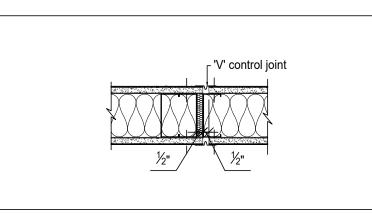


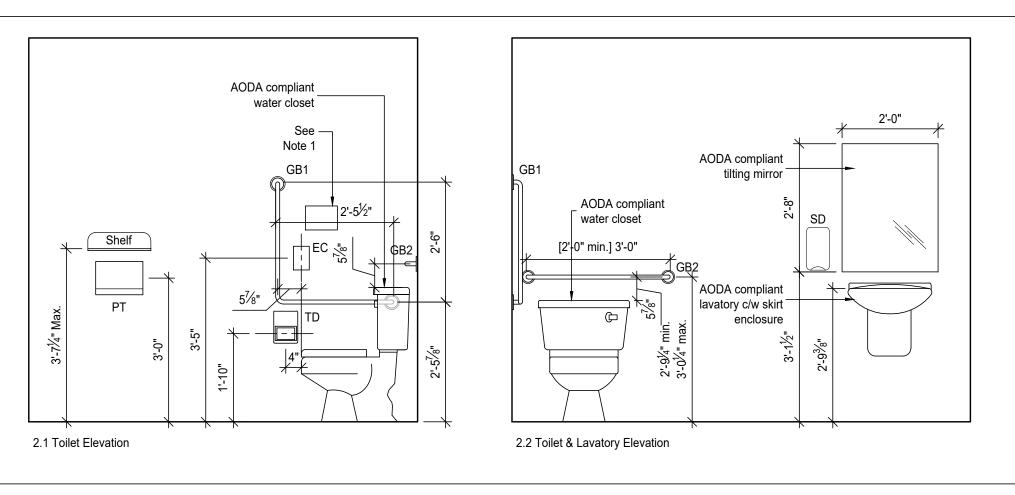
1a Interior Partition Corner Detail

A0-01 Scale: 1-1/2"=1'-0"



1 Typical Interior Partition Framing Details

A0-01 Scale: 1/2"=1'-0"



1b Interior Partition Exp. Joint Detail

Notes

A0-01 Scale: 1-1/2"=1'-0"

Legend

EC Emergency Call Button TD Toilet paper dispenser

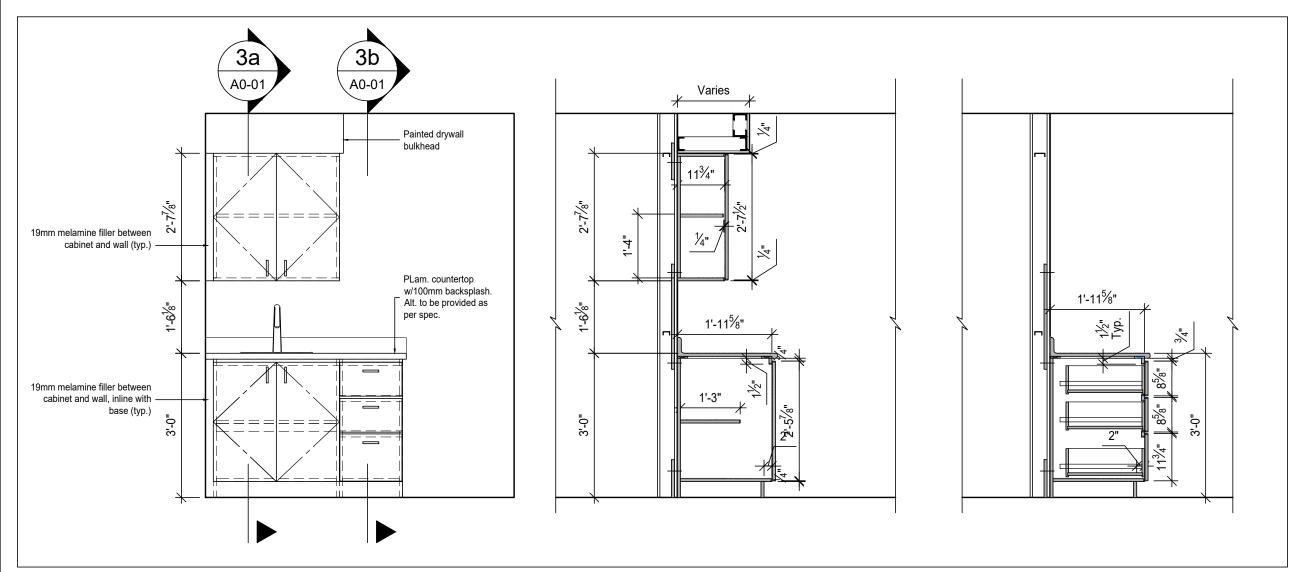
PT Paper towel dispenser GB1 Grab bar 1 GB2 Grab bar 2

SD Soap dispenser

Emergency sign that contains the words in the event of an emergency push emergency button and audible and visual signal will activate in letters at least 25 mm high with a 5 mm stroke and that is posted above the emergency button.

## 2 Typical BFA Washroom Details

A0-01 Scale: 1/2"=1'-0"



3 Typ. Base & Wall Cabinet Elevations

A0-01 Scale: 1/2"=1'-0"

3a Typ. Cabinet Detail A0-01 Scale: 1/2"=1'-0"

∖ A0-01 / Scale: 1/2"=1'-0"

3b Typ. Cabinet Detail

ONTARIO BUILDING CODE FIRE RESIST	
(the following represents the existing conditions	as represented in the original permit/ construction documents)
NON-COMBUSTIBLE CONSTRUCTION (O.B.C	C. 3.2.2.24 A2)
BUILDING COMPONENT	FIRE SEPARATION & RATING REQUIRED (PROVIDED)
Public Corridors	N/A
Corridors Used by the Public	N/A
Corridors Serving Rest Cubicles	Not Required
Rest Cubicles	Not Required
Kitchenettes	Not Required
Resident Activity Areas	Not Required
Laundry Room	Not Required
Load Bearing Elements	45 minutes
Floor Assembly	45 minutes
Mechanical Room w/Fuel Fired Appliances	1 hour
Roof Assembly	45 minutes
Vertical Service Shafts	N/A

/IDED)	Building Area	New Total		0 s.m. 443 s.m.		0 s.f. 4 773 s.f.
	Building Use and Classification	Major Occupancy 3.2.2.40	Group C			
		Secondary Occupancy 3.2.2.26	Group D			
	# of Storeys	2				
	# of Streets	4				
	Sprinkler System	N/A				
	Construction Assembly	Combustible / No	on-Combustil	ole		
	Fire Alarm System	Yes				
	Standpipe System	No				
	Spatial Separation	Elevation	North	South	East	West
		Area of Unprotected Openings Permitted (%)	Existing	Existing	Existing	Existing
		Fire Rating (HRS)				
	ONTARIO BUILDING	CODE CLASSIEI	CATION - P	ART 11		
		CODE OLACOII I	5/ \	/ 11 1 1 1		

ONTARIO BUILDING CODE CLASSIFICATION - PART 3

Building Area

11.00 Building Code

11.01 | Project Type

(Base Building Information is as represented in the original permit/ construction documents 2001/02)

443 s.m.

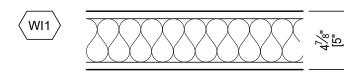
WE1

Remove existing drywall finish, vapour barrier and existing batt insulation from all exterior walls, and replace with rockwool comfort batt insulation filling entire cavity between existing wood studs. install new 6 mil. vapour barrier, and  $\frac{1}{2}$ " cement board

Interior Partition Types: All studs to U/S

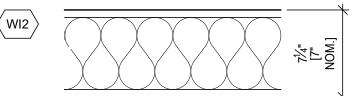
**Exterior Wall Types** 

of Structure above unless noted otherwise

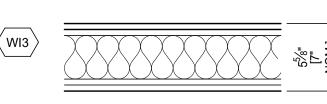


 $3\frac{1}{2}$ " safb between studs, with 1 layer of \( \frac{5}{8} \)" 'x rated drywall on both sides FRR=1 hr (Wall Type S4b) STC=39

35/8" metal studs at 16", with



Typical Plumbing Wall 6" metal studs at 16", with 6½" safb between studs, with 1 layer of \(^{\frac{5}{8}}\)" 'x rated drywall on both sides FRR=1 hr (Wall Type S7a)



HVAC Unit Wall 35/8" metal studs at 16", with  $3\frac{1}{2}$ " safb between studs, with 2 layers of ½" 'x rated drywall on both sides

FRR=1.5 hr (Wall Type S6d) STC=54

Requirements

Contractor shall provide adequate reinforcing, additional metal studs or structural metals studs in metal stud partitions for the support and anchoring of all wall mounted fitments, fixtures, accessories or specialties.

metal stud framing @ 406mm o/c where shown

All new interior partitions are type WI1 unless noted otherwise. Assembly to be constructed as if it were a fire rated partition whether identified 4. Provide gypsum board bulkheads on 64mm

**Partition Notes** 

on the drawings and at all changes in ceiling

5. Provide SAFB (Sound Attenuation Fire Blankets) in the cavity of all metal stud framed partitions. 6. Seal all partitions to the floor and underside of structure above with fire stop and fire proof

7. Seal around all penetrations through partitions with fire stop and fire proof sealant.

O.Reg. 332/12 Amendment: O.Reg. 89/23

(Base Building Information is as represented in the original permit/ construction documents 2001/02)

Renovation to existing building

EC Emergency Call GB1 Grab bar 1 GB2 Grab bar 2 [A] 1.1.2. TD Toilet Paper Dispenser

Legend

4 773 s.f.

**Building Code** Reference

RONALD

ARCHITECT

1458 **-** KING **-** STREET

BETHANY - ONTARIO 705=277=9490

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SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO

COMMENCEMENT OF WORK.

BEFORE PROCEEDING WITH THE WORK.

11.02 | Major Occupancy | Group C - Hostel Shelter 3.1.2.1.(1) Classification 11.03 Superimposed Group D - Support Offices Major Occupancy 3.2.2.7 Classification 11.04 Building Area 443 s.m. (4 773 s.f.) [A] 1.4.1.2. (0 s.f.) 0 s.m. Total: 443 s.m. (4 773 s.f.) 11.05 Building Height Storeys Above grade [A] 1.4.1.2. & 3.2.1.1. Storey Below Grade Above Grade 3.2.2.10 & 3.2.5. 11.06 Number of Streets/ Street(s) Fire Fighting Access 11.07 Building Size 11.2.1.1.I 443 sq.m. 11.08 Existing Building 11.2.1.1. T 11.2.1.1.A Classification T 11.2.1.1.B to N 4.2.1.(3) 5.2.2.1.(2) 11.09 Renovation Type Extensive Renovation 11.3.3.1. 11.3.3.2. Dormitory Rest Area can accommodate up to 11.10 Occupant Load 12 persons plus 2 Staff 9pm to 9am Office and clinical area will have maximum listed occupancy 25 persons 11.11 | Plumbing Fixture | Dormitory area : 2 req'd (4) provided 3.7.4. Activity and office zone: 2 req'd - (4) provided 3.7.4.3.A & (13) 3.7.4.3.A 11.3.3.2.(2) 11.12 Barrier-free Design Main floor is barrier free Construction Index - 4 11.13 Reduction in 11.4.2.1. Performance Level | Hazard Index Hostel - Small Building -3 less 11.4.2.2. 11.4.2.3. credit of 1 for multiple Streets = 2 11.4.2.4. The Hazard level does not exceed the 11.4.2.5. Construction Index 11.4.2.6 11.14 Compensating 11.4.3.1. No measures required 11.4.3.2. Construction: 11.4.3.3. 11.4.3.4. 11.4.3.5. 11.4.3.6 11.15 Compliance Per above 11.5.1. Alternatives Proposed All fires safety notification systems are being 11.16 Notes: 11.5.1. upgraded and interior parttions will be noncombustible construction

1.0 2025.03.26 Issued for tender PROJECT

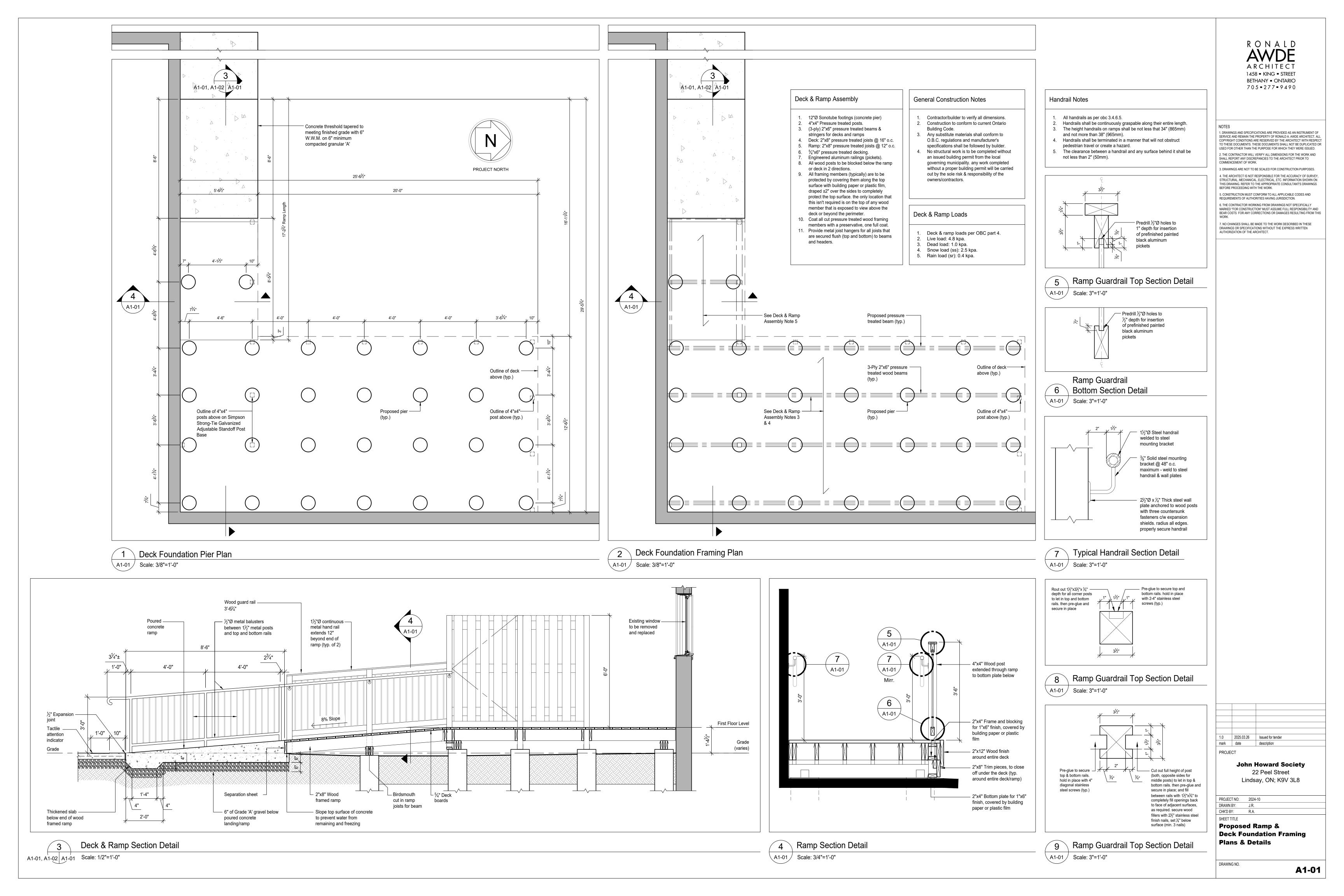
> **John Howard Society** 22 Peel Street Lindsay, ON; K9V 3L8

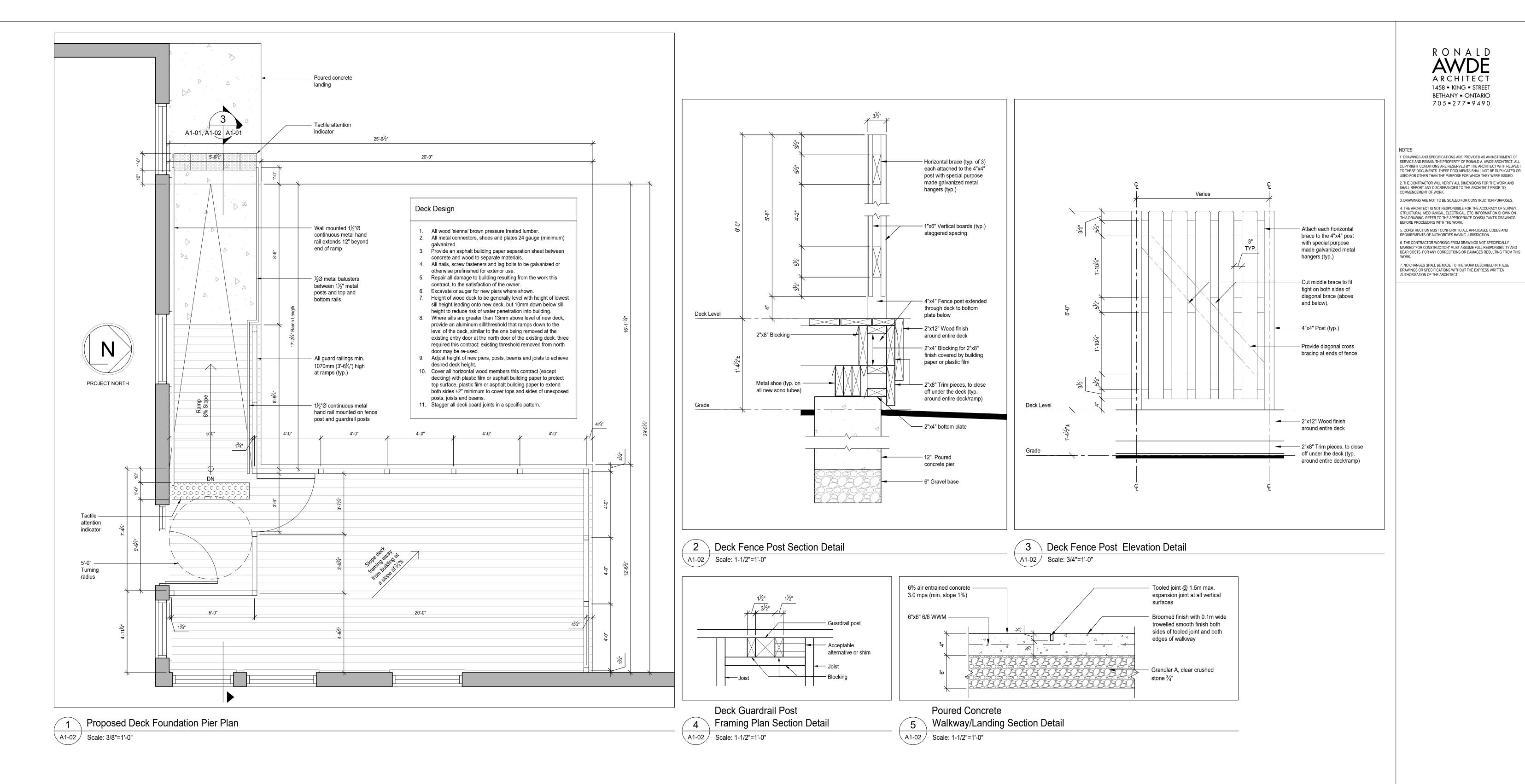
CHK'D BY: R.A. SHEET TITLE **General Notes** 

DRAWING NO.

PROJECT NO: 2024-10

**A0-01** 





1.0 2025.03.26 Issued for tender mark date description

**John Howard Society** 22 Peel Street Lindsay, ON; K9V 3L8

PROJECT NO: 2024-10
DRAWN BY: J.R.

CHK'D BY: R.A.

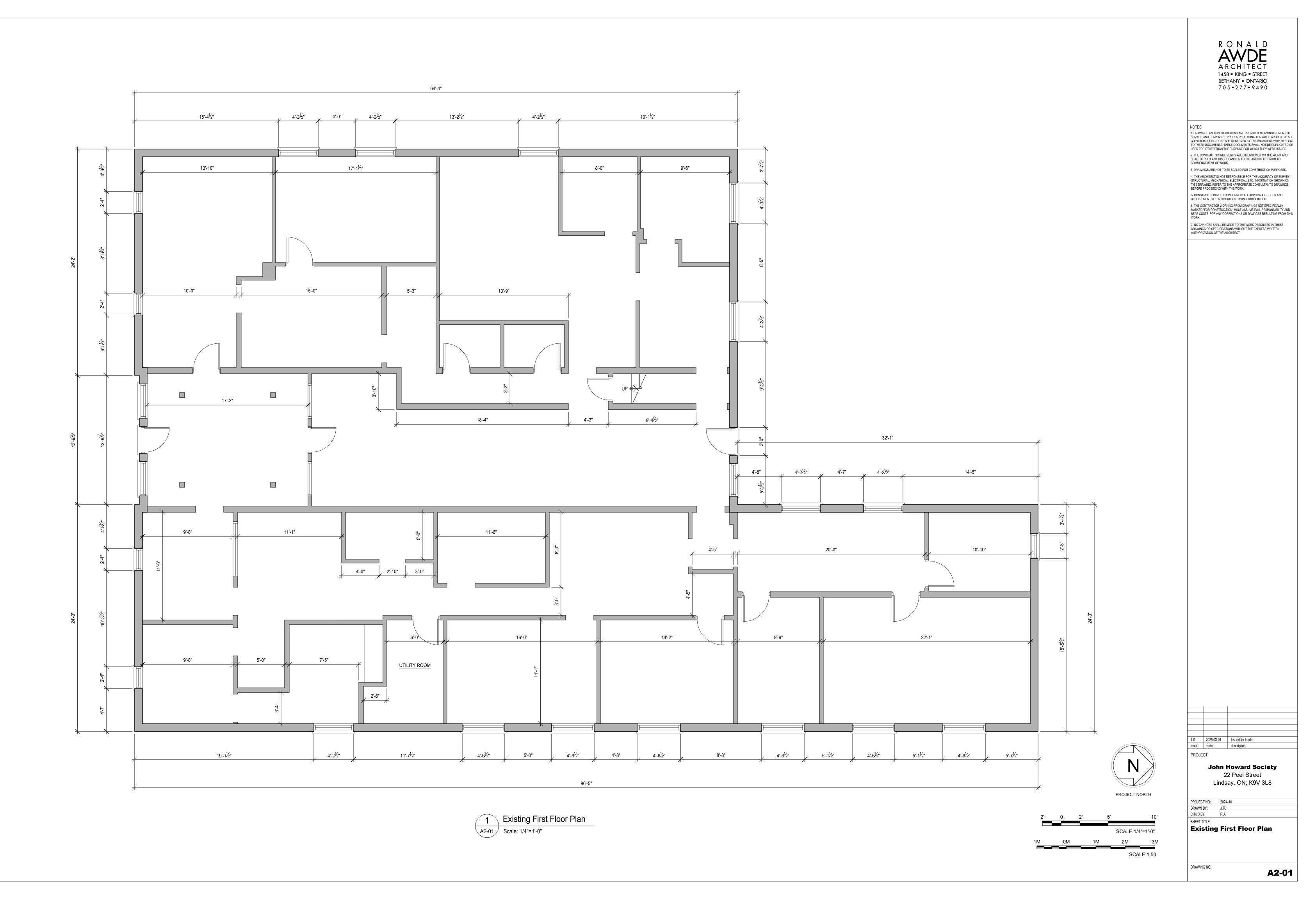
SHEET TITLE

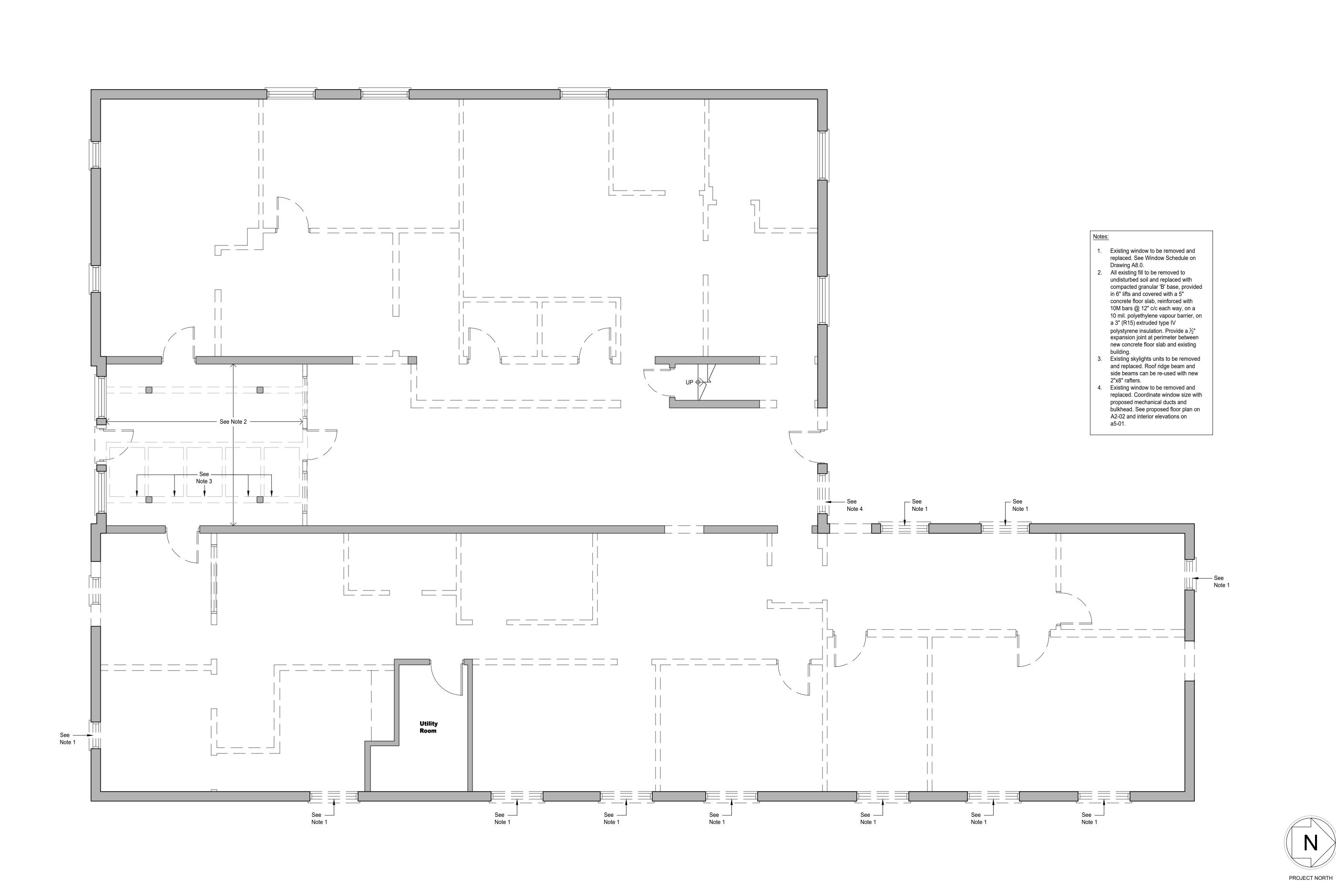
Proposed Ramp

Floor Plan & Details

DRAWING NO.

A1-02





1 First Floor Demolition Plan

A2-02 Scale: 1/4"=1'-0"

RONALD AWDE ARCHITECT 1458 - KING - STREET BETHANY - ONTARIO 705 - 277 - 9490

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LEGEND

Existing wall to be removed

1.0 2025.03.26 Issued for tender mark date description

PROJECT

John Howard S

John Howard Society 22 Peel Street Lindsay, ON; K9V 3L8

 PROJECT NO:
 2024-10

 DRAWN BY:
 J.R.

 CHK'D BY:
 R.A.

SHEET TITLE

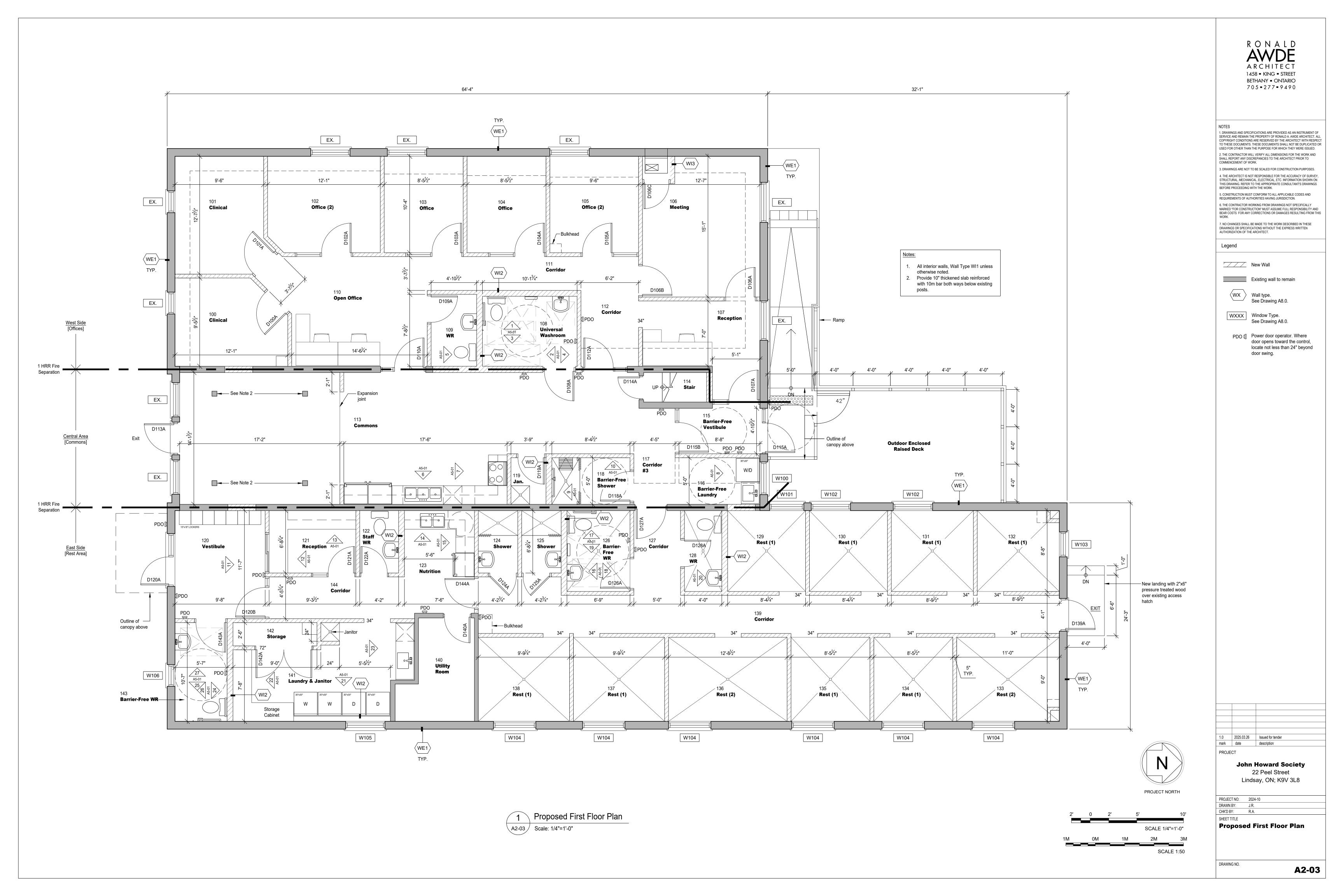
First Floor Demolition Plan

DRAWING NO.

SCALE 1/4"=1'-0"

SCALE 1:50

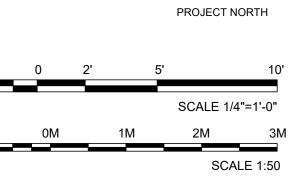
**A2-02** 







Proposed First Floor
Reflected Ceiling Plan
Scale: 1/4"=1'-0"



RONALD AWDE ARCHITECT 1458 • KING • STREET BETHANY • ONTARIO 705 • 277 • 9490

ES

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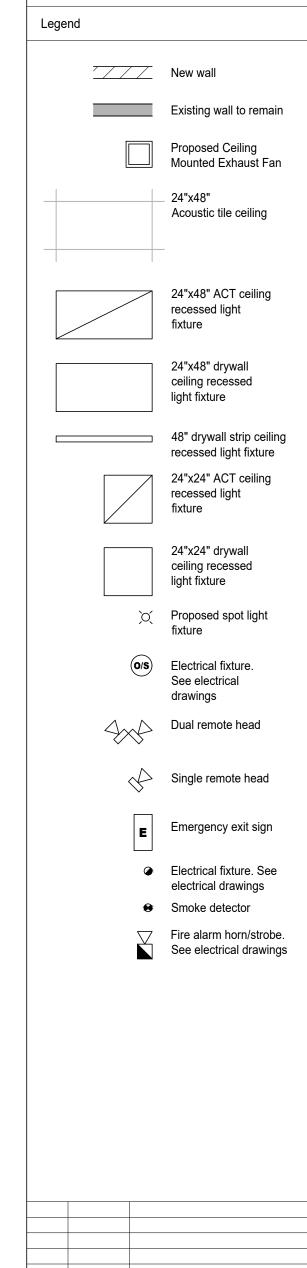
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Lindsay, ON; K9V 3L8

A4-01

mark date
PROJECT

PROJECT NO: 2024-10
DRAWN BY: J.R.

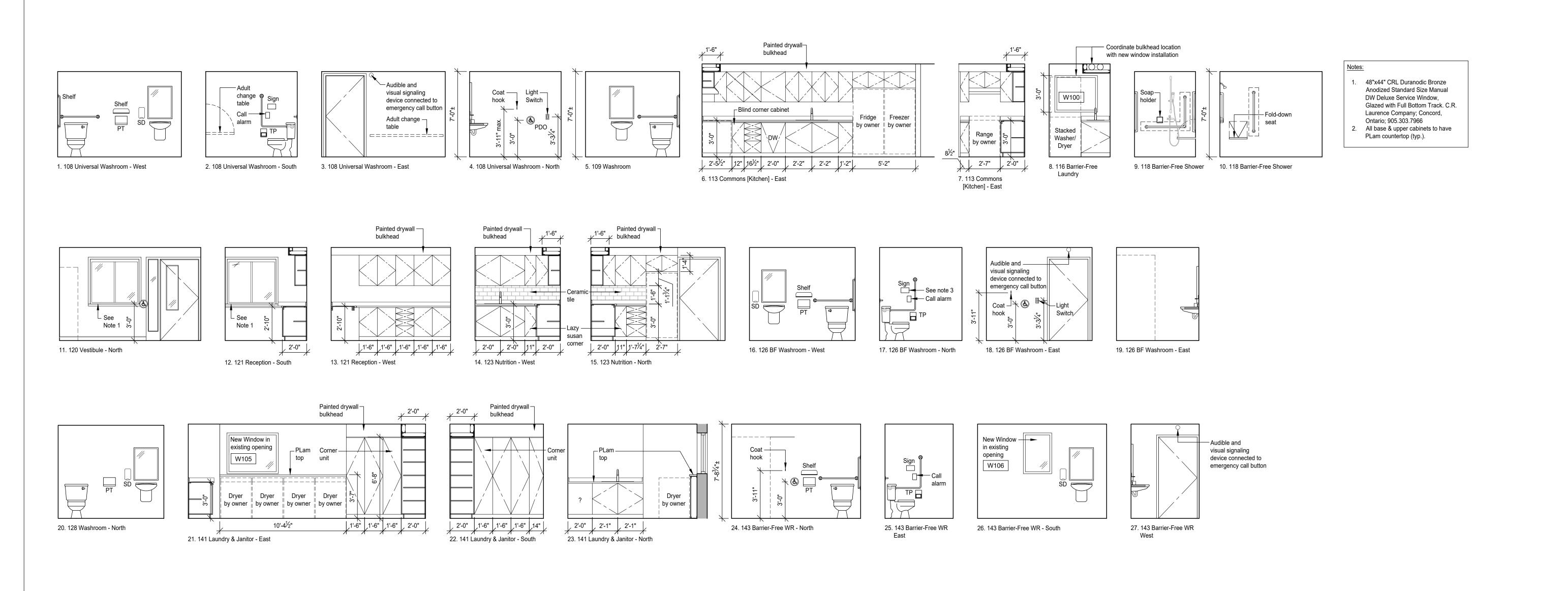
**Proposed First** 

Reflected Ceiling Plan

CHK'D BY: R.A.

SHEET TITLE

DRAWING NO.



RONALD ARCHITECT 1458 - KING - STREET BETHANY - ONTARIO 705 = 277 = 9490

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Legend

TP Toilet paper dispenser

PT Paper towel dispenser GB1 Grab bar 1

GB2 Grab bar 2

SD Soap dispenser

1.0 2025.03.26 Issued for tender PROJECT

> **John Howard Society** 22 Peel Street Lindsay, ON; K9V 3L8

PROJECT NO: 2024-10 DRAWN BY: CHK'D BY: R.A.

SHEET TITLE

Interior Elevations

DRAWING NO.

A5-01

	ROOM	И	FLOOR	1	WALLS	3							CEILING	SS		
	No. Name		Met	Bass	North		East		South	South	West		Mat	Finish	11-:	NOTES
	INO.	name	Mat.	Base	mat.	finish	mat.	finish	mat.	finish	mat.	finish	Mat.	Finish	Height	
	100	Clinical	RSF	FCIB	gb.	PVC	gb.	PVC	gb.	PVC	gb.	PVC	ACT	-	7'-10½"	
	101	Clinical	RSF	FCIB	gb.	PVC	gb.	PVC	gb.	PVC	gb.	PVC	ACT	-	7'-10½"	
	102	Office (2)	RTF	RB	gb.	ptd.	gb.	ptd.	gb.	ptd.	gb.	ptd.	ACT	-	7'-10½"	
	103	Office	RTF	RB	gb.	ptd.	gb.	ptd.	gb.	ptd.	gb.	ptd.	ACT	-	7'-10½"	
	104	Office	RTF	RB	gb.	ptd.	gb.	ptd.	gb.	ptd.	gb.	ptd.	ACT	-	7'-10½"	
	105	Office (2)	RTF	RB	gb.	ptd.	gb.	ptd.	gb.	ptd.	gb.	ptd.	ACT	-	7'-10½"	
	106	Meeting	RTF	RB	gb.	ptd.	gb.	ptd.	gb.	ptd.	gb.	ptd.	ACT	-	7'-10½"	
	107	Reception	RSF	FCIB	gb.	ptd.	gb.	ptd.	gb.	ptd.	gb.	ptd.	ACT	-	7'-10½"	
	108	Universal WR	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-10½"	
	109	Washroom	RSF	FCIB	gb.	ptd.	gb.	ptd.	gb.	ptd.	gb.	ptd.	ACT	-	7'-10½"	
	110	Open Office	RTF	RB	gb.	ptd.	gb.	ptd.	gb.	ptd.	gb.	ptd.	ACT	-	7'-10½"	
	111	Corridor #2	RTF	RB	gb.	ptd.	gb.	ptd.	gb.	ptd.	gb.	ptd.	ACT	-	7'-10½"	
ide	112	Corridor #1	RTF	RB	gb.	ptd.	gb.	ptd.	gb.	ptd.	gb.	ptd.	ACT	-	7'-10½"	
	113	Commons	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	ACT	-	7'-7½"	
	114	Stair [Existing]	ероху	FCIB	gb.	ptd.	gb.	ptd.	gb.	ptd.	gb.	ptd.	-	-	-	
	115	Barrier-Free Vest.	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	ACT	-	7'-7½"	
	116	Barrier-Free Lndry.	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-7½"	
	117	Corridor #3	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	-	-	cb.	PVC	7'-7½"	
	118	Barrier-Free Shower	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-7½"	
	119	Janitor	ероху	FCIB	gb.	ptd.	gb.	ptd.	gb.	ptd.	gb.	ptd.	cb.	PVC	7'-7½"	
de	120	Vestibule	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	121	Reception	ероху	FCIB	gb.	ptd.	gb.	ptd.	gb.	ptd.	gb.	ptd.	gb.	ptd.	7'-8¾"	
	122	Staff Washroom	ероху	FCIB	gb.	ptd.	gb.	ptd.	gb.	ptd.	gb.	ptd.	gb.	ptd.	7'-8¾"	
	123	Nutrition	ероху	FCIB	gb.	СТ	-	-	gb.	СТ	gb.	CT	gb.	PVC	7'-8¾"	
	124	Shower	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	125	Shower	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	126	Barrier-Free WR	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	127	Corridor #4	ероху	FCIB	cb.	PVC	-	-	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	128	Washroom	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	129	Rest (1)	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	130	Rest (1)	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	131	Rest (1)	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	132	Rest (1)	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	133	Rest (2)	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	134	Rest (1)	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	135	Rest (1)	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	136	Rest (2)	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	137	Rest (1)	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	138	Rest (1)	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	139	Corridor #5	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	140	Utility Room	-	-	-	-	-	-	-	-	-	-	-	-	-	Existing to remain
	141	Laundry & Janitor	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	142	Storage	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
	143	Barrier-Free WR	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	
ļ	144	Corridor #6	ероху	FCIB	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	cb.	PVC	7'-8¾"	

ROOM FINISH SCHEDULE ABBREVIATIONS:

CT - Ceramic Tile FCIB - Flash Cove Integral Base

PVC - Altro Whiterock RTF - Resilient Tile Flooring (Plank)

RSF - Resilient Sheet Flooring

gb. - gypsum board (install vert.) ptd. - painted (coats as per spec.) ROOM FINISH SCHEDULE NOTES:

1. Contractor shall prep all existing and new

substrates as per the specification requirements.

2. All materials to be installed as per the specifications.

3. All finishes to be applied as per the specifications.4. All surfaces are top be plumb, level and true prior to installation of finishes unless referenced

otherwise.

	NAA 517	DOOR	!			FRAM	E	F.R.R.	0	NOTEO
	MARK	width	height	type	mat'l	type	mat'l	(hrs)	GLAZ.	NOTES
	D100A	38"	6'-8"	F	SCW.1	Α	WD	-	1	
	D101A	38"	6'-8"	F	SCW.1	Α	WD	-	-	
	D102A	38"	6'-8"	NL	SCW.1	В	WD	-	TG	
	D103A	38"	6'-8"	NL	SCW.1	В	WD	-	TG	
	D104A	38"	6'-8"	NL	SCW.1	В	WD	-	TG	
	D105A	38"	6'-8"	NL	SCW.1	В	WD	-	TG	
	D106A	38"	6'-8"	FL	SCW.1	Α	WD	-	TG	
	D106B	38"	6'-8"	FL	SCW.1	Α	WD	-	TG	
	D106C	32"	6'-8"	F	НМ	Α	НМ	60 MIN.	-	
	D107A	38"	6'-8"	FL	НМ	В	НМ	45 MIN.	TP	
	D108A	38"	6'-8"	F	НМ	Α	НМ	45 MIN.	-	
	D109A	34"	6'-8"	F	SCW.1	Α	WD	-	-	
	D110A	38"	6'-8"	NL	НМ	В	НМ	45 MIN.	TG	
West Side	D112A	38"	6'-8"	NL	НМ	В	НМ	45 MIN.	TG	
Central	D113A	38"	6'-8"	F	IHM	Α	ТВ	-	TP	
Area	D114A	28"±	6'-8"	NL	НМ	Α	НМ	-		Existing replaced. Site mea
	D115A	38"	6'-8"	FL	IHM	В	ТВ	-	TP	
	D115B	38"	6'-8"	FL	НМ	В	НМ	-	TP	
	D118A	38"	6'-8"	F	НМ	Α	НМ	-	-	
	D119A	34"	6'-8"	F	НМ	Α	НМ	-	-	
East Side	D120A	38"	6'-8"	FL	IHM	В	ТВ	-	TP	
	D120B	38"	6'-8"	NL	НМ	В	НМ	-	TG	
	D121A	34"	6'-8"	NL	НМ	В	НМ	-	TG	
	D122A	34"	6'-8"	F	НМ	Α	НМ	-	-	
	D124A	34"	6'-8"	F	НМ	Α	НМ	-	-	
	D125A	34"	6'-8"	F	НМ	Α	НМ	-	-	
	D126A	38"	6'-8"	F	НМ	Α	НМ	-	-	
	D127A	38"	6'-8"	F	НМ	Α	НМ	45 MIN.	-	
	D128A	34"	6'-8"	F	НМ	Α	НМ	-	-	
	D139A	38"	6'-8"	F	IHM	Α	ТВ	-	-	
	D140A	32"±	6'-8"	F	НМ	Α	НМ	45 MIN.	-	Existing replaced. Site meas
	D142A	2x36"	6'-8"	G	НМ	Α	НМ	-	-	
	D143A	38"	6'-8"	F	НМ	Α	НМ	-	-	
	D144A	38"	6'-8"	NL	НМ	Α	НМ	45 MIN.	TG	

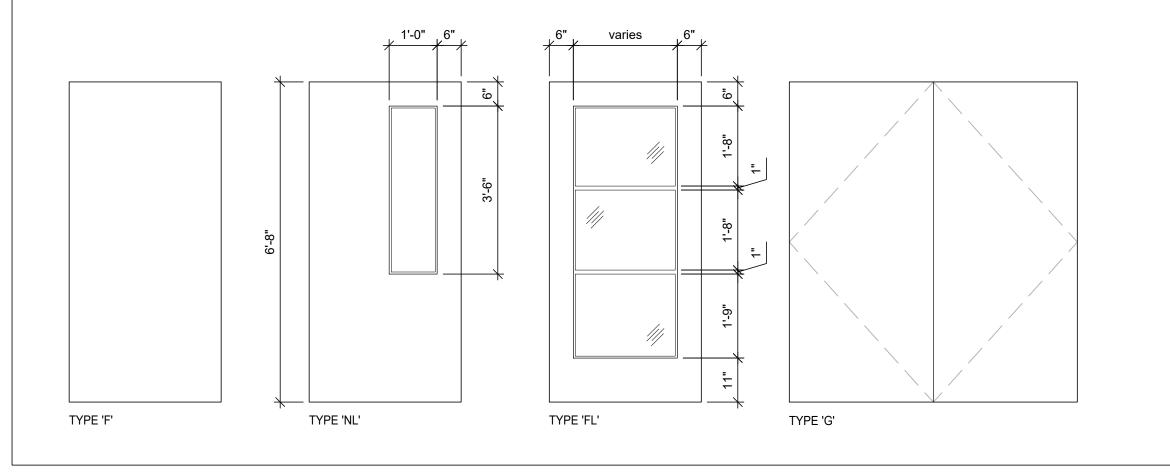
DOOR & FRAME SCHEDULE ABBREVIATIONS:

FG - Fire Rated Glazing - Single Glazed TG - Safety Glass (Tempered) TP - Thermal Pane Glazing Unit HCWD - Hollow Core Wood HM - Hollow Metal SCW.1 - Plastic Laminate Solid Core Wood Door SCW.2 - Plastic Laminate Solid Core Wood Door (Rated) TB - Thermally broken hollow metal frame

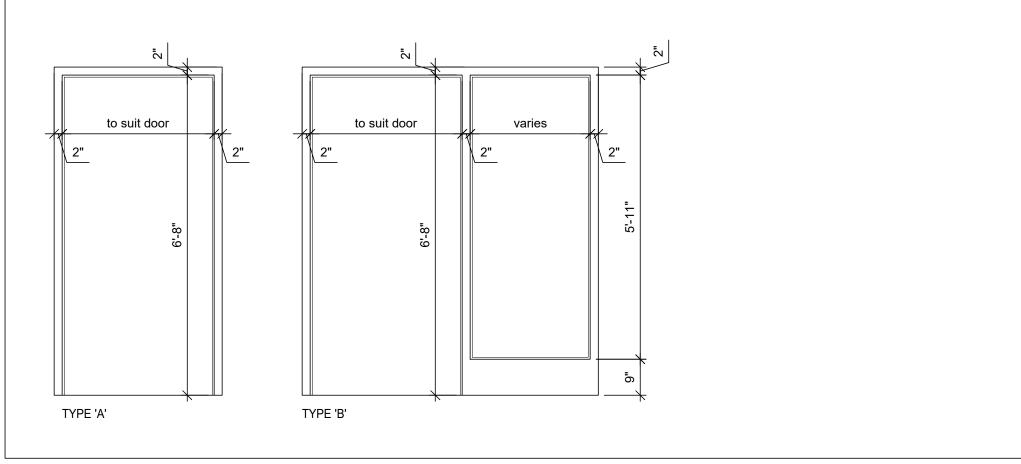
WD - Wood

DOOR & FRAME SCHEDULE NOTES:

All hollow metal doors to be 14 Gauge. All hollow metal door frames to be 16 Gauge.



\ Door Types A6-01 Scale: 1/2"=1'-0"



2 Frame Types A6-01 Scale: 1/2"=1'-0"

	Wind	low Schedule							
	No.	LOCATION			NOTES				
	INO.	LOCATION	mat.	finish	width	height	thk.	glazing	NOTES
Central	EX.	Existing window to remain	-	-	-	-	-	-	
Area	W100	Barrier-Free Laundry	vinyl	pre.	3'-6"	36"	4"±	lg	See Note 8.
East Side	W101	Rest (1)	vinyl	pre.	3'-8"	40"	4"±	lg	
	W102	Rest (1)	vinyl	pre.	4'-2½"	40"	4"±	lg	See Note 1.
	W103	Rest (1)	vinyl	pre.	2'-8"	40"	4"±	lg	See Note 1.
	W104	Rest (2)	vinyl	pre.	4'-6½"	40"	4"±	lg	See Note 1.
	W105	Laundry & Janitor	vinyl	pre.	4'-2½"	40"	4"±	lg	See Note 1.
	W106	Barrier-Free Washroom	vinyl	pre.	2'-4"	40"	4"±	lg	See Note 1.

WINDOW SCHEDULE ABBREVIATIONS:

WINDOW SCHEDULE NOTES:

lg - laminated glass with low-E coating pre. - prefinished

- 1. Existing window to be replaced. Site measured required. 2. All windows to be non-operable fixed units. 3. All windows to be prefinished, thermally broken, insulated vinyl (fiberglass alternative acceptable) double paned
- windows with sealed insulated glass. 4. All windows shown in window type elevations shown from exterior elevation view. 5. Provide jamb extensions and all accessories required for a
- complete job. 6. All windows to have a low-e coating and argon or krypton
- 7. Provide five-year warranty on seal. 8. Site measure and coordinate new window size with proposed bulkhead location. See Interior elevation 8 on drawing A5-01.

	varies
	#I
	site measure
Finished Floor Level	TYPE 'A'
	=

Window Types
A6-01 Scale: 1/2"=1'-0"

AWDE ARCHITECT 1458 **-** KING **-** STREET BETHANY - ONTARIO 705 = 277 = 9490

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1.0 2025.03.26 Issued for tender mark date description PROJECT

John Howard Society 22 Peel Street Lindsay, ON; K9V 3L8

DRAWN BY: J.R. CHK'D BY: R.A. SHEET TITLE

PROJECT NO: 2024-10

**Schedules** 

DRAWING NO.

A6-01