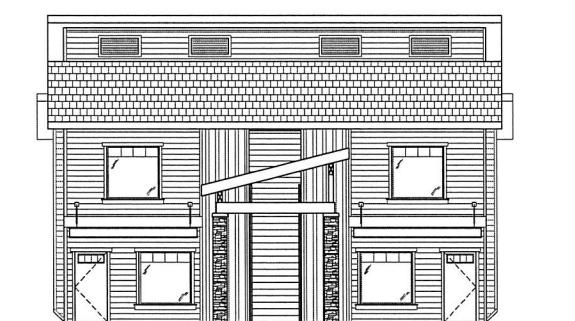
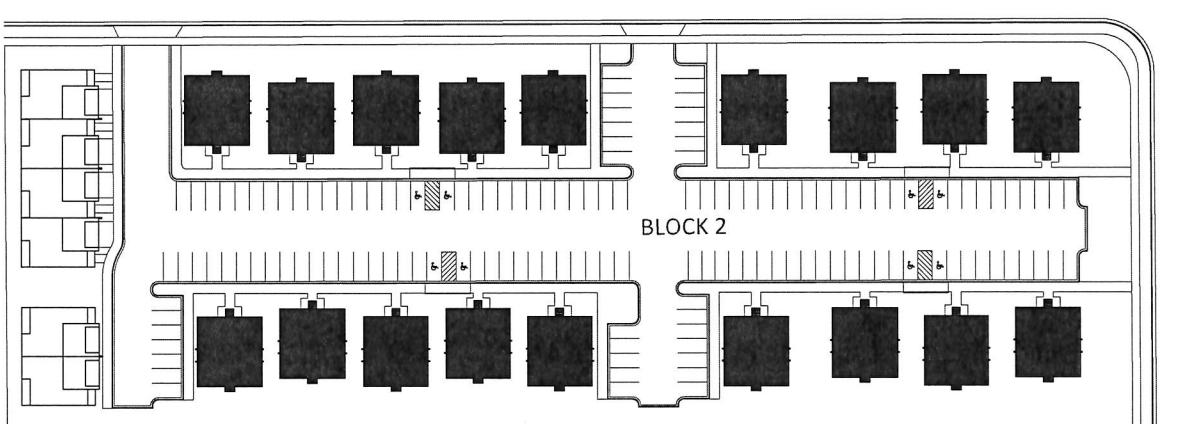
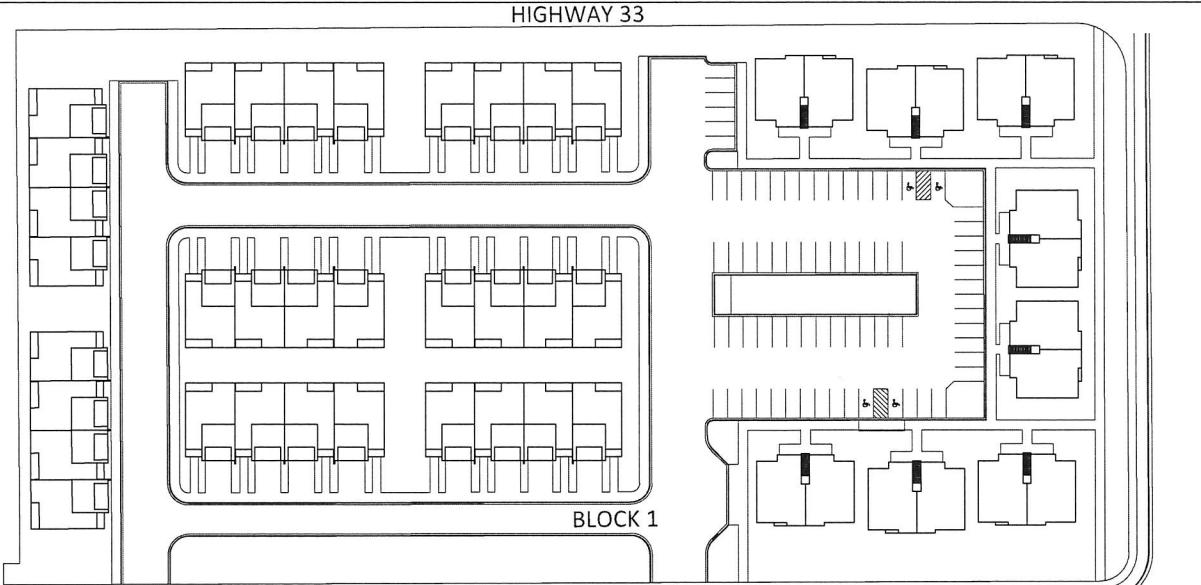


New Residences

Trappers Landing Division No. 1 Rexburg, IDAHO



2 BEDROOM / 2 BATH - MAIN ADA

Code Review

Code:	2018 International Building Code
Construction Type:	V-B, (602.5/T-601)
Occupancy Group:	R-2 (310.3) Condominium
Floor Area:	Separated R-2's @ 827 sq.ft. each Stacked Condos @ 4 Condos = 3,308 sq.ft.
Allowable Area: (T-506.2)	V-B = 7,000 sq.ft., increase area allowed by building official with 2HR fire wall separation
Allowable Stories: (T-504.4)	V-B = 2 stories allowed
Fire Sprinkler: (901.7)	Separated R-2 (provided)
Fire Separation: (706.1.1.2) (T-706.4.9) 2-Hour	
Horizontal Continuity: (703.3.1)	2-Hour FC 5750, of GA-600-2020 Fire Resistance Design Manual
Vertical Continuity: (706.6, Exc. 2)	2-Hour WP 3820, of GA-600-2020 Fire Resistance Design Manual

Prescriptive Code is being used for the Energy Code base on the following:

Climate Zone: 6
Ceiling: R-49 Insulation
Wood Stud Framed Walls: R-22 Cavity
Below Grade Walls: R-10 Continuous Insulation
Swinging Doors: U-Factor 0.37
Fixed Fenestration: U-Factor: 0.32, SHGC: N/R
Entrance Doors (Glass > 50%): U-Factor 0.77, SHGC 0.45, On S,E,W Faces

Fully ADA units to be required with 5% of total units within the subdivision, (minimum of 8 per this subdivision). Contractor to coordinate and provide proper accommodations. All other main floor units to be ADA Adaptable per Fair Housing Act. (Provide solid blocking in all units).

GENERAL NOTES

-Not all notes applicable per project-

- 1 All construction to comply with IBC, ADA, and Fair Housing, as well as all other local and national codes that may apply.
- 2 Civil has been waived by architect.
- 3 All mechanical and electrical to bidder designed.
- 4 Provide Attic Ventilation of 1/150 per IBC 1202.2.1
- 5 The maximum length of a clothes dryer exhaust vent is 35'. A reduction in the maximum length of 2.5' for each 45 degrees, and 5.0 for every 90 degree bend shall apply, or per manuf instructions.
- 6 A 22" x 30" attic space access point is req'd. Unless specified, the Contractor is to locate.
- 7 Grade Away from Foundation Walls Shall Fall At a Minimum of 1:10 Within the First 10 Feet (IBC 1804.4)
- 8 Flashing shall be Installed in such a Manner so as to Prevent Moisture Entering the Wall and Roof Through Joints in Copings, Through Moisture Permeable Materials, and other Penetrations through the Roof Plane.
- 9 An Ice Barrier shall consist of not less than two layers of underlayment cemented together, or a self-adhering polymer modified bitumen sheet shall be used in place of normal underlayment and extend from the lowest edges of all roof surfaces to a point not less than 24" inside the exterior wall line of the building. IBC 1507.1.2
- 10 The private garage shall be separated from the dwelling unit and its attic area by means of GWB, not less than 1/2" thick, applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than a 5/8" Type X GVB or equivalent and 1/2" GWB applied to structures supporting the separation from habitable rooms above garage. Door openings between a private garage and dwelling unit shall be equipped with either solid wood doors or solid, or honeycomb core steel doors not less than 1-3/8" thick, or doors with section 716.2.2.1 with a fire protection rating of not less than 20 min. Doors shall be self-closing and self-latching. (IBC 406.3.2.1)
- 11 Where Ceramic Tile is used Cement, Fiber-Cement or Glass Mat Gypsum Backer shall be Installed in Accordance with Mfg Recommendations Shall Be used as Backer for Wall Tile in Tub and Shower Areas and Wall Panel in Shower Area.

MINIMUM EXHAUST RATES (M1507)

KITCHEN - 100 CFM Intermittent or 25 CFM Continuous
BATHROOMS - Mechanical Exhaust Capacity 50 CFM Intermittent or 20 CFM Continuous

If Natural Ventilation is Less Than 5 air changes per hr Then A Whole-House Mechanical Ventilation System Capable of Supplying Outdoor Air of 15 Cubic Ft Per Minute Per Occupant. Contractor and/or Electrical Sub-Contractor to indicate exact location of fan units if not already indicated on the plan set.

The included text is provided for the contractor's convenience. All text as found in the IBC-2018 codes shall override any text within these plans if there is a conflict.

SMOKE ALARM (907.2.9)

If not already indicated on plans, Contractor and/or Electrical Sub-Contractor shall indicate on plans the location of all smoke alarms. Smoke alarms are required in each sleeping room, outside each sleeping area, and on each level or story of the structure. All smoke alarms to be interconnected such that the actuation of one alarms will activate all alarms. Smoke alarms are required to be wired to the primary power source and have battery backup.

CARBON MONOXIDE DETECTION (915.1)

If not already indicated on plans, Contractor and/or Electrical Sub-Contractor shall indicate on plans the location of all carbon monoxide alarms. Smoke alarms are required outside each sleeping area within which fuel-fired appliances are installed and dwelling units that have attached garages.

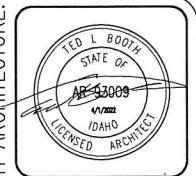
MINIMUM INSULATION R-VALUE

Ceiling R-49
Walls R-22

CONTRACTORS NOTES

- 1 Contractor to verify all site dimensions and location prior to construction to ensure that all information within this plan set conforms to existing conditions, and to ensure compliance of local codes and ordinances as it pertains to the site location.
 - 2 Contractor to verify all beam/header sizes have been properly determined to match loading for the area in which this structure is to be built.
- Refer to Engineered Roof Truss Layout, and Engineered Floor Joist Layout for information regarding structurally loading data used to design this structure.
- (Note: These plans do not provide this data as it is provided by the distributors of the respective Roof Truss / Floor Joist Suppliers)
- 3 Contractor to locate and supply information in regards to all foundation vents on all crawlspaces.
 - 4 Contractor to verify with local codes for all Design Requirements with Asphalt Emulsion on Exterior Side over Concrete Footing Systems.
 - 5 Contractor to verify with local codes for all Design Requirements over Undisturbed Soil.
 - 6 Contractor to verify prior to construction all footing sizes, load requirements, soil bearing data (assumed 1,500 lb min.)
 - 7 Contractor to verify with owner prior to construction all exterior materials, colors and types.
 - 8 Contractor to verify all location of solid surfaces that require foundation adjustments.
 - 9 Contractor to provide information on all areas requiring glazing with safety materials.
 - 10 Contractor to verify all exterior siding systems that owner may specify. Contractor is responsible for all material details regarding products specifications, installation, and engineering data that may be required by owner or building department when obtaining permits.
 - 11 Building shall have approved address numbers. The numbers shall be contrasted with their background. Numbers shall be 4" high, min stroke width of 1/2", arabic or alphabetical letters in a visible area.

Electrical, HVAC, or Plumbing notes, layouts, etc. are bidder designed



CONTRACTOR

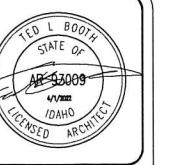
New Complex for:
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Trappers Landing
Rexburg, Idaho

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Site Plan
General Notes
Code Review
Date
4/1/2022
Sheet No.
C1.0

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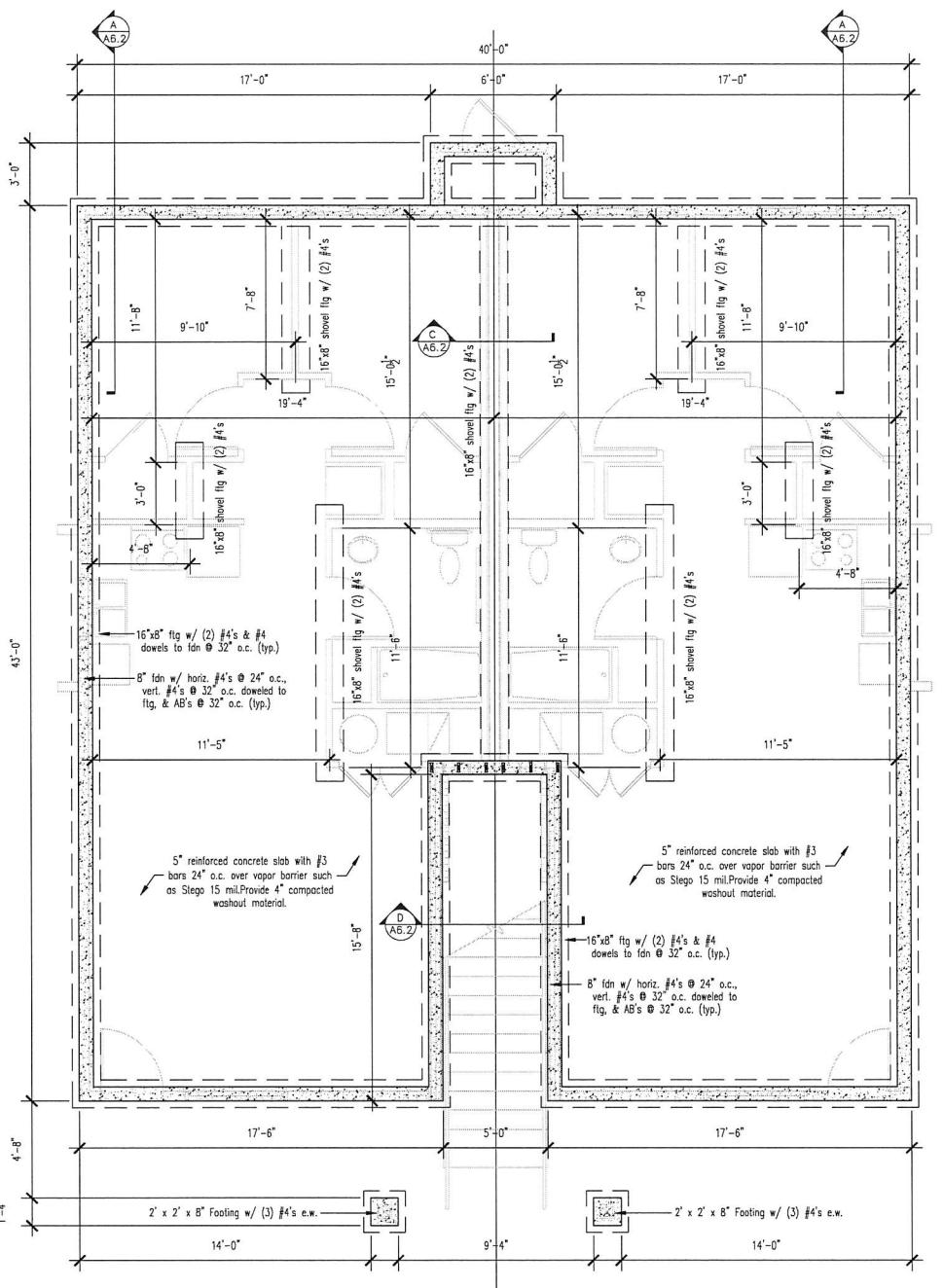
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Footing & Foundation
Date 4/1/2022

A1.0

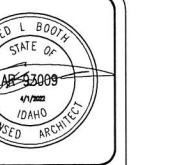


FOOTING & FOUNDATION PLAN

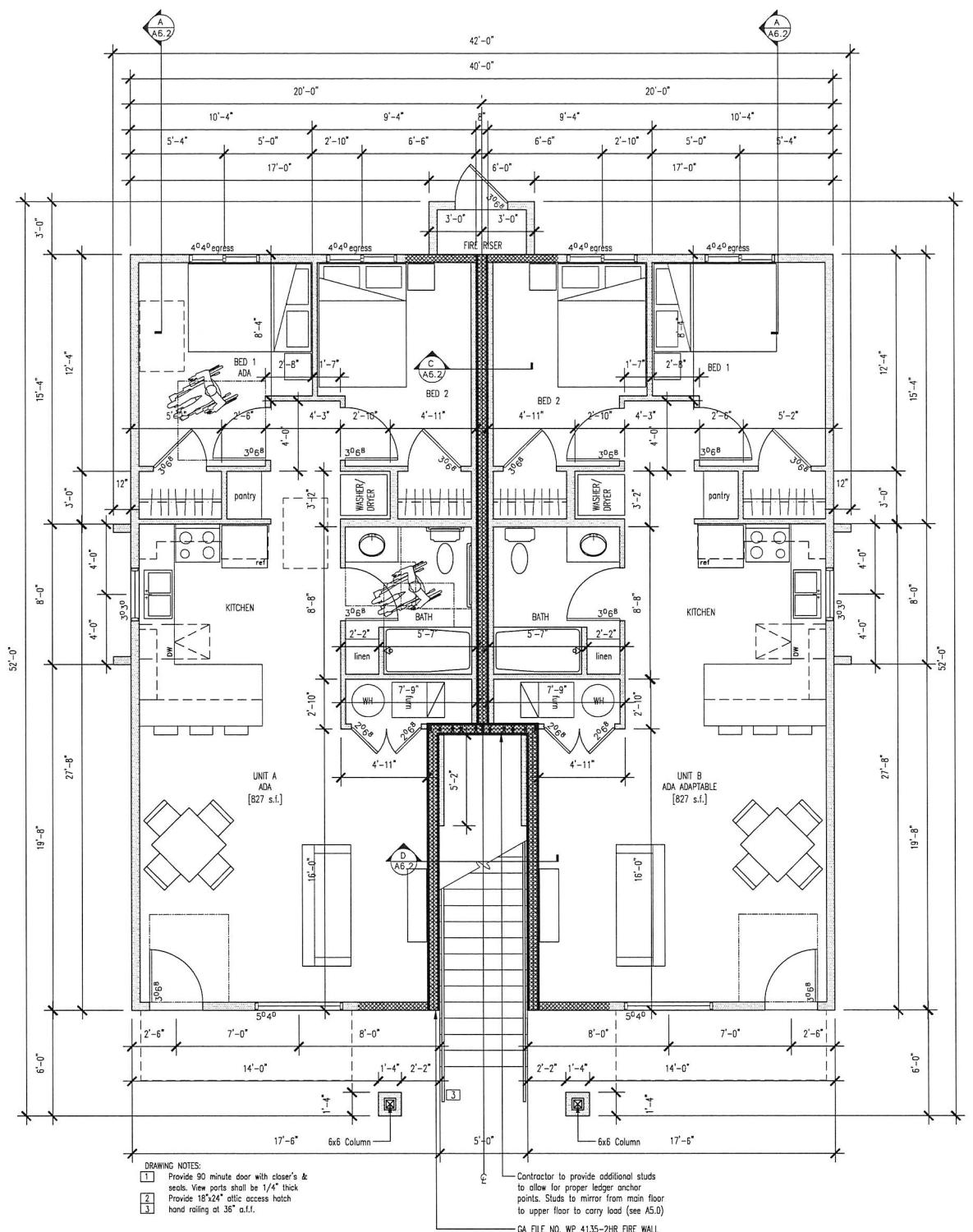
SCALE: 1/4"=1'-0"

- FOUNDATIONS:**
- Footings shall bear on firm, undisturbed soil a minimum of 32" below the final finished grade line for one and two story structures. However, should the frost line be greater than the depth of the footings specified above, then bottom of footings shall extend beyond the local frost line. Where sloping grades are involved, footing depths must always be measured from the point of the final finished grade line that is closest to the footing.
 - To insure proper support for the footings and foundation walls, footings must always be poured with a flat bottom surface. Footings may be stepped where necessary to allow the footings to remain below frost line on a sloping grade line that exceeds a mean of thirty degrees down from the level. Sloping sites require special engineering for extended foundation walls and stepped footings.
 - Foundation and footing sizes are based on minimum allowable soil bearing capacity of 2500psf. User must verify that local soil conditions meet these requirements and must re-design footings if the soil bearing capacity falls short of 2000psf.

- GENERAL NOTES:**
- All footings to be on undisturbed soil.
 - All footings and stem walls to be 3'-0" (min.) below finish grade for frost protection (Contractor to verify frost depth).
 - All wood in contact with concrete or masonry to be pressure treated.
 - All exterior walls of units to be of 2x6 framing @ 15" o.c. with 7/16" wall sheathing, R-22 insulation, and 1/2" GWF.
 - All Garage walls of units to be of 2x4 framing @ 16" o.c. with 7/16" wall sheathing, R-22 insulation, and 1/2" GWF.
 - Interior walls to be of 2x4's @ 16" o.c. (other than plumbing walls and other shown thicker).
 - All joists that terminate against other members. Provide 2.5x36" attic access hatch.
 - All work to comply with IBC, local, national, plumbing, mechanical, and electrical codes that may apply.
 - Contractor to verify all site conditions and dimensions.
 - Two hour fire wall to be provided vertical and horizontally separated per condo.



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CONTRACTOR

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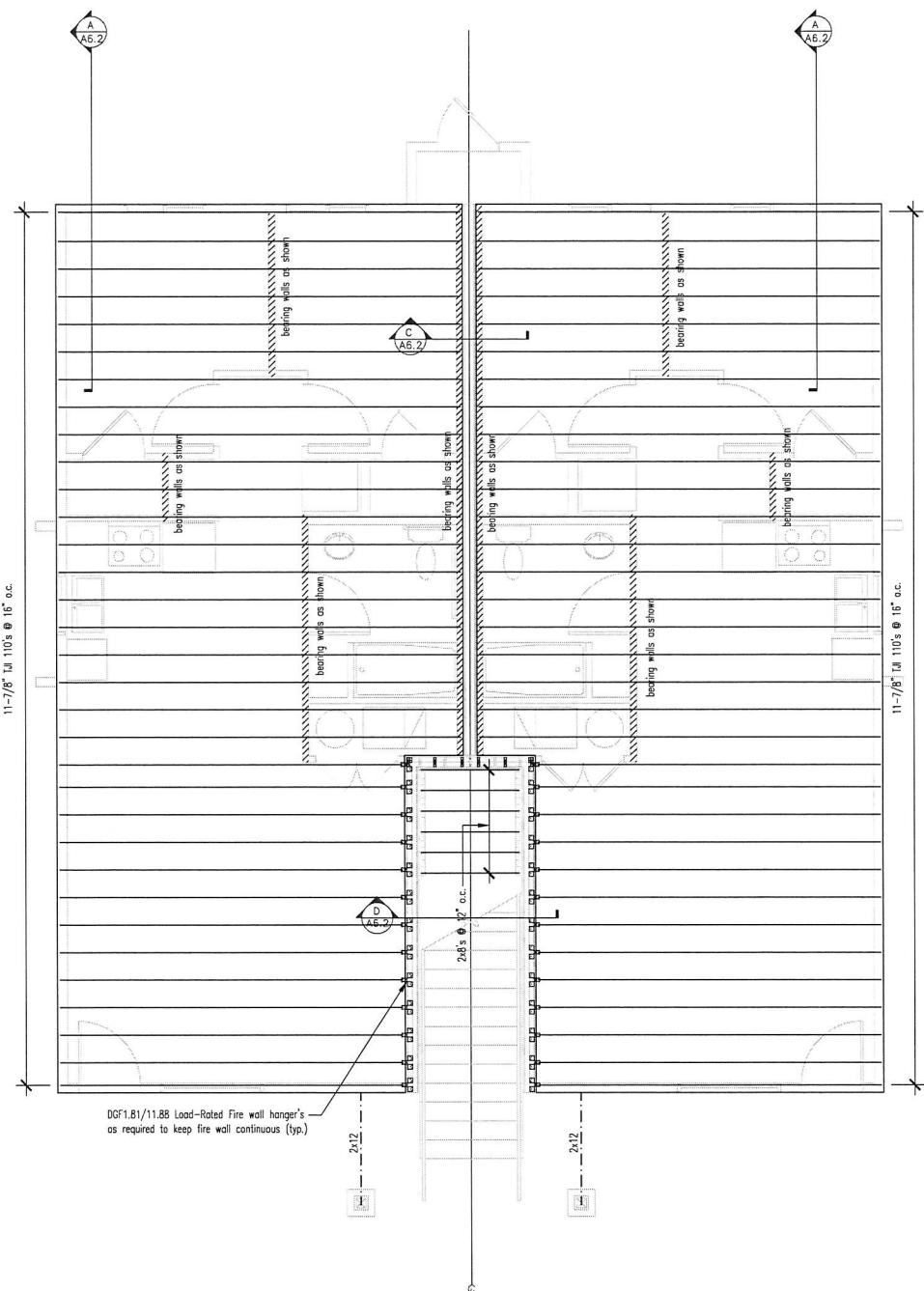
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Main Floor Plan
Date 4/1/2022

Sheet No.
A2.0

SECOND FLOOR FRAMING PLAN

SCALE: $1/4''=1'-0''$

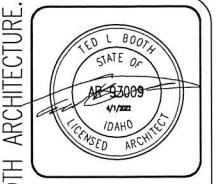


FRAMING NOTES:

- Provide min. (2) 2x4 posts under each end of all beams and headers unless noted otherwise on plan.
- Sheath all exterior walls with 7/16" exterior grade OSB. Nail OSB sheathing with staples at 4" o.c. at edges and 12" o.c. at intermediate members. Full shear panels located on all corners and middle of walls, and to be held down to foundation 2x6 Sill.
- All metal connectors to be Simpson strand tie or equivalent.
- All exterior walls to be framed with 2x6 studs at 16" o.c. with double top and single bottom plate.
- All interior walls to be framed with 2x4 studs at 16" o.c. with double top and single bottom plate.
- All trusses to be stocked directly on studs below.
- Glue and nail all multiple members (2)2x10 and larger with 15d nails @6" o.c. fully block web, glue and nail all multiple TJI floor joists.
- Roof sheathing to be min. 7/16" exterior grade sheathing.
- Provide Simpson H2.5 or equal at all truss and roof rafter bearing locations.
- All framing to be in conformance with latest edition of International Residential code adopted.
- Ladder blocks to replace channels where interior walls meet exterior.
- Provide 22.5"x36" attic access hatch, and attic draft stop between each unit.

CONNECTORS & FASTENERS:

- All nailing and fastening shall comply with the applicable codes nail fastening schedule.
- All flush beams and girders shall use joist hangers to support abutting joists and rafters.



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STATE OF
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IDAHO
LICENSED ARCHITECT
4/1/2022

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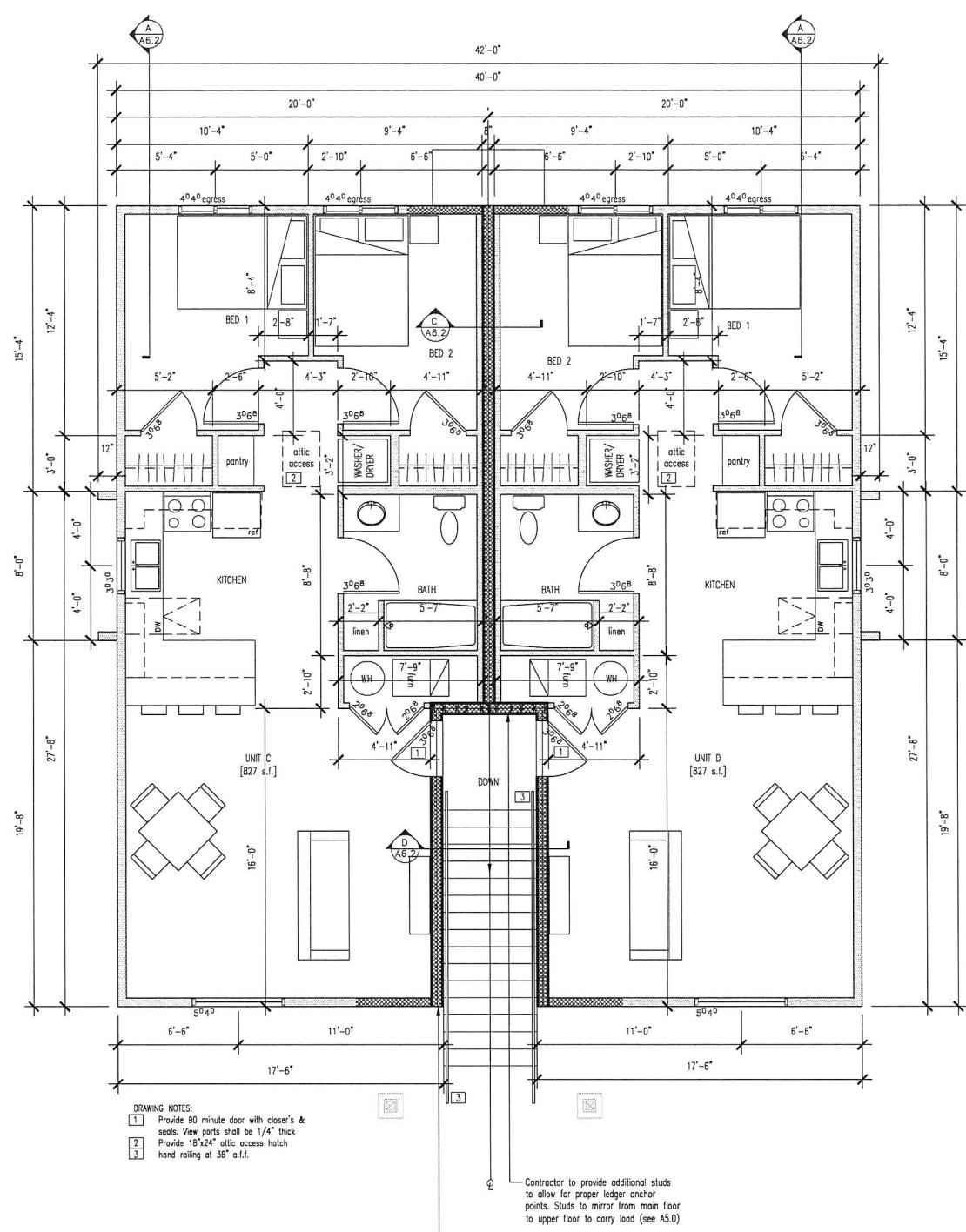
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Upper Floor Framing
Date 4/1/2022 Sheet No. A3.0

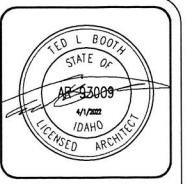
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SECOND FLOOR PLAN

SCALE: $1/4''=1'-0''$



- GENERAL NOTES:**
- All work to comply with IBC and all other local and international codes that may apply.
 - Contractor to verify all utilities, setbacks, etc.
 - All lumber in contact with concrete or masonry to be pressure treated.
 - Two hour fire wall to be provided vertically and horizontally between unites to create individual condos.
 - Provide blocking of toilets and tubs for future grab bars.
 - All switches, etc., to be at $48''$ a.f.l.
 - All "standard" outlets to be at $18''$ a.f.l.
 - Electrical, plumbing & mechanical to be bidder designed.
 - Provide "lever" style door handles.
 - Ground floor units to accessible per ICC/ANSI.
 - At accessible units, provide shelf & rod @ $48''$ a.f.l. at all closet units (in addition to shelf & rod), provide blocking if not installed at this time.
 - Contractor to verify all dimensions & conditions.
 - Contractor to coordinate all utilities locations, etc.
 - Provide rain gutters & down spouts



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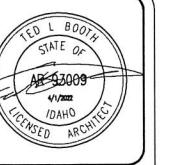
Sawbuck Condos

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Upper Floor Plan
Date 4/1/2022
Sheet No. A4.0



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Roof Plan

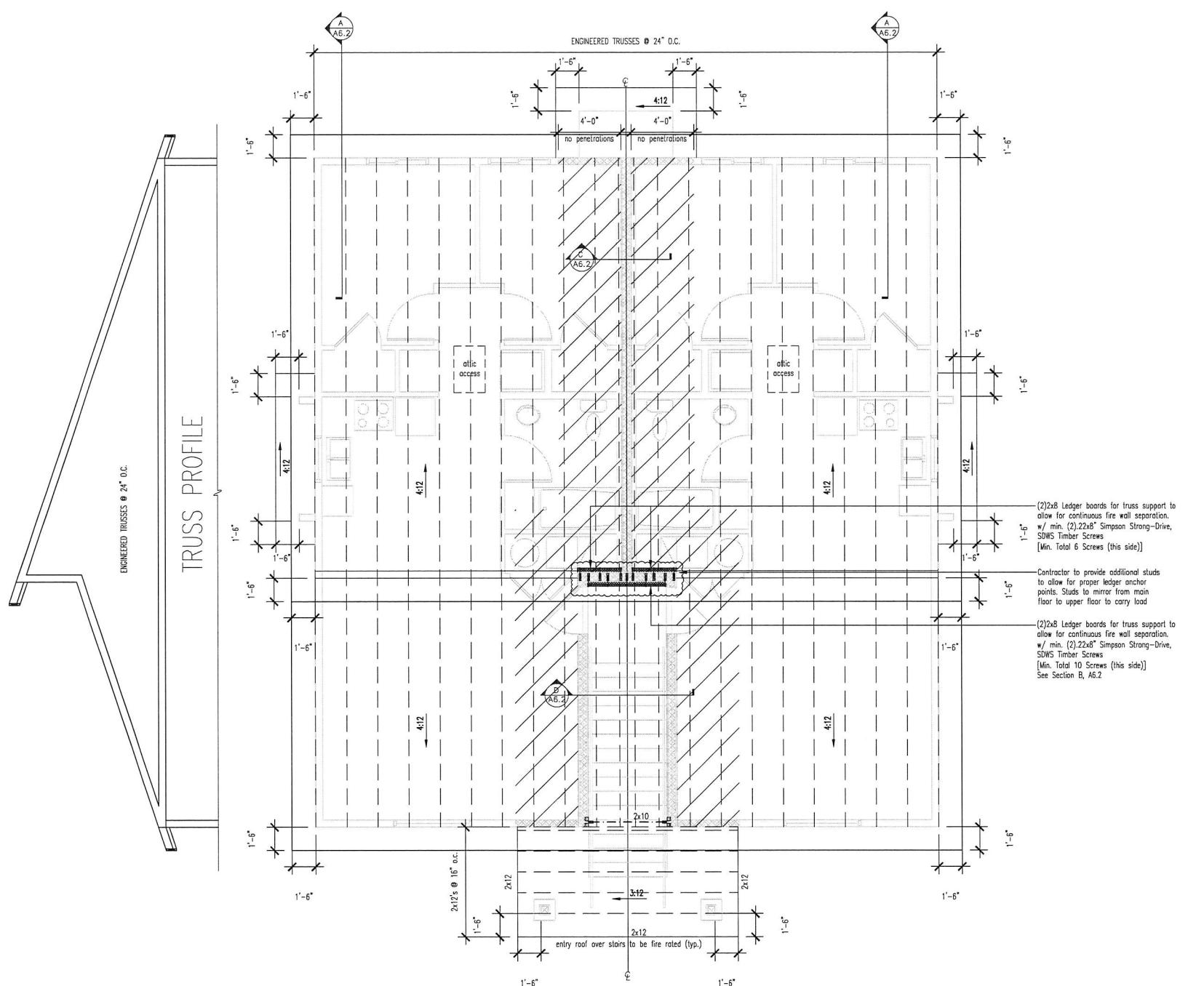
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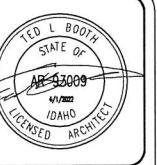
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A5.0

ROOF/BEAM PLAN

SCALE: 1/4"=1'-0"

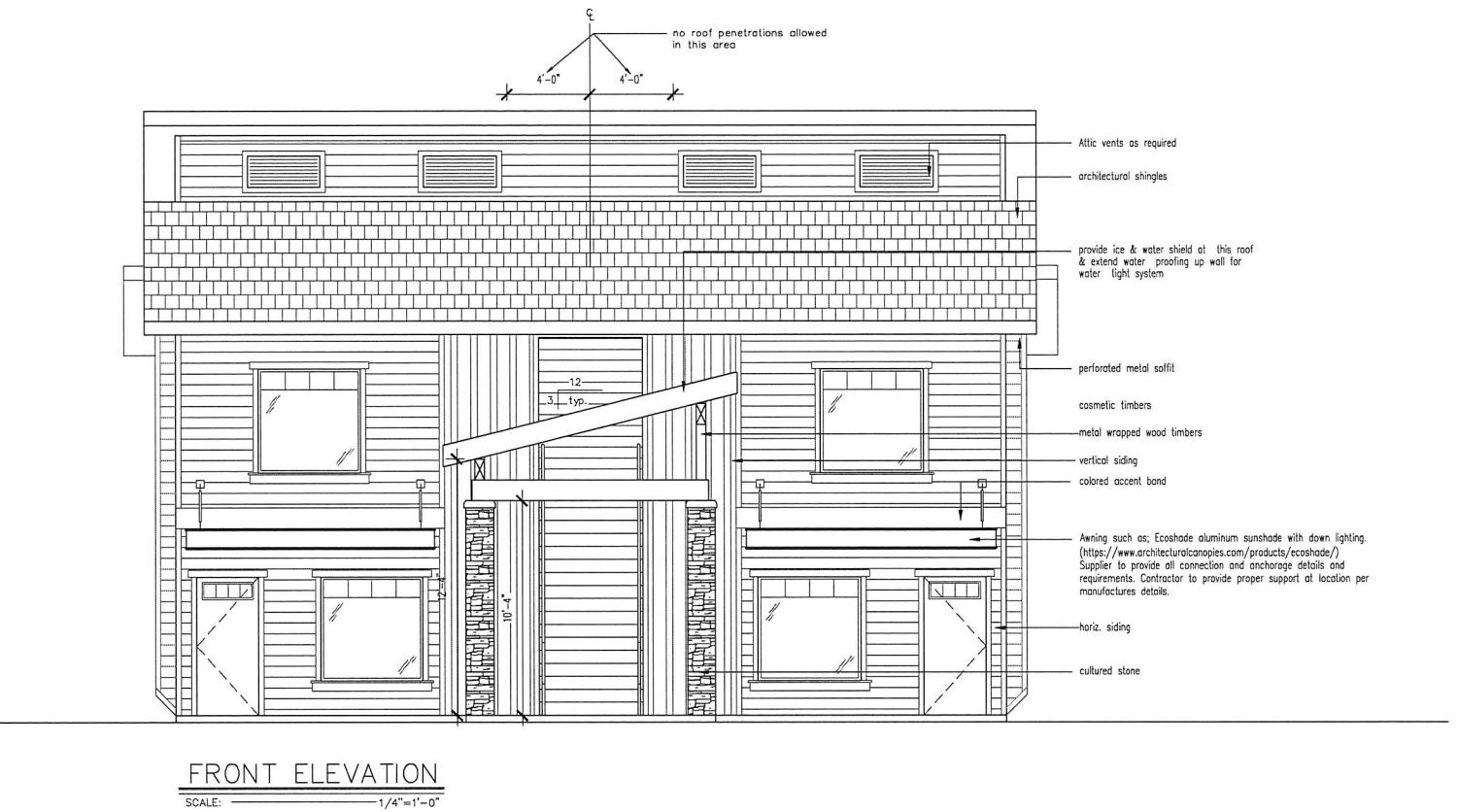




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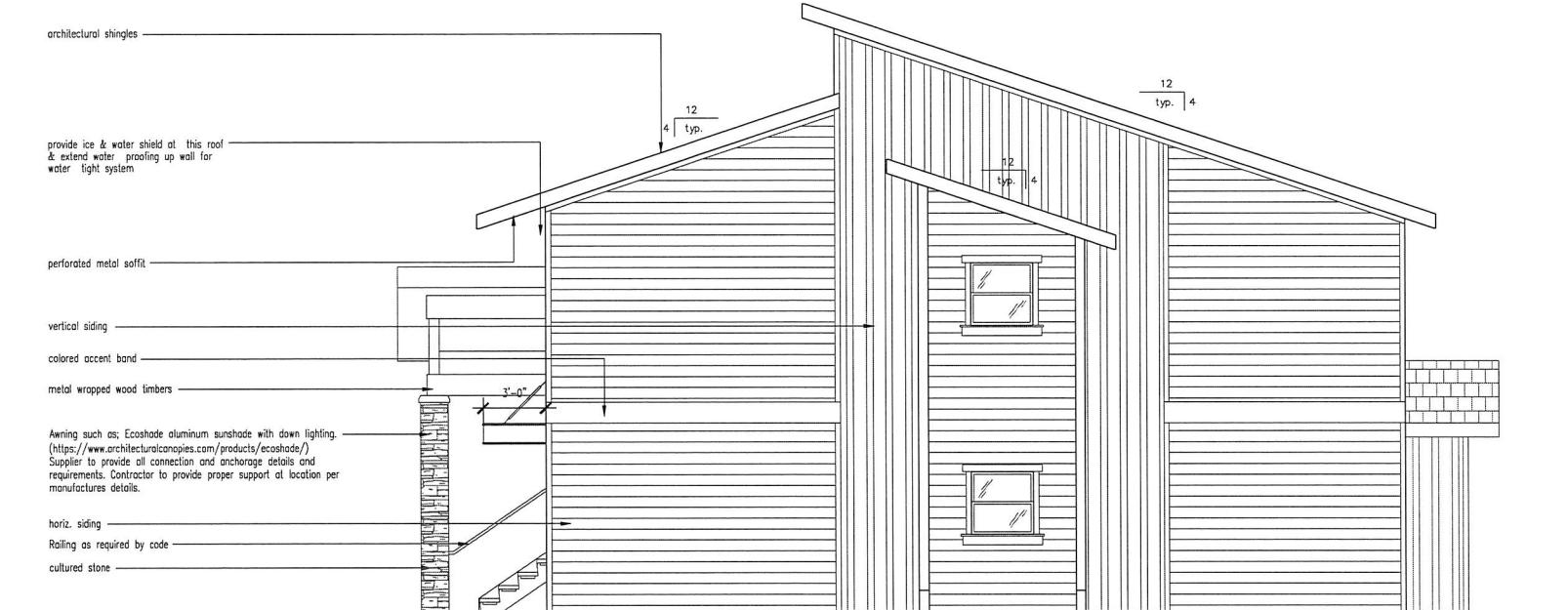
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Rexburg, Idaho

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FRONT ELEVATION

SCALE: 1/4"=1'-0"



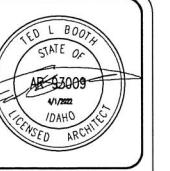
RIGHT ELEVATION

SCALE: 1/4"=1'-0"

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Elevations
Date 4/1/2022
Sheet No. A6.0



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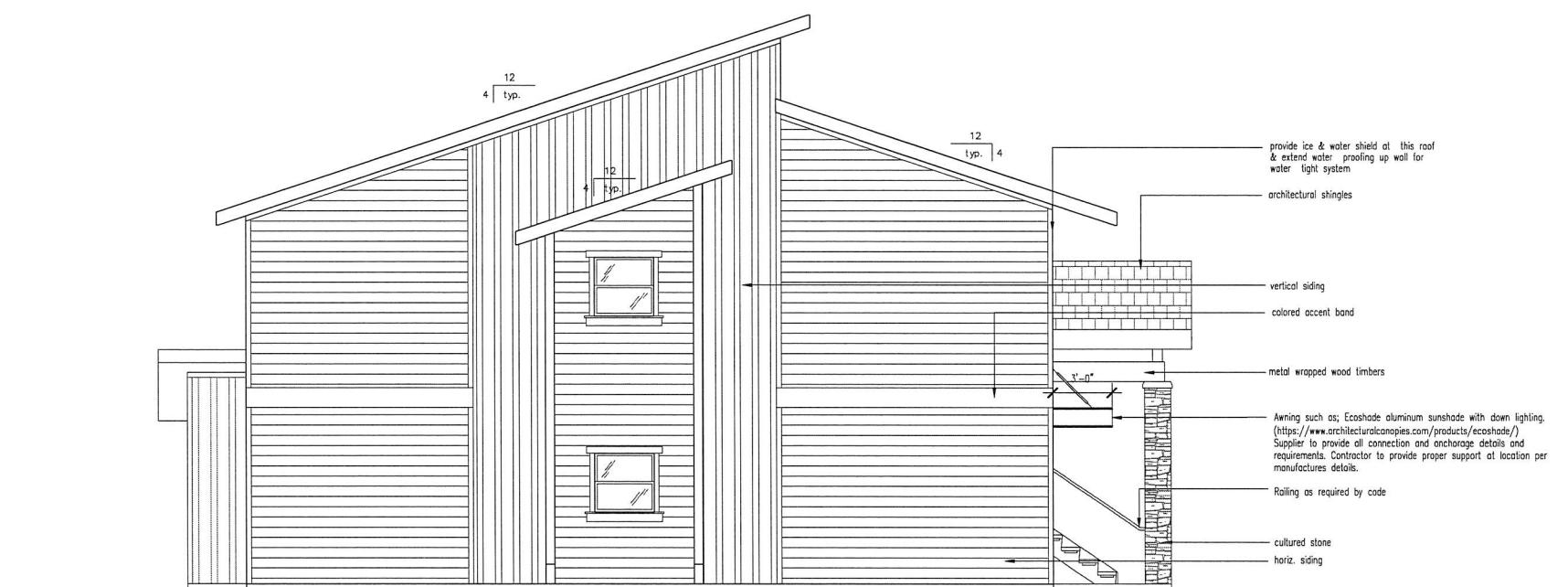
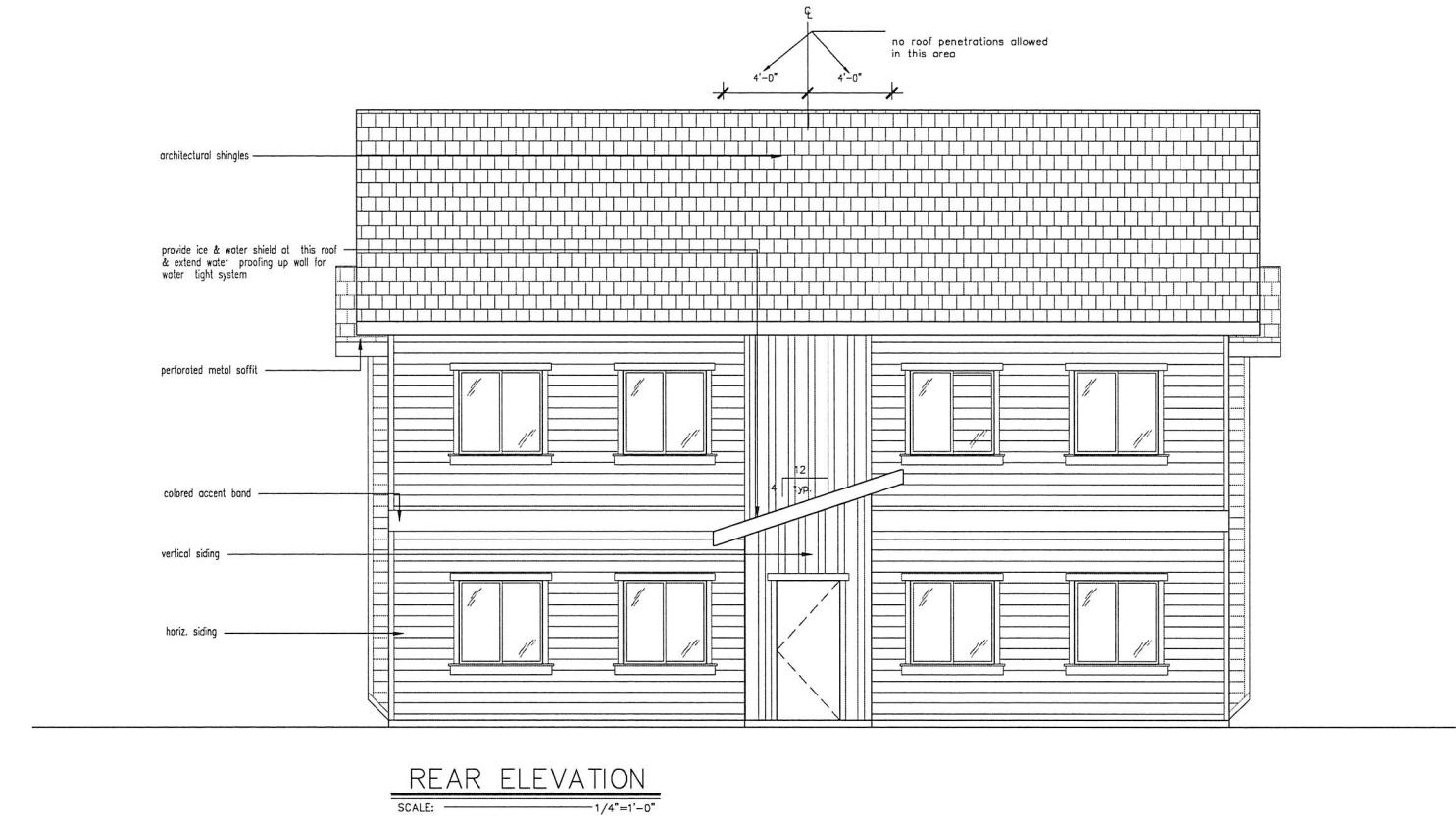
New Complex for:
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Trappers Landing
Rexburg, Idaho

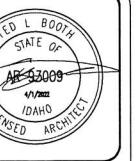
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Elevations
Date 4/1/2022
Sheet No. A6.1



A6.1



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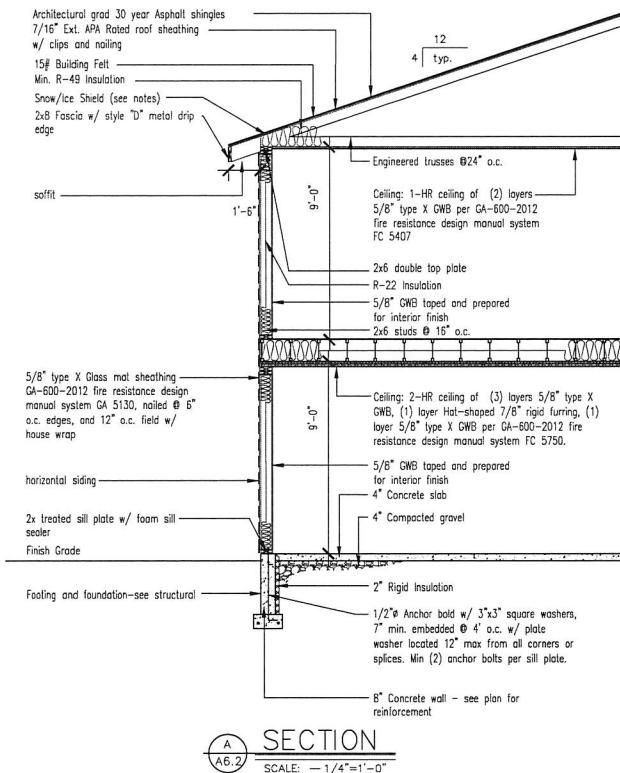
Sawbuck Condos
Trappers Landing
Rexburg, Idaho

New Complex for:

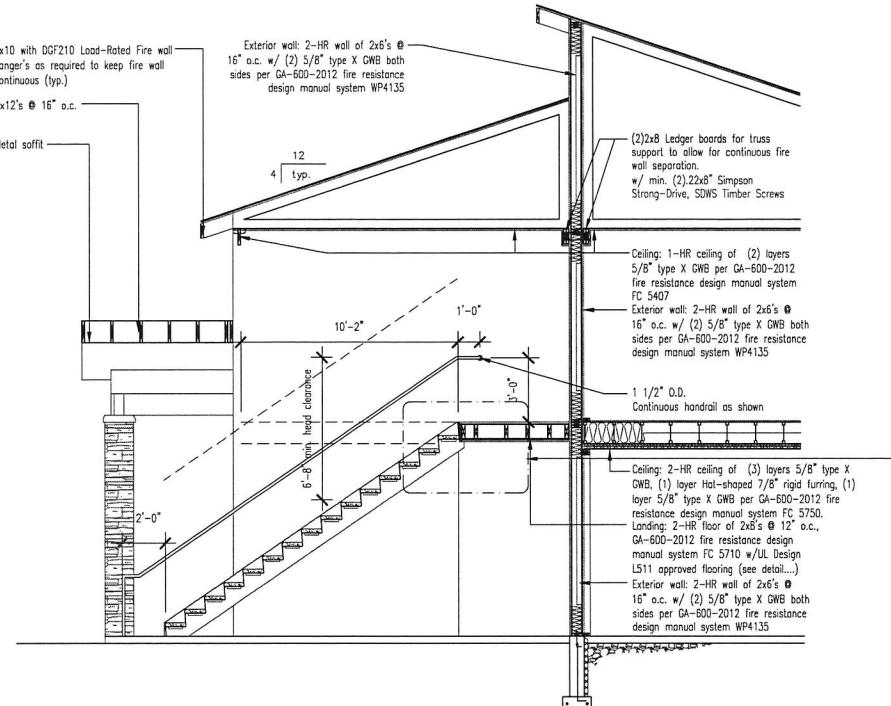
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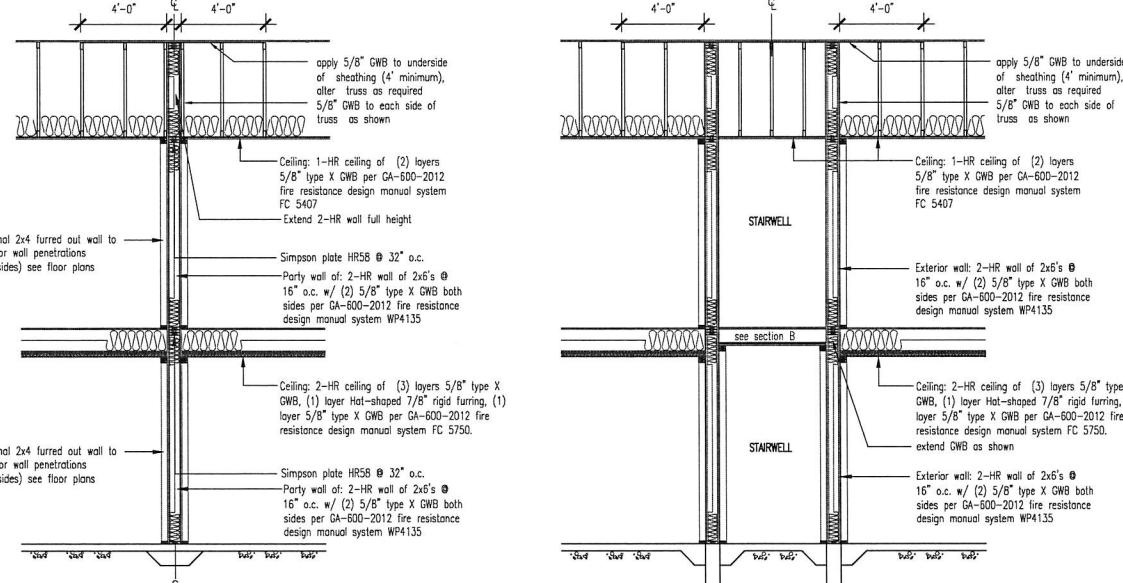
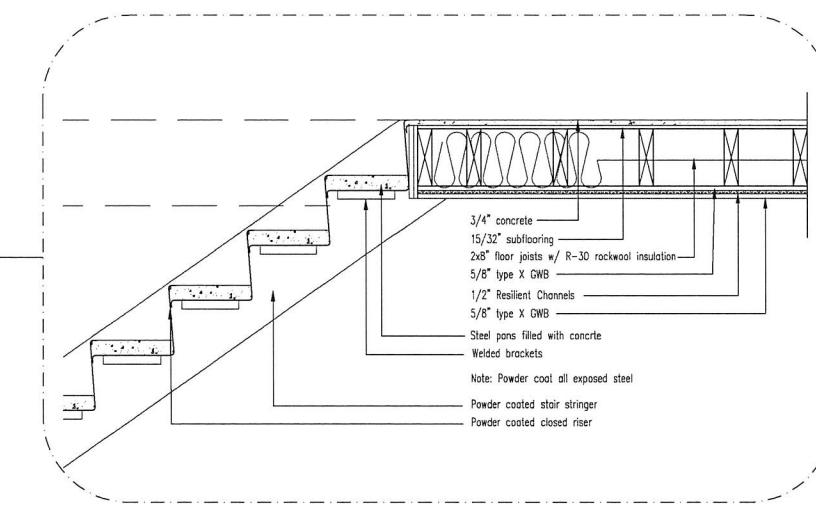
Sections & Details
2-HR Fire Details
Date
4/1/2022
Sheet No.
A6.2



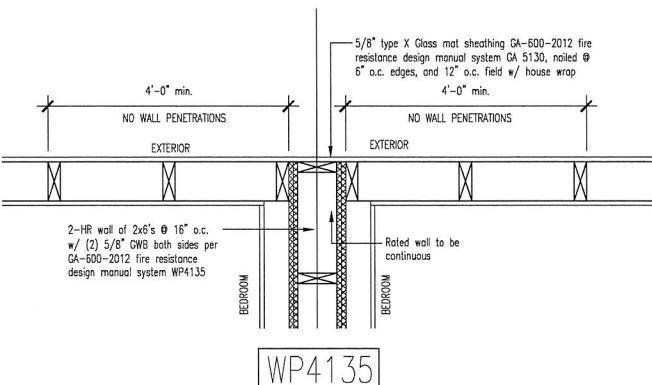
SECTION
A6.2
SCALE: — 1/4"=1'-0"



SECTION
B
A6.2
SCALE: — 1/4"=1'-0"



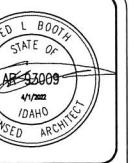
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SCALE: — 1/4"=1'-0"



WP4135



DETAIL
A6.2
SCALE: — 1/4"=1'-0"



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ADA Standards
Date 3/1/2022

A6.3

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New Complex for:
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ACCESSIBILITY STANDARDS

