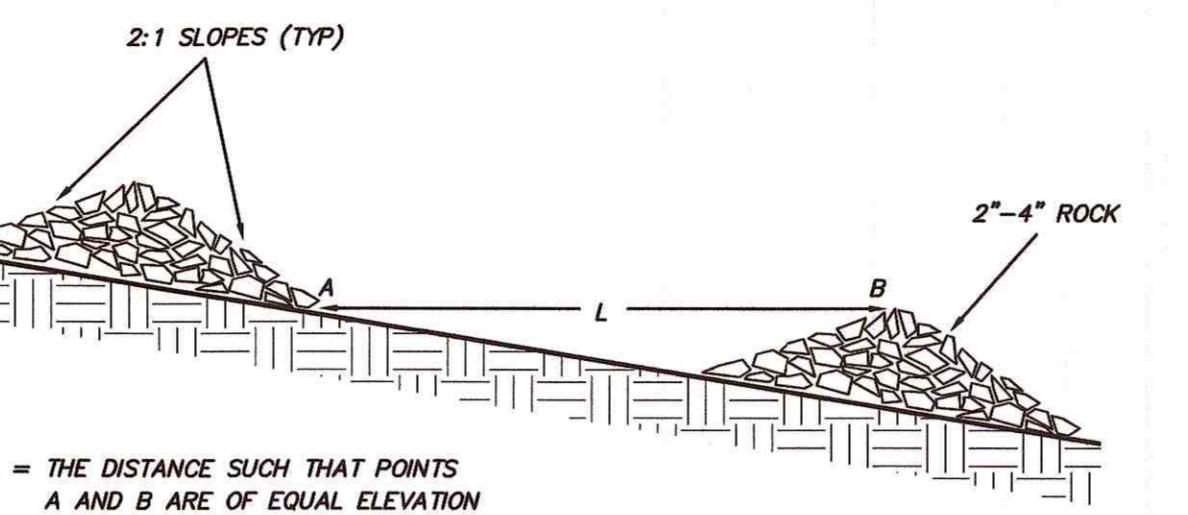
TEMPORARY CONSTRUCTION ENTRANCE NOTES

- INSTALLATION: THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER OBSTRUCTIVE MATERIAL. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS IN THE PLAN. IF WASH RACKS ARE USED, THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- AGGREGATE: 4" TO 8" CRUSHED BALLAST ROCK, OVER FILTER FABRIC.
- ENTRANCE DIMENSIONS: THE AGGREGATE LAYER MUST BE AT LEAST 12 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET.
- WASHING: IF CONDITIONS ON THE SITE ARE SUCH THAT MOST OF THE MUD IS NOT REMOVED FROM VEHICLE TIRES BY CONTACT WITH THE GRAVEL, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE.
- MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2-INCH STONE AS CONCRETE DENSIFYING AND REPAIR AND/OR CLEAN OUT ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, SPILLED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAY OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

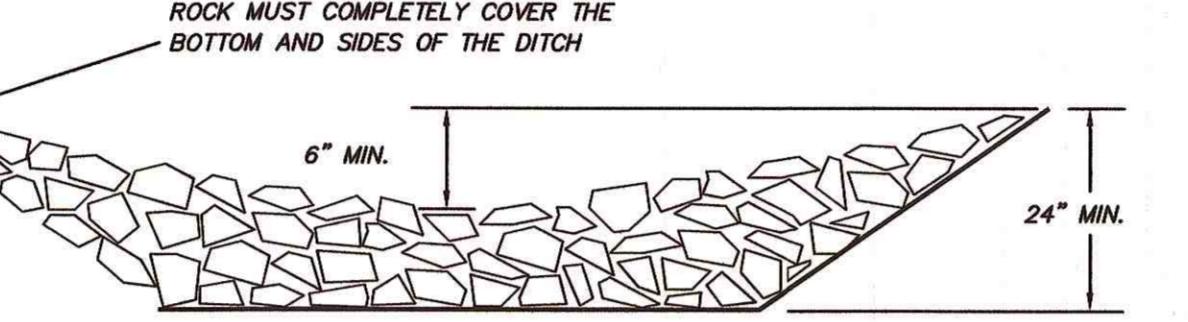
TEMPORARY CONSTRUCTION ENTRANCE

NOT TO SCALE

SW 1/4, SEC 29, TWP 27N, RGE 4E, W.M.

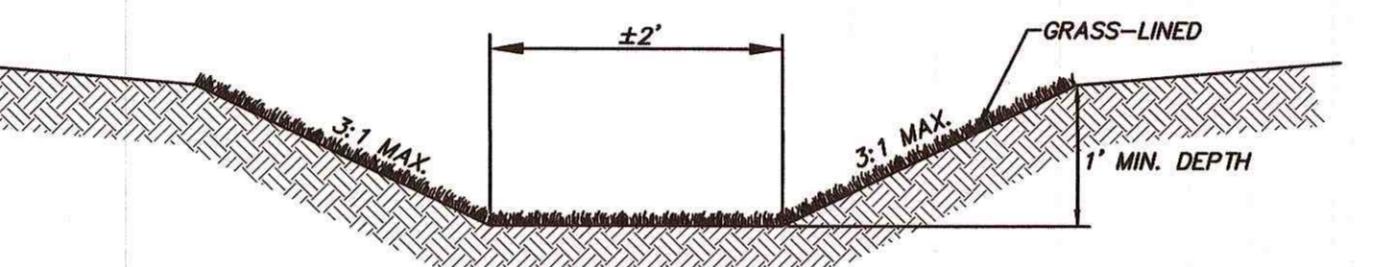


L = THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION



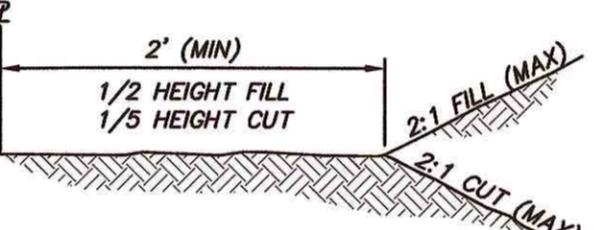
ROCK CHECK DAMS

NOT TO SCALE



INTERCEPTOR SWALE

NOT TO SCALE



GRADING SETBACK

NOT TO SCALE

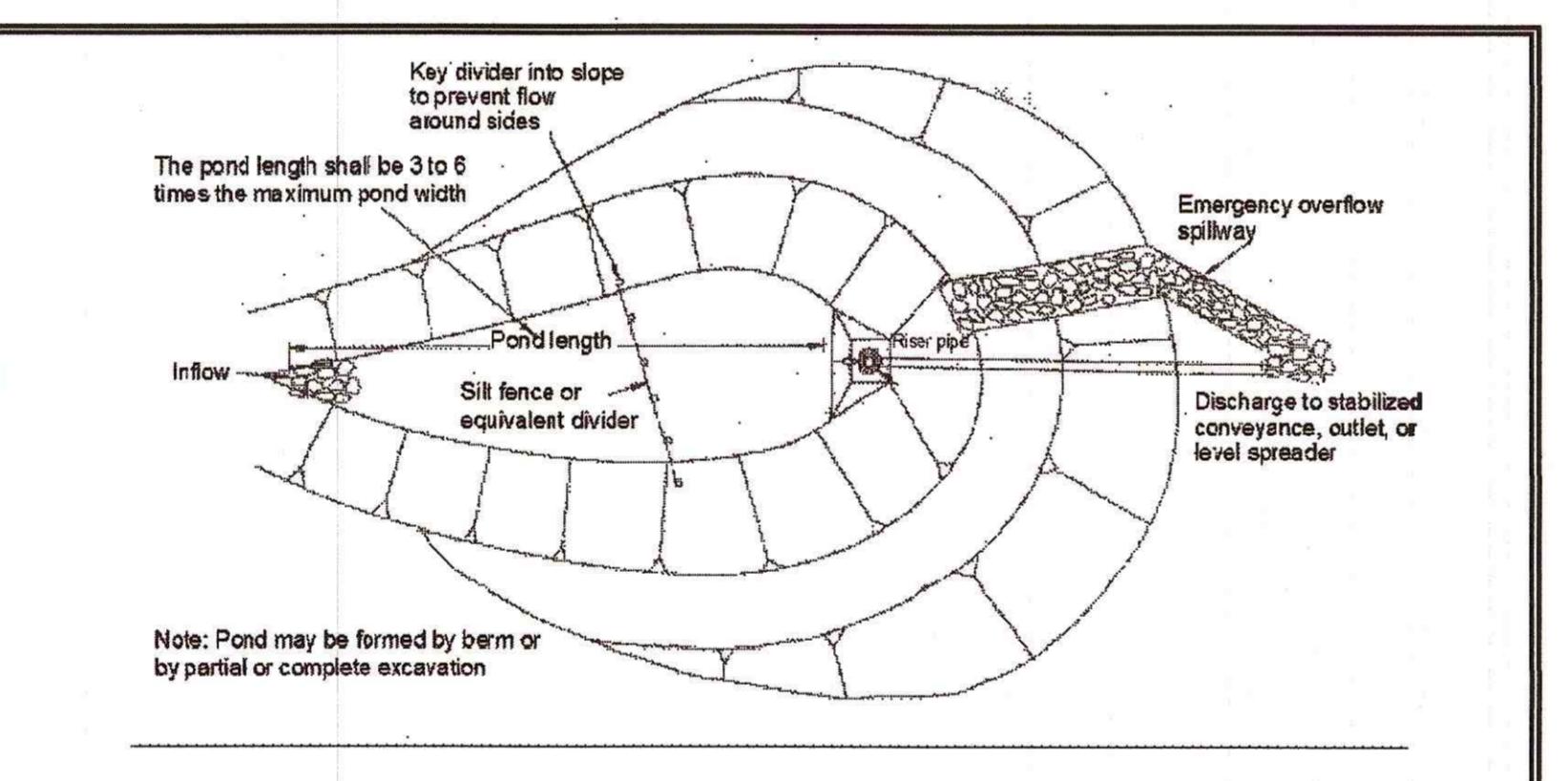


Figure 4.2.18 – Sediment Pond Plan View

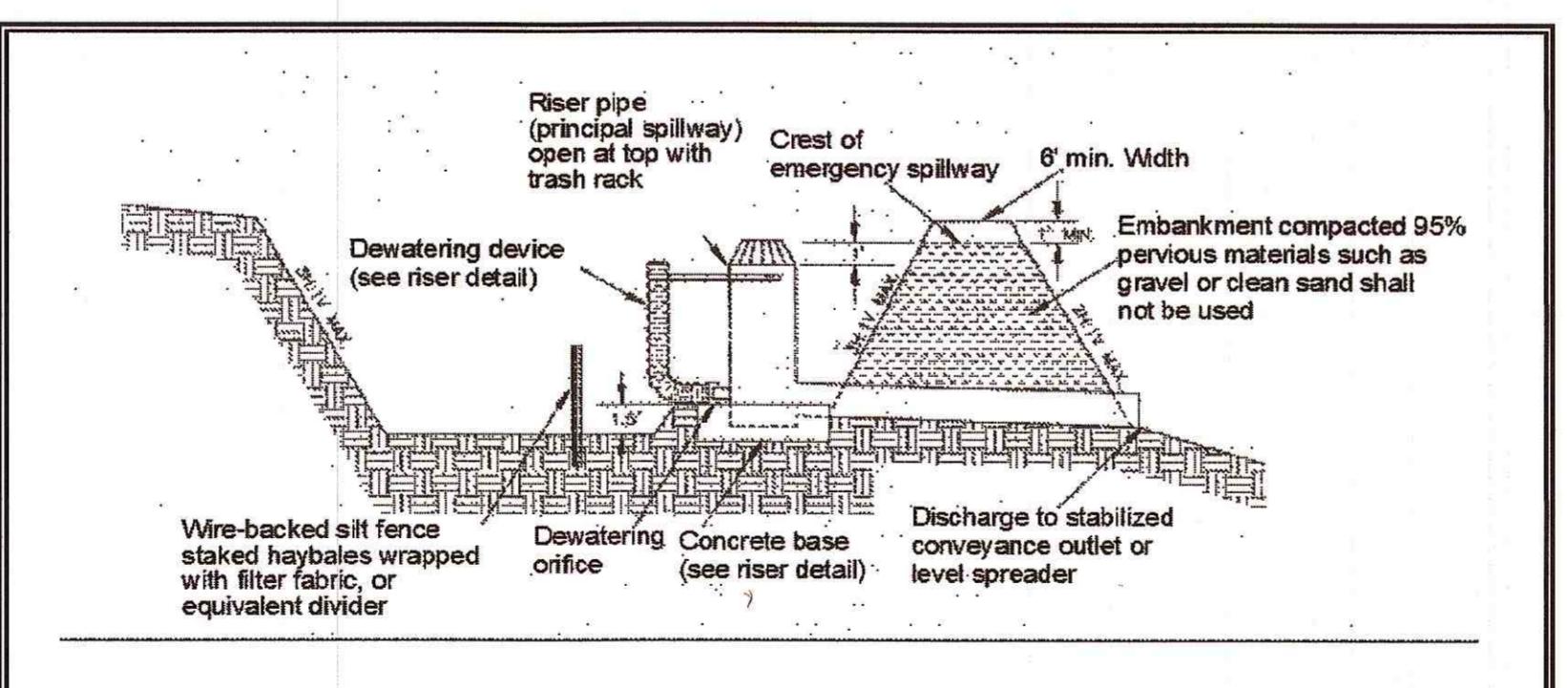


Figure 4.2.19 – Sediment Pond Cross Section

SEDIMENT POND DETAIL

NOT TO SCALE

TEMPORARY EROSION/SEDIMENTATION CONTROL NOTES

- PRIOR TO ANY CONSTRUCTION, RECONSTRUCTION, OR RENOVATION ACTIVITY, THE CITY OF MOUNTLAKE TERRACE ENGINEERING DEPARTMENT MUST BE CONTACTED FOR A PRECONSTRUCTION MEETING (425-776-1161).
- AN APPROVED COPY OF THESE PLANS MUST BE ON SITE AT ALL TIMES.
- ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND MAINTAINED DURING CONSTRUCTION.
- WHERE POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL AND TO MINIMIZE EROSION CONTROL MEASURES, AND DIRECT SURFACE RUNOFF AWAY FROM THE EXPOSED AREAS, STEEP SLOPES, OR EROSION HAZARD AREA.
- ALL REQUIRED SEDIMENTATION/EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM OR OFF-SITE STORM DRAINS. (SEE CONSTRUCTION SEQUENCE.) ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A Satisfactory CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. SYSTEM IMPLEMENTATION, MAINTENANCE, AND REPLACEMENT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE, ALONG WITH ANY REQUIRED ADDITIONS.
- THE EROSION AND SEDIMENTATION CONTROL SYSTEMS DEPICTED ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, THE PERMITTEE SHOULD ANTICIPATE THAT MORE EROSION AND SEDIMENTATION CONTROL FACILITIES MAY BE NECESSARY TO INSURE COMPLETE EROSION AND SEDIMENT CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE MINIMUM REQUIREMENTS SHOWN, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES AND WATER QUALITY OF THE RECEIVING DRAINAGE SYSTEM. ADDITIONAL MEASURES MAY ALSO BE REQUIRED BY THE CITY OF MOUNTLAKE TERRACE INSPECTOR.
- APPROVAL OF THE PLAN IS FOR EROSION/SEDIMENTATION CONTROL ONLY. IT DOES NOT CONSTITUTE AN APPROVAL OF STORM DRAINAGE DESIGN, SIZE OR LOCATION OF PIPES, RESTRICTORS, CHANNELS, OR RETENTION FACILITIES.
- IN ANY WORK WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 30 DAYS OR MORE, ALL DISTURBED AREAS MUST BE IMMEDIATELY STABILIZED WITH BY MULCHING, HYDROSEEDING, OR OTHER APPROVED EROSION CONTROL MEASURE APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF APRIL THROUGH SEPTEMBER INCLUSIVE. SEEDING MAY PROCEED WHENEVER IT IS IN THE INTEREST OF THE PERMITTEE BUT MUST BE AUGMENTED WITH MULCHING, NETTING, OR OTHER MEASURES APPROVED BY THE CITY OF MOUNTLAKE TERRACE, OUTSIDE OF THE SPECIFIED TIME PERIOD.
- GRASS SEEDING SHALL BE DONE USING AN APPROVED TYPE HYDRO-SEEDER, OR AS OTHERWISE APPROVED BY THE CITY OF MOUNTLAKE TERRACE. SEED MIX SHALL CONSIST OF RAPID, PERSISTENT, AND LEGUME GRASSES (MIN. BOL. PER ACRE) AS NOTED BELOW UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER:

 - 70% PERENNIAL RYEGRASS(3 VARIETIES) – JON RED AND/OR CHEWINGS FESCUE(2 VARIETIES)

- STRAW MULCH SHALL CONSIST OF A MINIMUM THICKNESS OF FOUR (4) INCHES SPREAD EVENLY OVER THE SURFACE TO BE PROTECTED. MULCH MUST BE PROPERLY ANCHORED TO THE GROUND. NETTING MAY BE REQUIRED TO HOLD MULCH IN PLACE ON STEEP SLOPES.
- A MINIMUM THREE (3) FOOT HIGH CHAIN LINK FENCE SHALL BE CONSTRUCTED AROUND ANY POND USED FOR SEDIMENTATION AND/OR DETENTION WHEN IT CAN BE EXPECTED THAT THE WATER DEPTH WILL EXCEED ONE (1) FOOT.
- THE CONTRACTOR SHALL ASSURE THAT NO CONCRETE OR CONCRETE BY-PRODUCTS, CHEMICALS, PAINTS, GLUES, OR ANY OTHER POLLUTANTS ENTER THE STORM DRAINAGE SYSTEM OR NATURAL STREAM COURSES.
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES WHEN THE EROSION HAZARD IS COMPLETELY OVER. REMOVE ALL DEPOSITED SEDIMENT AND DEBRIS AND REHABILITATE THE DISTURBED AREAS BY PLANTING VEGETATIVE COVER AS REQUIRED BY THE CITY OF MOUNTLAKE TERRACE.
- THE APPLICANT SHALL PROVIDE FOR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL TO BE ON-SITE OR ON-CALL AT ALL TIMES.
- A SPILL CONTROL KIT SHALL BE KEPT ON-SITE FOR ALL CONSTRUCTION EQUIPMENT.

GRADING GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION," WASHINGTON STATE DEPARTMENT OF TRANSPORTATION, CURRENT EDITION, TOGETHER WITH THE LATEST EDITION OF THE CITY OF MOUNTLAKE TERRACE ENGINEERING STANDARDS.
- AN APPROVED COPY OF THESE PLANS MUST BE ON SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN STREET USE AND ANY OTHER RELATED PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITY IN CITY RIGHT-OF-WAY.
- PRIOR TO ANY CONSTRUCTION ACTIVITY, THE CITY OF MOUNTLAKE TERRACE ENGINEERING DEPARTMENT (425-776-1161) MUST BE CONTACTED FOR A PRECONSTRUCTION MEETING.
- ALL LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN. THE CONTRACTOR SHALL CONTACT THE UTILITIES UNDERGROUND LOCATION SERVICE (1-800-424-5555) PRIOR TO CONSTRUCTION. THE OWNER OR HIS REPRESENTATIVE SHALL BE IMMEDIATELY CONTACTED IF A UTILITY CONFLICT EXISTS.
- THE TEMPORARY EROSION/SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED PRIOR TO ANY GRADING OR EXTENSIVE LAND CLEARING IN ACCORDANCE WITH THE APPROVED TEMPORARY EROSION/SEDIMENTATION CONTROL PLANS. THESE FACILITIES MUST BE SATISFACTORILY MAINTAINED UNTIL CONSTRUCTION AND LANDSCAPING IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED.
- ALL ROCKERIES SHALL CONFORM WITH THE CITY OF MOUNTLAKE TERRACE STANDARD PLAN NO. 601. A FOUR (4) INCH MINIMUM DIAMETER PVC PERFORATED PIPE, OR EQUAL, WILL BE INSTALLED BEHIND THE ROCKERY AT OR BELOW THE BOTTOM OF THE LOWEST ROCK IN THE ROCKERY BACKFILL (SEE DETAIL). THIS PIPE SHALL BE DIRECTLY CONNECTED TO THE UNDERGROUND STORE DRAINAGE SYSTEM WITH NON-PERFORATED PVC PIPE OR AS OTHERWISE SHOWN ON THE PLANS.
- ALL EARTHWORK UNDER PAVING SHALL BE COMPAKTED TO MINIMUM 95% DRY OPTIMUM DENSITY PER ASTM D-1557, OR LATEST REVISION, (MODIFIED PROCTOR).
- UNLESS OTHERWISE NOTED, ALL ELEVATIONS SHOWN IN PAVED AREAS ON THE PLANS ARE TOP OF PAVING.
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- OPEN-CUT ROAD CROSSINGS FOR UTILITY TRENCHES ON EXISTING TRAVELED ROADWAYS SHALL BE BACKFILLED IN ACCORDANCE WITH CITY OF MOUNTLAKE TERRACE STANDARD PLAN NO. 112 AND MECHANICALLY COMPAKTED. CUTS INTO THE EXISTING ASPHALT SHALL BE NEAT LINE CUT WITH SAW IN A CONTINUOUS LINE. A TEMPORARY COLD MIX PATCH MUST BE PLACED IMMEDIATELY AFTER BACKFILL AND COMPAKITION. A PERMANENT HOT MIX PATCH SHALL BE PLACED WITHIN 30 DAYS AND SHALL BE THE THICKNESS OF THE ORIGINAL ASPHALT, OR THREE (3) INCHES, WHICHEVER IS GREATER. A 2"-THICK TEMPORARY PATCH MAY BE USED IN LIEU OF A COLD MIX PATCH.
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- EXISTING VEGETATION SHALL BE RETAINED IN AREAS WHERE GRADING IS UNNECESSARY.
- ALL RECOMMENDATIONS MADE BY THE GEOTECHNICAL ENGINEER(S) UP TO NOW, OR AT ANY TIME IN THE FUTURE, INCLUDING, BUT NOT LIMITED TO RECOMMENDATIONS FOR CONSTRUCTION TECHNIQUES, CONSTRUCTION SCHEDULES, AND CONTROL OF STORM WATER RUNOFF THROUGHOUT THE PROJECT, SHALL BE FOLLOWED BY WHOM EVER CONSTRUCTS SITE IMPROVEMENTS SHALL RETAIN A LICENSED GEOTECHNICAL ENGINEER TO OVERSEE AND ADVISE DURING CONSTRUCTION AND SITE CLOSING. TO ENSURE THAT ALL GEOTECHNICAL RECOMMENDATIONS ARE ADHERED TO, THE APPLICANT IS RESPONSIBLE FOR PROVIDING SPECIAL INSPECTION AND COMPAKITION CERTIFICATION FOR THE BUILDING PADS, UTILITY TRENCHES, RETAINING WALLS AND DETENTION VAULT/TANK BACKFILL.

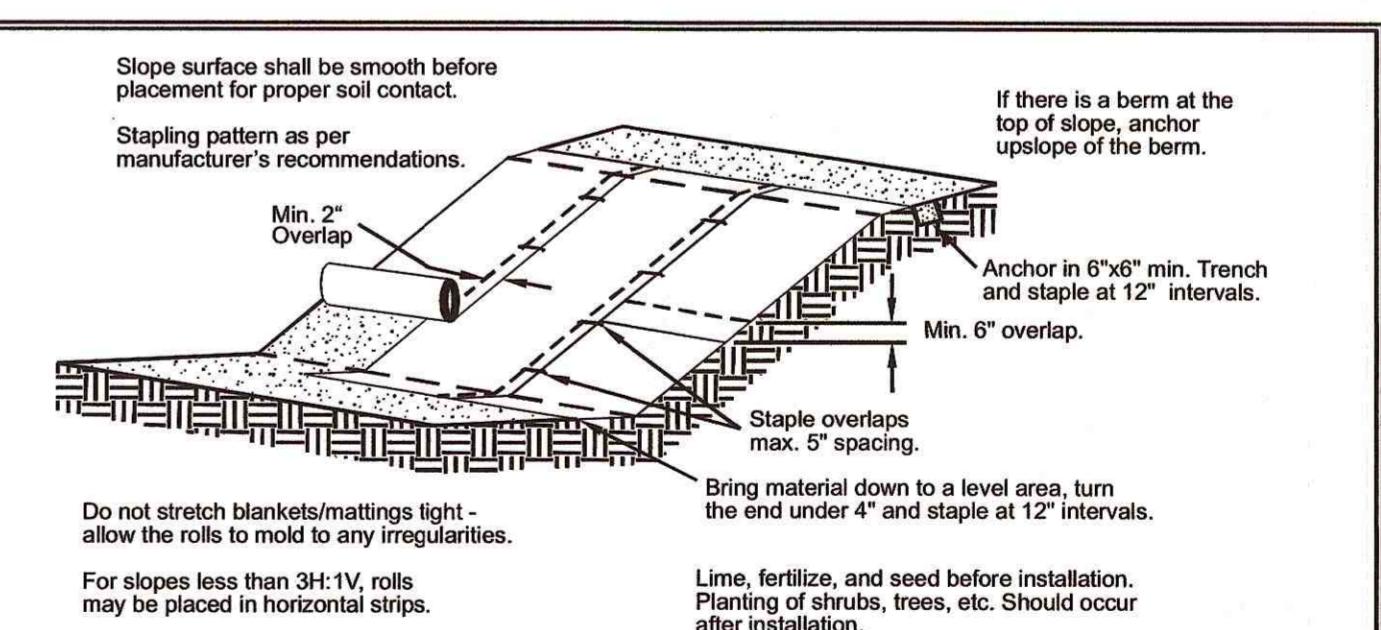
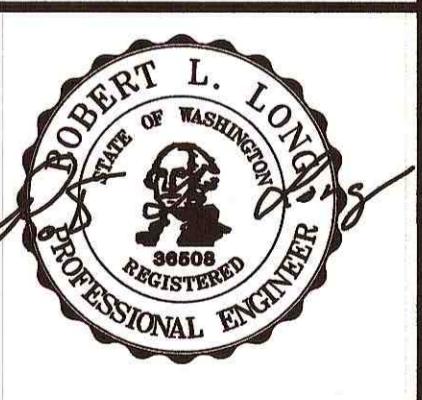


Figure 4.1.4 – Slope Installation

SLOPE PROTECTION

NOT TO SCALE



7/12/19

ENGINEER: ROB L. LONG, PE
DRAWN BY: MIKE MORRIS
ISSUE DATE: 3/21/19
SCALE: AS NOTED
JOB NO: 15-038
SHEET: TD-01

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CREEKSIDEMEADOWS DEMOLITION & TESC PLANS

LEGAL DESCRIPTION

(PER ALTA COMMITMENT NO. 500036476, AMENDMENT 1)

PARCEL A:

ALL THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 27 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE EAST LINE OF ABOVE SAID SUBDIVISION, SOUTH 013°27' EAST, 460.01 FEET FROM THE NORTHEAST CORNER THEREOF;

THENCE NORTH 89°35'34" WEST, PARALLEL WITH THE NORTH LINE OF THE ABOVE SAID SUBDIVISION, 330.90 FEET TO THE TRUE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED;

THENCE CONTINUING NORTH 89°14'34" WEST, PARALLEL WITH THE NORTH LINE OF THE ABOVE SAID SUBDIVISION, 672.43 FEET, TO THE NORTHEAST CORNER OF TRACT OF LAND CONVEYED TO CARL F. SODERBERG AND WIFE BY DEED RECORDED UNDER AUDITOR'S FILE NO. 400573, RECORDS OF SNOHOMISH COUNTY, WASHINGTON;

THENCE SOUTH 04°31'7" EAST, PARALLEL WITH THE WEST LINE OF THE ABOVE SAID SUBDIVISION, 278.97 FEET;

THENCE SOUTH 18°41'09" WEST, 105.31 FEET;

THENCE SOUTH 89°35'35" EAST, PARALLEL WITH THE SOUTH LINE OF THE ABOVE SAID SUBDIVISION, 47 FEET, MORE OR LESS, TO THE SOUTHWEST CORNER OF LOT 1 IN THE PLAT OF LAKE BALLINGER HOMES NO. 3, DIVISION NO. 2, ACCORDING TO THE RECORDS OF SNOHOMISH COUNTY, WASHINGTON;

THENCE NORTH 20°13'18" EAST, 106.29 FEET;

THENCE SOUTH 89°35'35" EAST, PARALLEL WITH THE SOUTH LINE OF THE ABOVE SAID SUBDIVISION, 270.00 FEET;

THENCE SOUTH 02°42'5" WEST, PERPENDICULAR TO THE SOUTH LINE OF THE ABOVE SAID SUBDIVISION, 100.00 FEET;

THENCE NORTH 89°35'35" EAST, PARALLEL WITH THE SOUTH LINE OF THE ABOVE SAID SUBDIVISION, 33.09 FEET;

THENCE NORTH 02°42'5" EAST, PERPENDICULAR TO THE SOUTH LINE OF THE ABOVE SAID SUBDIVISION, 100.00 FEET;

THENCE SOUTH 89°35'35" EAST, PARALLEL WITH THE SOUTH LINE OF THE ABOVE SAID SUBDIVISION, 320.00 FEET;

THENCE NORTH 013°27' WEST, PARALLEL WITH THE EAST LINE OF THE ABOVE SAID SUBDIVISION, 27.97 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT THAT PORTION THEREOF AS CONVEYED TO THE CITY OF MOUNTLAKE TERRACE BY QUIT CLAIM DEED RECORDED UNDER AUDITOR'S FILE NO. 8712030154, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, BEING THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 27 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 5 OF THE PLAT OF LAKE BALLINGER HOMES NO. 3, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 22 OF PLATS, PAGE 103, RECORDS OF SNOHOMISH COUNTY, WASHINGTON;

THENCE SOUTH 89°35'35" EAST ALONG THE NORTH Margin OF THE RIGHT-OF-WAY OF 226TH STREET S.W., A DISTANCE OF 13.27 FEET, TO THE TRUE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 04°31'7" EAST, A DISTANCE OF 53.70 FEET;

THENCE SOUTH 18°41'09" WEST, A DISTANCE OF 105.31 FEET, TO THE TRUE POINT OF BEGINNING.(PER ALTA COMMITMENT NO. 500036476, AMENDMENT 1)

PARCEL A-1:

AN EASEMENT FOR INGRESS, EGRESS AND PARKING AS CREATED BY EASEMENT AGREEMENT RECORDED UNDER AUDITOR'S FILE NO. 8712030151, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, OVER ACCESS, LONG AND UPON PAYMENT UNDER THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 27 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF LOT 5 OF THE PLAT OF LAKE BALLINGER HOMES NO. 3, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 22 OF PLATS, PAGE 103, RECORDS OF SNOHOMISH COUNTY, WASHINGTON;

THENCE SOUTH 89°35'35" EAST ALONG THE NORTH Margin OF THE RIGHT-OF-WAY OF 226TH STREET S.W., A DISTANCE OF 13.27 FEET, TO THE TRUE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 04°31'7" EAST, A DISTANCE OF 17.85 FEET;

THENCE NORTH 15°51'02" EAST, A DISTANCE OF 188.14 FEET;

THENCE NORTH 00°51'53" WEST, A DISTANCE OF 3.23 FEET;

THENCE SOUTH 011°23'23" EAST, A DISTANCE OF 109.05 FEET;

THENCE SOUTH 022°11'04" WEST, A DISTANCE OF 49.74 FEET;

THENCE SOUTH 105°54'57" WEST, A DISTANCE OF 19.61 FEET;

THENCE SOUTH 20°06'37" WEST, A DISTANCE OF 38.02 FEET;

THENCE SOUTH 21°20'51" WEST, A DISTANCE OF 134.90 FEET, TO THE TRUE POINT OF BEGINNING;

PARCEL B:

ALL THE SOUTH 149.99 FEET OF THE NORTH 459.99 FEET OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 27 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN;

EAST THE EAST 208.72 FEET AND THE WEST 325.10 FEET THEREOF.

EXCEPT THAT PORTION THEREOF AS CONVEYED TO THE CITY OF MOUNTLAKE TERRACE BY QUIT CLAIM DEED RECORDED UNDER AUDITOR'S FILE NO. 8712030154, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, BEING THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 27 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 5 OF THE PLAT OF LAKE BALLINGER HOMES NO. 3, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 22 OF PLATS, PAGE 103, RECORDS OF SNOHOMISH COUNTY, WASHINGTON;

THENCE SOUTH 89°35'35" EAST ALONG THE NORTH Margin OF THE RIGHT-OF-WAY OF 226TH STREET S.W., A DISTANCE OF 13.27 FEET;

THENCE NORTH 15°51'02" EAST, A DISTANCE OF 188.14 FEET;

THENCE NORTH 00°51'53" WEST, A DISTANCE OF 156.25 FEET;

THENCE NORTH 39°34'50" WEST, A DISTANCE OF 78.72 FEET;

THENCE SOUTH 00°43'17" EAST, A DISTANCE OF 244.24 FEET, TO THE NORTHEAST CORNER OF SAID LOT 5;

THENCE CONTINUING SOUTH 04°31'7" EAST, A DISTANCE OF 53.70 FEET;

THENCE SOUTH 18°41'09" WEST, A DISTANCE OF 105.31 FEET, TO THE TRUE POINT OF BEGINNING;

PARCEL C:

THE SOUTH 155 FEET OF THE NORTH 310 FEET OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 27 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN;

EXCEPT THE EAST 208.72 FEET; AND

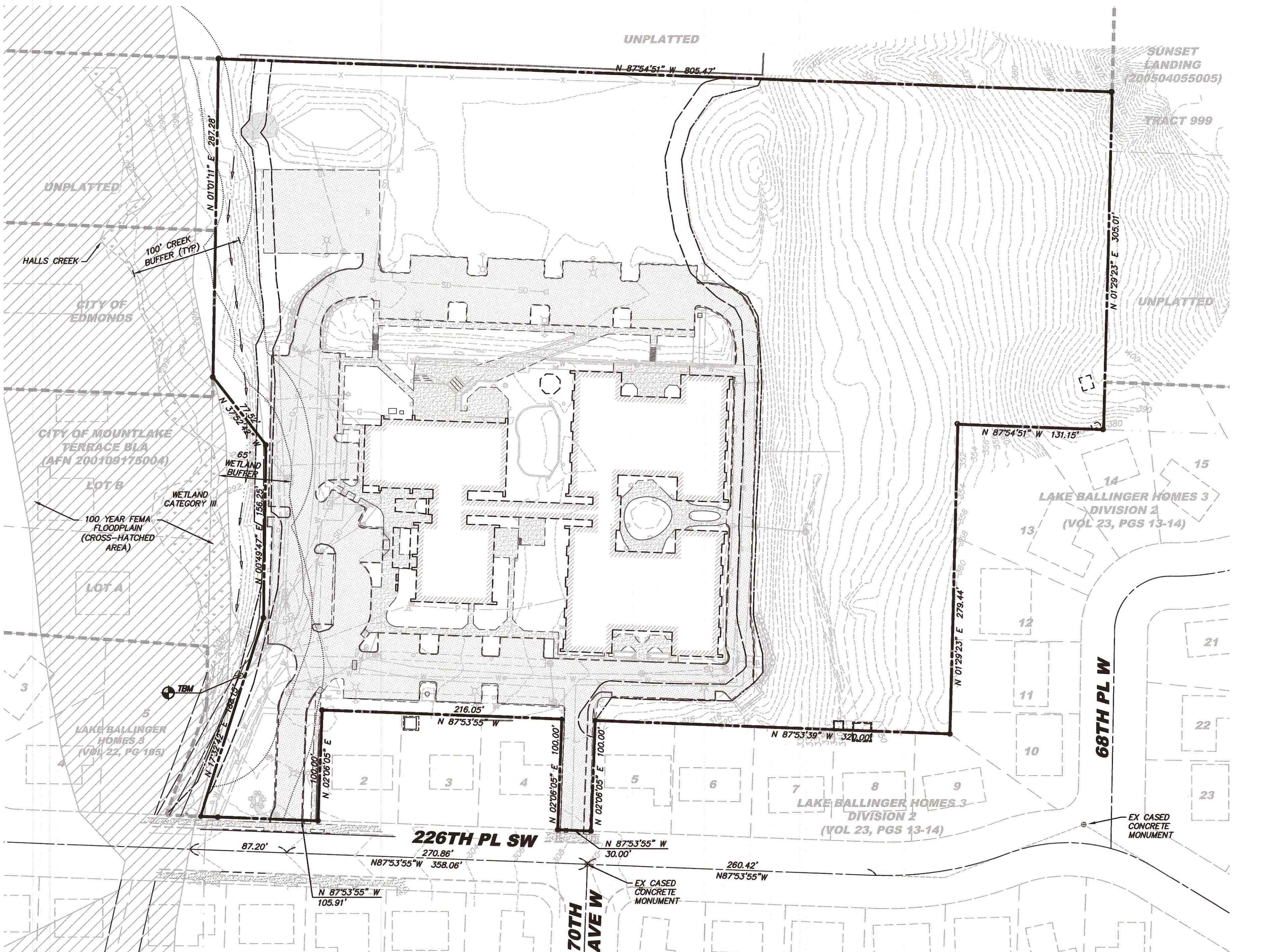
EXCEPT THE WEST 325.10 FEET THEREOF.

PARCEL D:

LOT 1, LAKE BALLINGER HOMES NO. 3, DIVISION NO. 2, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 22 OF PLATS, PAGES 13 AND 14, RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

ALL SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

(PARCELS A THROUGH D ARE ALSO KNOWN AS CITY OF MOUNTLAKE TERRACE BOUNDARY LINE ADJUSTMENT LOT CONSOLIDATION NO. PL06004 RECORDED UNDER AUDITOR'S FILE NO. 200903055219, RECORDS OF SNOHOMISH COUNTY, WASHINGTON).



BASIS OF BEARINGS

THE MONUMENTED CENTERLINE OF 226TH PL SW, AS SHOWN HEREON

BENCH MARK

PER PACIFIC SURVEY & ENGINEERING, INC. TOPOGRAPHY SURVEY CONDUCTED APPROXIMATELY IN 2001, SUPPLIED BY CLIENT.

ORIGINATING CITY OF MOUNTLAKE TERRACE BENCH MARK :

FD. 4" Dia. CONC. MONUMENT WITH TACK IN MONUMENT CASE, AT S.L. OF 226TH PLACE SW AND 73RD PL. W. PER CITY OF MOUNTLAKE TERRACE INTERURBAN TRAIL SHEET L-1 & K-2

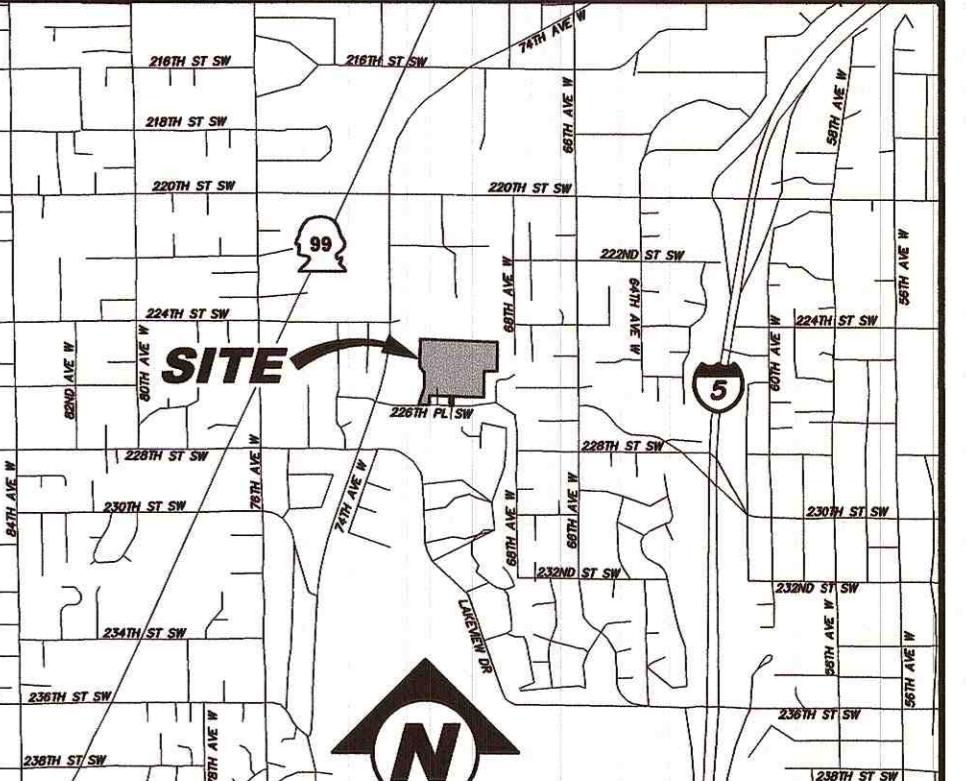
T.B.M. ON SITE :

SET RAILROAD SPIKE IN SE FACE OF POWER POLE WITH DROP, SOUTHWEST CORNER OF PROJECT SITE
ELEV : 301.64'

City of Mountlake Terrace, WA
Civil Permit Approval
(Valid only with all of the following signatures)

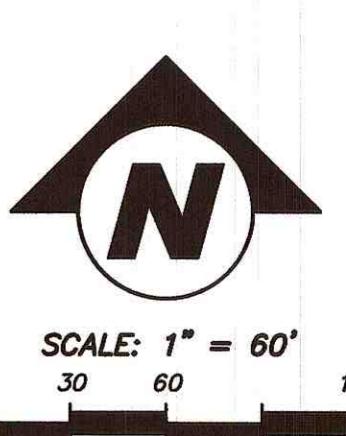
Joe Dink 8/1/19
Civil Engineer
Bill 8/1/19
Planning Division (CED Director or designee) Date:

Approval subject to all "redlined" permit and/or following conditions:



VICINITY MAP

SCALE: 1" = 2000'



PROJECT TEAM

PROJECT PRIMARY CONTACT: LOREE QUADE, BMCH WASHINGTON, LLC

OWNER

CREEKSIDE MEADOWS
A WASHINGTON NON-PROFIT CORPORATION
16108 226TH PL SW
MOUNTLAKE TERRACE, WA 98043

CIVIL ENGINEER

RAM ENGINEERING, INC.
16531 13TH AVE W, SUITE A108
LYNNWOOD, WA 98037
(425) 678-5960
CONTACT: ROB L. LONG, PE
EMAIL: ROBL@RAMENGINEERINGINC.COM

APPLICANT

BMCH WASHINGTON, LLC
16108 226TH PL SW
MOUNTLAKE TERRACE, WA 98043

GEOTECHNICAL

ASSOCIATED EARTH SCIENCES, INC.
911 37TH AVENUE, LYNNWOOD, WA 98033

PHONE: (425) 415-2057
CONTACT: ROB L. LONG, PE
EMAIL: ROBL@RAMENGINEERINGINC.COM

LANDSCAPE

DAVID EVANS & ASSOCIATES
20300 WOODINVILLE-SNOHOMISH ROAD NE
SUITE 100
WOODINVILLE, WA 98072
PHONE: (425) 415-2057
CONTACT: ROB L. LONG, PE
EMAIL: ROBL@RAMENGINEERINGINC.COM

PLANNING

DAVID EVANS & ASSOCIATES
20300 WOODINVILLE-SNOHOMISH ROAD NE
SUITE A
WOODINVILLE, WA 98072
PHONE: (425) 415-2057
CONTACT: ROB L. LONG, PE
EMAIL: ROBL@RAMENGINEERINGINC.COM

ECOLOGIST

WETLAND RESOURCES, INC.
9505 19TH AVE SE, SUITE 106
EVERETT, WA 98208
(425) 337-3717
CONTACT: JEFF COX
EMAIL: JCOX@WETLANDRESOURCES.COM

SURVEYOR

DAVID EVANS & ASSOCIATES
20300 WOODINVILLE-SNOHOMISH ROAD NE
SUITE A
WOODINVILLE, WA 98072
PHONE: (425) 415-2057
CONTACT: GREG JUNEAU
EMAIL: GJUNEAU@TRIADASSOCIATES.NET

SITE DATA

SITE ADDRESS:
7011 226TH PL SW
MOUNTLAKE TERRACE, WA 98043
2704290030700

UTILITY PURVEYORS

FIRE DISTRICT:

POLICE:

SCHOOL DISTRICT:

WATER SUPPLY:

SANITARY SEWER:

ELECTRICAL:

GAS:

TELEPHONE:

CABLE:

SHEET INDEX

DEMOLITION & TESC PLANS

- 1 CV-01 COVER SHEET
- 2 EC-01 EXISTING CONDITIONS MAP
- 3 DM-01 DEMOLITION PLAN
- 4 TP-01 TESC PLAN (DEMOLITION PHASE)
- 5 TD-01 TESC NOTES & DETAILS

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JUL 26 2019

MOUNTLAKE TERRACE

811

CV-01

Know what's below.
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7/12/19

ENGINEER:

ROB L. LONG, PE

DRAWN BY:

City of Mountlake Terrace, WA
Civil Permit Approval
(Valid only with all of the following signatures)

Joe Bish
Civil Engineer
Planning Division (CED Director or designee)
Date: 8/2/19

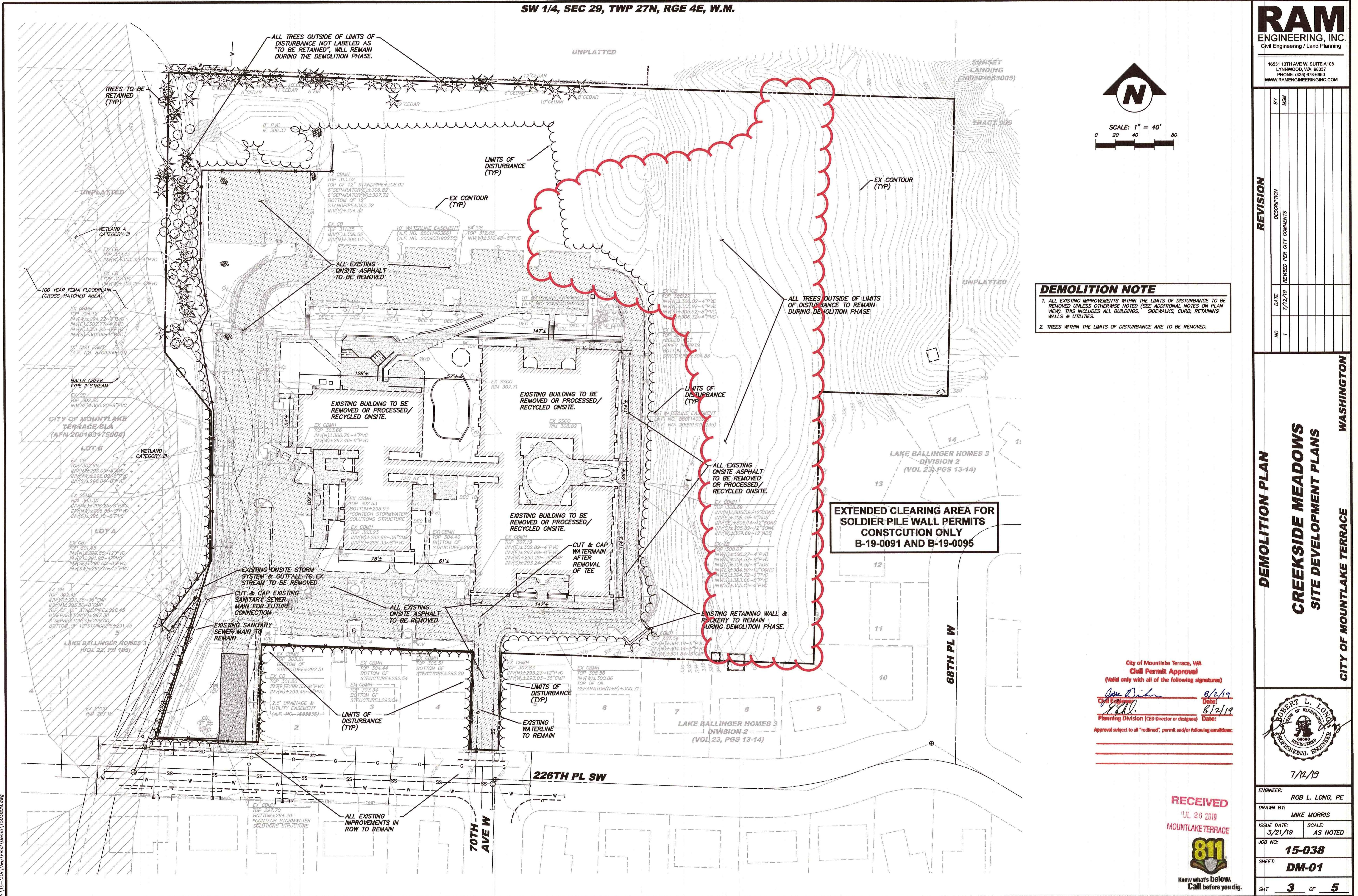
Approval subject to all "relinquished" permit and/or following conditions:

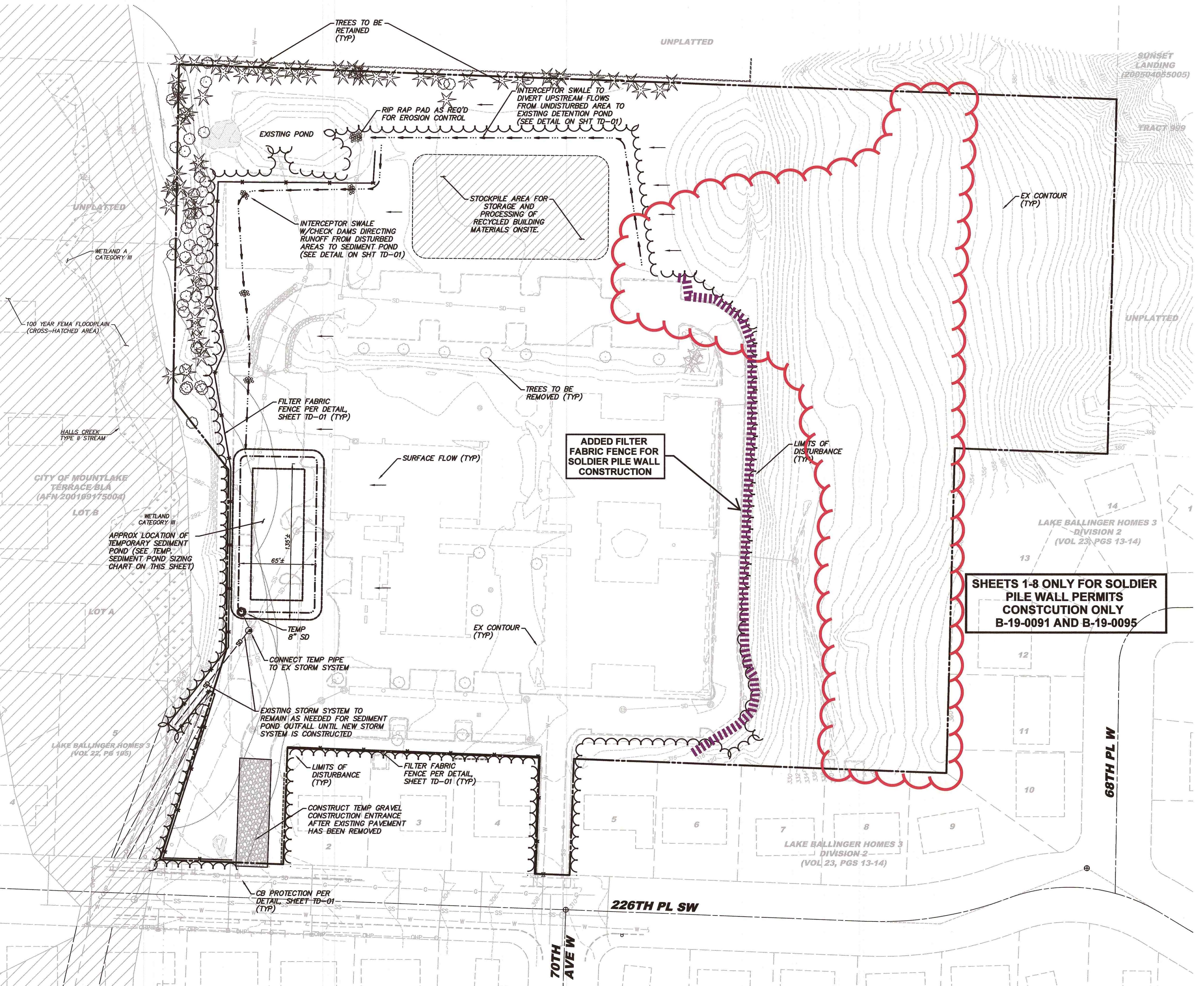
Redlined

Date: 8/2/19

Redlined

Date: 8/2/19</p





SEDIMENT POND

TEMPORARY SEDIMENT POND	11.352 AC
TRIBUTARY AREA:	4.30 CFS
10-YR DEV. PEAK FLOW:	8,944 SF
REQUIRED SURFACE AREA:	3.84
ORIFICE SIZE:	20'x54'
TOP OF BERM ELEV.:	301.04
DESIGN WATER SURFACE ELEV.:	303.04
TOP OF BERM:	303.04
SIDE SLOPES:	3:1 MAX

NOTE: SURFACE AREA MEASURED AT DESIGN WATER SURFACE AREA SEE MLT DETAIL 417
LOCATION AND SIZING MAY BE ADJUSTED WITH PROJECT CESCL APPROVAL

- SWPPP**
THE PROJECT STORMWATER POLLUTION PREVENTION PLAN (SWPPP) CONSISTENT WITH DEMOLITION TEST PLAN, PERMIT, CONSTRUCTION PLANS AND THE CONSTRUCTION STORMWATER GENERAL PERMIT SWPPP REPORT. THE CONTRACTOR AND PROJECT CESCL SHALL HAVE REVIEWED THESE PLANS AND REPORT AND HAVE THEM READILY AVAILABLE FOR REFERENCE DURING ANY SITE DEMOLITION AND/OR CONSTRUCTION ACTIVITY.
- TEMPORARY FENCING NOTE**
TEMP SEDIMENT CONTROL POND FENCING TO BE REMOVED UPON COMPLETION OF SITE STABILIZATION. SEE CONSTRUCTION SEQUENCE ON SHT TD-01.
- WET WEATHER NOTE**
IF WET WEATHER CONSTRUCTION OCCURS, TESC MEASURES SHALL BE MODIFIED AS SPECIFIED ON SHEET TD-01 AND MAY NECESSITATE BAKER TANKS TO PREVENT OFF-SITE DISCHARGE OF TURBID WATER. THE PROJECT CESCL SHALL MONITOR THE WEATHER FORECAST AND ONSITE STORAGE CAPACITY FOR TURBID WATER STORAGE AND TREATMENT. IN ADDITION ONSITE SURFACE BAKER TANKS OR TREATMENT FACILITIES (CHITOSAN-ENHANCED SAND FILTRATION (CESF) TREATMENT SYSTEM) MAY BE NECESSARY TO CONTROL SITE STORMWATER STORAGE AND TURBID WATER TREATMENT. DURING THE WET SEASON MONTHS, THE CESCL SHALL COORDINATE WITH THE CONTRACT TO HAVE A CONTINGENCY PLAN AND SYSTEMS READILY AVAILABLE FOR USE.
- CB INLET PROTECTION NOTE**
CATCH BASIN INLET PROTECTION SHALL BE INSERTED AND MAINTAINED ON ALL NEWLY CONSTRUCTED CATCH BASINS THROUGHOUT THE SITE IMMEDIATELY AFTER INSTALLATION.
- TESC PLAN NOTE**
TESC MEASURES SHOWN ON THIS PLAN REPRESENT MEASURES THAT ARE APPROVED/REQUIRED TO BE INSTALLED AS PART OF THE DEMOLITION PHASE OF THIS PROJECT.

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24-36
Jul 12, 2019 - 1:13pm - User miken - 15039\Demo\15039\15039.dwg
N: 15-039\Demo\15039\15039.dwg
SHT: 4 OF 5

REVISION
NO: 1 DATE: 7/12/19 REVISED PER CITY COMMENTS

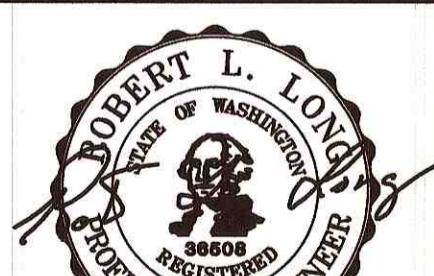
ENGINEER: ROB L. LONG, PE
DRAWN BY: MIKE MORRIS
ISSUE DATE: 3/21/19 SCALE: AS NOTED
JOB NO: 15-038
SHEET: TP-01

**TESC PLAN
(DEMOLITION PHASE)
CREEKSIDE MEADOWS
SITE DEVELOPMENT PLANS**

CITY OF MOUNTLAKE TERRACE WASHINGTON

REVISION	DESCRIPTION	COMMENTS
NO 1	DATE 7/12/19	REVISED PER CITY COMMENTS

CREEK SIDE MEADOWS	SITE DEVELOPMENT PLANS
CITY OF MOUNTLAKE TERRACE	



7/12/19

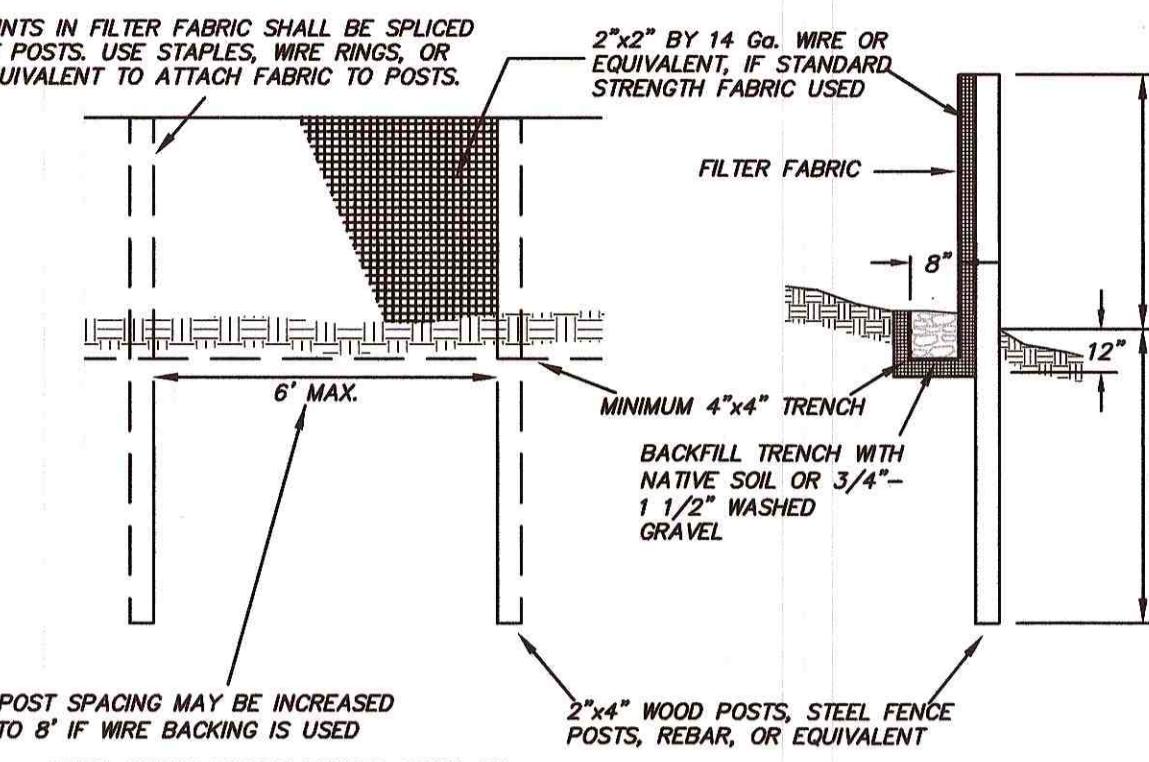
ENGINEER: ROB L. LONG, PE	DRAWN BY: MIKE MORRIS
ISSUE DATE: 3/21/19	SCALE: AS NOTED
JOB NO.: 15-038	
SHEET: TD-01	
Know what's below. Call before you dig.	
SHT 5 OF 5	

TEMPORARY EROSION/SEDIMENTATION CONTROL NOTES

- PRIOR TO ANY CONSTRUCTION, RECONSTRUCTION, OR RENOVATION ACTIVITY, THE CITY OF MOUNTLAKE TERRACE ENGINEERING DEPARTMENT MUST BE CONTACTED FOR A PRECONSTRUCTION MEETING (425-776-1161).
- AN APPROVED COPY OF THESE PLANS MUST BE ON SITE AT ALL TIMES.
- ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND MAINTAINED DURING CONSTRUCTION.
- WHERE POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL AND TO MINIMIZE EROSION CONTROL MEASURES, AND DIRECT SURFACE RUNOFF AWAY FROM THE EXPOSED AREAS, STEEP SLOPES, OR EROSION HAZARD AREA.
- ALL REQUIRED SEDIMENTATION/EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM OR OFF-SITE STORM DRAINS. (SEE CONSTRUCTION SEQUENCE.) ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. SYSTEM IMPLEMENTATION, MAINTENANCE, AND REPLACEMENT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE, ALONG WITH ANY REQUIRED ADDITIONS.
- THE EROSION AND SEDIMENTATION CONTROL SYSTEMS DEPICTED ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS dictate, THE PERMITTEE SHOULD ANTICIPATE THAT MORE EROSION AND SEDIMENTATION CONTROL FACILITIES MAY BE REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE NEED FOR ADDITIONAL EROSION AND SEDIMENTATION CONTROL FACILITIES AND THE OBLIGATION AND RESPONSIBILITY OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE MINIMUM REQUIREMENTS SHOWN, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES AND WATER QUALITY OF THE RECEIVING DRAINAGE SYSTEM. ADDITIONAL MEASURES MAY ALSO BE REQUIRED BY THE CITY OF MOUNTLAKE TERRACE INSPECTOR.
- APPROVAL OF THE PLAN IS FOR EROSION/SEDIMENTATION CONTROL ONLY. IT DOES NOT CONSTITUTE AN APPROVAL OF STORM DRAINAGE DESIGN, SIZE OR LOCATION OF PIPES, RESTRICTORS, CHANNELS, OR RETENTION FACILITIES.
- IN ANY WORK WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 30 DAYS OR MORE, ALL DISTURBED AREAS MUST BE IMMEDIATELY STABILIZED WITH BY MULCHING, HYDROSEEDING, OR OTHER APPROVED EROSION CONTROL MEASURE APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF APRIL THROUGH SEPTEMBER INCLUSIVE. SEEDING MAY PROCEED WHENEVER IT IS IN THE INTEREST OF THE PERMITTEE, BUT MUST BE AUGMENTED WITH MULCHING, NETTING, OR OTHER MEASURES APPROVED BY THE CITY OF MOUNTLAKE TERRACE, OUTSIDE OF THE SPECIFIED TIME PERIOD.
- GRASS SEEDING SHALL BE DONE USING AN APPROVED TYPE HYDRO-SEEDER, OR AS OTHERWISE APPROVED BY THE CITY OF MOUNTLAKE TERRACE. SEED MIX SHALL CONSIST OF RAPID, PERSISTENT, AND LEGUME GRASSES (MIN. 80LB. PER ACRE) AS NOTED BELOW UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER:

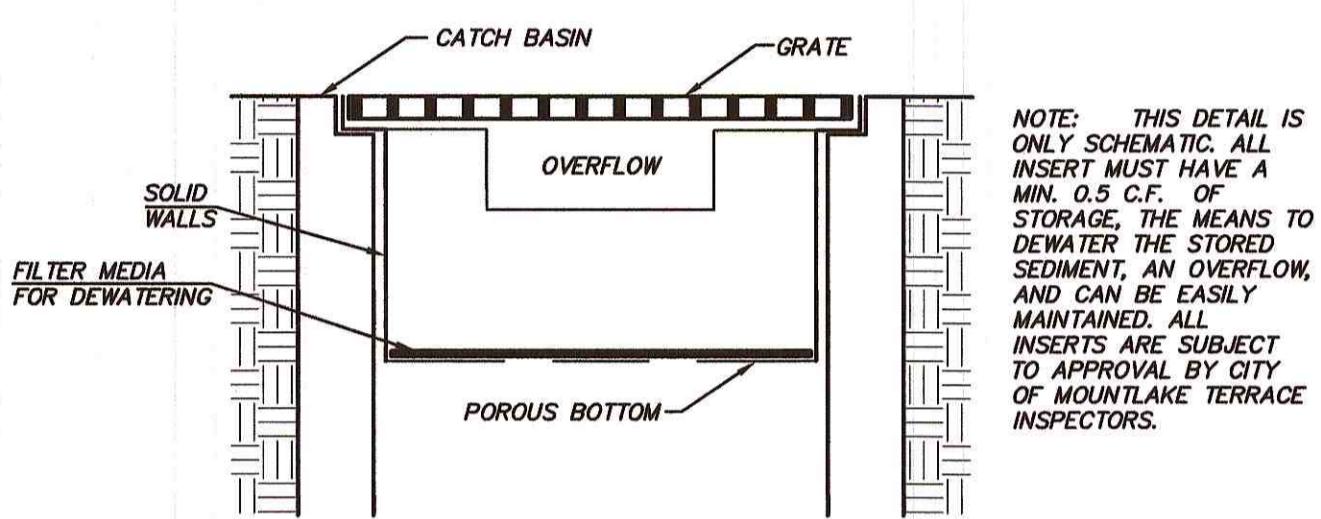
 - 70% PERENNIAL RYEGRASS(3 VARIETIES) - 30% RED AND/OR CHEWINGS FESCUES(2 VARIETIES)

- STRAW MULCH SHALL CONSIST OF A MINIMUM THICKNESS OF FOUR (4) INCHES SPREAD EVENLY OVER THE SURFACE TO BE PROTECTED. MULCH MUST BE PROPERLY ANCHORED TO THE GROUND. NETTING MAY BE REQUIRED TO HOLD MULCH IN PLACE ON STEEP SLOPES.
- A MINIMUM THREE (3) FOOT HIGH CHAIN LINK FENCE SHALL BE CONSTRUCTED AROUND ANY POND USED FOR SEDIMENTATION AND/OR DETENTION WHEN IT CAN BE EXPECTED THAT THE WATER DEPTH WILL EXCEED ONE (1) FOOT.
- THE CONTRACTOR SHALL ASSURE THAT NO CONCRETE OR CONCRETE BY-PRODUCTS, CHEMICALS, PAINTS, GLUES, OR ANY OTHER POLLUTANTS ENTER THE STORM DRAINAGE SYSTEM OR NATURAL STREAM COURSES.
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES WHEN THE EROSION HAZARD IS COMPLETELY OVER. REMOVE ALL DEPOSITED SEDIMENT AND DEBRIS AND REHABILITATE THE DISTURBED AREAS BY PLANTING VEGETATIVE COVER AS REQUIRED BY THE CITY OF MOUNTLAKE TERRACE.
- THE APPLICANT SHALL PROVIDE FOR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL TO BE ON-SITE OR ON-CALL AT ALL TIMES.
- A SPILL CONTROL KIT SHALL BE KEPT ON-SITE FOR ALL CONSTRUCTION EQUIPMENT.



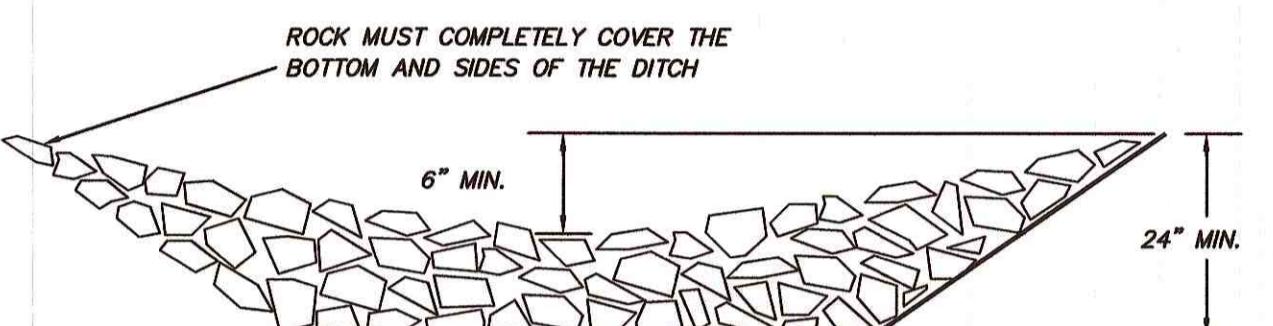
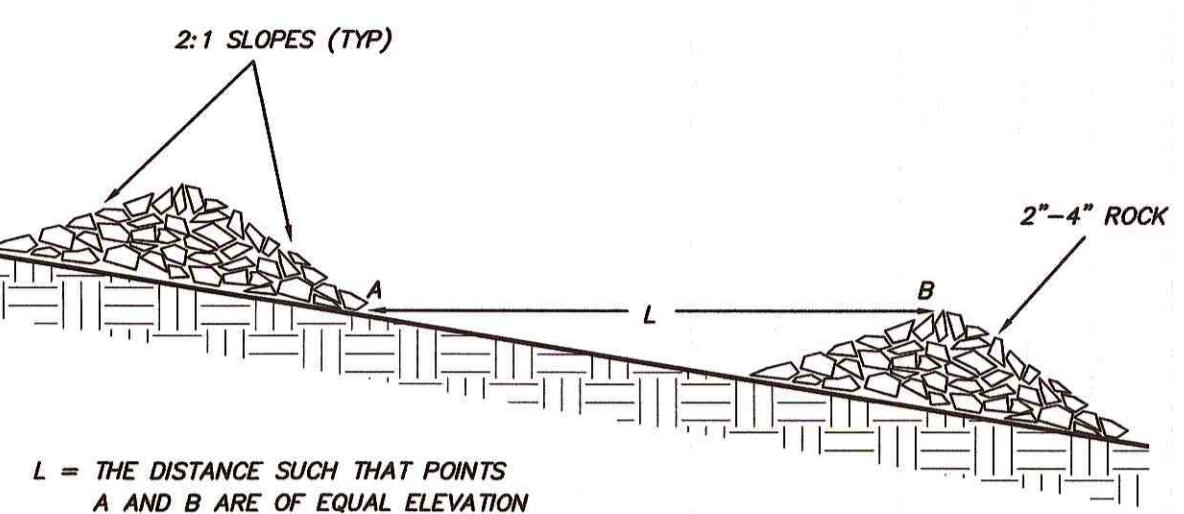
FILTER FABRIC FENCE

NOT TO SCALE



CATCH BASIN INSERT

NOT TO SCALE



ROCK CHECK DAMS

NOT TO SCALE

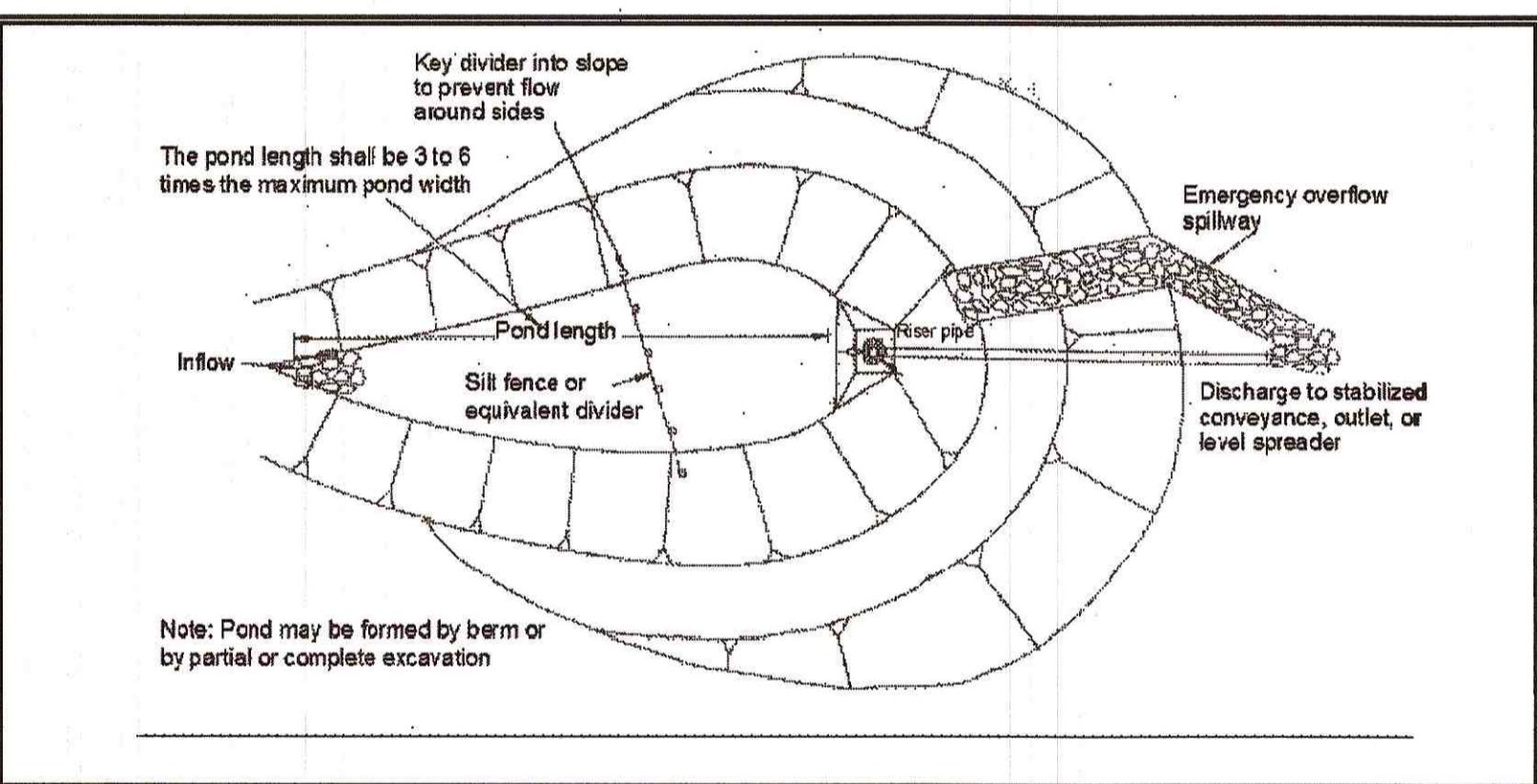


Figure 4.2.18 – Sediment Pond Plan View

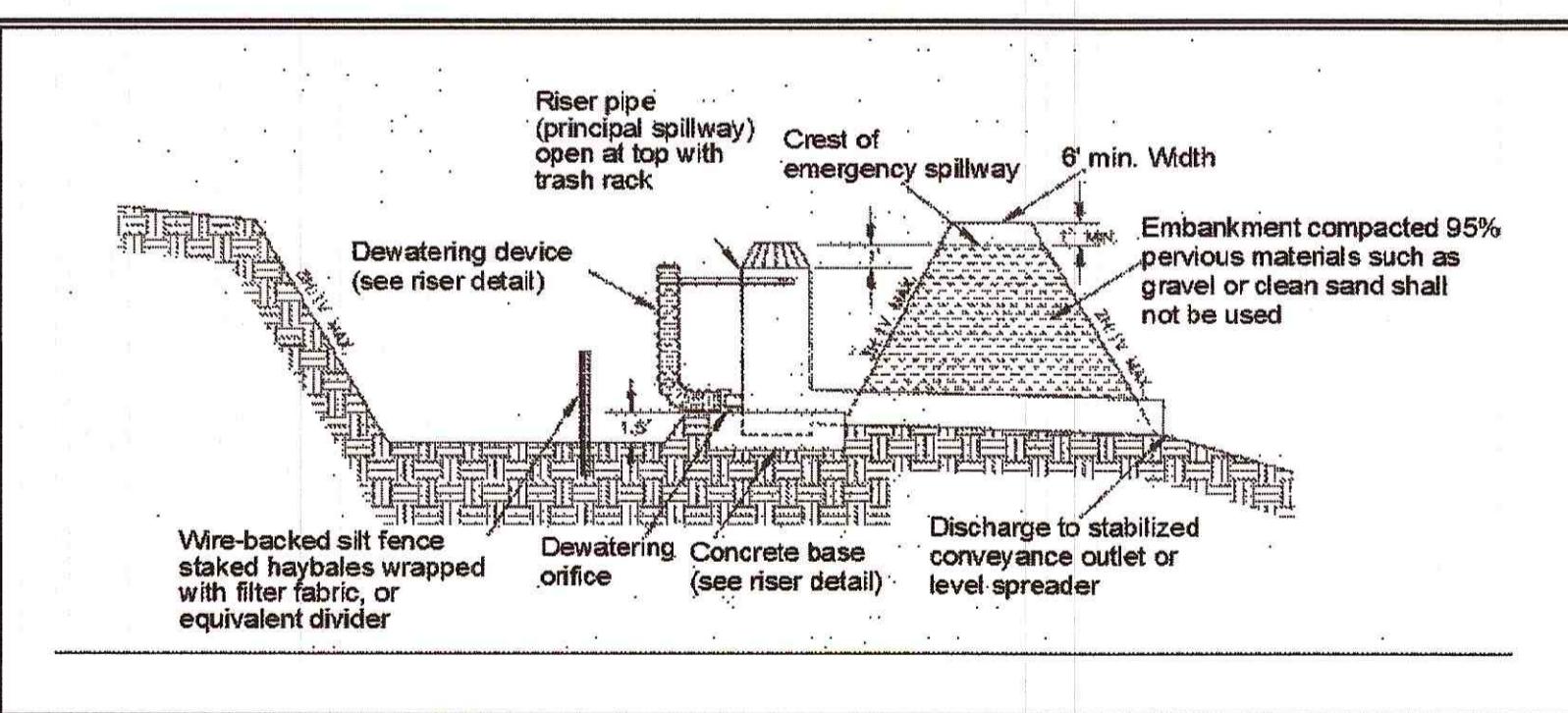
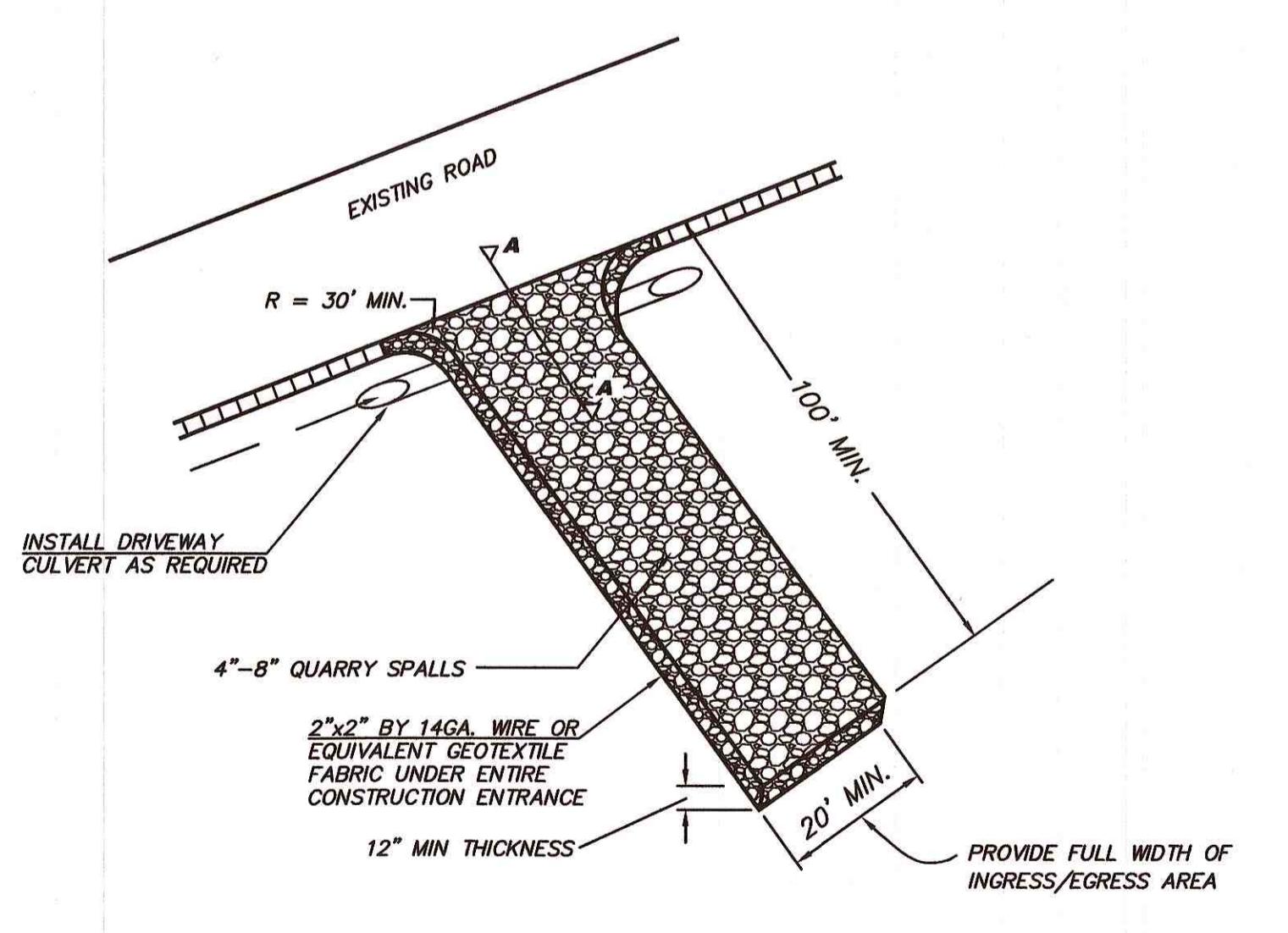


Figure 4.2.19 – Sediment Pond Cross Section

SEDIMENT POND DETAIL

NOT TO SCALE



TEMPORARY CONSTRUCTION ENTRANCE

NOT TO SCALE

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE NOTES

- INSTALLATION: THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS IN THE PLAN. IF WASH RACKS ARE USED, THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- AGGREGATE: 4" TO 8" CRUSHED BALLAST ROCK, OVER FILTER FABRIC.
- ENTRANCE DIMENSIONS: THE AGGREGATE LAYER MUST BE AT LEAST 12 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET.
- WASHING: IF CONDITIONS ON THE SITE ARE SUCH THAT MOST OF THE MUD IS NOT REMOVED FROM VEHICLE TIRES BY CONTACT WITH THE GRAVEL, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE.
- Maintenance: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2-INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES onto ROADWAY OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

City of Mountlake Terrace, WA
Civil Permit Approval
(Valid only with all of the following signatures)

John Brown
Civil Engineer
Signature
Date: 8/2/19

Planning Division (CED Director or designee)
Signature
Date: 8/2/19

Approval subject to all "redlined" permit and/or following conditions:

ALL DETAILS SHALL BE EQUIVALENT OR BETTER THAN MLT STD. PLANS AND ARE SUBJECT TO INSPECTOR APPROVAL

RECEIVED

JUL 26 2019

MOUNTLAKE TERRACE



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