



SOUTH-WEST ISOMETRIC PHASE 2
SCALE



NORTH-EAST ISOMETRIC PHASE 2
SCALE

EMILY-OMEMEE COMMUNITY CENTRE ICE PAD REPLACEMENT RENOVATIONS & ADDITIONS

PHASE 2

PROVISIONAL PRICE LIST

PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE, NEW CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT

ITEM	ONTARIO BUILDING CODE DATA MATRIX	OBC REFERENCE
1	PROJECT DESCRIPTION: ARENA AND COMMUNITY CENTRE <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	<input type="checkbox"/> NEW <input type="checkbox"/> PART 11 <input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9
2	MAJOR OCCUPANCY(S): GROUP A DIVISION 3	3.1.2.1(1)
3	BUILDING AREA (S.Q.M.): EXIST. 2211 NEW 449 TOTAL 2660	1.1.3.2
4	GROSS AREA (S.Q.M.): EXIST. 2601 NEW 449 TOTAL 3050	1.1.3.2
5	NO. OF STOREYS ABOVE GRADE: 2 BELOW GRADE: 0	3.2.1.1 & 1.1.3.2
6	HEIGHT OF BUILDING (m): 7.3m	
7	NUMBER OF STREETS/ACCESS ROUTES: 3	3.2.2.10 & 3.2.5.5
8	BUILDING CLASSIFICATION: 3.2.2.30 Group A, Division 3, up to 2 storeys	3.2.2.20 - 3.2.2.83
9	SPRINKLER SYSTEM PROPOSED: <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED	3.2.2.20 - 3.2.2.83 3.2.2.17
10	STANDPIPE REQUIRED: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9
11	FIRE ALARM REQUIRED: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.3
12	WATER SERVICE/SUPPLY IS ADEQUATE: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
13	HIGH BUILDING: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6
14	PERMITTED CONSTRUCTION: <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON COMBUSTIBLE <input type="checkbox"/> BOTH ACTUAL CONSTRUCTION: <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.2.20 - 3.2.2.83
15	MEZZANINE(S) AREA (S.Q.M.): N/A	3.2.1.2(1)
16	OCCUPANT LOAD BASED ON: <input checked="" type="checkbox"/> sq.m/PERSON <input type="checkbox"/> DESIGN OF BUILDING 1st FLOOR OCCUPANCY A3 LOAD 552 PERSONS DESIGN OF BUILDING 2nd FLOOR OCCUPANCY A3 LOAD 300 PERSONS sq.m/PERSON TOTAL OCCUPANCY A3 LOAD 852 PERSONS	3.1.1.7.1
17	BARRIER-FREE DESIGN: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.8
18	HAZARDOUS SUBSTANCES: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2(1) & 3.3.1.19(1)
19	REQUIRED FIRE RESISTANCE (FRR) FLOOR(S) 1 HOURS ROOF 3/4 HOURS REFER TO DRAWINGS FRR OF SUPPORTING MEMBERS FLOOR(S) 1 HOURS ROOF 3/4 HOURS REFER TO DRAWINGS MEZZANINE N/A HOURS	3.2.2.20 - 3.2.2.83 & 3.2.1.4
20	Spatial Separation - Construction of Exterior Walls (Non-combustible) WALL AREA OF EBF (sq.m.) L.D. (m) H.L OR MAX % OF OPENINGS PROPOSED FRR LISTED DESIGN NO. OR DESIGN DESCRIPTION (SG-2) COMBUSTIBLE CONSTRUCTION COMBUSTIBLE CONSTRUCTION NON-COMB CLADDING NON-COMBUSTIBLE CONSTRUCTION	3.2.3
NORTH	522 18 3:1 to 10:1 -60% 1.2% 3/4 EXISTING	-
SOUTH	522 >30 3:1 to 10:1 100% 1.6% - - - ADDITION	
EAST	238 >18 3:1 to 10:1 100% 6.3% - - - ADDITION	
WEST	243 >18 3:1 to 10:1 100% 1.3% - - - ADDITION	
21	SANITARY FACILITY SUMMARY 1st FLOOR: MALE WASHROOM = 3" (2 WATER CLOSETS, 2 URINALS) FEMALE WASHROOM = 3" (2 WATER CLOSETS, 2 URINALS) UNIVERSAL WASHROOM = 1 REFEREE WASHROOM = 1 COURTROOM WASHROOM = 13 (7 WATER CLOSETS, 6 URINALS) NOTE: JOURNAL IN MENS WASHROOM IS PROVIDED AS A CONVENIENCE AND IS NOT BEING COUNTED AS A REQUIRED FIXTURE. IT IS AN ALTERNATE TO USING THE STALL. 2nd FLOOR: MALE WASHROOM = 3" (2 WATER CLOSETS, 2 URINALS) FEMALE WASHROOM = 3" (2 WATER CLOSETS, 2 URINALS) UNIVERSAL WASHROOM = 1	

DRAWING LIST-PHASE 2	
DRAWING No.	DRAWING NAME:
2.00	COVER PAGE PHASE 2
A1.0	OVERALL SITE PLAN
A1.1	SITE PLAN
C1.0	GRADING PLAN
2.01	GENERAL NOTES AND SCHEDULES
2.02	SAFETY PLANS
2.03	OVERALL PLAN
2.04	OVERALL EXTERIOR ELEVATIONS
2.05	OVERALL REMOVAL PLAN
2.06	RENOVATION 1ST FLOOR PLANS
2.10	ELEVATOR DETAILS
2.12	DRESSING ROOM ADDITION - FLOOR & ROOF PLANS
2.13	DRESSING ROOM ADDITION PLANS
2.15	SECTIONS I
2.17	DRESSING ROOM ADDITION FOUNDATION PLAN
2.18	DRESSING ROOM ADDITION ROOF FRAMING PLAN
2.19	RESURFACER GARAGE ADDITION FLOOR PLANS AND ELEVATIONS
2.22	TYPICAL FOUNDATION DETAILS
2.23	TYPICAL DETAILS
2.07	RENOVATION 2ND FLOOR PLANS
2.08	KITCHEN DETAILS
2.09	WASHROOM DETAILS & MILLWORK DETAILS
2.11	VIEWING PLATFORM DETAILS
2.14	DRESSING ROOM ADDITION BUILDING ELEVATIONS
2.16	SECTIONS 2
2.20	RESURFACER GARAGE ADDITION SECTIONS
2.21	RESURFACER GARAGE ADDITION FOUNDATION & ROOF FRAMING
E101	SITE PLAN & LEGEND
E102	DETAILS
E103	LIGHT CONTROL DETAILS
E104	SCHEDULES
E201	GROUND FLOOR DEMOLITION - LIGHTING
E202	GROUND FLOOR DEMOLITION - POWER & SYSTEMS
E203	SECOND FLOOR DEMOLITION
E301	GROUND FLOOR RENOVATION - LIGHTING
E302	GROUND FLOOR RENOVATION - POWER & SYSTEMS
E303	SECOND FLOOR RENOVATION
E304	ROOF PLAN RENOVATION
E401	ELEVATOR & LOBBY RENOVATION PROVISIONAL PRICE
E402	CHANGE ROOMS ADDITION PROVISIONAL PRICE
E403	RESURFACER STORAGE PROVISIONAL PRICE
E501	DISTRIBUTION RISER DIAGRAM
E502	PANEL SCHEDULES
M101	LEGEND & SCHEDULES
M102	SCHEDULES
M201	SITE PLAN - DEMOLITION
M202	SITE PLAN - RENOVATION
M301	LEVEL 1 - DRAINAGE - BELOW GRADE - DEMOLITION
M302	LEVEL 1 - PLUMBING & DRAINAGE - ABOVE GRADE - DEMOLITION
M303	LEVEL 1 - HVAC - DEMOLITION
M304	LEVEL 2 - DEMOLITION
M401	LEVEL 1 - BELOW GRADE DRAINAGE - RENOVATION
M402	LEVEL 1 - PLUMBING & DRAINAGE - RENOVATION
M402A	LEVEL 1 - PLUMBING & DRAINAGE & GREY WATER SYSTEM - RENOVATION (FOR OPTIONAL PRICING)
M403	LEVEL 1 - VENTILATION - RENOVATION
M404	LEVEL 1 - HEATING - RENOVATION
M405	LEVEL 2 - RENOVATION
M406	ROOF PLAN
M501	MECHANICAL ROOM & SCHEMATICS
M601	DETAILS
R101	LEVEL 1 - REFRIGERATION - DEMO
R102	LEVEL 1 - REFRIGERATION - RENO
R103	LEVEL 2 - REFRIGERATION - DEMO/RENO



KALOS
ENGINEERING

300 YORK BLVD HAMILTON, ONTARIO L8R 3K6, PH. 905-333-9119

**EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2**

212 STURGEON ROAD
ONTARIO

COVER PAGE PHASE 2

DATE: OCTOBER 2025	DRAWN BY: T.W.	DRAWING No: 2.00
PROJECT No: 24002 C	CHECKED BY: H.A.P.H.	

TOROGRAPHICAL REFERENCE:
PLAN OF SURVEY AND TOPOGRAPHY OF
PARCEL 7, THE NORTH HALF OF LOT 7
CONCESSION 5
(GEOGRAPHIC TOWNSHIP OF EMILY)
CITY OF KAWARTHA LAKES
COUNTY OF VICTORIA

PREPARED BY
HOLDING JONES VANDERKAM INC.
ON BEHALF OF SURVEYORS
1700 LANGSTAFF ROAD, SUITE 1002
VAUGHAN, ON L4K 3S3

JOB No.: 24-3248 PLAN OF SURVEY & TOPO
DATED: OCTOBER 9, 2024

SITE LOCATION:

ADDRESS: 212 STURGEON ROAD
OMEMEE, ON N0L 2W0
LEGAL: CON 5 PT LOT 7
TOWNSHIP OF EMILY

ZONING DESIGNATION:
OF (100%) COMMUNITY FACILITY
TOWNSHIP OF EMILY BY-LAW 1998-30
OFFICE CONSOLIDATION MARCH 2022

FLOOR AREAS:

FLOOR AREAS	
EXISTING GROUND FLOOR	2911 sm
ADDITIONS	449 sm
TOTAL GROUND FLOOR AREA	2660 sm
EXISTING SECOND FLOOR AREA	390 sm
GROSS FLOOR AREAS	
EXISTING GROSS FLOOR AREA	2601 sm
PROPOSED ADDITIONS	449 sm
TOTAL GROSS FLOOR AREA	3050 sm

PARKING CALCULATIONS

PER ZONING BY-LAW FOR TOWNSHIP OF EMILY MARCH 2022

EXISTING:
MARKED PARKING ON ASPHALT: 51 SPACES
PLUS AVAILABLE PARKING IN GRAVEL AREA

PROPOSED:
Uses other than those specified per 30 sq.m of GFA
3050 sm GFA / 30 = 102 SPACES

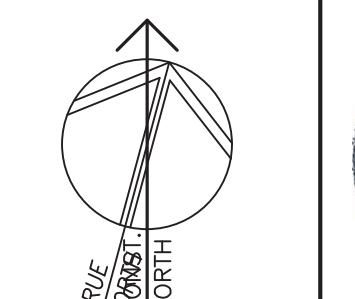
1/2 HANDICAPPED SPACES = 2 SPACES

PROVIDED:
MARKED PARKING ON ASPHALT = 47 SPACES
UNMARKED ON GRAVEL AREA = 55 SPACES
TOTAL = 102 SPACES

1/2 HANDICAPPED SPACES = 2 SPACES

ZONING MATRIX:

	REQUIRED	PROVIDED
LOT AREA (min.)	3700 m ²	47051 m ²
LOT FRONTAGE (min.)	45 m	172.3 m
FRONT YARD (min.)	10m	45.5 m
SIDE YARD (min.)	NORTH 6m SOUTH 6m	18.0 m 110.8 m
REAR YARD (min.)	10m	152.4 m
LOT COVERAGE (max.)	40%	5.7 %
BUILDING HEIGHT (max.)	11 m	7.3 m
LANDSCAPE OPEN SPACE (min.)	30%	80 %



4 25-10-31 PHASE 2 ISSUED FOR TENDER
3 25-04-04 ISSUED FOR CONSTRUCTION
2 25-01-09 ISSUED FOR TENDER
1 24-12-19 ISSUED FOR PERMIT
No. DATE REVISION

REVISIONS

OVERALL SITE PLAN
SCALE: 1:400
KALOS ENGINEERING
300 YORK BLVD HAMILTON, ONTARIO L8R 3K6
905-333-9119 www.kaloseng.ca

EMILY-OMEMEE
ADDITION/RENOVATION
212 STURGEON RD
OMEMEE ONTARIO

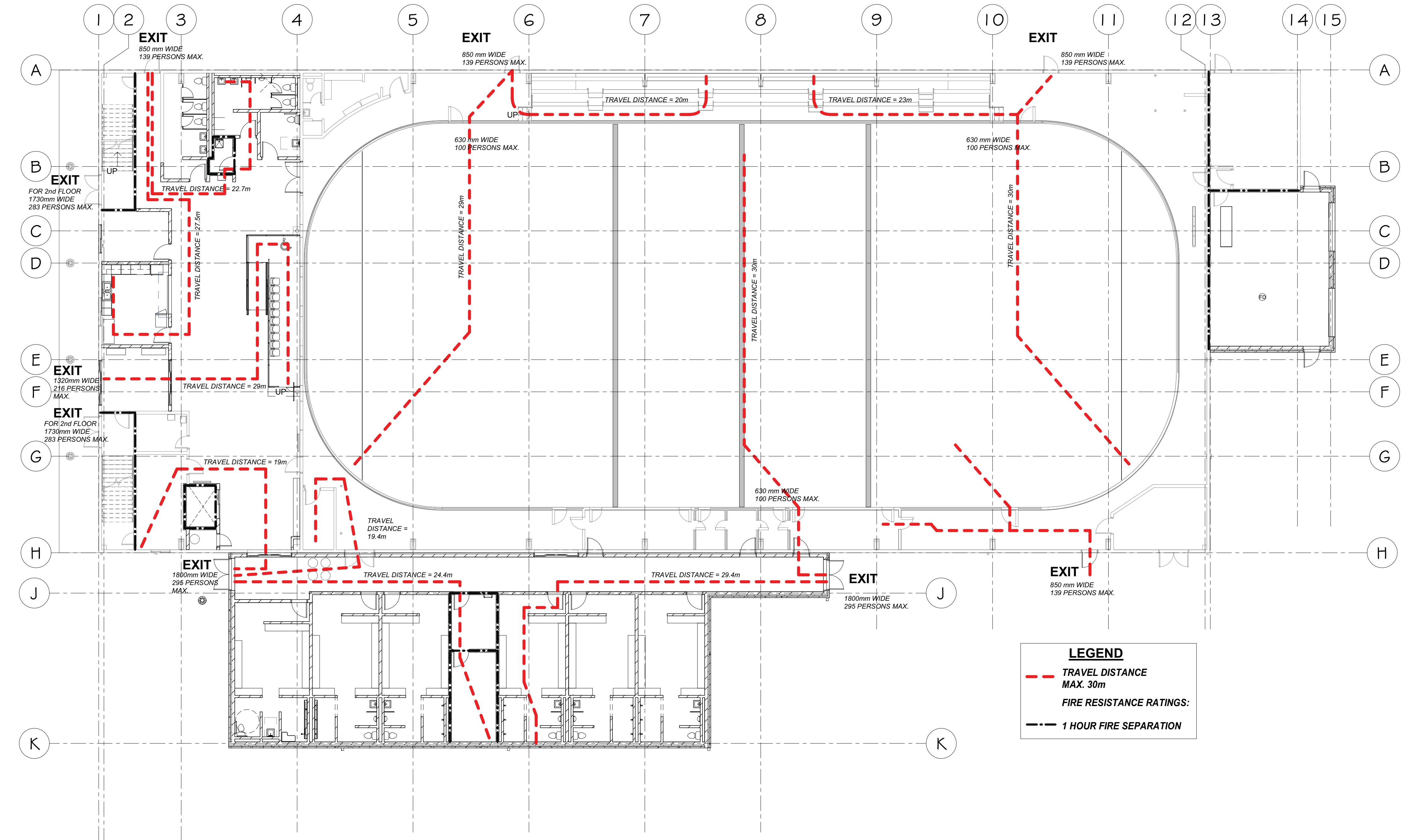
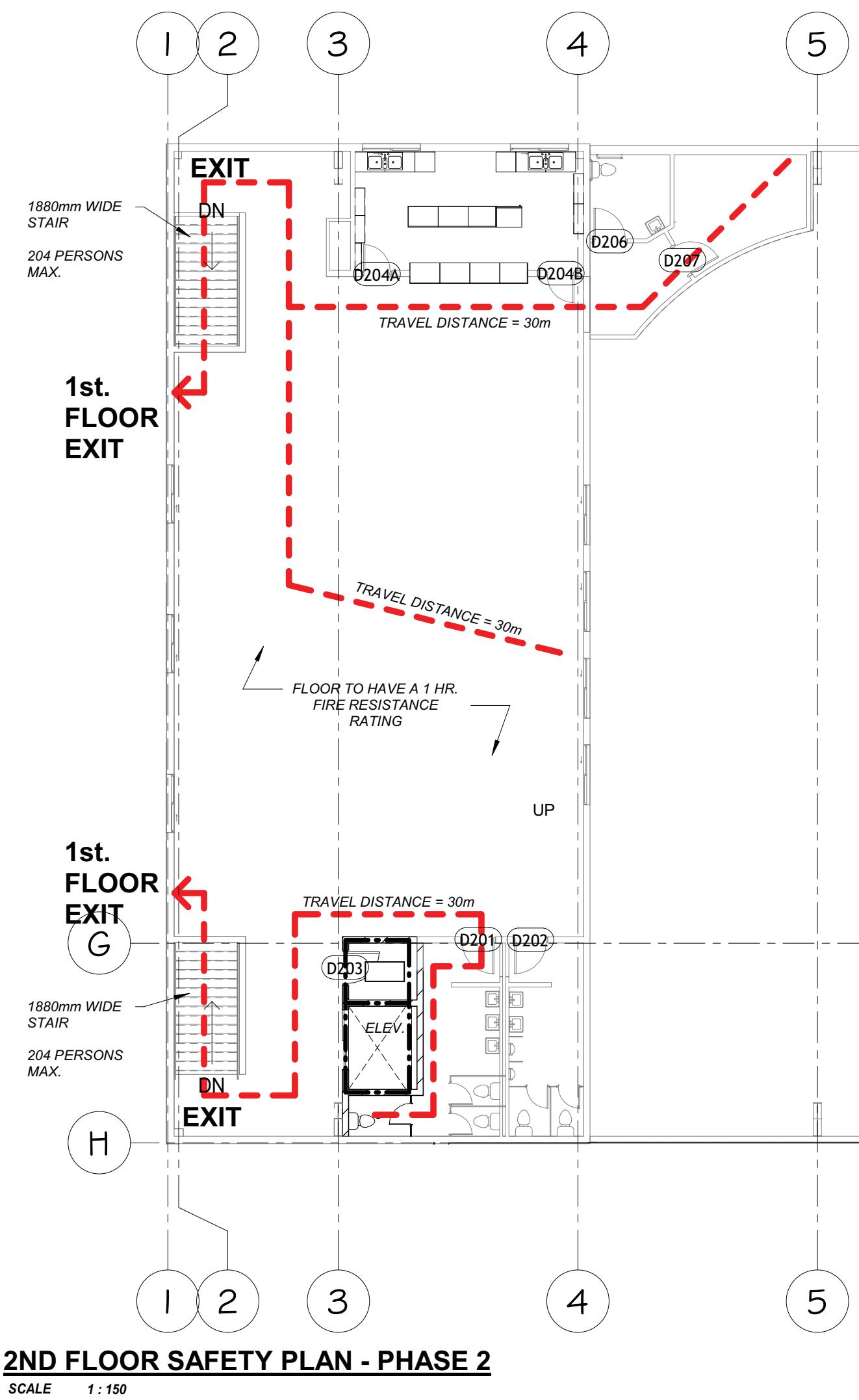
OVERALL SITE PLAN
DATE DECEMBER 2024 DRAWN BY T.W./T.P.
PROJECT No. 24002 CHECKED BY H.H. DRAWING No. A1.0

PROVISIONAL PRICE LIST

PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADING TO INCLUDE PAINTING MILKWORKS, CABINETS AND COUNTERS, NEW CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING
5	PAVE GRANULAR PARKING LOT

GENERAL NOTES	
1. CHECK ALL DIMENSIONS ON THESE DRAWINGS WITH ALL OTHER DRAWINGS, INCLUDING BUT NOT LIMITED TO DRAWINGS PREPARED ARCHITECTURAL, MECHANICAL AND ELECTRICAL CONSULTANTS. REPORT ANY INCONSISTENCIES TO THE ARCHITECT OR ENGINEER PRIOR TO COMMENCING WITH THE WORK. DO NOT SCALE THE DRAWINGS.	
2. THE DESIGN LIVE LOADS ARE INDICATED ON THE DRAWINGS. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN LOADS.	
3. THE COMPLETED STRUCTURE IS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING, SHORING AND ANY OTHER TEMPORARY SUPPORT AS REQUIRED. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SUPPORT OF EXISTING OR ADJACENT STRUCTURES AS REQUIRED. ALL BRACING AND SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR.	
4. CONSTRUCTION FEATURES NOT FULLY SHOWN ARE COMPARABLE TO SIMILAR CONSTRUCTION DETAILS.	
5. REFER TO OTHER CONSULTANT'S DRAWINGS FOR DETAILS OF OPENINGS, PITS, CHAMBERS, DEPRESSIONS NOT INDICATED ON THE STRUCTURAL DRAWINGS.	
6. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST ONTARIO BUILDING CODE, LATEST APPLICABLE REGULATIONS, AND GOOD CONSTRUCTION PRACTICES.	
7. THE STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DRAWINGS AND SPECIFICATIONS.	
8. CLARIFY ANY QUERIES WITH THE ENGINEER REGARDING THE INTERPRETATION OF THE DRAWINGS, PRIOR TO THE COMMENCEMENT OF ANY WORK.	
9. ALL GRIDLINES TO BE REFERENCED FROM ARCHITECTURAL DRAWINGS. ARCHITECTURAL GRIDLINES TO GOVERN.	
LIGHT GAUGE STEEL FRAMING NOTES	
GENERAL	
1. THESE NOTES APPLY TO THE STEEL STUD FRAMING COMPONENT OF THE EXTERIOR WALL SYSTEM ONLY.	
2. THE DESIGN WIND LOADING IS 1.2kN/m ² (25 PSF) DETERMINED BY O.B.C. REQUIREMENTS AND CAN-S38. DEFLECTION IS LIMITED TO L/360.	
3. THE DESIGN OF FRAMING SYSTEM IS BASED ON PUBLISHED STUD SECTION PROPERTIES BY BAILEY METAL PRODUCTS LIMITED.	
MATERIAL	
1. THE MINIMUM BASE METAL THICKNESS FOR ALL METAL WALL COMPONENTS, EXCLUDING THINNERS ARE NOTED ON THE DRAWINGS.	
2. STEEL MEETS THE REQUIREMENTS OF A.S.T.M. A653/A653M SS GRADE 33 (230) FOR MEDIUM THINNER AND SS GRADE 30 (340) CLASS 1 FOR 1.50mm MATERIAL AND THICKER.	
3. GALVANIZING TO BE HOT-DIP PROCESS, G90 (Z275).	
EXECUTION	
1. METHOD OF CONSTRUCTION SHALL BE BY STICK BUILDING ON SITE.	
2. CONNECTIONS SHALL BE ACCOMPLISHED BY SELF DRILLING SCREWS AND OTHER MEANS. ALL CONNECTIONS SHALL BE SECURED AND NOT ALLOWED TO SWING. ALL MATERIALS SHALL BE NOT LESS THAN THREE EXPOSED THREADS. ALL CONNECTORS MUST BE APPROVED BY THE ENGINEER. USE OF ZINC COATING THICKNESS OF 0.039mm ZINC OR CADMIUM PLATES. NO BLACK CONNECTORS WILL BE ACCEPTED. SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER.	
3. SCREWS COVERED BY SHEATHING MATERIALS SHALL HAVE LOW PROFILE HEADS.	
4. WIRE TYING IS NOT PERMITTED IN STRUCTURAL APPLICATIONS.	
5. CUTTING OF STEEL FRAMING MEMBERS SHALL BE BY SAW OR SHEAR. NO CHISELING OR MANUAL CUTTING IS PERMITTED.	
6. SPLICING OF STUDS OR TRACK IS NOT PERMITTED EXCEPT AS NOTED ON DRAWINGS.	
7. BRIDGING SHALL BE OF SIZE, SPACING AND TYPE SHOWN ON THE DRAWINGS AND SHALL BE INSTALLED SO AS TO PROVIDE RESISTANCE TO MINOR AXIS BENDING AND ROTATION OF STUDS. PROVIDE BRIDGING AT 120mm c/c MAXIMUM.	
8. TEMPORARY BRACING SHALL BE PROVIDED AND LEFT IN PLACE UNTIL WORK IS PERMANENTLY STABILIZED.	
9. STUDS SHALL SEAT INTO TOP AND BOTTOM TRACKS WITH THE GAP BETWEEN THE END OF THE STUD AND WEB OF THE TRACK NOT TO EXCEED 3mm.	
10. VERTICAL ALIGNMENT (PLUMBNESS) OF STUDS SHALL BE WITHIN 1/1000 OF THE SPAN.	
11. HORIZONTAL ALIGNMENT (LEVELNESS) OF WALLS SHALL BE WITHIN 1/1000 OF THEIR RESPECTIVE LENGTHS.	
12. SPACING OF STUDS SHALL BE WITHIN 3mm FROM DESIGN SPACING PROVIDED THAT THE MODULUS OF EXPANSION DOES NOT EXCEED THE REQUIREMENTS OF THE FINISHING MATERIALS.	
MASONRY NOTES	
CONCRETE NOTES	
1. ALL STRUCTURAL CONCRETE ELEMENTS HAVE BEEN DESIGNED IN ACCORDANCE WITH CSA STANDARD S204.1. ALL MASONRY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CSA STANDARD CAN/CSA-A23.3. ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CSA STANDARD CAN/CSA-A23.1.	
2. ALL CONCRETE BLOCKS SHALL BE NORMAL WEIGHT TYPE H15/5A UNLESS OTHERWISE NOTED. MORTAR SHALL BE TYPE S FOR LOADBEARING AND TYPE N FOR NON-LOADBEARING.	
3. VERTICAL CONTROL JOINTS SHALL BE PROVIDED AT A MAXIMUM SPACING OF 6000mm. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS AND LOCATIONS.	
4. TRIM ALL OPENINGS WITH 2-1/8" BARS.	
5. GROUT SHALL CONSIST OF ONE PART PORTLAND CEMENT, THREE PARTS SAND (MAXIMUM AGGREGATE SIZE SHALL BE 10mm) WITH WATER TO PROVIDE A MINIMUM 1MM THICKNESS. ADD 1/2" OF WATER FOR EACH 250mm OF GROUT.	
6. ALL CELLS CONTAINING REINFORCING SHALL BE GROUTED SOLID. TWO BLOCK COURSES OF GW BEARING PLATES SHALL BE GROUTED SOLID.	
7. THE MASONRY SHALL BE CONSTRUCTED EVENLY WITH MAXIMUM LIFTS OF 1200mm. DO NOT TOOT AND BOND OR STACK BOND MASONRY. FAKE BACK ENDS OF UNSETTED WALLS.	
8. ALL MORTAR JOINTS SHALL BE TOOLED (CONCAVE). A MINIMUM BED JOINT OF 6mm IS REQUIRED FOR THE STARTING COURSE TO A MAXIMUM OF 20mm. THE BED JOINTS SHALL BE 10mm.	
9. PROVIDE VERTICAL AND HORIZONTAL REINFORCING AS FOLLOWS UNLESS NOTED ON THE DRAWINGS.	
- 140 CONCRETE BLOCK - 1M VERTICAL AT 600 o.c. & HEAVY DUTY TRUSS TYPE HORIZONTAL REINFORCING EVERY SECOND COURSE.	
- 100 CONCRETE BLOCK - 1M VERTICAL AT 600 o.c. & HEAVY DUTY TRUSS TYPE HORIZONTAL REINFORCING EVERY SECOND COURSE.	
10. THE DEFORMED REINFORCING STEEL SHALL CONFORM TO CSA STANDARD G31.1M GRADE 300F FOR STIRRUPS AND TIES AND GRADE 400F FOR ALL OTHER REINFORCING. WHERE NOT OTHERWISE NOTED THE REINFORCING LAP LENGTH SHALL BE CLASS B IN SPACES ALONG THE REINFORCING BARS AND ACCORDING TO A2.1.	
4. WELDED STEEL FABRIC SHALL BE IN ACCORDANCE WITH CSA G30.5. ALL MESH SHALL BE CHECKED PRIOR TO THE CONCRETE POOR. LIFTING OF THE MESH DURING THE CONCRETE POOR WILL NOT BE PERMITTED. ALL SPLICES SHALL BE A MINIMUM OF TWO CROSS WIRE SPLACINGS PLUS 50mm.	
5. THE REINFORCING COVER FOR CONCRETE SHALL BE:	
- 40mm FOR FORMED CONCRETE EXPOSED TO EARTH OR WEATHER WHERE THE REINFORCING BAR IS 1M OR SMALLER - 50mm FOR FORMED CONCRETE EXPOSED TO EARTH OR WEATHER WHERE THE REINFORCING BAR IS 2M OR LARGER - 50mm FOR INTERIOR CONCRETE. ALL CHARS, BOLSTERS, SPACERS AND BAR SUPPORTS SHALL BE IN ACCORDANCE WITH A2.1.	
6. FOOTINGS SHALL BEAR ON NATIVE UNDISTURBED SOIL WITH A MINIMUM BEARING RESISTANCE OF:	
- 150 kPa (GLS) - 225 kPa (CLAY) THE CONTRACTOR SHALL VERIFY THE CAPACITY PRIOR TO PLACEMENT OF CONCRETE. REFER TO GEOTECHNICAL REPORT #1083-001, PREPARED BY CAMBIC INC. DATED OCTOBER 2012.	
7. THE CONTRACTOR SHALL PROVIDE ADJUST FOOTINGS OR EXCAVATION OR STEP DOWN FOOTINGS SO THAT NOT EXCEED A RISE OF 7" IN A RUN OF 10'. STEP HEIGHT SHALL NOT EXCEED 600mm.	
8. KEEP EXCAVATIONS DRY BEFORE CONCRETE IS PLACED. REMOVE ALL LOOSE MATERIAL, SOFT SOIL OR WATER PRIOR TO PLACING CONCRETE. PROVIDE A DRY SLAB FOR ALL FOOTINGS.	
9. ALL FOOTINGS SHALL BE CENTERED ON THE WALL UNLESS OTHERWISE NOTED.	
10. THE FOOTING DESIGN IS BASED ON INFORMATION AVAILABLE AT THE TIME OF DESIGN. THE FOOTING DESIGN MAY BE ALTERED DURING CONSTRUCTION, IF THE SITE CONDITIONS WARRANT, BUT ONLY WITH THE EXPRESS PERMISSION OF THE ENGINEER.	
11. PROTECT ALL FOOTINGS, WALL AND SLABS AGAINST FROST ACTION DURING CONSTRUCTION. EXCAVATE AND BACKFILL SMALL FOUNDATION BELOW THE FROST LINE. MINIMUM 1200mm BELOW GRADE.	
12. DO NOT BACKFILL AGAINST WALLS RETAINING EARTH UNTIL THE ELEMENTS PROVIDING LATERAL SUPPORT ARE COMPLETE. PLACE BACKFILL IN A MANNER WHERE THE ELEVATION DIFFERENCE OF EARTH IS NOT GREATER THAN 100mm. PROVIDE A DRY SLAB FOR ALL FOOTINGS.	
13. SLAB-ON-GRADE GRADE CONSTRUCTION SHALL BE CAPABLE OF SUPPORTING 250mm/t without relative settlement.	
14. CONSTRUCT CONCRETE WALLS WITHOUT TOLLS, UNLESS OTHERWISE NOTED. PROVIDED CHASES AND BEAMS POCKETS IN THE INTERIOR FACE OF THE WALL AS REQUIRED.	
15. PROVIDE DOWELS TO WALLS AND COLUMNS TO SUIT THE REINFORCING IN THE WALL OR COLUMN ABOVE.	
16. ALL ADHESIVE ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH THE Hilti HT-H700 (OR APPROVED EQUAL) PROCEDURES.	
SEISMIC LOADS	
APPLIED PER OBC, PART 4, SECTION 4.1.6 (LINDSAY) - IMPORTANCE FACTOR, IE 1.3 (ULS) - Sa (0.2) 0.126 - Sa (1.0) 0.052 - Sa (2.0) 0.0270 - SOIL CLASS D Fe 1.3	
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SEISMIC SWAY BRACING	
ARTICLE 4.1.8(1)(c) OF THE ONTARIO BUILDING CODE NOTES THAT IF THE PROJECT IS LOCATED IN A ZONE WHERE THE REQUIREMENTS NOTED ABOVE NEED NOT APPLY, THESE VALUES ARE EXPLORED BELOW. THIS EXEMPTION IS NOT APPLICABLE TO POST-DISASTER BUILDINGS.	
BASED ON THE ABOVE NOTED VALUES, THE PRODUCT OF $I_E \cdot F_a \cdot S_{v(2)} = 1.3 \cdot 1.3 \cdot 0.126 = 0.21$, WHICH IS LESS THAN THE THRESHOLD OF 0.35. THE APPLICATION OF THE LATERAL FORCE (F_b) TO ALL ELEMENTS AND COMPONENTS AND SWAY BRACING IS NOT REQUIRED.	

ROOM FINISH SCHEDULE PHASE 2						
Number	Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments
101	AUX CHANGE ROOM	RUBBER FLOORING	PAINTED	CT	GB	REFER TO NOTE 1
102	CHANGE ROOM 2	RUBBER FLOORING	PAINTED	CT	GB	REFER TO NOTE 1
103	CHANGE ROOM 3	RUBBER FLOORING	PAINTED	CT	GB	REFER TO NOTE 1
104	CHANGE ROOM 4	RUBBER FLOORING	PAINTED	CT	GB	REFER TO NOTE 1
105	CHANGE ROOM 5	RUBBER FLOORING	PAINTED	CT	GB	REFER TO NOTE 1
106	CHANGE ROOM 6	RUBBER FLOORING	PAINTED	CT	GB	REFER TO NOTE 1
107	JAN	SEALED CONC.	PAINTED	CT	GB	
108	MIC	SEALED CONC.	PAINTED	CT	GB	
109	CORRIDOR	RUBBER FLOORING	PAINTED	CT	GB	
110	ENTRY	CT	PAINTED	SACT	FIRE RATED	
111	Lobby	CT / EPOXY	PAINTED	SACT	FIRE RATED	
112	CARVEEN	CT	PAINTED	SACT	FIRE RATED	
113	OFFICE	CT	PAINTED	SACT	FIRE RATED	
114	WOMEN'S WASHROOM	CT	PAINTED	FR	GB	
115	MENS WASHROOM	CT	PAINTED	FR	GB	
116	B/F FAMILY	CT	PAINTED	FR	GB	
117	ELEC	EX	PAINTED	EX	EX	
118	STAFF	VCT	PAINTED	SACT	FIRE RATED	
119	MACHINE ROOM	EPOXY	PAINTED	FR	GB	
120	STAIR 1	PAINT	PAINTED	EX	REPAINT WALLS & FLOOR	
121	STAIR 2	PAINT	PAINTED	EX	REPAINT WALL & FLOOR	
121a	STORAGE	EX	EX	EX		
122	EXISTING ICE PAD	EX	EX	EX		
123	REFREEZER DRESSING ROOM	EX	EX	EX		
124	JAN	CT	PAINTED	FR	GB	REPLACE RUBBER FLOORING IN WATER CLOSET
125	STORAGE	EX	EX	EX		
126	REFRIG.	EX	EX	EX		
127	DOIT EQUIPMENT STORAGE	SEALED CONC.	PAINTED	EXPOSED		
128	TRACTOR STORAGE	EX	EX	EXPOSED		
129	STORAGE	EX	EX	EXPOSED		
200	EXISTING COMMUNITY HALL	EX	EX	EX		
201	WOMEN'S WASHRM.	EX	PAINTED	GB	REPAIR & EXTEND FLOOR, WALL & CEILING FINISHES AT NEW WALL, NEW WALL FINISHES TO MATCH EXISTING	
202	MENS WASHRM.	EX	PAINTED	GB	REPAIR & EXTEND FLOOR, WALL & CEILING FINISHES AT NEW WALL, NEW FINISHES TO MATCH EXISTING	
203	JAN	VCT	PAINTED	GB	REPAIR & EXTEND FLOOR, WALL & CEILING FINISHES AT NEW WALL, NEW FINISHES TO MATCH EXISTING	
204	EXISTING KITCHEN	EX	EX	EX	REF. PP No.4	REFER TO PROVISIONAL PRICE No.4



1	25-10-31	PHASE 2 ISSUED FOR TENDER
No.	Date	Revisions
REVISIONS		
<i>[Signature]</i>		
LIC# PROFESSIONAL ENGINEER H.A.P. HUITEMA PROVINCE OF ONTARIO 25-10-31		

KALOS
ENGINEERING

300 YORK BLVD HAMILTON, ONTARIO L8R 3K6, PH. 905-333-9119

**EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2**

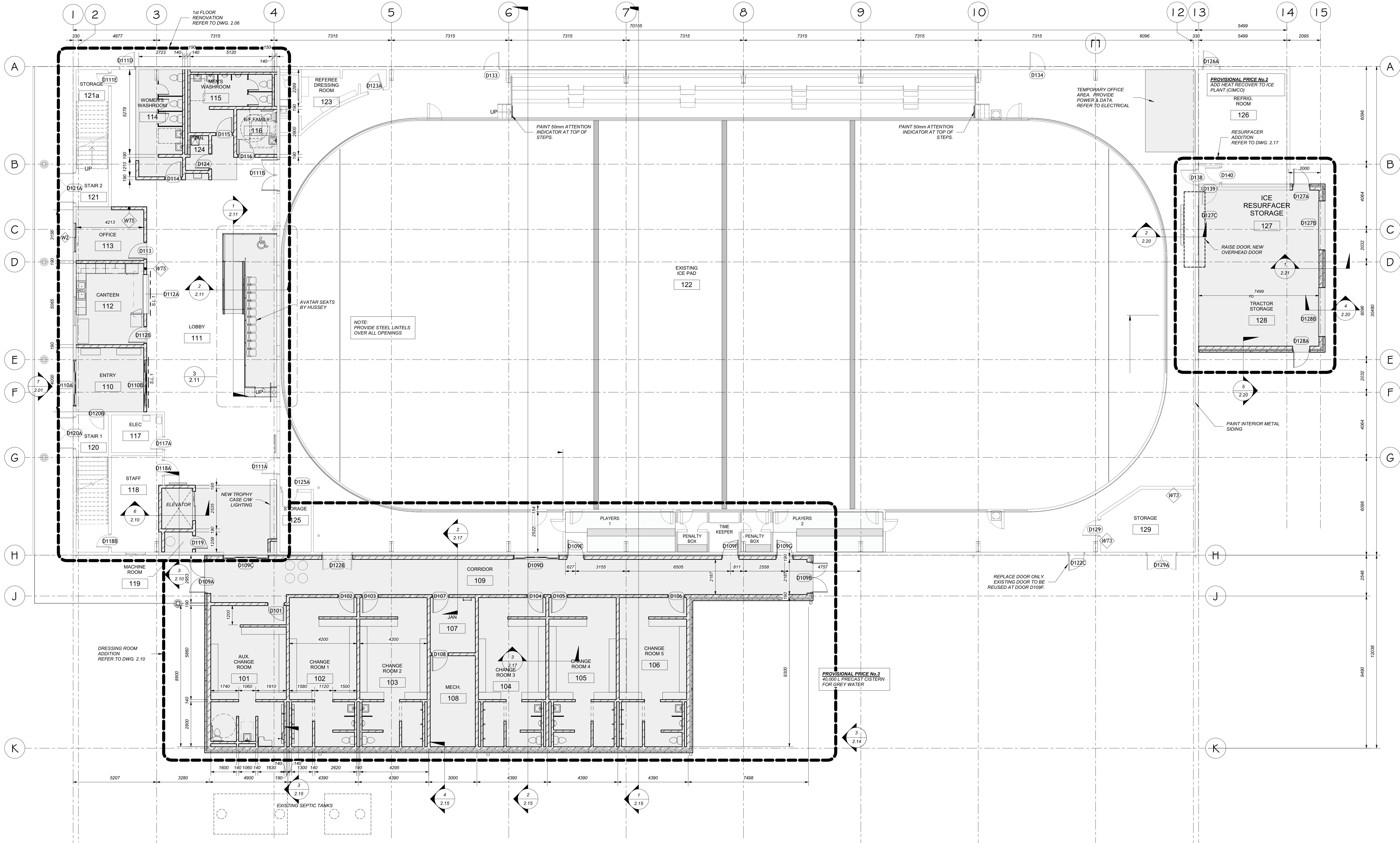
212 STURGEON ROAD
ONTARIO

SAFETY PLANS

PROVISIONAL PRICE LIST

PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERNS FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPDATES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE. NEW CEILING TILES FOR KITCHEN. NEW PROPANE TANK POWER FOR NEW ELECTRIC STOVES. PAINTING
5	PAVE GRANULAR PARKING LOT

DATE: OCTOBER 2025 DRAWN BY: T.W. DRAWING NO: 2.02
PROJECT No: 24002 C CHECKED BY: H.A.P.H.



1	25-10-31	DATE
No.		PHASE 2 ISSUED FOR TENDER
REVISIONS		
		

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300 YORK BLVD HAMILTON, ONTARIO L8R 3K6, PH. 905-333-9119

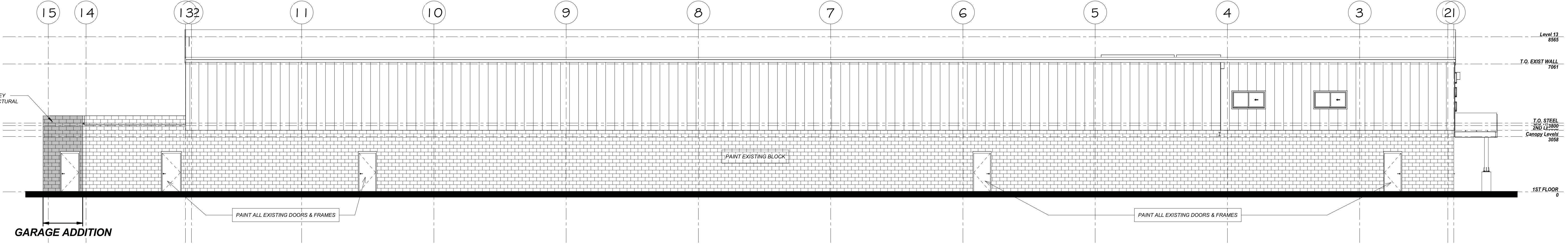
**EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2**

212 STURGEON ROAD

ONTARIO

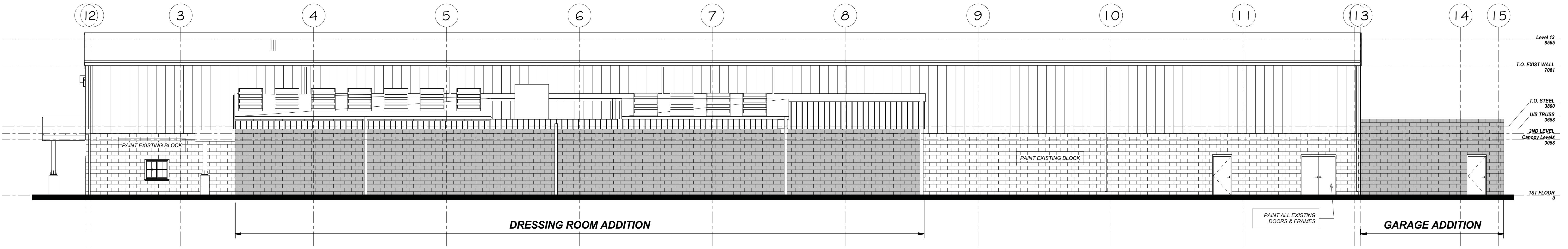
OVERALL PLAN

DATE: OCTOBER 2025	DRAWN BY: T.W.	DRAWING NO: 2.03
PROJECT No: 24002 C	CHECKED BY: H.A.P.H.	



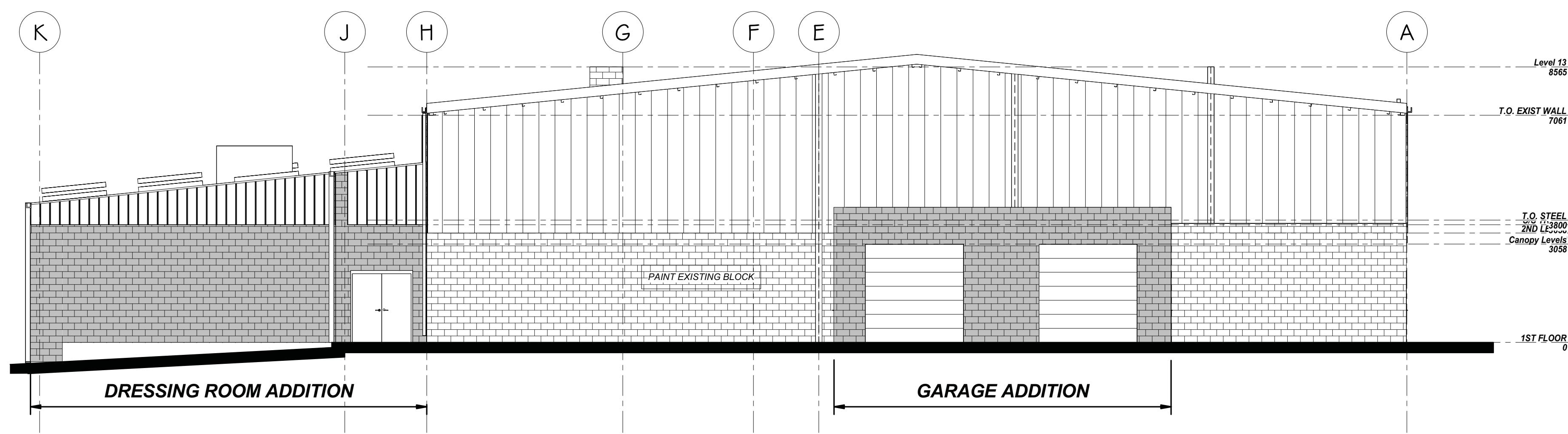
North - PHASE 2

SCALE 1:100



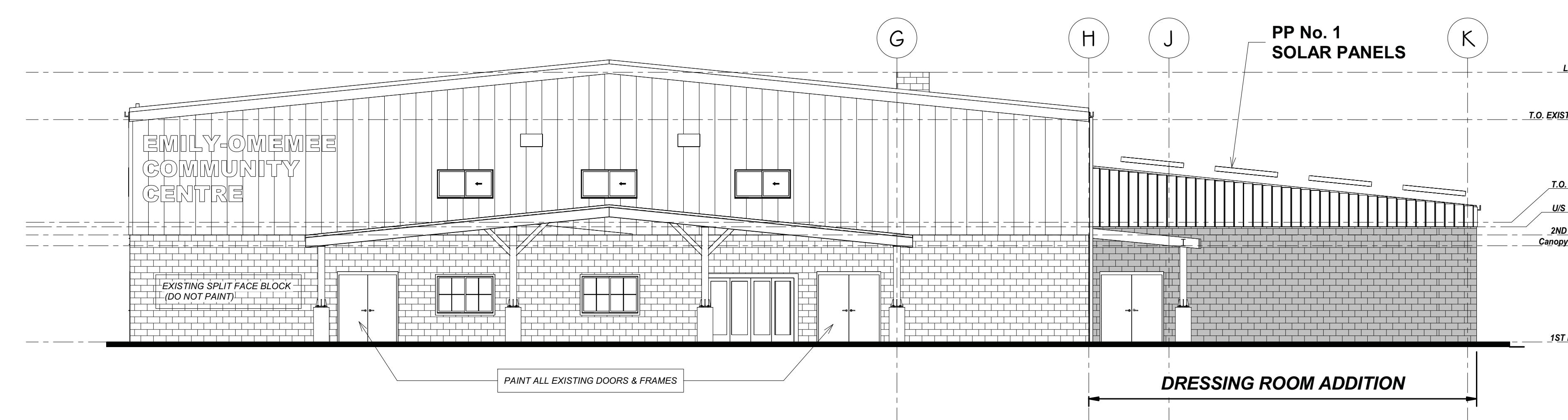
South - PHASE 2

SCALE 1:100



East - PHASE 2

SCALE 1:100



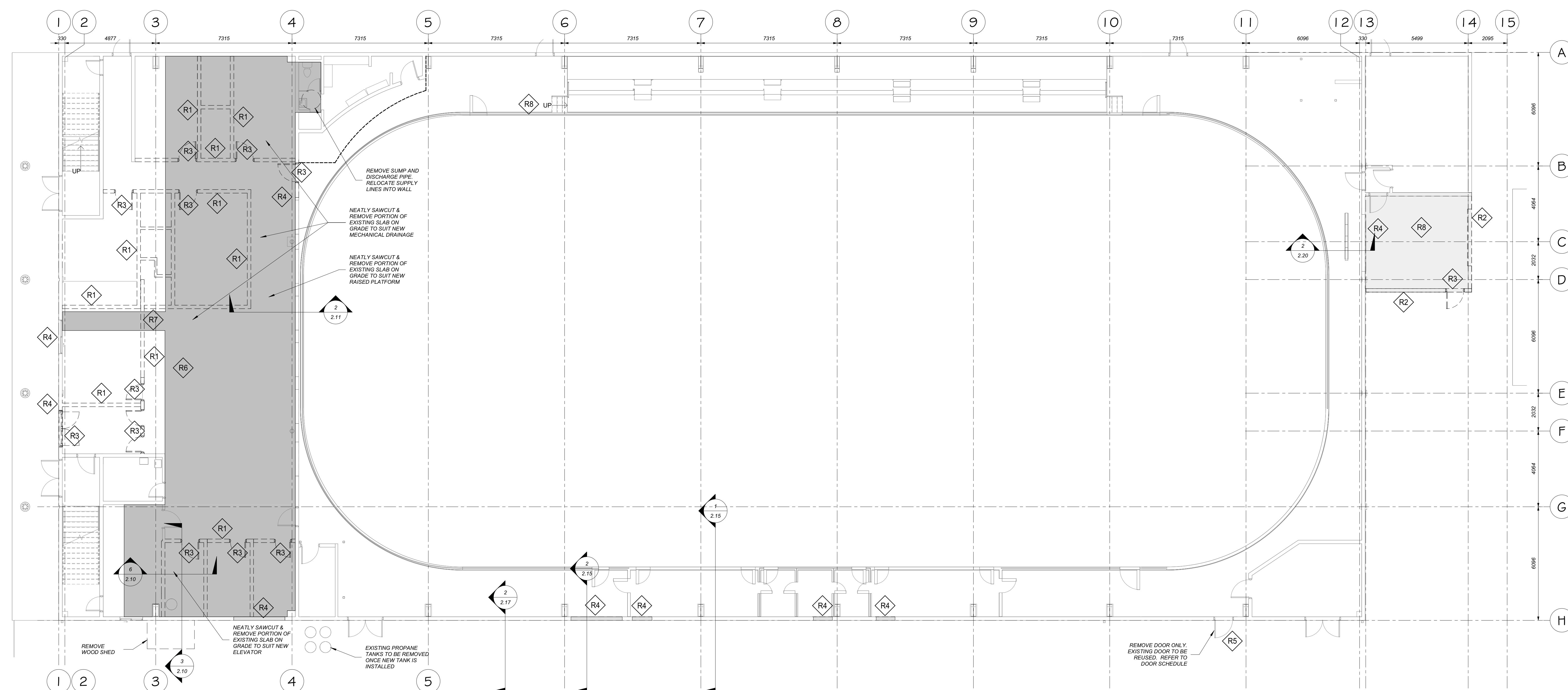
West - PHASE 2

SCALE 1:100

1	25-10-31	PHASE 2 ISSUED FOR TENDER
No.	Date	Revisions
REVISIONS		
KALOS ENGINEERING 300 YORK BLVD HAMILTON, ONTARIO L8R 3K6, PH. 905-333-9119		
EMILY-OMEMEE ADDITION/RENOVATION PHASE 2 212 STURGEON ROAD OMEMEE ONTARIO		
OVERALL EXTERIOR ELEVATIONS		
DATE:	DRAWN BY:	DRAWING NO:
OCTOBER 2025	T.W.	
PROJECT No:	CHECKED BY:	
24002 C	H.A.P.H.	2.04

PROVISIONAL PRICE LIST

PROVISIONAL PRICE NO.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILKHOUSE KITCHEN CABINETS, NEW CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT

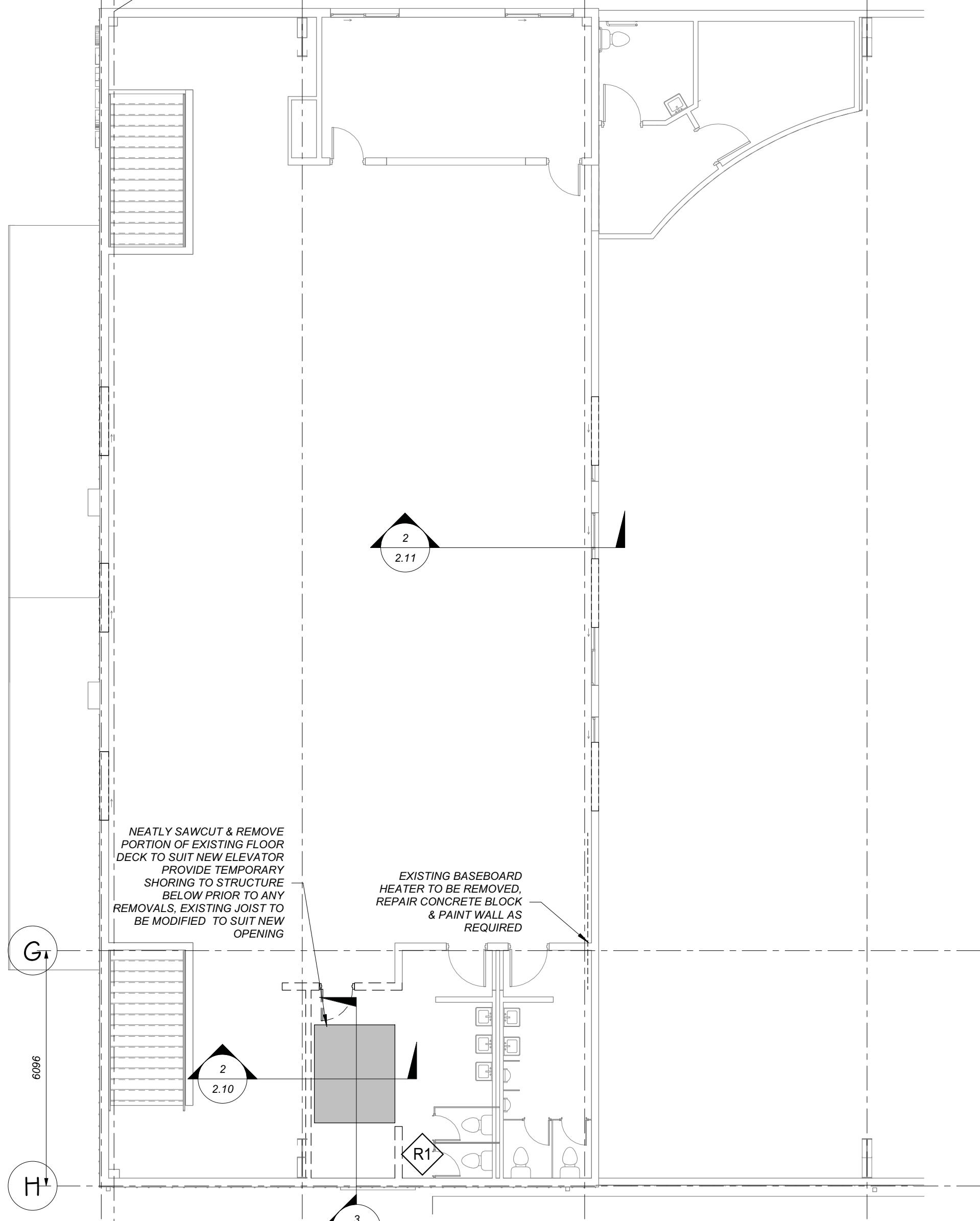


1ST FLOOR REMOVAL PLAN

SCALE 1:100

REMOVAL NOTES

- ◆ R1 EXISTING NON-LOAD BEARING WALL TO BE REMOVED
- ◆ R2 EXISTING LOAD BEARING WALL TO BE REMOVED (MIN. 600 BELOW FINISHED FLOOR)
- ◆ R3 EXISTING DOOR & FRAME TO BE REMOVED
- ◆ R4 NEATLY SAWCUT & REMOVE PORTION OF EXISTING CONCRETE BLOCK WALL TO SUIT NEW OPENING. PROVIDE TEMPORARY SHORING PRIOR TO ANY REMOVALS.
- ◆ R5 REMOVE EXISTING DOOR & SALVAGE FOR RE-USE
- ◆ R6 REMOVE EXISTING ACOUSTIC TILE CEILING
- ◆ R7 REMOVE AND RELOCATE EXISTING TROPHY CASES. CITY TO REMOVE AND REINSTALL TROPHIES.
- ◆ R8 REMOVE EXISTING ROOF
- AREA OF EXISTING FLOOR SLAB TO BE REMOVED.



2ND FLOOR REMOVAL PLAN

SCALE 1:100

PROVISIONAL PRICE LIST

PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE. NEW CEILING TILES AND LIGHT FIXTURES. REPAIR CONCRETE BLOCK & PAINT WALL AS REQUIRED FOR NEW ELECTRIC STOVES. PAINTING
5	PAVE GRANULAR PARKING LOT

1	25-10-31	DATE
No.	2022	PHASE 2 ISSUED FOR TENDER
REVISIONS		

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ENGINEERING

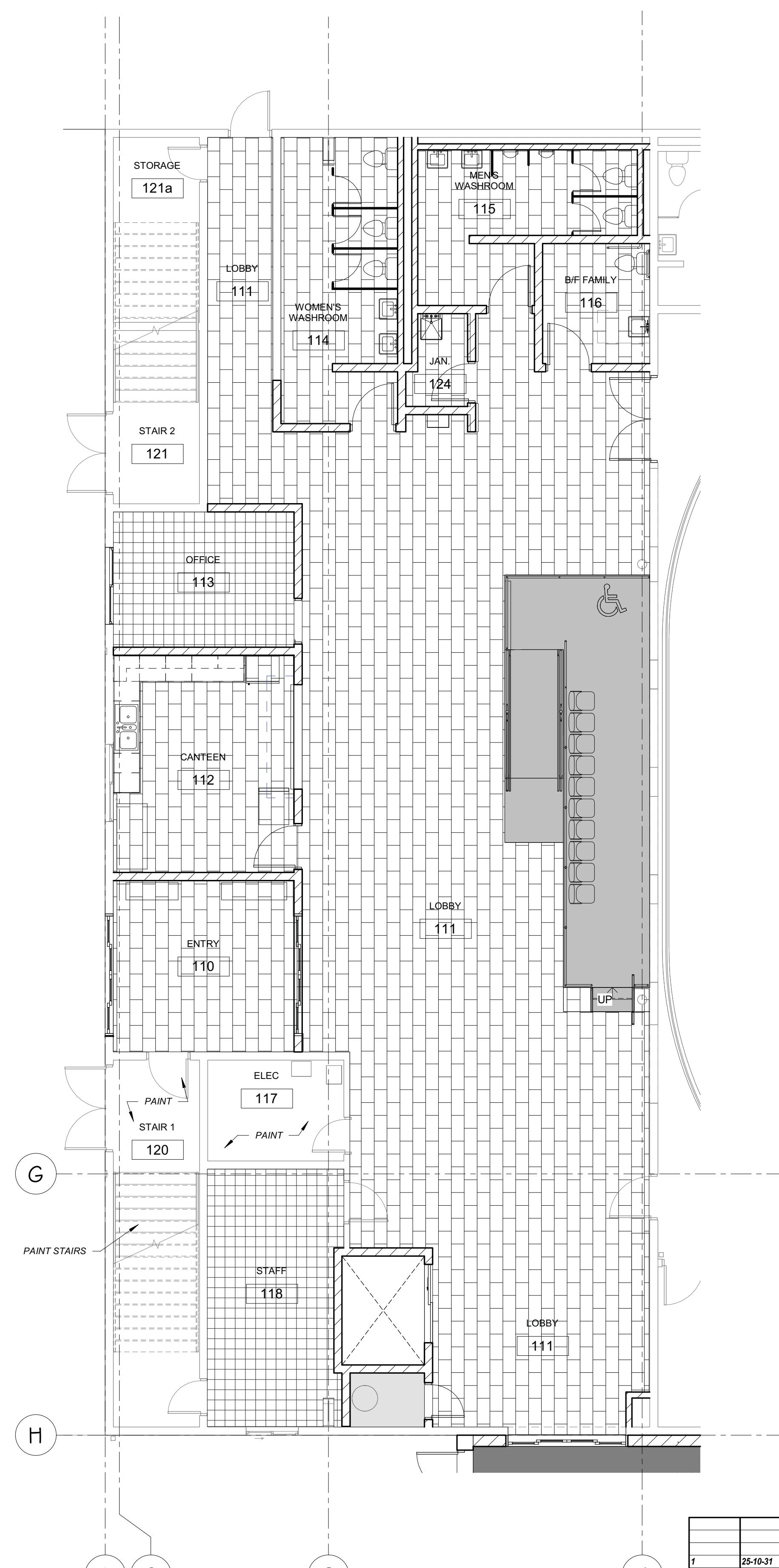
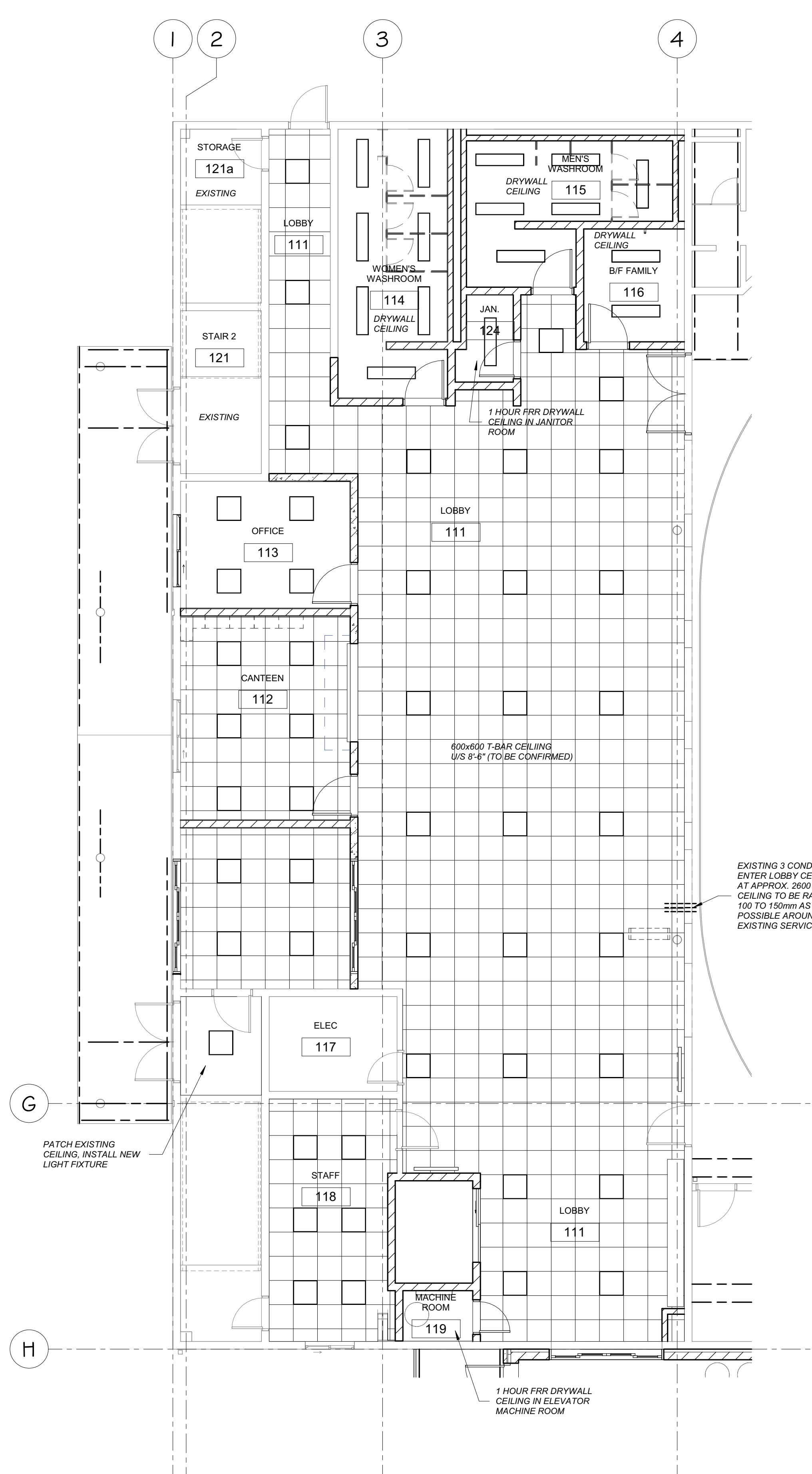
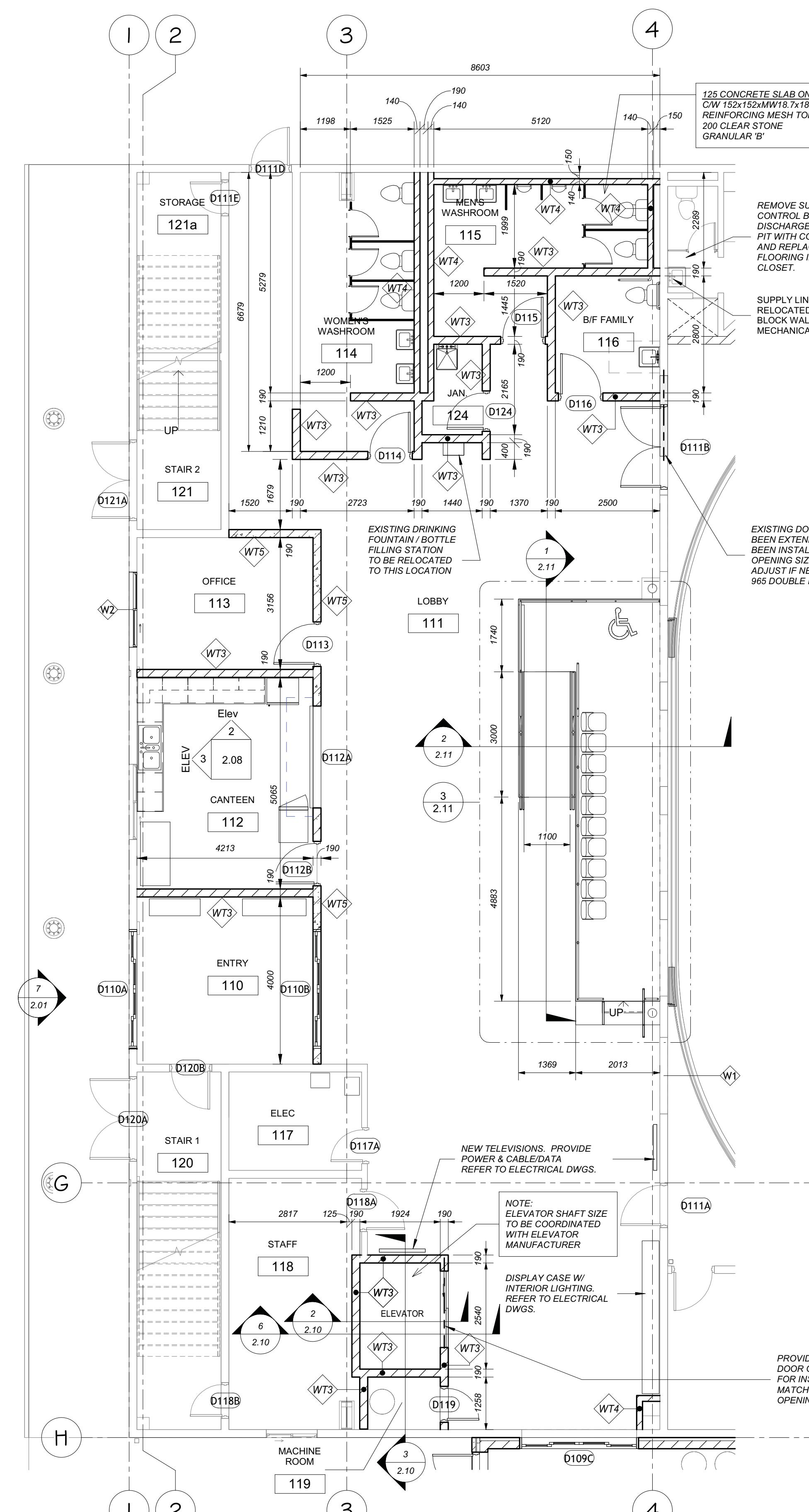
300 YORK BLVD HAMILTON, ONTARIO L8R 3K6, PH. 905-333-9119

**EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2**

212 STURGEON ROAD
ONTARIO

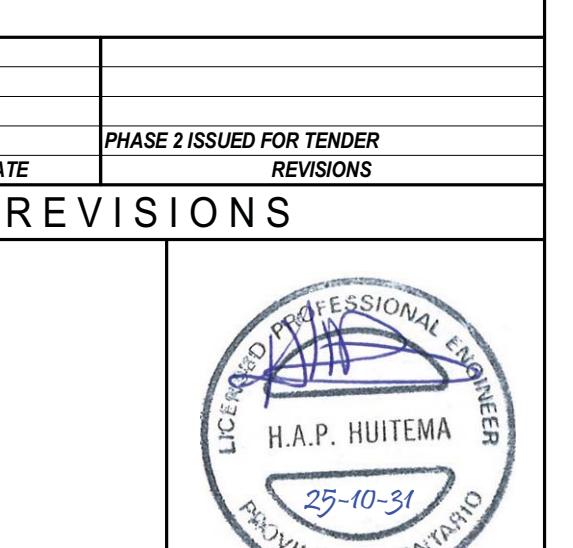
OVERALL REMOVAL PLAN

DATE: OCTOBER 2025	DRAWN BY: T.W.	DRAWING NO: 2.05
PROJECT No: 24002 C	CHECKED BY: H.A.P.H.	



PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CMCO)
3	CISTERNS FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPDATES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE, NEW CEILING TILES (REMOVING OLD), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING
5	PAVE GRANULAR PARKING LOT

PROVISIONAL PRICE LIST



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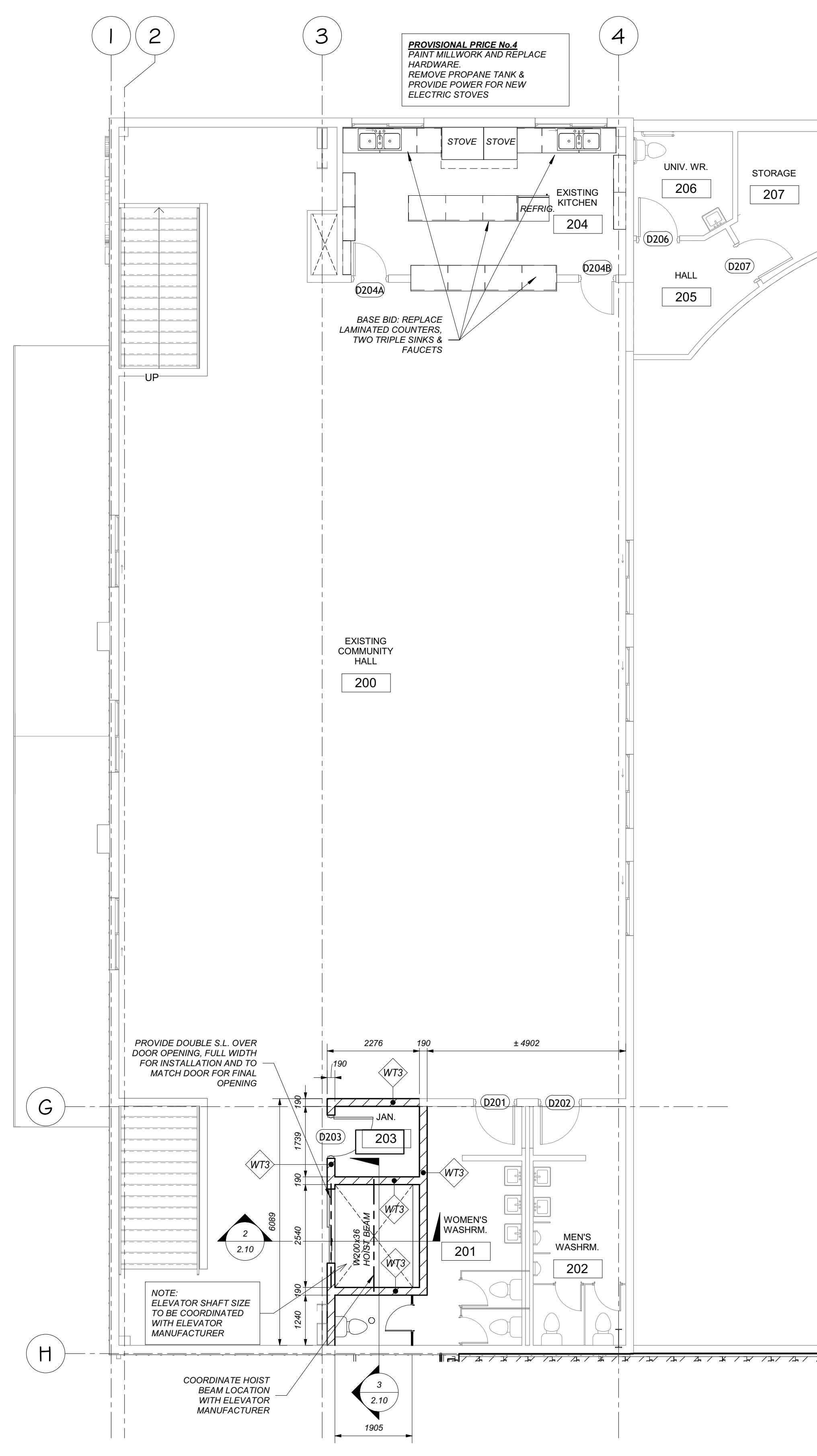
300 YORK BLVD HAMILTON, ONTARIO L8R 3K6, PH. 905-333-9119

**EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2**

212 STURGEON ROAD
ONTARIO

RENOVATION 1ST FLOOR PLANS

DATE: OCTOBER 2025	DRAWN BY: T.W.	DRAWING NO: 2.06
PROJECT No: 24002 C	CHECKED BY: H.A.P.H.	



2ND FLOOR RENOVATION FLOOR PLAN

SCALE 1:75

MARK	WALL TYPE
WT1	EXTERIOR - 190 CBW w/75 RIGID & 90 BLOCK VENEER
WT2	190 CBW W/ 75 RIGID ON EXISTING WALL
WT3	190 CONCRETE BLOCK WALL
WT4	140 CONCRETE BLOCK WALL
WT5	190 POLISHED CONCRETE BLOCK WALL
WT6	90 CONCRETE BLOCK WALL

2ND FLOOR RENOVATION CEILING PLAN

SCALE 1:75

CEILING LEGEND

- REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURES
- 600x600 LIGHT FIXTURE
 - 300x1200 LIGHT FIXTURE
 - 600x1200 LIGHT FIXTURE
 - CAN LIGHT FIXTURE

2ND FLOOR RENOVATION FLOORING PLAN

SCALE 1:75

FLOORING LEGEND

- RUBBER FLOORING
- EPOXY COATING ON CONCRETE SLAB
- CERAMIC TILE 1/3 STAGGERED
- VINYL TILE (VCT)
- SEALED CONCRETE

PROVISIONAL PRICE LIST

PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERNS FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPDATES TO INCLUDE PAINTING (MILKHOUSE COLOR), NEW COUNTERTOPS, NEW CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK POWER FOR NEW ELECTRIC STOVES, PAINTING
5	PAVE GRANULAR PARKING LOT

1	25-10-31	DATE
No.	PHASE 2 ISSUED FOR TENDER	
REVISIONS		
 H.A.P. HUITEMA PROFESSIONAL ENGINEER PROVINCE OF ONTARIO 25-10-31		



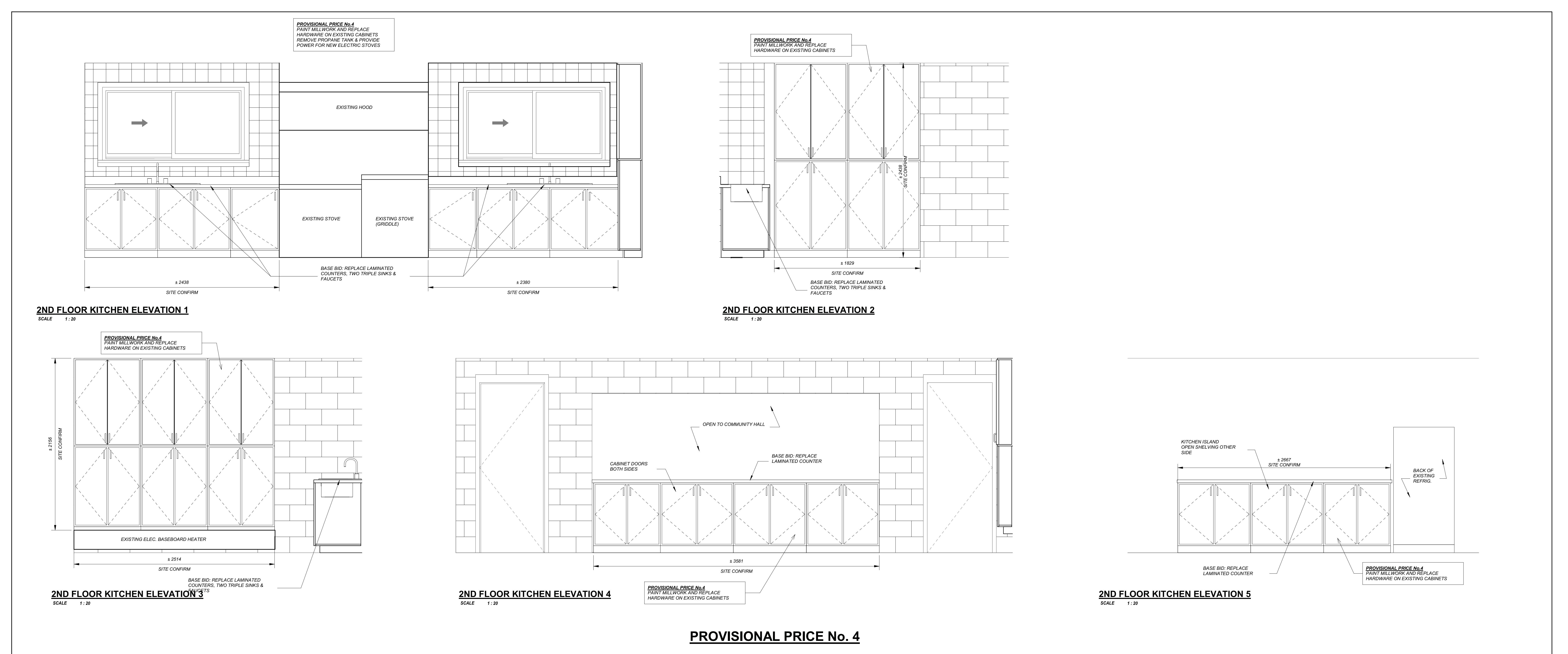
300 YORK BLVD HAMILTON, ONTARIO L8R 3K6, PH. 905-333-9119

EMILY-OMEMEE ADDITION/RENOVATION PHASE 2

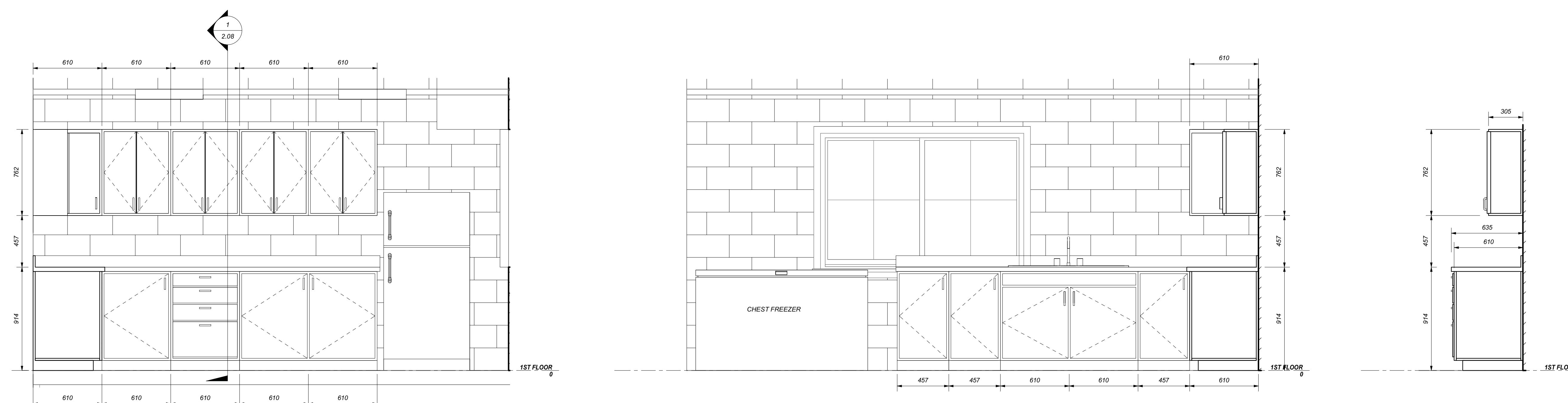
212 STURGEON ROAD
ONTARIO

RENOVATION 2ND FLOOR PLANS

DATE: OCTOBER 2025	DRAWN BY: T.W.	DRAWING NO: 2.07
PROJECT No: 24002C	CHECKED BY: H.A.P.H.	



PROVISIONAL PRICE No. 4



CANTEEN-NORTH ELEVATION

CANTEEN-WEST ELEVATION

SECTION

<u>PROVISIONAL PRICE LIST</u>	
<i>PROVISIONAL PRICE No.</i>	<i>DESCRIPTION</i>
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE, NEW CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT

EMILY-OMEMEE ADDITION/RENOVATION PHASE 2

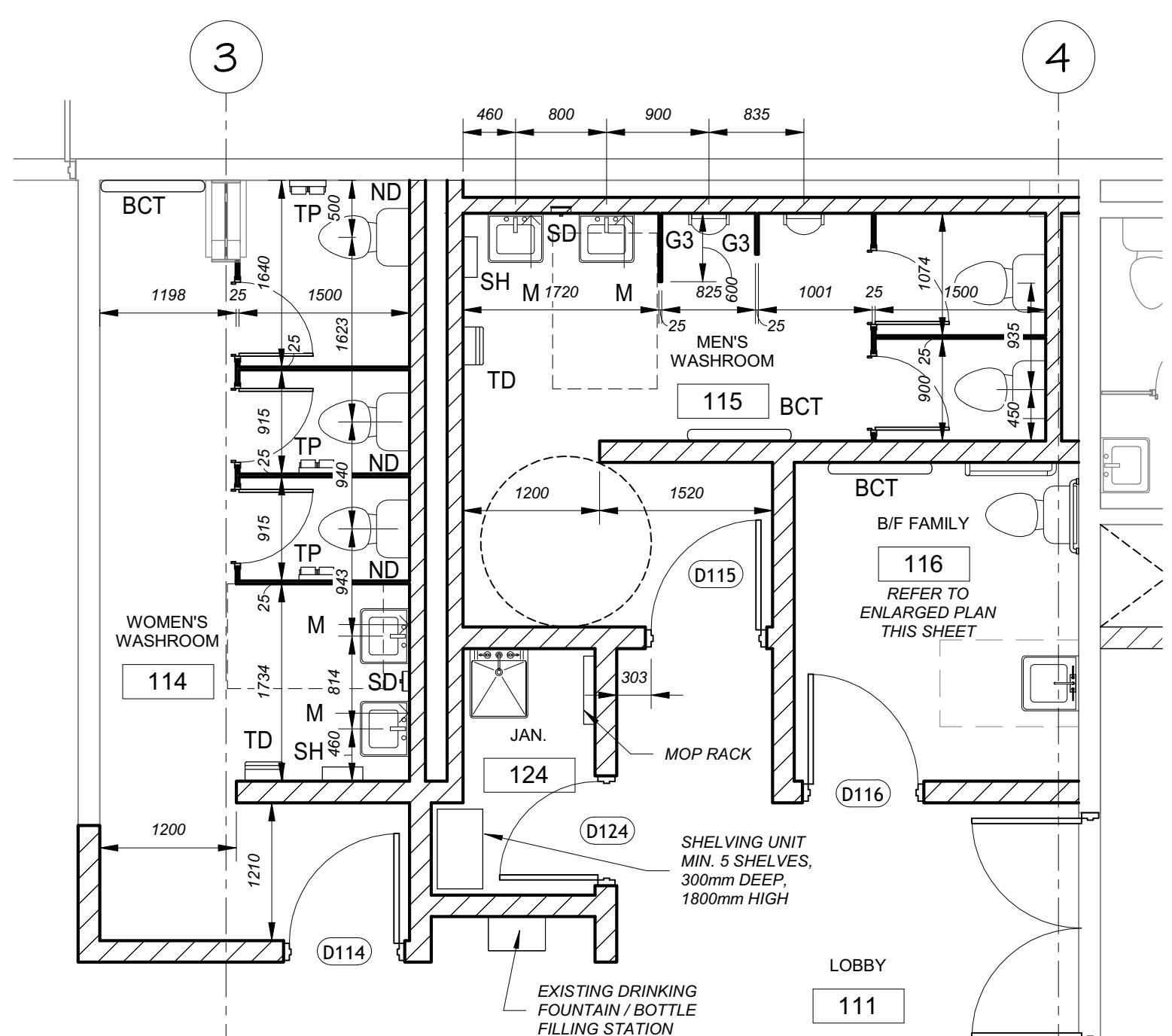
212 STURGEON ROAD

KITCHEN DETAILS

KITCHEN DETAILS

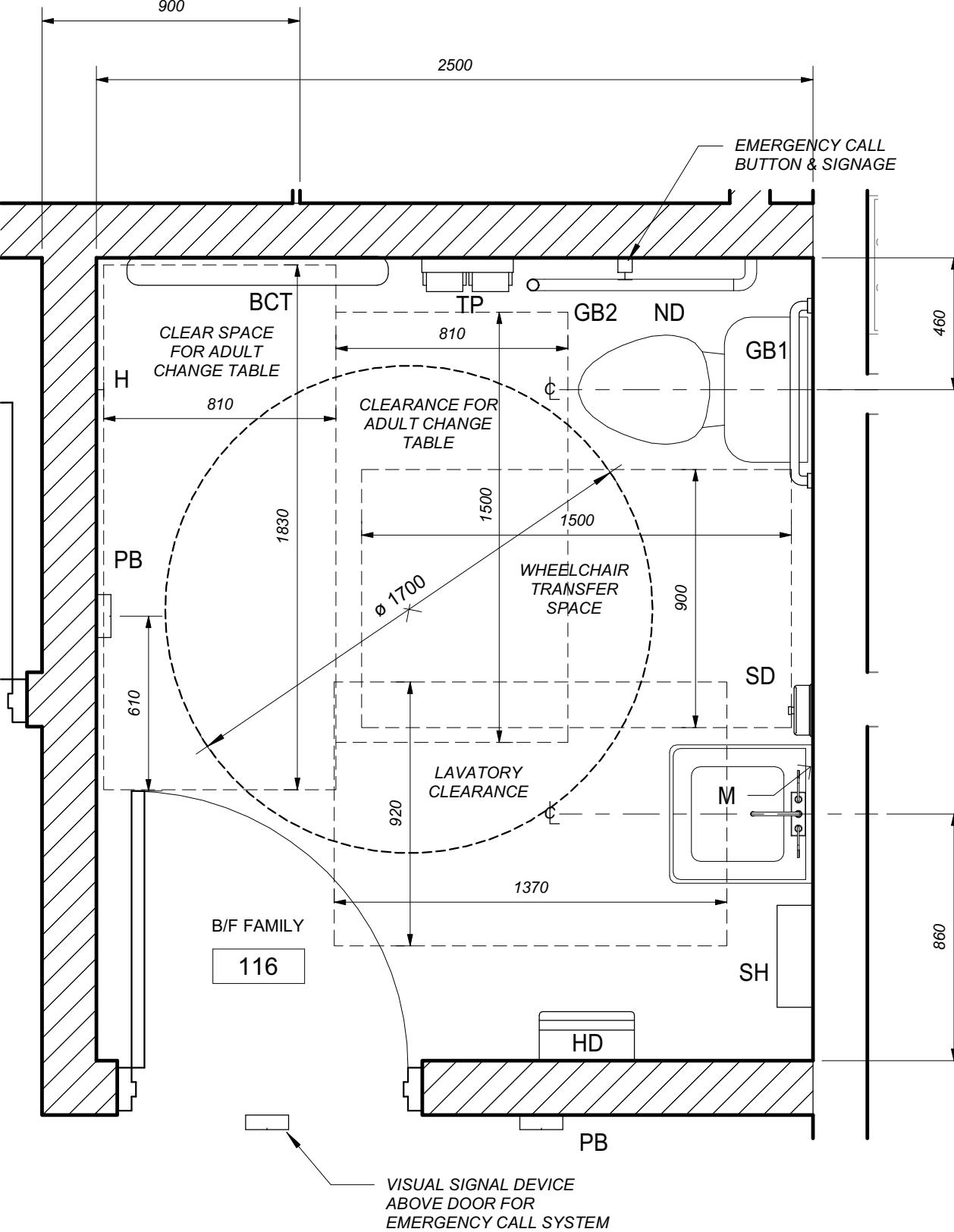
[View Details](#) | [Edit](#) | [Delete](#)

DATE: OCTOBER 2025	DRAWN BY: <i>T.W.</i>	DRAWING No: 2.08
PROJECT No: 24002 C	CHECKED BY: <i>H.A.P.H.</i>	



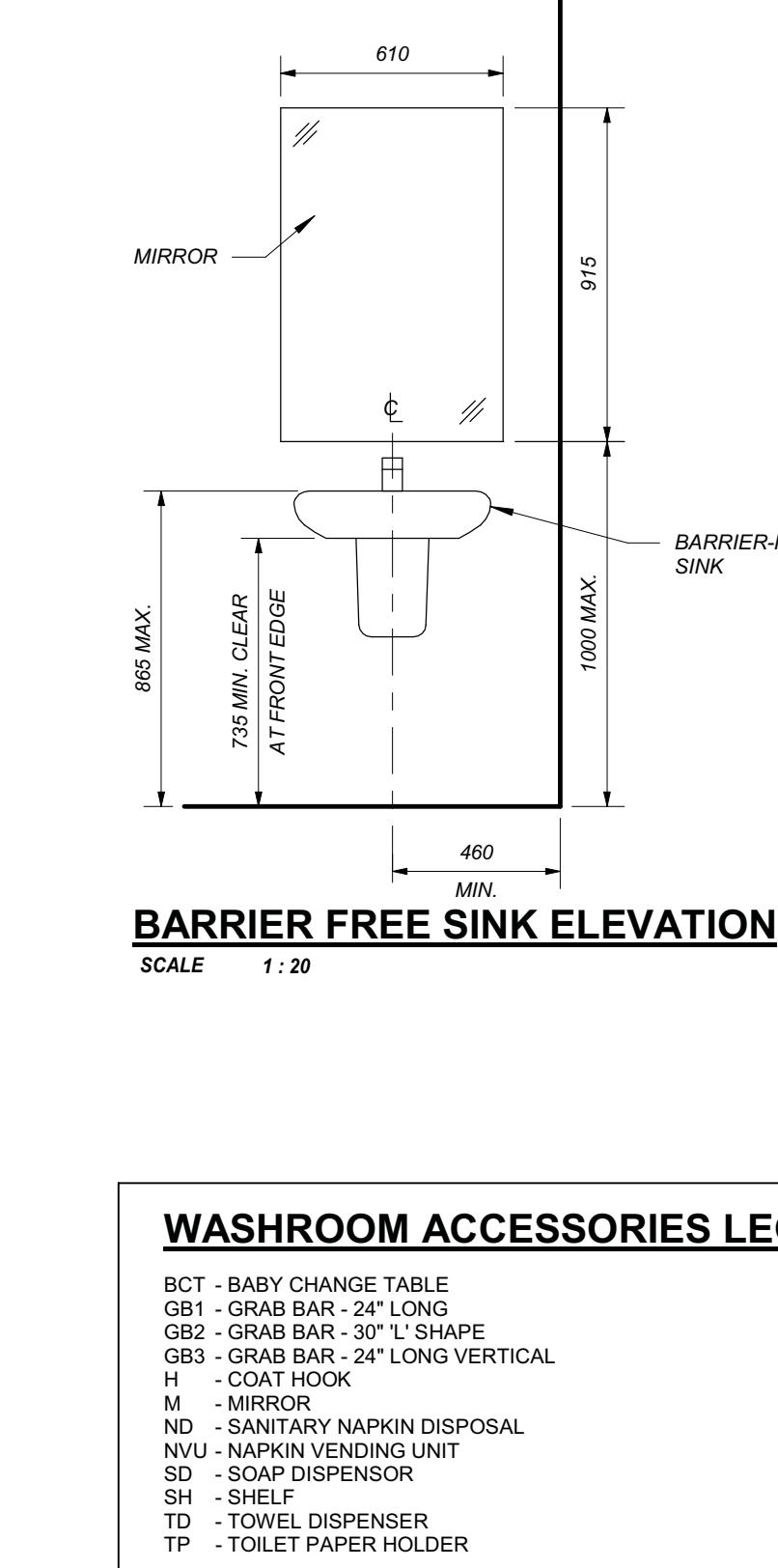
1ST FLOOR WASHROOM PLAN

SCALE 1:50



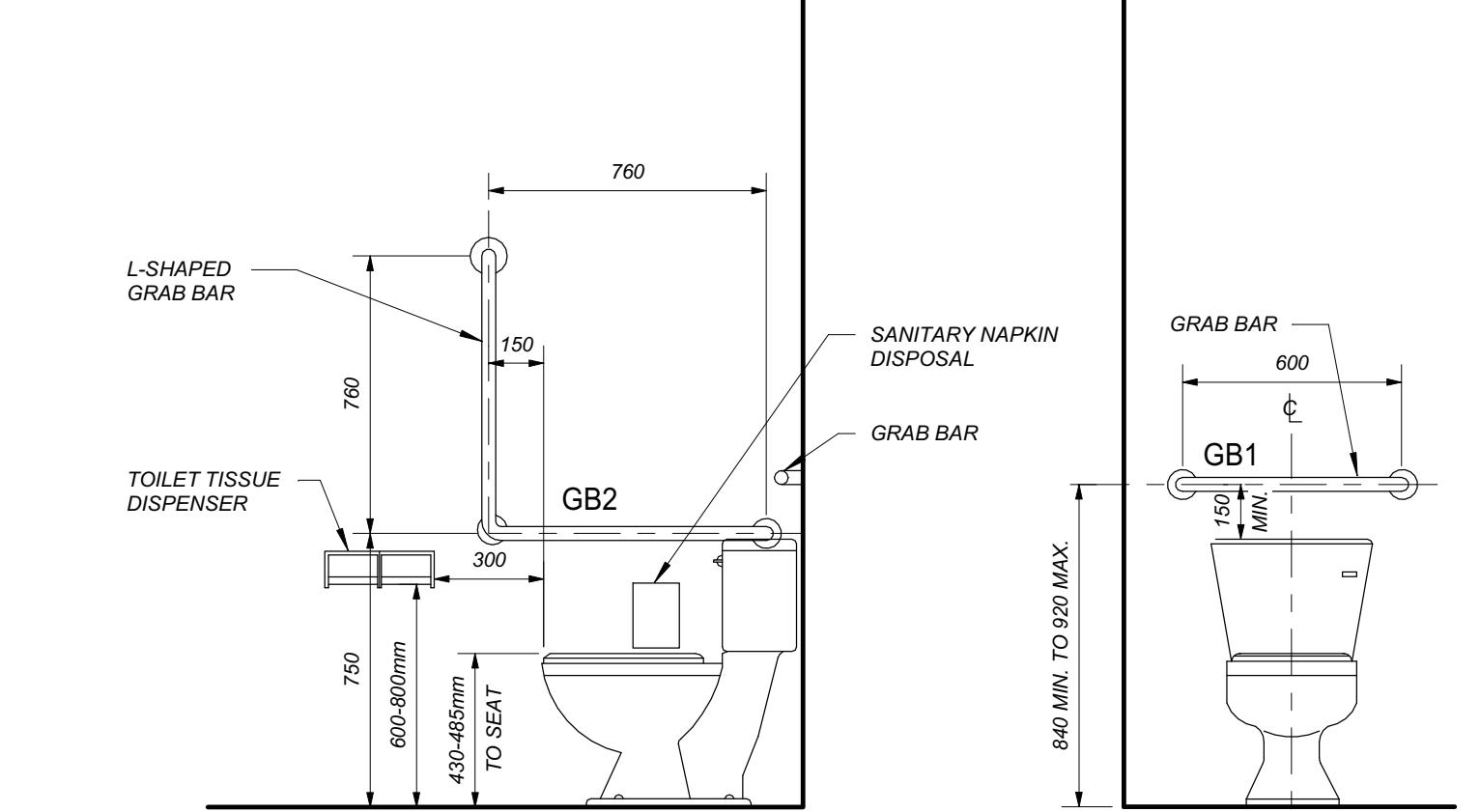
1ST FLOOR-B/F FAMILY WASHROOM

SCALE 1:20



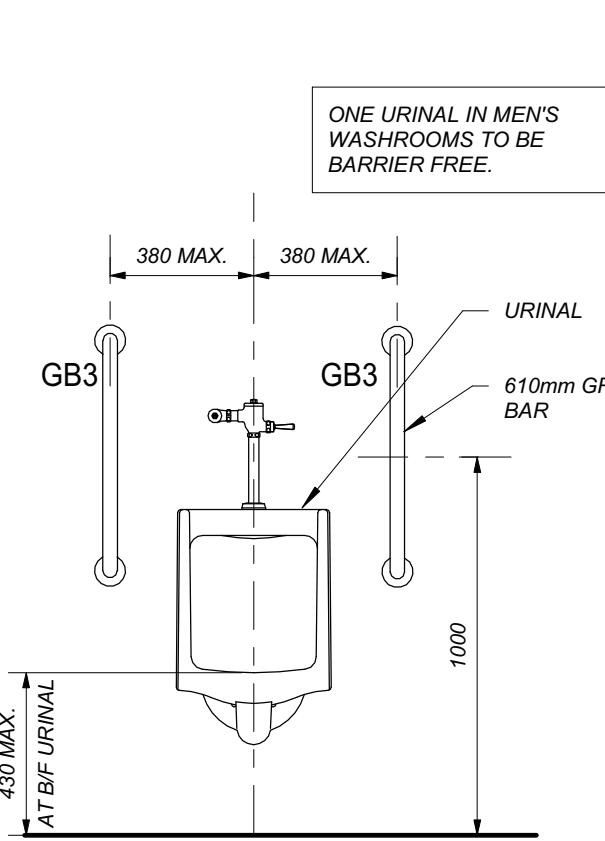
BARRIER FREE SINK ELEVATION

SCALE 1:20



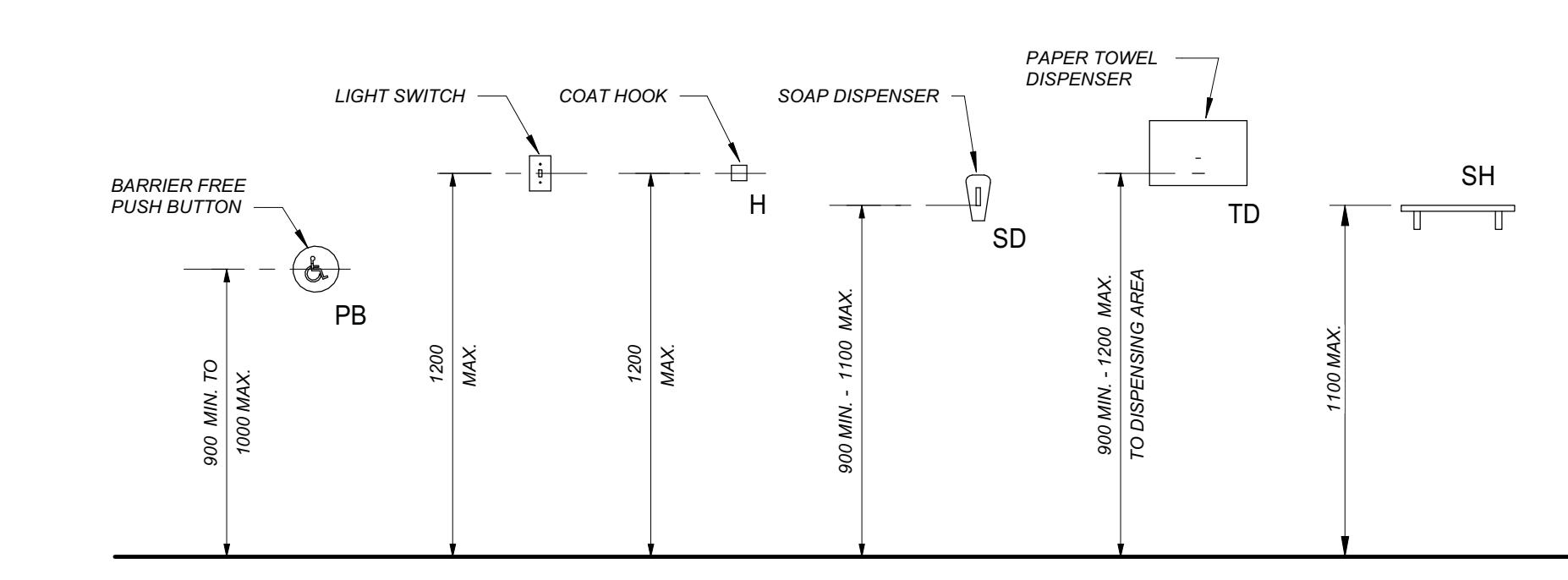
BARRIER FREE WATER CLOSET ELEVATIONS

SCALE 1:20



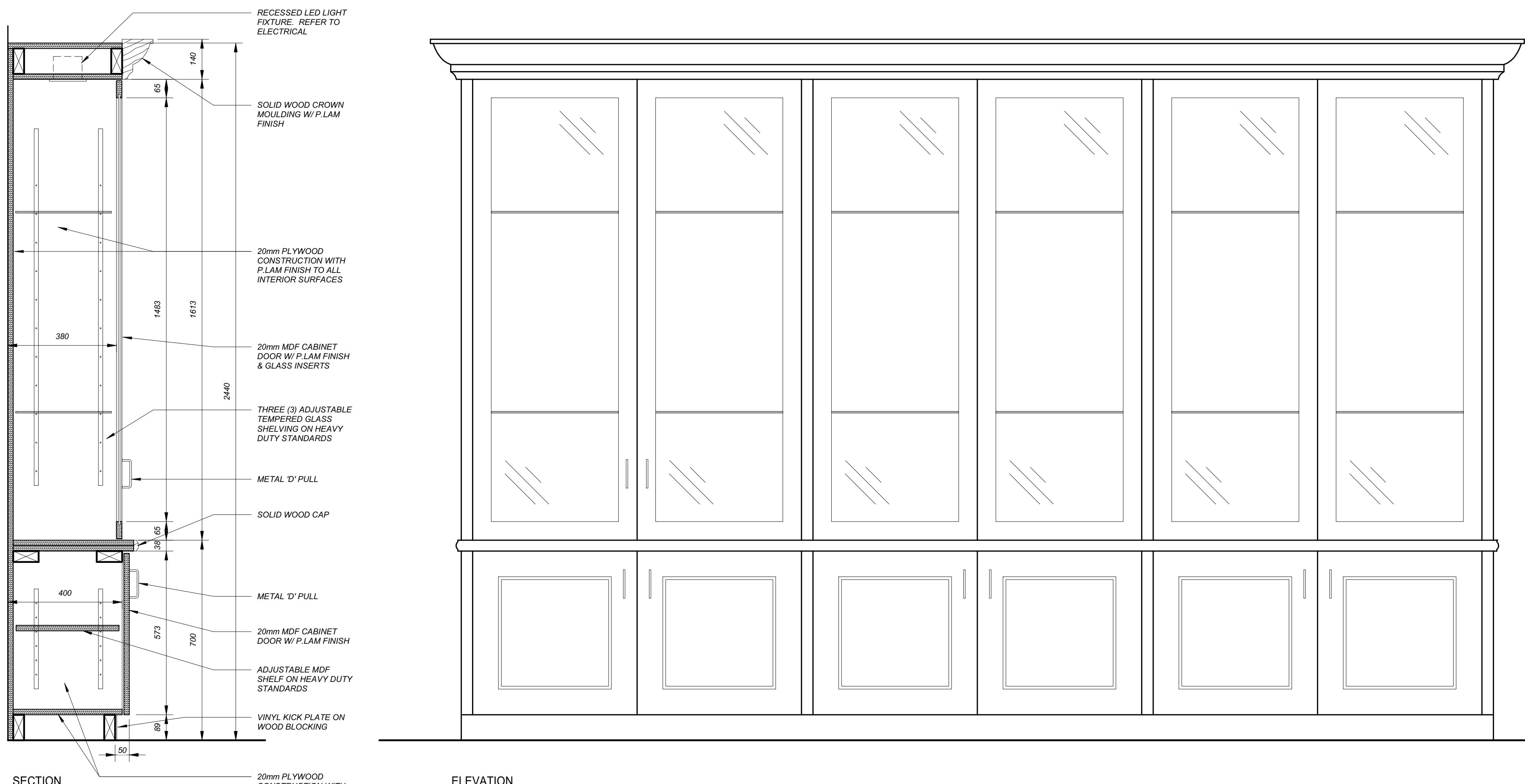
BARRIER FREE URINAL

SCALE 1:20



TYPICAL ACCESSORY MOUNTING HEIGHTS

SCALE 1:20



SECTION

ELEVATION

DISPLAY CASE DETAILS

SCALE 1:10

PLAN

1	25-10-31	PHASE 2 ISSUED FOR TENDER
No.	DATE	REVISIONS
REVISIONS		

PROVISIONAL PRICE LIST

PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERNS FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE, NEW CEILING TILES KITCHEN, BATH, PANTRY & RELOCATING PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING
5	PAVE GRANULAR PARKING LOT

KALOS
ENGINEERING

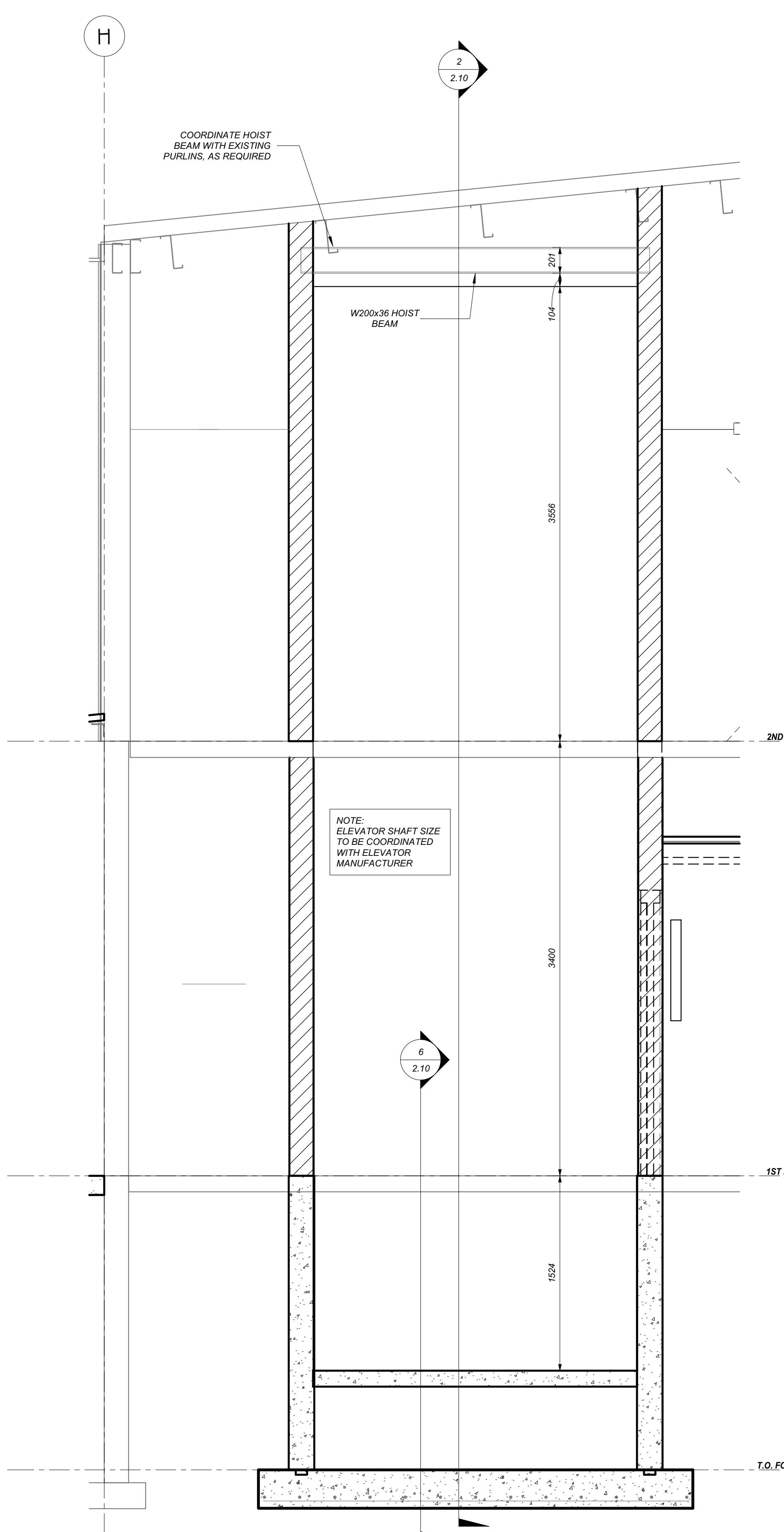
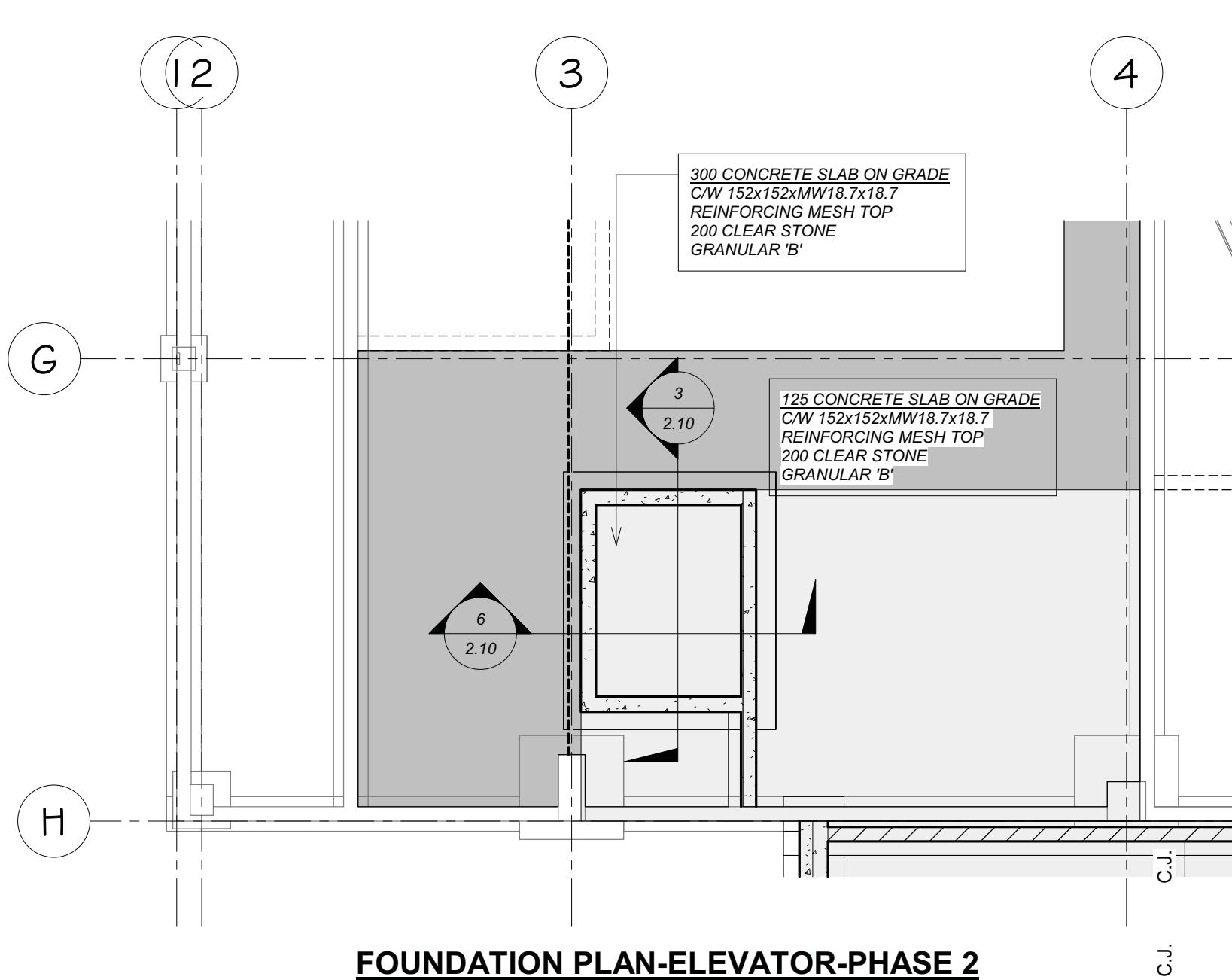
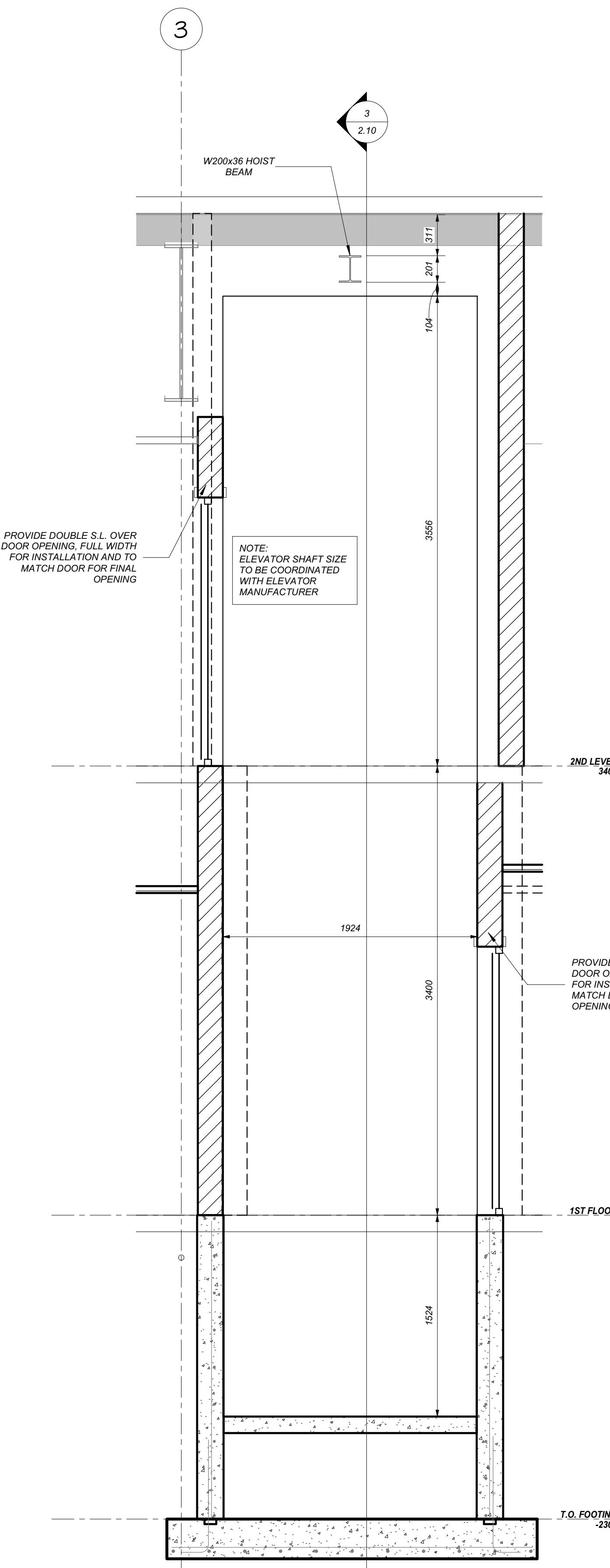
300 YORK BLVD HAMILTON, ONTARIO L8R 3K6, PH. 905-333-9119

EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2

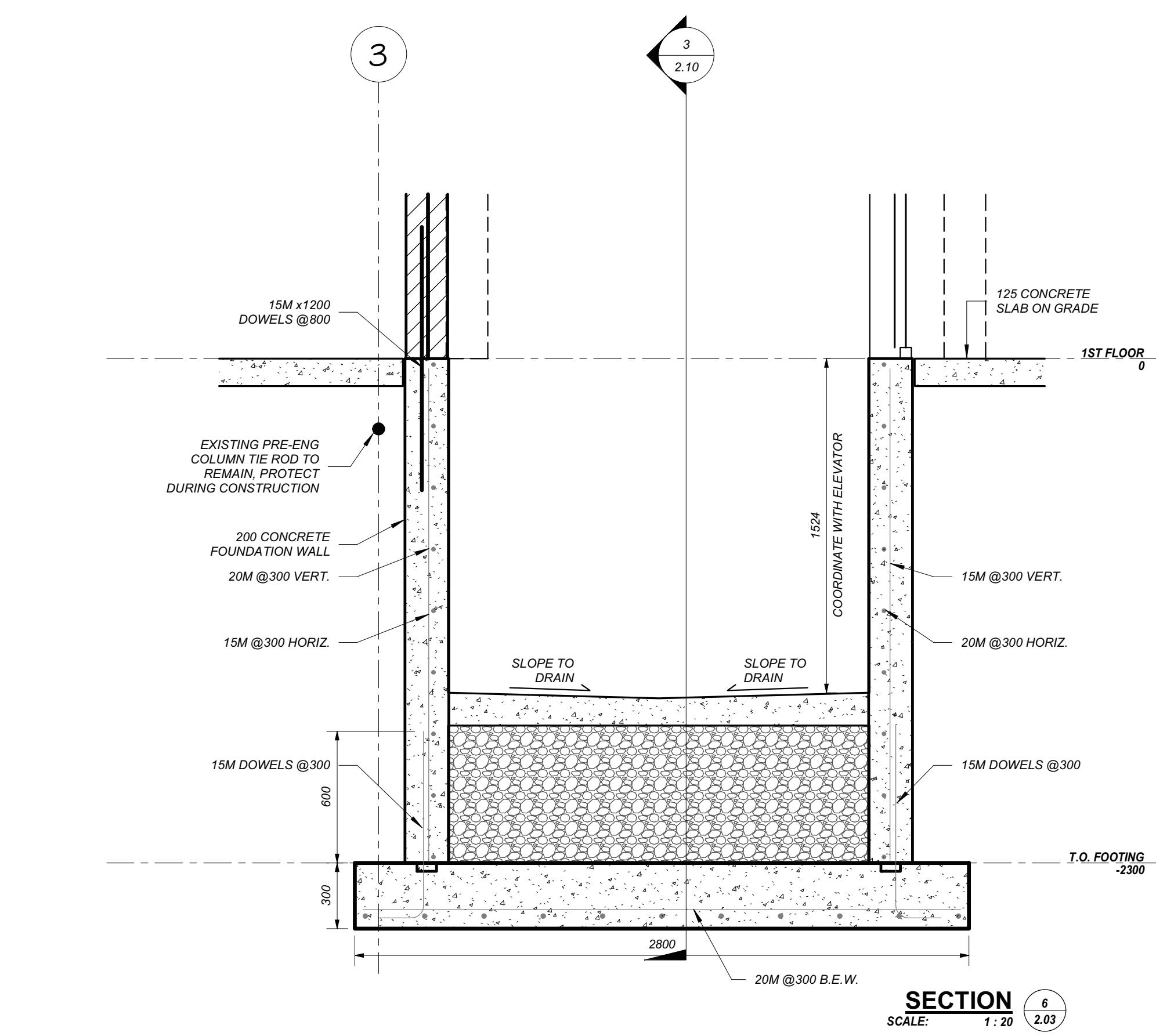
OMEMEE 212 STURGEON ROAD ONTARIO

WASHROOM DETAILS & MILLWORK
DETAILS

DATE: OCTOBER 2025 DRAWN BY: T.W. DRAWING No: 2.09
PROJECT No: 24002 C CHECKED BY: H.A.P.H.




CONFIRM SHAFT DIMENSIONS ONCE ELEVATOR TYPE & MODEL HAS BEEN SELECTED

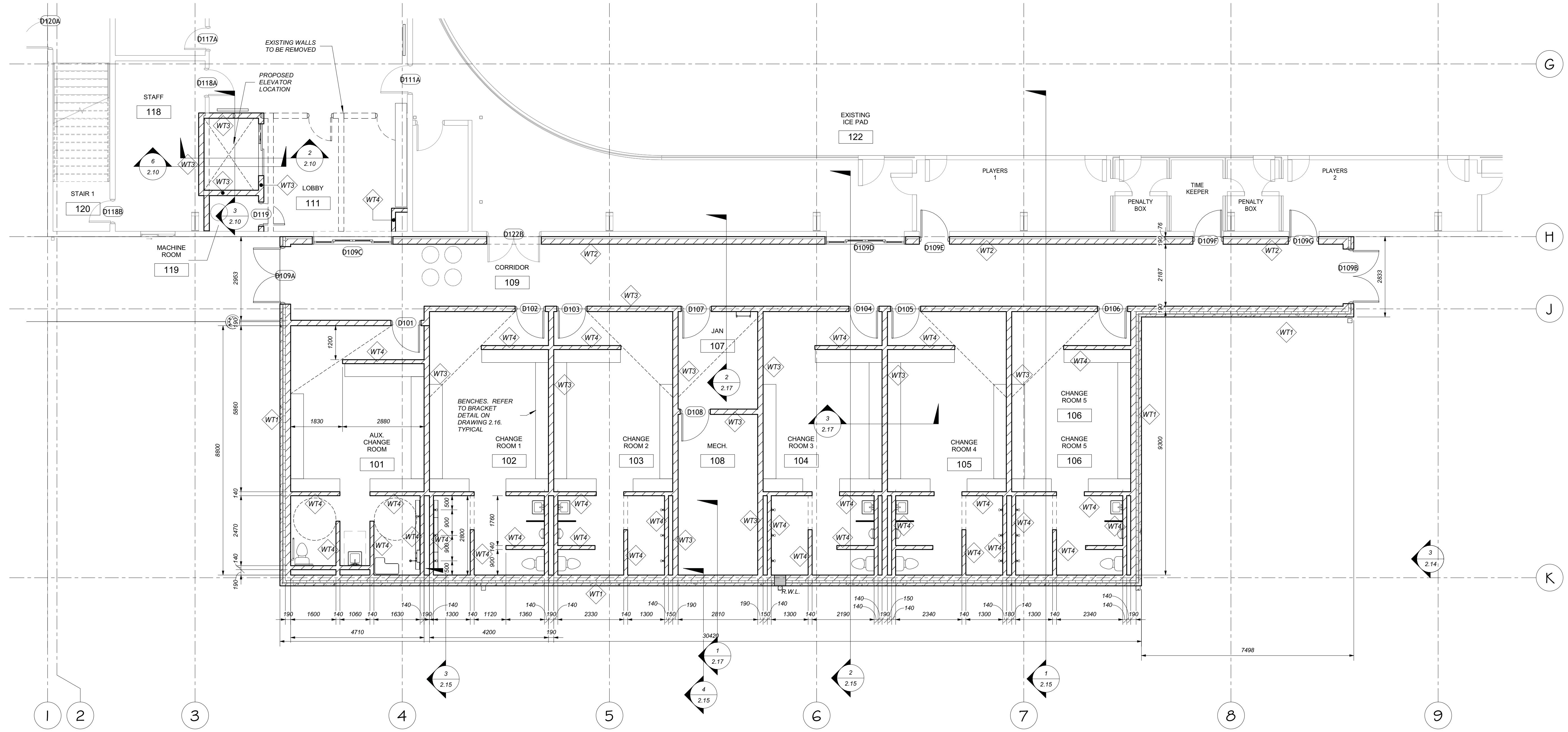


PROVISIONAL PRICE LIST

PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERNS FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE, REMOVE CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT

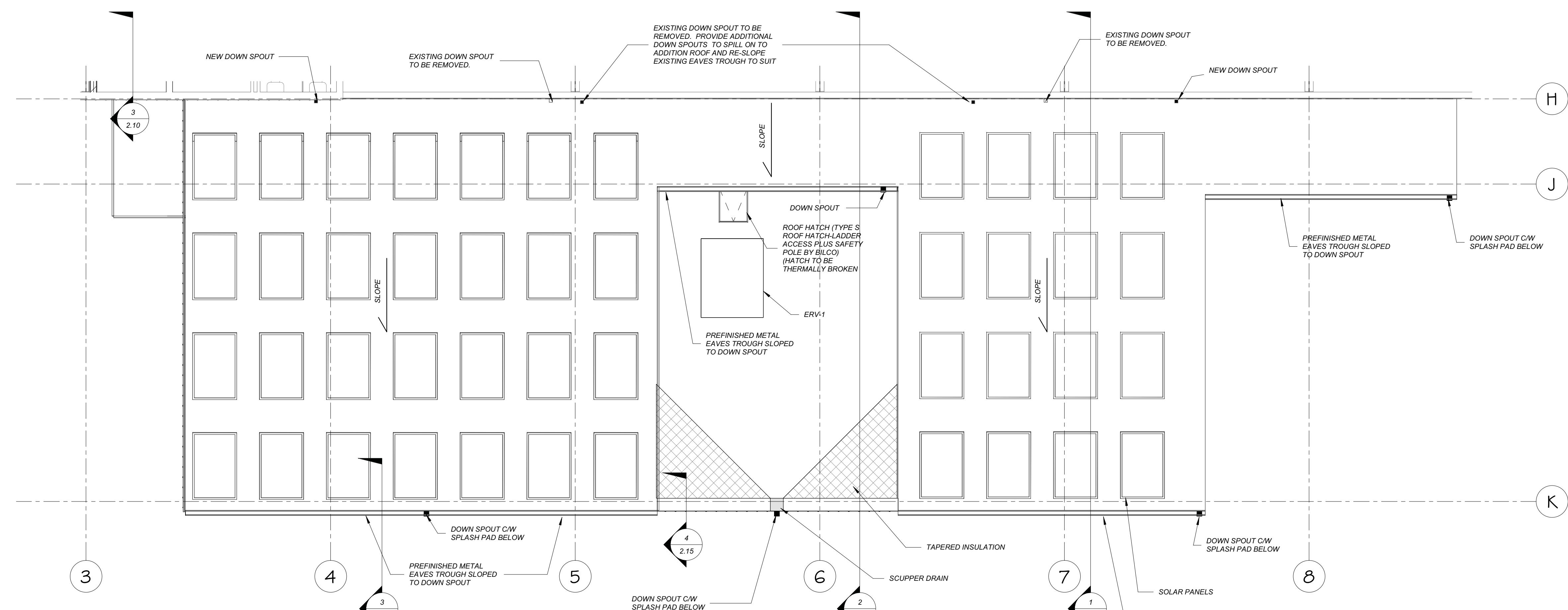
1	25-10-31	DATE
No.	PHASE 2 ISSUED FOR TENDER	REVISIONS
REVISIONS		
		
25-10-31		
EMILY-OMEMEE ADDITION/RENOVATION PHASE 2		
OMEMEE 212 STURGEON ROAD ONTARIO		
ELEVATOR DETAILS		
DATE: OCTOBER 2025	DRAWN BY: T.W.	DRAWING NO: 2.10
PROJECT No: 24002 C	CHECKED BY: H.A.P.H.	





GROUND FLOOR - ADDITION

SCALE 1:75



ADDITION ROOF PLAN

SCALE 1:75

PROVISIONAL PRICE LIST

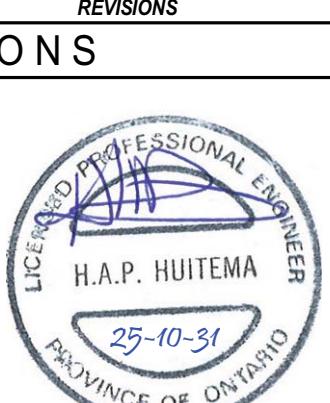
PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERNS FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPDATES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE, NEW CEILING TILES (TILE, 10' X 10') AND PAINTING FOR NEW ELECTRIC STOVES, PAINTING
5	PAVE GRANULAR PARKING LOT

**EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2**

212 STURGEON ROAD
ONTARIO

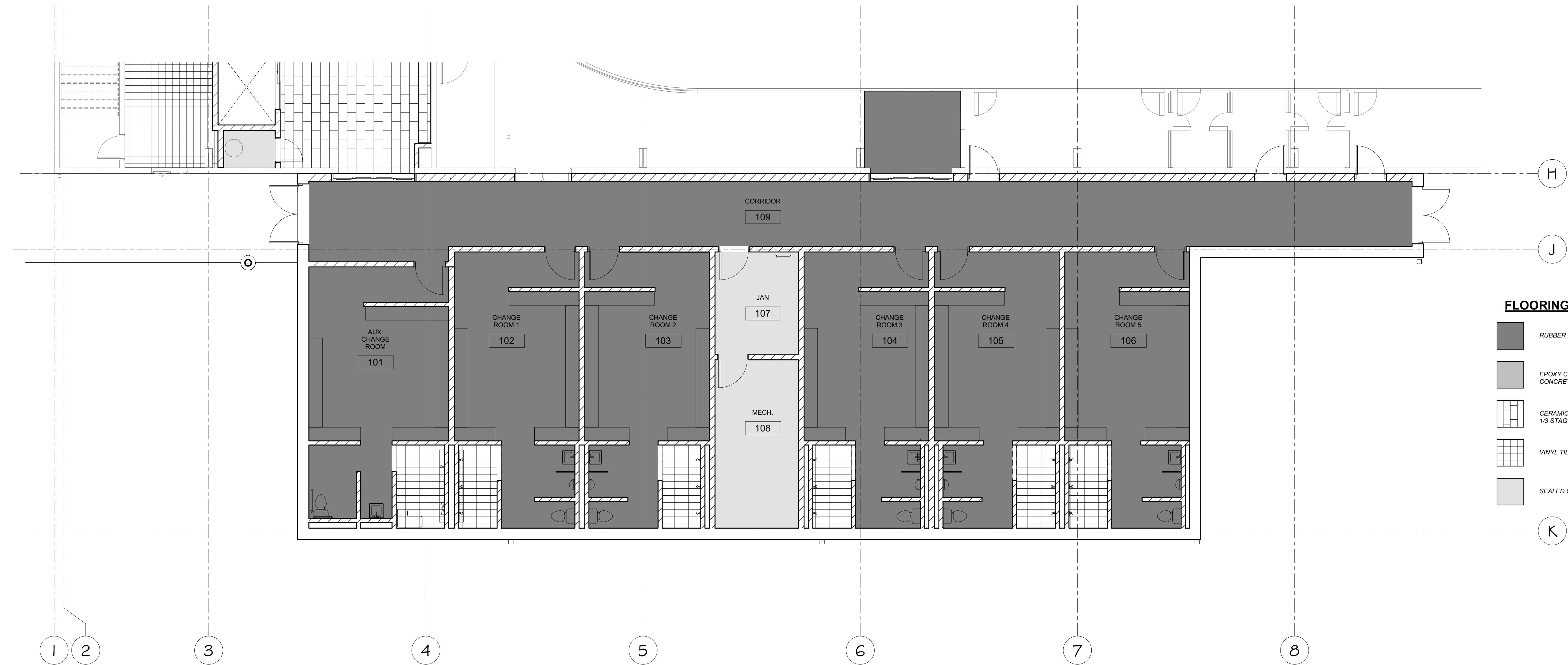
OMEMEE
DRESSING ROOM ADDITION - FLOOR &
ROOF PLANS

DATE: OCTOBER 2025 DRAWN BY: T.W. DRAWING NO: 2.12
PROJECT NO: 24002 C CHECKED BY: H.A.P.H.



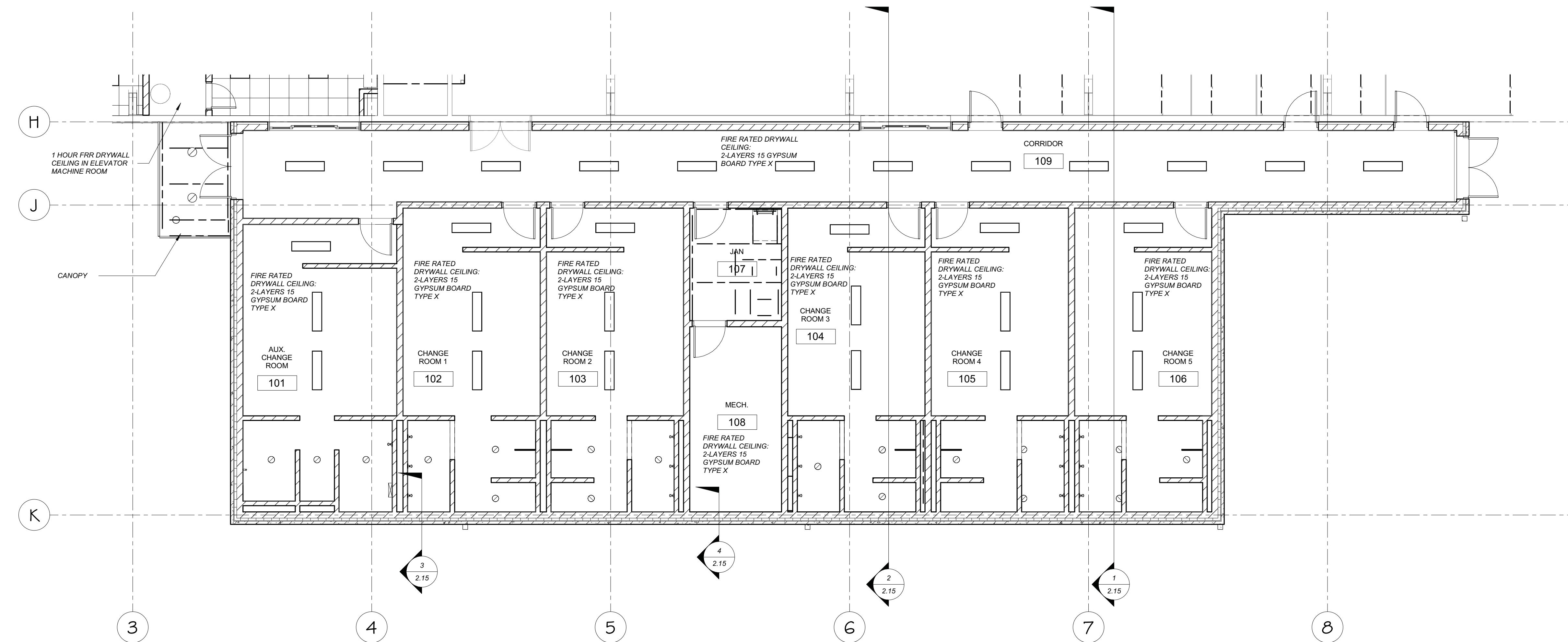
**KALOS
ENGINEERING**

300 YORK BLVD HAMILTON, ONTARIO L8R 3K6, PH. 905-333-9119



GROUND FLOOR FLOORING ADDITION

SCALE 1:75



ADDITION CEILING PLAN

SCALE 1:75

FLOORING LEGEND

- RUBBER FLOORING
- EPOXY COATING ON CONCRETE SLAB
- CERAMIC TILE 1/2 STAGGERED
- VINYL TILE (VCT)
- SEALED CONCRETE

CEILING LEGEND

- REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURES
- 600x600 LIGHT FIXTURE
 - 300x1200 LIGHT FIXTURE
 - 600x1200 LIGHT FIXTURE
 - CAN LIGHT FIXTURE

1	25-10-31	DATE
No.	PHASE 2 ISSUED FOR TENDER	
REVISIONS		
 H.A.P. HUIITEMA PROFESSIONAL ENGINEER PROVINCE OF ONTARIO 25-10-31		



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6, PH. 905-333-9119

**EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2**

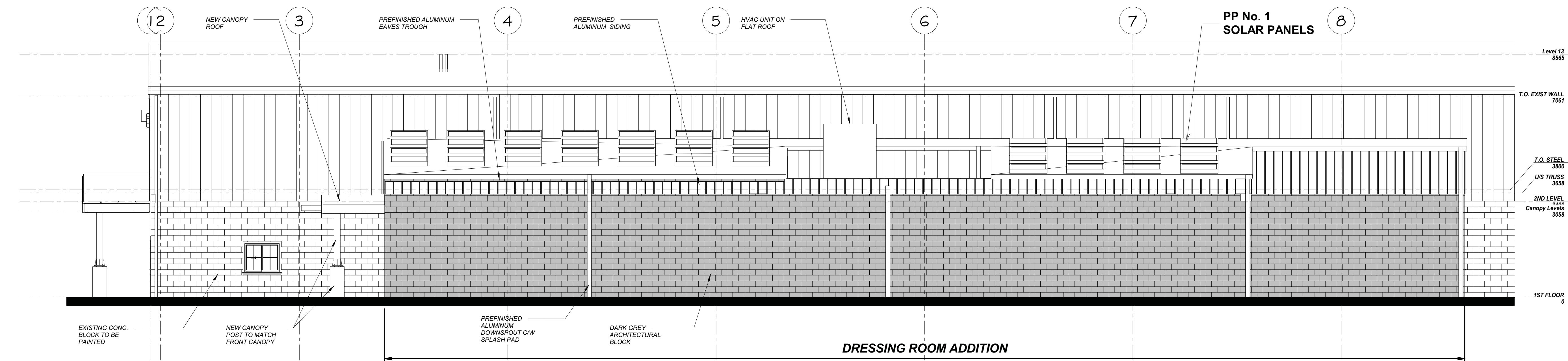
212 STURGEON ROAD

ONTARIO

DRESSING ROOM ADDITION PLANS

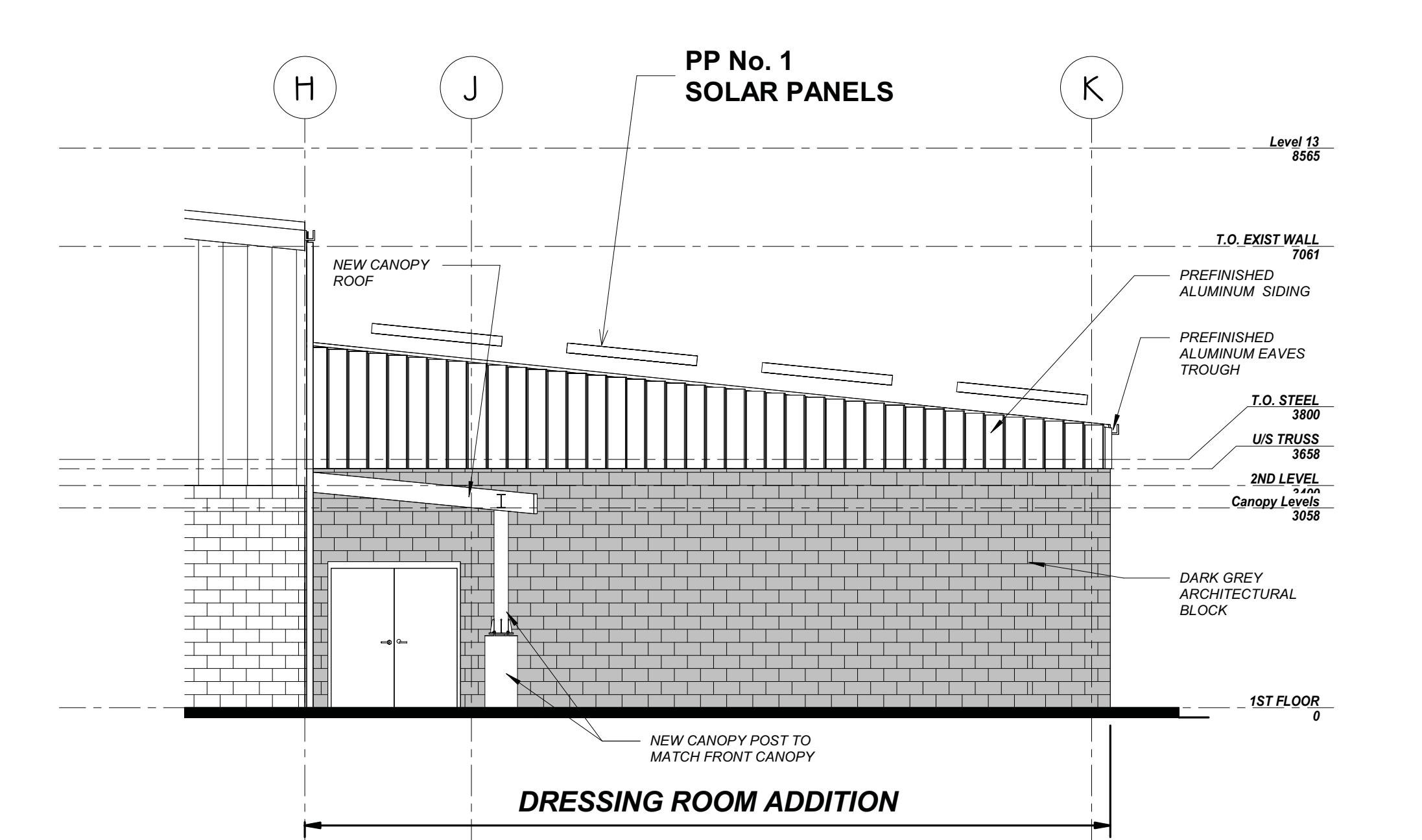
PROVISIONAL PRICE LIST

PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MULBERRY RED AND REPLACING HARDWARE, NEW CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT



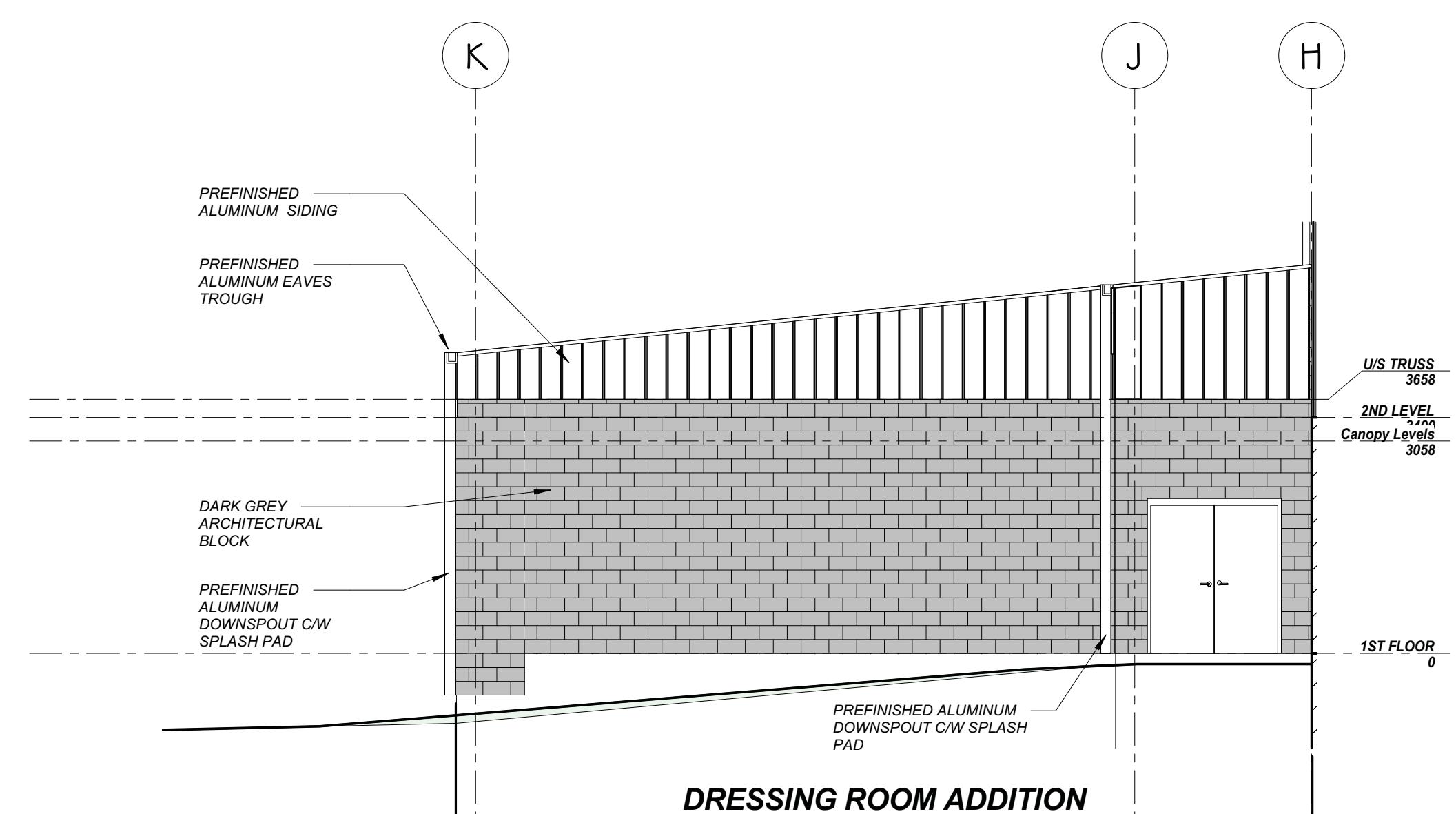
SOUTH ADDITION ELEVATION

SCALE 1:75



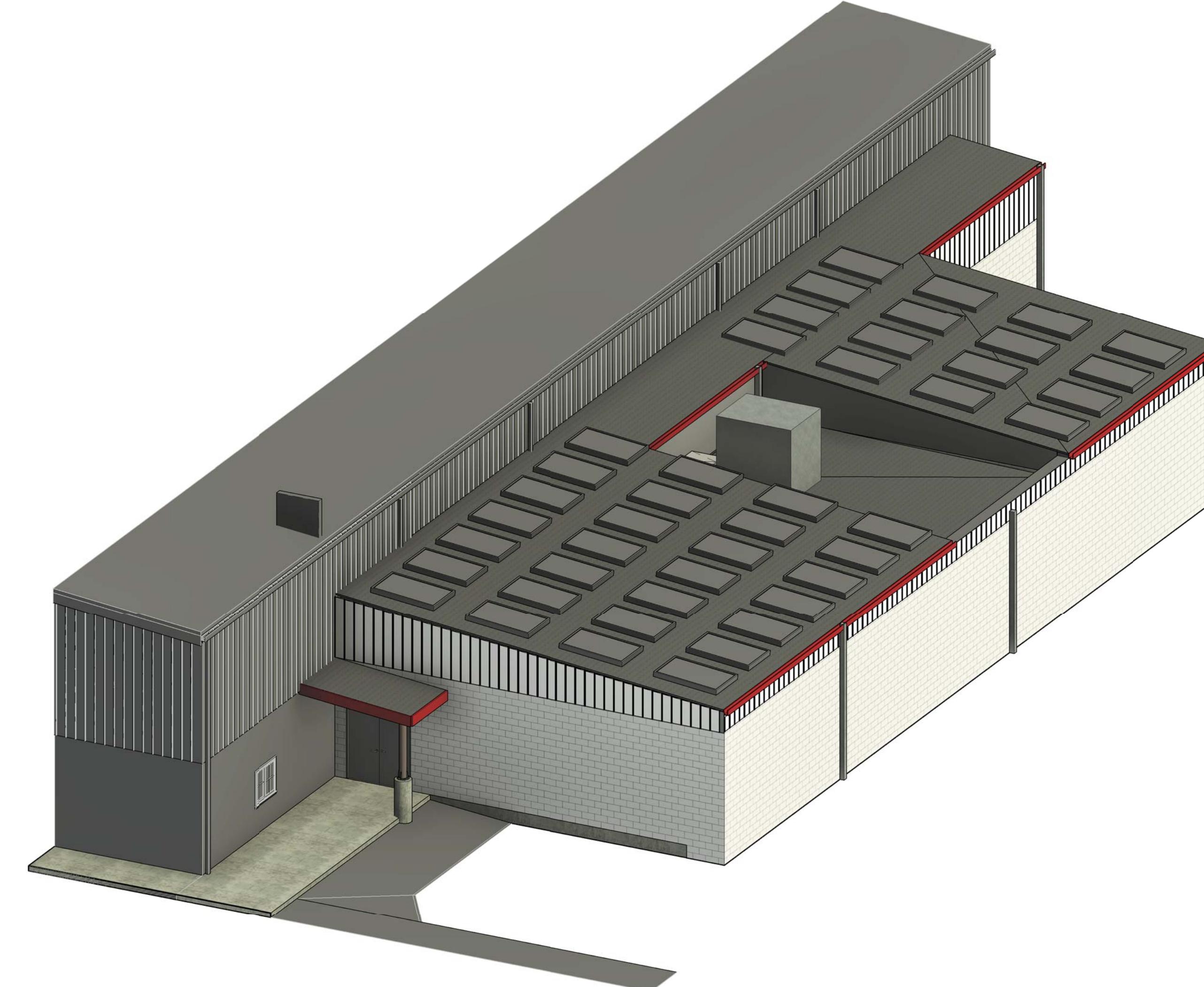
WEST ADDITION ELEVATION

SCALE 1:75



EAST ADDITION ELEVATION

SCALE 1:75

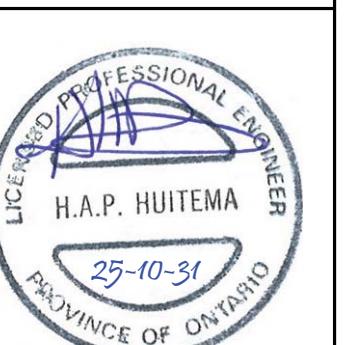


ISOMETRIC

SCALE

PROVISIONAL PRICE LIST

PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERNS FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPDATES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE. NEW CEILING TILES (RETAIN GRID & LIGHTS). REMOVE PROPANE TANK. POWER FOR NEW ELECTRIC STOVES. PAINTING.
5	PAVE GRANULAR PARKING LOT

1	25-10-31	DATE
No.		PHASE 2 ISSUED FOR TENDER
REVISIONS		
 LICENCED PROFESSIONAL ENGINEER H.A.P. HUIJTEMA 25-10-31 PROVINCE OF ONTARIO		

KALOS
ENGINEERING

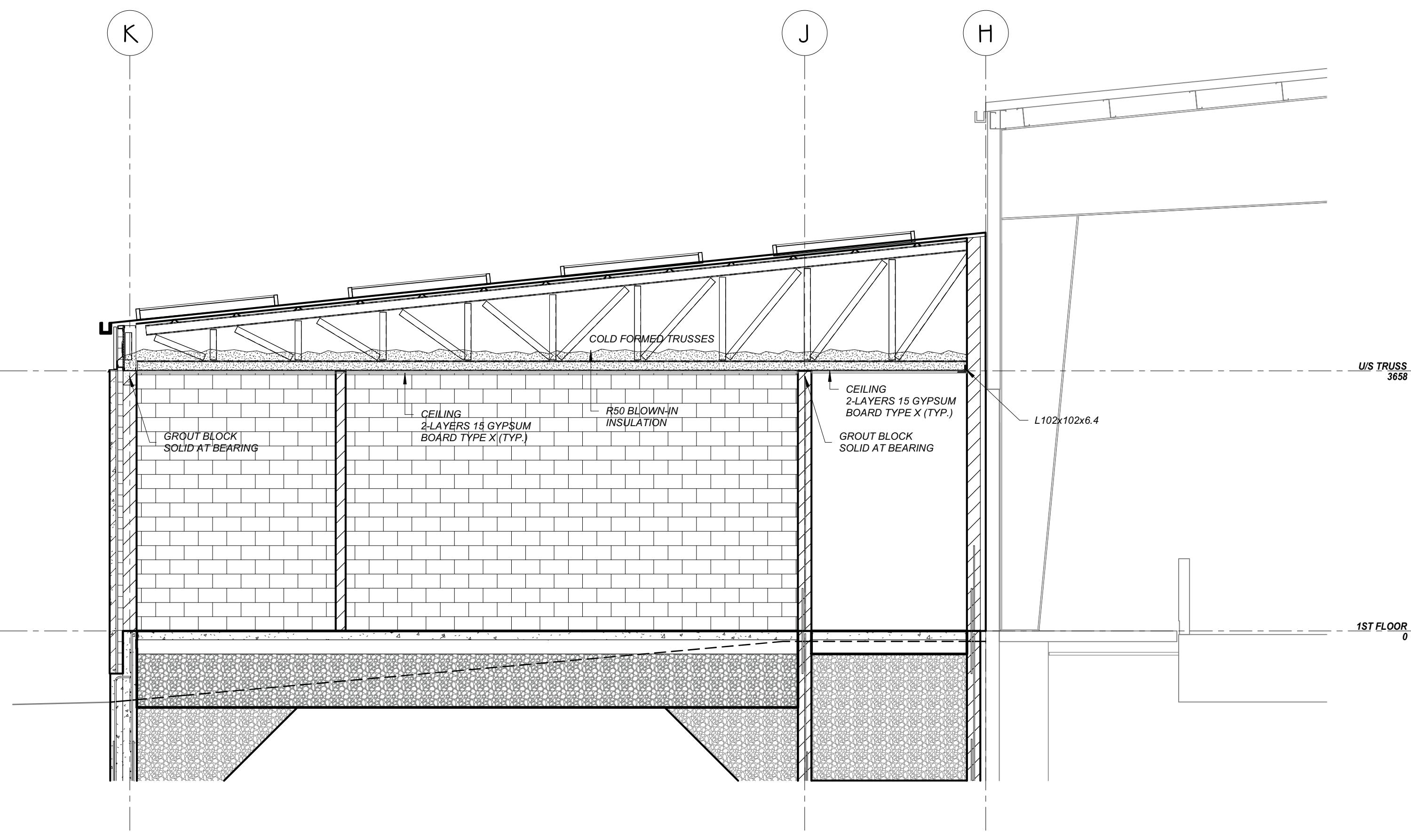
300 YORK BLVD HAMILTON, ONTARIO L8R 3K6, PH. 905-333-9119

EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2

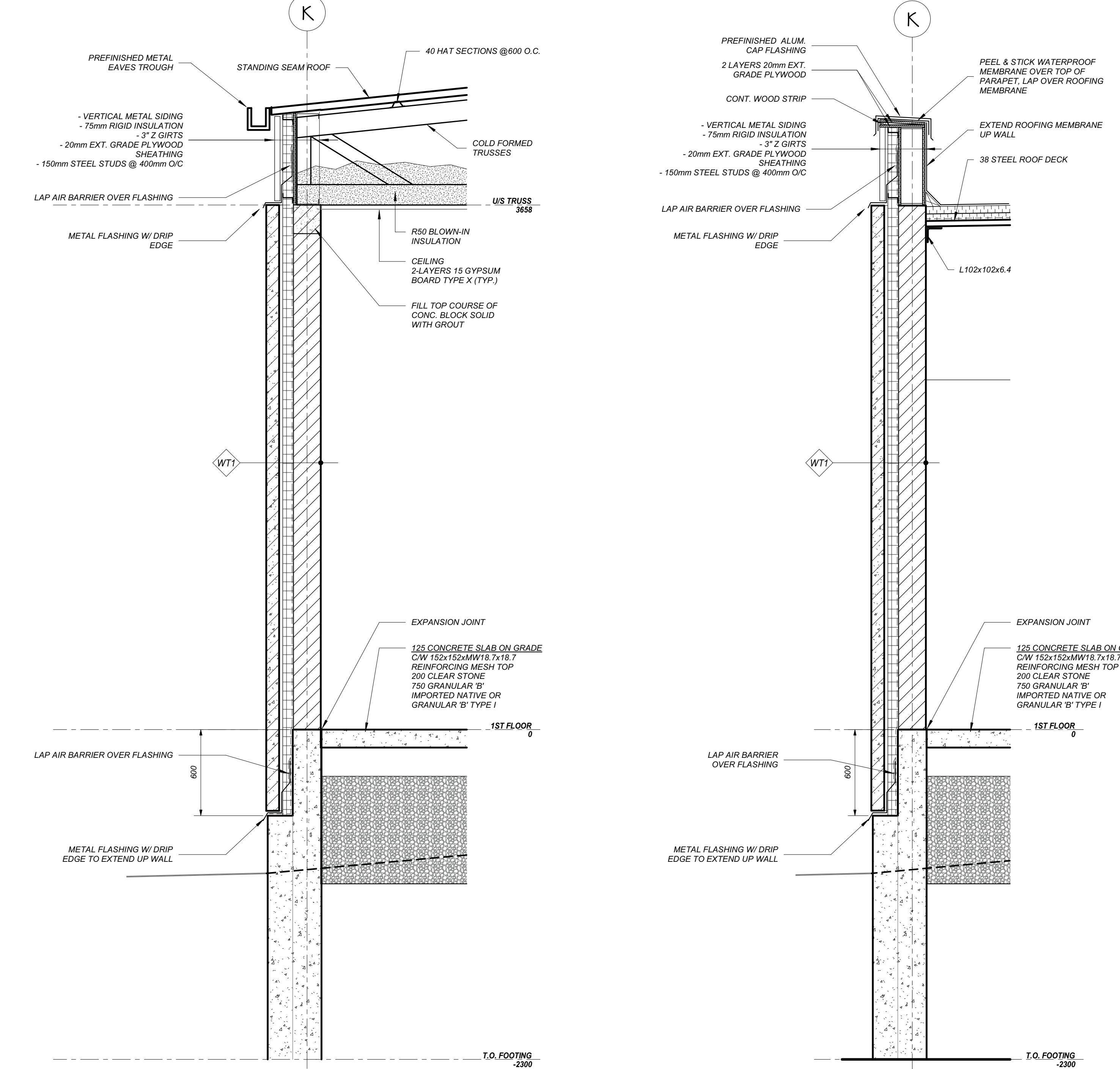
212 STURGEON ROAD
ONTARIO

DRESSING ROOM ADDITION
BUILDING ELEVATIONS

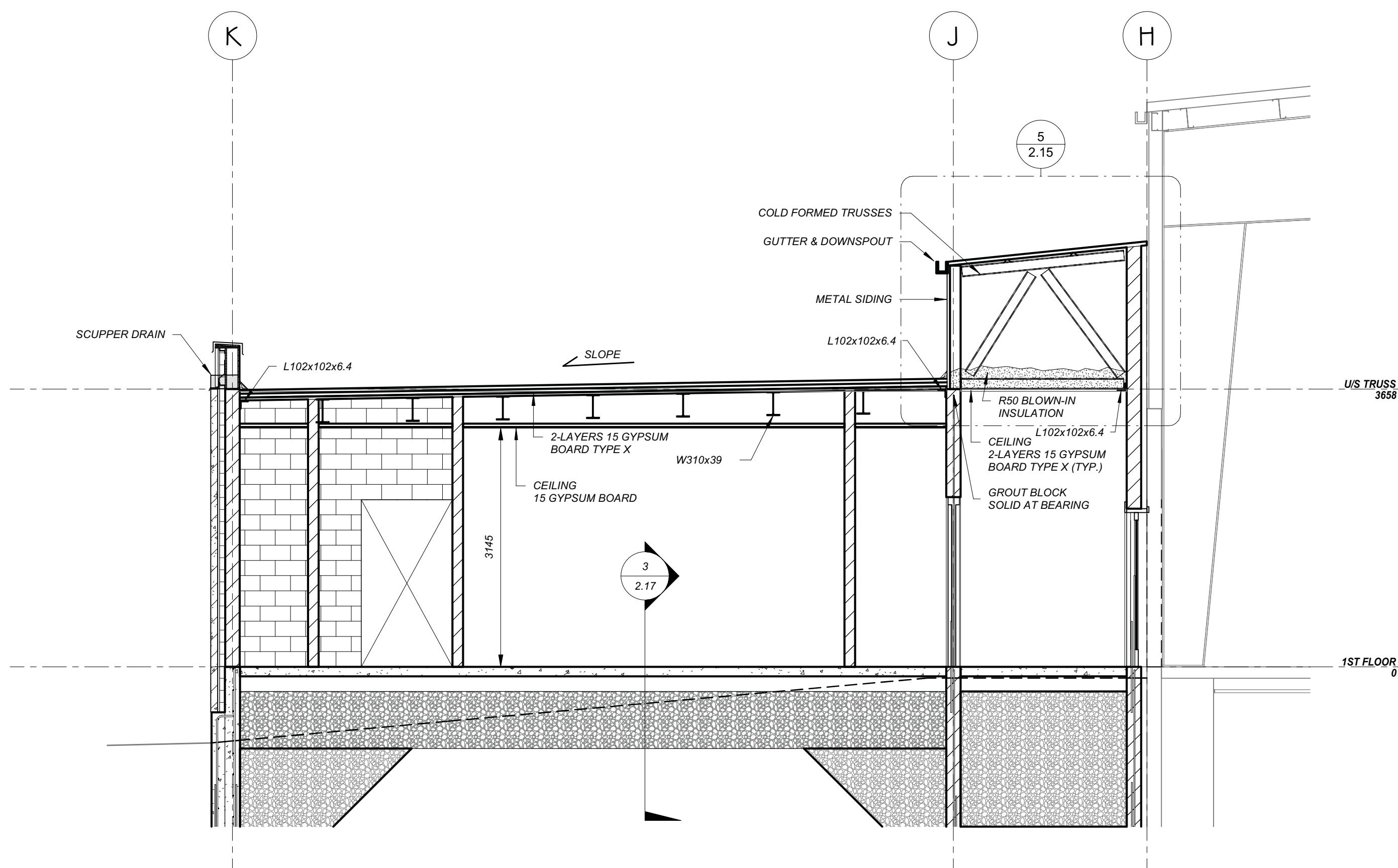
DATE: OCTOBER 2025	DRAWN BY: T.W.	DRAWING No: 2.14
PROJECT No: 24002C	CHECKED BY: H.A.P.H.	



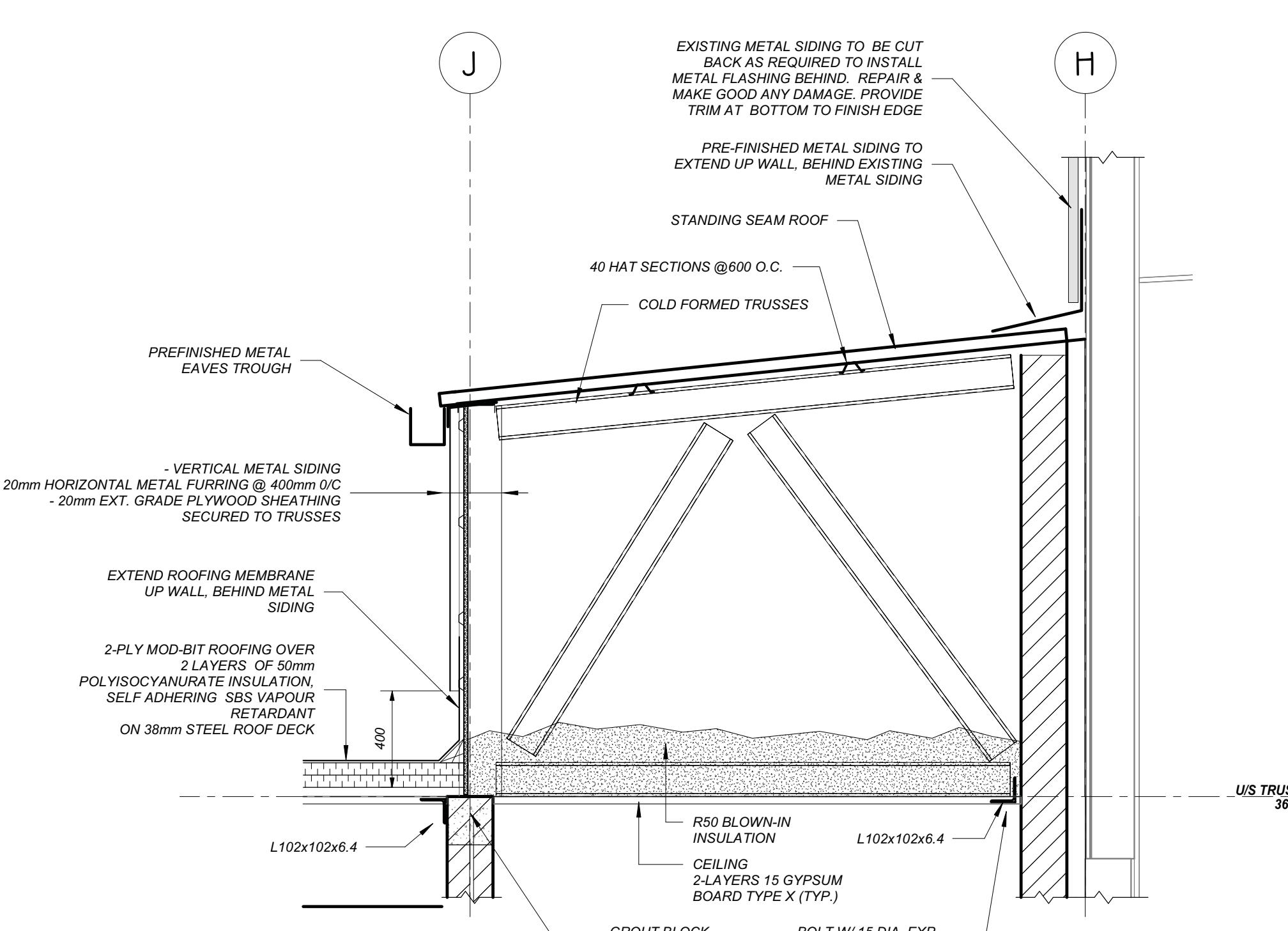
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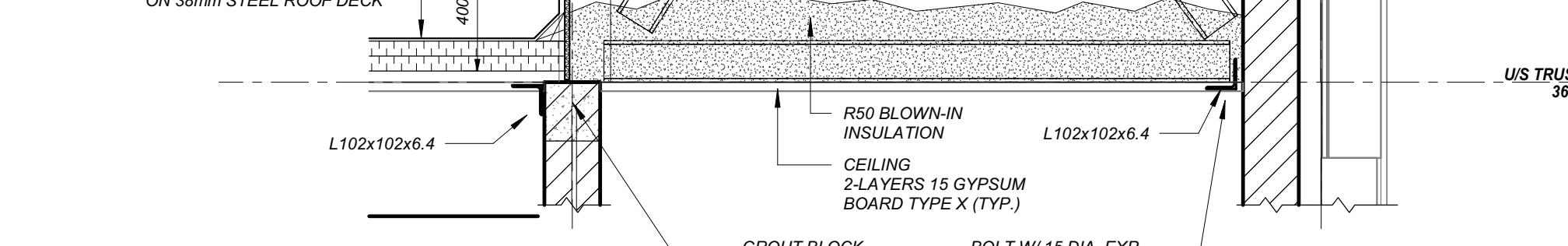
SECTION 2
SCALE: 1:20 2.03



SECTION 3
SCALE: 1:50 2.03



SECTION 4
SCALE: 1:20 2.03



PROVISIONAL PRICE LIST

PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERNS FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPDATES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE. NEW CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING
5	PAVE GRANULAR PARKING LOT

1	25-10-31	DATE
No.		PHASE 2 ISSUED FOR TENDER
REVISIONS		

KALOS
ENGINEERING

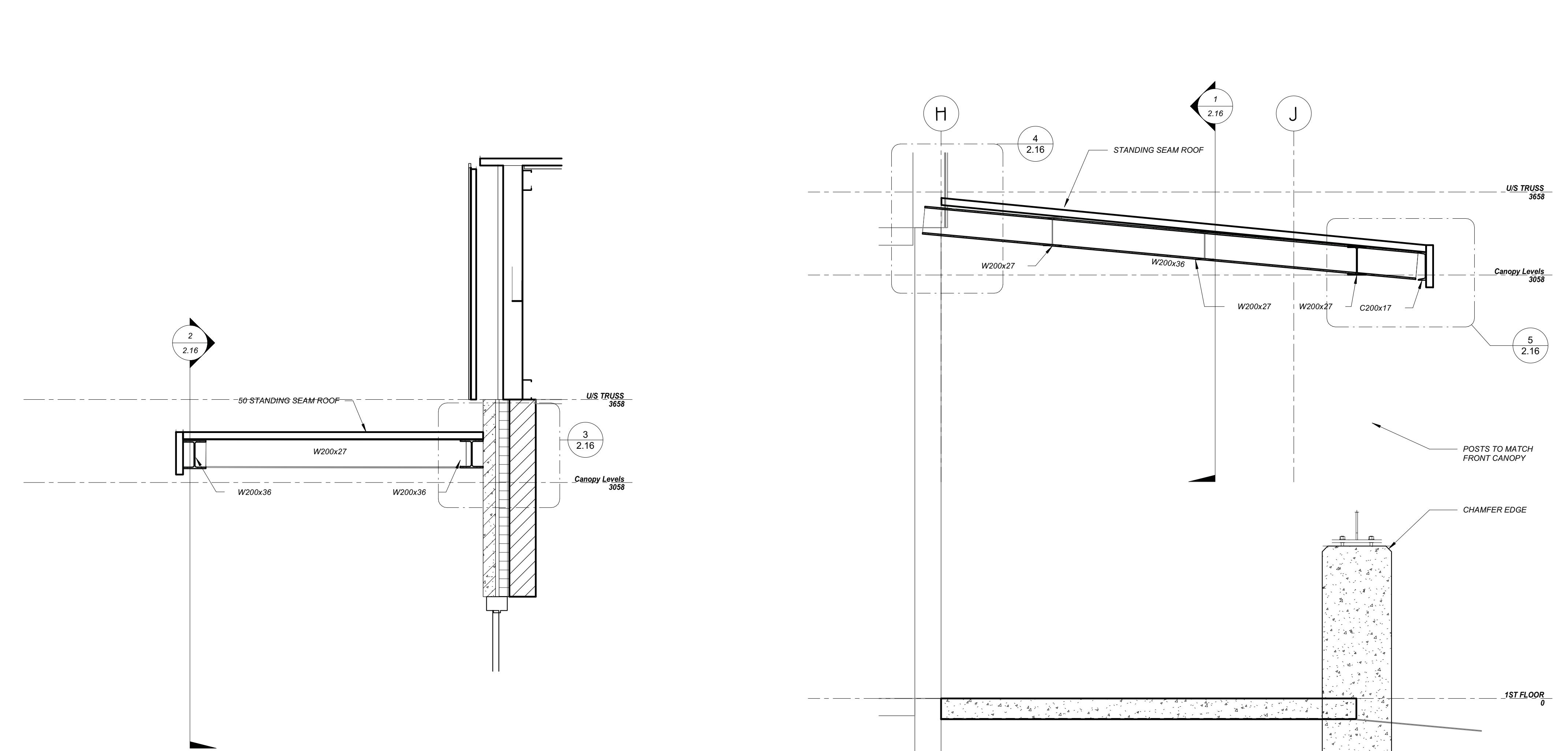
300 YORK BLVD HAMILTON, ONTARIO L8R 3K6, PH. 905-333-9119

EMILY-OMEMEE ADDITION/RENOVATION PHASE 2

212 STURGEON ROAD

ONTARIO

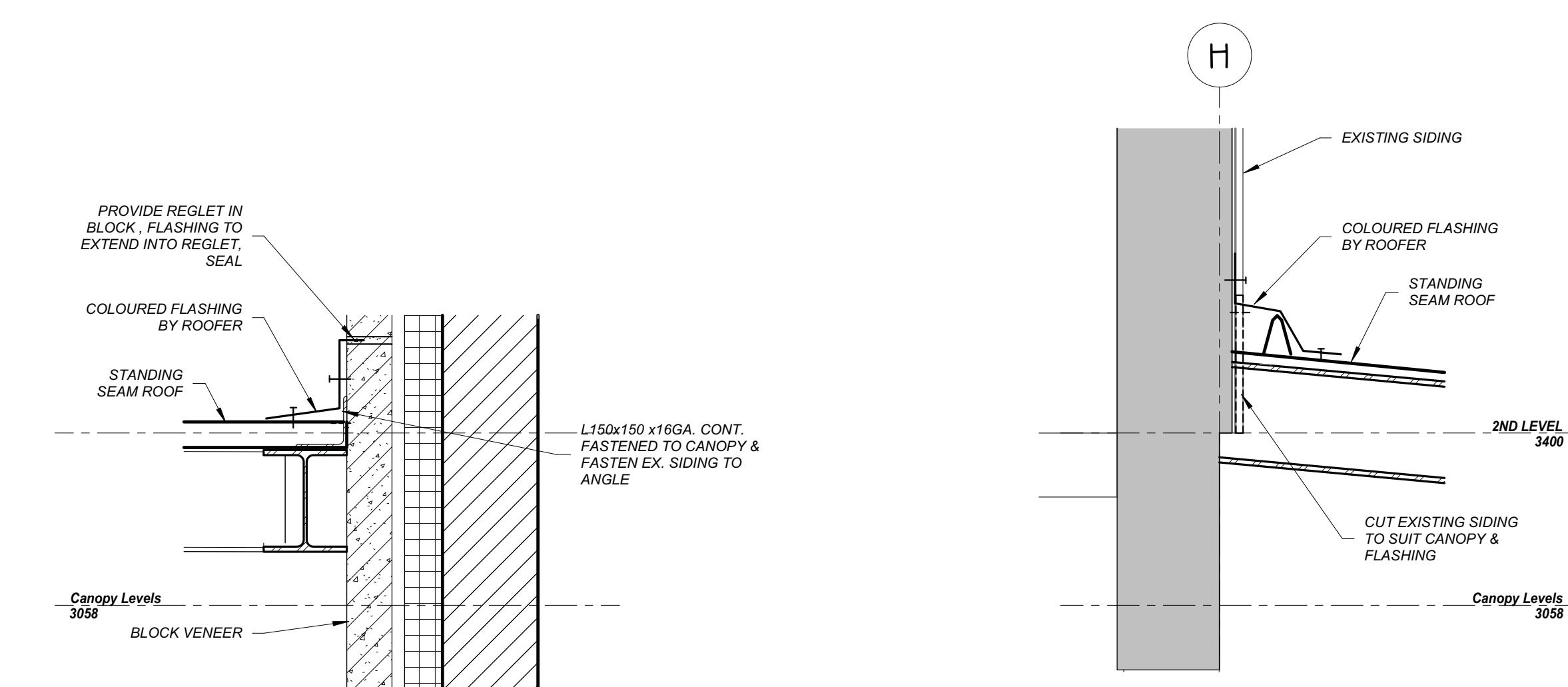
SECTIONS I



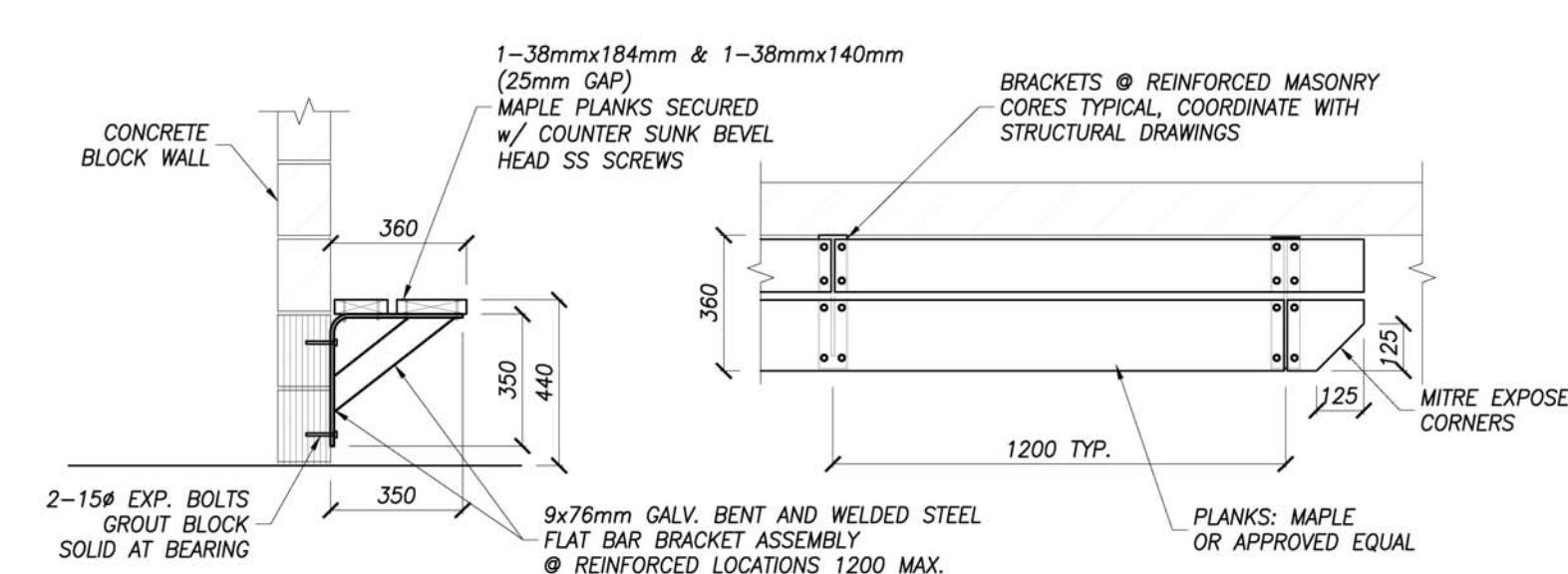
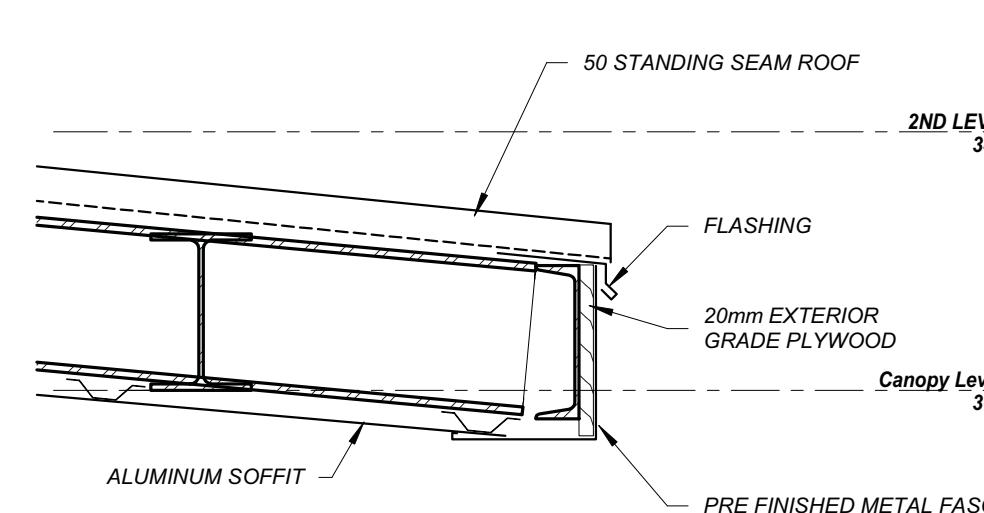
CANOPY BASE PHASE 2
SCALE 1:10

PIER DETAIL PHASE 2
SCALE 1:10

SIDE ENTRANCE SECTION 1
SCALE: 1:20 2.16



SIDE ENTRANCE SECTION 2
SCALE: 1:20 2.16



BRACKET SECTION
SCALE: 1:20

BRACKET PLAN
SCALE: 1:20

CANOPY FLASHING AT BLOCK 3
SCALE: 1:10 2.16

CANOPY FLASHING DETAIL AT WALL 4
SCALE: 1:10 2.16

CANOPY FLASHING PHASE 2 5
SCALE: 1:10 2.16

PROVISIONAL PRICE LIST

PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERNS FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPDATES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE, NEW CEILING TILES (PVC), NEW KITCHEN CABINETS, NEW SINK, NEW TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING
5	PAVE GRANULAR PARKING LOT

KALOS
ENGINEERING

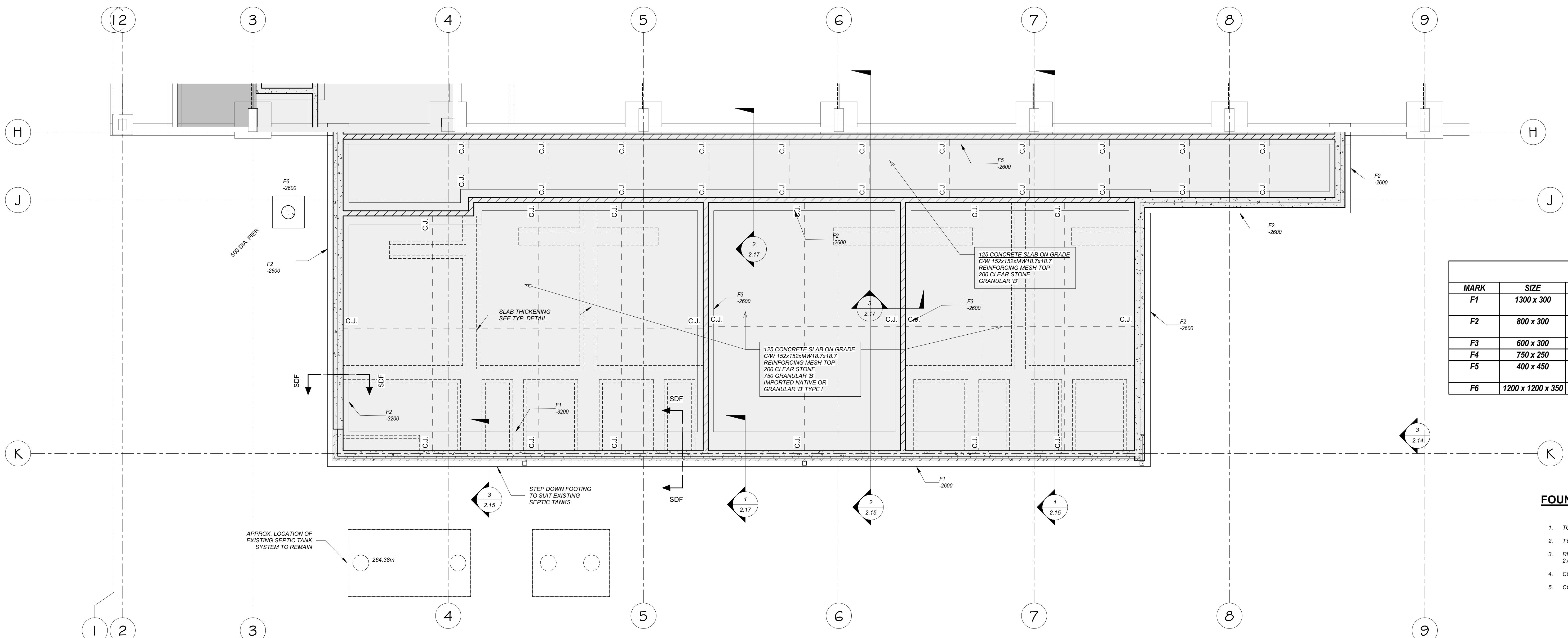
300 YORK BLVD HAMILTON, ONTARIO L8R 3K6, PH. 905-333-9119

**EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2**

OMEMEE ONTARIO

SECTIONS 2

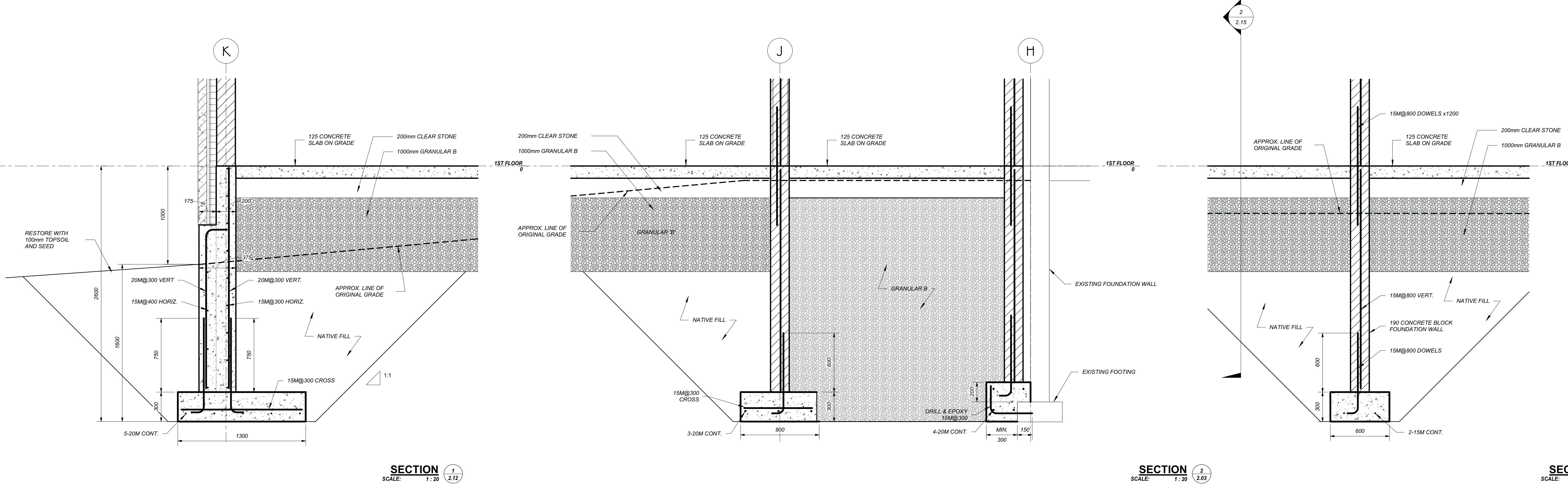
DATE: OCTOBER 2025	DRAWN BY: T.W.	DRAWING No: 2.16
PROJECT No: 24002C	CHECKED BY: H.A.P.H.	



FOUNDATION PLAN - ADDITION
SCALE: 1:75

FOUNDATION NOTES

- TOP OF FLOOR SLAB ELEV = 0 (265.90m) UNLESS NOTED OTHERWISE.
- TYPICAL U/S FOOTING = 2600 U.N.O.
- REFER TO 2.22 FOR TYPICAL FOUNDATION DETAILS AND 2.01 FOR CONCRETE NOTES.
- COORDINATE PIER ANCHOR BOLT LAYOUT WITH COLUMN BASE PLATES.
- CONTRACTOR TO PROVIDE PROVISIONS FOR DE-WATERING PER THE GEOTECHNICAL REPORT.



PROVISIONAL PRICE LIST

PROVISIONAL PRICE No	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR TIE-IN UPDATES TO INCLUDE PAINTING MASONRY, REWIRE, REWIRING, NEW CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK POWER FOR NEW ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT

1	25-10-31	DATE
No.		PHASE 2 ISSUED FOR TENDER
REVISIONS		

H.A.P. HUIEMA
LICENSED PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO
25-10-31

KALOS
ENGINEERING

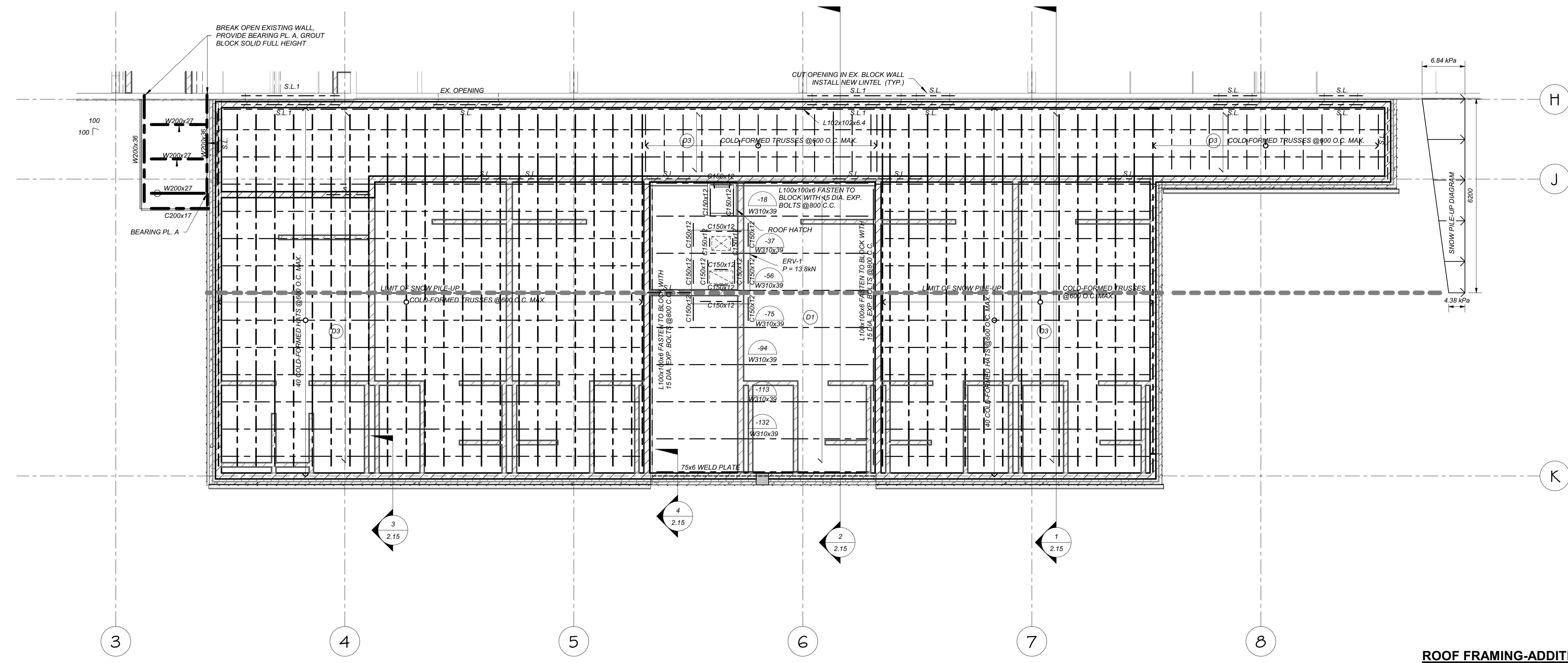
300 YORK BLVD HAMILTON, ONTARIO L8R 3K6, PH. 905-333-9119

EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2

OMEMEE 212 STURGEON ROAD ONTARIO

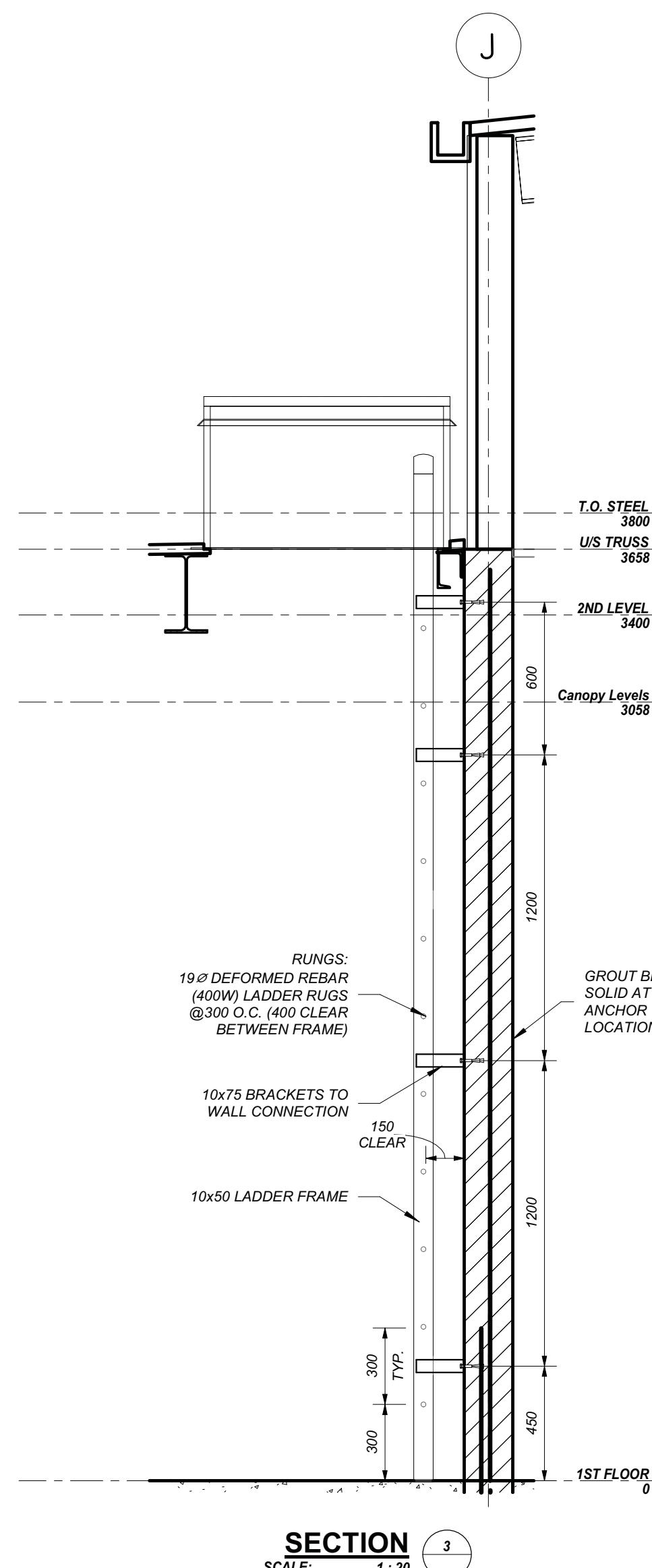
DRESSING ROOM ADDITION
FOUNDATION PLAN

DATE: OCTOBER 2025 DRAWN BY: T.W. DRAWING No: 2.17
PROJECT No: 24002 C CHECKED BY: H.A.P.H.



ROOF FRAMING-ADDITION

SCALE 1 : 75



PROVISIONAL PRICE LIST

PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE, NEW CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT

90 YORK BLVD HAMILTON, ONTARIO L8R 3K6, PH. 905-333-9119

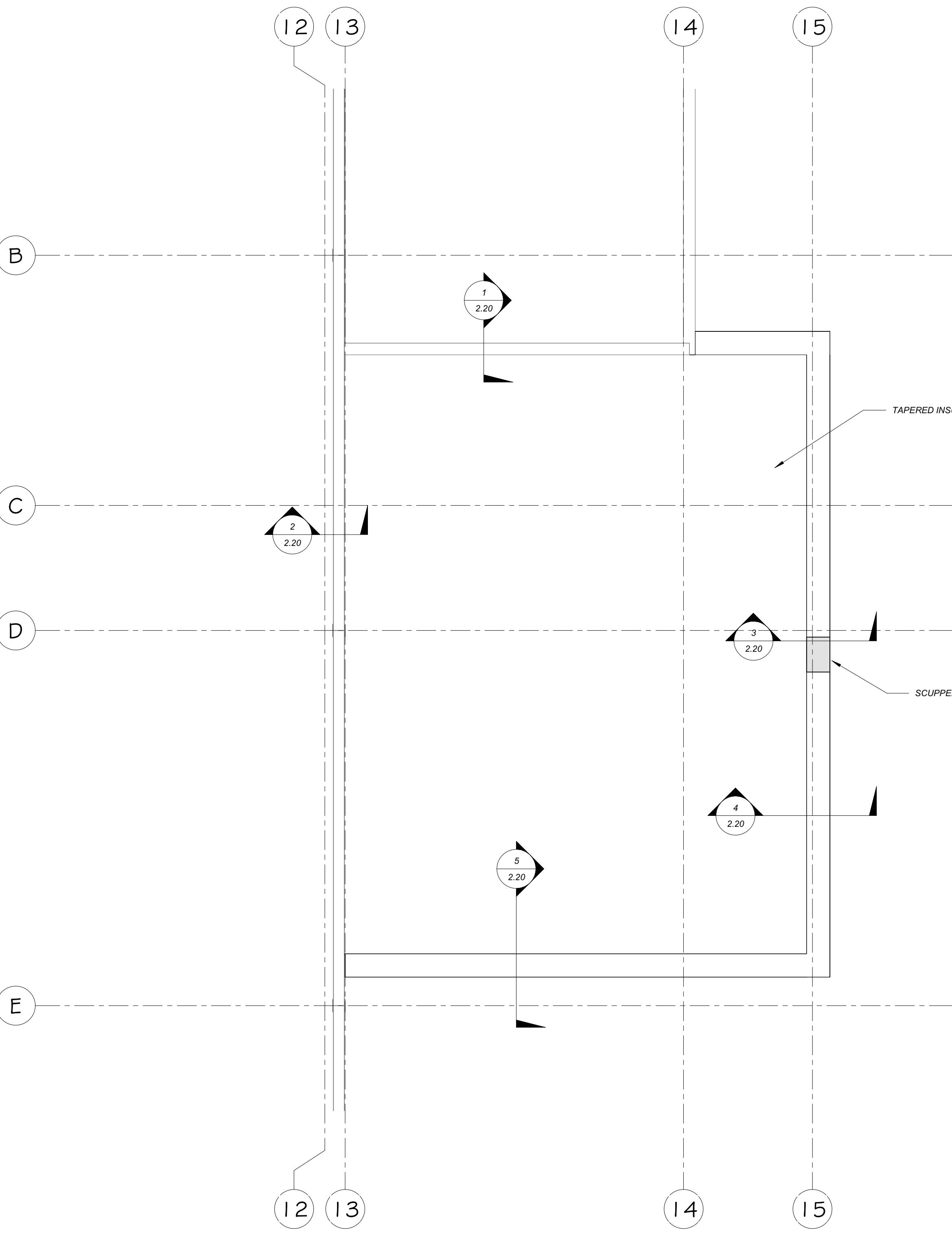
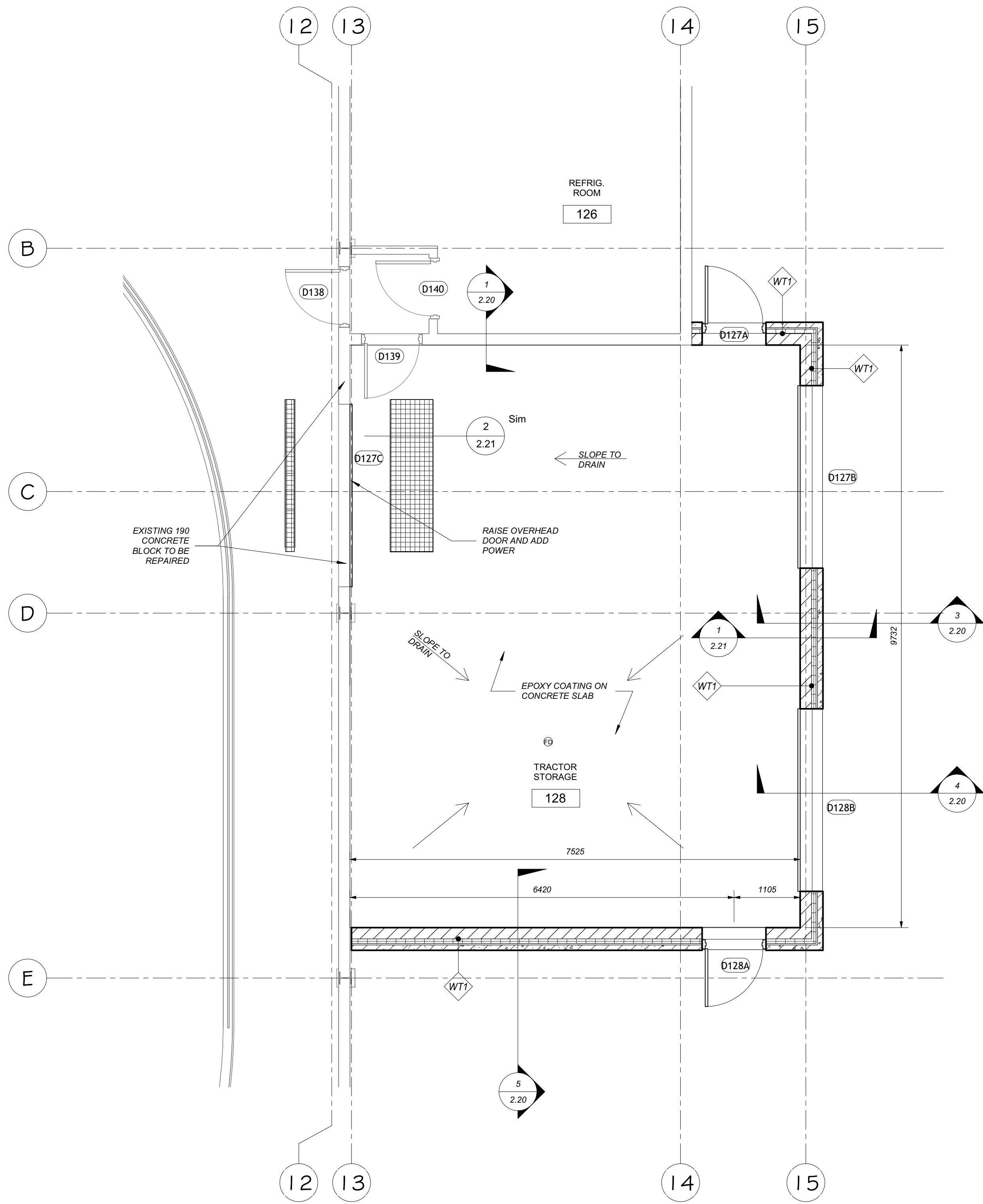
EMILY-OMEMEE ADDITION/RENOVATION

PHASE 2

212 STURGEON ROAD

DRESSING ROOM ADDITION ROOF FRAMING PLAN

BER 2025	DRAWN BY: T.W.	DRAWING No:
CT No:	CHECKED BY:	2.18

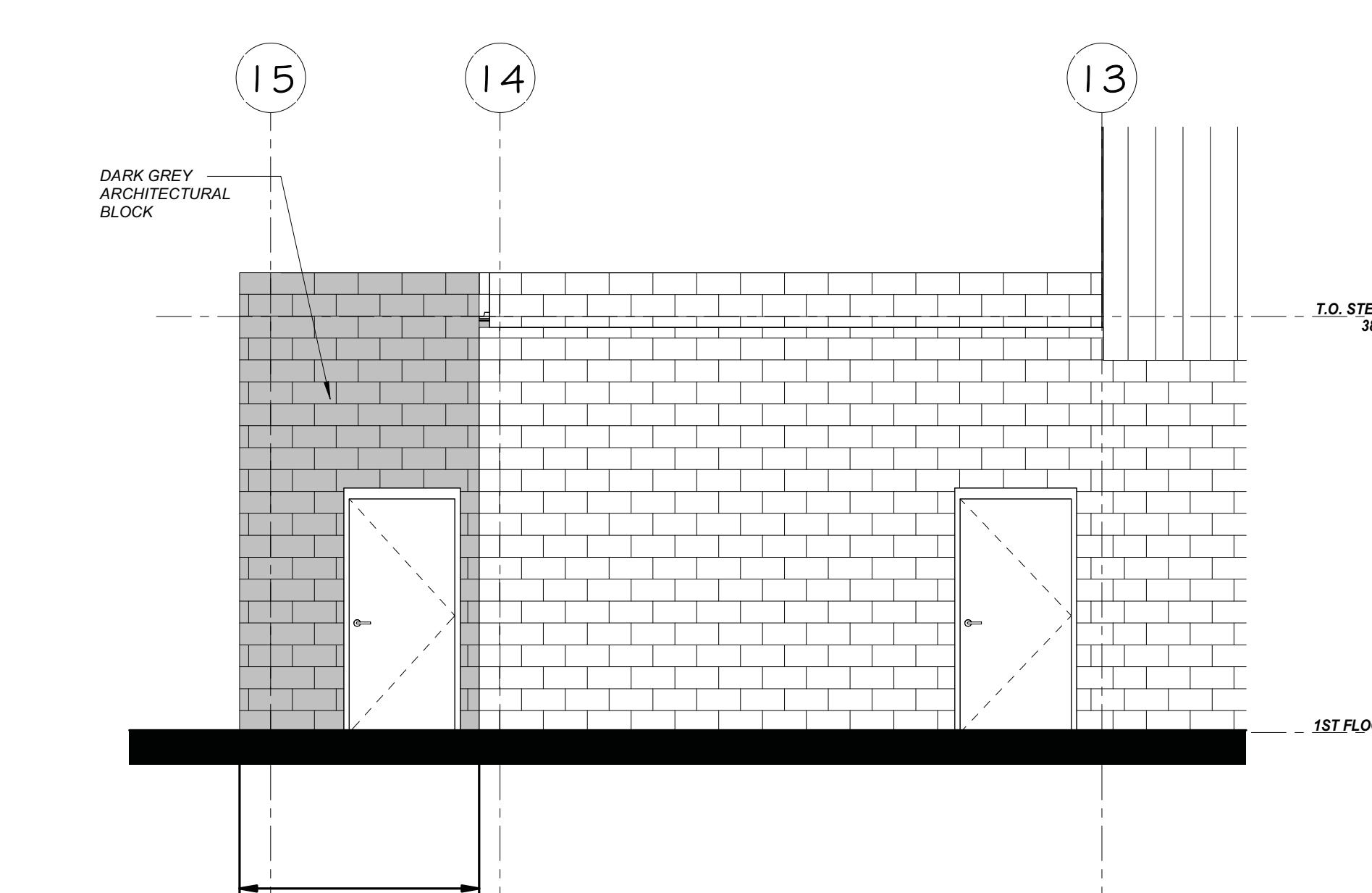
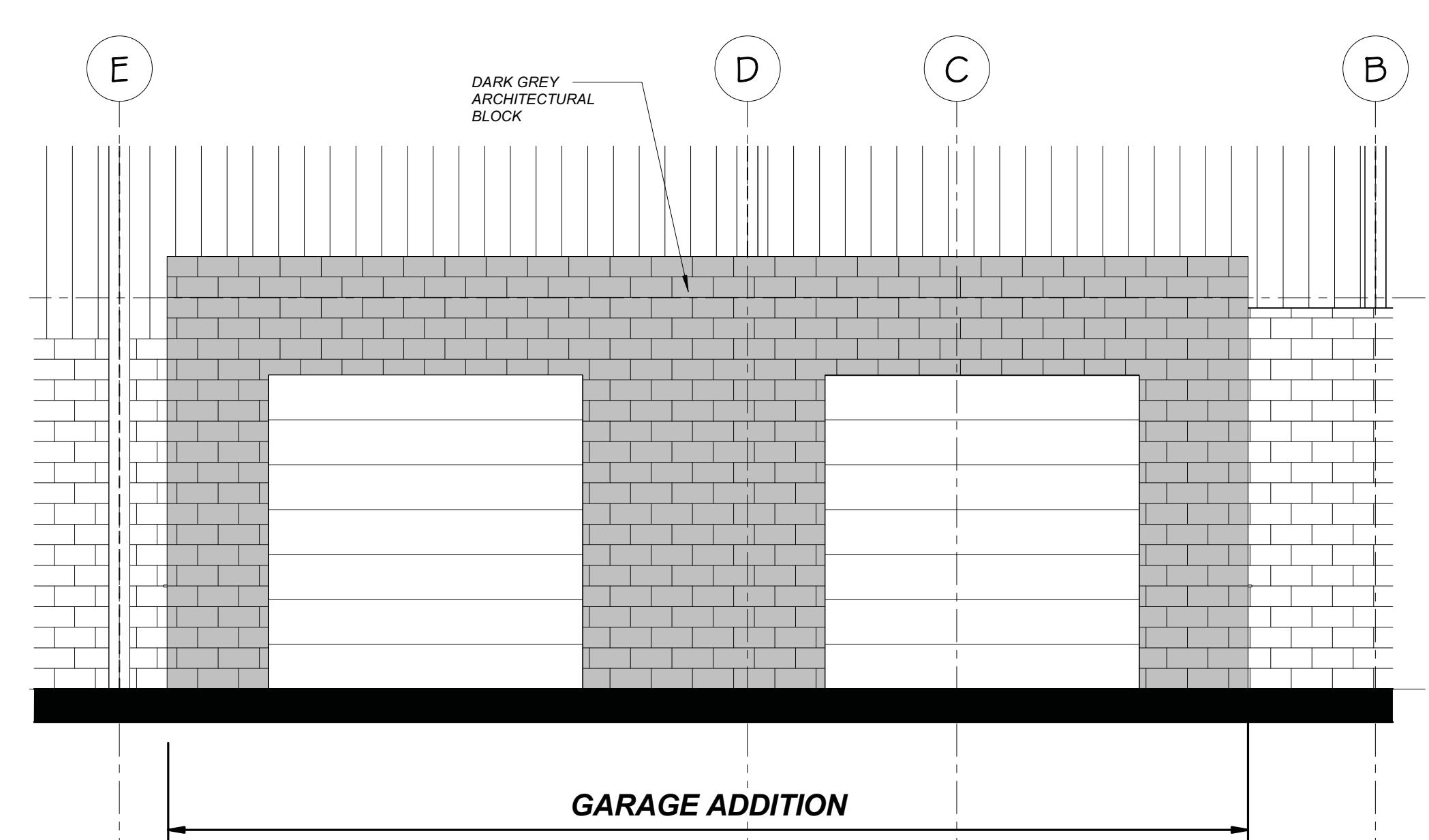
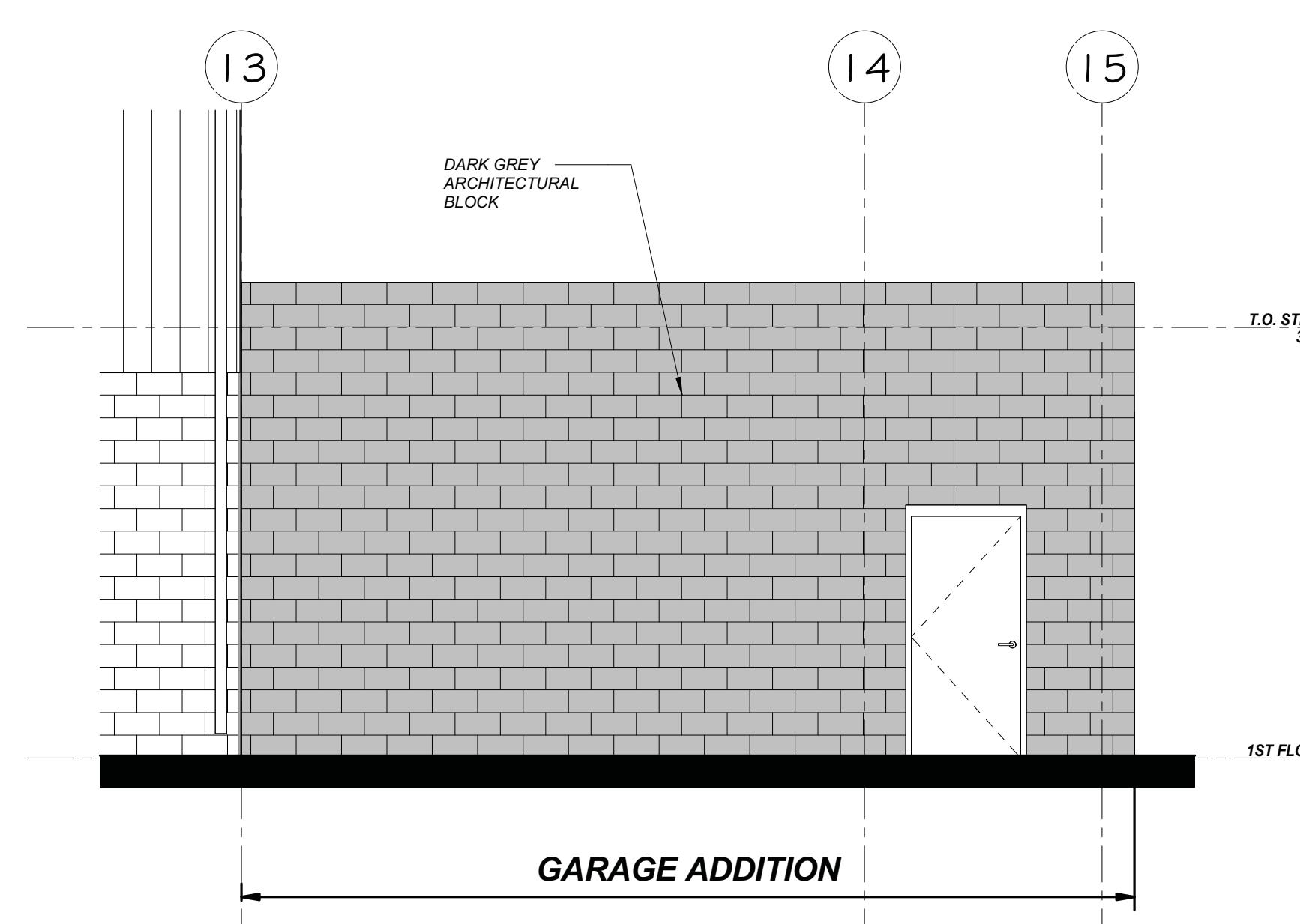


WALL SCHEDULE PHASE 2	
MARK	WALL TYPE
WT1	EXTERIOR - 190 CBW w/75 RIGID & 90 BLOCK VENEER
WT2	190 CBW W/75 RIGID ON EXISTING WALL
WT3	190 CONCRETE BLOCK WALL
WT4	140 CONCRETE BLOCK WALL
WT5	190 POLISHED CONCRETE BLOCK WALL
WT6	90 CONCRETE BLOCK WALL

REFER TO ELECTRICAL DRAWINGS FOR LIGHTING

DECK SCHEDULE	
Type Mark	Type
D1	38 STEEL ROOF DECK
D2	38 STEEL DECK W/ 62 CONCRETE TOPPING
D3	STANDING SEAM ROOF

PROVISIONAL PRICE LIST	
PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERNS FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE. NEW CEILING TILES (RETAIN GRID & LIGHTS). REMOVE PROPANE TANK. POWER FOR NEW ELECTRIC STOVES. PAINTING.
5	PAVE GRANULAR PARKING LOT



SOUTH REAR ELEVATION
SCALE 1:50

EAST REAR ELEVATION
SCALE 1:50

NORTH REAR ELEVATION
SCALE 1:50

1	25-10-31	DATE
No.	PHASE 2 ISSUED FOR TENDER	
REVISIONS		

LICENCED PROFESSIONAL ENGINEER
H.A.P. HUIJTEMA
25-10-31
PROVINCE OF ONTARIO

KALOS
ENGINEERING

300 YORK BLVD HAMILTON, ONTARIO L8R 3K6, PH. 905-333-9119

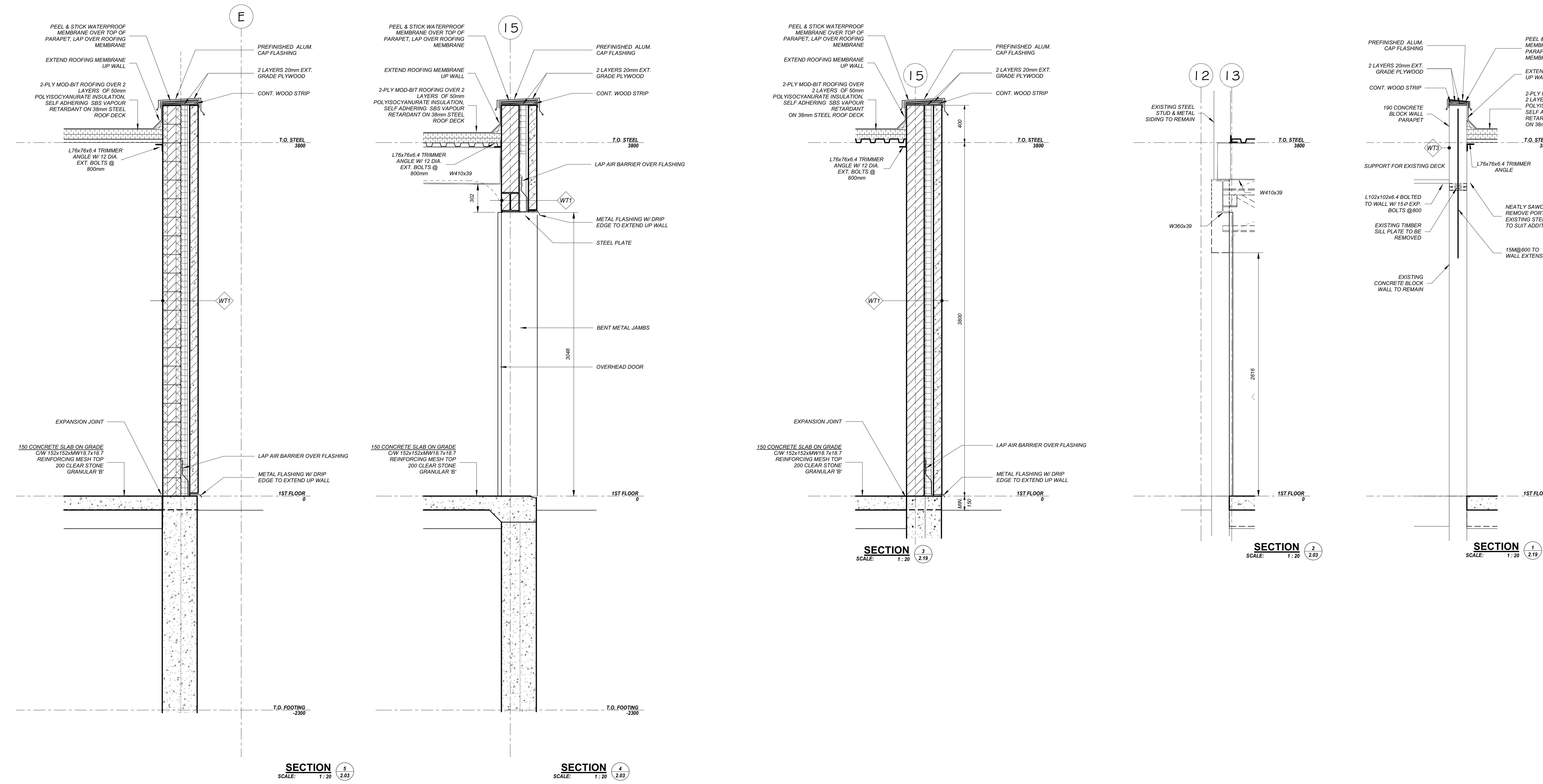
EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2

212 STURGEON ROAD

ONTARIO

RESURFACER GARAGE ADDITION
FLOOR PLANS AND ELEVATIONS

DATE: OCTOBER 2025 DRAWN BY: T.W. DRAWING NO: 2.19
PROJECT NO: 24002 C CHECKED BY: H.A.P.H.



PROVISIONAL PRICE LIST

PROVISIONAL PRICE LIST	
PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE, NEW CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT

The logo for Kalos Engineering features a stylized green 'K' icon followed by the company name 'KALOS ENGINEERING' in a bold, sans-serif font.

EMILY-OMEMEE ADDITION/RENOVATION PHASE 2

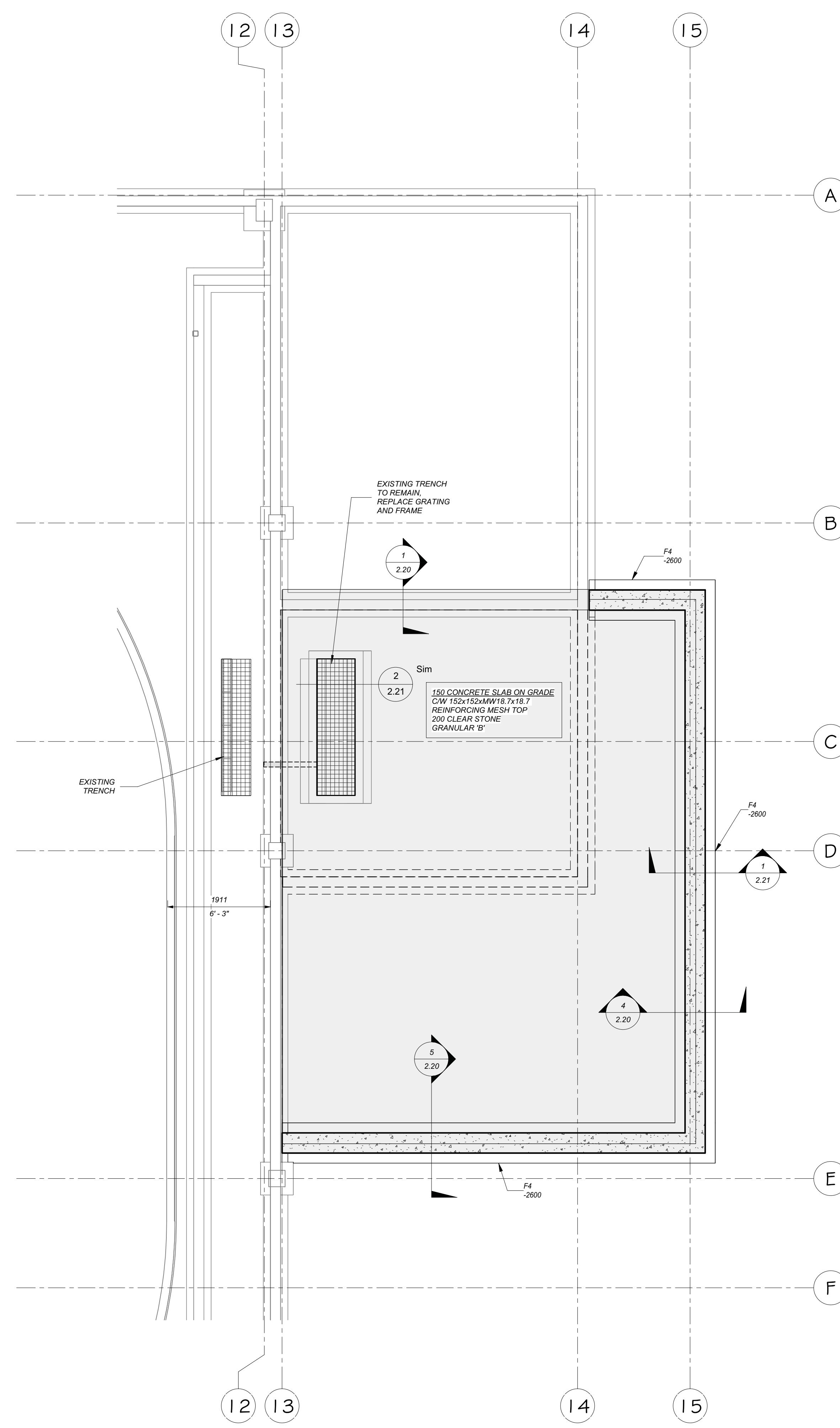
PHASE 2

212 STURGEON ROAD

EE **ONTARIO**

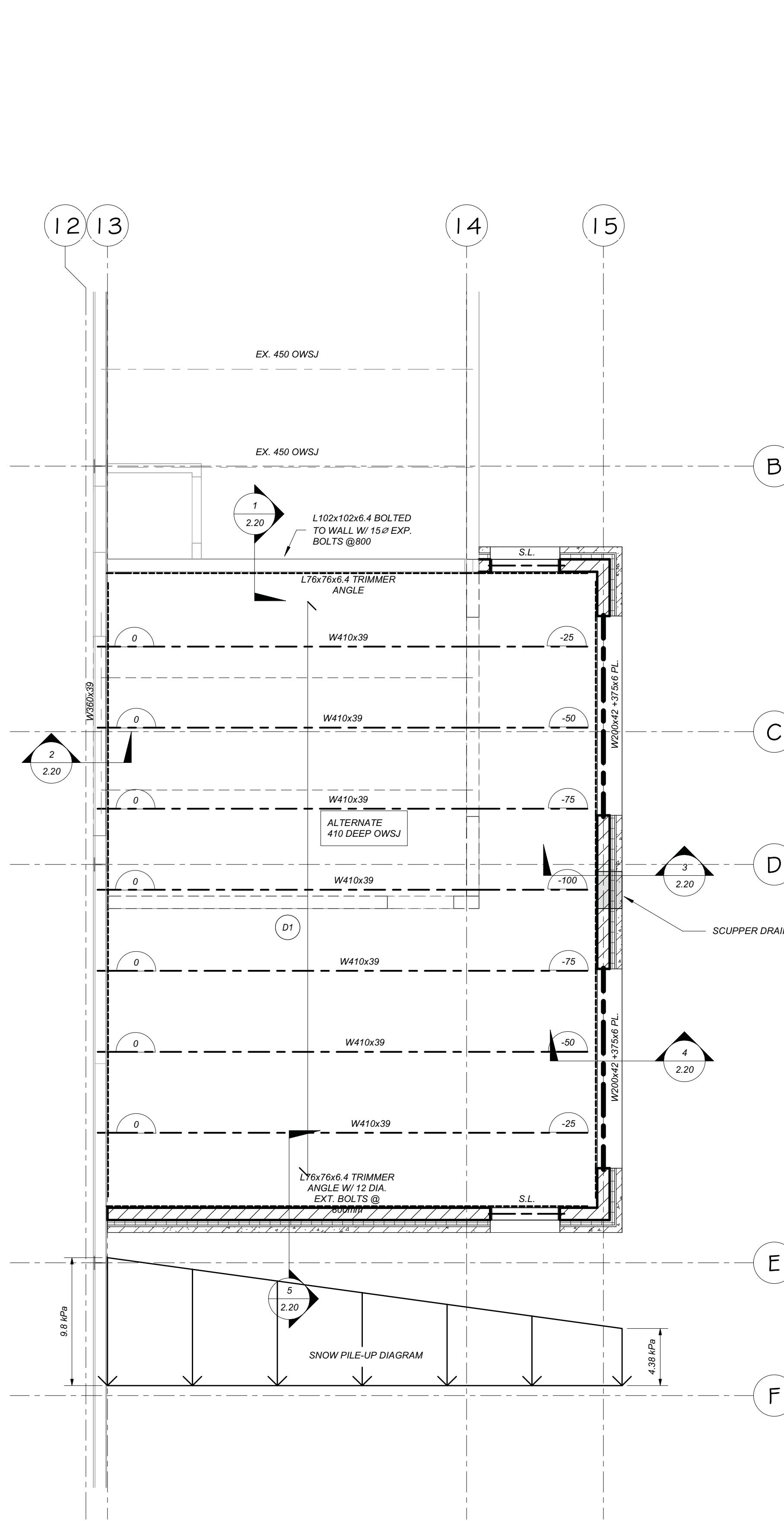
RESURFACER GARAGE ADDITION SECTIONS

BER 2025	DRAWN BY: T.W.	DRAWING No:
CT No: C	CHECKED BY: H.A.P.H.	2.20



GARAGE ADDITION FOUNDATION PLAN

FOOTING SCHEDULE				
MARK	SIZE	FOOTING TYPE	REINFORCING FOOTING	U/S OF FOOTING ELEVATION
F1	1300 x 300	Strip Footings	5-20M CONT. & 15M@300 CROSS	<varies>
F2	800 x 300	Strip Footings	3-20M CONT. & 15M@300 CROSS	<varies>
F3	600 x 300	Strip Footings	2-15M CONT.	-2600
F4	750 x 250	Strip Footings	3-15M CONT.	-2600
F5	400 x 450	Strip Footings	4-20M CONT. & 15M DOWELS @300	-2600
F6	1200 x 1200 x 350		5-20M B.E.W.	<varies>



GARAGE ADDITION ROOF PLAN

DECK SCHEDULE	
Type	Mark
D1	38 STEEL ROOF DECK
D2	38 STEEL DECK W/ 62 CONCRETE TOPPING
D3	STANDING SEAM ROOF

FOUNDATION NOTE

1. *TOP OF FLOOR SLAB ELEV. = 0 (265.90m) UNLESS NOTED OTHERWISE.*
 2. *TYPICAL U/S FOOTING = -2600 U.N.O. (TO MATCH EXISTING)*
 3. *REFER TO 2.22 FOR TYPICAL FOUNDATION DETAILS AND
2.01 FOR CONCRETE NOTES.*
 4. *COORDINATE PIER, ANCHOR BOLT LAYOUT WITH COLUMN BASE PLATES.*
 5. *CONTRACTOR TO PROVIDE PROVISIONS FOR DE-WATERING PER THE GEOTECHNICAL REPORT.*

FRAMING NOTES

1. TOP OF STEEL ELEVATION 3658 UNLESS NOTED THUS +0.0 
 2. REFER TO DRAWING 2.01 FOR NOTES AND DRAWING 2.22 FOR STANDARD DETAILS AND DRAWING 2.01 FOR CONCRETE BLOCK WALL REINFORCING.
 3. REFER TO MECH'L AND ELEC'L DWGS. FOR SIZE AND LOCATION OF ALL OPENINGS IN BLOCK WALLS. SEE LINTEL SCHEDULE DRAWINGS 2.23 FOR LINTEL SIZES.
 4. PROVIDE TEMPORARY SUPPORT UNDER ALL BEAMS UNTIL THEY ARE LATERALLY SUPPORTED.
 5. PROVIDE STEEL LINTELS FOR ALL OPENINGS AS SHOWN ON ARCHITECTURAL, MECHANICAL & ELECTRICAL DRAWINGS. (NOT ALL SHOWN ON THIS DRAWING) REFER TO 2.33 FOR SIZES.
 6. COORDINATE PLUMBING WITH CONCRETE BLOCK WALL REINFORCING.

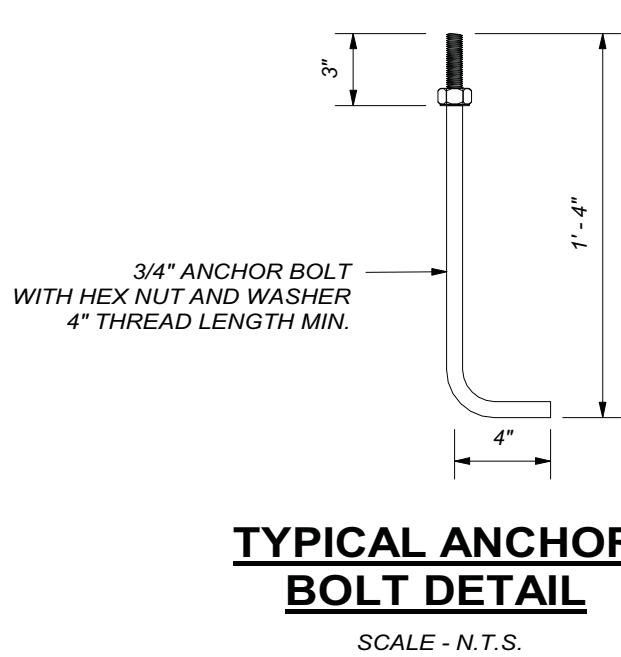
PROVISIONAL PRICE LIST

PROVISIONAL PRICE LIST	
PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE, NEW CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT

KALOS
ENGINEERING

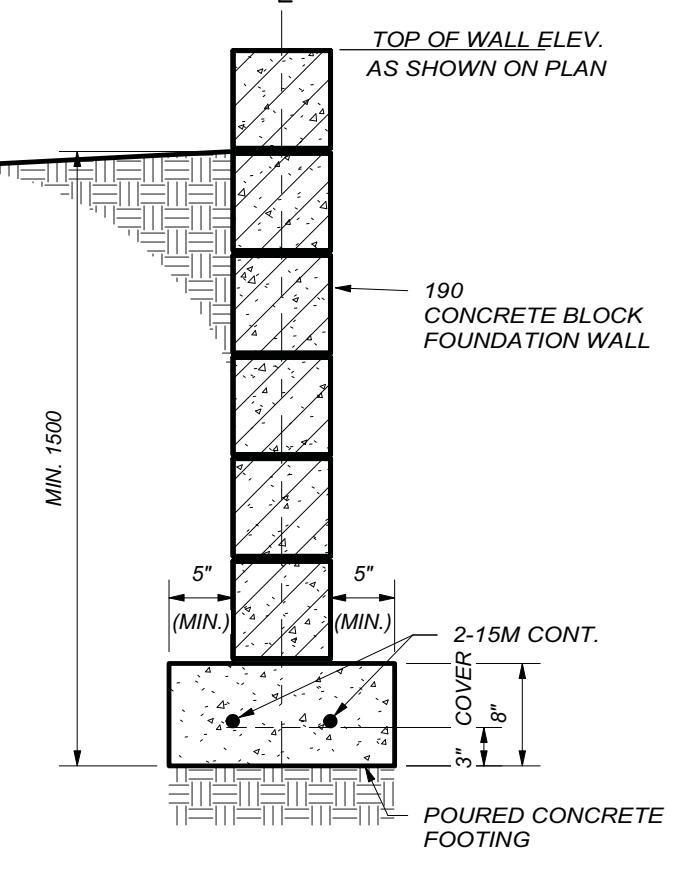
EMILY-OMEMEE ADDITION/RENOVATION PHASE 2

DATE: OCTOBER 2025	DRAWN BY: T.W.	DRAWING No:
PROJECT No: 24002 C	CHECKED BY: H.A.P.H.	2.21



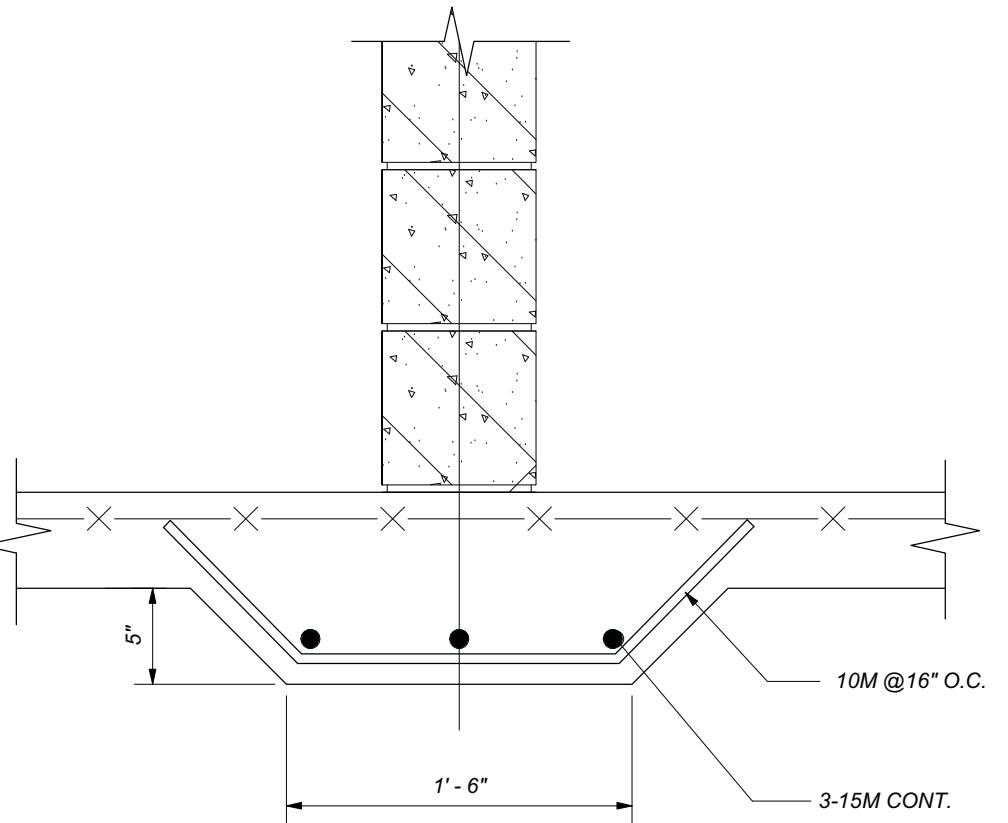
TYPICAL ANCHOR BOLT DETAIL

SCALE - N.T.S.

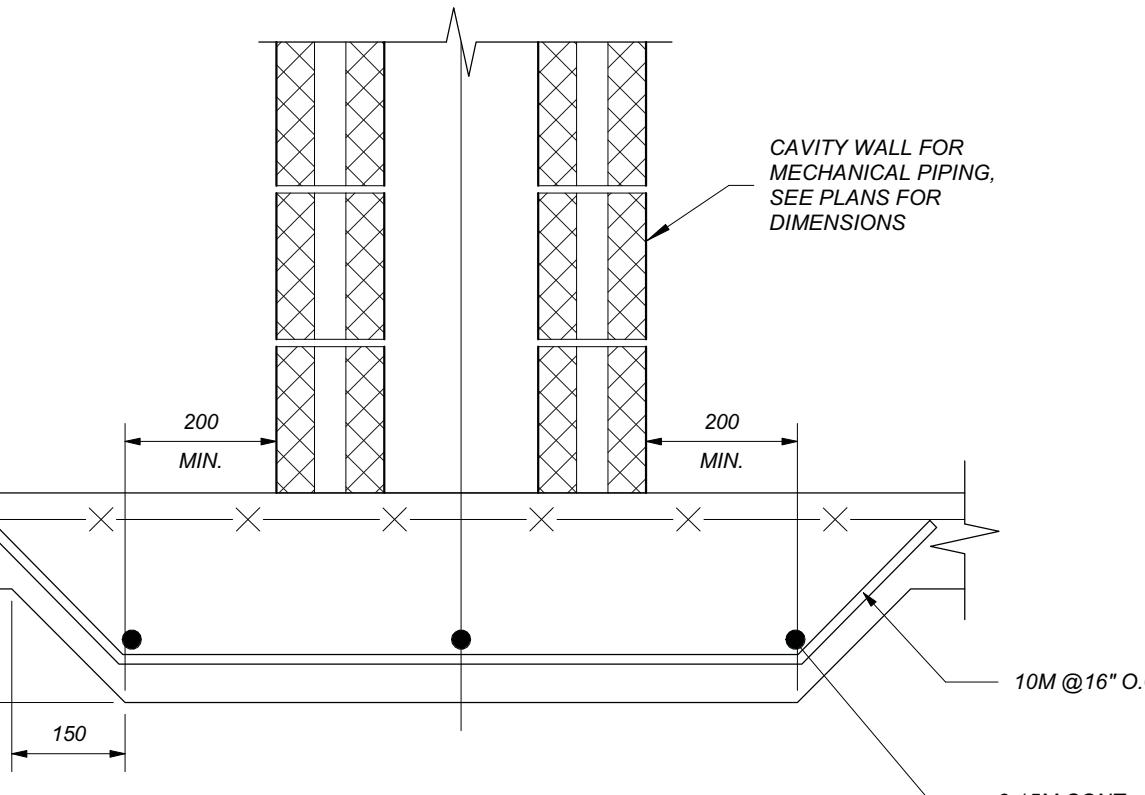


TYPICAL CONCRETE BLOCK STRIP FOOTING DETAIL

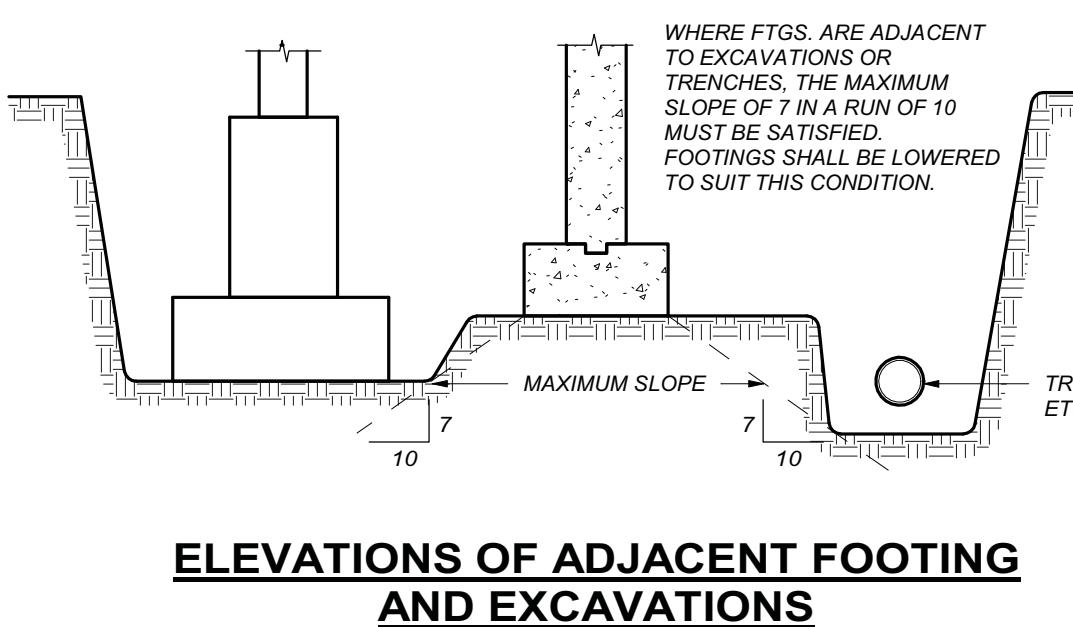
NOT TO SCALE



THICKENING OF SLAB-ON-GRADE UNDER PARTITION WALL

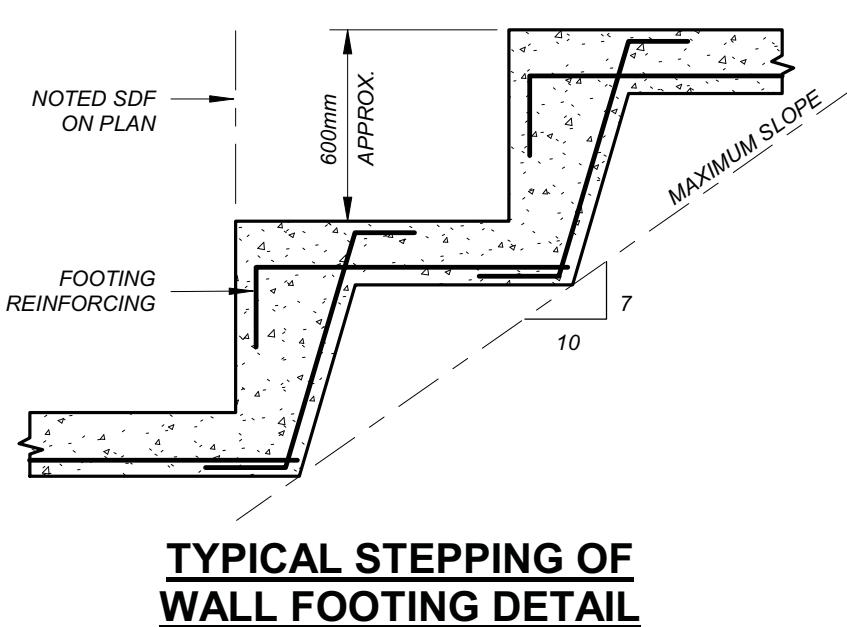


THICKENING OF SLAB-ON-GRADE UNDER MECHANICAL PARTITION WALL



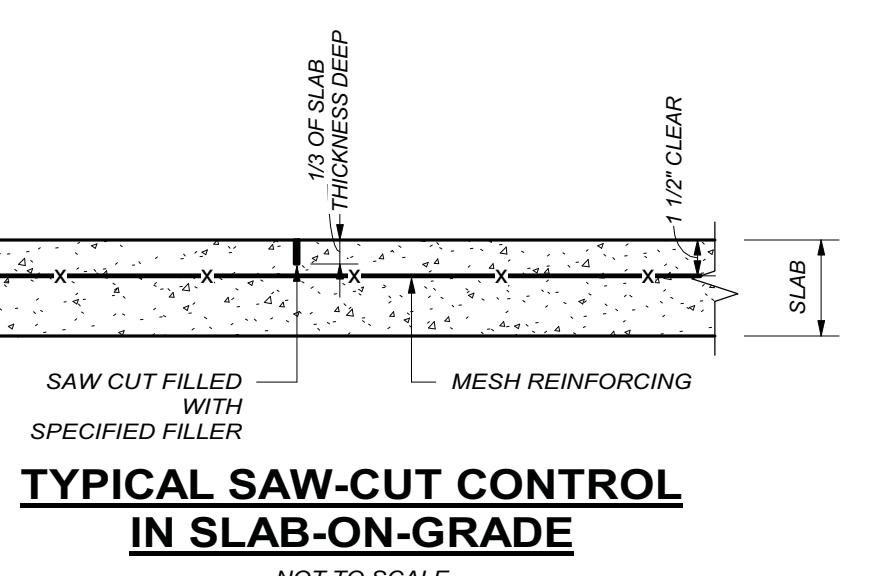
ELEVATIONS OF ADJACENT FOOTING AND EXCAVATIONS

NOT TO SCALE



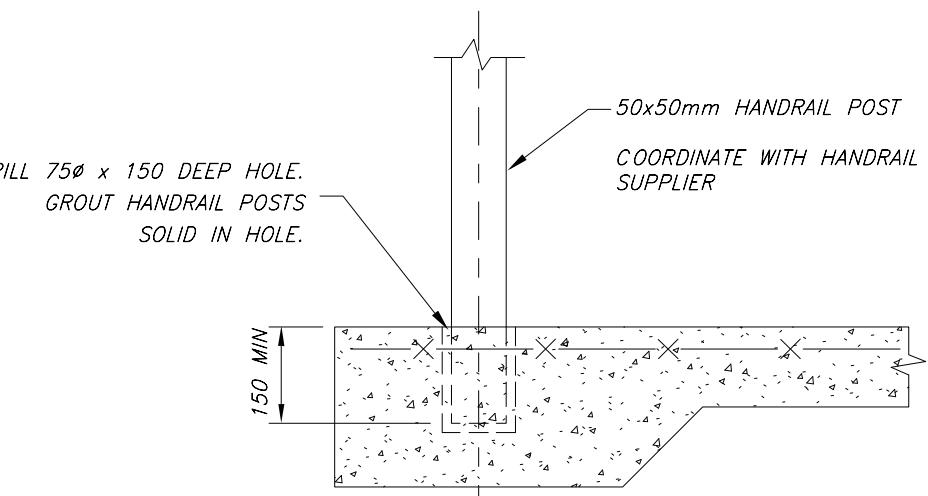
TYPICAL STEPPING OF WALL FOOTING DETAIL

NOT TO SCALE



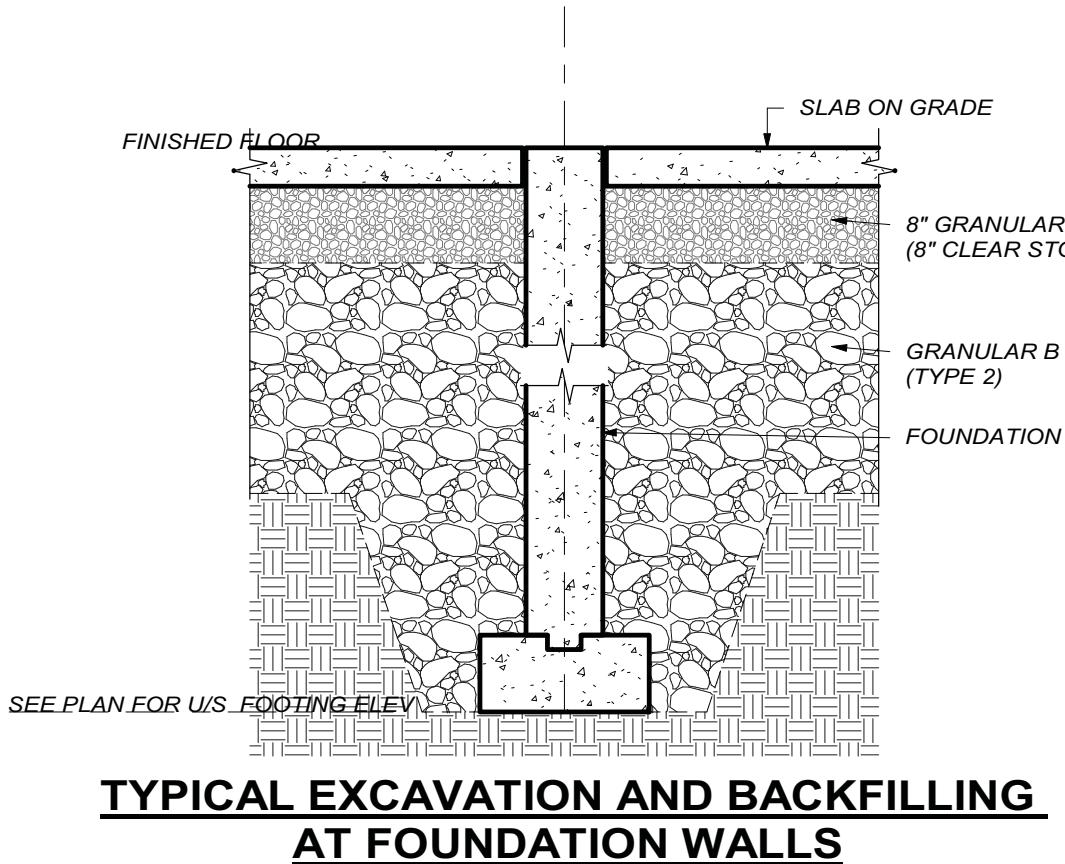
TYPICAL SAW-CUT CONTROL IN SLAB-ON-GRADE

NOT TO SCALE



TYPICAL DETAIL FOR HANDRAIL ANCHORAGE

NOT TO SCALE

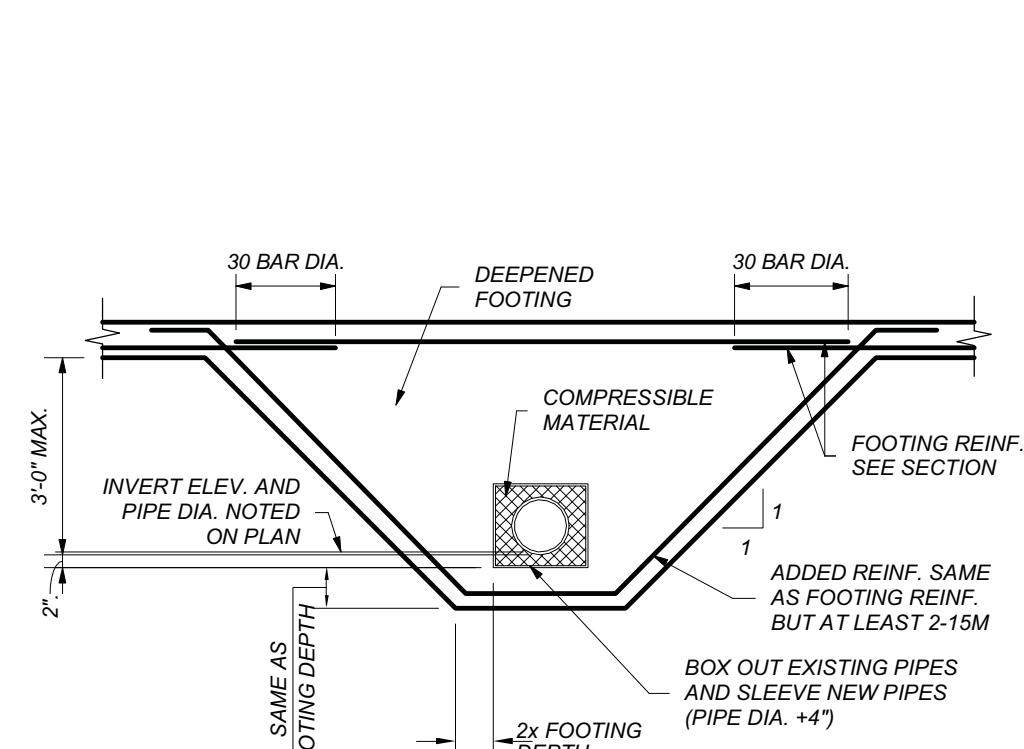


TYPICAL EXCAVATION AND BACKFILLING AT FOUNDATION WALLS

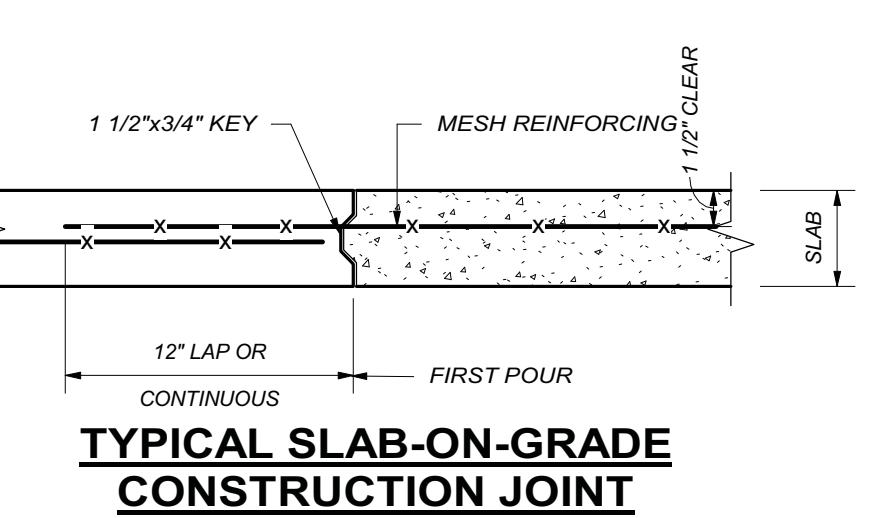
NOT TO SCALE

(REQUIRED BOTH SIDES OF ALL INTERIOR AND EXTERIOR FOUNDATION WALLS)
(REINFORCING NOT SHOWN FOR CLARITY)

NOTE: NATIVE SOIL IS UNSUITABLE FOR BACKFILL

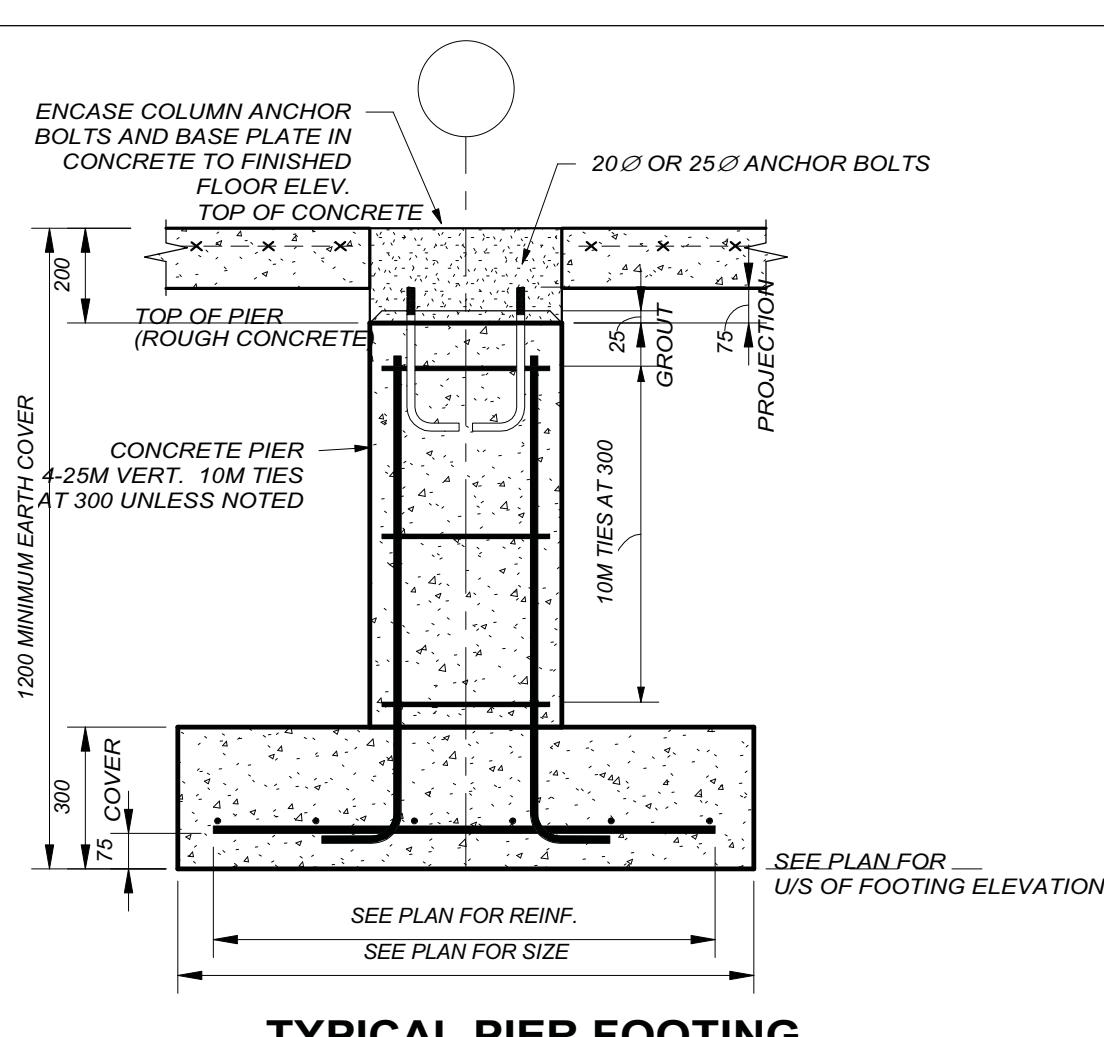


SERVICE PIPE FOOTING DETAIL



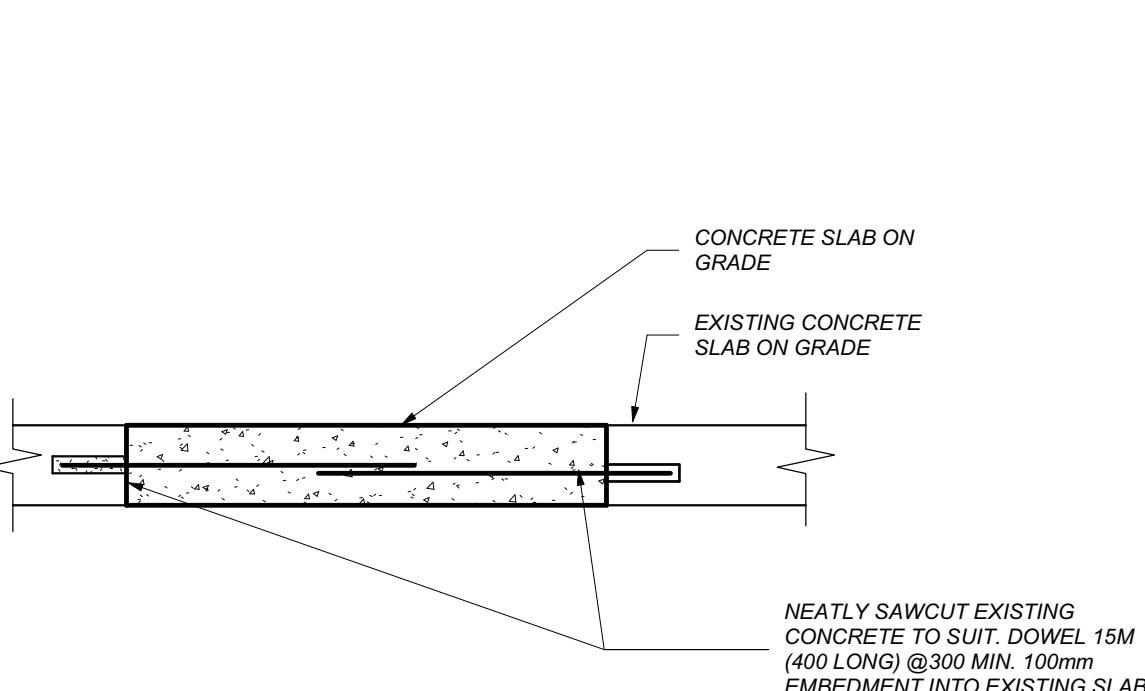
TYPICAL SLAB-ON-GRADE CONSTRUCTION JOINT

NOT TO SCALE



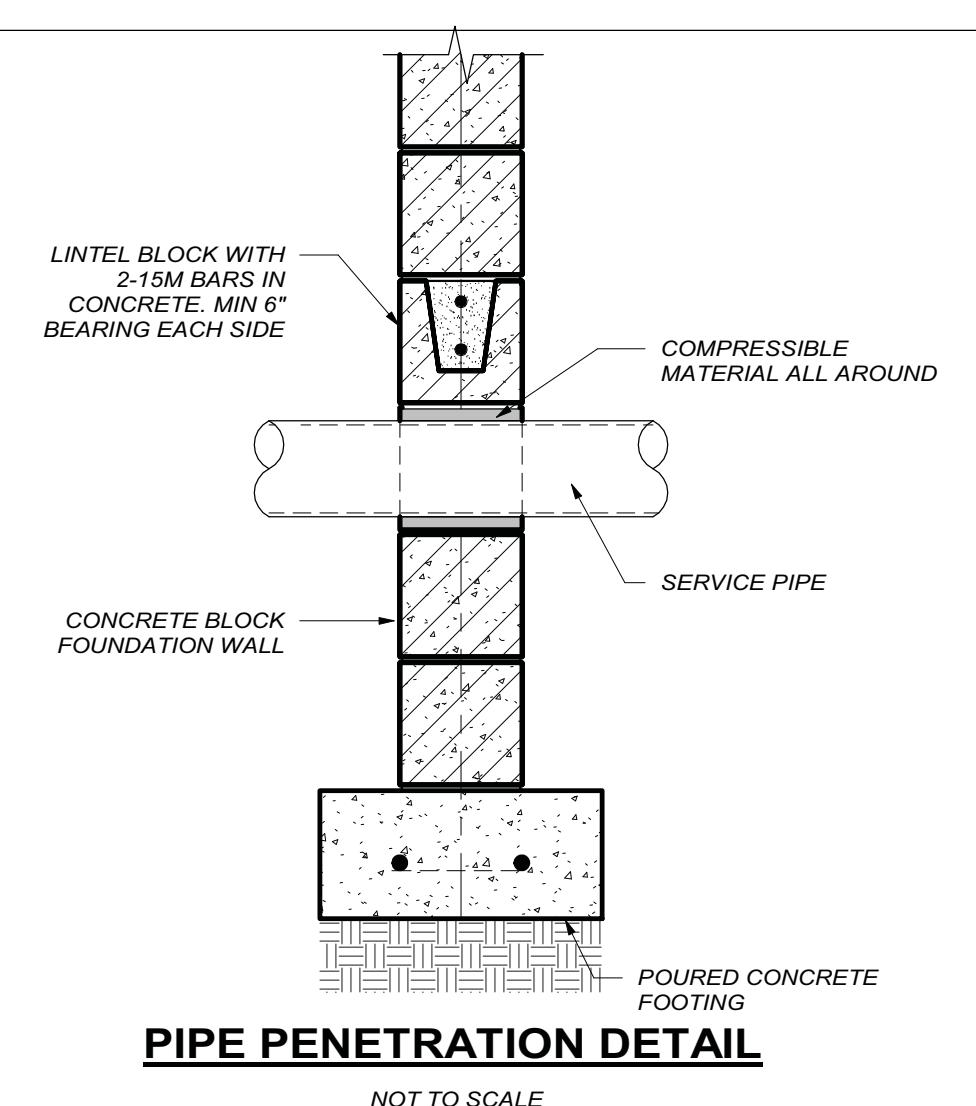
TYPICAL PIER FOOTING

PWD DATE: 2025-10-06 03:14:45 AM



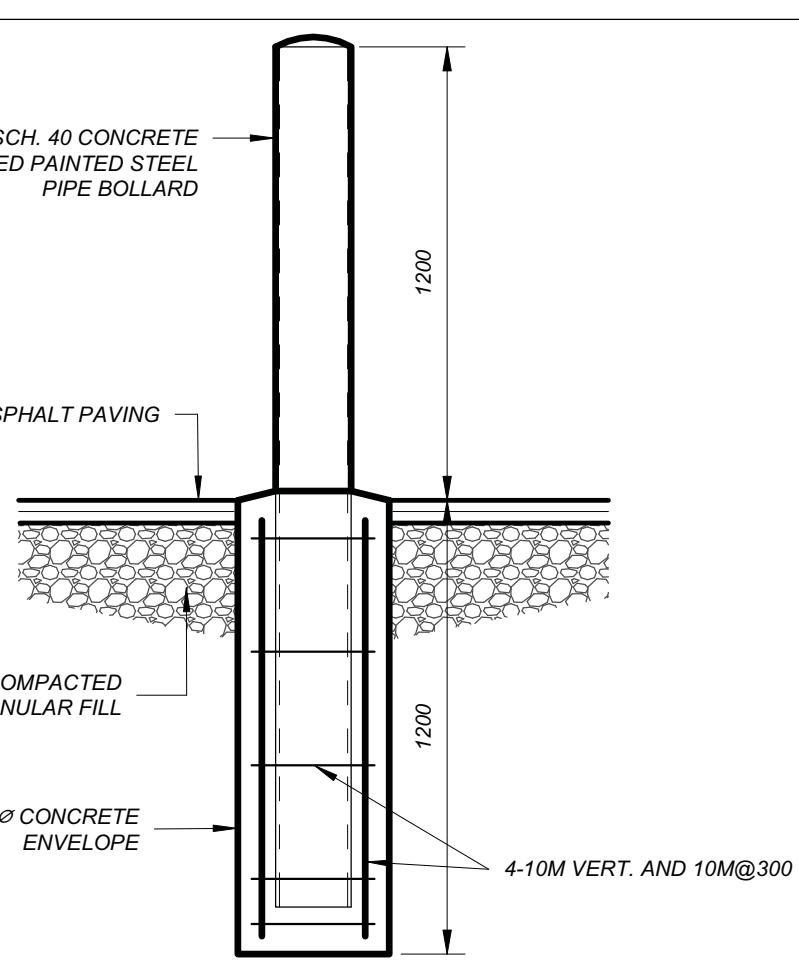
TYPICAL Poured CONCRETE STRIP FOOTING

NOT TO SCALE

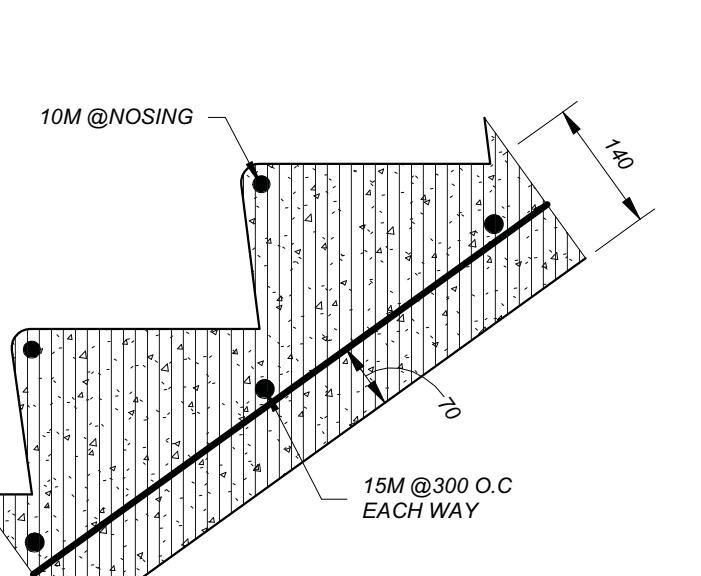


PIPE PENETRATION DETAIL

NOT TO SCALE



TYPICAL BOLLARD DETAIL



TYPICAL CAST IN PLACE STAIR REINFORCING

PROVISIONAL PRICE LIST

PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPDATES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE. NEW CEILING TILES (PAINTED), NEW LIGHT FIXTURES, NEW PROPANE TANK, POWER FOR WINE ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT

1	25-10-31	DATE
No.		PHASE 2 ISSUED FOR TENDER
REVISIONS		
H.A.P. HUIJTEMA PROFESSIONAL ENGINEER 25-10-31 PROVINCE OF ONTARIO		

KALOS
ENGINEERING


300 YORK BLVD HAMILTON, ONTARIO L8R 3K6, PH. 905-333-9119

EMILY-OMEMEE ADDITION/RENOVATION PHASE 2

OMEMEE 212 STURGEON ROAD ONTARIO

TYPICAL FOUNDATION DETAILS

DATE: OCTOBER 2025 DRAWN BY: T.W. DRAWING NO: 2.22
PROJECT No: 24002 C CHECKED BY: H.A.P.H.



FAN SCHEDULE										
Item	Type	Capacity cfm	ESP in w	Fan Speed rpm	Motor hp	Voltage	Acceptable Manufacturer	Description		
EF-1-EX	CEILING EXHAUST FAN	150	0.20	710	Fhp	120/160	BROAN L150MG	ACOUSTICALLY INSULATED STEEL HOUSING, CENTRIFUGAL BLOWER WHEEL, 90° DISCHARGE OUTLET VIBRACRAFT DAMPER, C/W WHITE PAINTED ENAMEL STEEL GRILLE, VIBRATION ISOLATORS, 1.8 SONES, INTERVAL TIMER BY ELECTRONIC CONTROL.		
EF-2-EX	INLINE EXHAUST FAN	150	0.25	710	Fhp	120/160	BROAN L150MG	ACOUSTICALLY INSULATED STEEL HOUSING, CENTRIFUGAL BLOWER WHEEL, 90° DISCHARGE OUTLET VIBRACRAFT DAMPER, C/W WHITE PAINTED ENAMEL STEEL GRILLE, VIBRATION ISOLATORS, 1.8 SONES, PROGRAMMABLE TIMECLOCK.		
EF-3	INLINE EXHAUST FAN	350	0.4	1070	Fhp	120/160	GREENHECK CSP-A510	GALVANIZED STEEL HOUSING WITH DUCT COLLARS, CENTRIFUGAL FORWARD CURVED WHEEL, DIRECT DRIVEN MOTOR IN THE AIR STREAM, PROGRAMMABLE TIMECLOCK.		
EF-4	SIDEWALL EXHAUST FAN	500	0.2	620	1/4	120/160	GREENHECK SBE-IH24	GALVANIZED STEEL PANEL WITH FABRICATED GALVANIZED STEEL DRIVE FRAME (WALL HOUSING) PROPELLER, STEEL BELT DRIVEN MOTOR IN THE AIR STREAM.		
EF-5-EX	CEILING EXHAUST FAN	150	0.20	710	Fhp	120/160	BROAN L150MG	ACOUSTICALLY INSULATED STEEL HOUSING, CENTRIFUGAL BLOWER WHEEL, 90° DISCHARGE OUTLET VIBRACRAFT DAMPER, C/W WHITE PAINTED ENAMEL STEEL GRILLE, VIBRATION ISOLATORS, 1.8 SONES, INTERVAL TIMER BY ELECTRONIC CONTROL.		
EF-6-EX	INLINE EXHAUST FAN	400	0.50	1080	Fhp	120/160	GREENHECK CSP-A710	GALVANIZED STEEL HOUSING WITH DUCT COLLARS, CENTRIFUGAL FORWARD CURVED WHEEL, DIRECT DRIVEN MOTOR IN AIR STREAM, PROGRAMMABLE TIMECLOCK.		
EF-7	INLINE EXHAUST FAN	600	0.70	1080	Fhp	120/160	GREENHECK CSP-A1050	GALVANIZED STEEL HOUSING WITH DUCT COLLARS, CENTRIFUGAL FORWARD CURVED WHEEL, DIRECT DRIVEN MOTOR IN AIR STREAM, PROGRAMMABLE TIMECLOCK.		

EXPANSION TANK SCHEDULE										
Item	Type	Max Working Pressure	Max Working Temperature	Total Volume (gal.)	Accept. Volume (gal.)	Diam. (in.)	Height (in.)	System Connection	Manufacturer & Model	Remarks
ET-1	FLOOR MOUNTED VERTICAL EXPANSION TANK	125	240	132	132	30	24	1"	AMTRON EXTROL ST-2000	FULL ACCEPTANCE, BLADDER TYPE
ET-2	VERTICAL EXPANSION TANK	150	200	6.4	3.2	12	14	3/4"	AMTRON EXTROL ST-12C	DIAPHRAGM PRE-PRESSURIZED SUITABLE FOR POTABLE WATER
ET-3										
ET-4										

GREASE INTERCEPTOR SCHEDULE										
Tag	Type	Flow Rate GPM (LPM)	Grease Capacity (lbs/kg)	Acceptable Manufacturer	Notes					
GI-1	FLOOR MOUNTED GREASE INTERCEPTOR	25 (95)	50 (23)	CANPLAS ENDURA LOW PROFILE	FLOOR MOUNTED INSTALLATION, SERVING TRIPLE SINK IN KITCHEN, C/W FLOW CONTROL DEVICES.					
GI-2	FLOOR MOUNTED GREASE INTERCEPTOR	25 (95)	50 (23)	CANPLAS ENDURA LOW PROFILE	FLOOR MOUNTED INSTALLATION, SERVING TRIPLE SINK IN KITCHEN, C/W FLOW CONTROL DEVICES.					

ELECTRIC DUCT HEATER SCHEDULE										
Item	Type	Capacity (cfm)	Size	Electrical	Acceptable Manufacturer & Model	Remarks				
DH-1	ELECTRIC DUCT HEATER	300	900	150	208/160	2.0	THERMOLEC SC SERIES	C/W ACCESS PANEL, AUTOMATIC RESET THERMAL CUT-OUT, AIR TEST, 24V CONTROL, MANUAL RESET THERMAL CUT-OUT, DUCT TSTAT, 24V CONTROL, INTERLOCK WITH AHU EXTERNAL HEAT CONTROLLER		

GENERAL ELECTRIC DUCT HEATER SCHEDULE NOTES:

- C/W ACCESS PANEL, AUTOMATIC RESET THERMAL CUT-OUT, AIR FLOW SENSOR, MANUAL RESET THERMAL CUT-OUT, DUCT TSTAT, 24V CONTROL, INTERLOCK WITH AHU EXTERNAL HEAT CONTROLLER

SUMP PUMP SCHEDULE										
Item	Type	Capacity USgpm	Head ft	Size hp	Electrical Voltage	Speed rpm	Manufacturer & Model	Remarks		
SP-1	SIMPLEX ELEV DRAIN SUMP PUMP	50	20	0.5	208/360	1750	MYERS WHRS-03	C/W CONTROL PANEL, FLOATS, 600x MM FIBERGLASS SUMP, AND LD. REFER TO SPECIFICATIONS		

HYDRONIC HEATING COMPONENT SCHEDULE																			
Item	Type	Acceptable Manufacturer			Description														
GENERAL HEATING COMPONENT NOTES:																			
1. ACCEPTABLE MANUFACTURERS: ENGINEERED AIR, SCM, RITTILING, SLANT-FIN, ROSEMEX, DUNHAM-BUSH																			
2. TEMPERATURE & PRESSURE RELIEF VALVE: 1WT-11VF, BAT-8SF																			
3. SIZES & HEAT CAPACITIES ARE NOTED ON THE FLOOR PLANS																			
4. RAD, CONVECTOR, & CABINET HEATER CABINET FINISHES ARE TO BE FACTORY PRIME COATED SELECTED FROM STANDARD MANUFACTURER'S COLOURS UNLESS OTHERWISE NOTED.																			
5. UNIT HEATERS FINISH ARE FACTORY APPLIED BAKED ON ENAMEL SELECTED FROM STANDARD MANUFACTURER'S COLOURS.																			

CHANGEROOM ERV SCHEDULE																								
Item	Type	Heating Medium	Input MBH	Output MBH	Sens Cap MBH	Total Cap MBH	ESP in w	Summer OA EAT °F	Ra EAT °F	Winter OA EAT °F	Wheel LAT °F	Winter OA EAT °F	Wheel LAT °F	Supply Air CFM	Exhaust Air CFM	Fan hp	MCA	MOCP	Voltage	Manufacturer	Model	Unit Weight lbs	Remarks	
ERV-1	EXTERIOR ENERGY RECOVERY VENTILATOR	PROpane	400	324	71.5	96.8	0.75	66.0/73.0	75.0/83.0	78.3/86.6	-15/-16	70.0/53.0	43.9/36.8	3000	4.3	3000	0.75	3.1	24.3	30	575/360	DPSC07B	3065	C/W 18" HIGH ROOF CURB, POWERED EXHAUST, CONDENSER REHEAT HUMIDITY CONTROL ON RETURN AND PROGRAMMABLE CONTROLLER - 7DAY 24H ADJUSTABLE TEMPERATURE AND HUMIDITY SENSORS IN CHANGEROM 3, REMOTE SCREEN CONTROLLER IN MECHANICAL ROOM, MODULATING COMPRESSOR, 10:1 PROPS/HEATING TURNDOWN.

ENERGY RECOVERY UNIT SCHEDULE													
Item	Type	Capacity			Electrical Data			Acceptable Manufacturer			Remarks		
ERV-2	ENERGY RECOVERY VENTILATION	150	150	0.5	120/160	2.89	15	ALDES E280-SRG	HILT CORE, MERV 7 FRESH AIR FILTER, MERV 8 RETURN AIR FILTER, MOTORIZED DAMPER ON FRESH AIR INLET, PRECOOLING DESFROST, BAS CONTROL, BACKET MODULE.				

GRILLE SCHEDULE										
(CAPACITY INDICATED ON SCHEDULE REFER TO SPECIFICATION FOR CONSTRUCTION STANDARDS, ACCESSORIES AND ADDITIONAL INFORMATION)										
Item	Type	Equilizing Grid	Volume Damper	Acceptable Manufacturer	Description					

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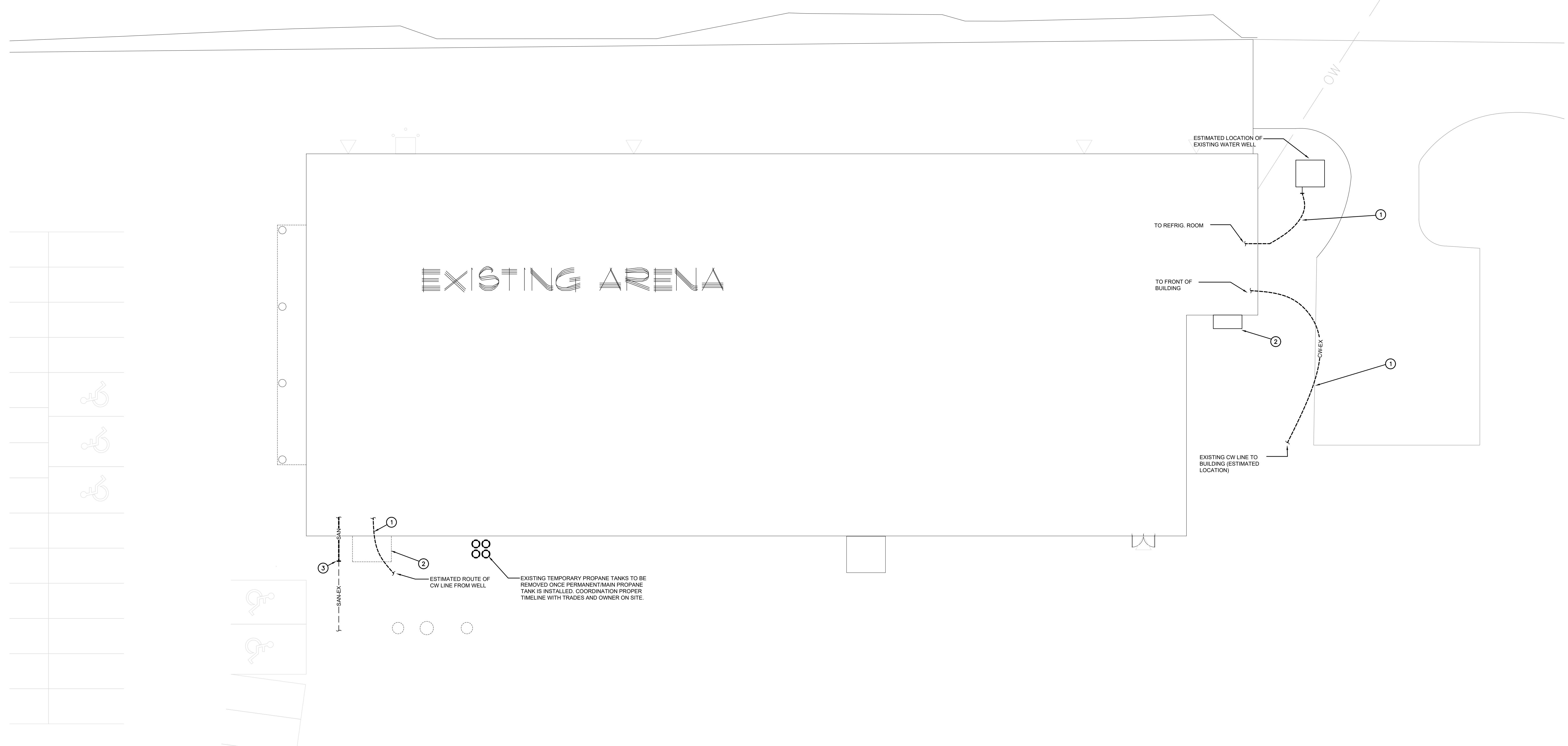
GENERAL DEMOLITION NOTES

- A. EXISTING MECHANICAL ITEMS NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- B. EXISTING MECHANICAL ITEMS SHOWN BUT NOT NOTED AS BEING REMOVED OR RENOVATED SHALL REMAIN AS PRESENTLY INSTALLED AND OPERATING.
- C. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ON SITE ALL LOCATIONS AND SIZES OF ALL SERVICES & EQUIPMENT PRIOR TO THE COMMENCEMENT OF WORK.
- D. ALL OPENINGS THAT RESULT FROM THE REMOVAL OF CEILINGS OR ROOF DECKS SHALL BE REPAVED AND FINISHED WITH SUITABLE NEW MATERIALS TO SUIT EXISTING CONSTRUCTION.
- E. PLUMBING VENTS ARE NOT INDICATED OR IDENTIFIED. REMOVE ALL REDUNDANT VENTS WHILE MAINTAINING INTEGRITY OF EXISTING SYSTEMS TO REMAIN.
- F. REMOVAL OF EXISTING PIPING, OR DUCT SYSTEMS INCLUDES REMOVAL OF ALL HANGERS, INSULATION, FITTINGS, ETC.
- G. MAINTAIN INTEGRITY OF EXISTING SYSTEMS THAT ARE TO REMAIN OR BE MODIFIED.
- H. INSTALL NEW SYSTEM OR SERVICES WHERE REQUIRED TO MAINTAIN SYSTEM OPERATION PRIOR TO DEMOLITION OF EXISTING SERVICES.
- I. THIS CONTRACTOR IS TO REMOVE & REPLACE CEILINGS AS REQUIRED FOR REMOVAL/REPLACEMENT OF SERVICES.

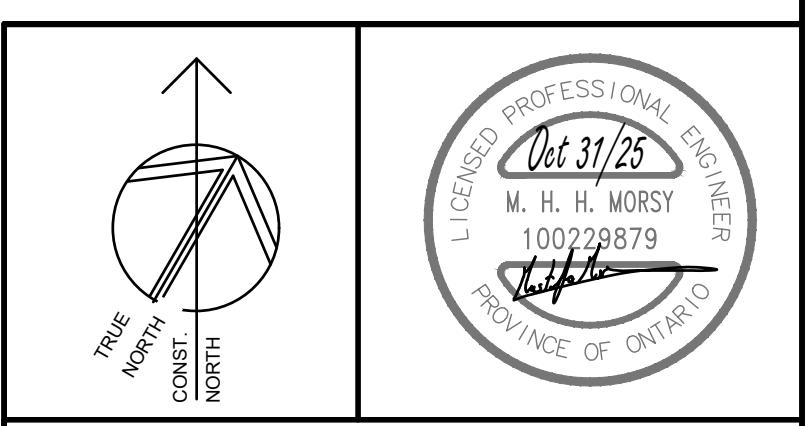
SPECIFIC DEMOLITION NOTES

1. EXISTING CW LINE TO BUILDING TO BE REMOVED COMPLETE AND REPLACED WITH NEW WORK TO TAKE PLACE IN TWO PHASES. FIRST PHASE CONSTRUCTION OF CHAMBER TO BE THERE TO RECEIVE CW LINE FROM NEXT TO THE BUILDING AND MAINTAINED FOR CONTINUOUS OCCUPANCY AT THE FRONT OF THE BUILDING. AT PHASE TWO, THE CHAMBER IS TO BE REMOVED AND CONNECT THE NEW WATER ROOM AND UV UNIT RELOCATED. THIS EXISTING LINE TO BE DEMOLISHED.
2. EXISTING OIL TANK STORAGE TO BE REMOVED COMPLETE WITH ALL PIPING AND ACCESSORIES. DISPOSE AS PER MINISTRY OF ENVIRONMENT.
3. DEMOLISH EXISTING SANITARY LINE CONNECTION OUTSIDE THE BUILDING AND PREP FOR NEW CONNECTION.
4. EXISTING PROPANE TANK SERVING SECOND FLOOR KITCHEN TO BE REMOVED COMPLETE.

EXISTING ARENA



SITE PLAN – DEMOLITION
SCALE: 1:150



1 2025-10-31 ISSUED FOR PHASE 2 TENDER
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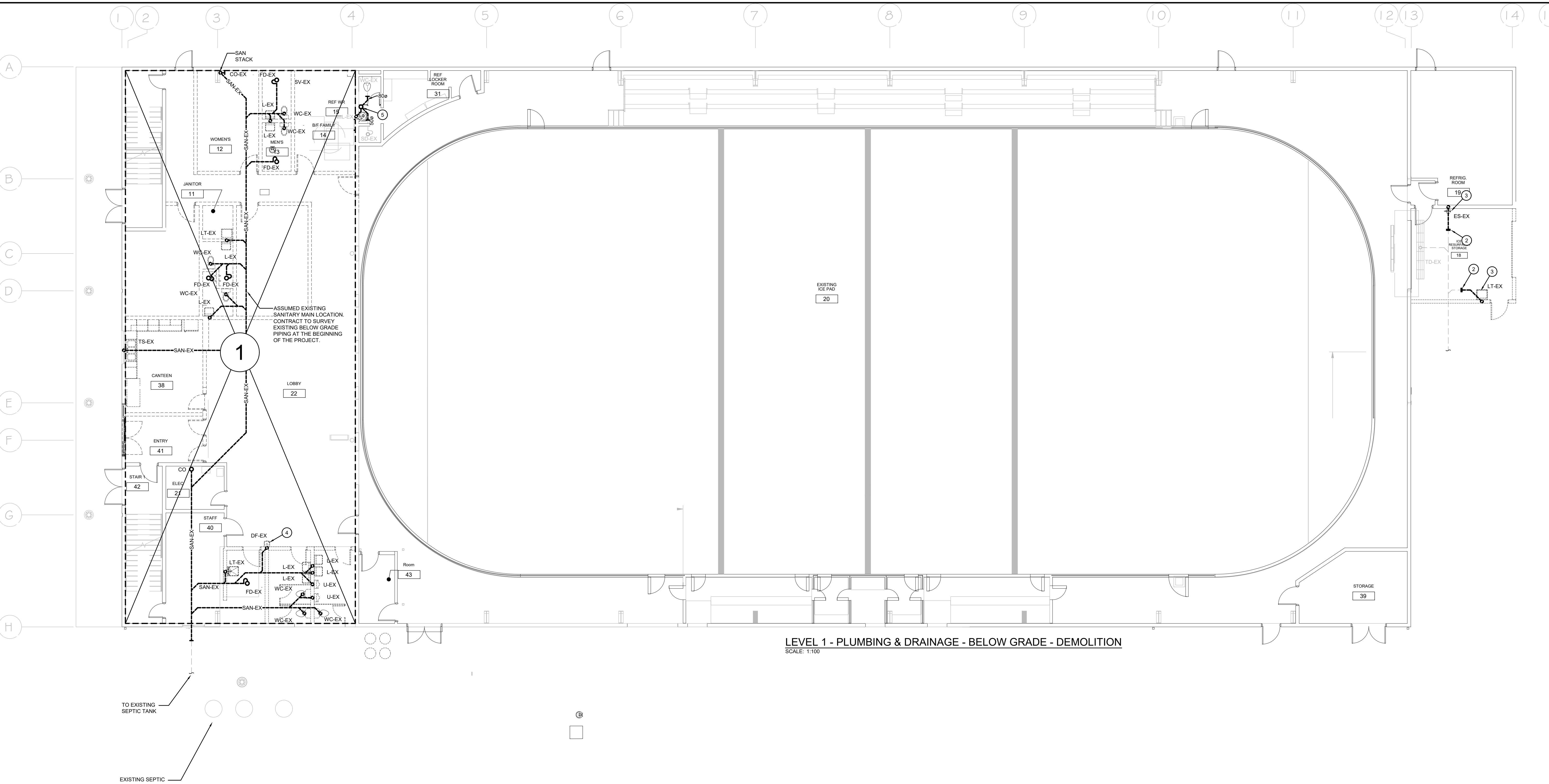
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EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2
212 STURGEON ROAD
OMEMEE ONTARIO

SITE PLAN - DEMOLITION

DATE: 2025-11-03	DRAWN BY: HA	DRAWING No: M201
PROJECT No: 24002	CHECKED BY: MM	



LEVEL 1 - PLUMBING & DRAINAGE - BELOW GRADE - DEMOLITION

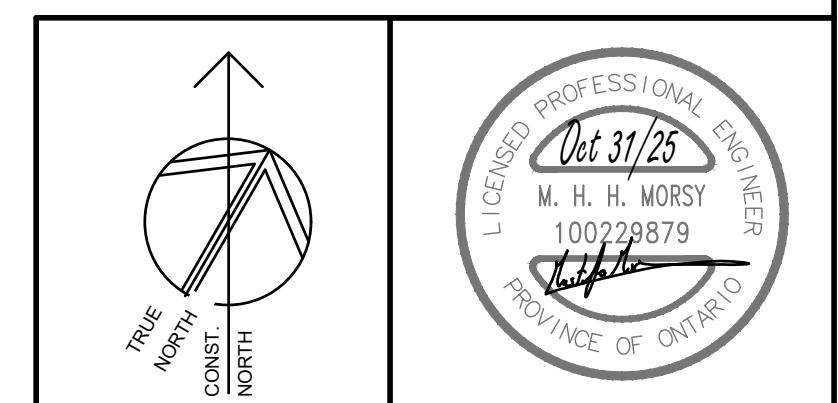
SCALE: 1:100

GENERAL DEMOLITION NOTES

- A. EXISTING MECHANICAL ITEMS NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- B. EXISTING MECHANICAL ITEMS SHOWN BUT NOT NOTED AS BEING REMOVED OR REVAMPED SHALL REMAIN AS PRESENT.
- C. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ON SITE ALL LOCATIONS AND SIZES OF ALL SERVICES & EQUIPMENT PRIOR TO THE COMMENCEMENT OF WORK.
- D. ALL OPENINGS THAT RESULT FROM THE REMOVAL OF EQUIPMENT OR SERVICES SHALL BE NEATLY PATCHED WITH SUITABLE NEW MATERIALS TO SUIT EXISTING CONSTRUCTION.
- E. PLUMBING VENTS ARE NOT INDICATED OR IDENTIFIED. REMOVE ALL REDUNDANT VENTS WHILE MAINTAINING INTEGRITY OF EXISTING SYSTEMS TO REMAIN.
- F. REMOVAL OF EXISTING PIPING, OR DUCT SYSTEMS INCLUDES REMOVAL OF ALL HANGERS, INSULATION, FITTINGS, ETC.
- G. MAINTAIN INTEGRITY OF EXISTING SYSTEMS THAT ARE TO REMAIN OR BE MODIFIED.
- H. INSTALL NEW SYSTEMS OR SERVICES WHERE REQUIRED TO MAINTAIN OPERATION PRIOR TO DEMOLITION OF EXISTING SERVICES.
- I. THIS CONTRACTOR IS TO REMOVE & REPLACE CEILINGS AS REQUIRED FOR REMOVAL/REPLACEMENT OF SERVICES.

SPECIFIC DEMOLITION NOTES

1. EXISTING PLUMBING FIXTURES TO BE REMOVED COMPLETE. EXISTING PLUMBING AND DRAINAGE SYSTEMS IN THIS AREA (PLUMBING, DRAINS, DUCTS, ETC.) ARE TO BE REMOVED COMPLETELY UNLESS NOTED OTHERWISE. TO REMAIN ON DRAWINGS. EXISTING UNDERGROUND SANITARY PIPING TO BE EXCAVATED AND REMOVED COMPLETELY. TO REMAIN COMPLETE WITH ALL ASSOCIATED ACCESSORIES. REMOVE ALL PIPING UNDER THE SLAB COMPLETE. WALK THROUGH IS MANDATORY. INFORMATION PROVIDED IS FOR REFERENCE ONLY. CONTRACTOR REQUIRED TO SITE VERIFY ALL EXISTING CONDITIONS.
2. CUT & CAP EXISTING SANITARY PIPING.
3. EXISTING PLUMBING FIXTURE TO BE REMOVED COMPLETE.
4. EXISTING DRINKING FOUNTAIN TO BE RELOCATED.
5. EXISTING SUMP PUMP TO BE REMOVED CW ALL ACCESSORIES AND CONTROL PANEL. SANITARY PIPING IN REFRIGERATION ROOM TO BE REWORKED AND GRAVITY DRAINED.



1 2025-10-31 ISSUED FOR PHASE 2 TENDER
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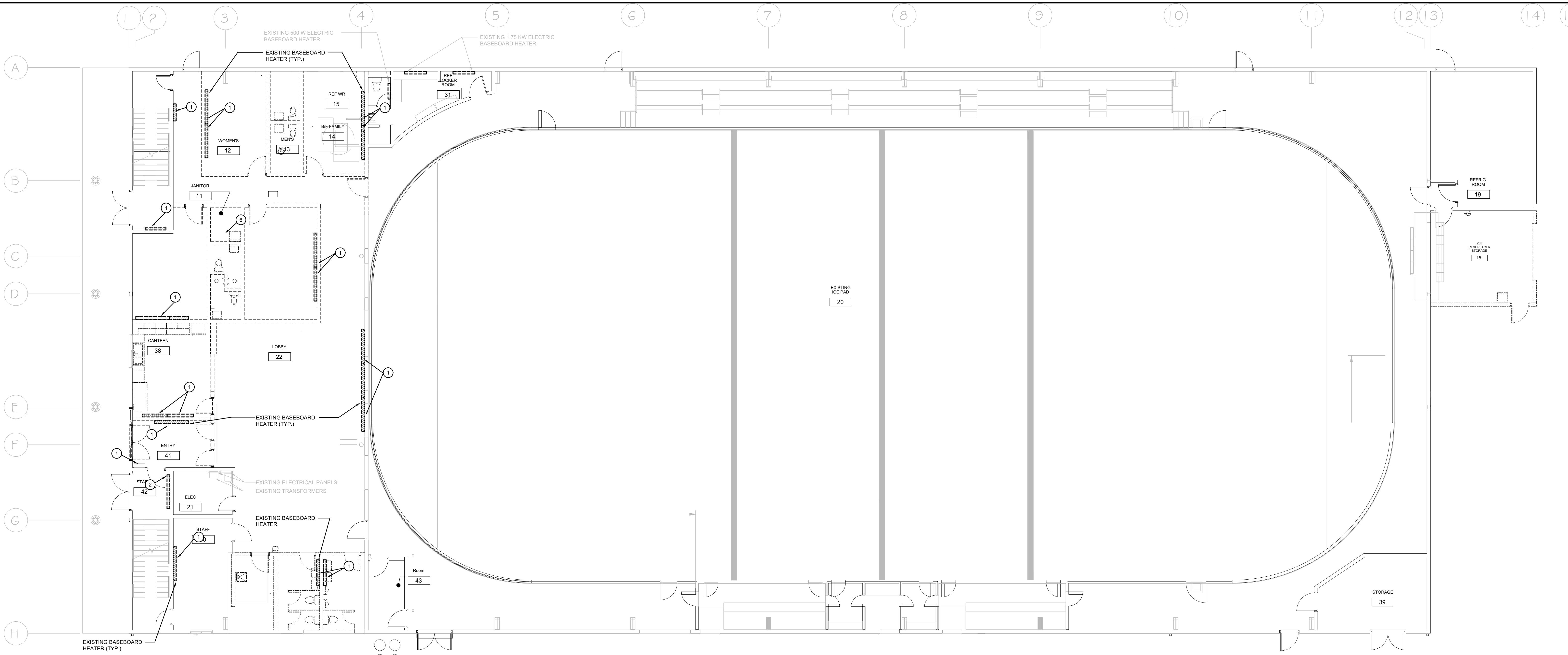


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EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2
212 STURGEON ROAD
OMEMEE ONTARIO

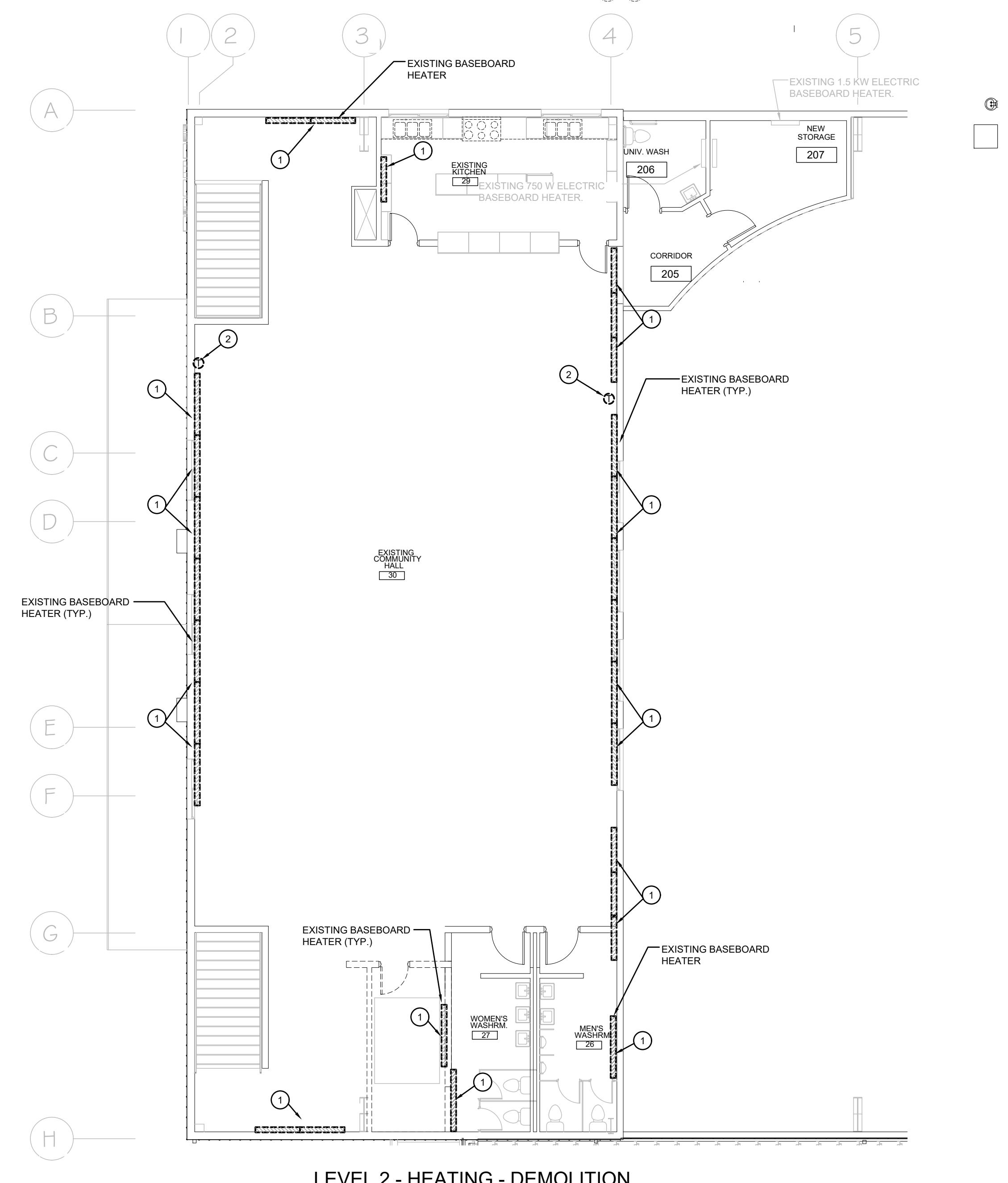
LEVEL 1 - PLUMBING &
DRAINAGE - BELOW
GRADE - DEMOLITION

DATE: 2025-11-03	DRAWN BY: HB	DRAWING NO: M202
PROJECT No: 24002	CHECKED BY: MM	



LEVEL 1 - HEATING - DEMOLITION

SCALE: 1:100



LEVEL 2 - HEATING - DEMOLITION

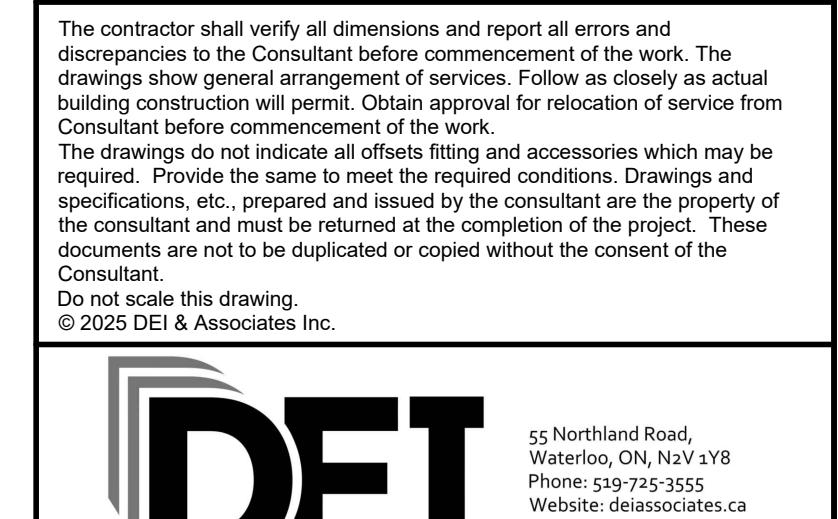
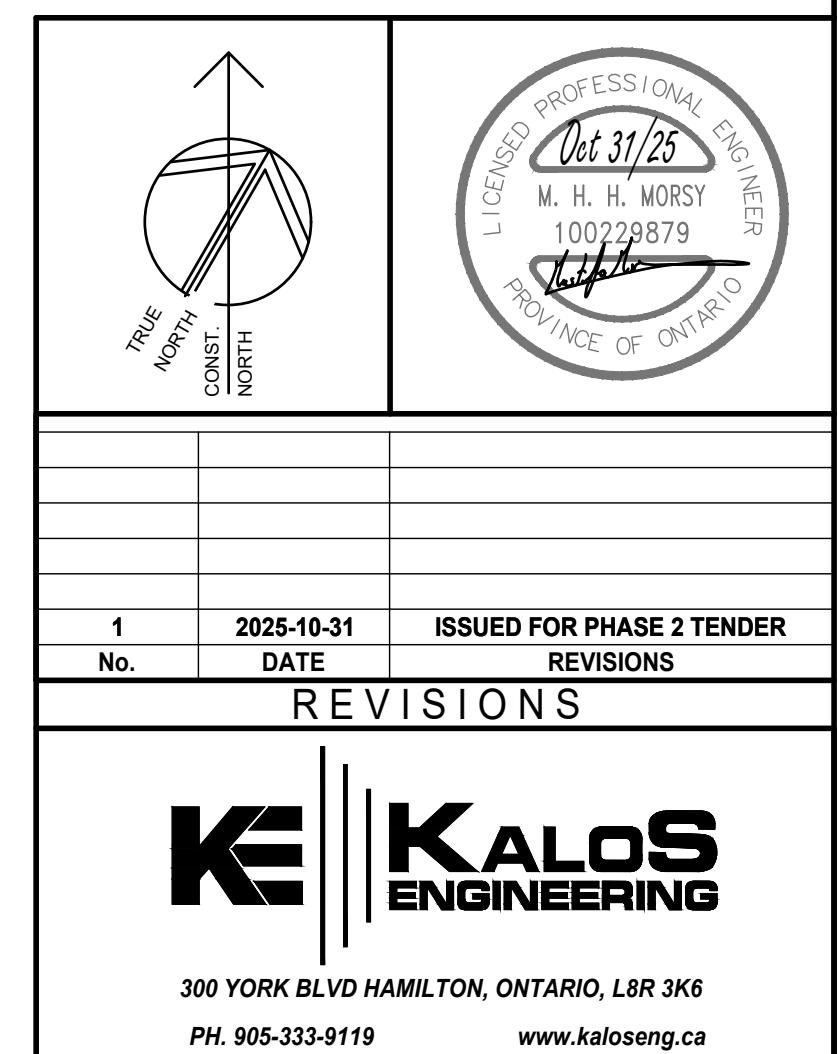
SCALE: 1:100

GENERAL DEMOLITION NOTES

- A. EXISTING MECHANICAL ITEMS NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
 - B. EXISTING MECHANICAL ITEMS SHOWN BUT NOT NOTED AS BEING REMOVED OR RENOVATED SHALL REMAIN AS PRESENTLY INSTALLED AND OPERATING.
 - C. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ON SITE ALL LOCATIONS AND SIZES OF ALL SERVICES & EQUIPMENT PRIOR TO THE COMMENCEMENT OF WORK.
 - D. ALL OPENINGS THAT RESULT FROM THE REMOVAL OF EQUIPMENT OR SERVICES SHALL BE NEATLY PATCHED WITH SUITABLE NEW MATERIALS TO SUIT EXISTING CONSTRUCTION.
 - E. PLUMBING VENTS ARE NOT INDICATED OR IDENTIFIED. REMOVE ALL REDUNDANT VENTS WHILE MAINTAINING INTEGRITY OF EXISTING SYSTEMS TO REMAIN.
 - F. REMOVAL OF EXISTING PIPING, OR DUCT SYSTEMS INCLUDES REMOVAL OF ALL HANGERS, INSULATION, FITTINGS, ETC.
 - G. MAINTAIN INTEGRITY OF EXISTING SYSTEMS THAT ARE TO REMAIN OR BE MODIFIED.
 - H. INSTALL NEW SYSTEM OR SERVICES WHERE REQUIRED TO MAINTAIN SYSTEM OPERATION PRIOR TO DEMOLITION OF EXISTING SERVICES.
 - I. THIS CONTRACTOR IS TO REMOVE & REPLACE CEILINGS AS REQUIRED FOR REMOVAL/REPLACEMENT OF SERVICES.

SPECIFIC DEMOLITION NOTES

1. EXISTING HEATERS TO BE REMOVED COMPLETE WITH ALL PIPING AND ACCESSORIES.
 2. EXISTING THERMOSTAT TO BE REMOVED AND REPLACED WITH NEW



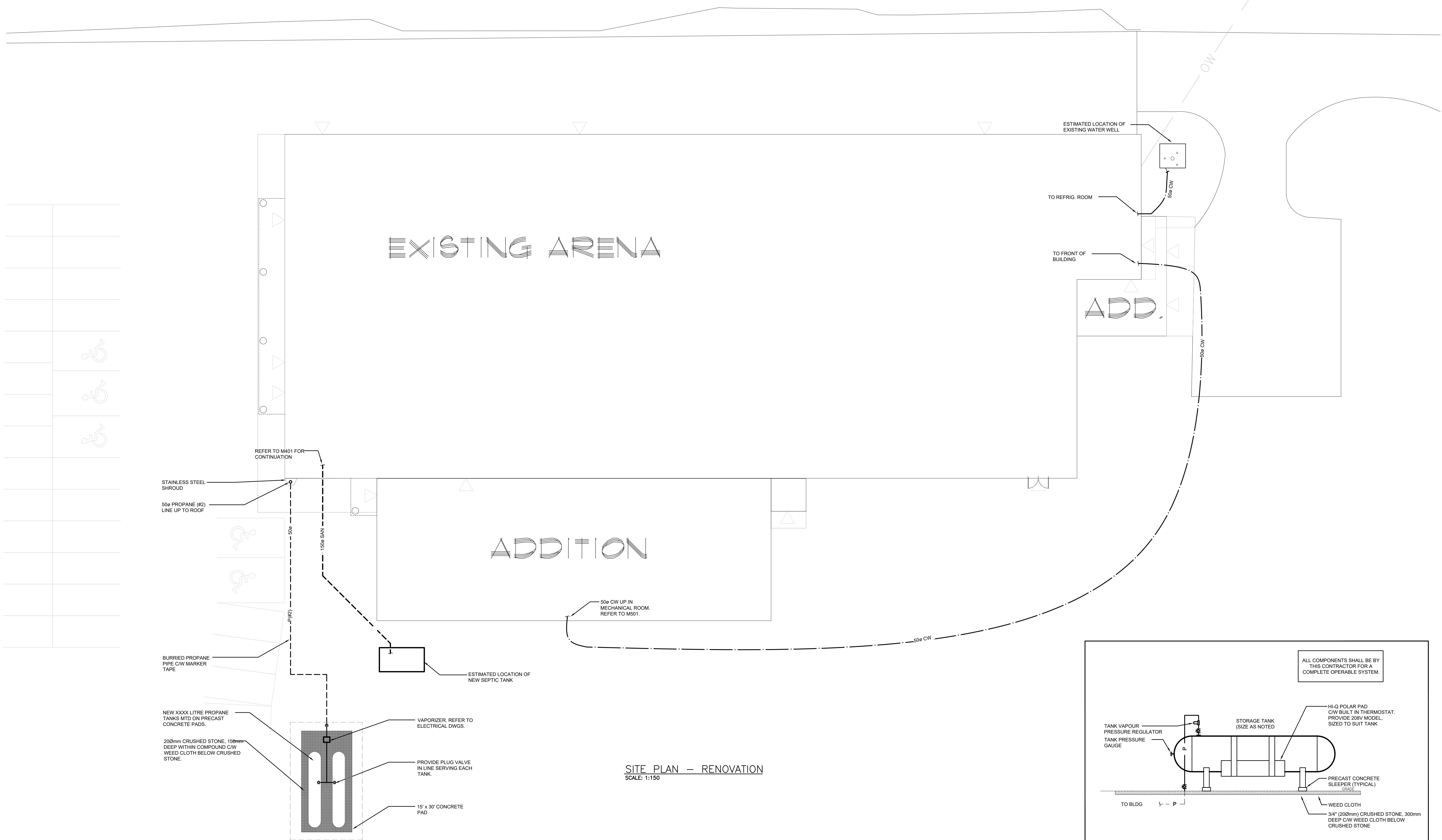
EMILY-OMEMEE ADDITION/RENOVATION PHASE 2

PHASE 2
212 STURGEON ROAD

LEVEL 1 & 2 - HEATING - DEMOLITION

DATE: 2025-11-03	DRAWN BY: HR	DRAWING No:
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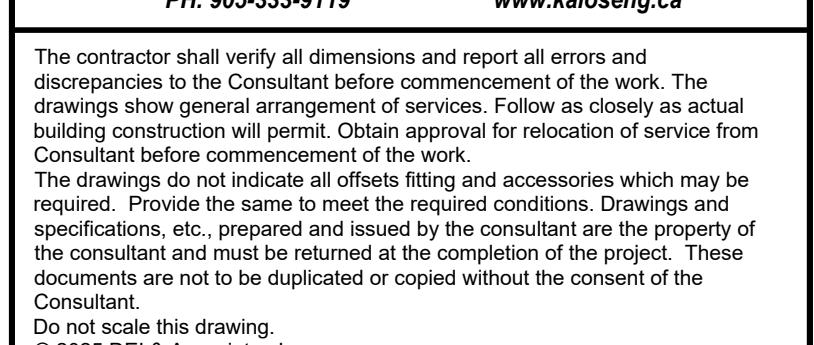
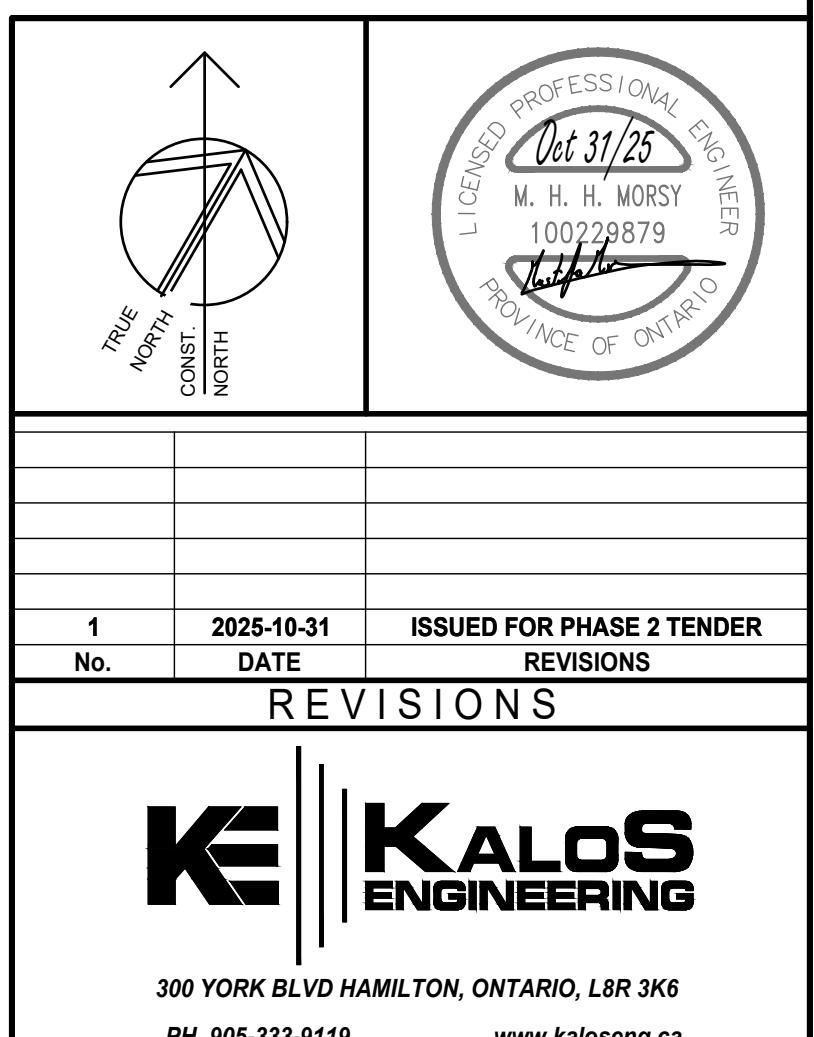
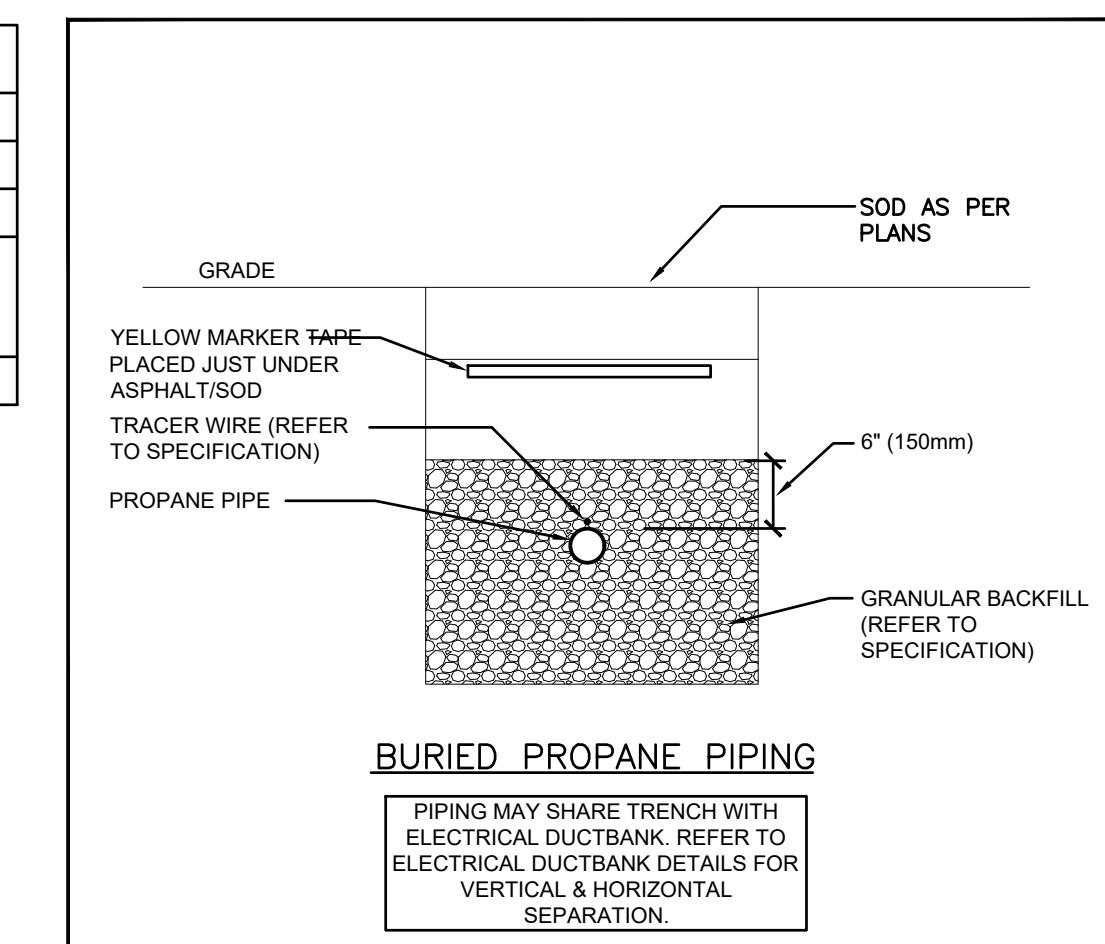
2020-11-03	HB	
PROJECT No: 24002	CHECKED BY: MM	M204



SITE PLAN – RENOVATION

SITE PLAN - RENOVATION
SCALE: 1:150

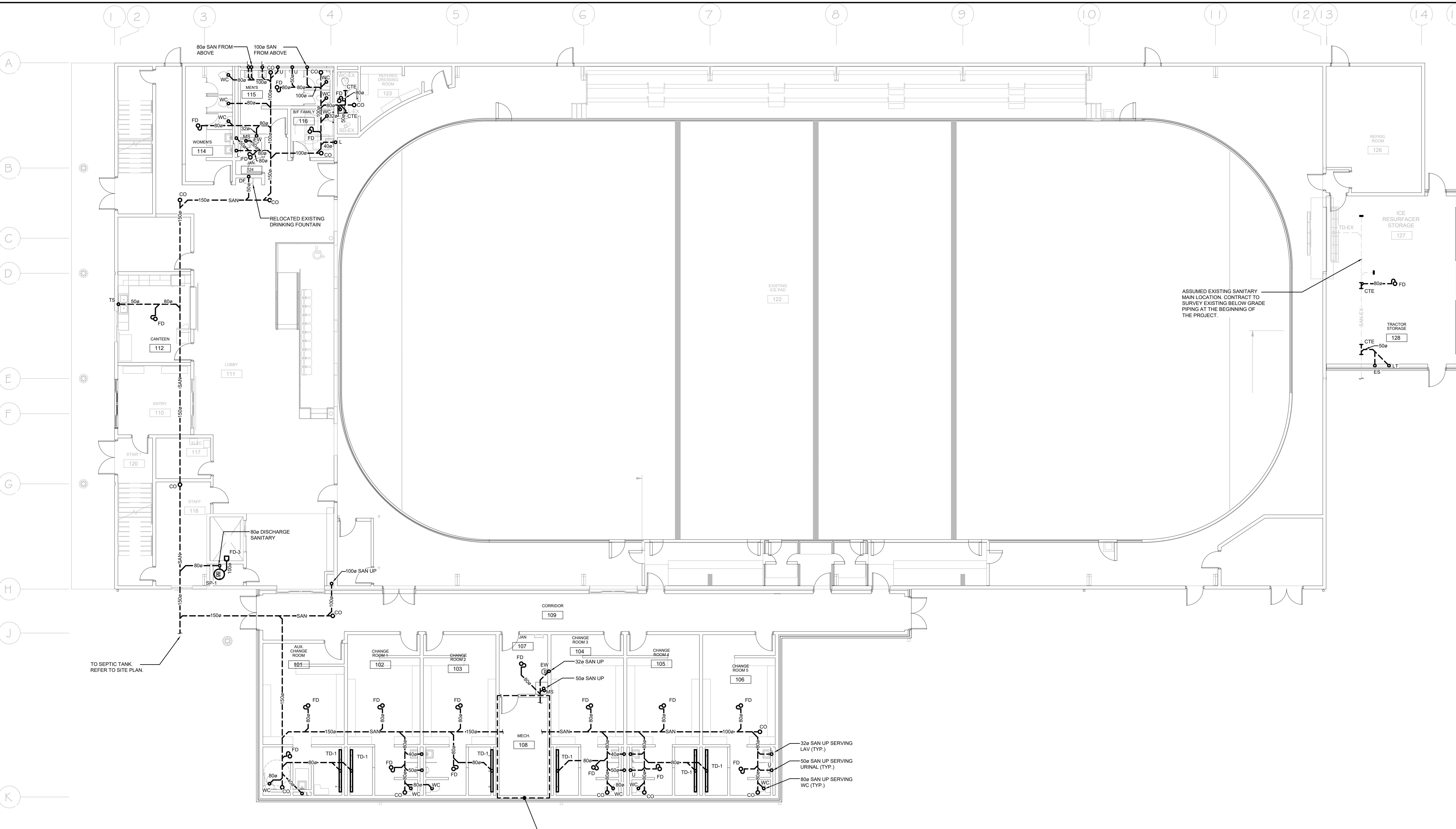
<u>PROVISIONAL PRICE LIST</u>	
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE, CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVE, PAINTING.
5	PAVE GRANULAR PARKING LOT



EMILY-OMEMEE ADDITION/RENOVATION PHASE 2

212 STURGEON ROAD

DATE: 2025-11-03	DRAWN BY: HA	DRAWING No:
PROJECT No: 24002	CHECKED BY: MM	M301



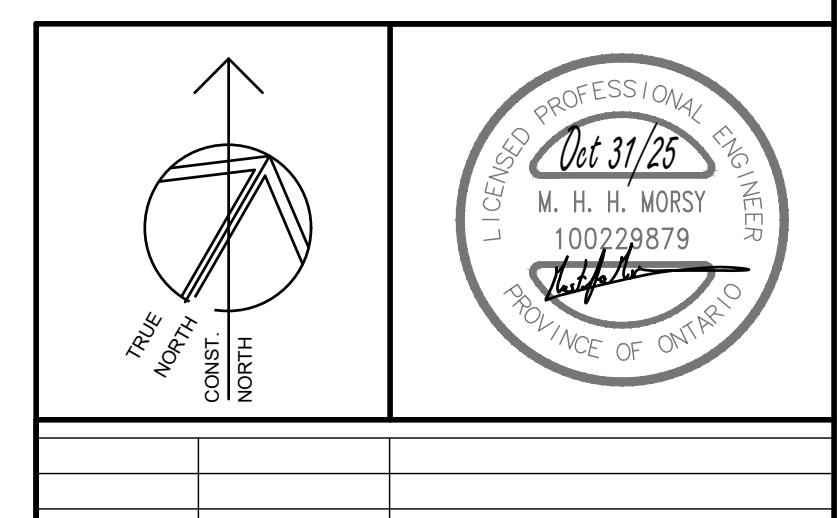
LEVEL 1 - PLUMBING & DRAINAGE - BELOW GRADE - RENOVATION
SCALE: 1:100

GENERAL RENOVATION NOTES

- CONTRACTOR TO PROVIDE NEW FIRESTOP COUPLING AT ALL EXISTING PIPE PENETRATIONS THRU DOOR ROOM WALLS. QUANTITY & PIPE SIZE TO BE DETERMINED ON SITE.
- PIPE INSULATION IS TO BE INSTALLED AT ALL EXISTING PIPE ELBOWS, FITTINGS, ETC. WHERE ABATEMENT REMOVED THE INSULATION AND WHERE EXISTING PIPE ELBOWS, FITTINGS, ETC. ARE ADDED. CONTRACTOR TO DETERMINE QUANTITY & SIZE. CONTRACTOR TO REVIEW SITE FOR QUANTITY & SIZES.
- CONTRACTOR TO LOCATE ISOLATION VALVES AND DRAIN SYSTEMS TO ALLOW PROPOSED WORK TO PROCEED. REFILL SYSTEMS AS INDICATED, FLUSHING, CLEANING, & REFILLING WITH CLEAR WATER & CHEMICAL TO WATER TREATMENT CONTRACTOR REQUIREMENTS.
- FREEZE OR DRAIN EXISTING PIPING AS REQUIRED TO FACILITATE CUT IN.

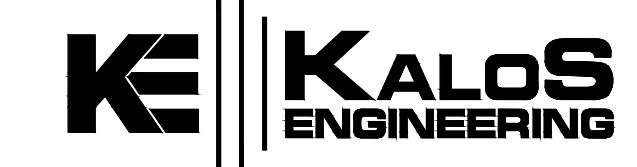
PROVISIONAL PRICE LIST

1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE. NEW COUNTER TOPS (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT



1 2025-10-31 ISSUED FOR PHASE 2 TENDER
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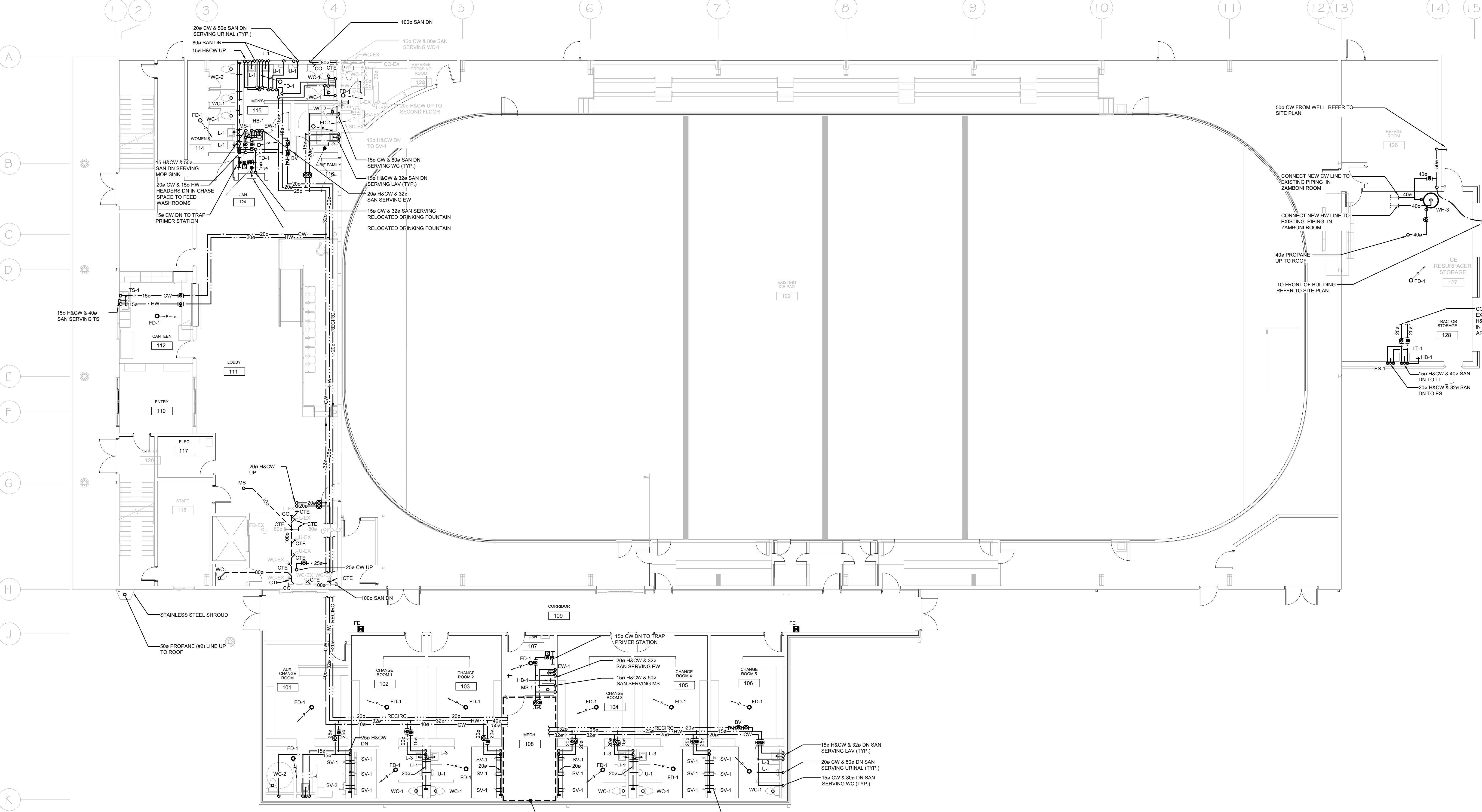
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EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2
212 STURGEON ROAD

OMEMEE ONTARIO

LEVEL 1 - PLUMBING &
DRAINAGE - BELOW
GRADE - RENOVATION

DATE: 2025-11-03 DRAWN BY: HB DRAWING No: M302
PROJECT No: 24002 CHECKED BY: MM



LEVEL 1 - PLUMBING & DRAINAGE - ABOVE GRADE - RENOVATION

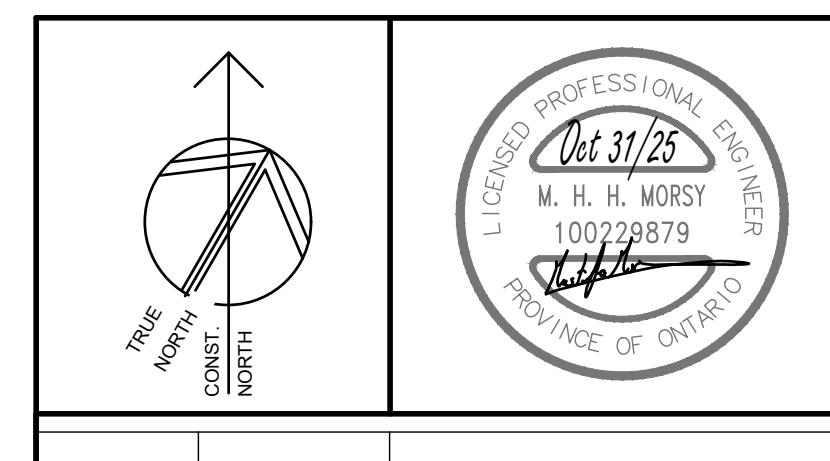
SCALE: 1:100

GENERAL RENOVATION NOTES

- CONTRACTOR TO PROVIDE NEW FIRESTOP COUPLING AT ALL EXISTING PIPE PENETRATIONS THRU DOOR ROOM WALLS. QUANTITY & PIPE SIZE TO BE DETERMINED ON SITE.
- PIPE INSULATION IS TO BE INSTALLED AT ALL EXISTING PIPE ELBOWS, FITTINGS, ETC. WHERE ABATEMENT REMOVED THE INSULATION AND WHERE EXISTING PIPE ELBOWS, FITTINGS, ETC. ARE RELOCATED. CONTRACTOR TO DETERMINE QUANTITY & SIZE.
- CONTRACTOR TO LOCATE ISOLATION VALVES AND DRAIN SYSTEMS TO ALLOW PROPOSED WORK TO PROCEED. REFILL SYSTEMS AS INDICATED, FLUSHING, CLEANING, & REFILLING WITH CLEAR WATER & CHEMICAL TO WATER TREATMENT CONTRACTOR REQUIREMENTS.
- FREEZE OR DRAIN EXISTING PIPING AS REQUIRED TO FACILITATE CUT IN.

PROVISIONAL PRICE LIST

1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE. NEW COUNTER TOPS (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT



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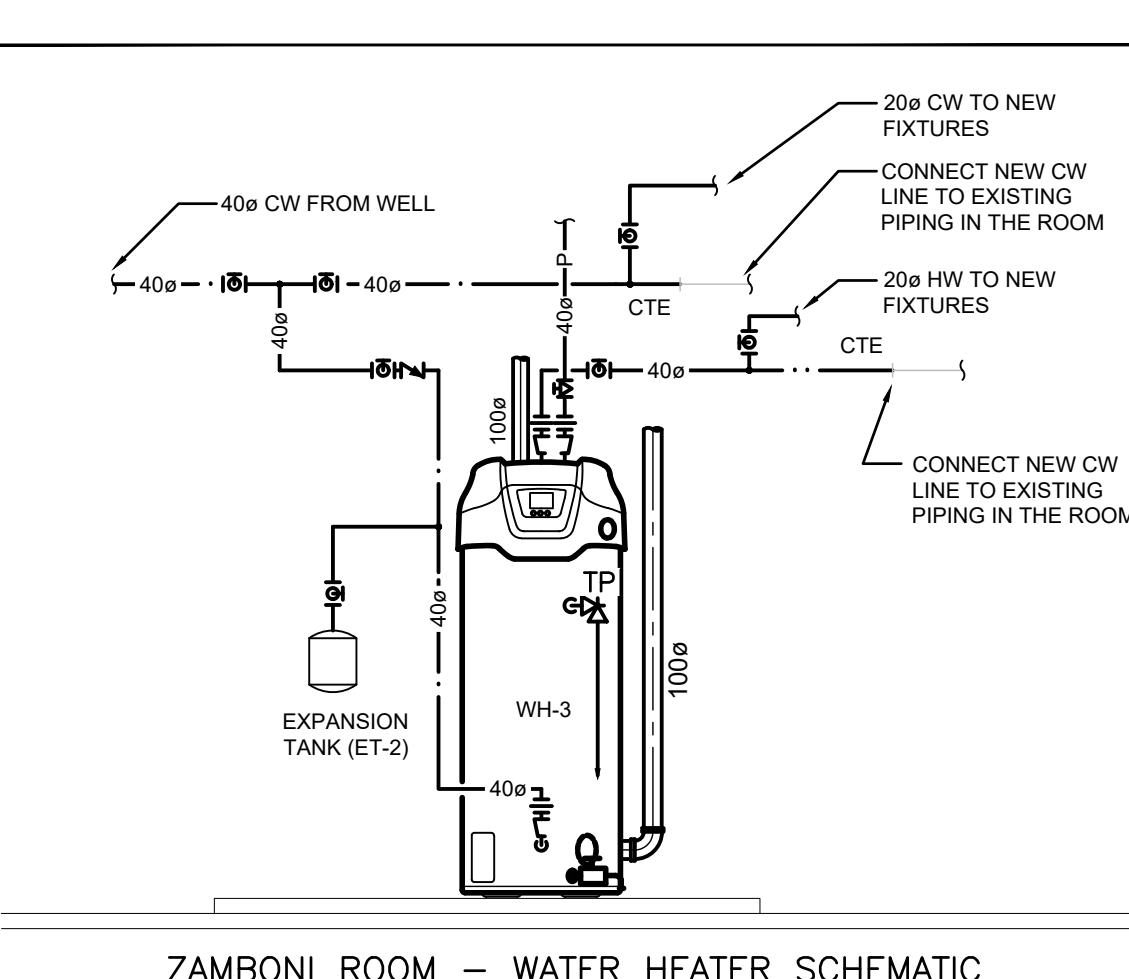
EMILY-OMEMEE
ADDITION/RENOVATION

PHASE 2
212 STURGEON ROAD

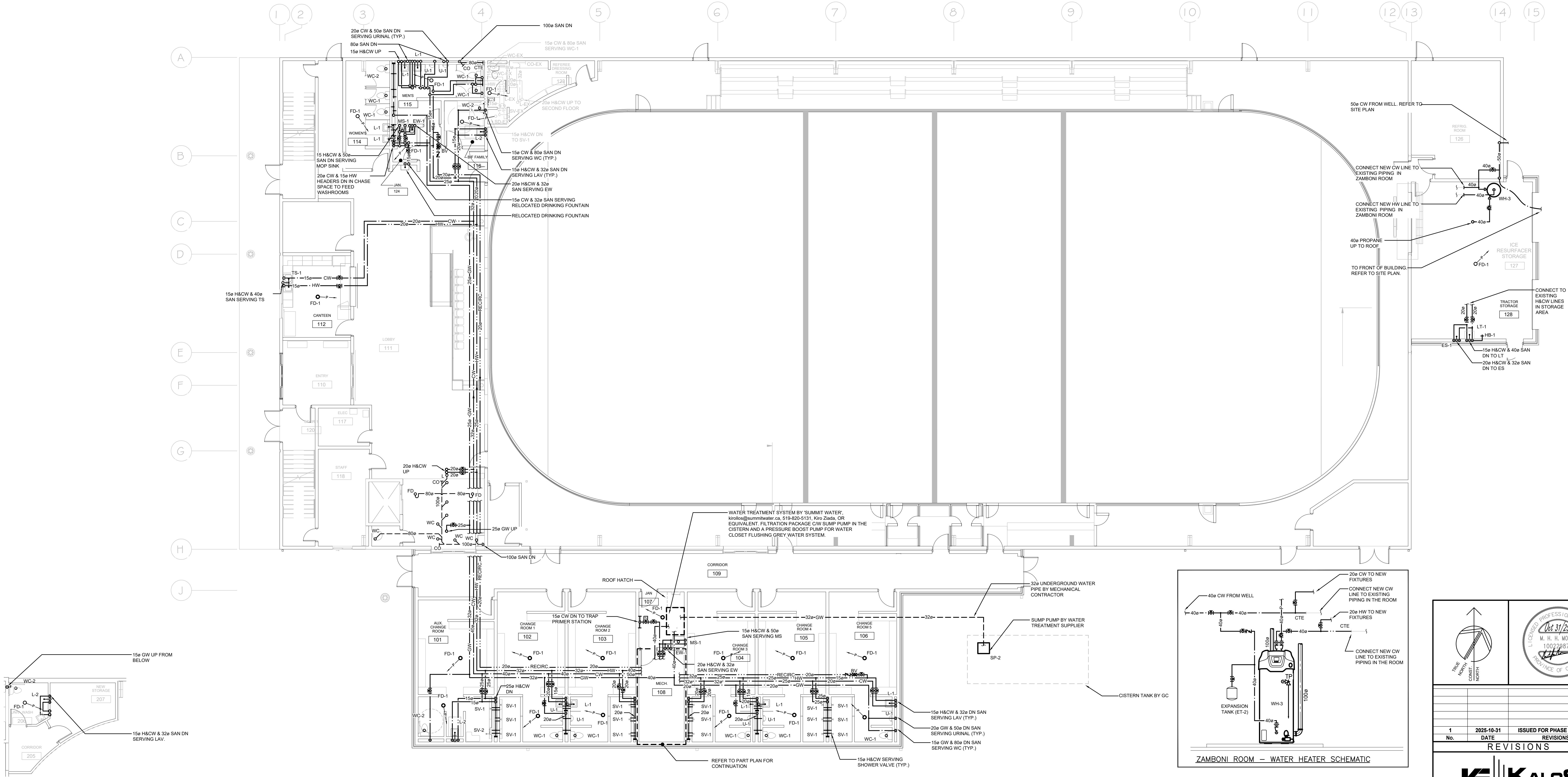
OMEMEE ONTARIO

LEVEL 1 - PLUMBING &
DRAINAGE - ABOVE
GRADE - RENOVATION

DATE: 2025-11-03 DRAWN BY: HB
PROJECT No: 24002 CHECKED BY: MM
DRAWING No: M303

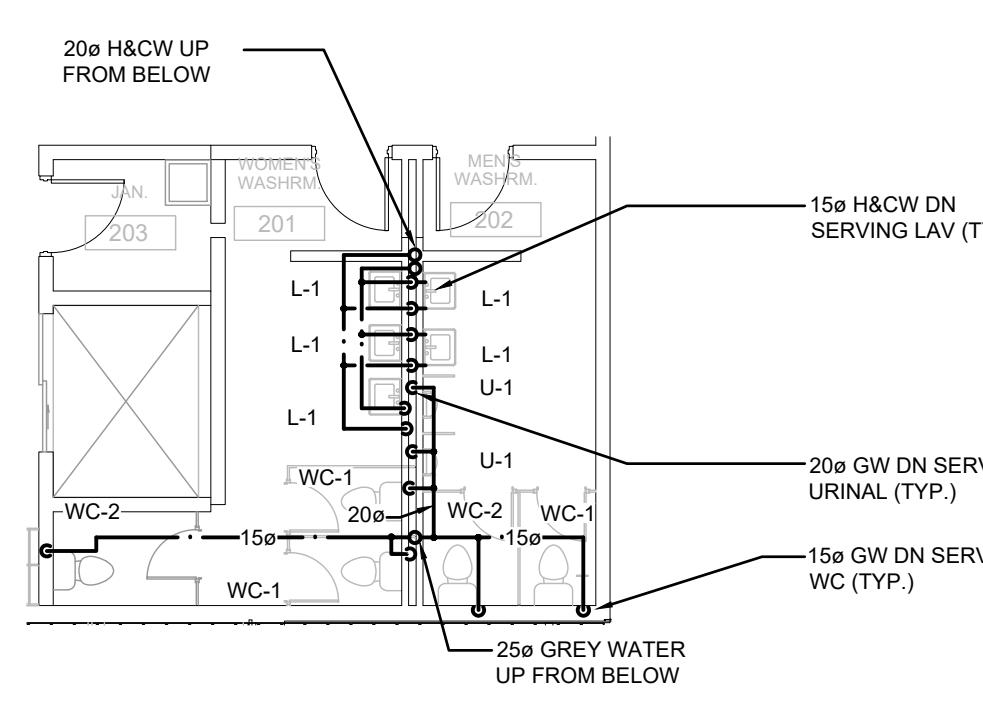


ZAMBONI ROOM - WATER HEATER SCHEMATIC



LEVEL 2 – PLUMBING – PART PLAN

SCALE: 1:100



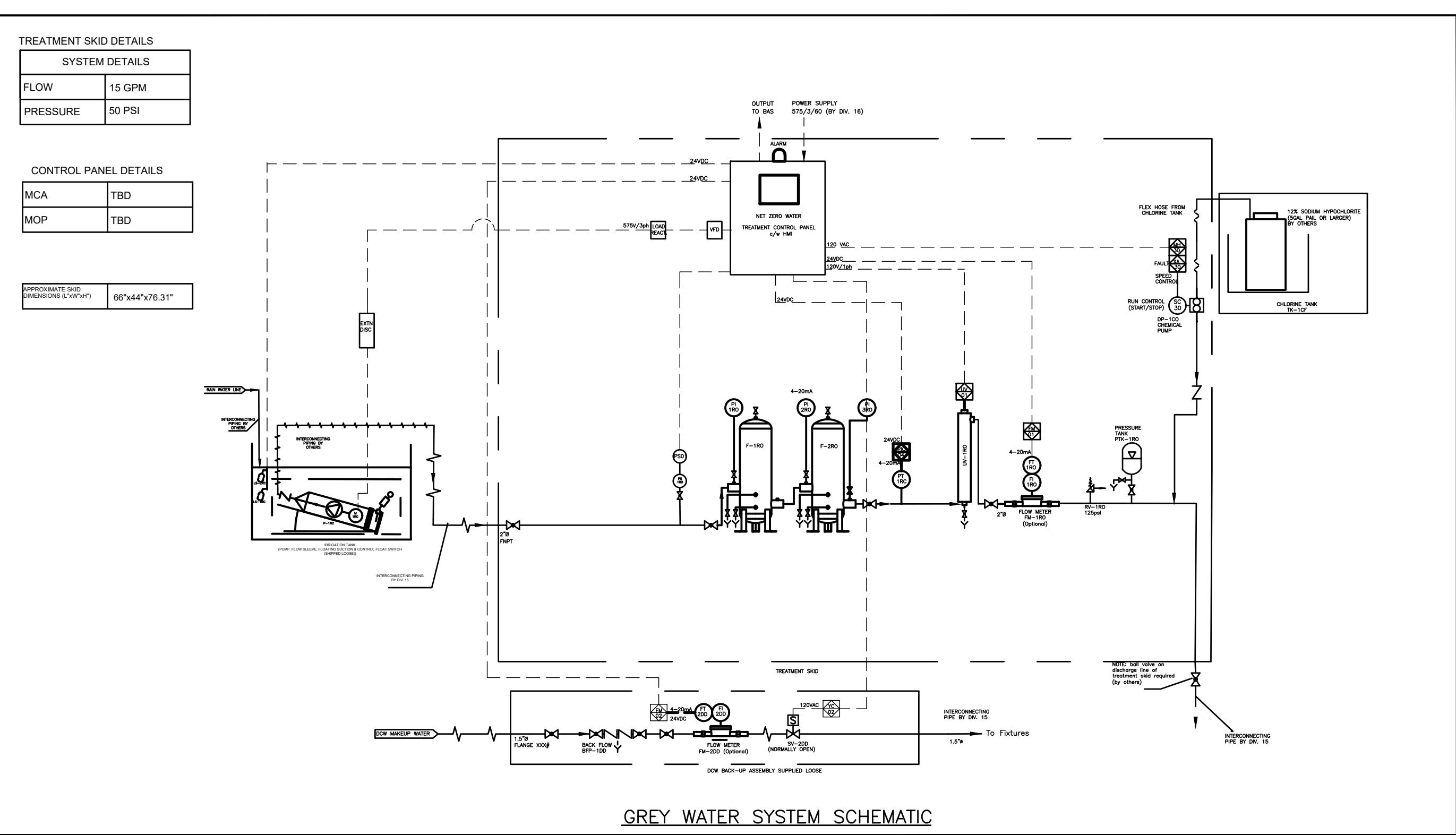
LEVEL 2 – PLUMBING – PART PLAN

PRINT DATE: 11/03/2025
8:21:22 AM

PROVISIONAL PRICE LIST					
1 SOLAR PANELS ON DRESSING ROOM ADDITION					
2 ADD HEAT RECOVERY TO ICE PLANT (CIMCO)					
3 CISTERN FOR GREY WATER REUSE					
4 SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING, WORKTOPS AND REPLACING HARDWARE, NEW CEILING TILES (RETAIN GRIDS & LIGHTS), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING.					
5 PAVE GRANULAR PARKING LOT					

SUBMERSIBLE PUMP SCHEDULE

Item	Type	Capacity USgpm	Size	Electrical	Manufacturer	Remarks	CAPACITY INDICATED ON SCHEDULE REFER TO SPECIFICATION FOR CONSTRUCTION STANDARDS, ACCESSORIES AND ADDITIONAL INFORMATION	
							SP-2	SUMMIT WATER
SP-2	SUBMERSIBLE PUMP W/ FILTRATION SYSTEM	15	2 hp	575/3/60	SUMMIT WATER	SPECIALIZED SYSTEM BY SUMMIT WATER SYSTEM DESIGNED FOR A RAINWATER HARVESTING SYSTEM COLLECTING AND TREATING WATER FROM HARD SURFACE ROOF FOR USE IN NON-POTABLE APPLIANCES. IT CONTAINS A SUBMERSIBLE PUMP AND A SOLENOID VALVE WHICH IS USED TO BYPASS THE WELL WATER PACKAGED TIER 2 RAINWATER HARVESTING SYSTEM DESIGNED TO RETAIN CISTERN WATER UNDER THE INFLUENCE OF HARD SURFACE ROOF RUNOFF. SEE TIER 2 AT SUMMIT WATER. REFER TO SPEC SHEET BY SUMMIT WATER FOR ACCESSORIES & INSTALLATION INSTRUCTIONS. FOR MORE INFORMATION PLEASE CONTACT SUMMIT WATER.	Kris Zidek kriszidek@summitwater.ca / +1 519.828.5131	



TRUE NORTH	COMPASS	
1	2025-10-31	ISSUED FOR PHASE 2 TENDER
No.	DATE	REVISIONS
REVISIONS		

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The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services. Follow as closely as actual conditions permit. The drawings do not indicate all offsets fitting and accessories which may be required for the actual installation.

The drawings do not indicate all offsets fitting and accessories which may be required for the actual installation. The drawings, including dimensions, elevations, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.

Do not scale this drawing.

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EMILY-OMEMEE
ADDITION/RENOVATION

PHASE 2
212 STURGEON ROAD

OMEMEE ONTARIO

OPTIONAL PRICE - LEVEL 1 - PLUMBING & DRAINAGE - ABOVE GRADE GREY WATER SYSTEM - RENOVATION

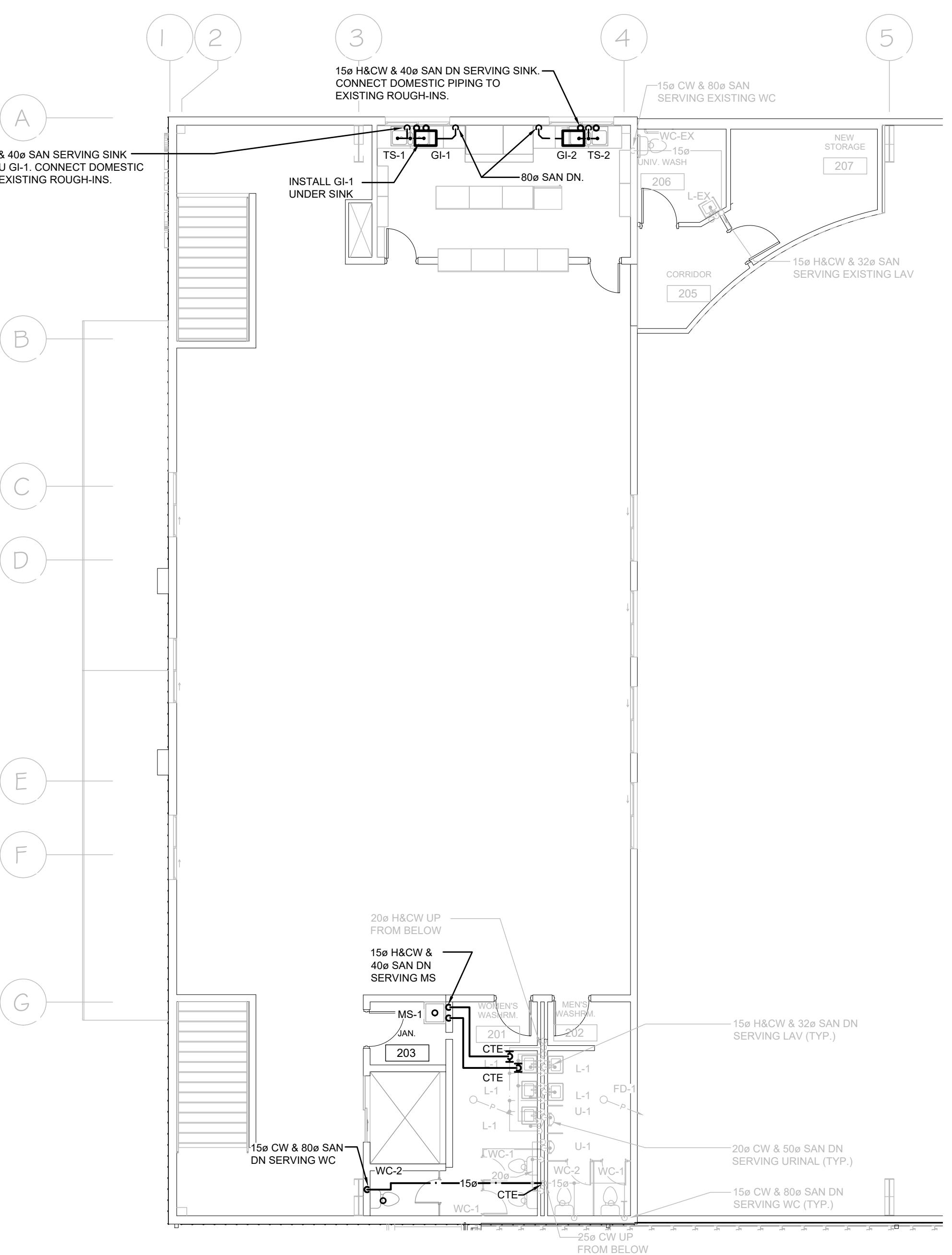
DATE: 2025-11-03 DRAWN BY: HB DRAWING No: M303A
PROJECT No: 24002 CHECKED BY: MM

GENERAL RENOVATION NOTES

- CONTRACTOR TO PROVIDE NEW FROSTPROOF COUPLING AT ALL EXISTING PIPE PENETRATIONS THRU DOOR ROOM WALLS. QUANTITY & PIPE SIZE TO BE DETERMINED ON SITE.
- PIPE INSULATION IS TO BE INSTALLED AT ALL EXISTING PIPE ELBOWS, FITTINGS, ETC. WHERE ABATEMENT REMOVED THE INSULATION AND WHERE EXISTING PIPE ELBOWS, FITTINGS, ETC. ARE ADDED. CONTRACTOR TO DETERMINE QUANTITY & SIZE. CONTRACTOR TO REVIEW ON SITE FOR QUANTITY & SIZES.
- CONTRACTOR TO LOCATE ISOLATION VALVES AND DRAIN SYSTEMS TO ALLOW PROPOSED WORK TO PROCEED. REFILL SYSTEMS AS INDICATED. FLUSHING, CLEANING, & REFILLING WITH CLEAR WATER & CHEMICAL TO WATER TREATMENT CONTRACTOR REQUIREMENTS.
- FREEZE OR DRAIN EXISTING PIPING AS REQUIRED TO FACILITATE CUT IN.

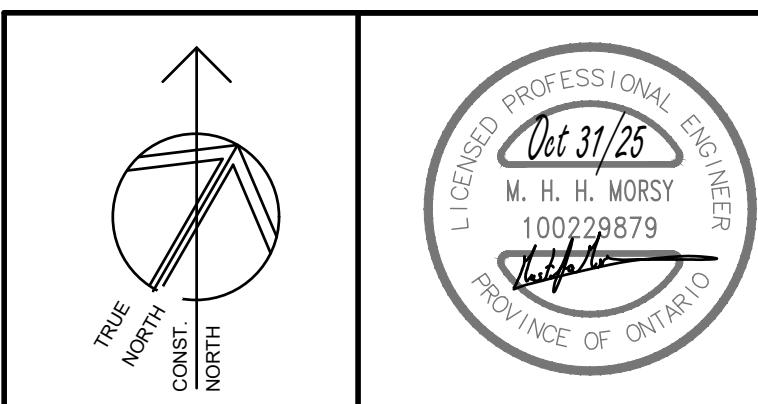
PROVISIONAL PRICE LIST

1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE. NEW COUNTER TOPS (RETAIN GRID & LIGHTS). REMOVE PROPANE TANK. POWER FOR NEW ELECTRIC STOVES. PAINTING.
5	PAVE GRANULAR PARKING LOT



LEVEL 2 - PLUMBING & DRAINAGE - RENOVATION

SCALE: 1:100



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The drawings do not indicate all offsets fitting and accessories which may be required. All dimensions shown are approximate. All dimensions, elevations, areas, weights, etc., given on the drawings are approximate. These documents are not to be duplicated or copied without the consent of the Consultant.
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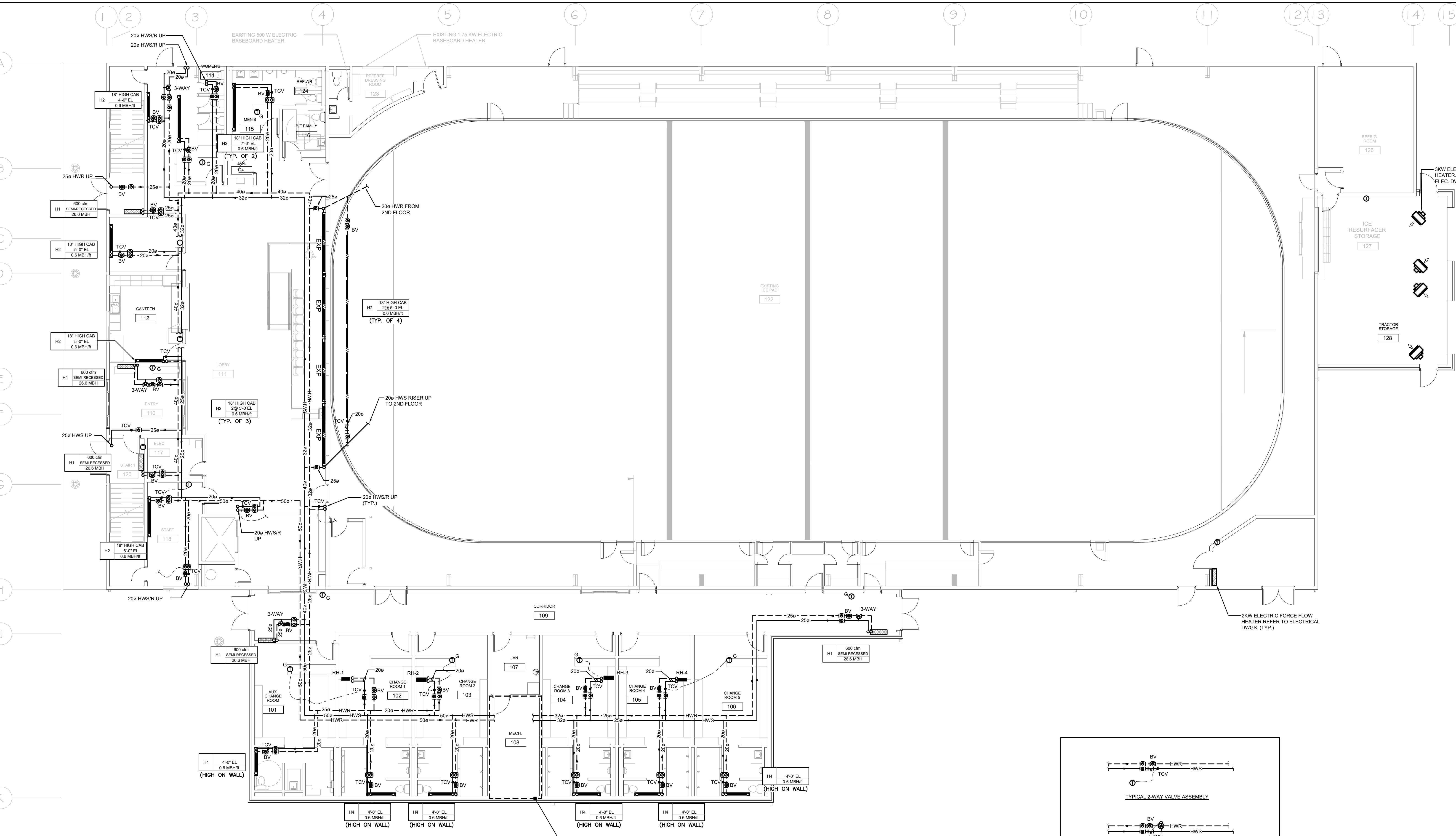
MECHANICAL | ELECTRICAL | AQUATIC

EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2
212 STURGEON ROAD

OMEMEE ONTARIO

LEVEL 2 - PLUMBING &
DRAINAGE - RENOVATION

DATE: 2025-11-03	DRAWN BY: HB	DRAWING No:
PROJECT No: 24002	CHECKED BY: MM	M304



LEVEL 1 - HEATING - RENOVATION

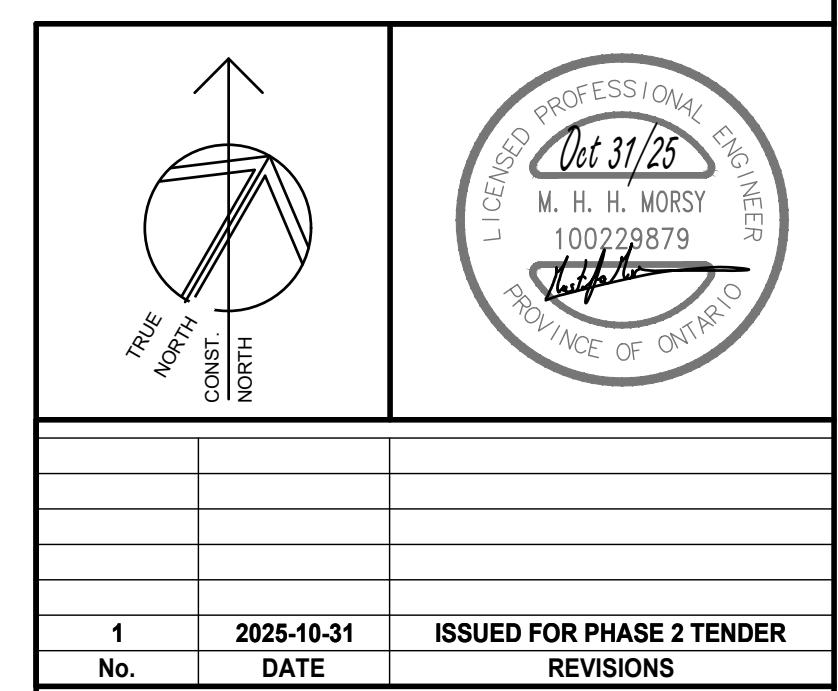
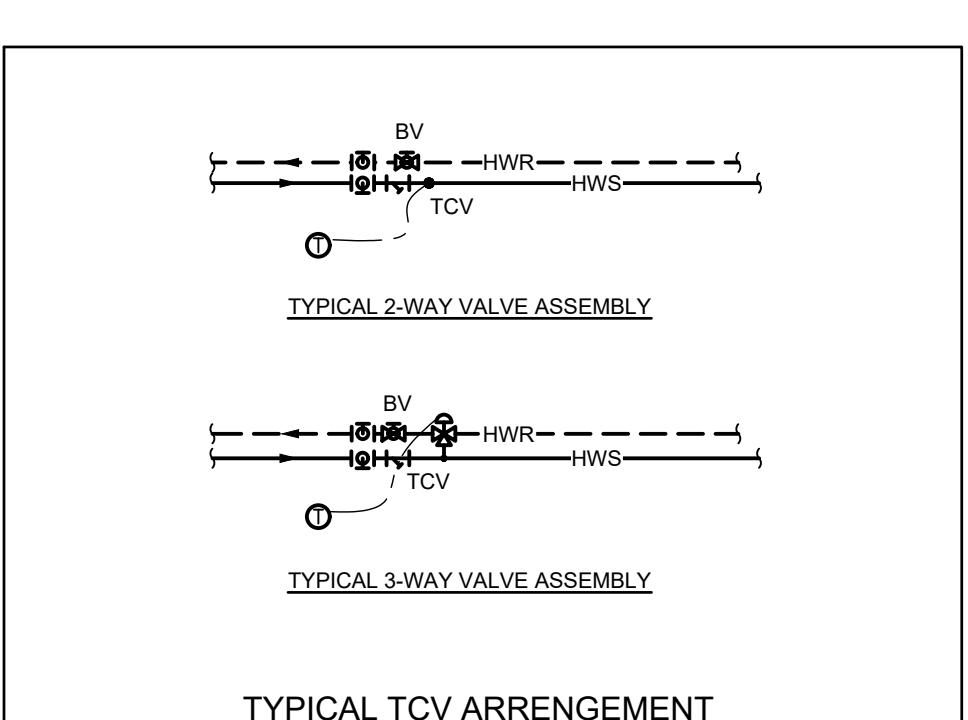
SCALE: 1:100

GENERAL RENOVATION NOTES

- Contractor to provide new firestop sealing thru boiler room walls. Quantity & pipe size to be determined on site.
- Pipe insulation is to be installed at all existing pipe, elbows, fittings, etc. where abatement removed the insulation and where existing elbows, fittings, etc. are replaced by new ones.
- Contractor to locate isolation valves and drain systems to allow proposed work to proceed. Refill systems as indicated. Flushing, cleaning, & refilling with water treatment chemicals to water treatment contractor to review on site for quantity & sizes.
- Freeze or drain existing piping as required to facilitate cut in.

PROVISIONAL PRICE LIST

1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE, NEW CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPS/TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT



REVISIONS



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The drawings do not indicate all offsets fitting and accessories which may be required to connect to existing piping, valves, fittings, fixtures, etc. and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.
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EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2
212 STURGEON ROAD

OMEMEE ONTARIO

LEVEL 1 - HEATING -
RENOVATION

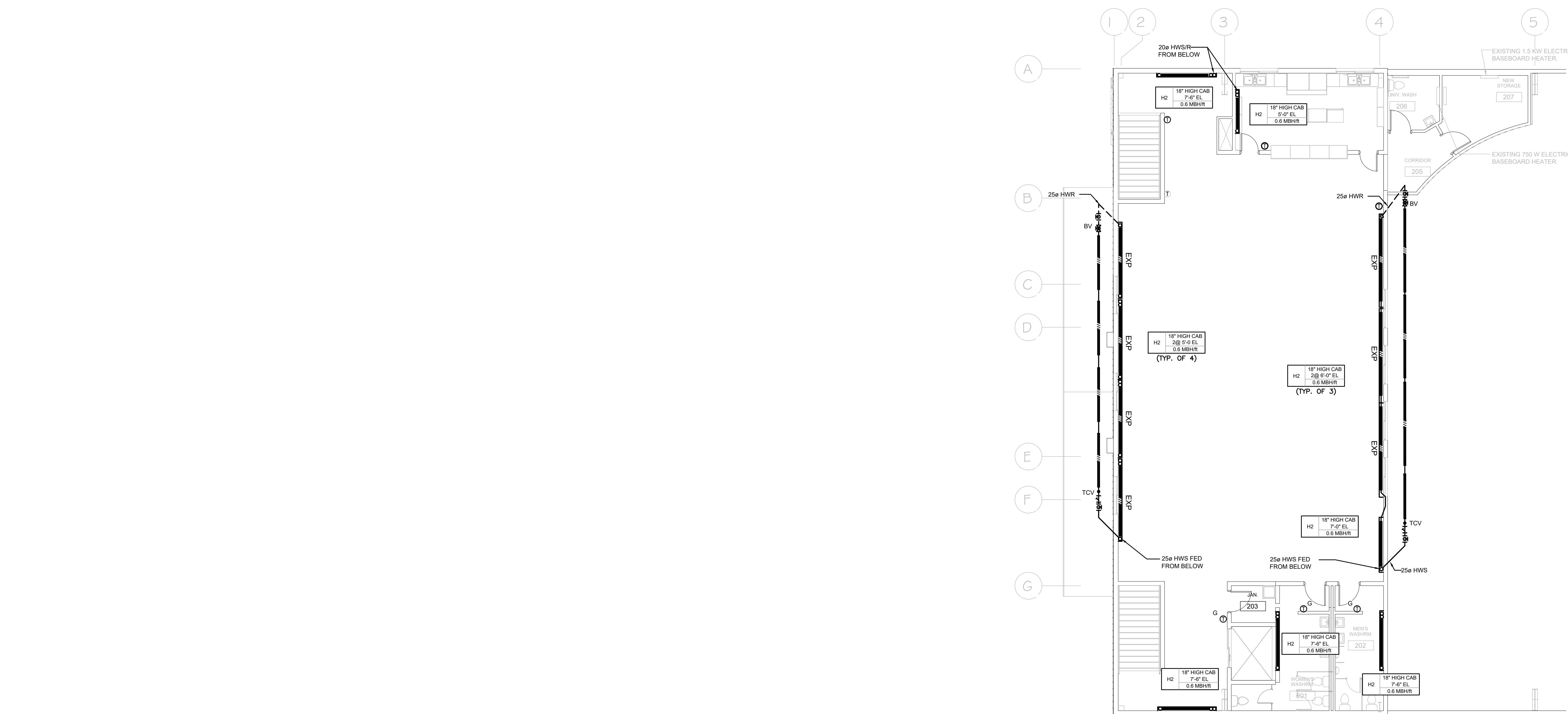
DATE: 2025-11-03	DRAWN BY: HB	DRAWING No: M401
PROJECT No: 24002	CHECKED BY: MM	

GENERAL RENOVATION NOTES

- CONTRACTOR TO PROVIDE NEW FIRESTOP COUPLING AT ALL EXISTING PIPE PENETRATIONS THRU BOILER ROOM WALLS. QUANTITY & PIPE SIZE TO BE DETERMINED ON SITE.
- PIPE INSULATION IS TO BE INSTALLED AT ALL EXISTING PIPE, ELBOWS, FITTINGS, ETC. WHERE ABATEMENT REMOVED THE INSULATION AND WHERE EXISTING PIPE ELBOWS, FITTINGS, ETC. ARE RELOCATED. CONTRACTOR TO REVIEW FOR QUANTITY & SIZES.
- CONTRACTOR TO LOCATE ISOLATION VALVES AND DRAIN SYSTEMS TO ALLOW PROPOSED WORK TO PROCEED. REFILL SYSTEMS AS INDICATED. FLUSHING, CLEANING, & REFILLING WITH CLEAN WATER FOR ALL CIVIL & CHEMICAL TREATMENT CONTRACTOR REQUIREMENTS.
- FROZEN OR DRAIN EXISTING PIPING AS REQUIRED TO FACILITATE CUT IN.

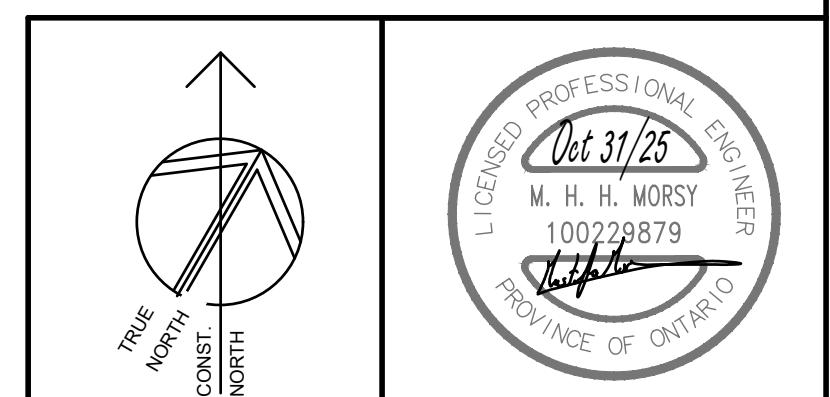
PROVISIONAL PRICE LIST

1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE, NEW CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPS, VENT, TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT



LEVEL 2 - HEATING - RENOVATION

SCALE: 1:100



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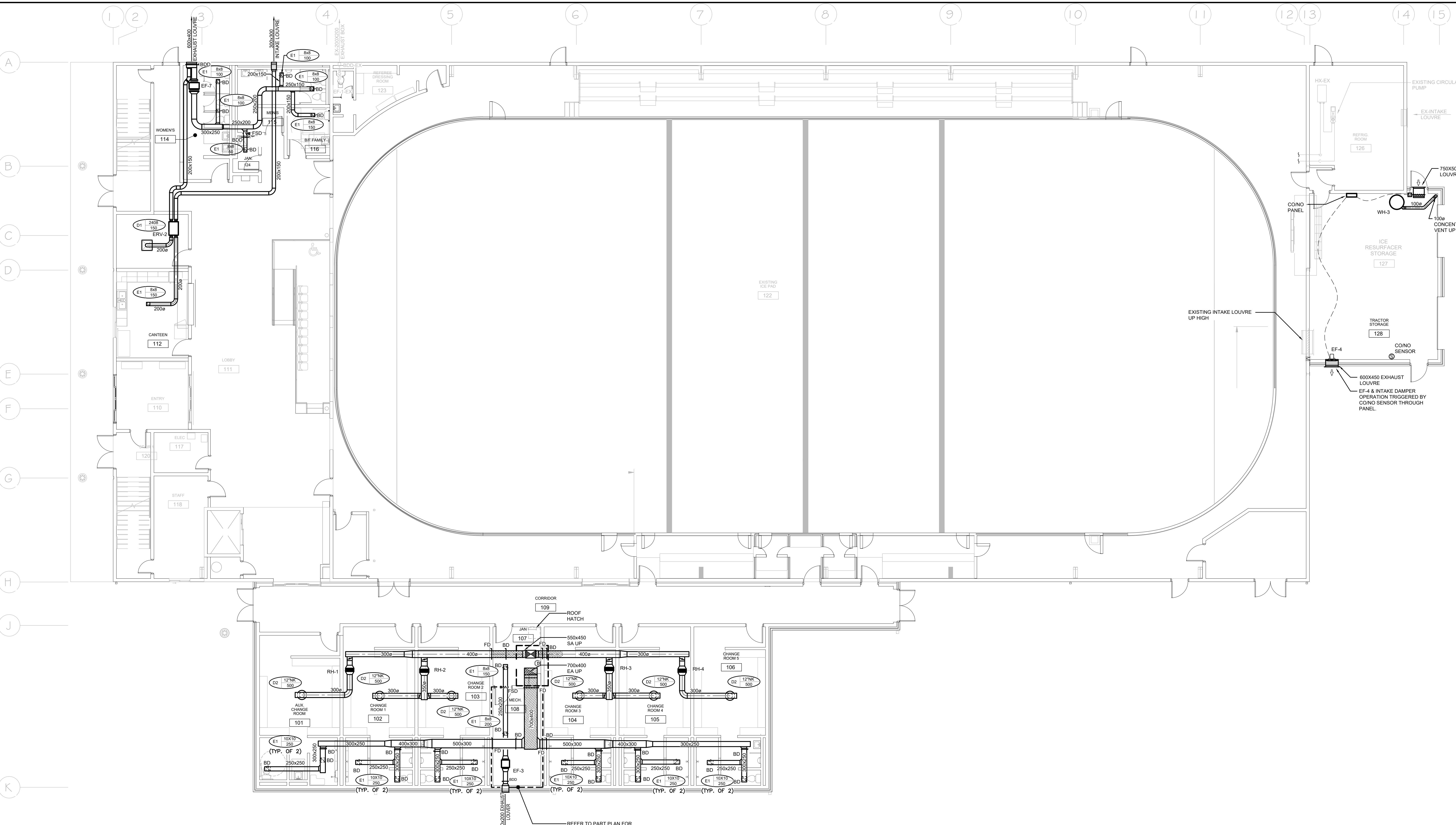
Consulting Engineers

MECHANICAL | ELECTRICAL | AQUATIC
EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2
212 STURGEON ROAD

OMEMEE ONTARIO

LEVEL 2 - HEATING -
RENOVATION

DATE: 2025-11-03	DRAWN BY: HB	DRAWING No: M402
PROJECT No: 24002	CHECKED BY: MM	

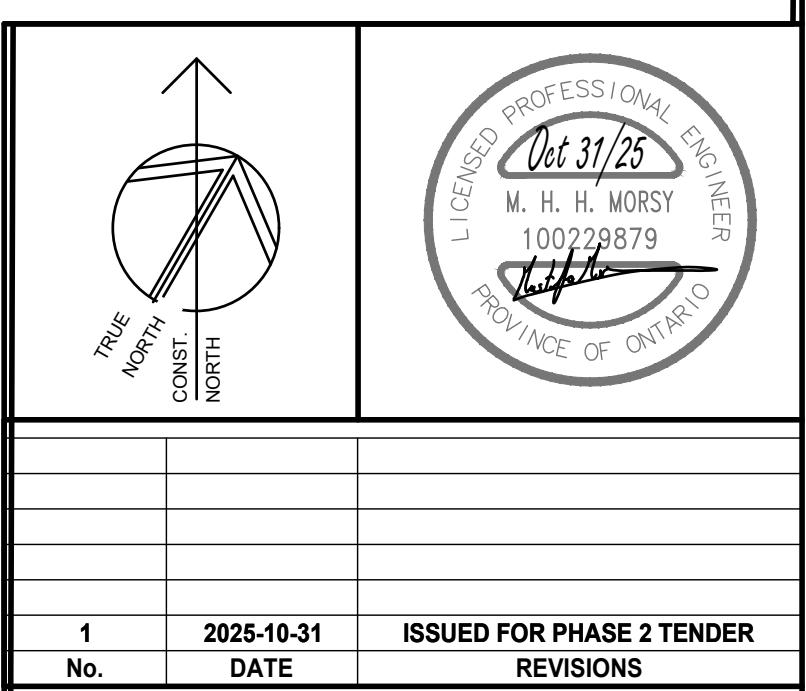


GENERAL RENOVATION NOTES

- CONTRACTOR TO PROVIDE NEW FIRESTOP COUPLING AT ALL EXISTING PIPE PENETRATIONS THRU DOOR ROOM WALLS. QUANTITY & PIPE SIZE TO BE DETERMINED ON SITE.
- PIPE INSULATION IS TO BE INSTALLED AT ALL EXISTING PIPE, ELBOWS, FITTINGS, ETC. WHERE ABATEMENT REMOVED THE INSULATION AND WHERE EXISTING PIPE ELBOWS, FITTINGS, ETC. ARE ADDED. CONTRACTOR TO DETERMINE QUANTITY & SIZE. CONTRACTOR TO REVIEW ON SITE FOR QUANTITY & SIZES.
- CONTRACTOR TO LOCATE ISOLATION VALVES AND DRAIN SYSTEMS TO ALLOW PROPOSED WORK TO PROCEED. REFILL SYSTEMS AS INDICATED. FLUSHING, CLEANING, & REFILLING WITH CLEAR WATER & CHEMICAL TO WATER TREATMENT CONTRACTOR REQUIREMENTS.
- FREEZE OR DRAIN EXISTING PIPING AS REQUIRED TO FACILITATE CUT IN.

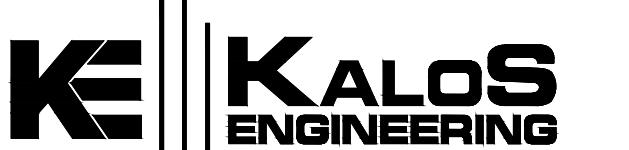
PROVISIONAL PRICE LIST

1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE. NEW CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT



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EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2
212 STURGEON ROAD

OMEMEE ONTARIO

LEVEL 1 - VENTILATION -
RENOVATION

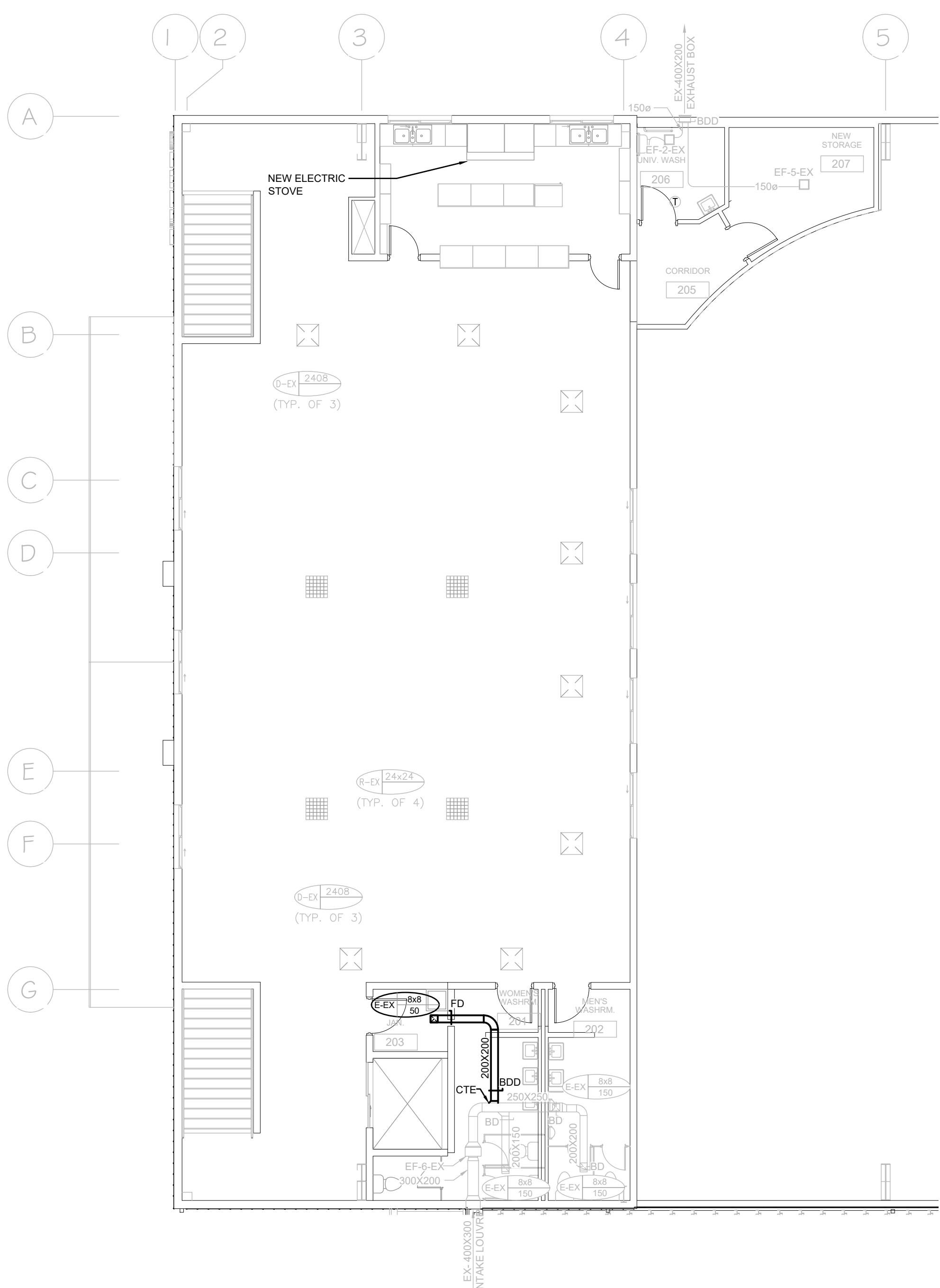
DATE: 2025-11-03	DRAWN BY: HB	DRAWING No: M501
PROJECT No: 24002	CHECKED BY: MM	

GENERAL RENOVATION NOTES

- CONTRACTOR TO PROVIDE NEW FIRESTOP COUPLING AT ALL EXISTING PIPE PENETRATIONS THRU DOOR ROOM WALLS. QUANTITY & PIPE SIZE TO BE DETERMINED ON SITE.
- PIPE INSULATION IS TO BE INSTALLED AT ALL EXISTING PIPE ELBOWS, FITTINGS, ETC. WHERE ABATEMENT REMOVED THE INSULATION AND WHERE EXISTING PIPE ELBOWS, FITTINGS, ETC. ARE ADDED. CONTRACTOR TO DETERMINE QUANTITY & SIZES.
- CONTRACTOR TO LOCATE ISOLATION VALVES AND DRAIN SYSTEMS TO ALLOW PROPOSED WORK TO PROCEED. REFILL SYSTEMS AS INDICATED. FLUSHING, CLEANING, & REFILLING WITH CLEAR WATER & CHEMICAL TO WATER TREATMENT CONTRACTOR REQUIREMENTS.
- FREEZE OR DRAIN EXISTING PIPING AS REQUIRED TO FACILITATE CUT IN.

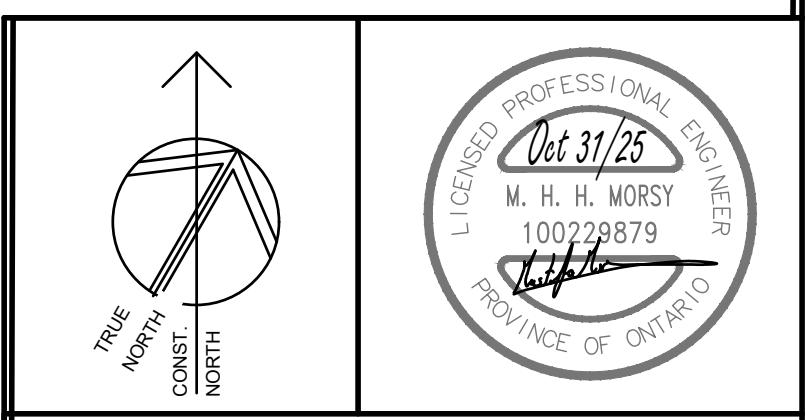
PROVISIONAL PRICE LIST

1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE. NEW COUNTER TOPS (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT



LEVEL 2 - VENTILATION - RENOVATION

SCALE: 1:100



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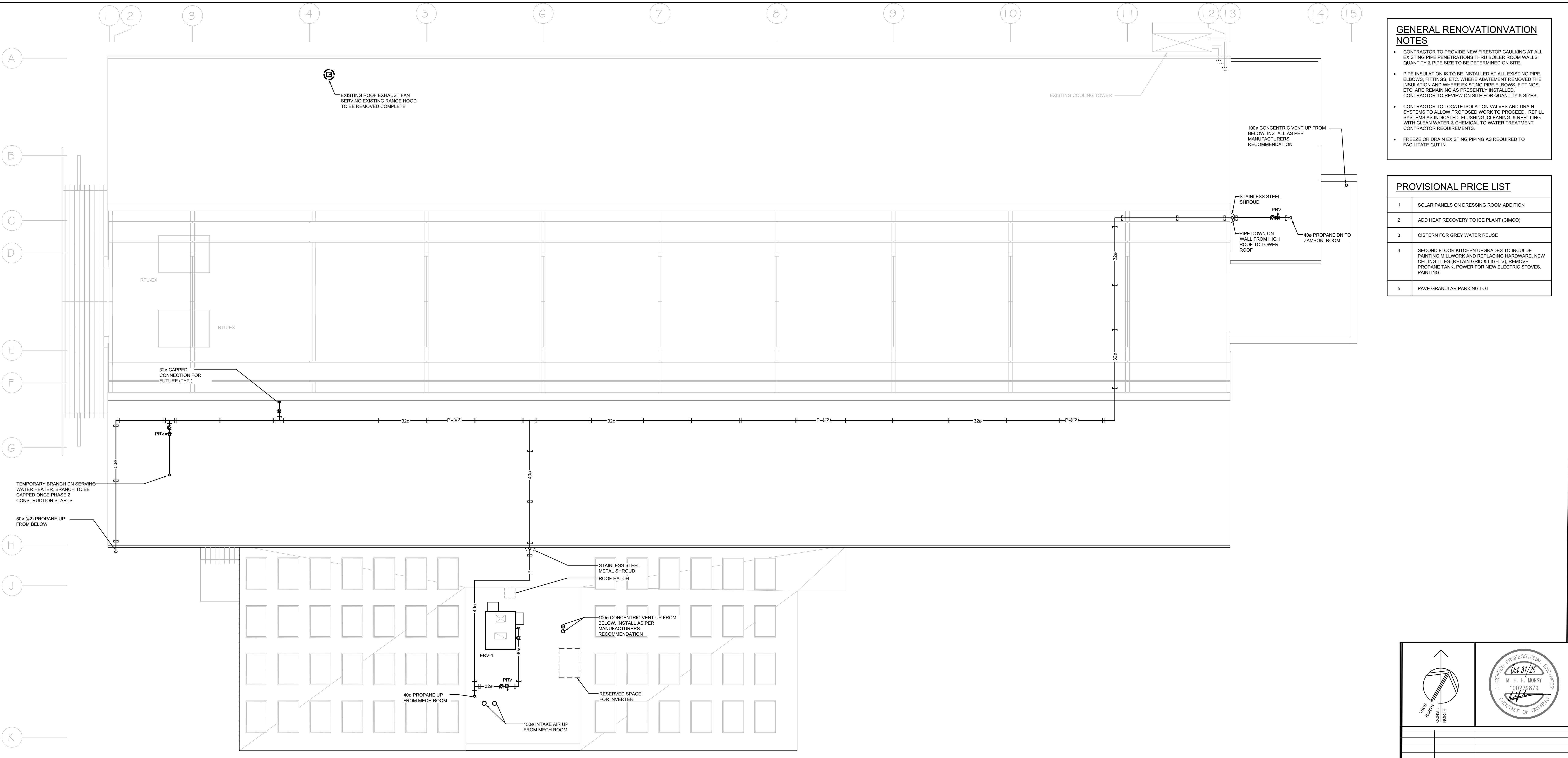
MECHANICAL | ELECTRICAL | AQUATIC

EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2
212 STURGEON ROAD

OMEMEE ONTARIO

LEVEL 2 - VENTILATION -
RENOVATION

DATE: 2025-11-03	DRAWN BY: HB	DRAWING No: M502
PROJECT No: 24002	CHECKED BY: MM	



OOF PLAN

SCALE: 1:100

GENERAL RENOVATION NOTES

- CONTRACTOR TO PROVIDE NEW FIRESTOP CAULKING AT ALL EXISTING PIPE PENETRATIONS THRU BOILER ROOM WALLS. QUANTITY & PIPE SIZE TO BE DETERMINED ON SITE.

PIPE INSULATION IS TO BE INSTALLED AT ALL EXISTING PIPE, ELBOWS, FITTINGS, ETC. WHERE ABATEMENT REMOVED THE INSULATION AND WHERE EXISTING PIPE ELBOWS, FITTINGS, ETC. ARE REMAINING AS PRESENTLY INSTALLED.

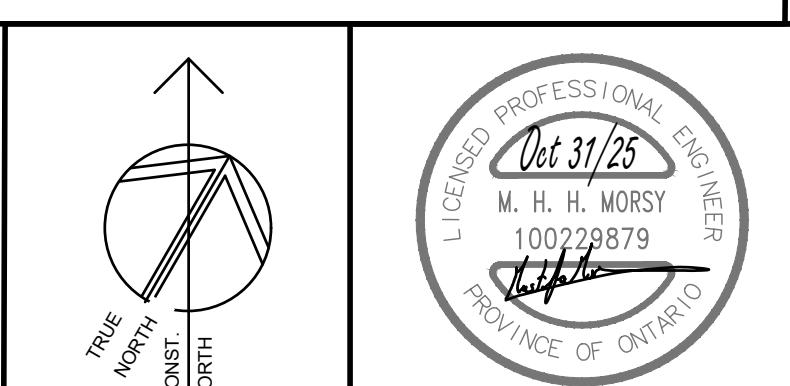
CONTRACTOR TO REVIEW ON SITE FOR QUANTITY & SIZES.

CONTRACTOR TO LOCATE ISOLATION VALVES AND DRAIN SYSTEMS TO ALLOW PROPOSED WORK TO PROCEED. REFILL SYSTEMS AS INDICATED. FLUSHING, CLEANING, & REFILLING WITH CLEAN WATER & CHEMICAL TO WATER TREATMENT CONTRACTOR REQUIREMENTS.

FREEZE OR DRAIN EXISTING PIPING AS REQUIRED TO FACILITATE CUT IN.

PROVISIONAL PRICE LIST

	SOLAR PANELS ON DRESSING ROOM ADDITION
	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
	CISTERN FOR GREY WATER REUSE
	SECOND FLOOR KITCHEN UPGRADES TO INCLULDE PAINTING MILLWORK AND REPLACING HARDWARE, NEW CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING.
	PAVE GRANULAR PARKING LOT



1	2025-10-31	ISSUED FOR PHASE 2 TENDER
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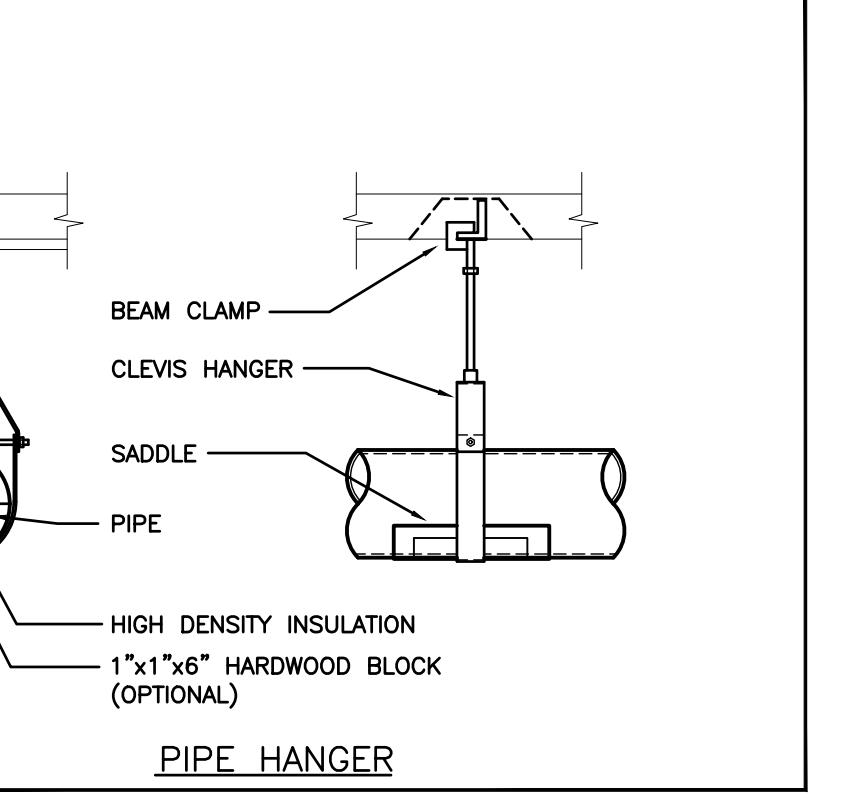
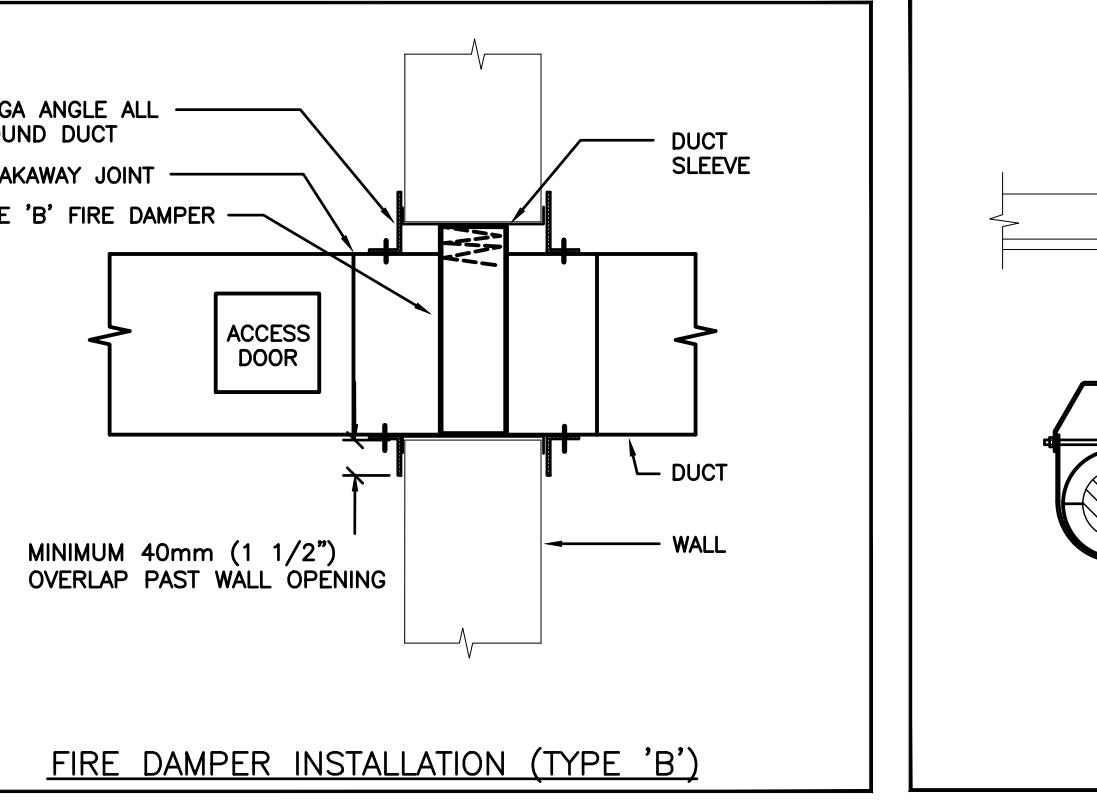
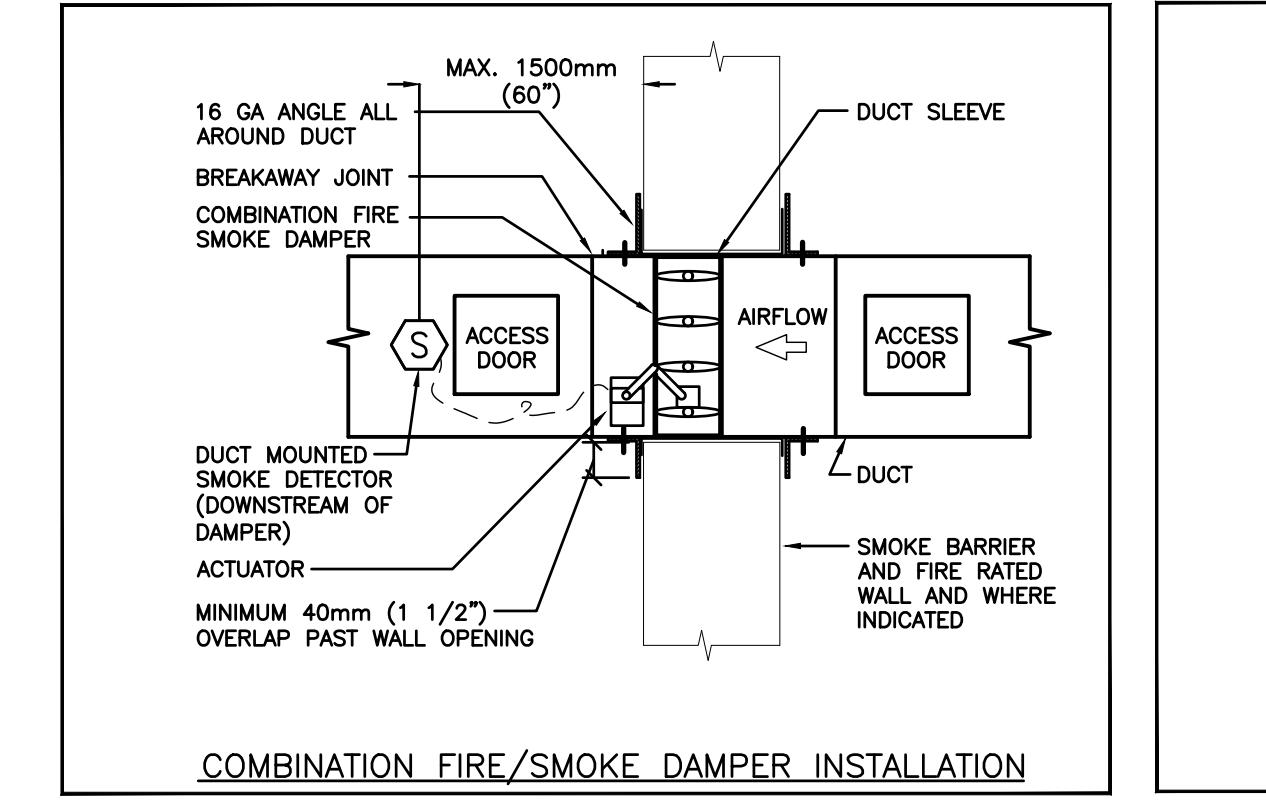
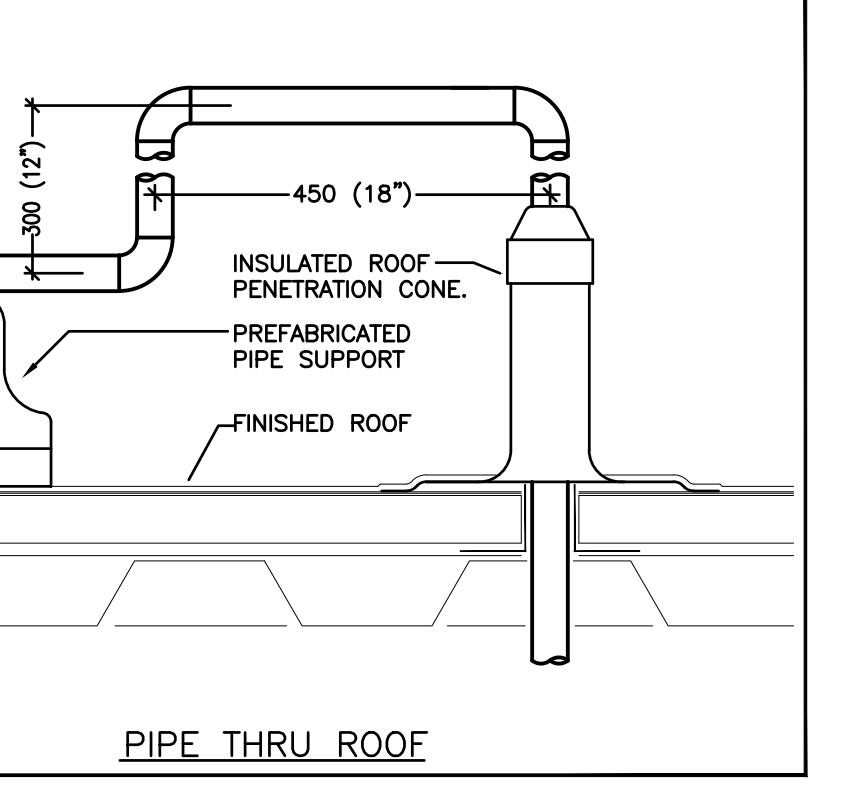
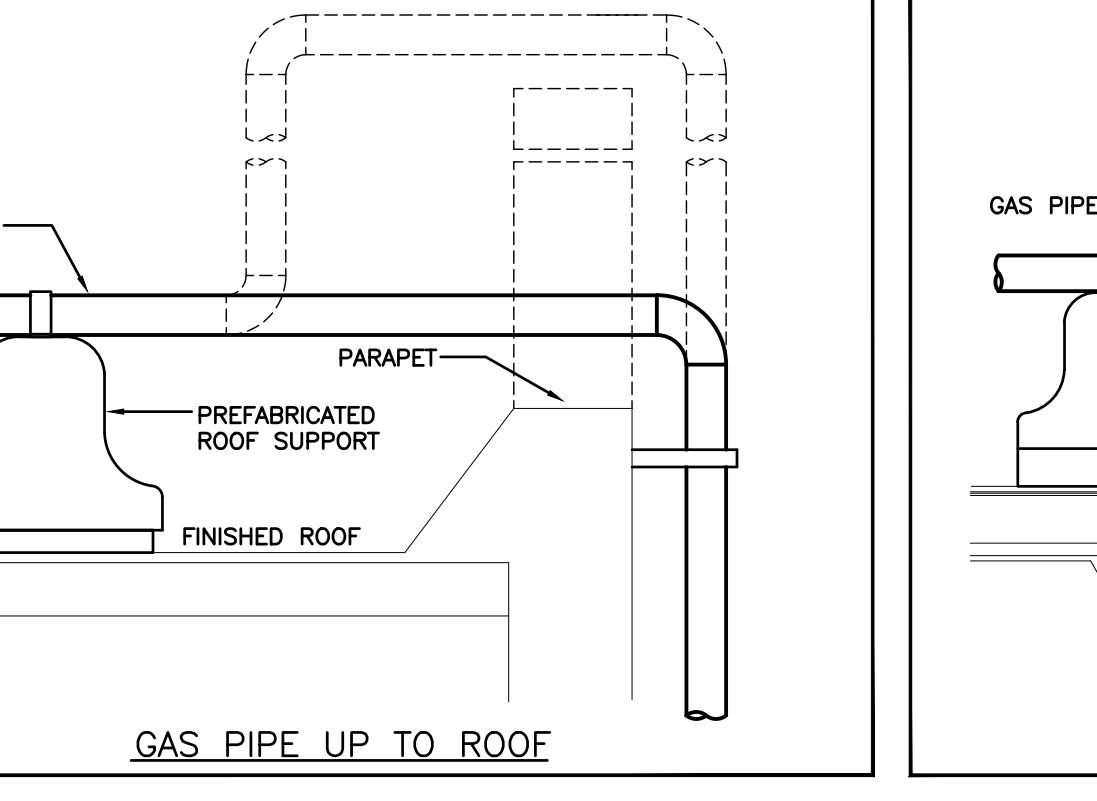
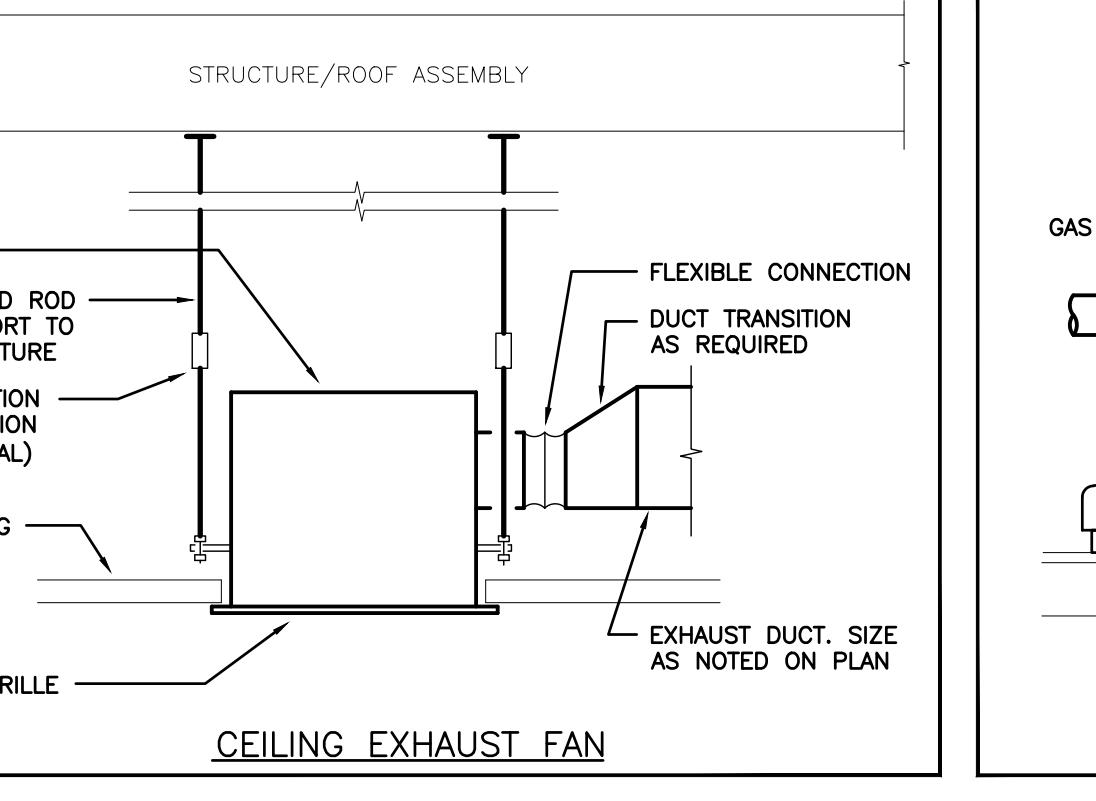
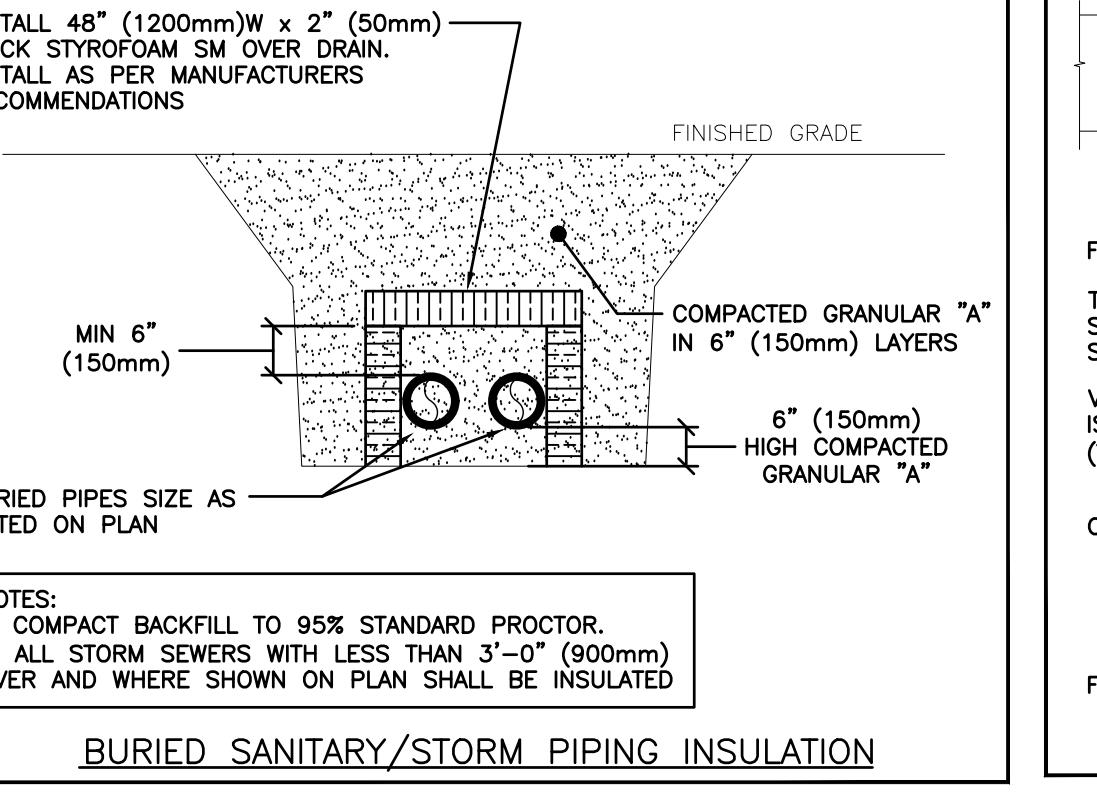
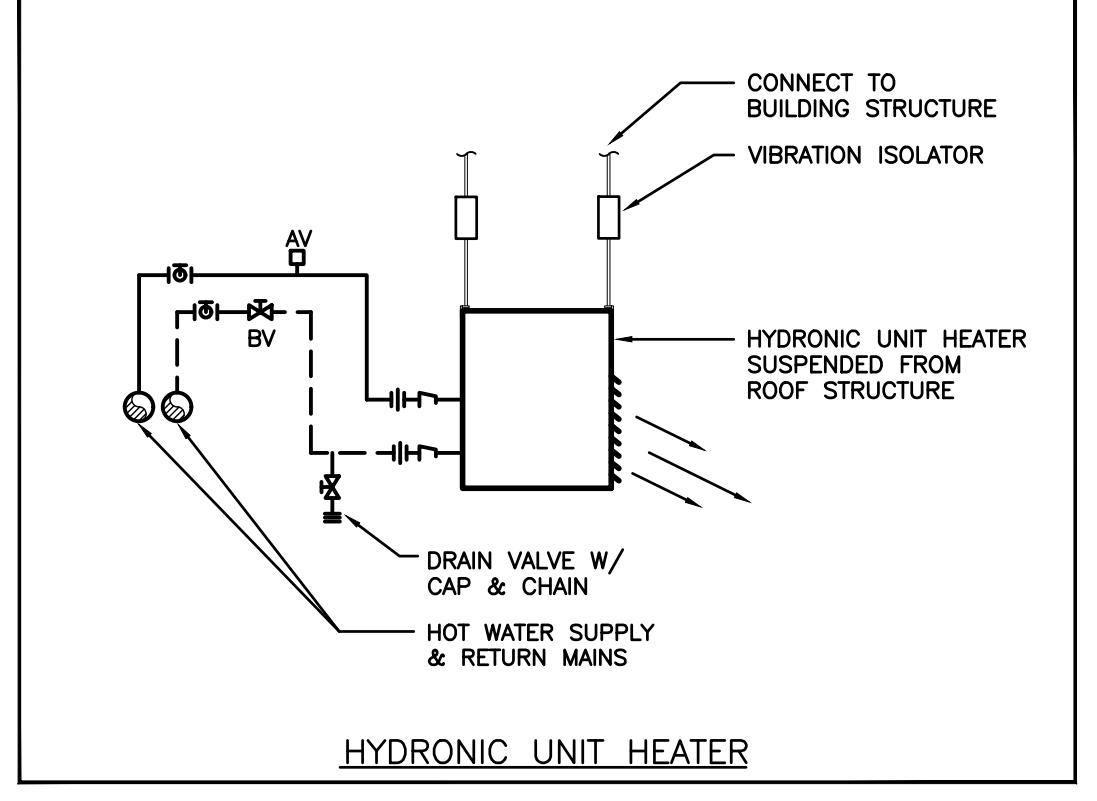
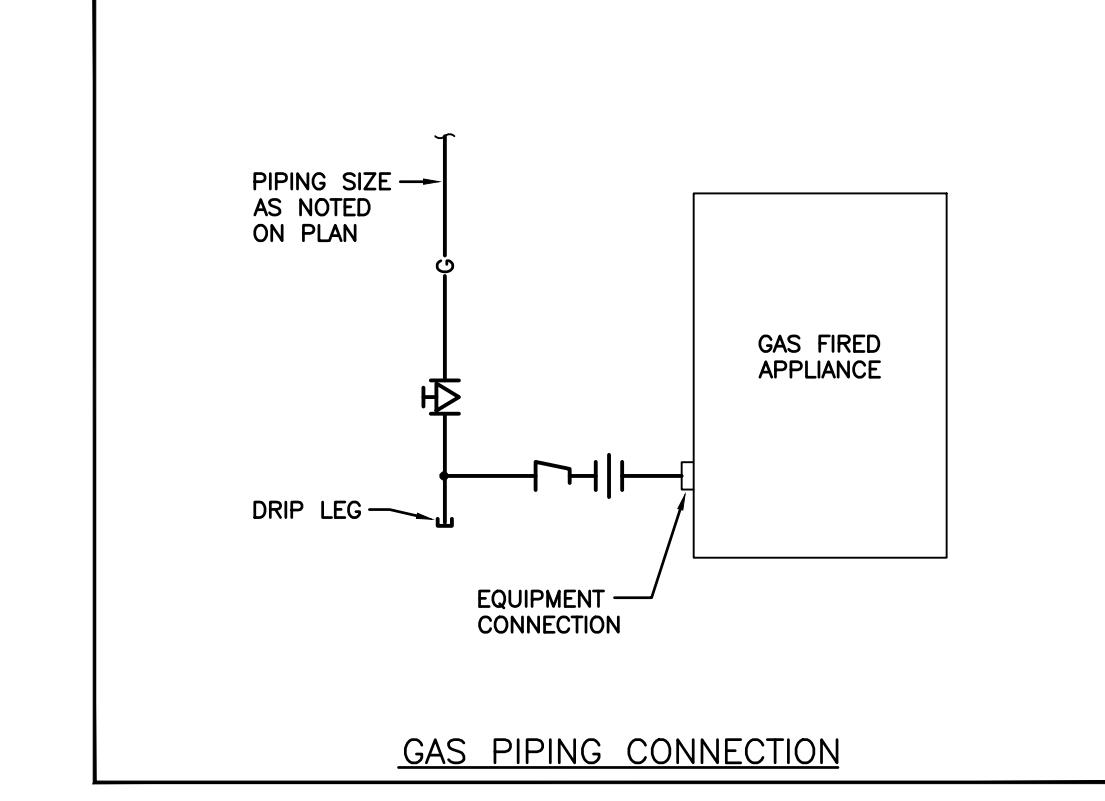
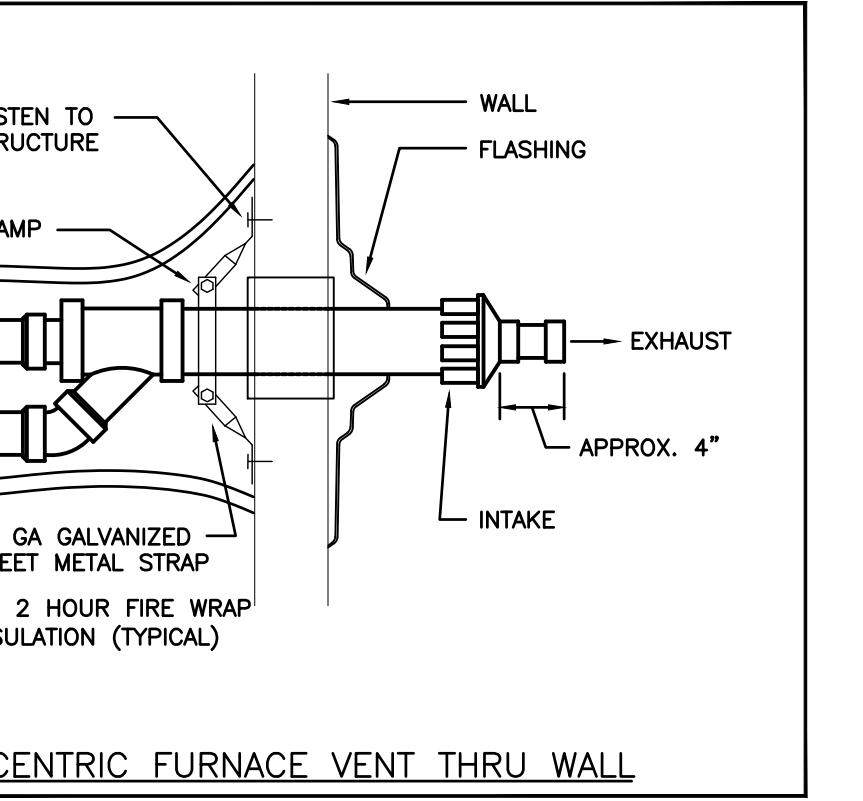
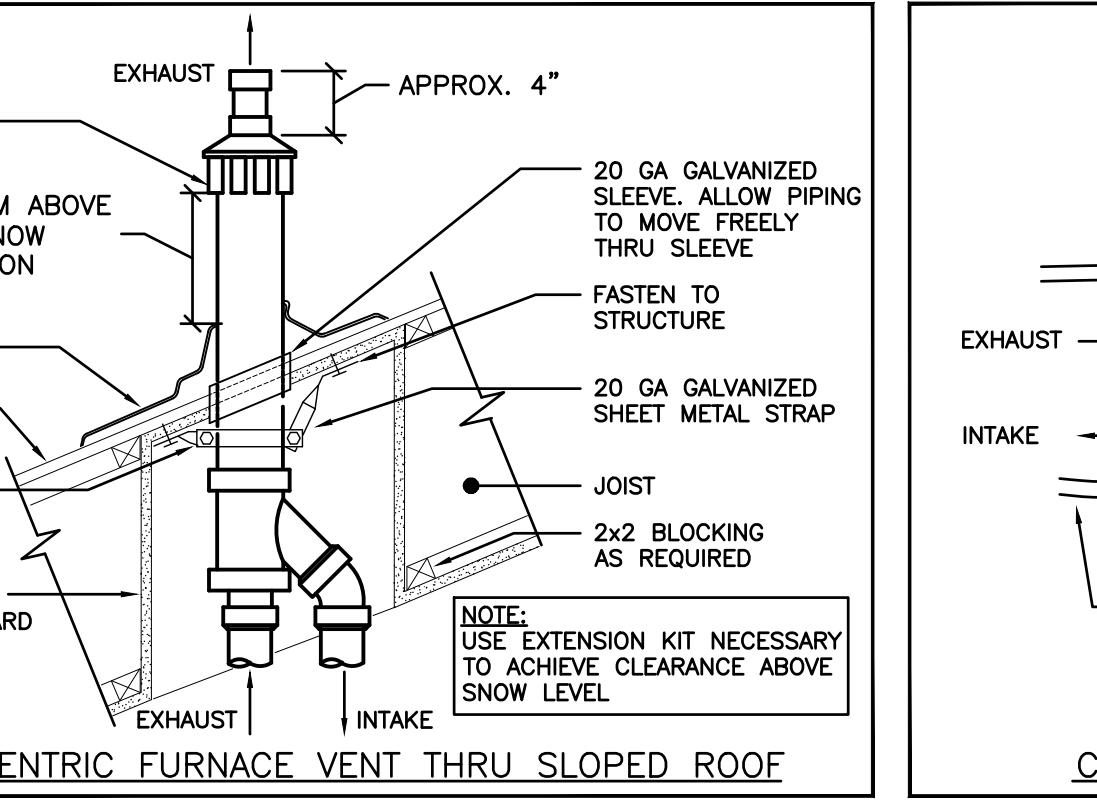
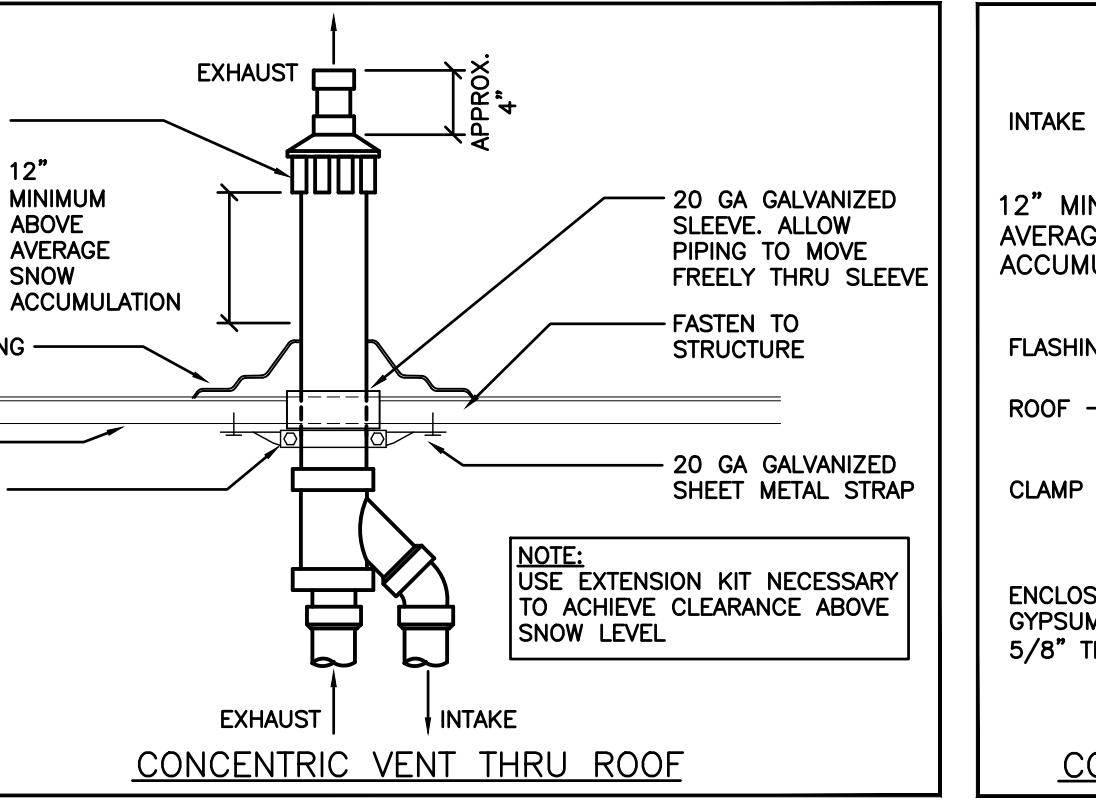
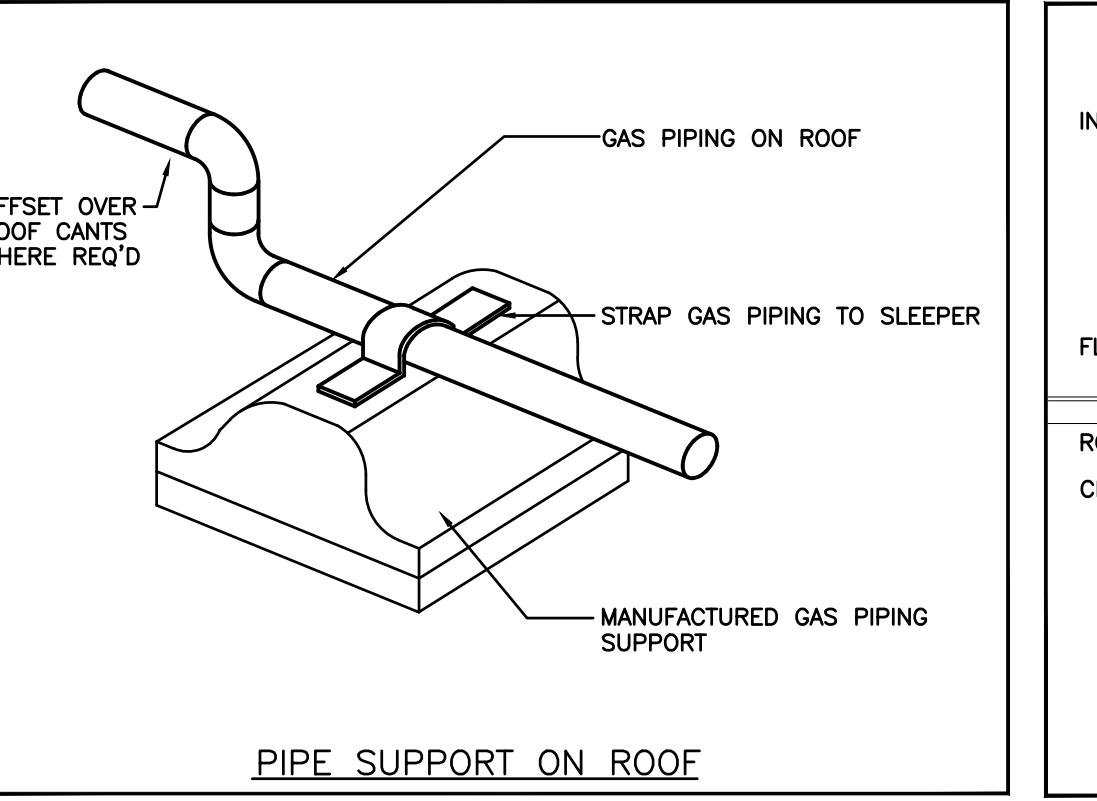
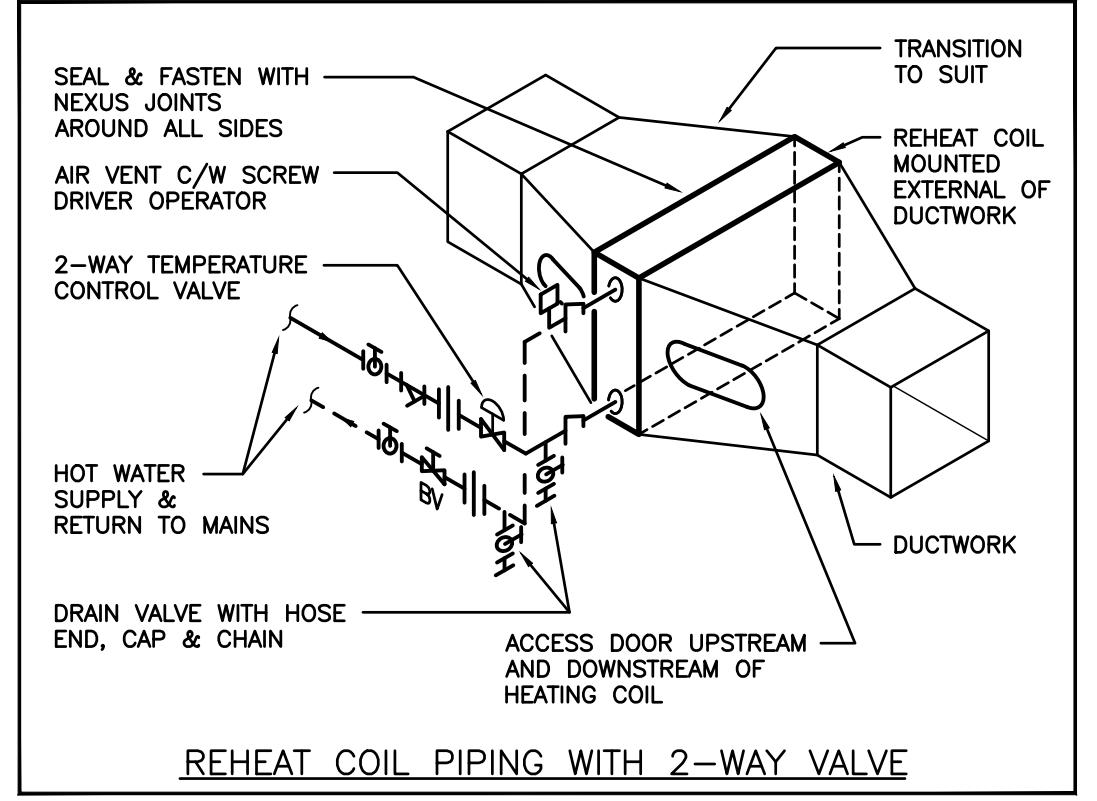
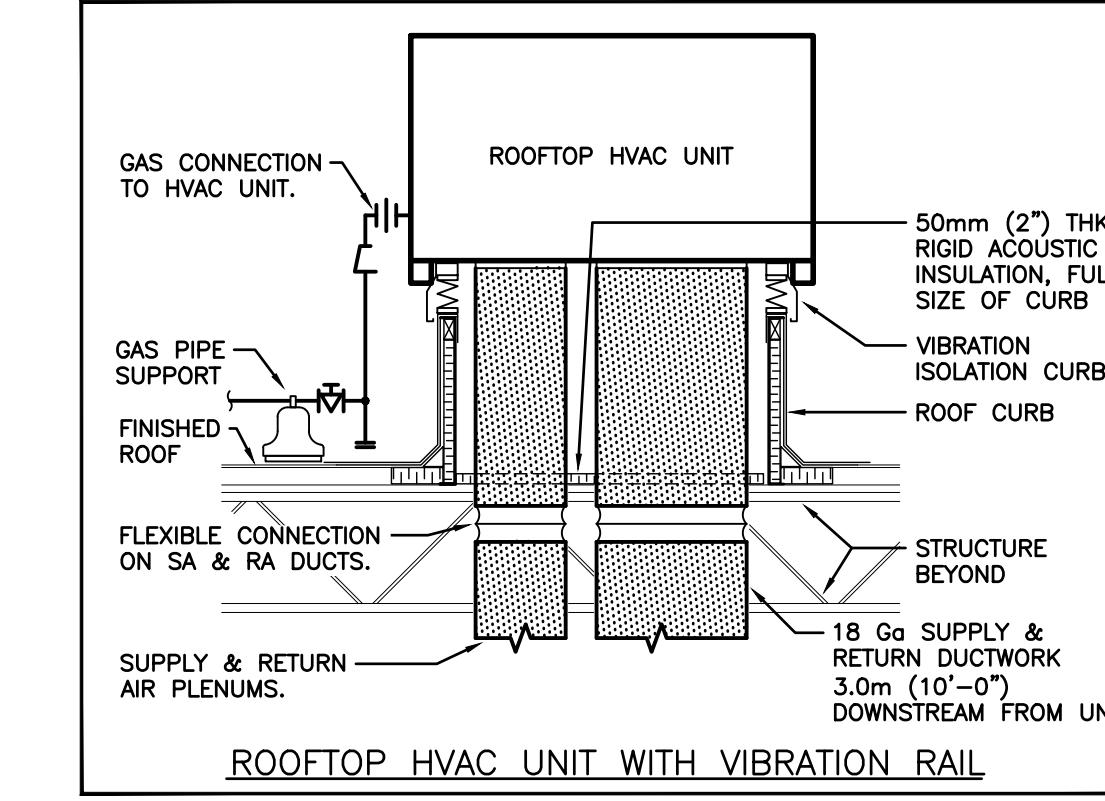
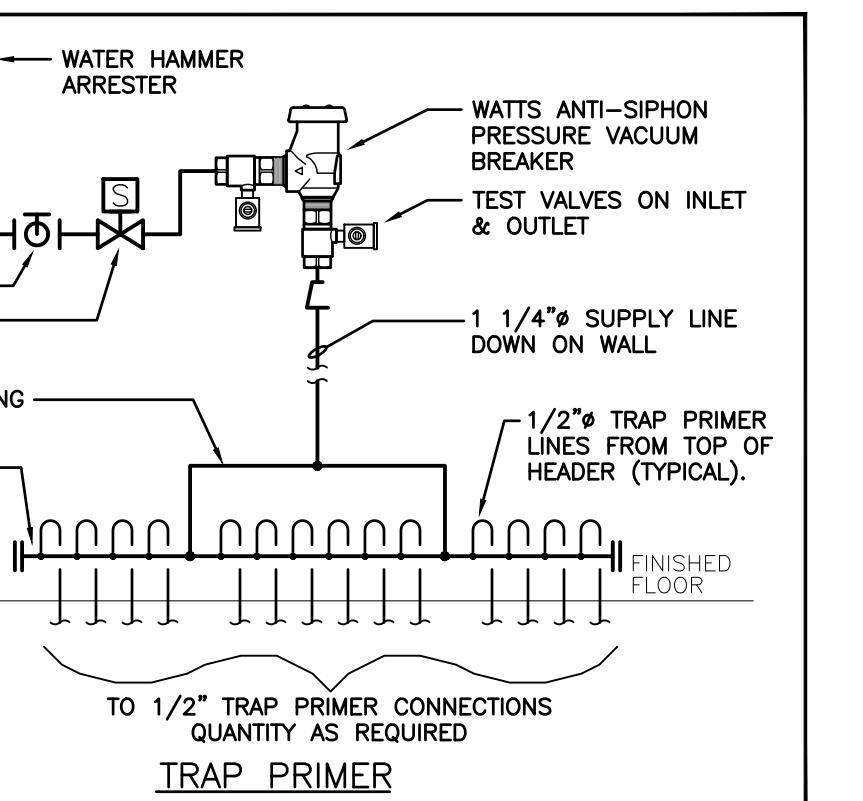
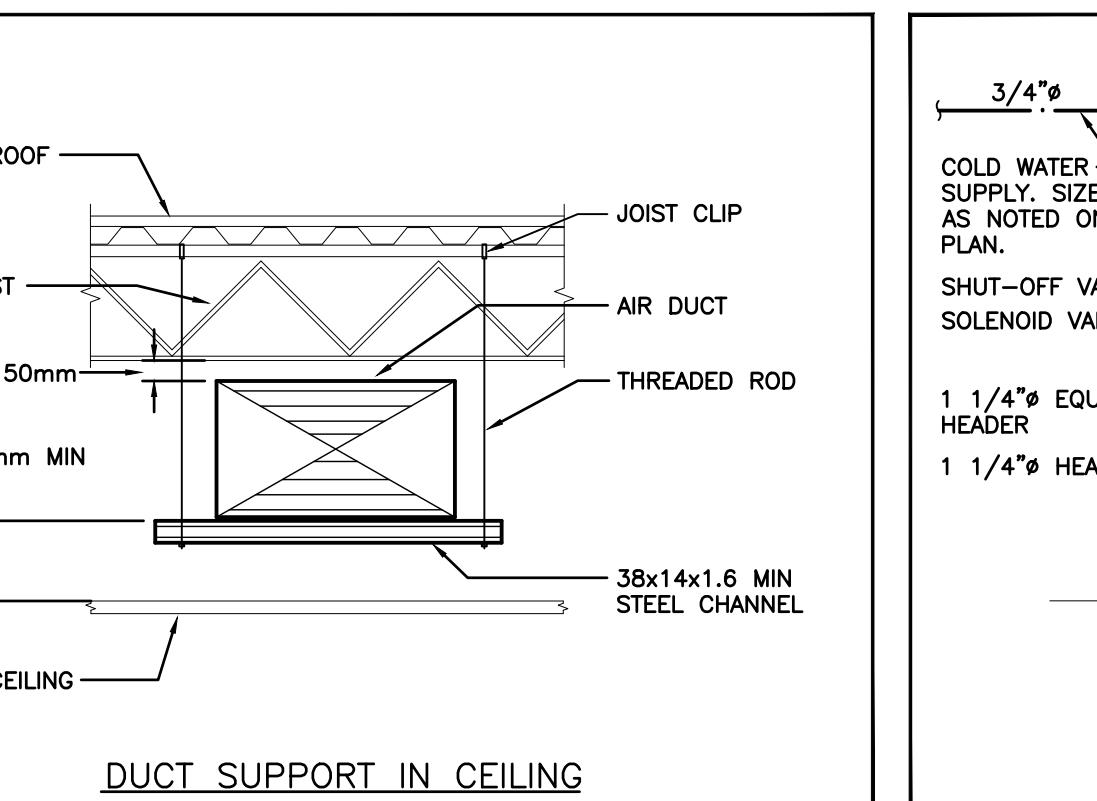
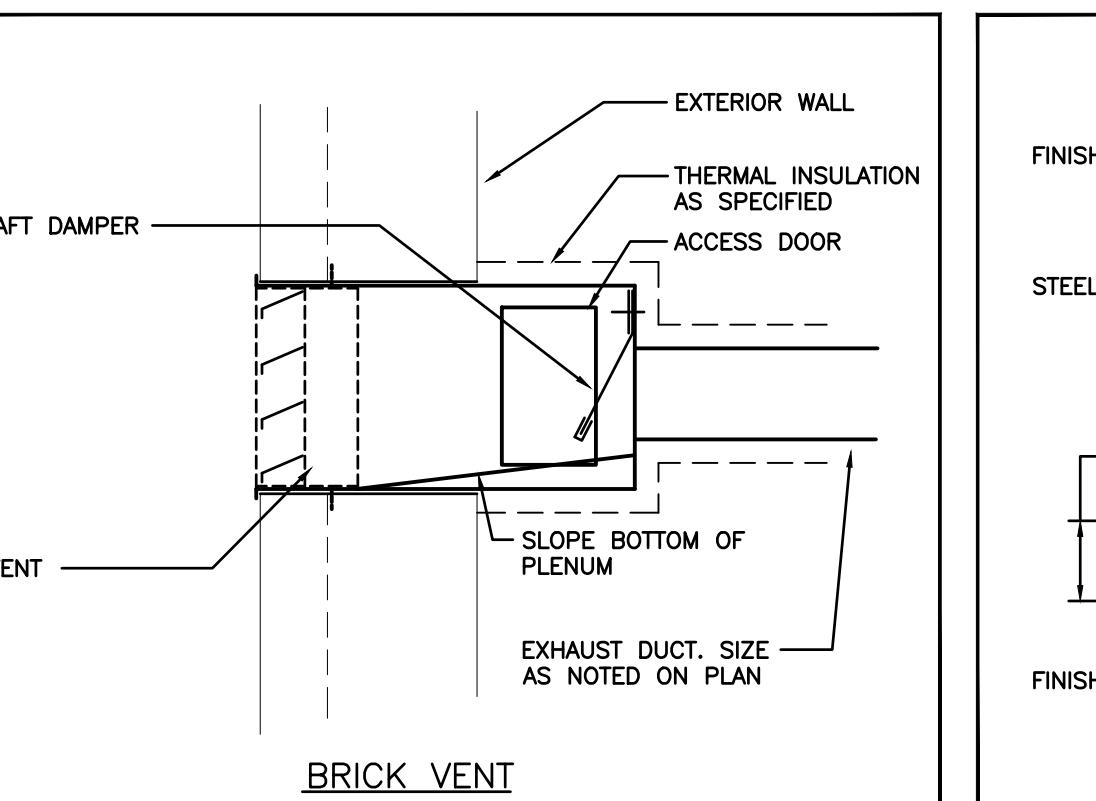
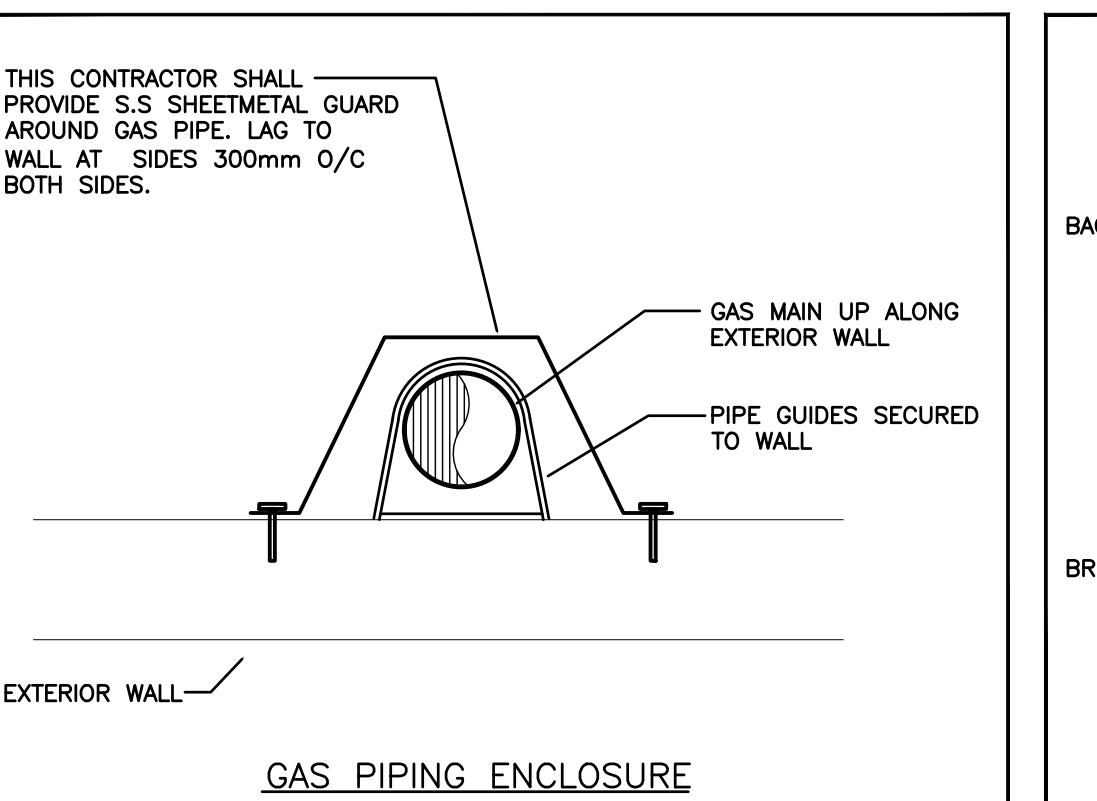
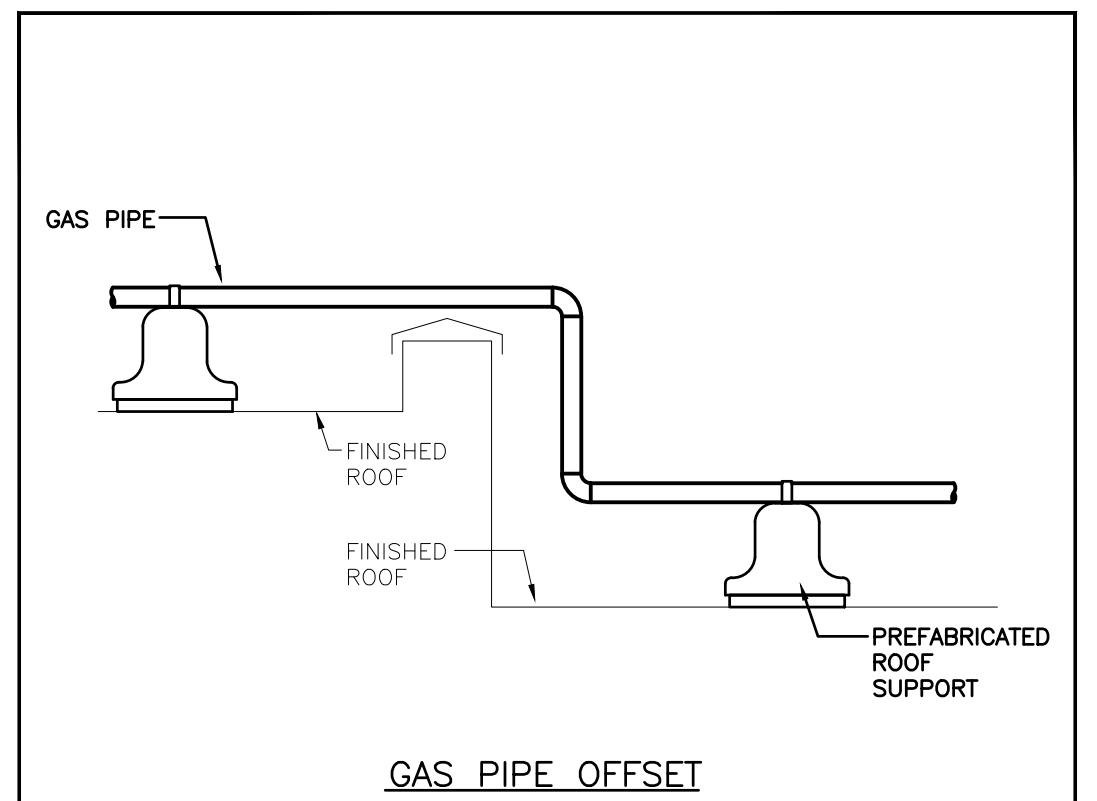
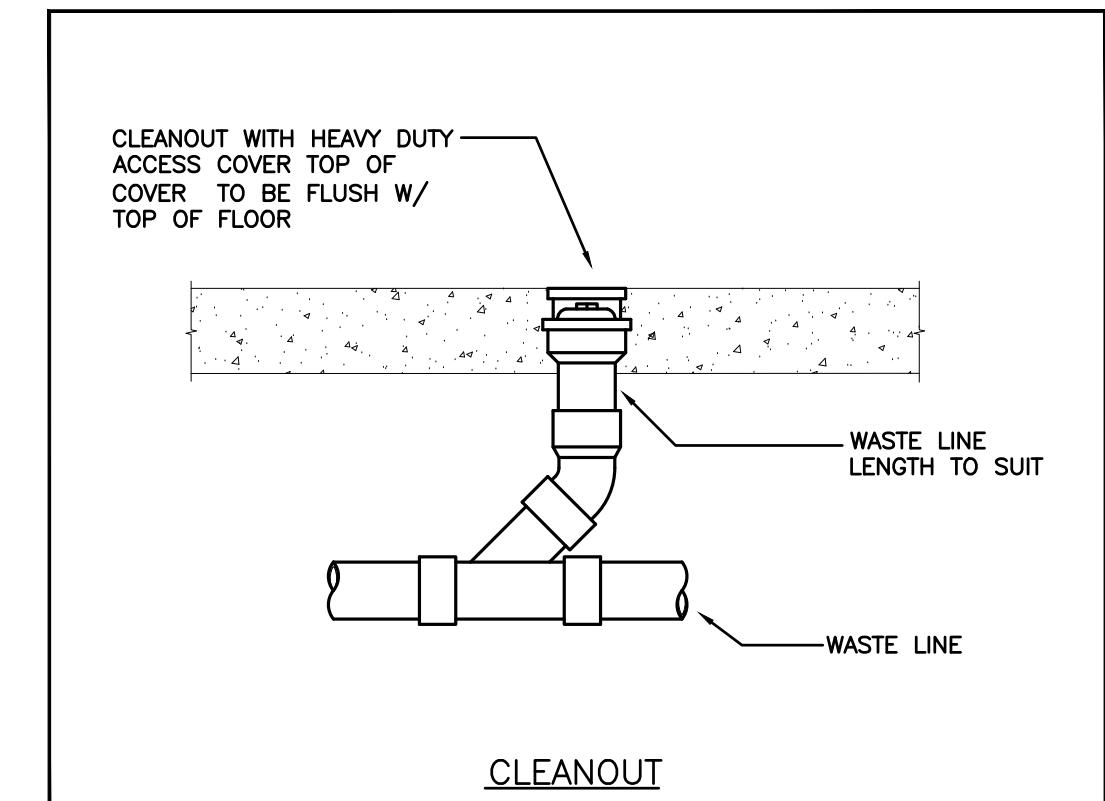
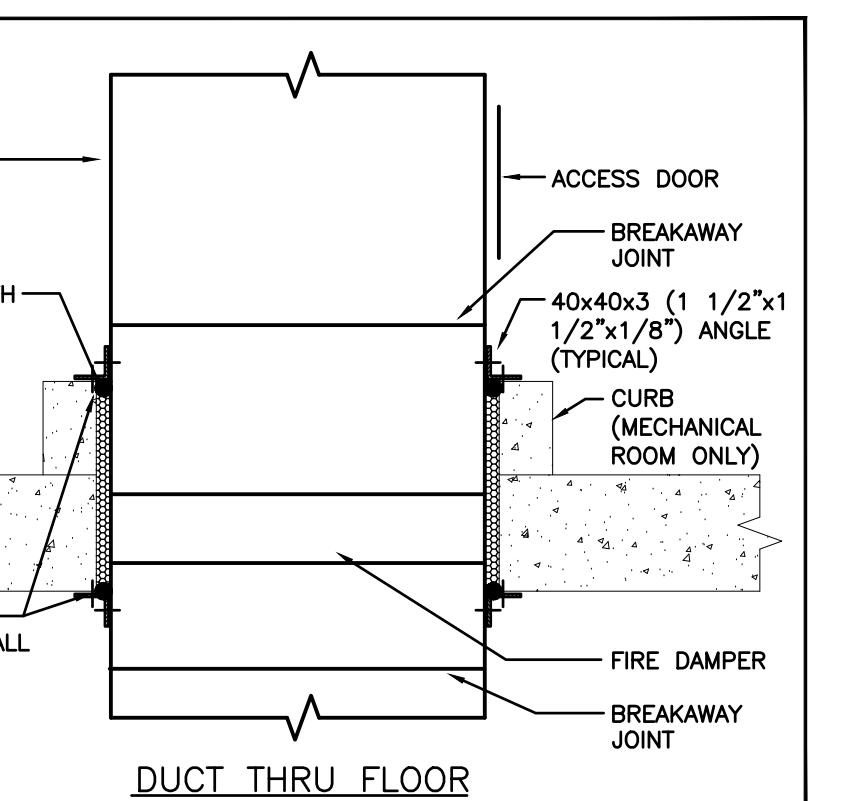
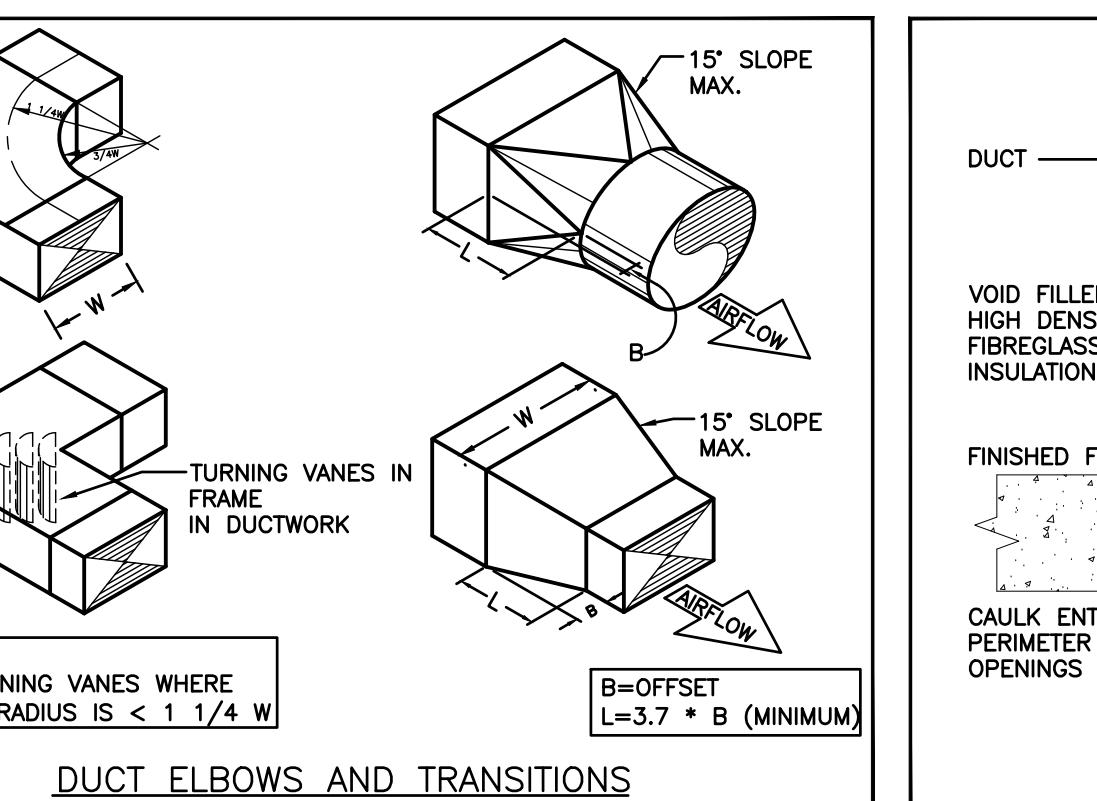
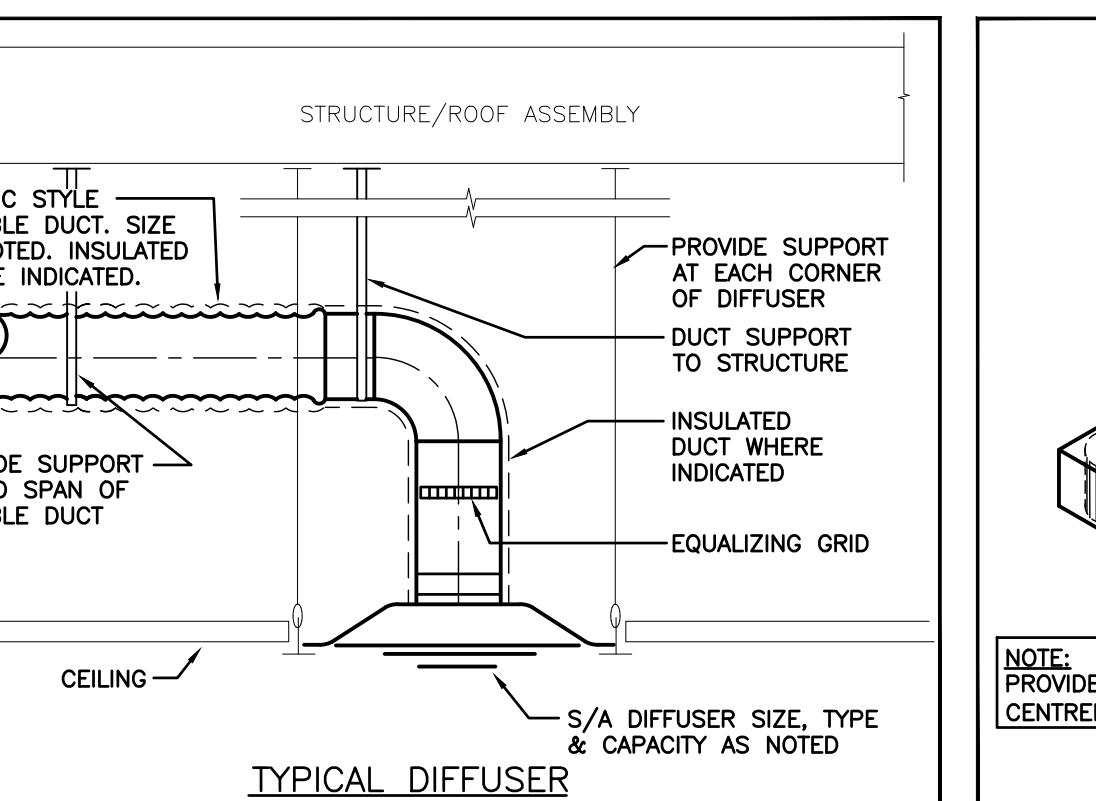
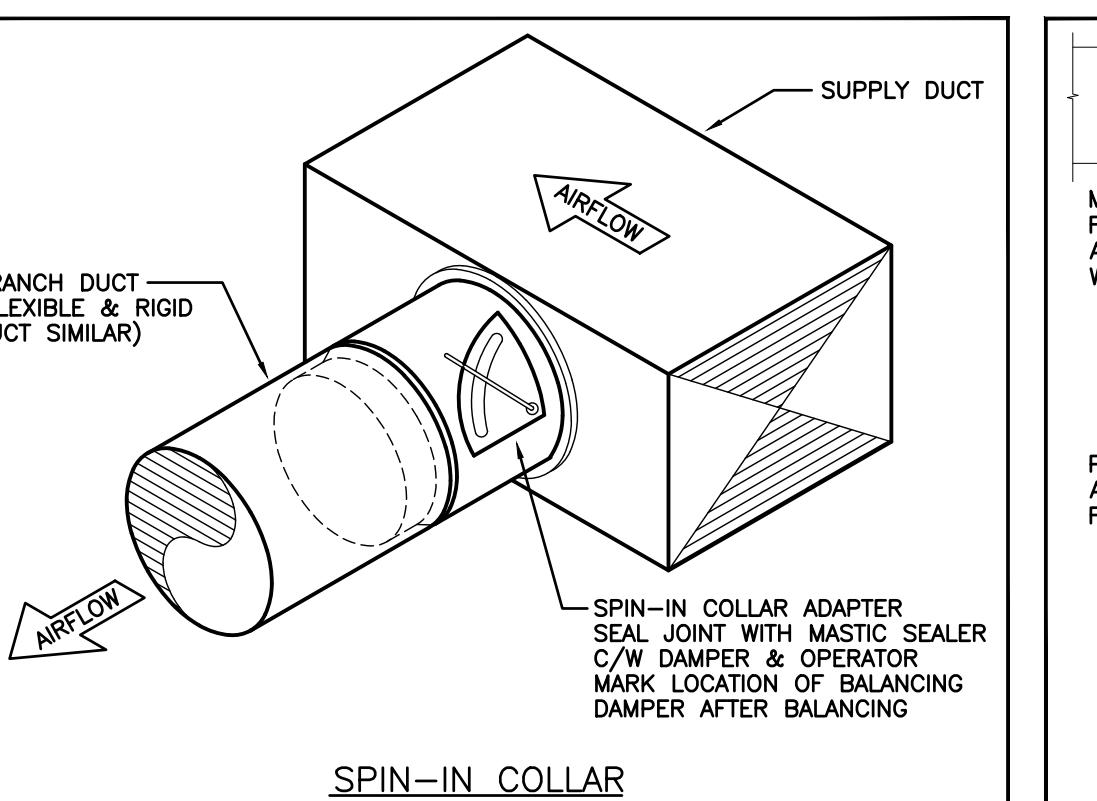
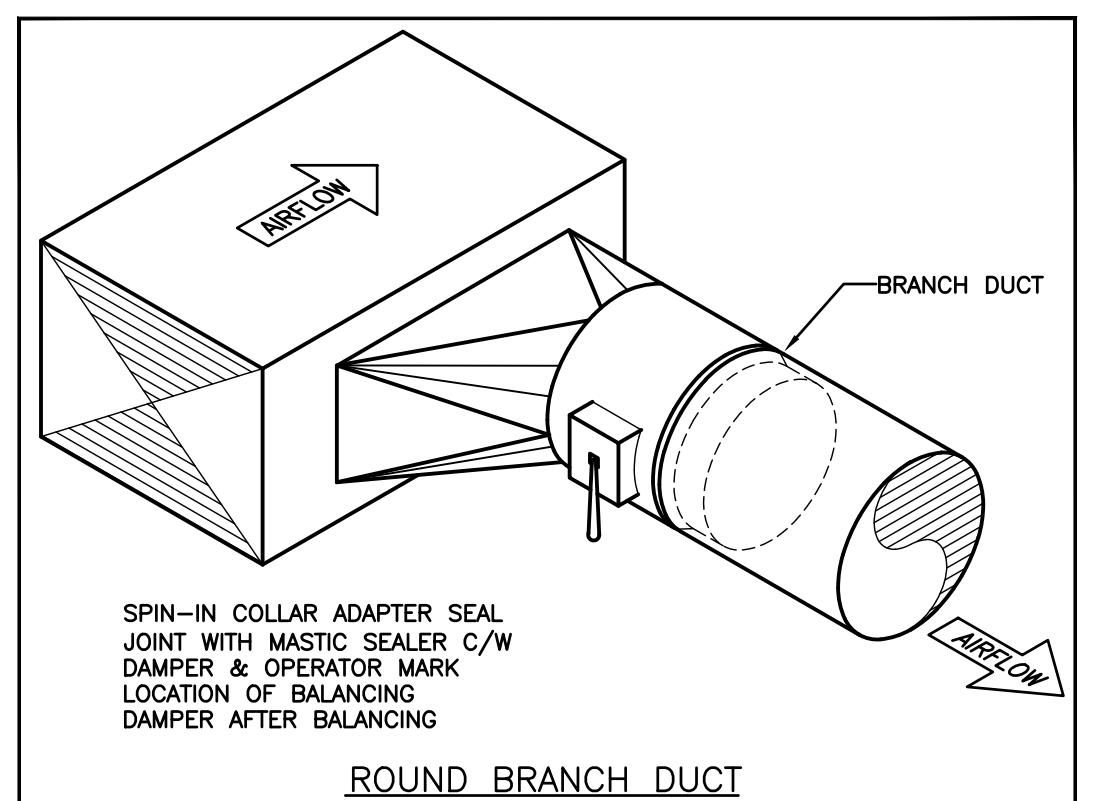
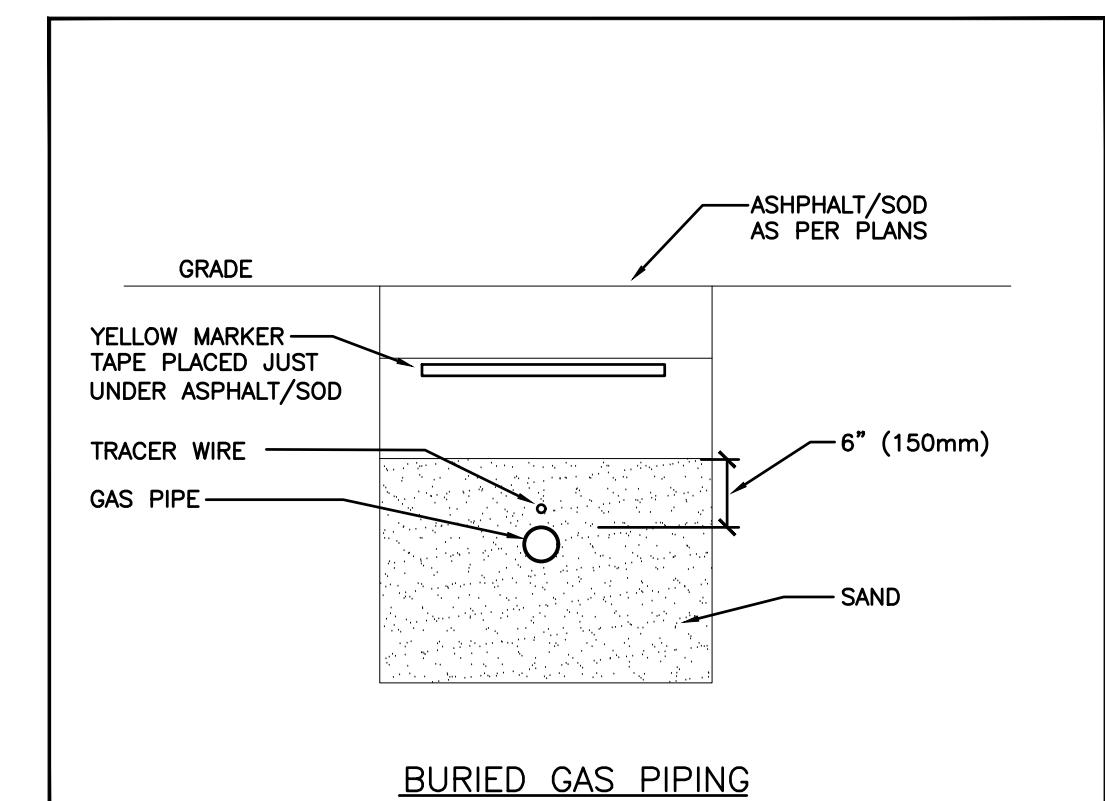
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EMILY-OMEMEE ADDITION/RENOVATION PHASE 2

DATE: 2025-11-03	DRAWN BY: HB	DRAWING No: M503
PROJECT No: 24002	CHECKED BY: MM	



TRUE CONVENTIONAL VIEW	
Oct 31/25	
M. H. H. MORSY	
100228879	
PROVINCE OF ONTARIO	

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EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2
212 STURGEON ROAD
OMEMEE ONTARIO

DETAILS

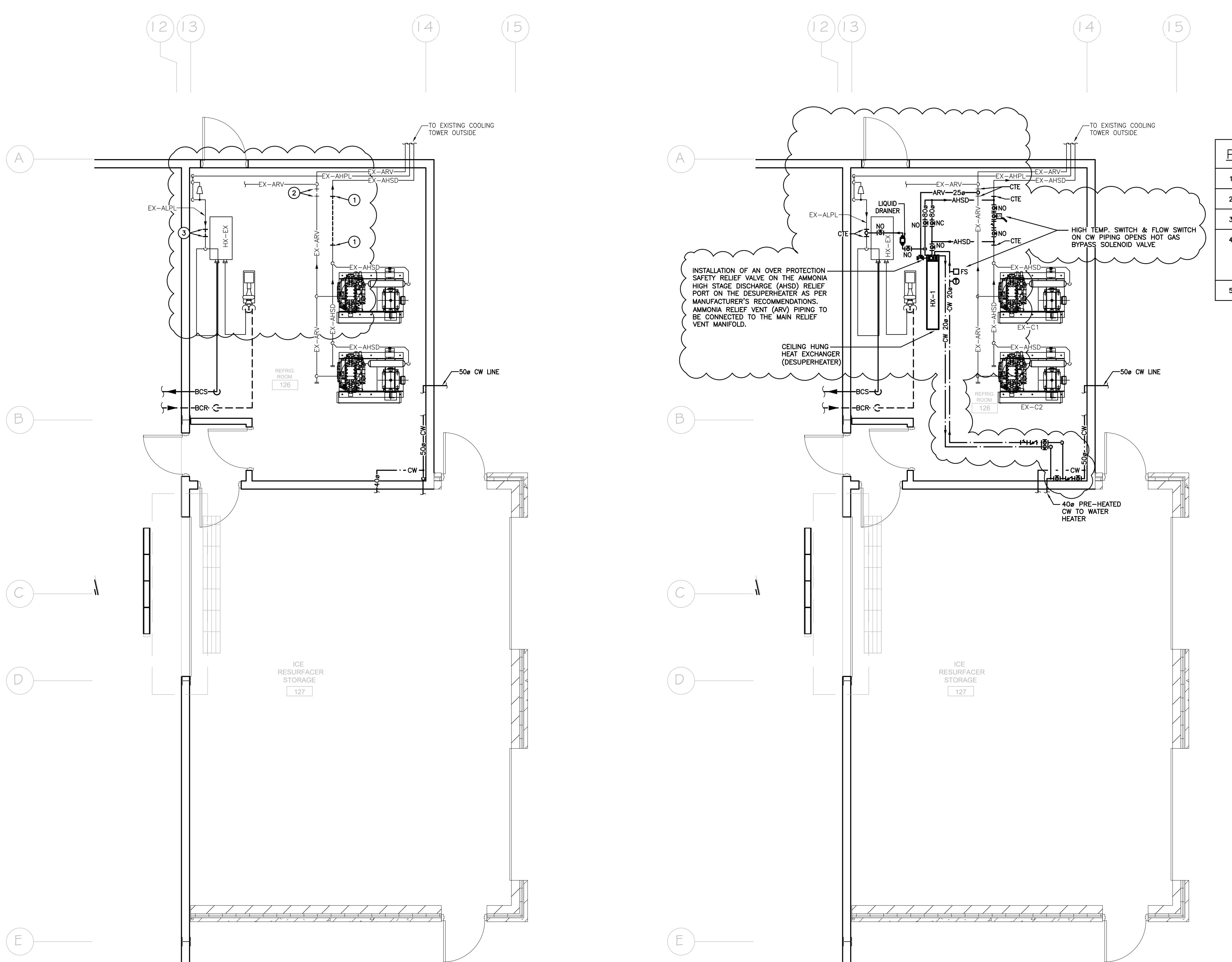
DATE: 2025-11-03	DRAWN BY: HA	DRAWING No: M701
PROJECT No: 24002	CHECKED BY: MM	

DESUPERHEATER HEAT EXCHANGER SCHEDULE												
Item	Type	HOT SIDE				COLD SIDE				Manufacturer & Model	Remarks	
		In (°F)	Out (°F)	Flow (LB/H)	MBH	Fluid	In (°F)	Out (°F)	Flow (GPM)	MBH	Fluid	
HX-1	SHELL & TUBE	231	151	1862	92.1	AMMONIA	60	90.7	6	92.1	POTABLE WATER	DOUCETTE INDUSTRIES CADS 18.5M5.5/1P-BT(C) 304/316 SS VENTED DOUBLE WALL DESUPERHEATER/WATER HEATER, SUITABLE FOR POTABLE WATER

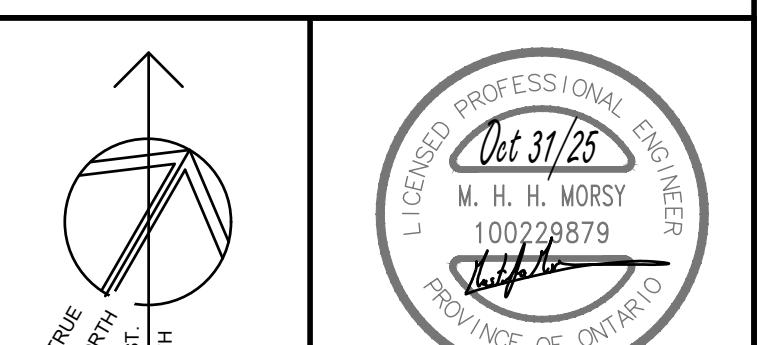
SPECIFIC DEMOLITION NOTES	
1.	CUT EXISTING AHSD PIPING AT THE INDICATED LOCATIONS AND PREPARE FOR NEW CONNECTION.
2.	CUT EXISTING ARV PIPING AT THE INDICATED LOCATIONS AND PREPARE FOR NEW CONNECTION.
3.	CUT EXISTING ALPL PIPING AT THE INDICATED LOCATIONS AND PREPARE FOR NEW CONNECTION.

PIPING LEGEND	
Item	Description
—	EQUIPMENT TO REMAIN
—	NEW EQUIPMENT
-EX-AHSD-	EXISTING AMMONIA HIGH STAGE DISCHARGE LINE TO BE REMOVED
-EX-AHSD-	NEW AMMONIA HIGH STAGE DISCHARGE LINE
-AHSD-	EXISTING AMMONIA RELIEF VENT TO BE REMOVED
-EX-ARV-	EXISTING AMMONIA RELIEF VENT TO REMAIN
-ARV-	NEW AMMONIA RELIEF VENT
-EX-AHPL-	EXISTING AMMONIA HIGH PRESSURE LIQUID TO REMAIN
-EX-AHPL-	EXISTING AMMONIA LOW PRESSURE LIQUID TO BE REMOVED
-EX-ALPL-	EXISTING AMMONIA LOW PRESSURE LIQUID TO REMAIN
-ALPL-	NEW AMMONIA LOW PRESSURE LIQUID
-BCS-	NEW BRINE SUPPLY
-BCR-	NEW BRINE RETURN
-CW-	NEW DOMESTIC COLD WATER SUPPLY
-EX-CW-	EXISTING DOMESTIC COLD WATER LINE TO REMAIN
-EX-CW-	EXISTING DOMESTIC COLD WATER LINE TO BE REMOVED

MECHANICAL LEGEND	
Item	Description
-----	ITEM TO BE REMOVED
—	CUT EXISTING & CONNECT NEW PIPING (CTE)
→	FLOW DIRECTION
—·—	POTABLE COLD WATER
—··—	POTABLE HOT WATER
—···—	POTABLE HOT WATER RECIRC.
FD	FLOOR DRAIN
-G-	TRAP PRIMER
↓	TEE CONNECTION
c—	PIPE DOWN
o—	PIPE UP
—r—	REDUCER/INCREASER
n—	CHECK VALVE
—s—	REDUCED PRESSURE BACKFLOW PREVENTOR
— —	UNION
—t—	STRAINER
—vb—	VACUUM BREAKER
—i—	SCREWED OR WELDED PIPE CAP
no	NORMALLY OPEN
nc	NORMALLY CLOSED
b—	BALL VALVE
f—	BUTTERFLY VALVE
g—	GATE VALVE
nc—comm—	3-WAY MIXING VALVE
—r—	VALVE ON RISER
bv	BALANCING VALVE
ip	INLINE PUMP
a—	ANGLE VALVE
p—	PRESSURE RELIEF VALVE
g—	GLOBE VALVE
m—	MOTORIZED VALVE ACTUATOR
sv—	SOLENOID VALVE
hg—	HOT GAS BYPASS SOLENOID VALVE
hv—	HAND EXPANSION VALVE



PROVISIONAL PRICE LIST	
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (GIMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PANTRY, CEILING GRID, RELOCATE HAMMER, NON-CEILING TILES, RETAIN GRID & LIGHTS, REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT



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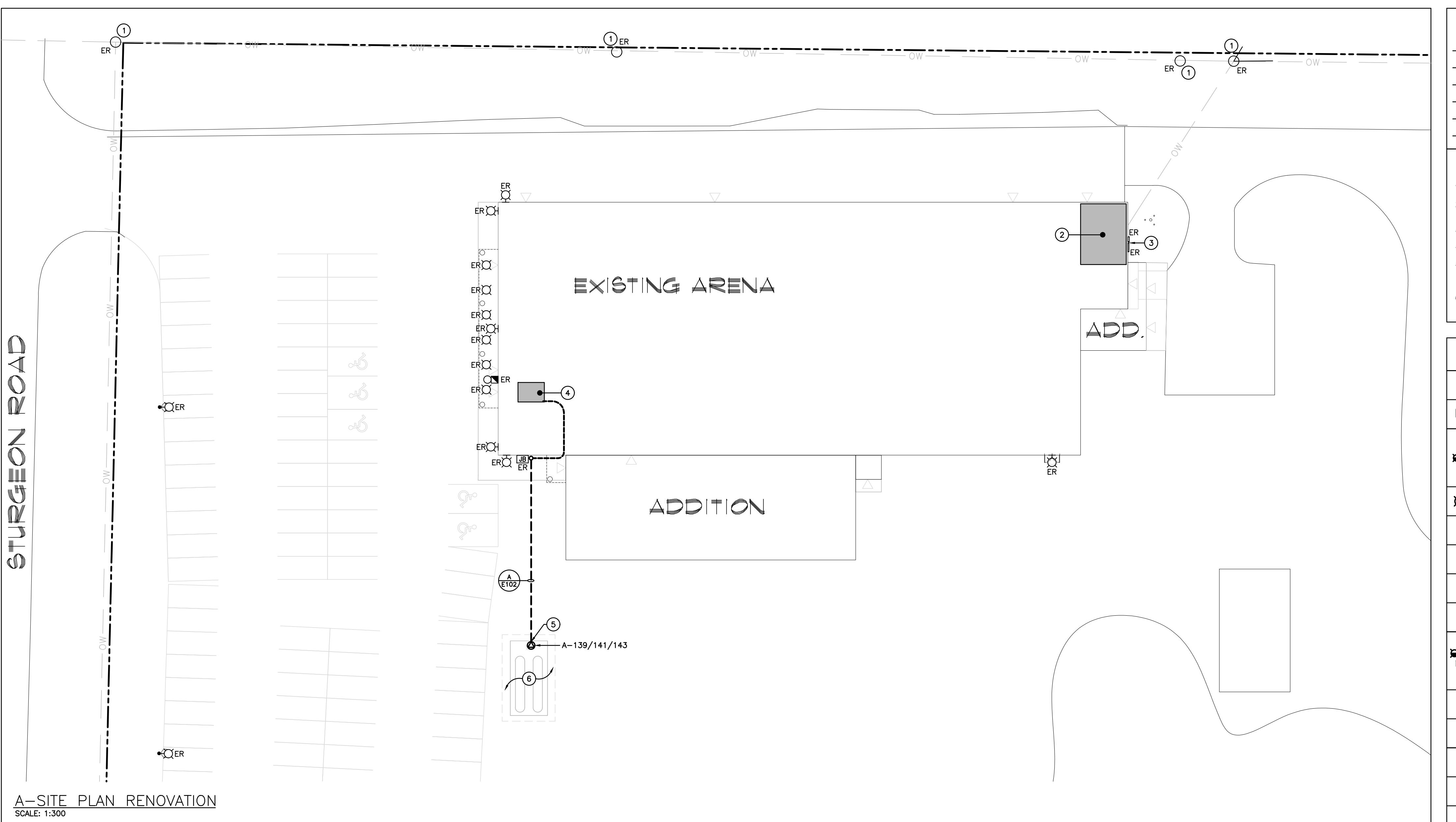
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EMILY-OMEMEE ADDITION/RENOVATION PHASE 2 212 STURGEON ROAD
OMEMEE ONTARIO
(OPTIONAL PRICE) LEVEL 1 - REFRIGERATION ROOM - DEMO/RENO PLAN

PRINT DATE: 11/03/2025 DRAWN BY: HA DRAWING No: R101
PROJECT No: 24002 CHECKED BY: MM



GENERAL RENOVATION NOTES

- 'ER' INDICATES EXISTING ITEM TO REMAIN.
- 'NW' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

SPECIFIC RENOVATION NOTES

- 1 INDICATES EXISTING HYDRO POLES AND OVERHEAD WIRE TO REMAIN.
- 2 INDICATES APPROXIMATE LOCATION OF RESURFACER ROOM CONTAINING INCOMING SERVICE EQUIPMENT.
- 3 EXISTING EXTERIOR METER AND DISCONNECT TO REMAIN.
- 4 INDICATES APPROXIMATE LOCATION OF ROOM 'ELEC. 21'.
- 5 INDICATES CONNECTION TO MECHANICAL VAPORIZER. COORDINATE EXACT LOCATION WITH MECHANICAL CONTRACTOR AND CONNECTION REQUIREMENTS WITH SHOP DRAWINGS PRIOR TO ROUGH-IN.
- 6 ALL ELECTRICAL WITHIN 15'-0" OF PROPANE COMPOUND IS TO BE INSTALLED TO MEET CLASS 1 DIVISION 1 REQUIREMENTS.

ELECTRICAL SYMBOLS NOTE: ALL SYMBOLS MAY NOT BE USED

LIGHTING	POWER
	LIGHT FIXTURE TYPE AS INDICATED
	COMBINATION EMERGENCY/EXIT TYPE (EM-X INDICATES BATTERY UNIT TYPE DC-X INDICATES DC CIRCUIT, EM-X INDICATES AC SOURCE CIRCUIT)
	CEILING OR WALL MOUNTED LIGHT FIXTURE TYPE AS INDICATED
	POLE MOUNTED LIGHT FIXTURE
	WALL MOUNTED EXIT LIGHT SHADING INDICATES FACE
	CEILING MOUNTED EXIT LIGHT ARROWS DENOTE DIRECTION SHADING INDICATES FACE
	SINGLE OR TWIN EMERGENCY LIGHTING FIXTURE
	BATTERY UNIT WITH INTEGRAL EMERGENCY LIGHTING FIXTURE (EM-X INDICATES BATTERY UNIT TYPE DC-X INDICATES DC CIRCUIT, EM-X INDICATES AC SOURCE CIRCUIT)
	SINGLE POLE SWITCH (3-WAY, 4-WAY, P=PILOT LIGHT, K=KEYED, DM=DIMMER, M=MOTOR RATED)
	DUAL VOLTAGE RELAY
	OCCUPANCY SENSOR (PASSIVE)
	CEILING MOUNTED MOTION SENSOR
	WALL MOUNTED MOTION SENSOR
	DIGITAL ROOM CONTROLLER
	ANALOG POWER PACK
	PUSH-BUTTON STATION (QUANTITY OF BUTTONS AS PER PLANS)
FIRE ALARM	
	HEAT DETECTOR (135 DEGREE RATE OF RISE AND FIXED TEMPERATURE)
	DUCT TYPE SMOKE DETECTOR
	SMOKE DETECTOR (RL=RELAY BASE)
	CARBON MONOXIDE DETECTOR C/W BATTERY BACK UP
	PULLSTATION
	ALARM VALVE
	PRESSURE SWITCH
	SUPERVISED VALVE
	CONTACTOR
	HEAT DETECTOR (135 DEGREE RATE OF RISE AND FIXED TEMPERATURE)
	TRANSFORMER
	ACCESS CONTROL
	ELECTRIC STRIKE CONFIRM ROUGHIN WITH DOOR HARDWARE
	"PUSH-TO-LOCK" BUTTON
	EMERGENCY PUSH BUTTON STATION
	"ASSISTANCE REQUIRED" DOME LIGHT WITH SOUNDER
	"ASSISTANCE REQUIRED" INDICATOR LIGHT WITH SOUNDER
	GENERAL
	ALARM STROBE
	COMBINATION HORN/STROBE
	FIRE SMOKE DAMPER
	MONITORING MODULE
	GROUND FAULT
	SINGLE WALL MOUNTED TELEPHONE OUTLET C/W K' (13mm) C TO CABLE MANAGEMENT SYSTEM/DATA RACK
	COMPUTER OUTLET C/W K' (27mm) C TO CABLE MANAGEMENT SYSTEM/DATA RACK
	WIRELESS ACCESS POINT, PROVIDE 3K' (21mm) C TO CABLE MANAGEMENT SYSTEM/DATA RACK
	CEILING MOUNTED SPEAKER
	WEATHERPROOF
	TAMPER RESISTANT
	CEILING MOUNTED
	NOTE INDICATOR
	MECHANICAL ITEM NO.

EQUIPMENT WIRING SCHEDULE		E=ELECTRICAL M=MECHANICAL O=OTHERS					
Description	Data	Starter	Control Device	Isolating Device	Remote Items	Interlock	Remarks
1 ERV-1	M 575 24.3 3	ECM	Manual	Combination Frequency Drive	Start/Stop PB.	Brkr/Fuse	INDICATED EXISTING ITEM TO REMAIN
2 ERV-2	M 120 2.86 MCA 1				High/Low/Off	Starter/Device	INDICATED EXISTING ITEM TO BE DELETED
3 B-1	M 120 FHP 1	E				Wind By	INDICATES EXISTING ITEM TO BE RELOCATED/IN RELOCATED POSITION
4 B-2	M 120 FHP 1	E				RA Thermostat	WIREGUARD
5 WH-1	M 120 FHP 1				Time Clock	User Standby Ctrl	GROUND FAULT
6 WH-2	M 120 FHP 1				RA Thermostat	Power Fail Det	
7 WH-3	M 120 FHP 1				RA Thermostat	Duo Voltage Relay	
8 H1	M 120 FHP 1				RA Thermostat	Relay	
9 H3	M 120 FHP 1				RA Thermostat	Control Panel	
10 TP-1 (TRAP PRIMER)	M 120 FHP 1				RA Thermostat	RA Auto System	
11 MD	M 120 FHP 1				RA Thermostat	Wind by	
12 CP-1 (CONTROL PANEL)	M 120 FHP 1				RA Thermostat	Interlock To	
13 C-1	M 120 0.5 1	E	E	E	RA Thermostat	Interlock By	
14 C-2	M 120 0.5 1	E	E	E	RA Thermostat	RA Auto System	
15 C-3	M 575 1.5 HP 3		M	E	RA Thermostat	Wind by	
16 C-4	M 575 1.5 HP 3		M	E	RA Thermostat	Interlock To	
17 C-5	M 120 0.25 HP 1 M		M	E	RA Thermostat	Interlock By	
18 EF-3	M 120 FHP 1			E	E	E	
19 EF-4	M 120 0.25 HP 1			E	E	E	
20 EF-7	M 120 FHP 1			E	E	E	
21 SP-1	M 200 0.5 HP 3			E	E	M M	
22 SP-2	M 575 2 3			E	E	M M	

1	2025-10-31	ISSUED FOR PHASE 2 TENDER
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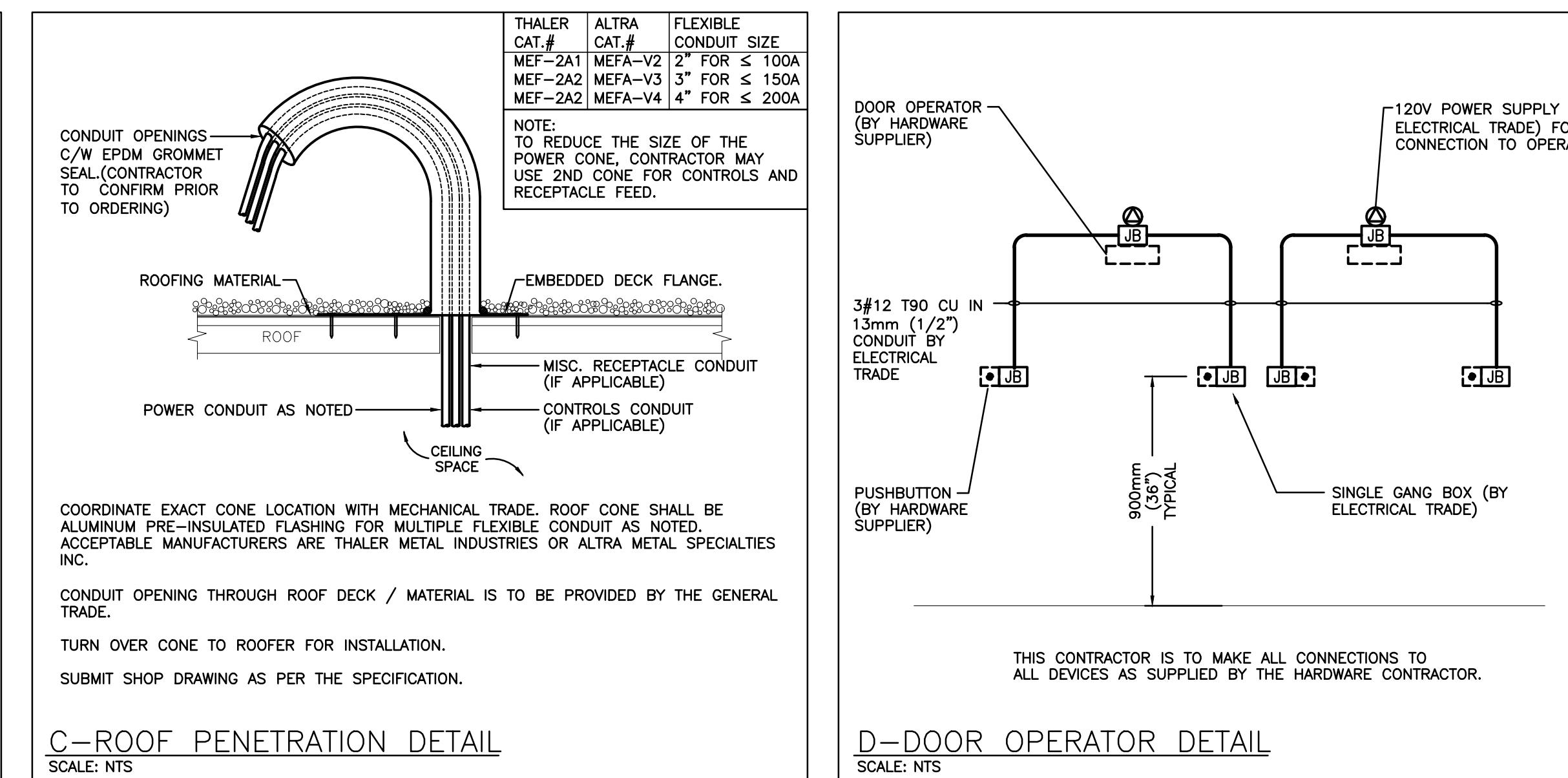
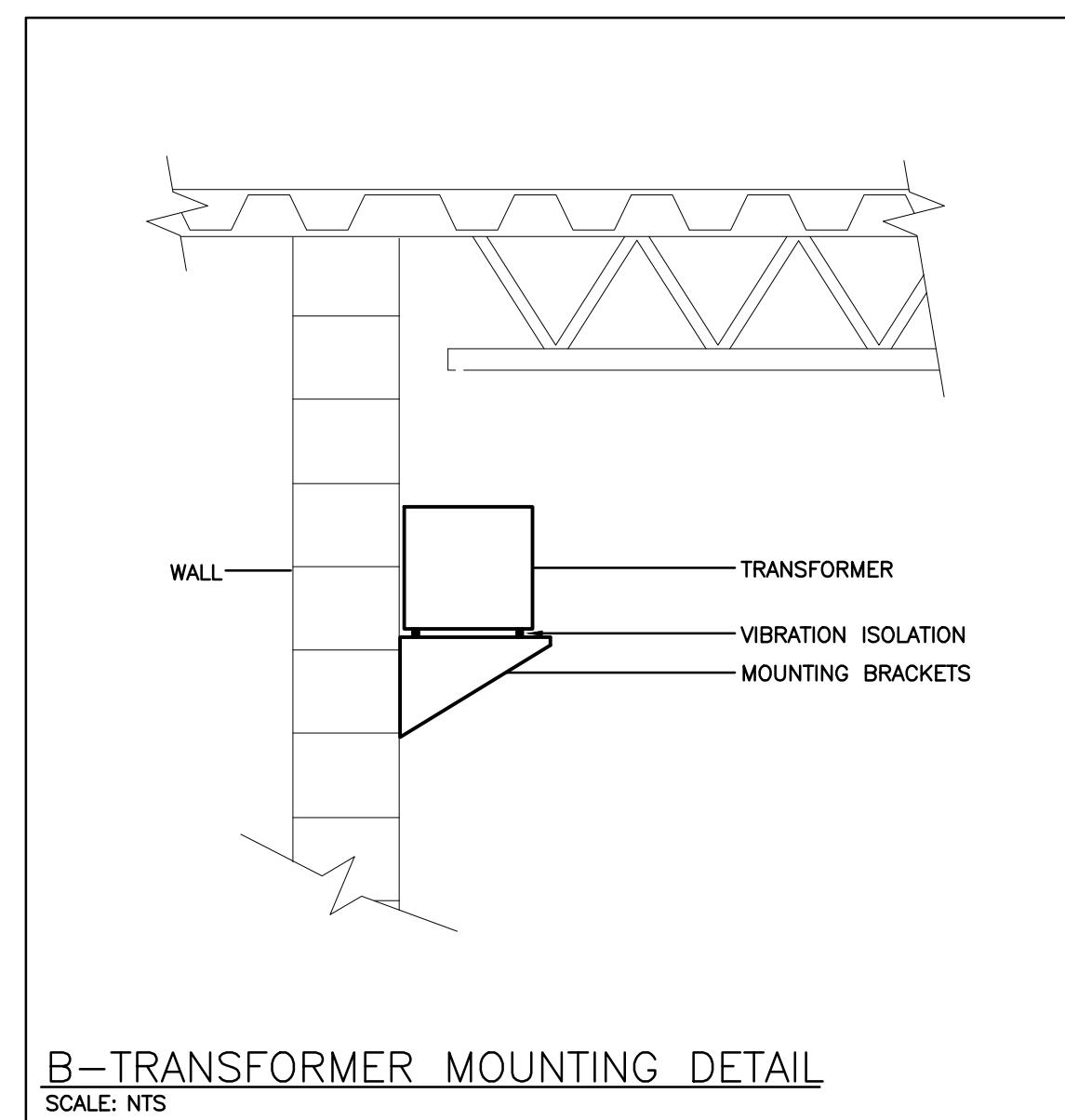
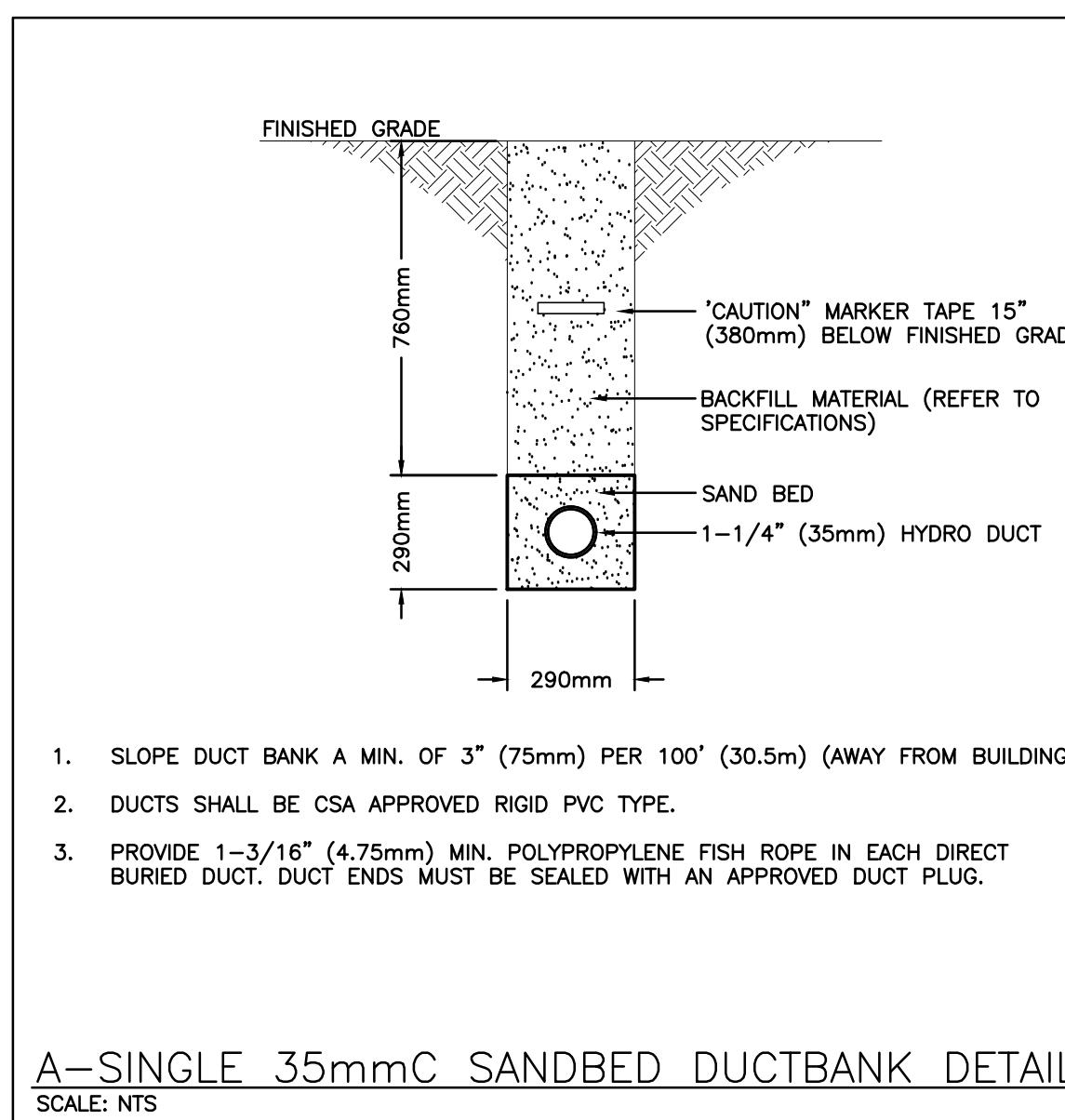
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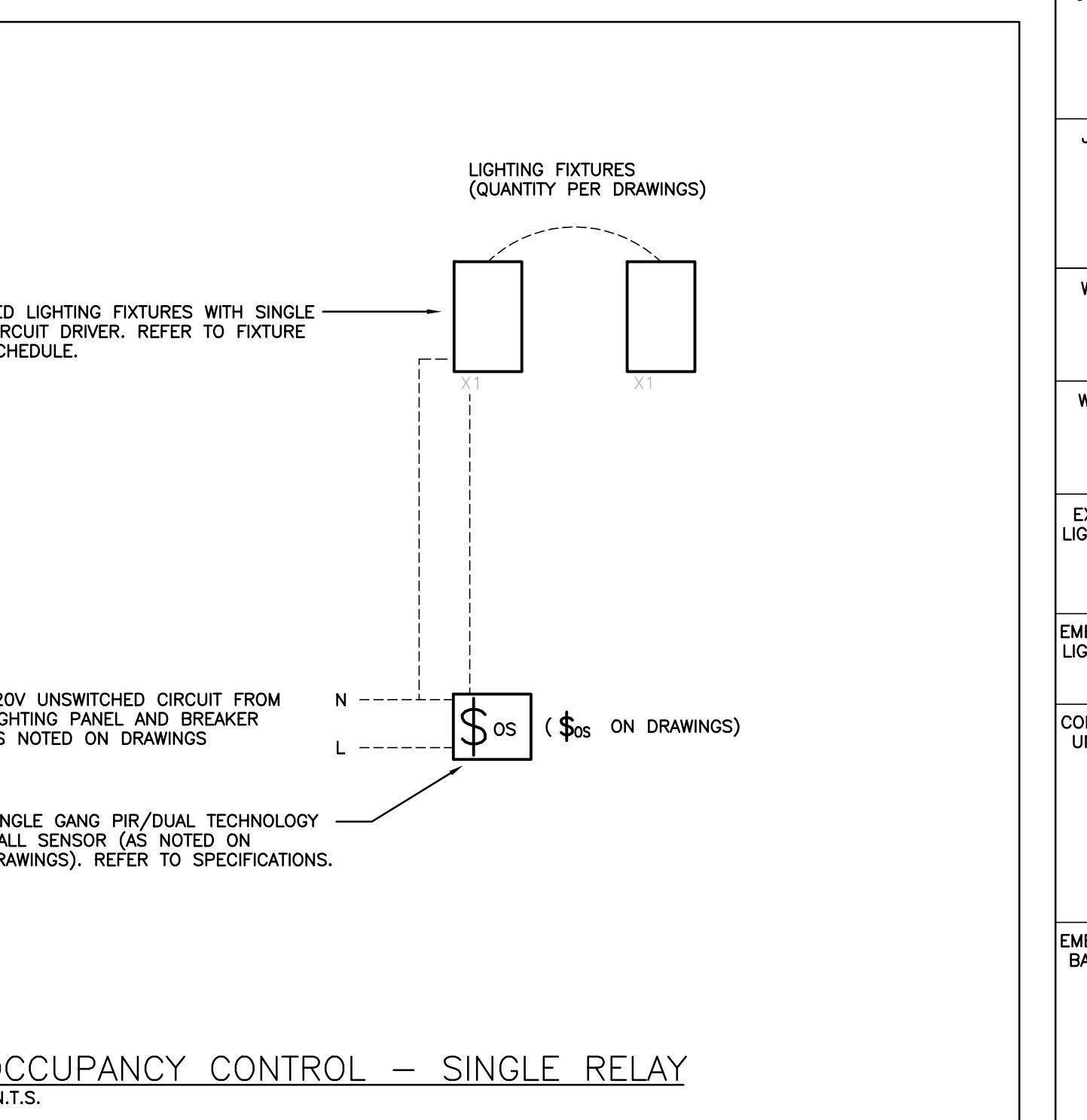
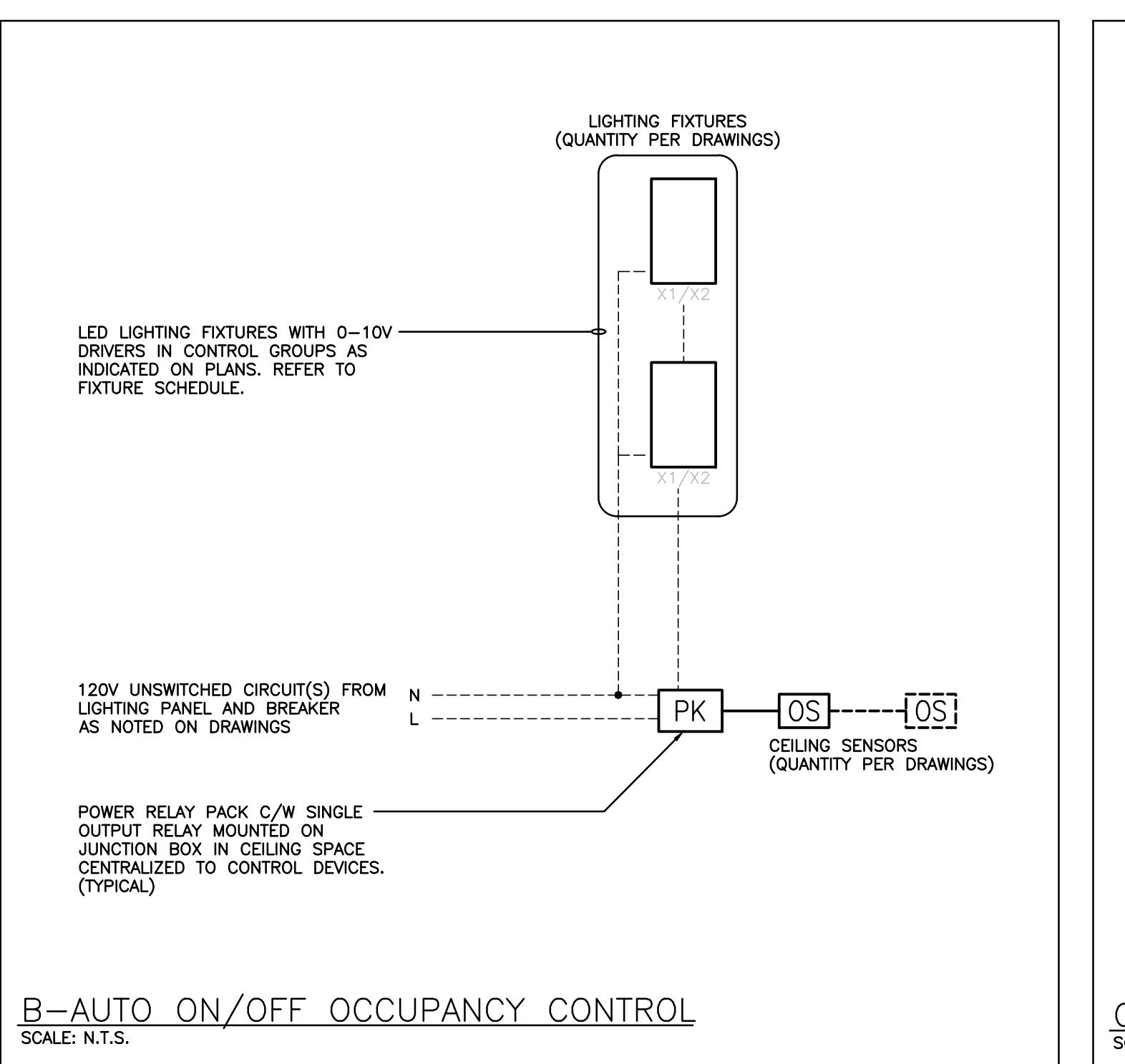
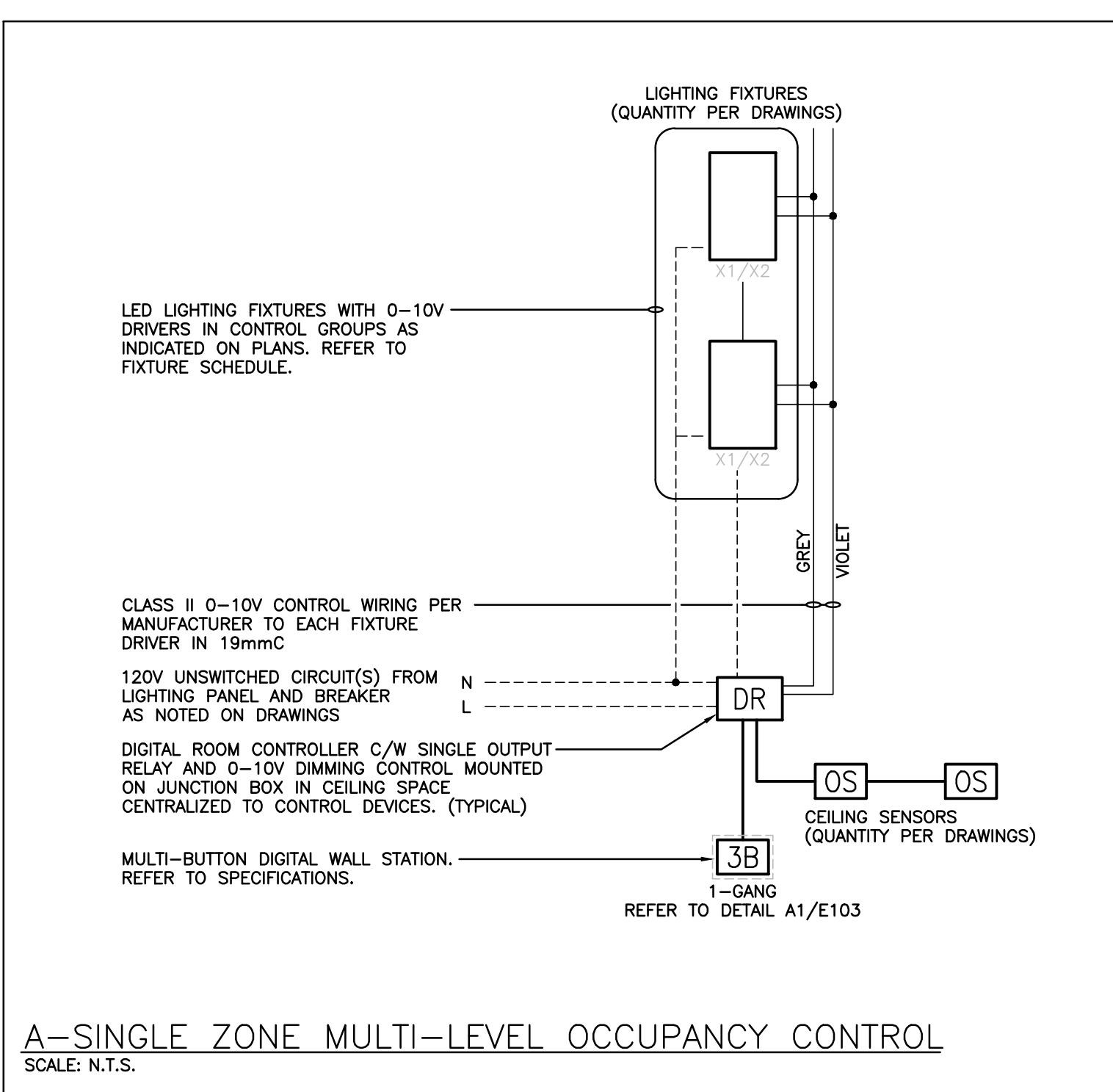
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55 Northland Road, Waterloo, ON N2L 2Z9
Phone: 519-885-3550 Website: deiassociates.ca Project Number: 25350

EMILY-OMEMEE ADDITION/RENOVATION
PHASE 2
212 STURGEON ROAD
OMEMEE ONTARIO
SITE PLAN & LEGEND

PRINT DATE: 10/31/2025
DRAWN BY: CM
DRAWING No: E101
PROJECT No: 24002
CHECKED BY: CM

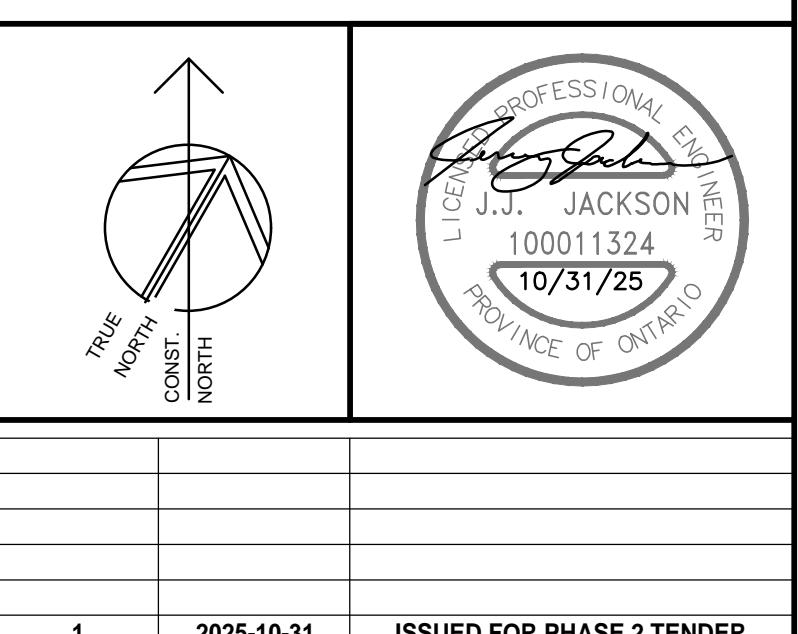
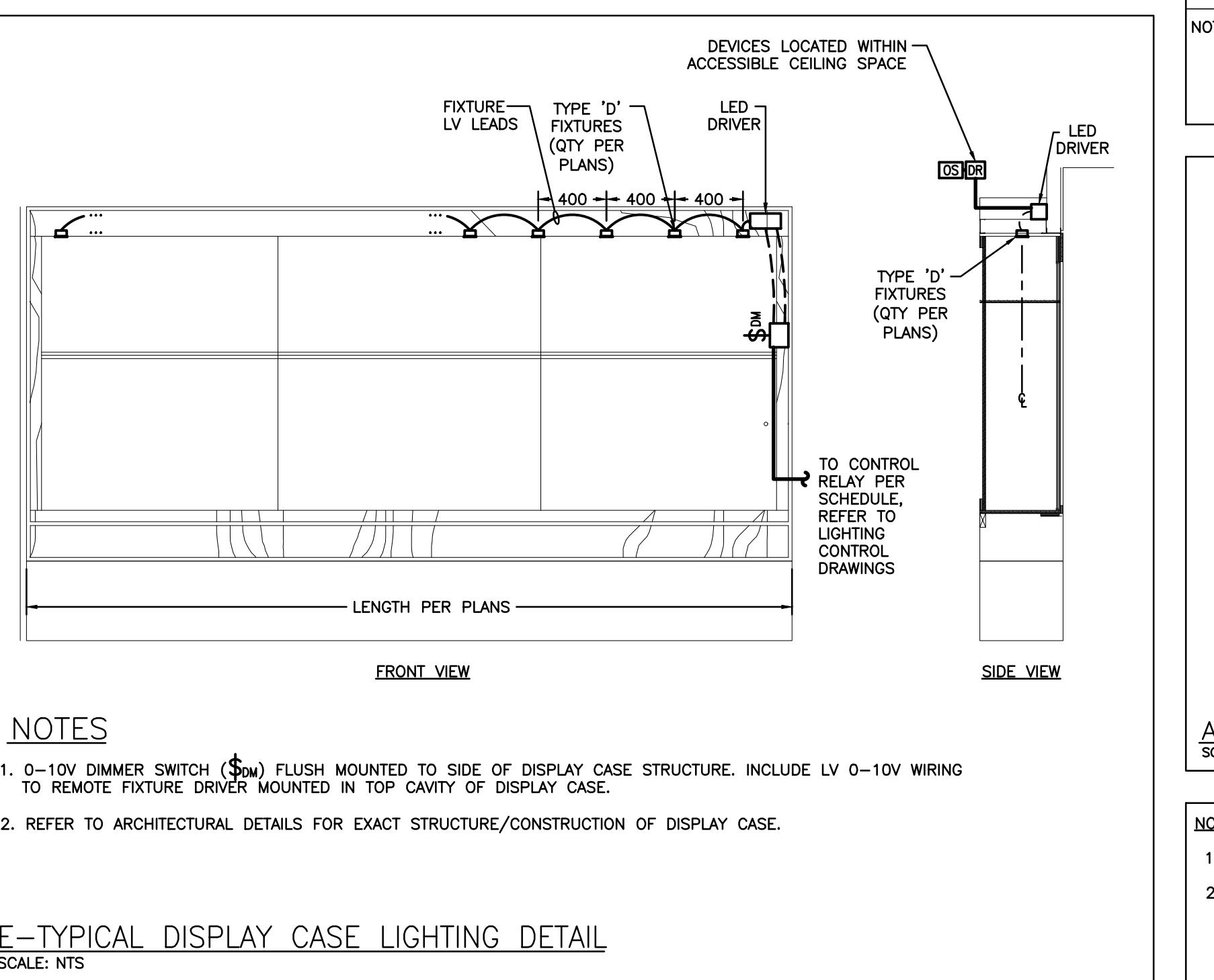
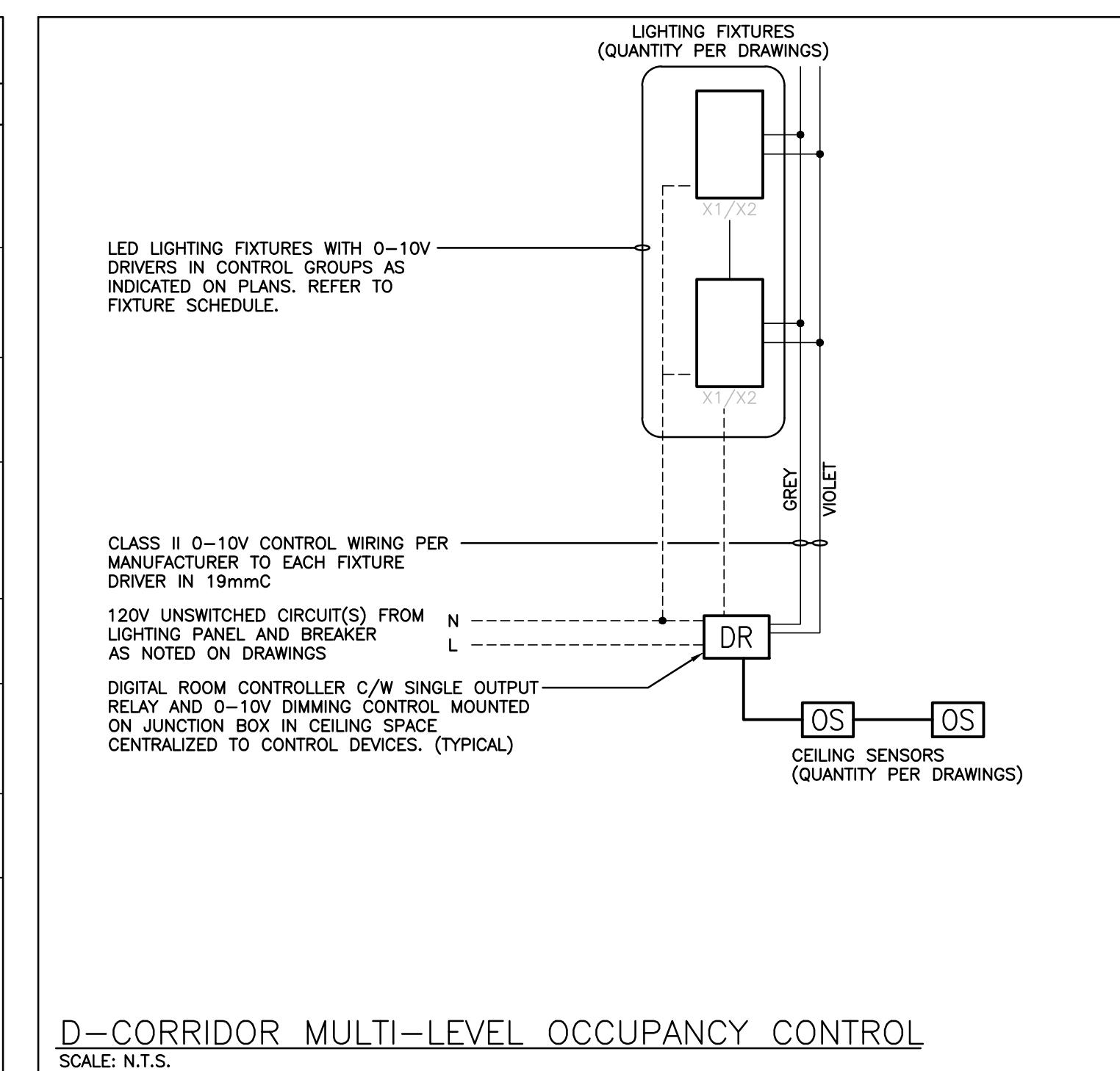
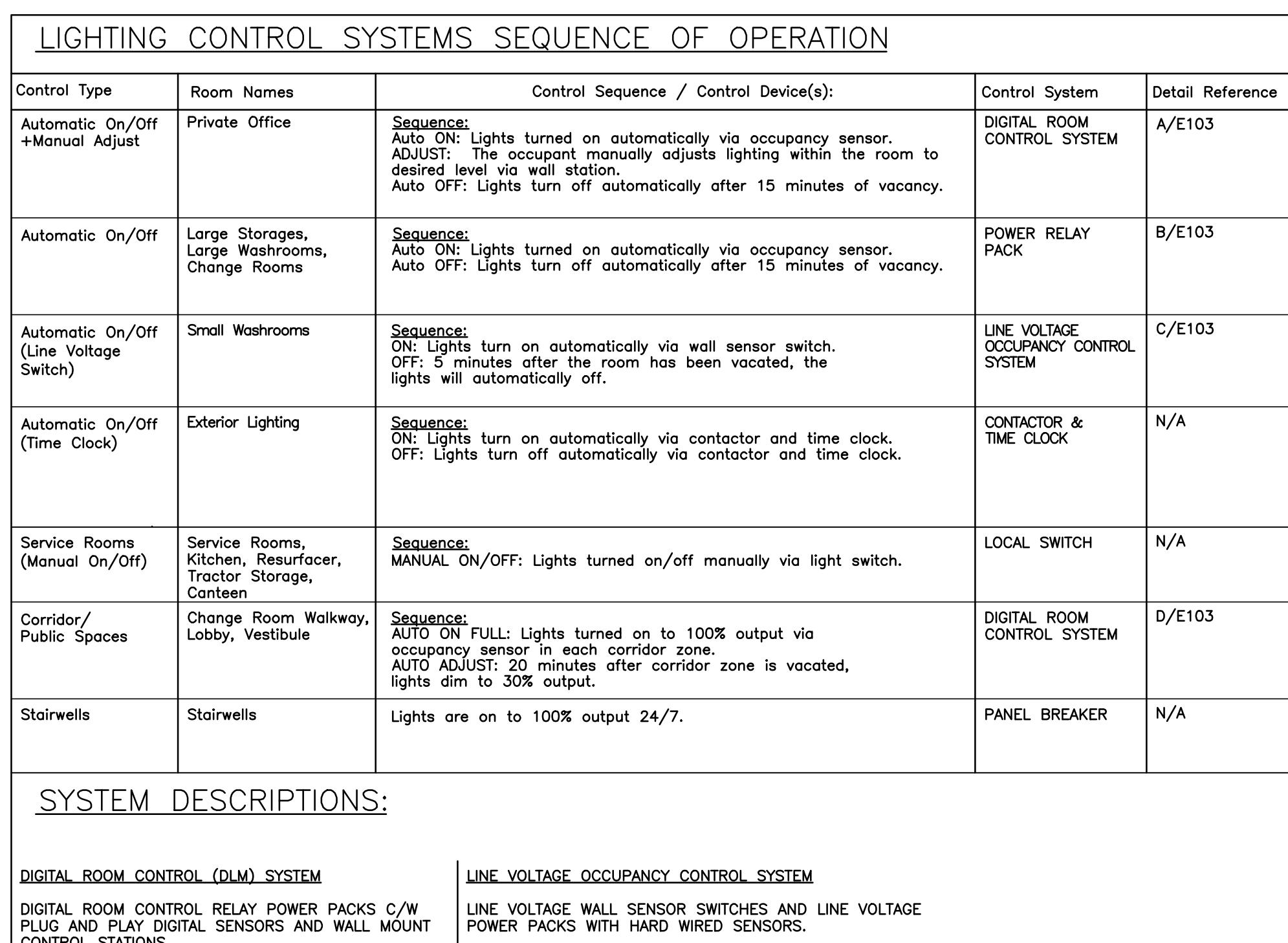


LIGHT FIXTURE SCHEDULE							
Item	Manufacturer/Catalog Number	Voltage	Lamp	Mounting	CRI	Listings	Description
D	MP LIGHTING CAT. #L57-C-3-W41H-N-NA DRIVER CAT. #TL SGI CAT. #PUCK-P-3W-REC-350MA-XX-38-3500K DA-60W12	120	LED 330 LUMENS 3W	RECESSED	90	N/A	COMPACT LED CABINET LIGHT. 2 1/2" DIA., 30DEG. BEAM SPREAD, 60W REMOTE LED 0-10V DIMMABLE DRIVER (UP TO 12 FIXTURES). TRIM COLOUR BY ARCHITECT.
L1	COOPER CAT. #22FPSL2SCT3 LITHONIA CAT. #CPX 2X2 AL07 SWW7 M4 SIGNIFY CAT. #2SBP3040L8CS-2-UNV-DIM	120V	LED 3500 LUMENS 4000K 31W	RECESSED	80	DLC DAMP LOC.	2'X2' (610mmX610mm) LED BACKLIT FLAT PANEL FIXTURE C/W FIELD SELECTABLE LUMENS AND COLOUR TEMPERATURE, WHITE FROSTED LENS, 10% 0-10V DIMMING DRIVER, AND WHITE FINISH.
L2A	COOPER CAT. #14FPSL1SCT3 C/W FPXSURF14 LITHONIA CAT. #CPX 1X4 AL07 SWW7 UVOLT M4 1X4SMKSH SIGNIFY CAT. #1SBP3040L8CS-4-UNV-DIM-FSF14	120V	LED 4100 LUMENS 4000K 36.3W	SURFACE	80	DLC DAMP LOC.	1'X4' (305mmX1220mm) LED BACKLIT FLAT PANEL FIXTURE C/W FIELD SELECTABLE LUMENS AND COLOUR TEMPERATURE, WHITE FROSTED LENS, 10% 0-10V DIMMING DRIVER, WHITE FINISH AND SURFACE MOUNTING KIT.
L3	COOPER CAT. #24FPSL2SCT3 LITHONIA CAT. #CPX 2X4 AL08 SWW7 M2 SIGNIFY CAT. #2SBP3550L8CS-4-UNV-DIM	120V	LED 6300 LUMENS 4000K 56.3W	RECESSED	80	DLC DAMP LOC.	2'X4' (610mmX1220mm) LED BACKLIT FLAT PANEL FIXTURE C/W FIELD SELECTABLE LUMENS AND COLOUR TEMPERATURE, WHITE FROSTED LENS, 10% 0-10V DIMMING DRIVER, AND WHITE FINISH.
R1	COOPER CAT. #HC410D010-HM412840-41MDHWF LITHONIA CAT. #LDN4 40/10 LO4AR LSS MVOLT GZ1 TRW LIGHTOLIER CAT. #4RN-C4L10840MZ10U-C4RDLXX	120V	LED 948 LUMENS 4000K 10W	RECESSED	80	ENERGY STAR WET LOC.	RECESSED 4" (100mm) DIAMETER LED DOWNLIGHT C/W SELF-FLANGED 60 DEGREE BEAM REFLECTOR, SEMI-SPECULAR CLEAR FINISH, AND 1% 0-10V DIMMING DRIVER. ARCHITECT TO CONFIRM FLANGE FINISH.
J1	COOPER CAT. #4SNLED-LD5-44SL-LW-UNV-L840-CD-1-AYC-WG/SNF-4FT LITHONIA CAT. #CLX L48 5000LM SEF RDL WD MVOLT GZ10 40K 80CRI C/W HC36 M12 & WGCLX48 SIGNIFY CAT. #SDS42448L8CST-UN3-DIM-FKR-126-SDS4WG (SET TO 4000K AND 4850LM)	120V	LED 4601 LUMENS 4000K 38W	SUSPENDED	80	DLC DAMP LOC.	4' (1220mm) SURFACE LED STRIP LIGHT C/W WIDE LENSED OPTICAL DISTRIBUTION, CHAIN SUSPENSION KIT, 10% 0-10V DIMMING DRIVER, AND WIRE GUARD. NOTE: SUSPEND TO MAINTAIN MAXIMUM HEADROOM.

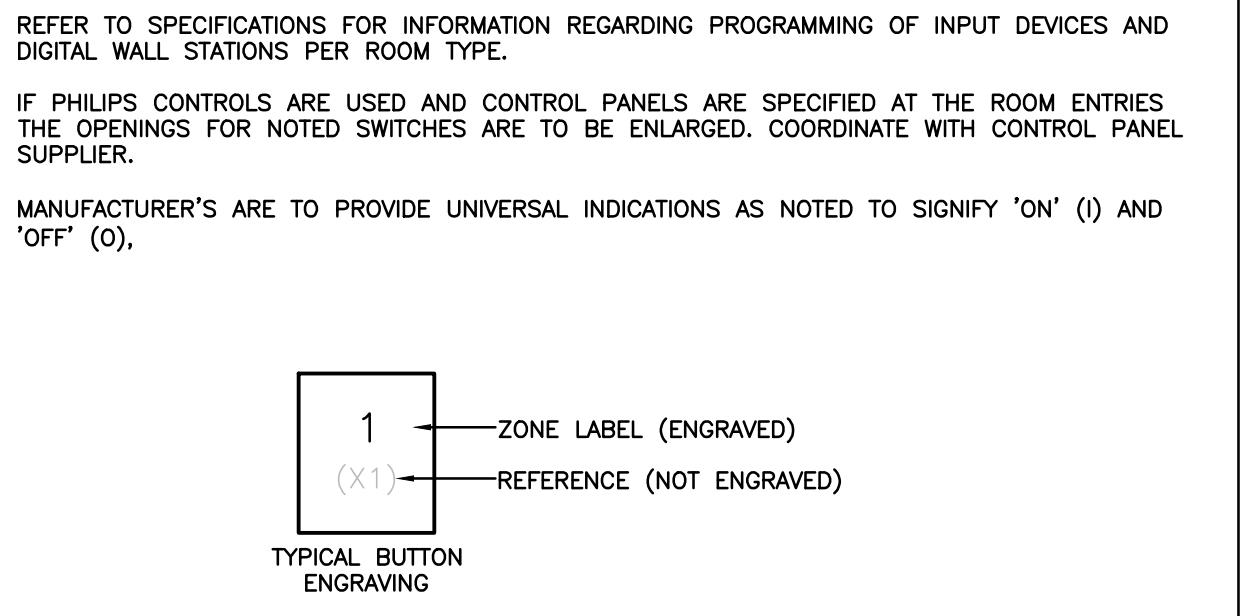


TES: ① LED LUMEN VALUES QUOTED FOR FIXTURES ARE TO BE
CONSIDERED MINIMUM, AND AS ABSOLUTE OR DELIVERED
LUMENS. LUMEN VALUES SHOULD NOT EXCEED MORE THAN 10%
OF SPECIFIED OUTPUT.

② IF THERE ARE ANY DISCREPANCIES BETWEEN THE FIXTURE PART NUMBER AND
DESCRIPTION, IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO BRING THESE TO
THE ELECTRICAL CONSULTANT'S ATTENTION PRIOR TO TENDER CLOSE. NO EXTRAS
WILL BE ENTERTAINED FOR FAILURE TO DO SO. FINAL FIXTURE CHARACTERISTICS AND
DESCRIPTION WILL BE MARKED BY CONSULTANT AT TIME OF SHOP DRAWING REVIEW.



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OMEMEE

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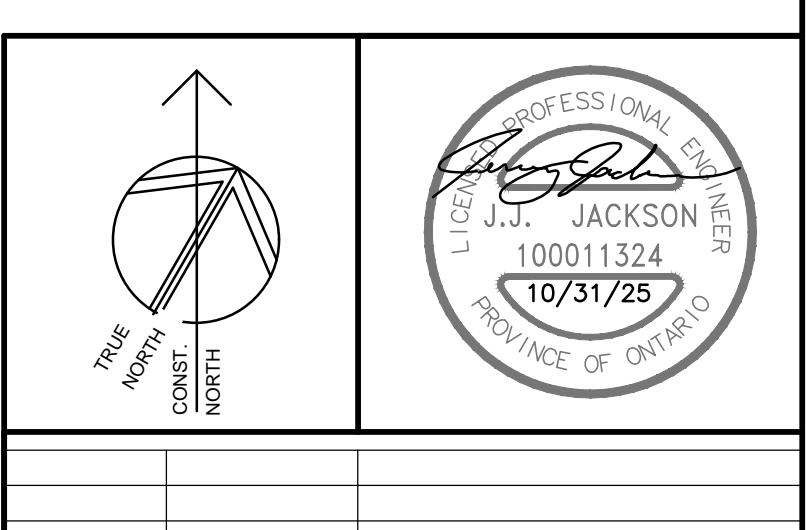
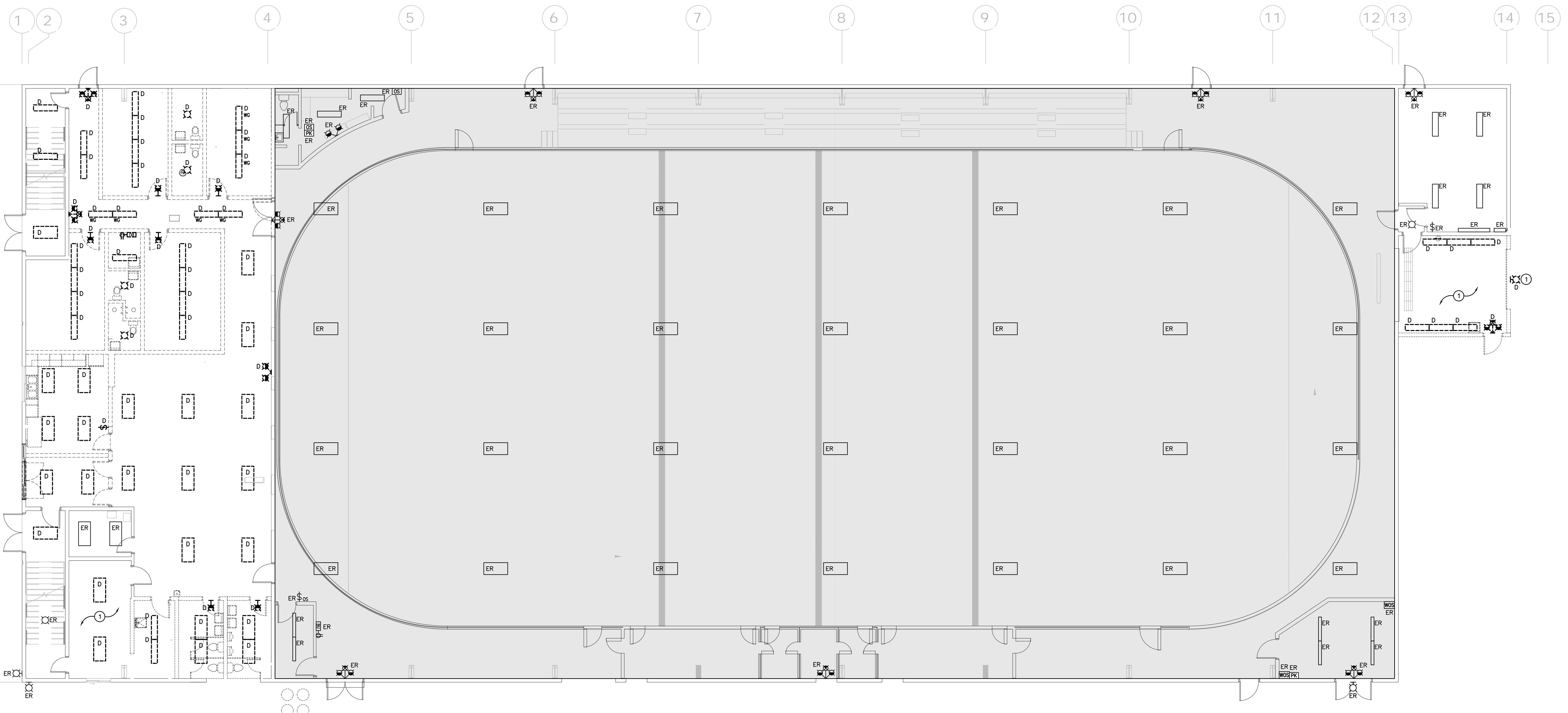
DATE: 2025-10-31	DRAWN BY: <i>CM</i>	DRAWING No: E102
PROJECT No: 24002	CHECKED BY: <i>CM</i>	

GENERAL DEMOLITION NOTES

- 'ER' DENOTES EXISTING ITEM TO REMAIN
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- 'R' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT, UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DEMOLISHED. UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE NOTED DEVICE AND WIRING BACK TO SOURCE.

SPECIFIC DEMOLITION NOTES

- 1 REMOVE EXISTING LIGHTING FIXTURES AND CONTROLS BUT MAINTAIN BRANCH CIRCUIT WIRING FOR RECONNECTION IN RENOVATION PHASE.



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EMILY-OMESEE ADDITION/RENOVATION
PHASE 2
212 STURGEON ROAD
OMESEE ONTARIO
GROUND FLOOR DEMOLITION -
LIGHTING

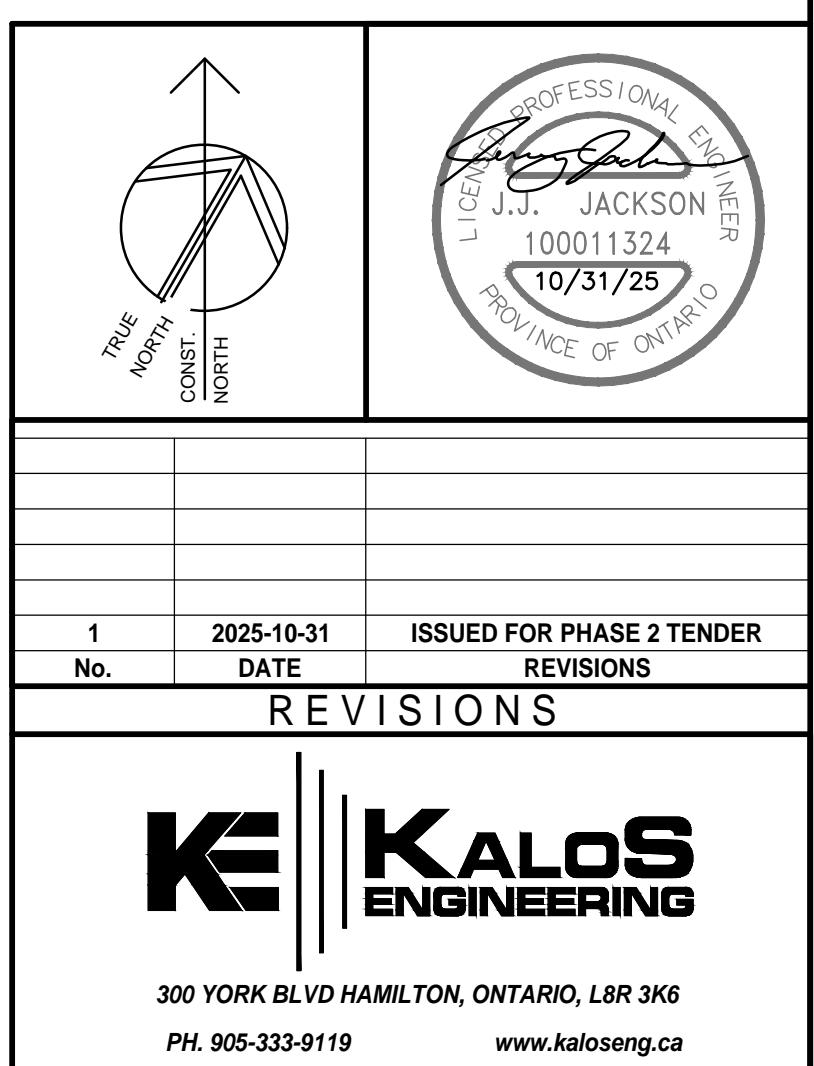
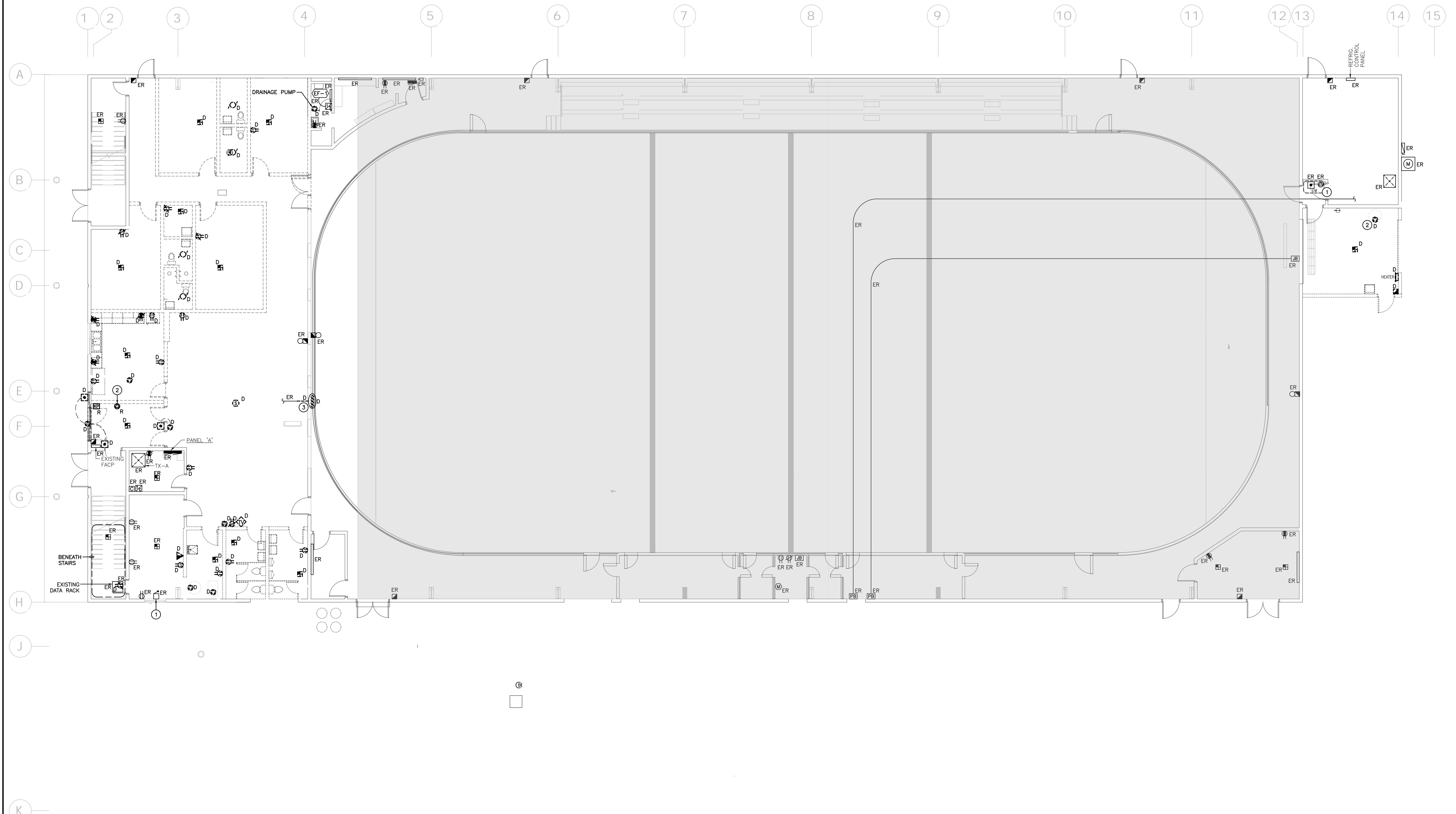
DATE: 2025-10-31 DRAWN BY: CM DRAWING No: E201
PROJECT No: 24002 CHECKED BY: CM

GENERAL DEMOLITION NOTES

- 'ER' DENOTES EXISTING ITEM TO REMAIN
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- 'R' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT, UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DEMOLISHED. UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE NOTED DEVICE AND WIRING BACK TO SOURCE.

SPECIFIC DEMOLITION NOTES

- 1 INDICATES GAS DETECTION EQUIPMENT EXISTING TO REMAIN.
- 2 INDICATES MECHANICAL UNIT BEING REPLACED WITH SIMILAR BY MECHANICAL CONTRACTOR. DISCONNECT AND REMOVE ALL CONTROL DEVICES. MAINTAIN BRANCH CIRCUIT FOR RECONNECTION IN RENOVATION PHASE. COORDINATE WITH MECHANICAL CONTRACTOR.
- 3 HEIGHT OF HORIZONTAL PORTION OF 4 EXISTING CONDUITS ARE TO BE RE-WORKED TO BE INSTALLED 6" HIGHER IN ORDER TO ALLOW FOR CLEARANCE TO NEW CEILING.



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PROJECT No: 24002	CHECKED BY: CM	

GENERAL DEMOLITION NOTES

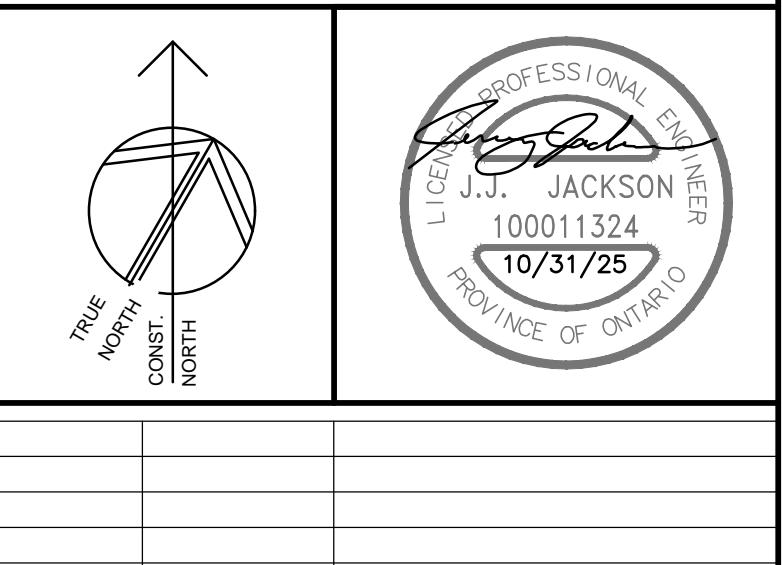
- 'ER' DENOTES EXISTING ITEM TO REMAIN
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- 'R' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT, UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DEMOLISHED. UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE NOTED DEVICE AND WIRING BACK TO SOURCE.

SPECIFIC DEMOLITION NOTES

- 1 PROVIDE NEW SIGNAL CIRCUIT (PROVIDE BOOSTER POWER SUPPLY ON EXISTING SIGNAL CIRCUIT). ALL WIRING MUST BE SUPERVISED.
- 2 PROVIDE NEW INITIATING CIRCUIT. ALL WIRING MUST BE SUPERVISED.
- 3 PROVIDE 120V POWER AND FIRE ALARM CONNECTIONS TO SMOKE/FIRE DAMPER WITH INTEGRAL SMOKE DETECTOR. REFER TO FIRE ALARM RISER AND SPECIFICATIONS. COORDINATE EXACT LOCATION/CONNECTION REQUIREMENTS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL CONTRACTOR'S SPECIFICATIONS. INTEGRAL SMOKE DETECTOR MUST BE CONNECTED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDED TWO MONITORING MODULES PER SMOKE/FIRE DAMPER - ONE TO SUPERVISE 120V POWER SUPPLY CONNECTION TO THE DAMPER ACTUATOR, AND ONE FOR INTEGRAL SMOKE DETECTOR ALARM SIGNAL.
- 4 INDICATES CONNECTION TO SUBMERSIBLE PUMP IN CISTERNS AND ASSOCIATED CONTROL PANEL. ALL WORK REQUIRED BY THIS CONTRACTOR FOR THE COMPLETE ELECTRICAL INSTALLATION OF THE SUBMERSIBLE PUMP "SP-1" IS TO BE CARRIED AS A OPTIONAL PRICE.
- 5 REFER TO SPEC SHEET BY SUMMIT WATER FOR ACCESSORIES & INSTALLATION INSTRUCTIONS. FOR MORE INFORMATION PLEASE CONTACT "SUMMIT WATER". Kiro Zlodej: kiroz@summitwater.ca / +1 819 820 5331
- 6 INDICATES CONNECTION TO SOLENOID VALVE SUPPLIED BY OTHERS FOR CISTERNS PUMP SYSTEM. CONNECT TO 120V POWER RAIL OF ADJACENT CISTERNS PUMP CONTROL PANEL. COORDINATE LOCATION AND CONNECTION REQUIREMENTS WITH SUMMIT WATER PRIOR TO ROUGH-IN. REFER TO NOTE #4.
- 7 INDICATES 120V CONNECTION TO 24VDC STEP-DOWN TRANSFORMER MOUNTED ABOVE CEILING OR AT HIGH LEVEL FOR AUTOMATIC FIXTURE(S). COORDINATE WITH MECHANICAL CONTRACTOR.
- 8 CONNECT INDICATED DEVICE TO UNSWITCHED SIDE OF LOCAL LIGHTING CIRCUIT.
- 9 EXTEND CONDUITS BETWEEN PULLBOXES AND 'MECH 108'. SIZE AND QUANTITY TO MATCH EXISTING.
- 10 INDICATES DEVICES TO BE MOUNTED IN ELEVATOR PIT. REFER TO ELEVATOR SHOP DRAWINGS AND CONFIRM FINAL LOCATION WITH ELEVATOR SUPPLIER.
- 11 THROUGH PROGRAMMING WHEN INDICATED DETECTOR IS IN ALARM, ASSOCIATED RELAY IN CONTROL PANEL IS TO CLOSE AND SEND SIGNAL TO ELEVATOR CONTROLLER. INDICATED CONNECTIONS ARE CONNECTED TO LOCAL INITIATING CIRCUIT. ALL WIRING MUST BE SUPERVISED.
- 12 INDICATES APPROXIMATE LOCATION FOR DATA AND ASSOCIATED POWER RECEPTACLE DEDICATED TO OWNER SUPPLIED TELEVISION. COORDINATE FINAL LOCATION AND HEIGHT WITH ARCHITECTURAL LAYOUT PRIOR TO ROUGH-IN.
- 13 INDICATES RECEPTACLES DEDICATED TO OWNER SUPPLIED VENDING MACHINES. COORDINATE LOCATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO ROUGH-IN.
- 14 INDICATED RECEPTACLE SHALL BE MOUNTED WITHIN SHROUD OF WATER FILT STATION. COORDINATE EXACT LOCATION AND MOUNTING HEIGHT ON SITE PRIOR TO ROUGH-IN.
- 15 INDICATES PROPOSED ROUTE OF CONDUIT TO EXTERIOR FOR MECHANICAL VAPORIZER. THIS CONDUIT IS RESPONSIBLE TO CORE WALL, SEAL AND MAKE WATERTIGHT ALL OPENINGS. SATISFACTION OF OWNER AND CONSULTANT, REFER TO SITE PLAN FOR MORE INFORMATION.
- 16 HEIGHT OF HORIZONTAL PORTION OF 4 EXISTING CONDUITS ARE TO BE RE-WORKED WITH 6" HIGHER IN ORDER TO ALLOW FOR CLEARANCE TO NEW CEILING.
- 17 ALL DEVICE LOCATIONS WITHIN ELEVATOR MACHINE ROOM TO BE CONFIRMED WITH ELEVATOR SHOP DRAWINGS AND ELEVATOR INSTALLER PRIOR TO ROUGH-IN.
- 18 INDICATES FUSED DISCONNECT (C/W TWO SETS OF AUXILIARY CONTACTS) FOR ELEVATOR CONTROLLER FED FROM PANEL DP-A. REFER TO RISER DIAGRAM FOR MORE INFORMATION.
- 19 INDICATES 30A-1P FUSIBLE DISCONNECT C/W 15A FUSE FOR ELEVATOR IN-CAR LIGHTING. DEDICATED CIRCUIT AS NOTED. CONFIRM EXACT LOCATION/REQUIREMENTS WITH ELEVATOR SHOP DRAWINGS.
- 20 INDICATES 30A-1P FUSIBLE DISCONNECT C/W 15A FUSE FOR ELEVATOR COMMUNICATION DISCONNECT. CONFIRM EXACT LOCATION/REQUIREMENTS WITH ELEVATOR SHOP DRAWINGS.
- 21 INDICATES 30A-1P FUSIBLE DISCONNECT C/W 15A FUSE FOR ELEVATOR COMMUNICATION DISCONNECT. CONFIRM EXACT LOCATION/REQUIREMENTS WITH ELEVATOR SHOP DRAWINGS.
- 22 INDICATES PHONE OUTLET MOUNTED AT 1220mm (4'-0") AFF. CONFIRM EXACT LOCATION WITH ELEVATOR INSTALLER.
- 23 INDICATES DATA OUTLET FOR IN-CAR COMMUNICATIONS MOUNTED AT 1220mm (4'-0") AFF. CONFIRM EXACT LOCATION WITH ELEVATOR INSTALLER.

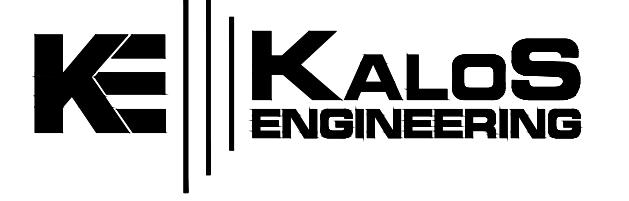
PROVISIONAL PRICE LIST

PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERNS FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE, NEW CEILING TILES (REFLECTIVE LIGHTING), AND CANE TANK POWER FOR NEW ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT



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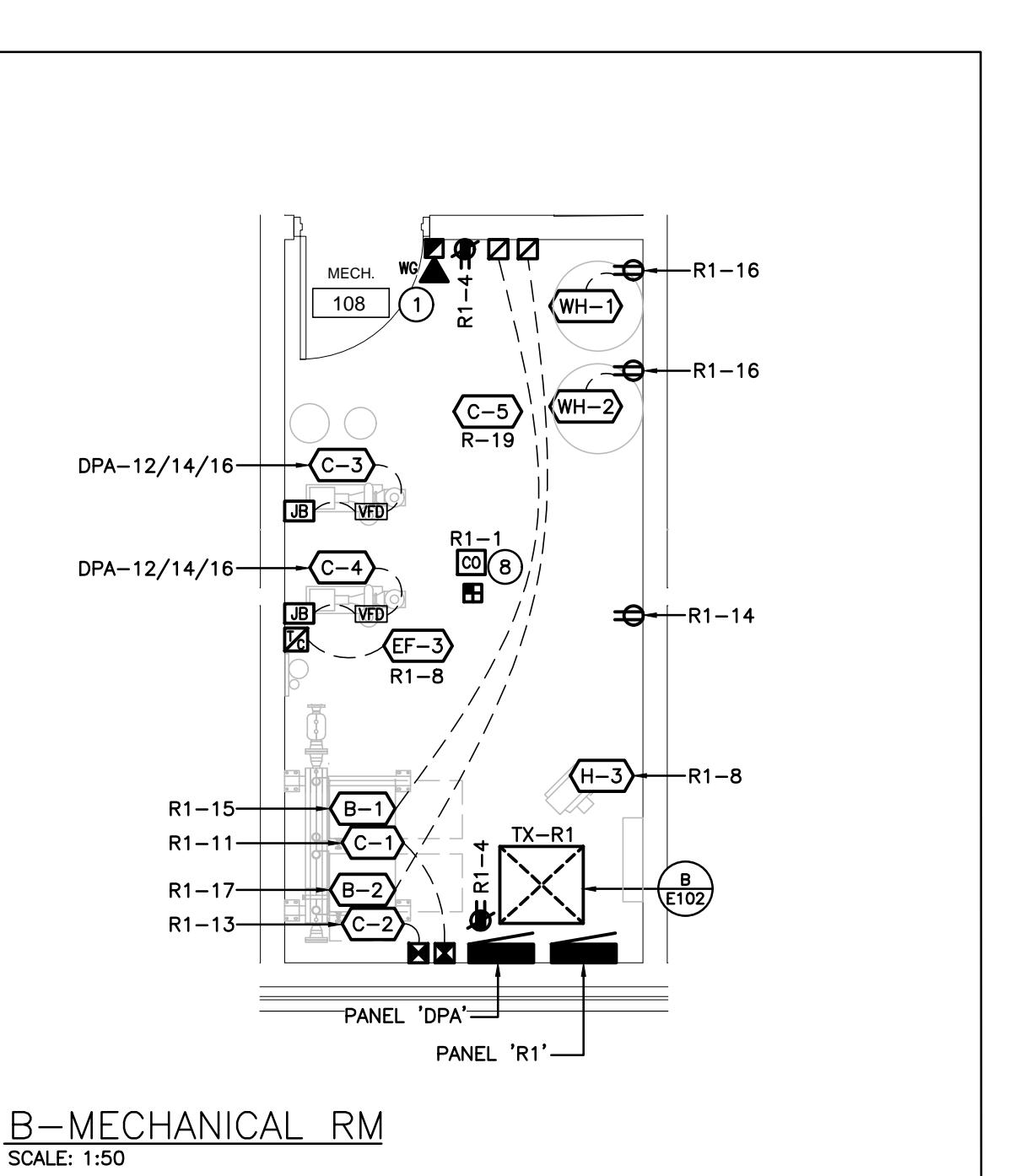
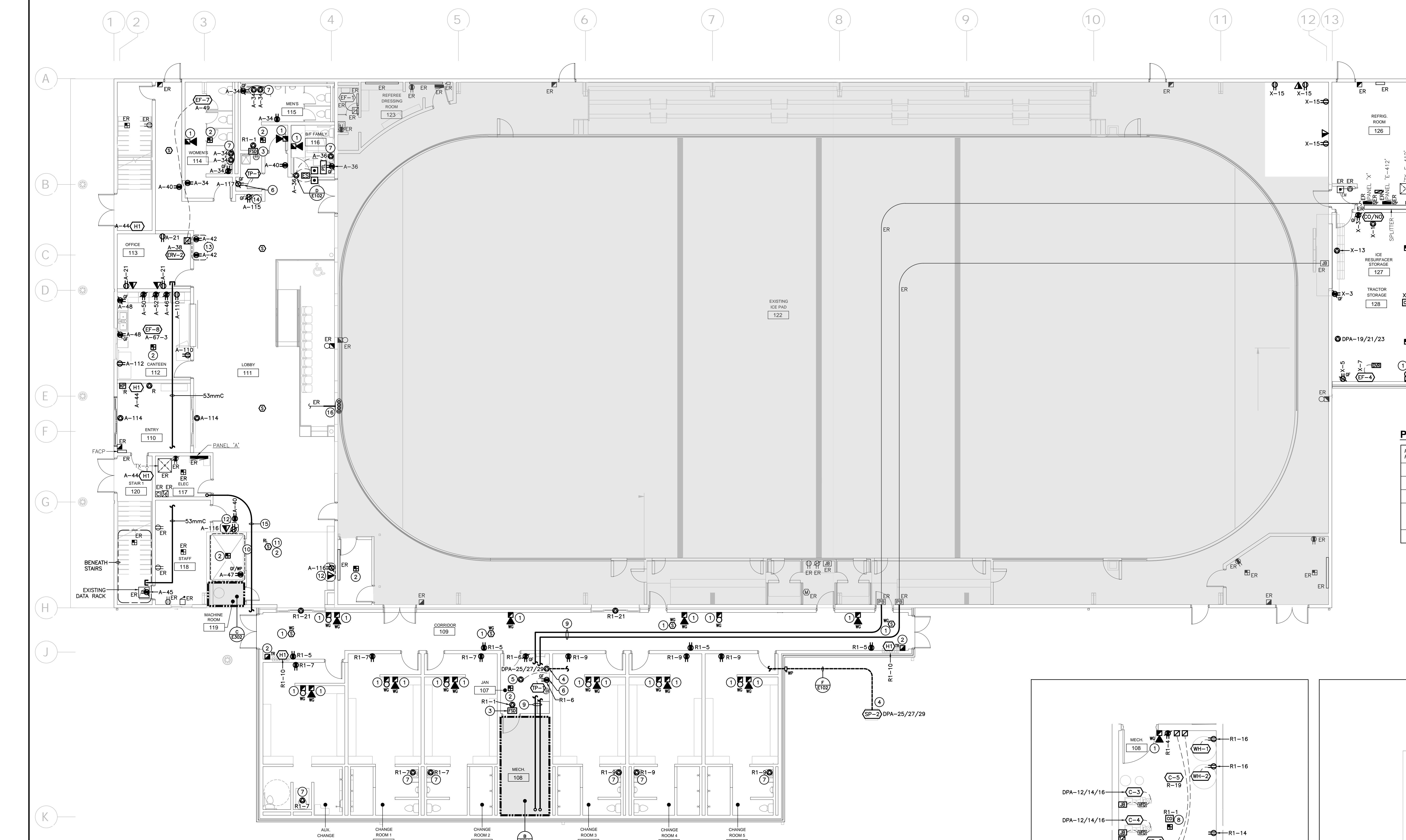
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EMILY-OMEMEE ADDITION/RENOVATION PHASE 2

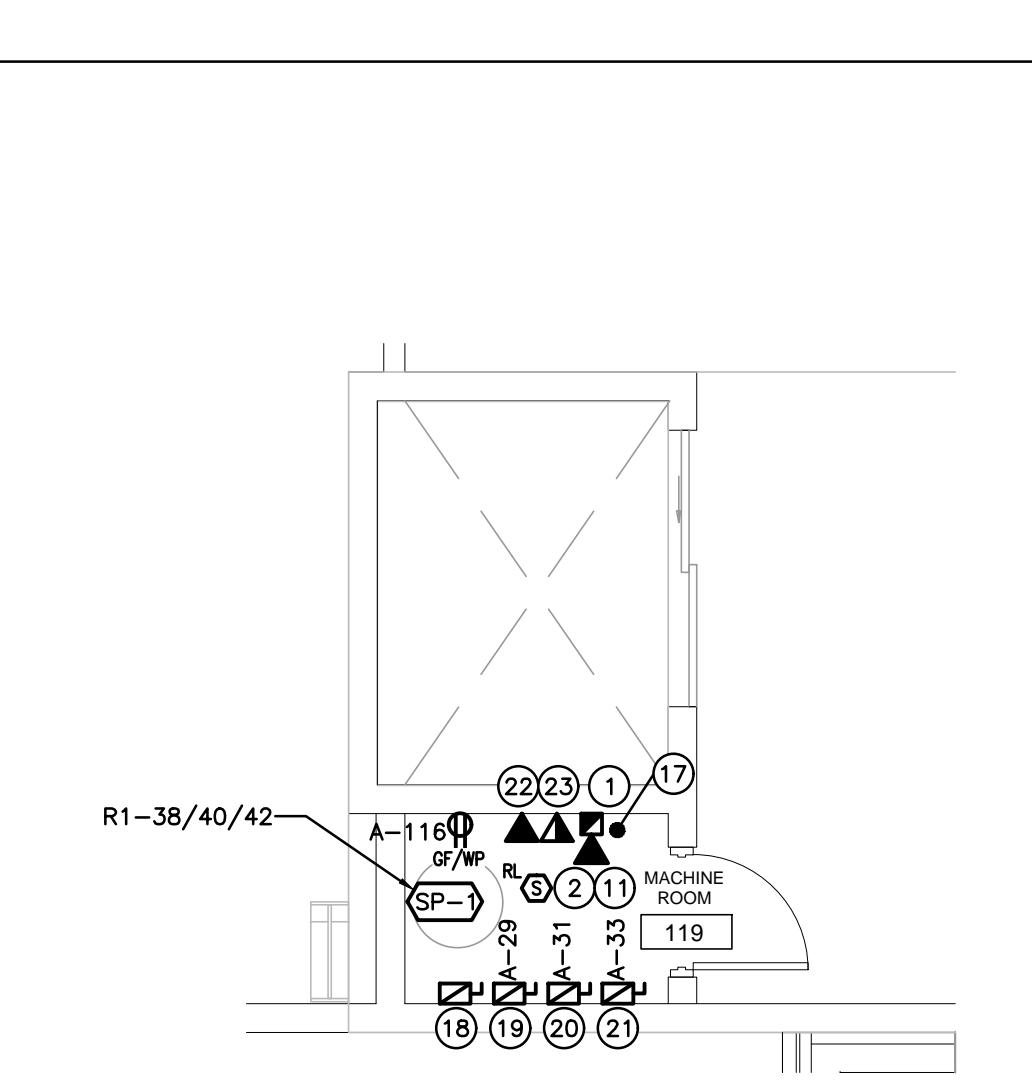
212 STURGEON ROAD
OMEMEE ONTARIO
GROUND FLOOR DEMOLITION - POWER & SYSTEMS

DATE: 2025-10-31 DRAWN BY: CM DRAWING No: E302
PROJECT No: 24002 CHECKED BY: CM



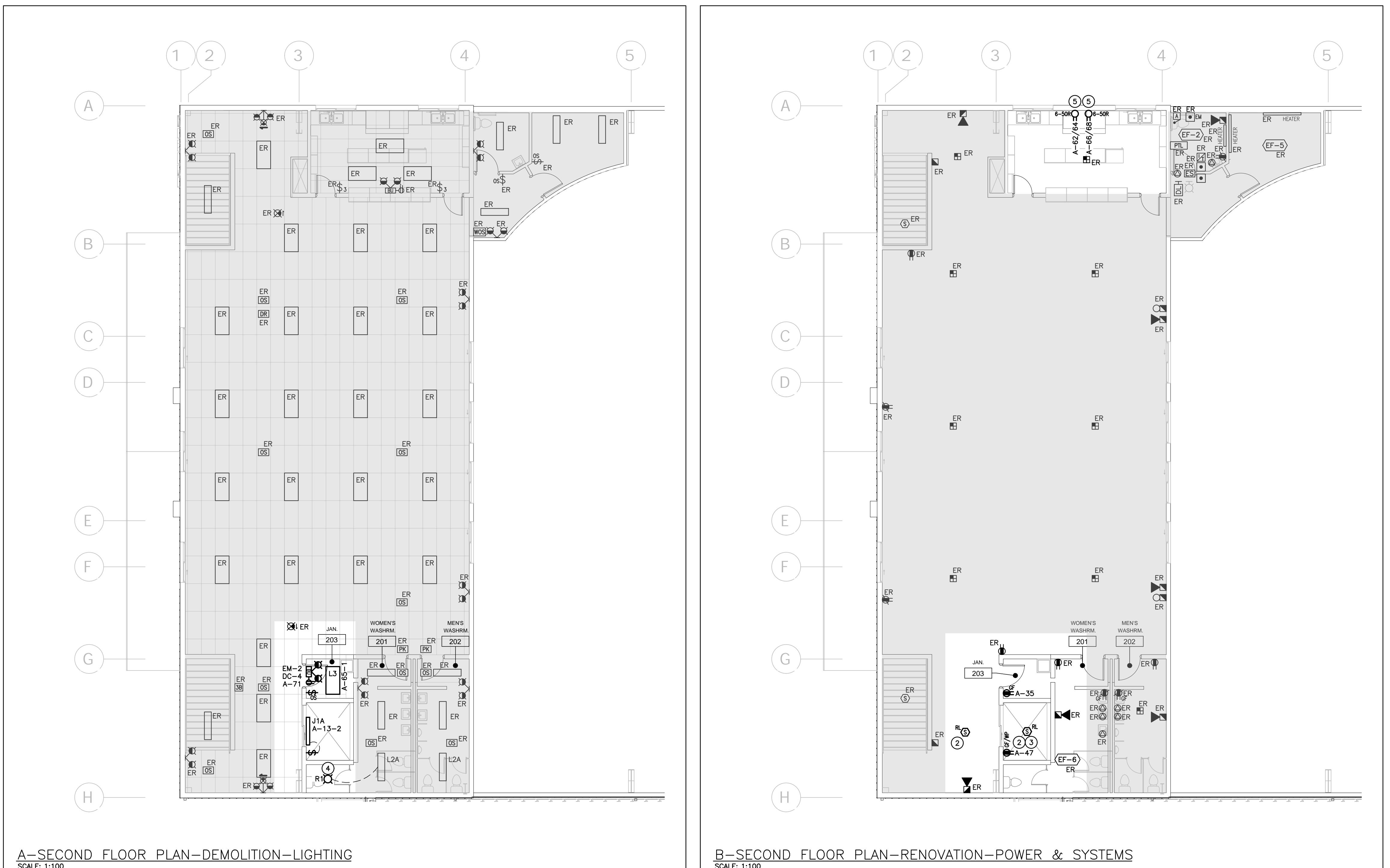
B-MECHANICAL RM

SCALE: 1:50



C-MACHINE RM

SCALE: 1:50



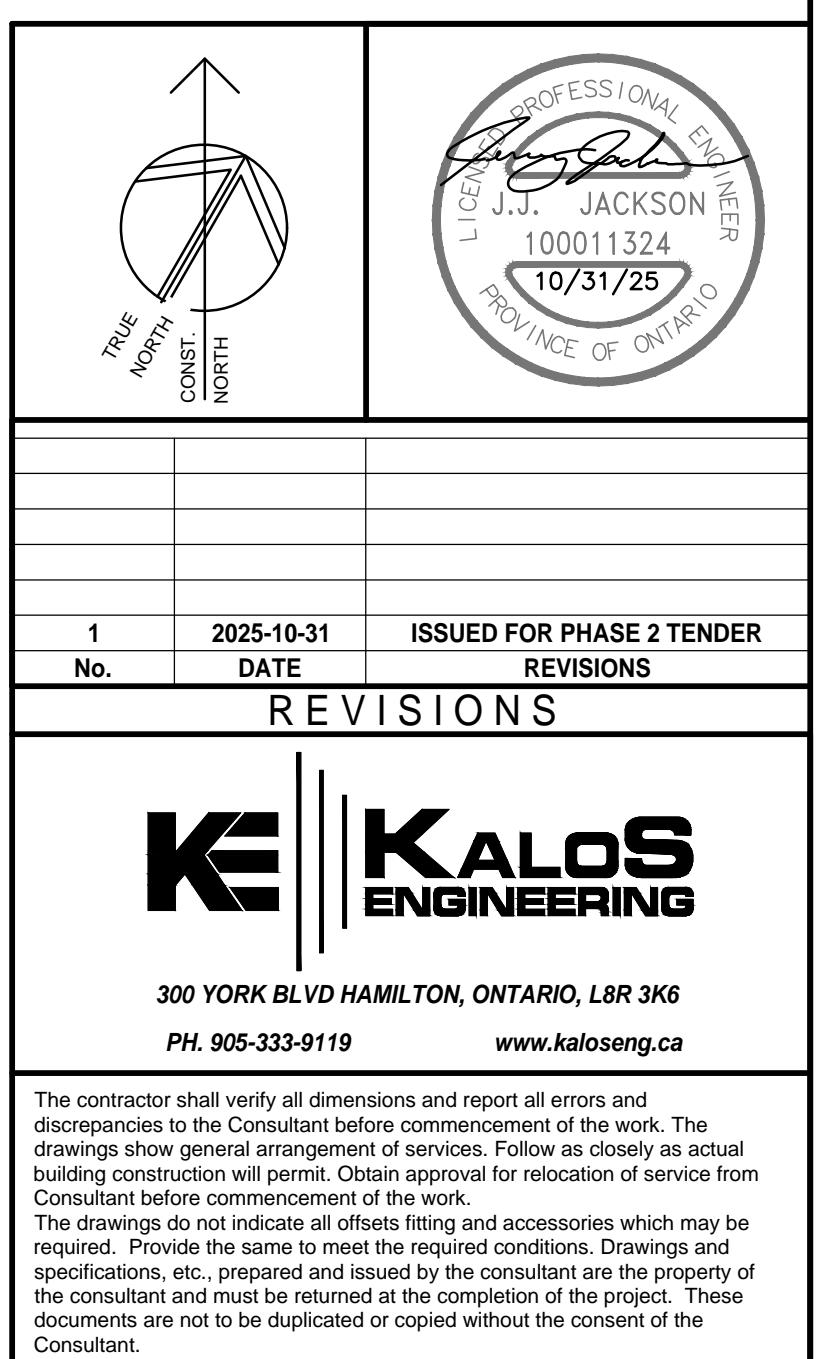
GENERAL DEMOLITION NOTES

- 'ER' DENOTES EXISTING ITEM TO REMAIN
- 'R' INDICATES EXISTING EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- 'D' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT. UNLESS OTHERWISE NOTED.
- 'O' INDICATES EXISTING ITEM TO BE DEMOLISHED. UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE NOTED DEVICE AND WIRING BACK TO SOURCE.

SPECIFIC DEMOLITION NOTES

- INDICATED DEVICE TO BE CONNECTED TO LOCAL SIGNAL CIRCUIT. ALL WIRING MUST BE SUPERVISED.
- THROUGH PROGRAMMING WHEN INDICATED DETECTOR IS IN ALARM, ASSOCIATED RELAY IN CONTROL PANEL IS TO CLOSE AND SEND SIGNAL TO ELEVATOR CONTROLLER. INDICATED DEVICE TO BE CONNECTED TO LOCAL INITIATING CIRCUIT. ALL WIRING MUST BE SUPERVISED.
- INDICATED DEVICE IS TO BE MOUNTED AT THE TOP OF THE ELEVATOR SHAFT. CO-ORDINATE WITH LIFT SHOP DRAWINGS PRIOR TO ROUGH-IN.
- CONNECT FIXTURE TO EXISTING WASHROOM CIRCUIT.
- INDICATES STOVE RECEPTACLE TO BE CONSIDERED A PART OF PROVISIONAL PRICE #4.

PROVISIONAL PRICE LIST	
PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERNS FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPDATES TO INCLUDE PAINTING, MUDGUARD, REFRIGERATION HARDWARE, NEW CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK, POWER FOR NEW ELECTRIC STOVES, PAINTING.
5	PAVE GRANULAR PARKING LOT



EMILY—OMEMEE ADDITION/RENOVATION PHASE 2
212 STURGEON ROAD
OMEMEE ONTARIO

SECOND FLOOR DEMOLITION — LIGHTING & POWER & SYSTEMS

PRINT DATE: 10/31/2025 DRAWN BY: CM DRAWING No: E303
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PROJECT No: 24002 CHECKED BY: CM

GENERAL NOTES

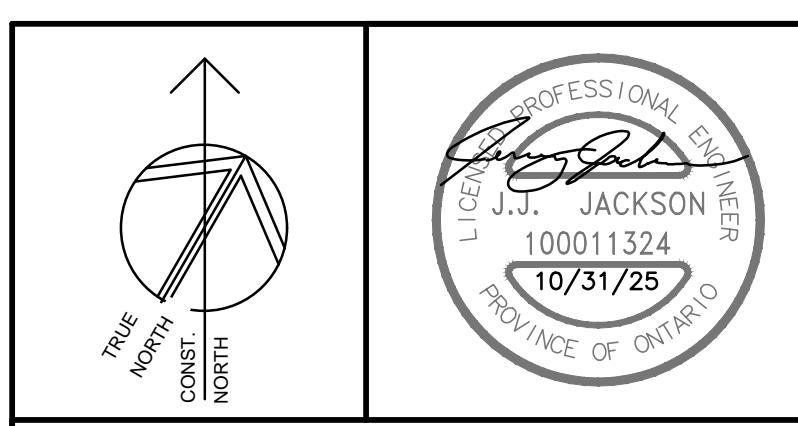
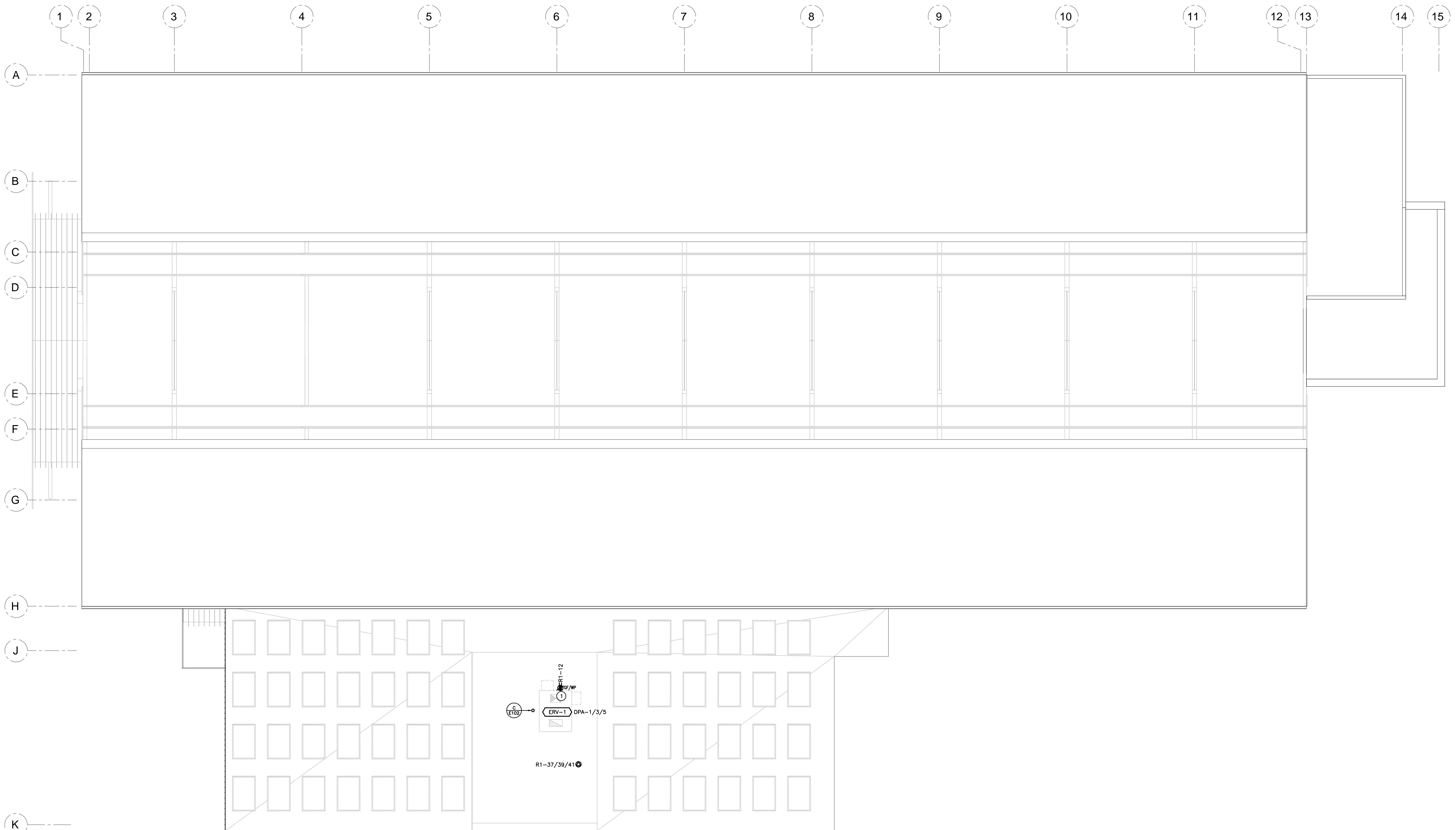
- 'ER' DENOTES EXISTING ITEM TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- 'R' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT. UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DELETED. UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE. NOTE DEVICE AND WIRING BACK TO SOURCE.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

SPECIFIC NOTES

- 1 PROVIDE 1-SLOT GROUND FAULT RECEPTACLE COMPLETE WITH "HEAVY DUTY IN-USE" WEATHER-PROOF COVER. COORDINATE PLACEMENT WITH MECHANICAL TRADE. INDICATED DEVICE IS TO BE MOUNTED 436" (900mm) ABOVE FINISHED ROOF LEVEL.
- 2 INDICATES POWER CONNECTION TO PHOTOVOLTAIC INVERTER TO BE CONSIDERED A PART OF PROVISIONAL PRICE #1. INVERTER IS SUPPLIED AND INSTALLED BY OTHERS BUT FINAL POWER CONNECTION TO BE BY ELECTRICAL CONTRACTOR.

PROVISIONAL PRICE LIST

PROVISIONAL PRICE No.	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CIMCO)
3	CISTERNS FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE. NEW CEILING TILES (RETAIN GRID & LIGHTS), REMOVE PROPANE TANK. POWER FOR NEW ELECTRIC STOVES. PAINTING.
5	PAVE GRANULAR PARKING LOT



1 2025-10-31 ISSUED FOR PHASE 2 TENDER
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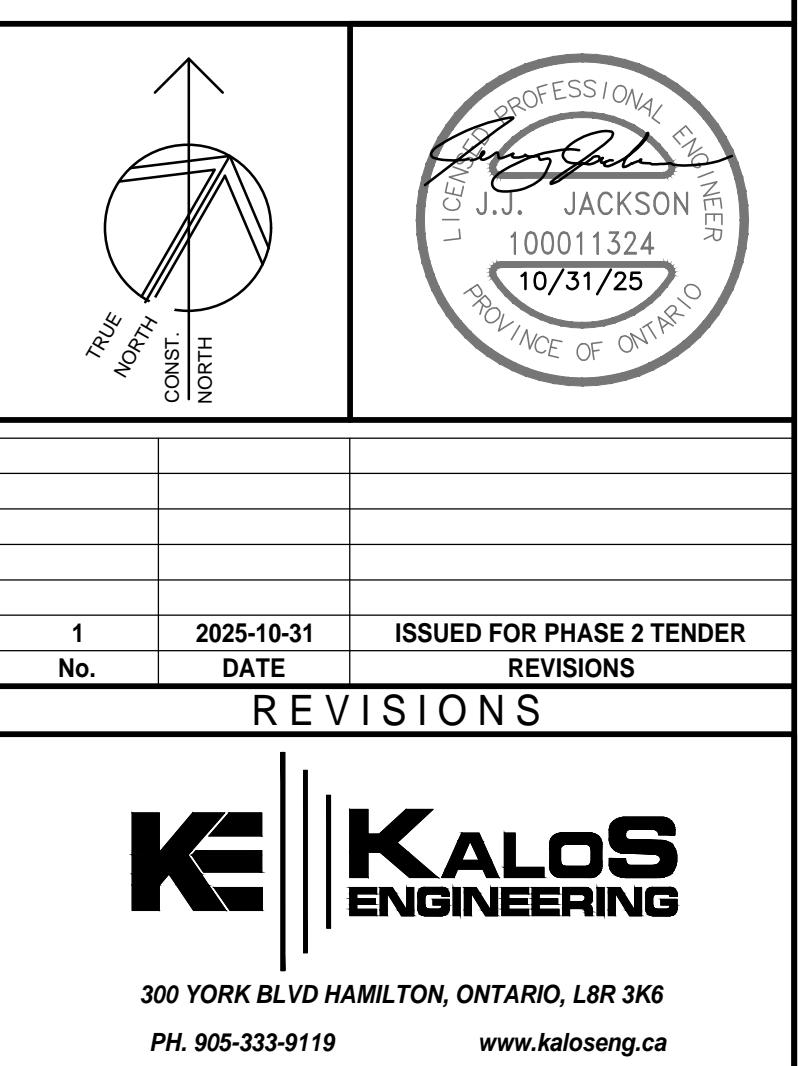
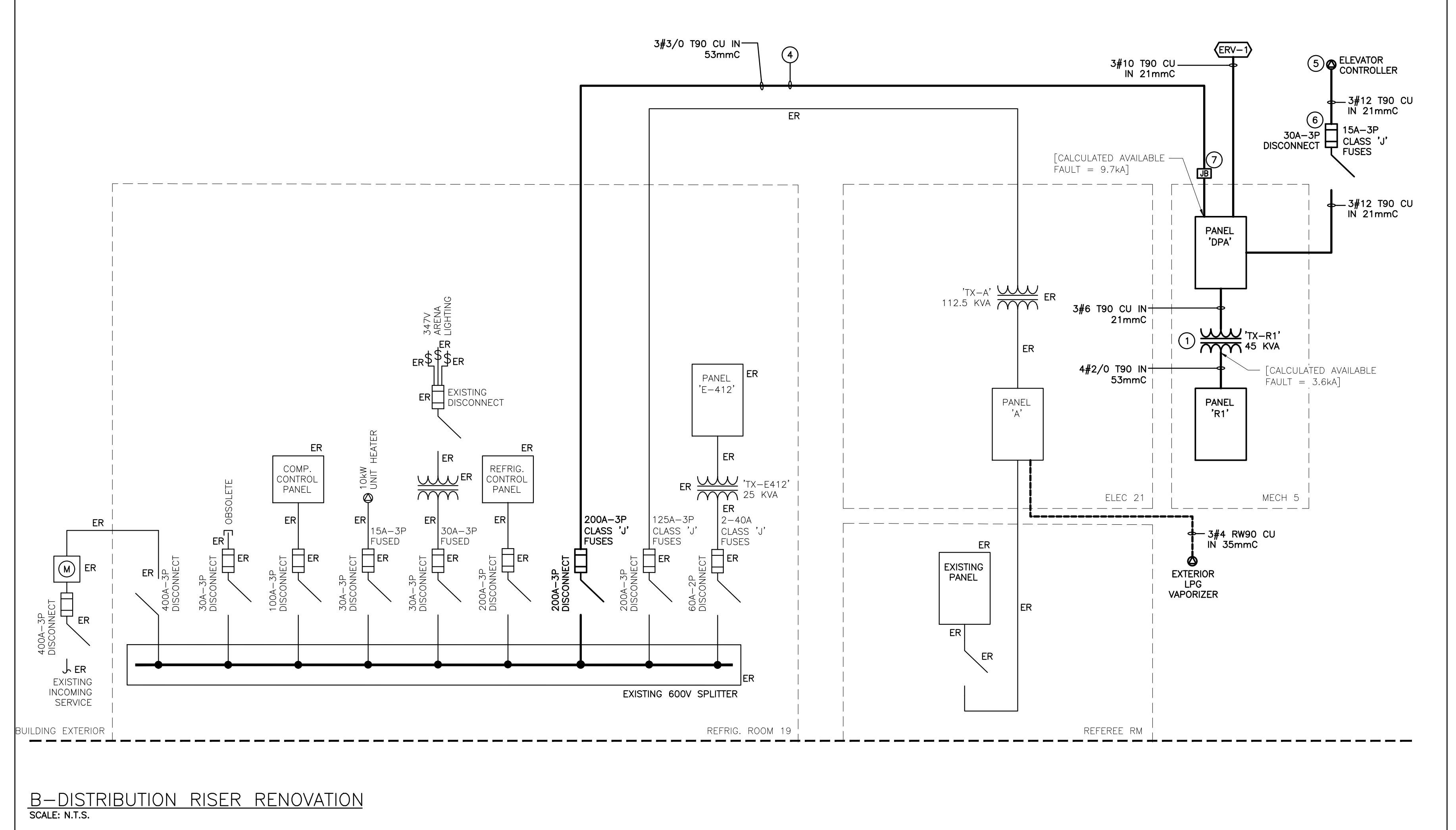
EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2
212 STURGEON ROAD

OMEMEE ONTARIO
ROOF PLAN – RENOVATION
POWER & SYSTEMS

DATE: 2025-10-31	DRAWN BY: CM	DRAWING No: E304
PROJECT No: 24002	CHECKED BY: CM	

DISTRIBUTION RISER NOTES

- REFER TO SPECIFICATION FOR INFORMATION REGARDING MOULDED CASE CIRCUIT BREAKERS.
- ALL DISTRIBUTION EQUIPMENT ARE TO BE PROVIDED WITH WARNING LABELS CONFORMING TO THE ONTARIO ELECTRICAL SAFETY CODE RULE #2-30E(1),(2)
- INSTALL GROUND WIRE TO SUIT THE ELECTRICAL SAFETY CODE IN ALL CONDUIT.
- ALL LIGHTING CIRCUITS ARE TO BE PROVIDED WITH SEPARATE NEUTRALS. SIZE BRANCH CONDUITS ACCORDINGLY.



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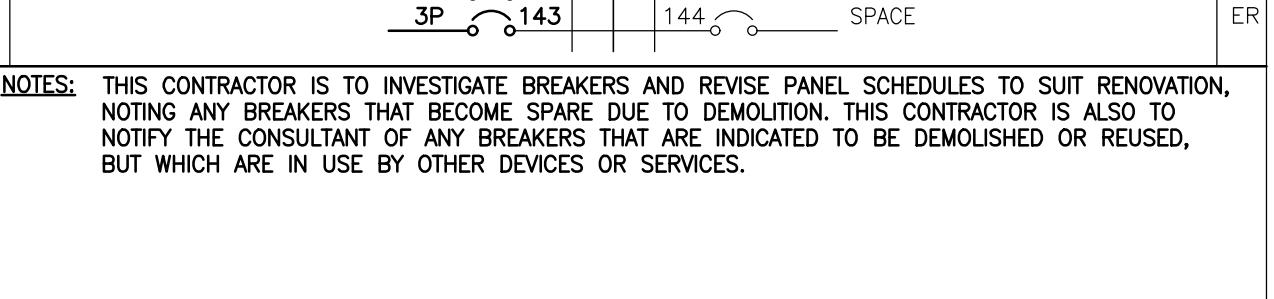
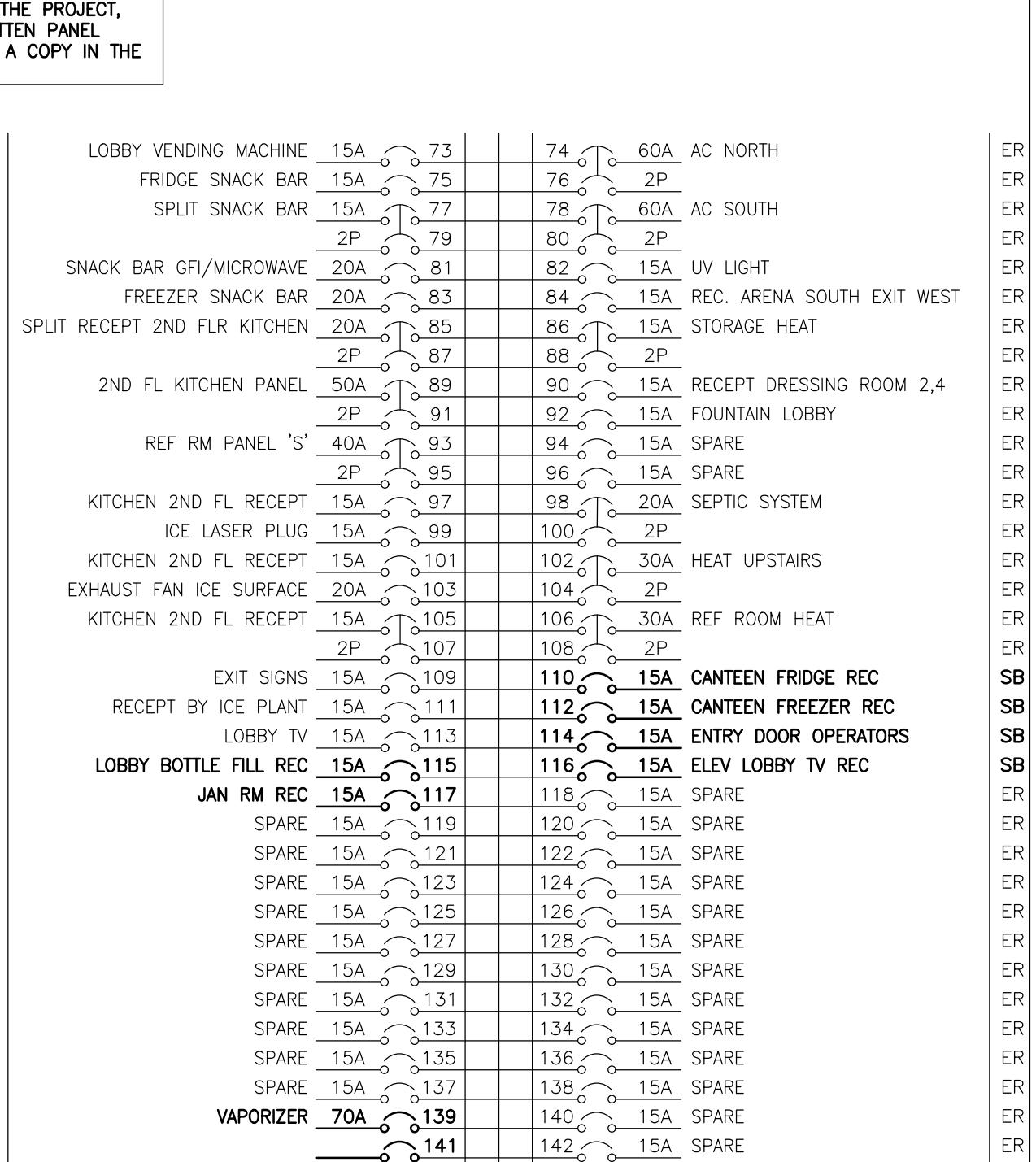
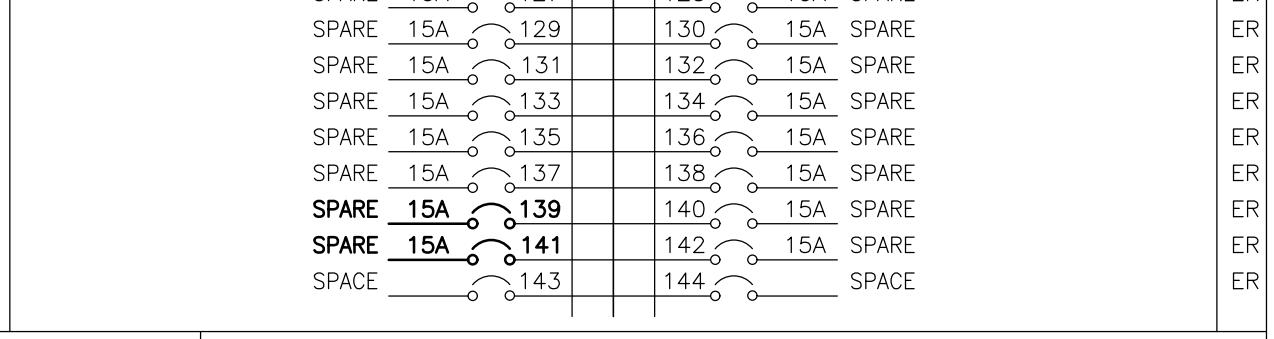
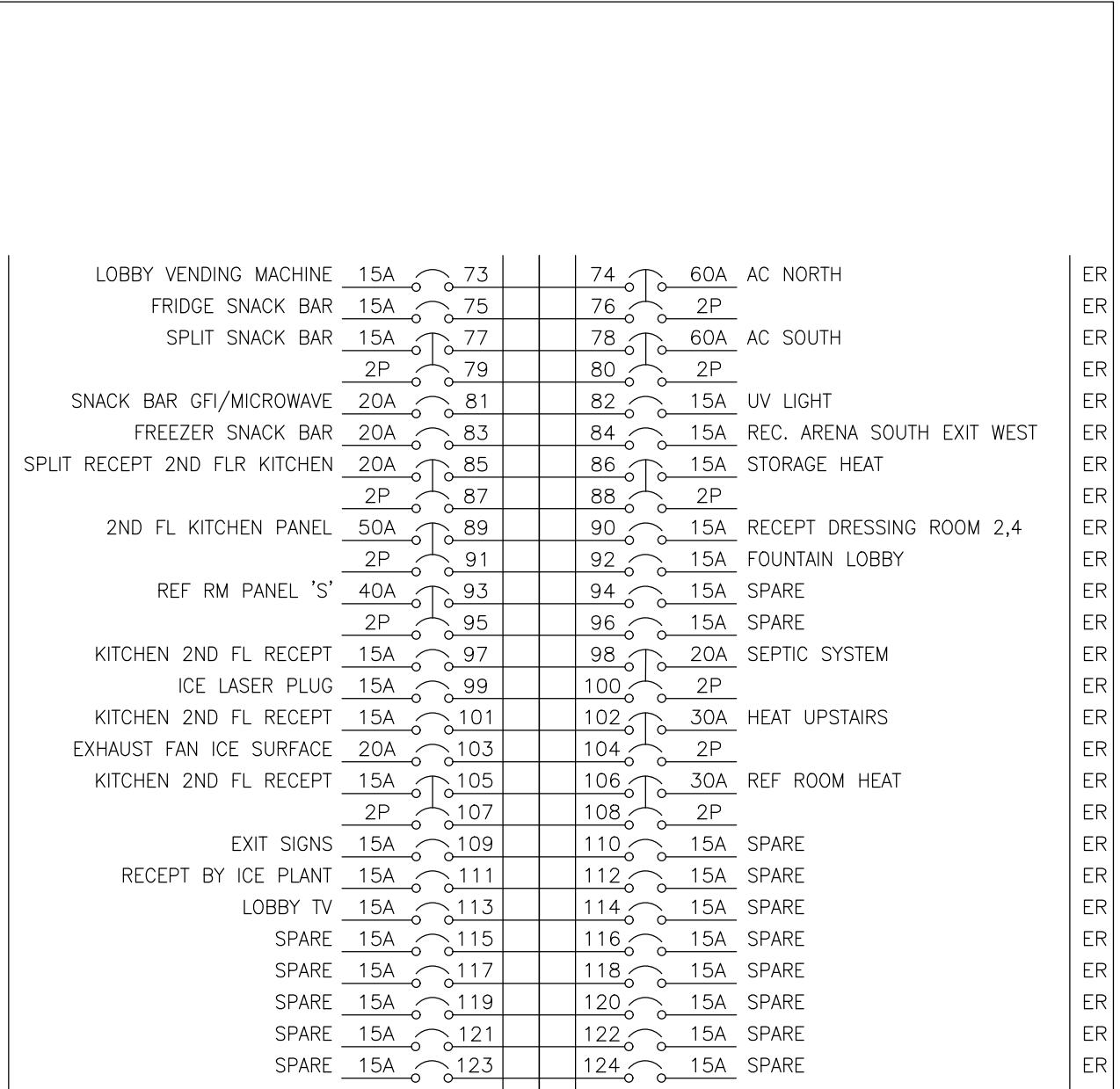
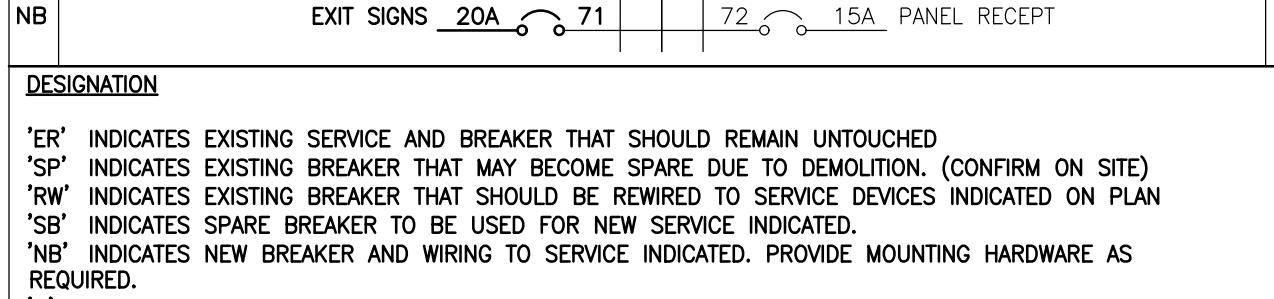
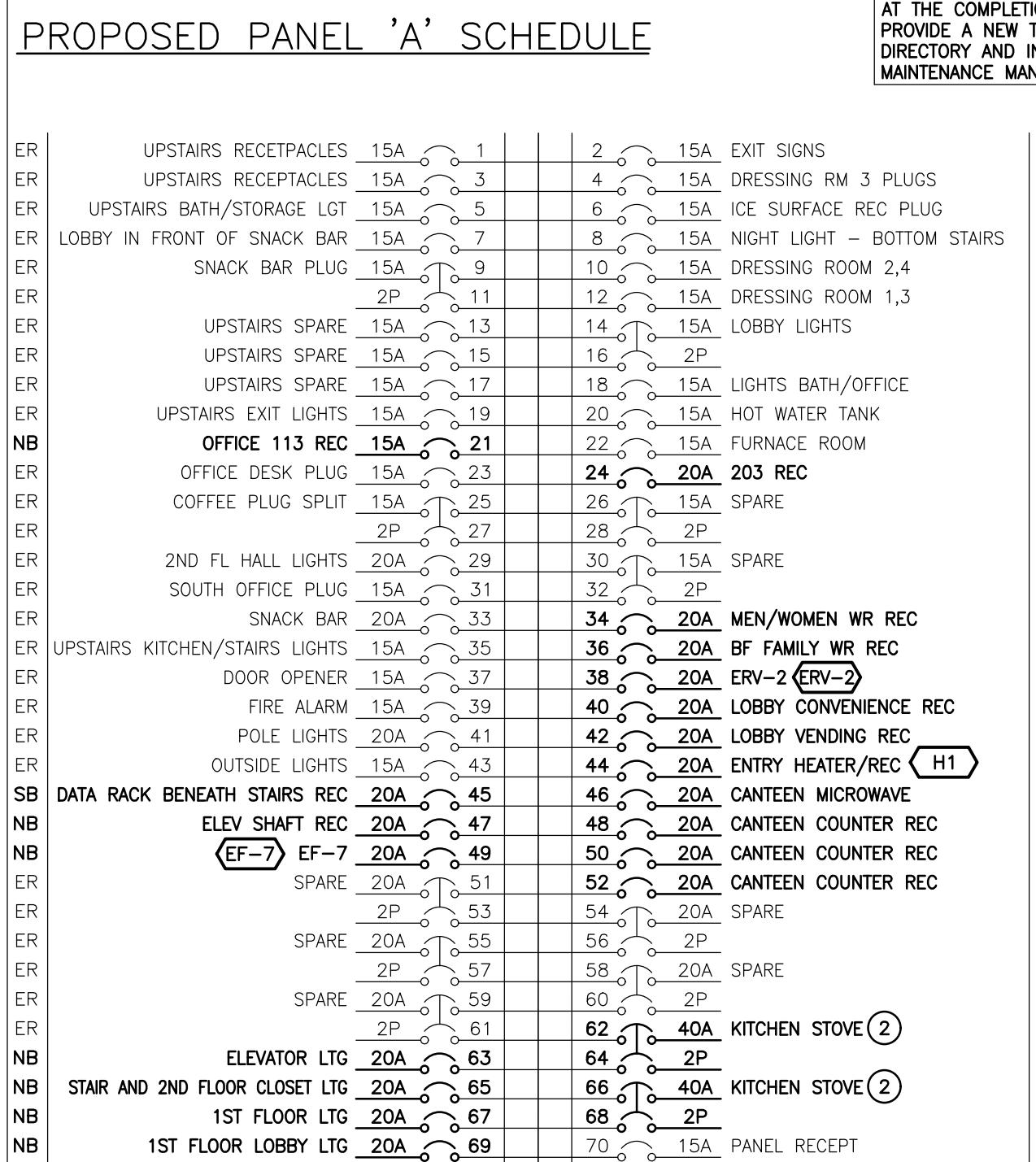
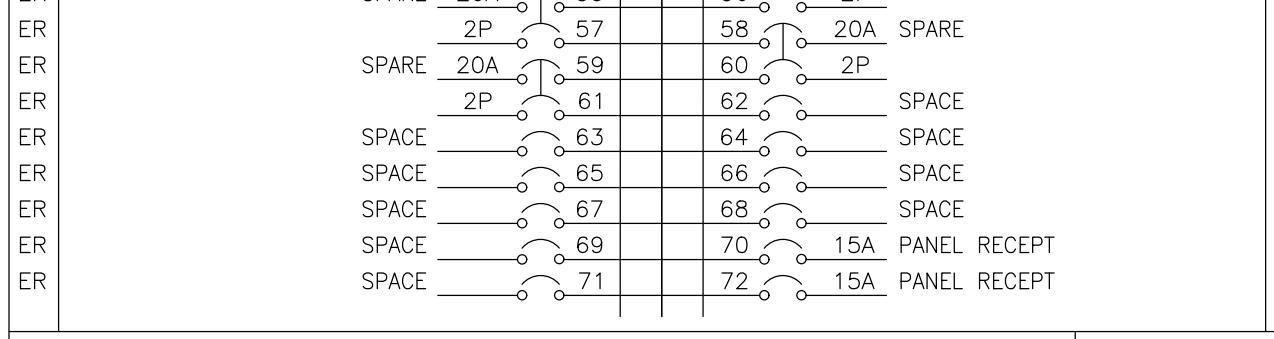
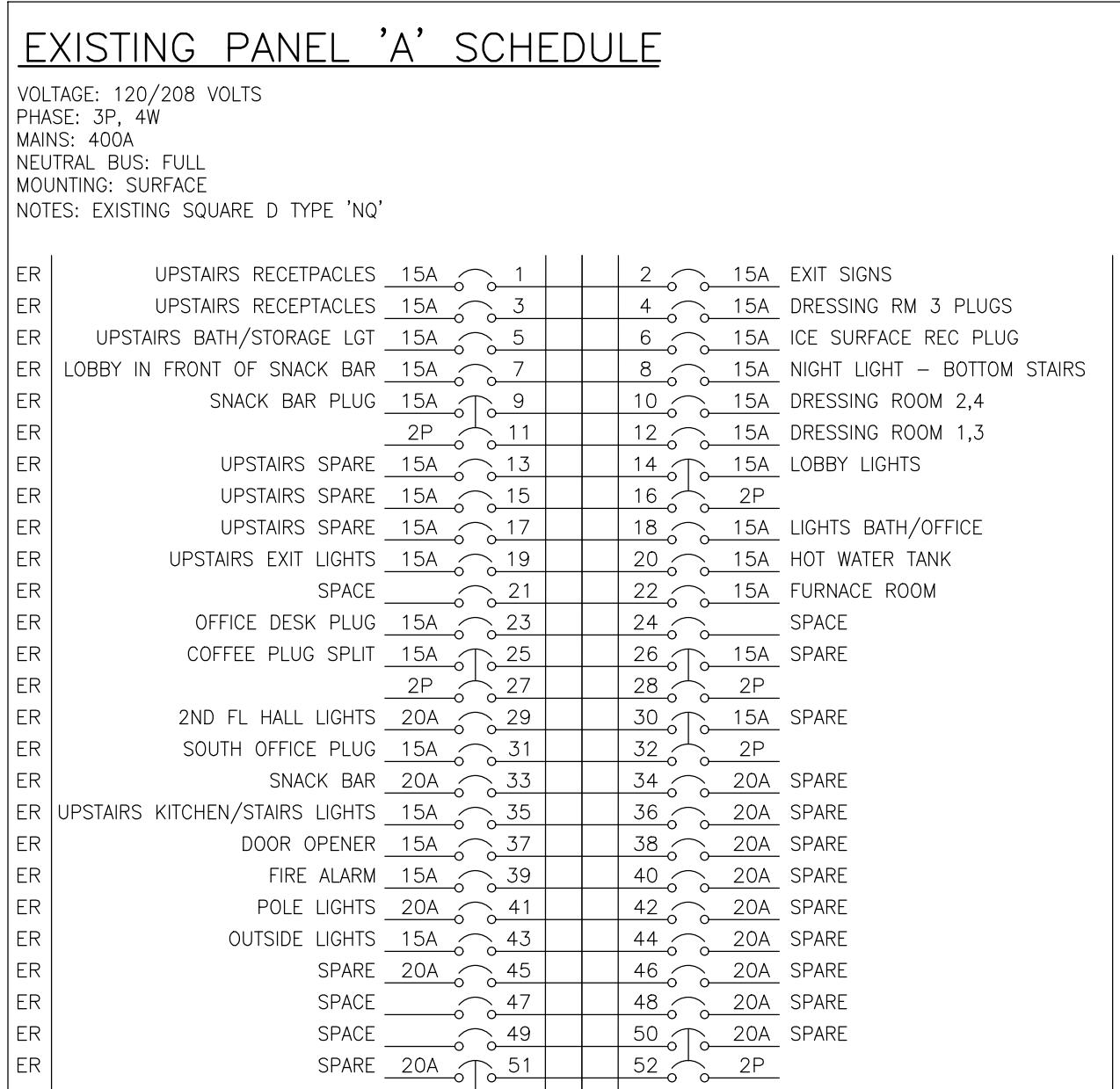
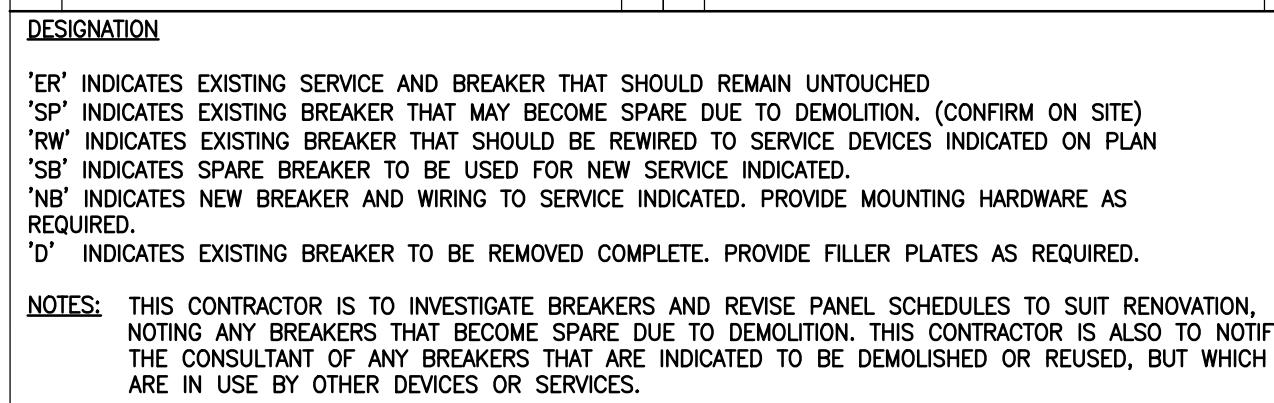
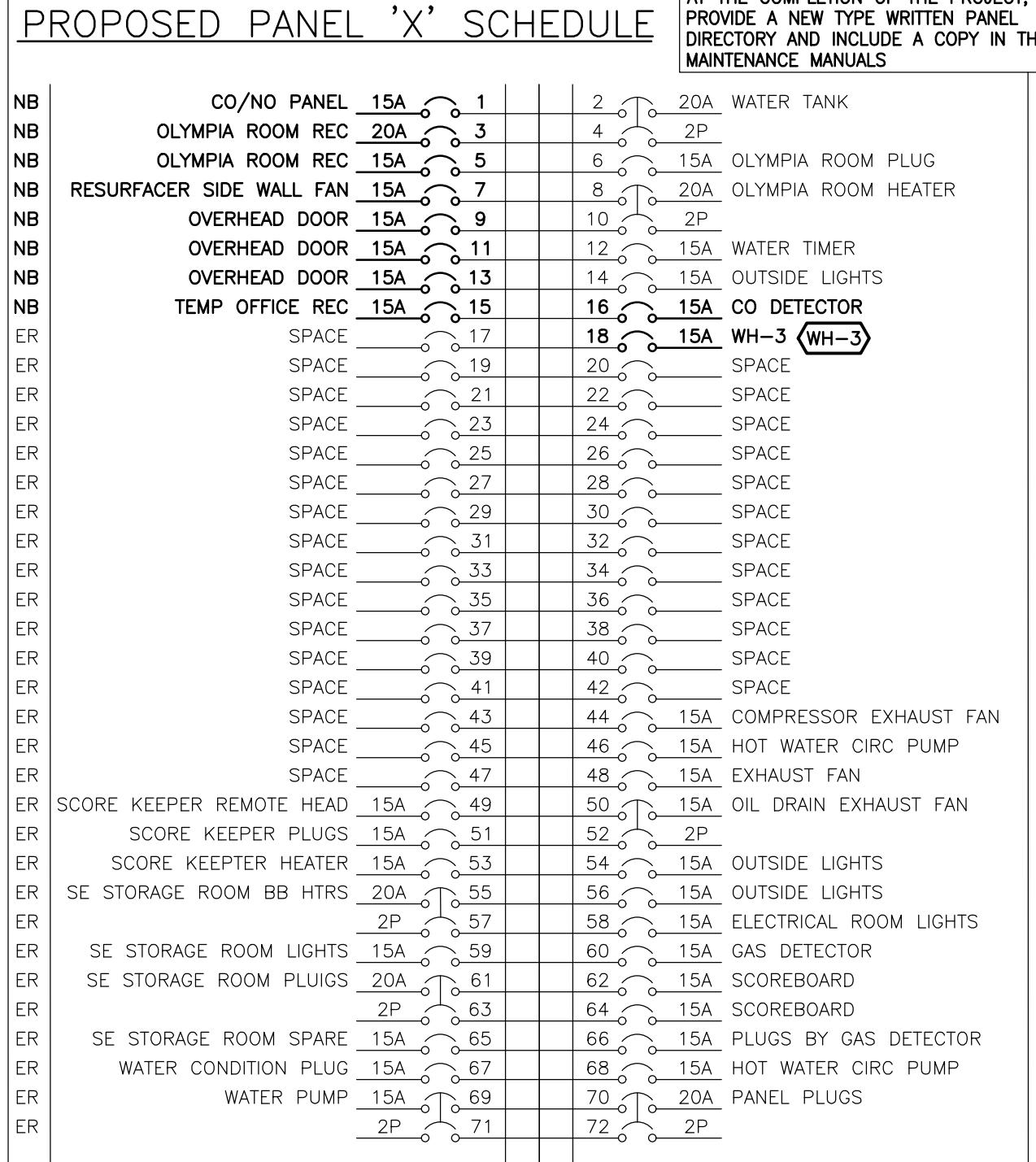
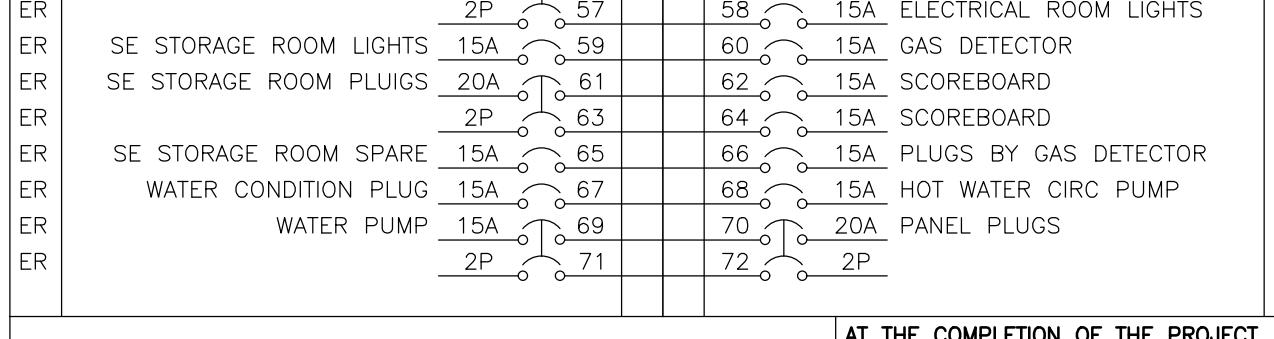
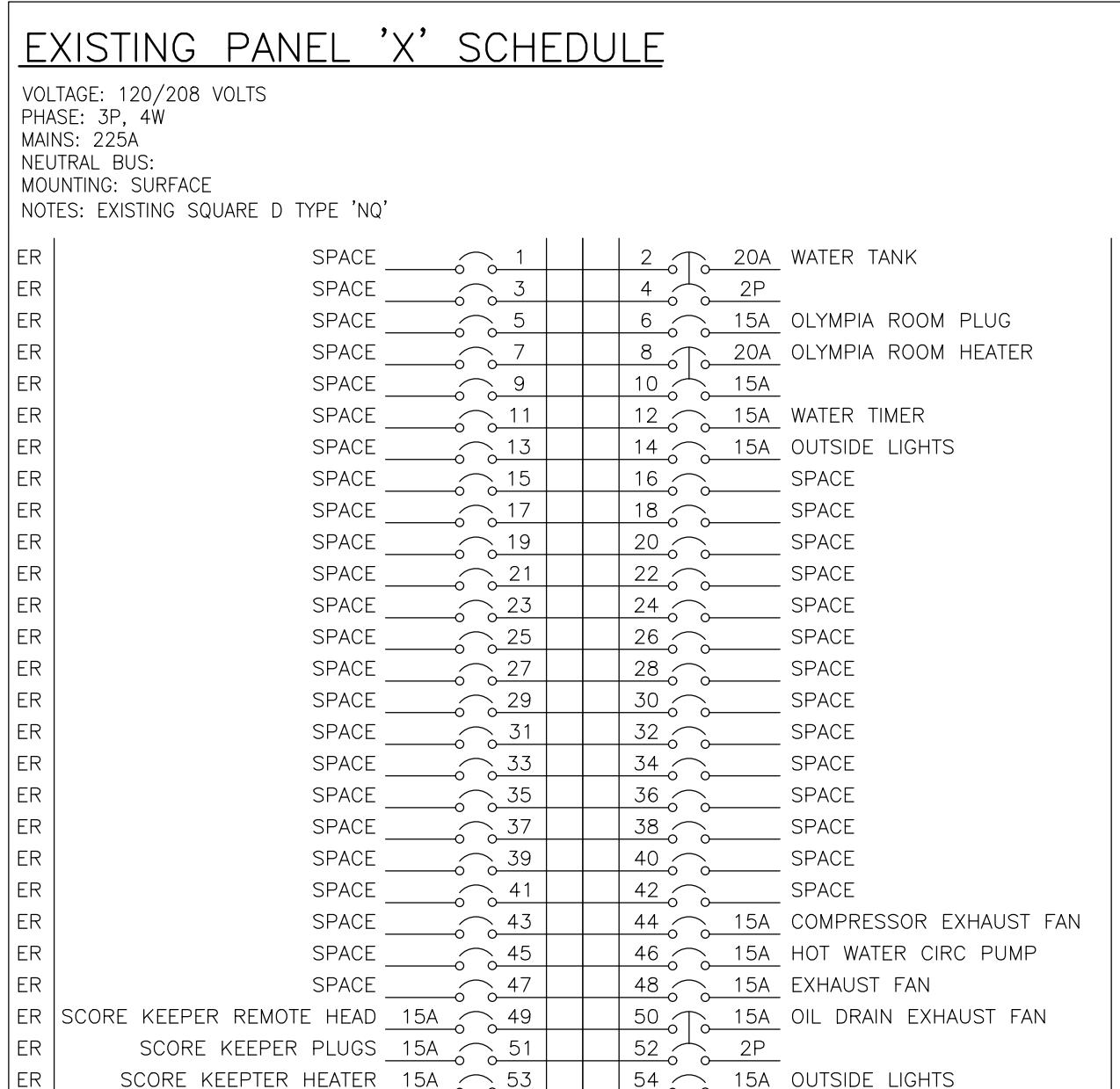
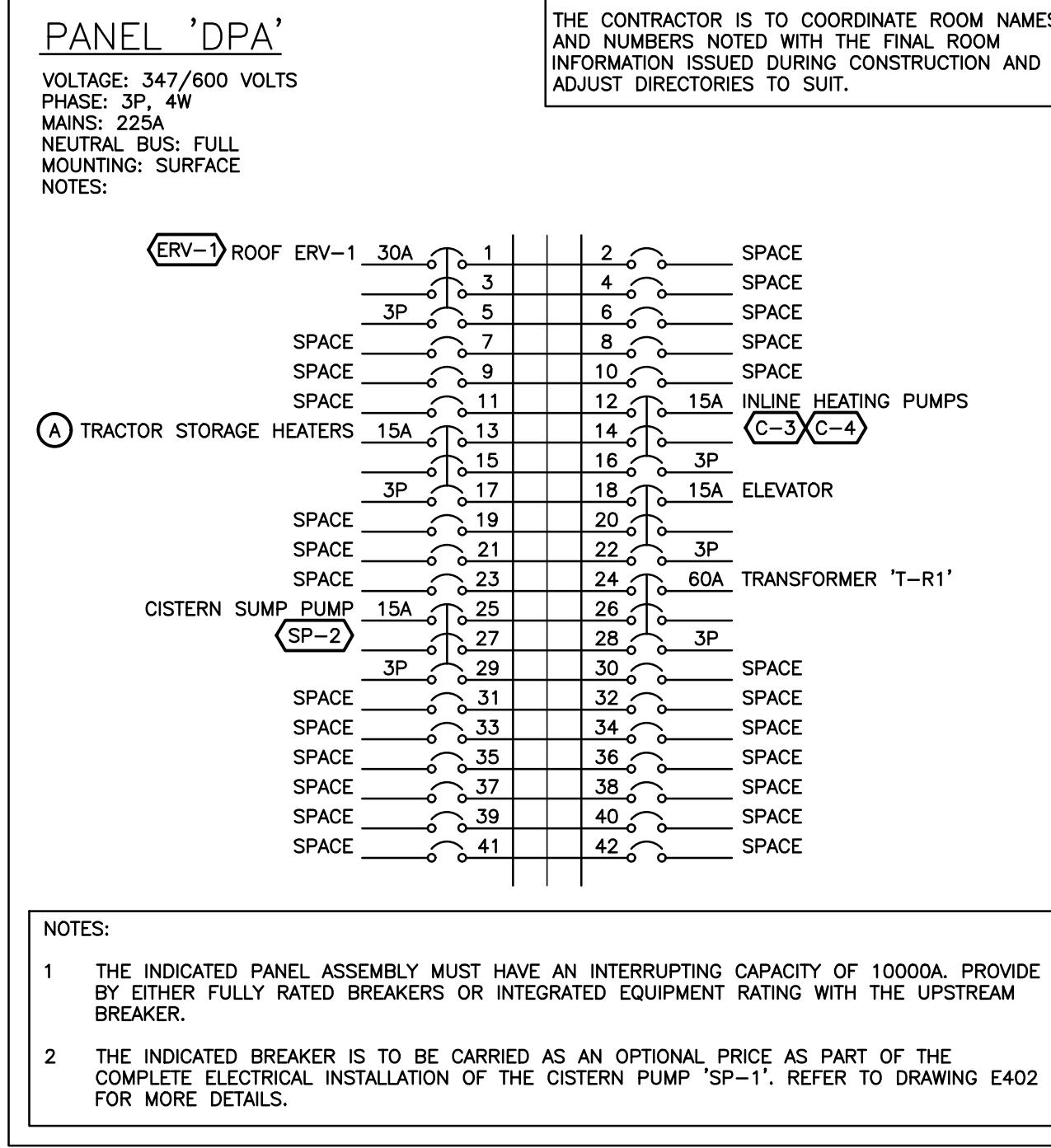
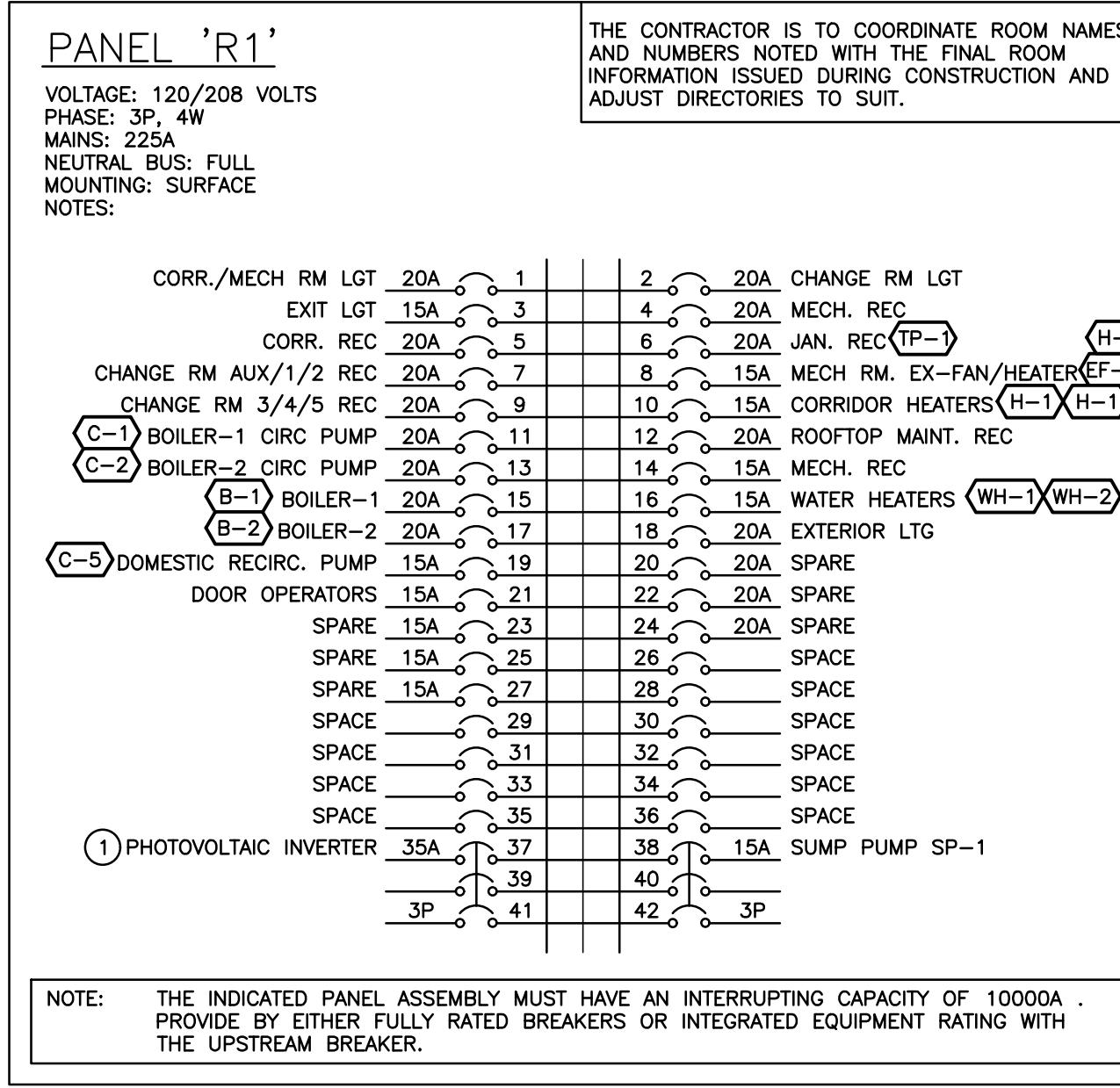
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EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2
212 STURGEON ROAD
OMEMEE ONTARIO

DISTRIBUTION RISER &
PANEL SCHEDULES

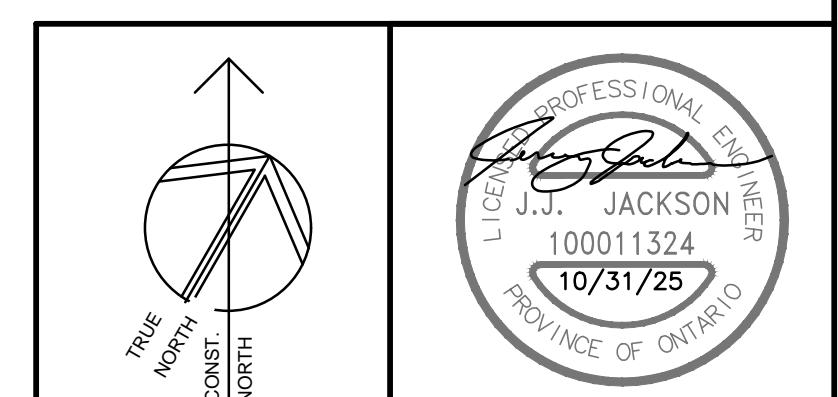
DATE: 2025-10-31	DRAWN BY: CM	DRAWING No: E401
PROJECT No: 24002	CHECKED BY: CM	



SPECIFIC NOTES	
1	INDICATES BREAKER FOR PHOTOVOLTAIC INVERTER TO BE CONSIDERED A PART OF PROVISIONAL PRICE #1
2	INDICATES STOVE RECEPTACLE TO BE CONSIDERED A PART OF PROVISIONAL PRICE #4.

PROVISIONAL PRICE LIST

PROVISIONAL PRICE #	DESCRIPTION
1	SOLAR PANELS ON DRESSING ROOM ADDITION
2	ADD HEAT RECOVERY TO ICE PLANT (CMCO)
3	CISTERN FOR GREY WATER REUSE
4	SECOND FLOOR KITCHEN UPGRADES TO INCLUDE PAINTING MILLWORK AND REPLACING HARDWARE. NEW CEILING TILES RETAINING EXISTING CEILING GRID. PROPANE TANK POWER FOR NEW ELECTRIC STOVES. PAINTING
5	PAVE GRANULAR PARKING LOT



1 2025-10-31 ISSUED FOR PHASE 2 TENDER
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EMILY-OMEMEE
ADDITION/RENOVATION
PHASE 2
212 STURGEON ROAD

OMEMEE ONTARIO
DISTRIBUTION RISER & PANEL SCHEDULES

DATE: 2025-10-31 DRAWN BY: CM DRAWING No: E402
PROJECT No: 24002 CHECKED BY: CM