



BARRY BRYAN
ASSOCIATES

Architects
Engineers
Project Managers

Addendum No. 1

Page 1 of 3

Project No.: 21046

Date: September 11, 2024

Project: **Courtice Mixed Use Seniors Development at 1697 Highway # 2**
RH GAY HOLDINGS COMPANY

The following information supplements and/or supersedes the bid documents issued on September 10 2024

This Addendum forms part of the contract documents and is to be read, interpreted, and coordinated with all other parts. The cost of all contained herein is to be included in the contract sum. The following revisions supersede the information contained in the original drawings and specifications issued for the above-named project to the extent referenced and shall become part thereof. Acknowledge receipt of this Addendum by inserting its number and date on the Tender Form. Failure to do so may subject bidder to disqualification.

DRAWINGS

1.1 DRAWING NO. A000 - COVER SHEET

- .1 Sheet List updated with revised sheet name for A902. Refer to Barry Bryan Associates' (BBA) Drawing No. A000 dated September 10, 2024.

1.2 A201- GROUND & 2ND FLOOR PLANS

- .1 Room 113 Door Tags updated. Refer to BBA Drawing No. A201 dated September 10, 2024.

1.3 A211- CEILING PLANS-GROUND AND TYPICAL FLOOR (2-3)

- .1 Suite Bulkheads adjusted. Refer to BBA Drawing No. A211 dated September 10, 2024.

1.4 A212- CEILING PLANS-4TH & 5TH FLOORS

- .1 Suite Bulkheads adjusted. Refer to BBA Drawing No. A212 dated September 10, 2024.

1.5 A221- UNIT PLANS

- .1 Suite Bulkheads adjusted. Refer to BBA Drawing No. A221 dated September 10, 2024.

1.6 A222- UNIT PLANS

- .1 Suite Bulkheads adjusted. Refer to BBA Drawing No. A222 dated September 10, 2024.

1.7 A301- ELEVATIONS

- .1 Louver Revised. Refer to BBA Drawing No. A301 dated September 10, 2024.

1.8 A802- MILWORK DETAILS

- .1 Layout order revised. Refer to BBA Drawing No. A802 dated September 10, 2024.



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Addendum No. 1

Page 2 of 3

1.9 A901-DOOR SCHEDULE

- .1 Schedule updated, Suite door types added, Jam details revised. Refer to BBA Drawing No. A901 dated September 10, 2024.

1.10 A902-GLAZING SCHEDULE

- .1 Louver revised, Drawing titles updated. Refer to BBA Drawing No. A902 dated September 10, 2024.

1.11 M13- GROUND FLOOR HVAC

- .1 Duct Layout Revision. Refer to Kirkland Engineering Ltd.'s Drawing No. M13 dated September 9, 2024.

1.12 M14- SECOND FLOOR HVAC

- .1 Duct Layout Revision. Refer to Kirkland Engineering Ltd.'s Drawing No. M14 dated September 9, 2024.

1.13 M15- THIRD FLOOR HVAC

- .1 Duct Layout Revision. Refer to Kirkland Engineering Ltd.'s Drawing No. M15 dated September 9, 2024.

1.14 M16- FOURTH FLOOR HVAC

- .1 Duct Layout Revision. Refer to Kirkland Engineering Ltd.'s Drawing No. M16 dated September 9, 2024.

1.15 M17- FIFTH FLOOR HVAC

- .1 Duct Layout Revision. Refer to Kirkland Engineering Ltd.'s Drawing No. M17 dated September 9, 2024.

GENERAL

1.16 As per the attached drawings, items with respect to this addendum include for;

- Residential Units washroom and kitchen exhaust revisions, with architectural revisions applicable coordinated
- Residential Units Bulkheads and Reflected Ceiling Plan Revisions
- Door Schedule Items
- Amenity Room Architectural Details at Exterior Spandrel and Glazing
- Millwork Details
- Additional Details and Notes

End of Addendum No. 1

Barry Bryan Associates
Architects, Engineers, Project Managers



Nicholas B. Swerdfeger, OAA, MRAIC, M.Arch, B.Arch Sci

NS/gs

Addendum No. 1

Page 3 of 3

Attachments:	BBA Drawings No. A000 Cover Sheet	(1 Page)
	BBA Drawings No. A201 Ground & 2 nd Floor Plan	(1 Page)
	BBA Drawings No. A211 Ceiling Plans (2-3)	(1 Page)
	BBA Drawings No. A212 Ceiling Plans 4 th and 5 th Floor	(1 Page)
	BBA Drawings No. A221 Unit Plans	(1 Page)
	BBA Drawings No. A222 Unit Plans	(1 Page)
	BBA Drawings No. A301 Elevations	(1 Page)
	BBA Drawings No. A802 Millwork Details	(1 Page)
	BBA Drawings No. A901 Door Schedule	(1 Page)
	BBA Drawings No. A902 Glazing Schedule	(1 Page)
	Mechanical Addendum #1	(1 Page)
	Kirkland Engineering Ltd.'s Drawing No. M13	(1 Page)
	Kirkland Engineering Ltd.'s Drawing No. M14	(1 Page)
	Kirkland Engineering Ltd.'s Drawing No. M15	(1 Page)
	Kirkland Engineering Ltd.'s Drawing No. M16	(1 Page)
	Kirkland Engineering Ltd.'s Drawing No. M17	(1 Page)

I/We hereby acknowledge receipt of this Addendum.

Signature (signing officer of firm)

Position

Name of Firm

One copy of the addendum must be signed and returned with the completed tender, or the tender submitted shall be rejected.



Mixed-Use Building Development (BLDG.#3) PHASE1

1697 Durham Regional Hwy 2, Courtice, ON L1E 2R5

DRAWING LIST

COVER SHEET

A000 COVER SHEET

CIVIL (FOR INFORMATION)

SS-1 SITE SERVICING PLAN
SG-1 SITE GRADING PLAN
ES-1 EROSION AND SEDIMENT CTRL PLAN
SD-1 PRE-DEVELOPMENT STORM DRAINAGE SCHEME
SD-2 POST-DEVELOPMENT STORM DRAINAGE SCHEME
TT-1 TRUCK TURNING PLAN
TT-2 TRUCK TURNING PLAN
TT-3 TRUCK TURNING PLAN

SITE ELECTRICAL (FOR INFORMATION)

SE-1 SITE ELECTRICAL
SE-2 BLDG-1 SITE ELECTRICAL
SE-3 BLDG-2 SITE ELECTRICAL
SE-4 BLDG-3 SITE ELECTRICAL
SL-1 SITE LIGHTING - PHOTOMETRIC PLAN-1
SL-2 SITE LIGHTING - PHOTOMETRIC PLAN-2
UC-1 UTILITY COORDINATION PLAN

LANDSCAPE (FOR INFORMATION)

T1.1 TREE INVENTORY AND PRESERVATION PLAN
L1.1 LANDSCAPE PLAN
L1.2 LANDSCAPE PLANTING PLAN
L2.3 LANDSCAPE DETAILS
L2.1 LANDSCAPE DETAILS
L2.2 LANDSCAPE DETAILS
L2.4 LANDSCAPE DETAILS

ARCHITECTURAL

A101 SITE PLAN
A102 PHASING PLAN
A111 LIFE SAFETY PLANS
A112 ASSEMBLIES
A201 GROUND & 2ND FLOOR PLANS
A202 3RD & 4TH FLOOR PLANS
A203 5TH & ROOF PLAN
A211 CEILING PLANS-GROUND AND TYPICAL FLOOR (2-3)
A212 CEILING PLANS-4TH & 5TH FLOORS
A221 UNIT PLANS
A222 UNIT PLANS
A223 UNIT PLANS
A224 UNIT PLANS
A225 UNIT PLANS
A226 UNIT PLANS
A301 ELEVATIONS
A401 BUILDING SECTIONS
A402 WALL SECTIONS
A403 WALL SECTIONS
A501 STAIR#1
A502 STAIR#2
A503 STAIR DETAILS
A601 SECTION DETAILS

ARCHITECTURAL

A602 SECTION DETAILS
A603 SECTION DETAILS
A604 SECTION DETAILS
A606 PLAN DETAILS
A607 PLAN DETAILS
A801 MILLWORK
A802 MILLWORK DETAILS
A901 DOOR SCHEDULE
A902 GLAZING SCHEDULE

STRUCTURAL

S101 GENERAL NOTES & SCHEDULES
S102 TYPICAL DETAILS
S201 FOUNDATION & SECOND FLOOR FRAMING PLANS
S202 THIRD & FOURTH FLOOR FRAMING PLANS
S203 FIFTH FLOOR & ROOF FRAMING PLANS
S301 CONCRETE SHEAR WALL PLANS
E10 LEGENDS
E11 FIFTH FLOOR LIGHTING
E12 FIFTH FLOOR LIGHTING
E13 FIRST AND SECOND FLOOR FIRE ALARM
E14 THIRD AND FOURTH FLOOR FIRE ALARM
E15 FIFTH FLOOR FIRE ALARM
E16 PANEL BOARD SCHEDULES
E17 SPECIFICATIONS

ELECTRICAL

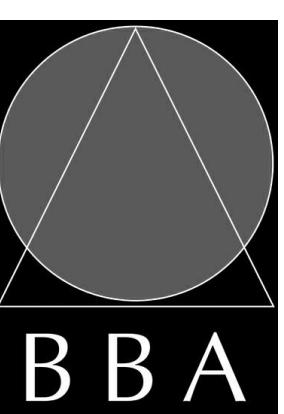
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E3 SECOND FLOOR POWER
E4 THIRD FLOOR POWER
E5 FOURTH FLOOR POWER
E6 FIFTH FLOOR POWER
E7 ROOF POWER
E8 FIRS FLOOR LIGHTING
E9 SECOND FLOOR LIGHTING
E10 THIRD FLOOR LIGHTING
E11 FOURTH FLOOR LIGHTING
E12 FIFTH FLOOR LIGHTING
E13 FIRST AND SECOND FLOOR FIRE ALARM
E14 THIRD AND FOURTH FLOOR FIRE ALARM
E15 FIFTH FLOOR FIRE ALARM
E16 LEGENDS
E17 PANEL BOARD SCHEDULES
E18 SPECIFICATIONS

MECHANICAL

M1 GROUND FLOOR DOMESTIC WATER
M2 SECOND FLOOR DOMESTIC WATER
M3 THIRD FLOOR DOMESTIC WATER
M4 FOURTH FLOOR DOMESTIC WATER
M5 FIFTH FLOOR DOMESTIC WATER
M6 ROOF DOMESTIC WATER
M7 GROUND FLOOR SANITARY
M8 SECOND FLOOR SANITARY
M9 THIRD FLOOR SANITARY
M11 FIFTH FLOOR SANITARY
M12 ROOF AND SANITARY DETAILS
M13 GROUND FLOOR HVAC
M14 SECOND FLOOR HVAC
M15 THIRD FLOOR HVAC
M16 FOURTH FLOOR HVAC
M17 FIFTH FLOOR HVAC
M18 ROOF HVAC
M19 MECHANICAL SCHEDULES
M20 FIXTURES SPECIFICATION
M21 MECHANICAL SPECIFICATION



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1. 1 :
FILE:
Drawings - Current - CECC.RVT

PROJECT NO.: 21046
DRAWING NO.: A000

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SCALE: 1 : 1
FILE: Drawings - Current - CECC.RVT

DESIGN BY: [Signature]
Designer DATE: [Signature]
DRAWN BY: [Signature]
Author DATE: [Signature]
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Checker DATE: [Signature]

APPROVED BY: [Signature]
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MEMBER FIRM
LICENCE #7117

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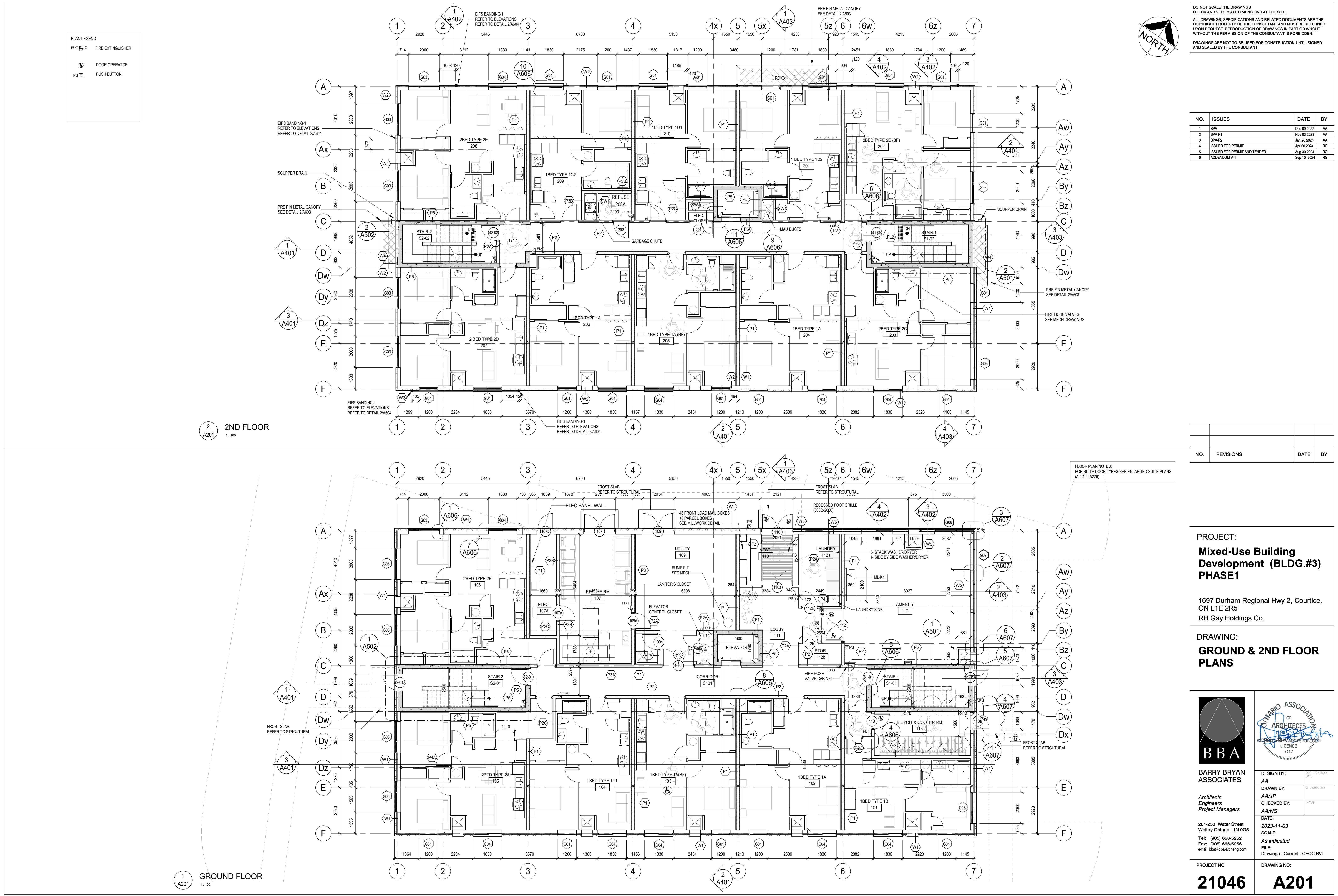
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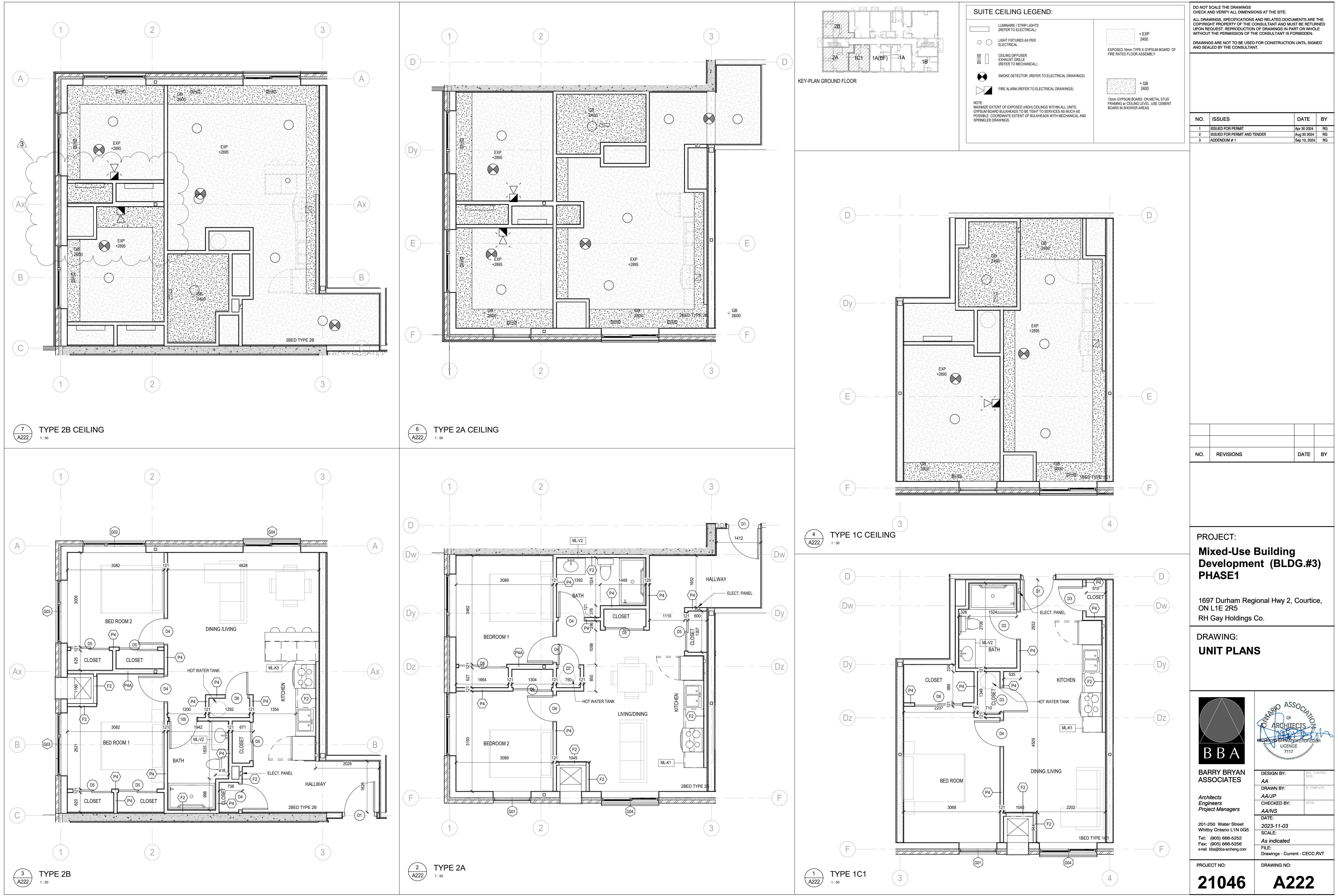
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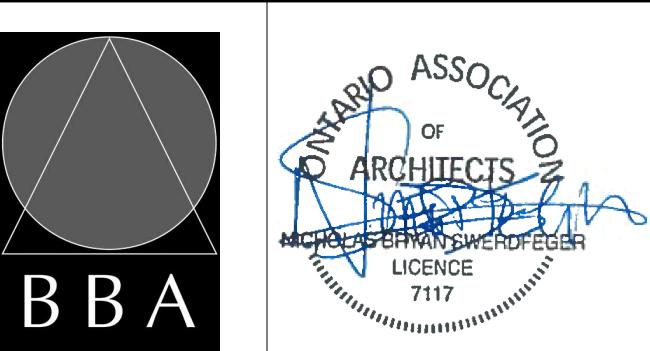
NO.	ISSUES	DATE	BY
1	ISSUED FOR PERMIT	Aug 30 2024	RG
2	ISSUED FOR PERMIT AND TENDER	Aug 30 2024	RG
3	ADDENDUM # 1	Sep 10, 2024	RG

NO.	REVISIONS	DATE	BY

PROJECT: Mixed-Use Building Development (BLDG.#3) PHASE1

1697 Durham Regional Hwy 2, Courtice,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING: MILLWORK DETAILS

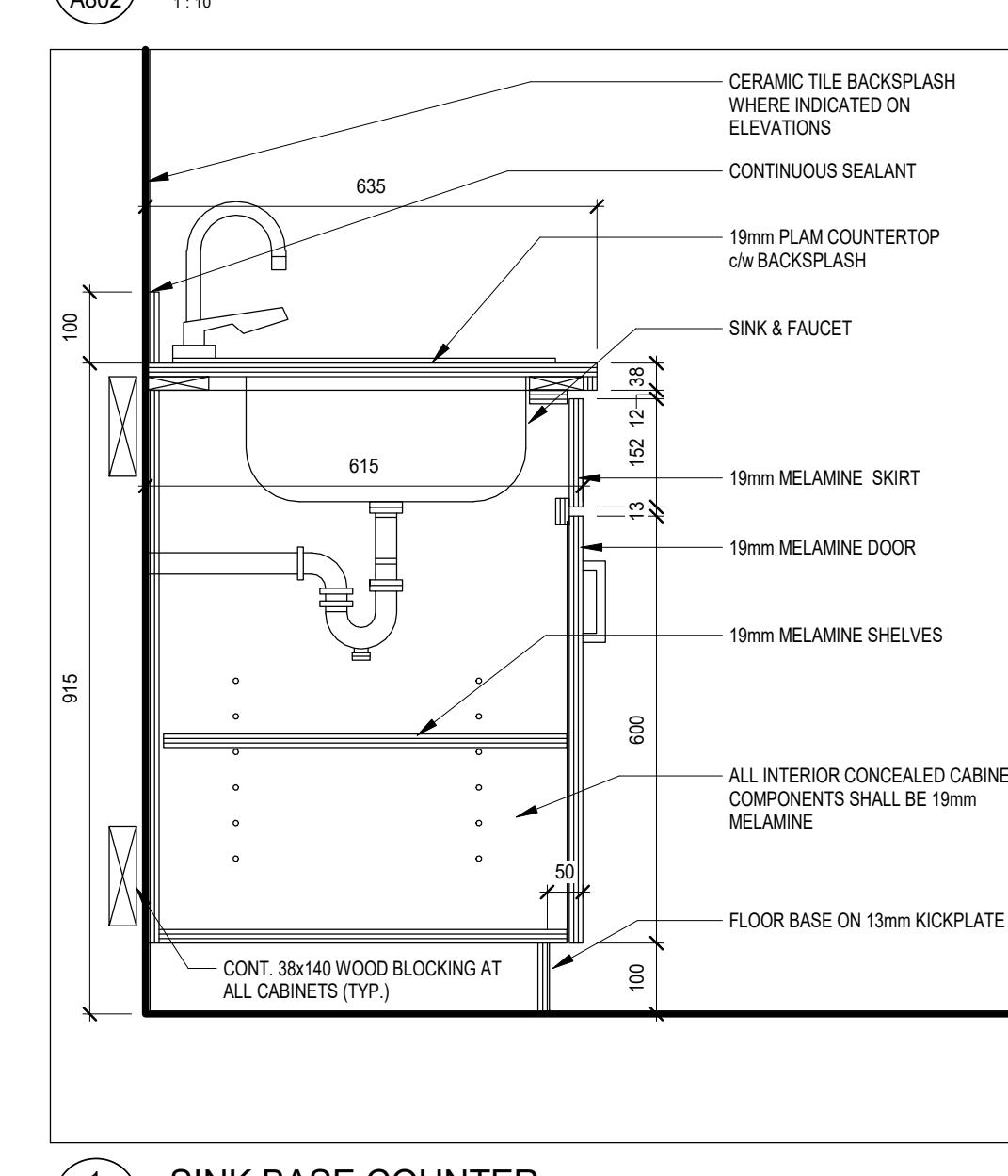
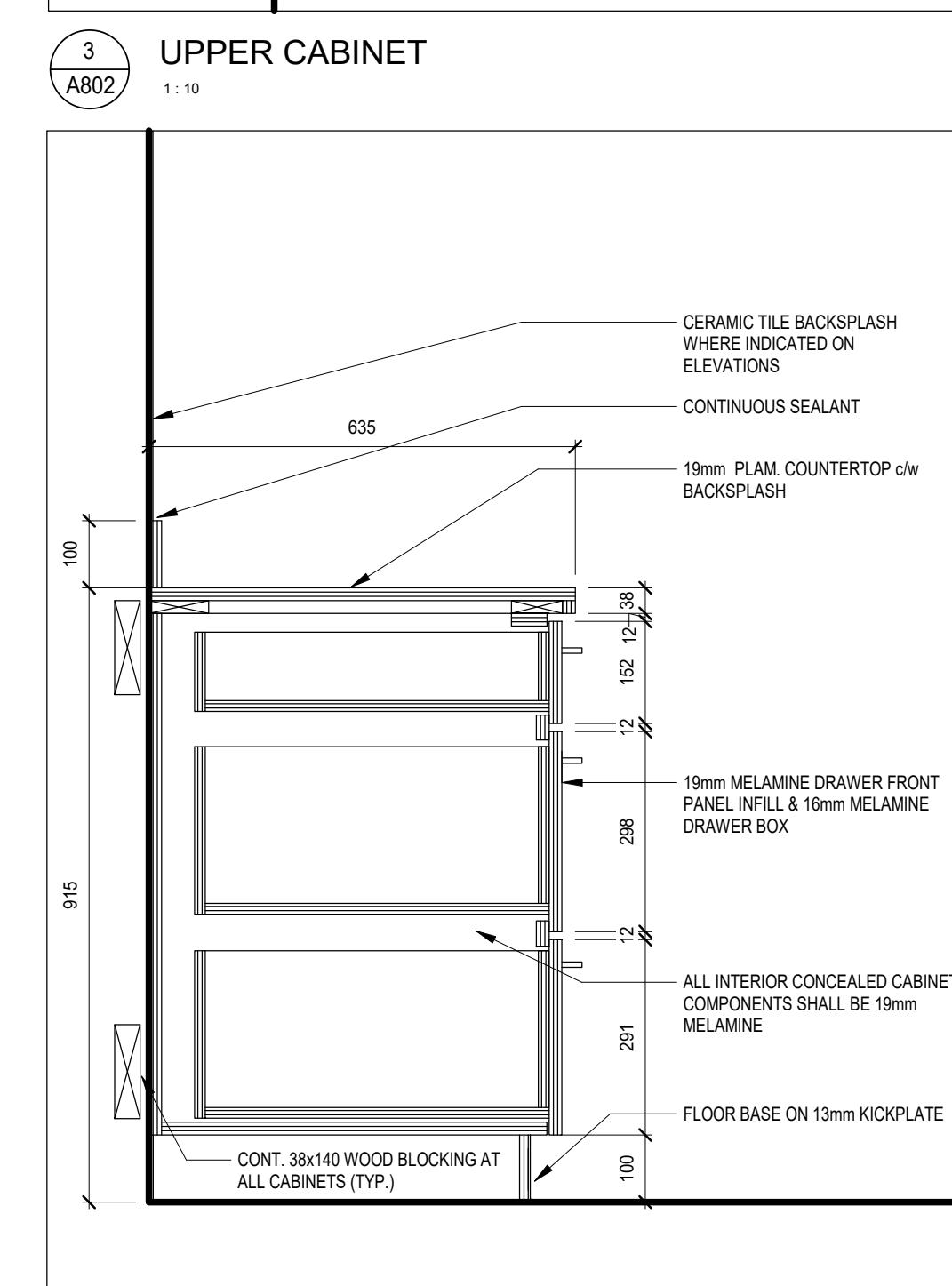
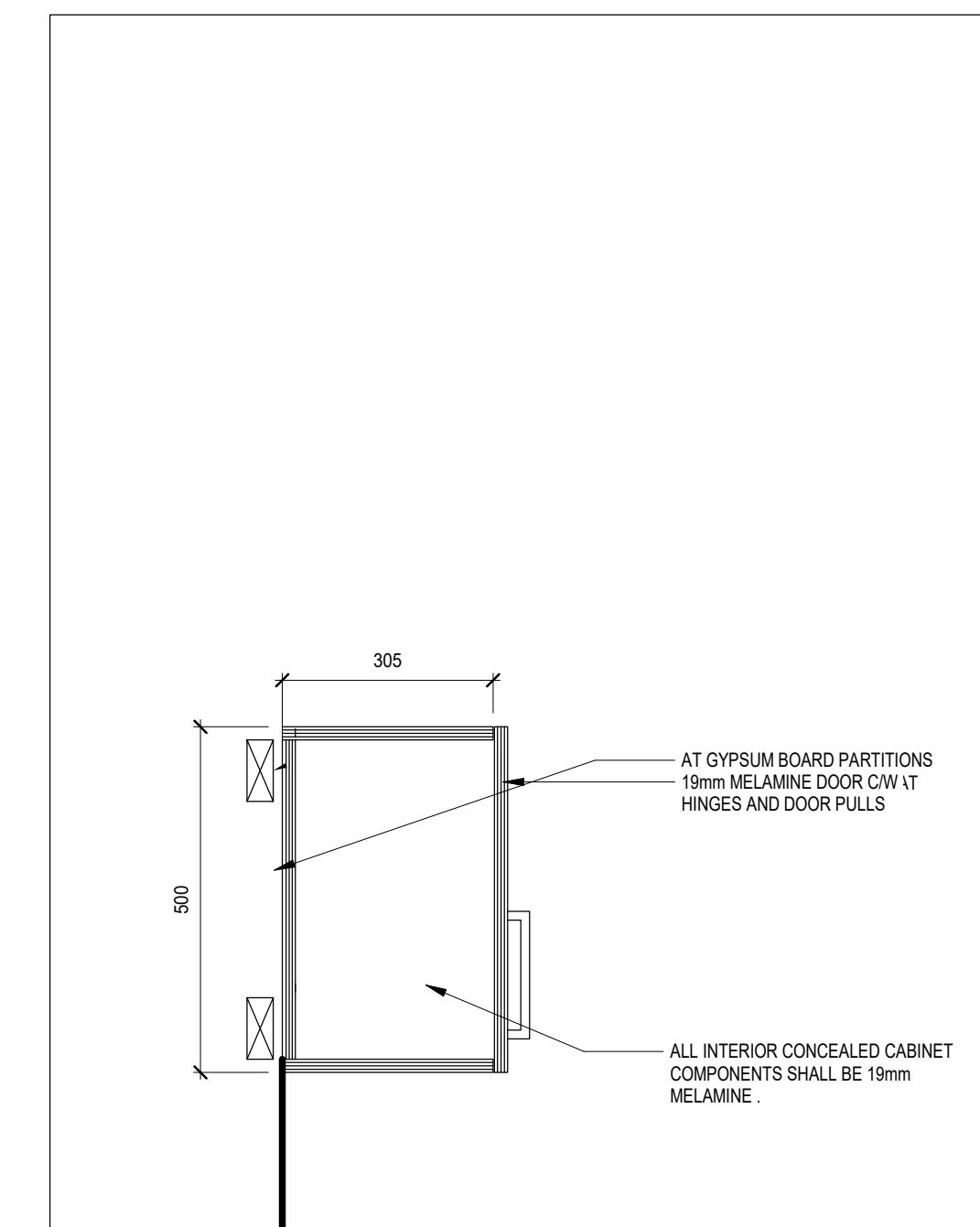
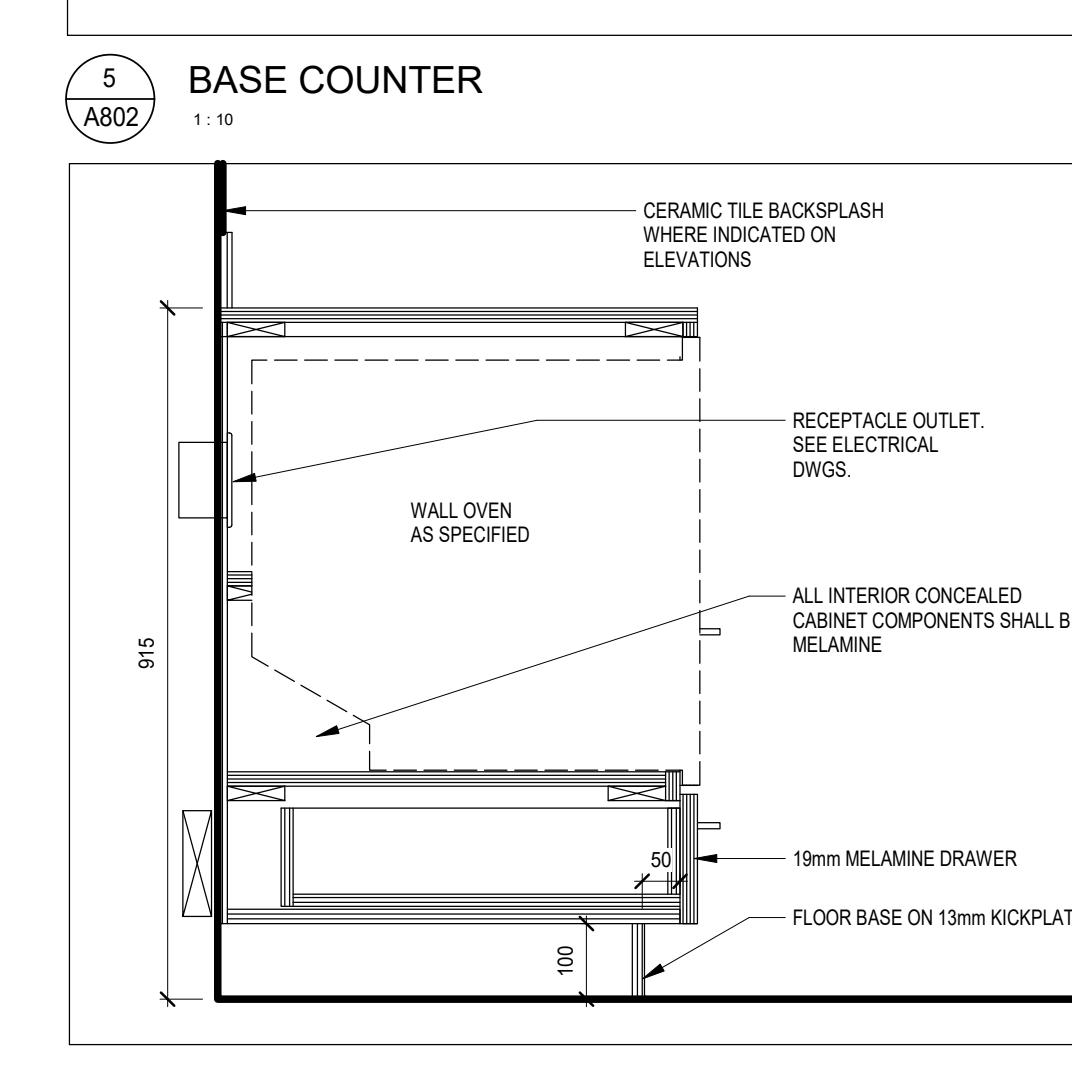
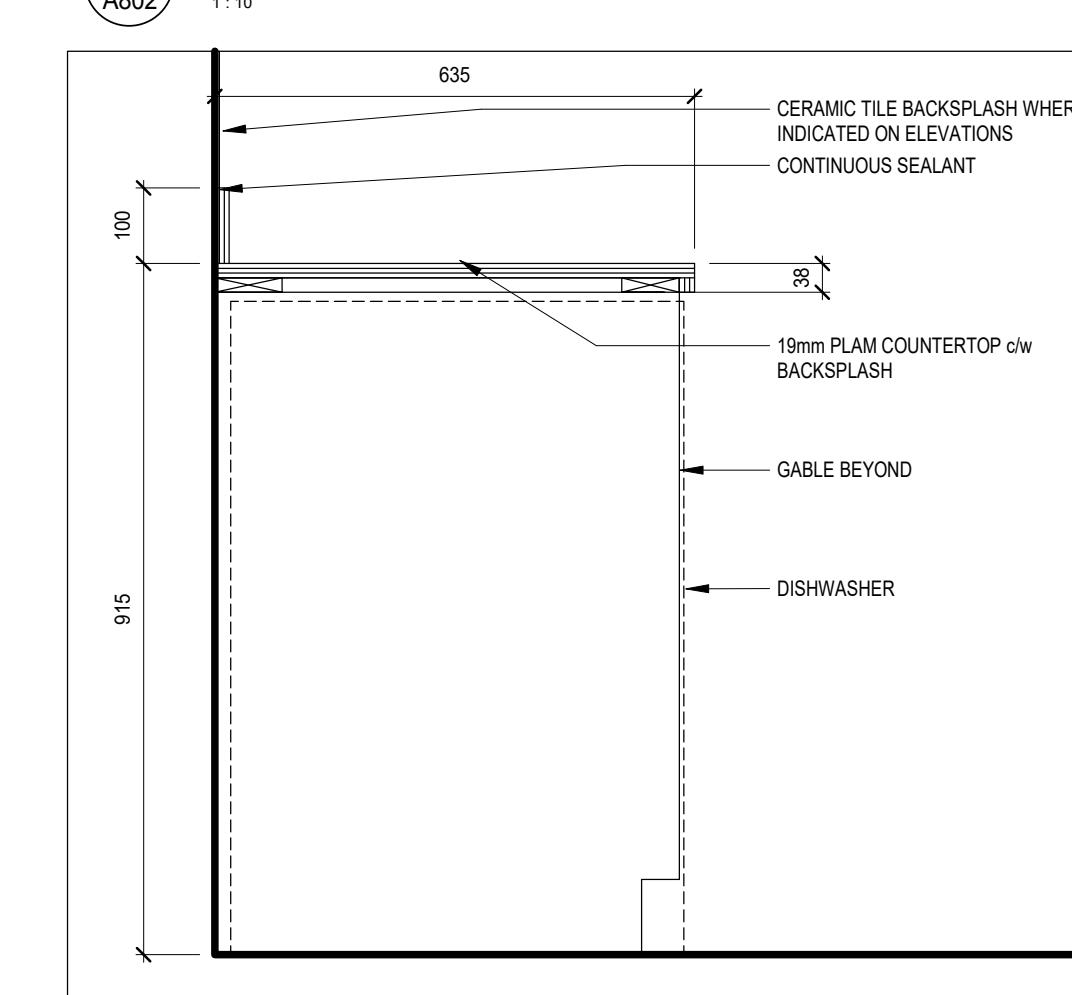
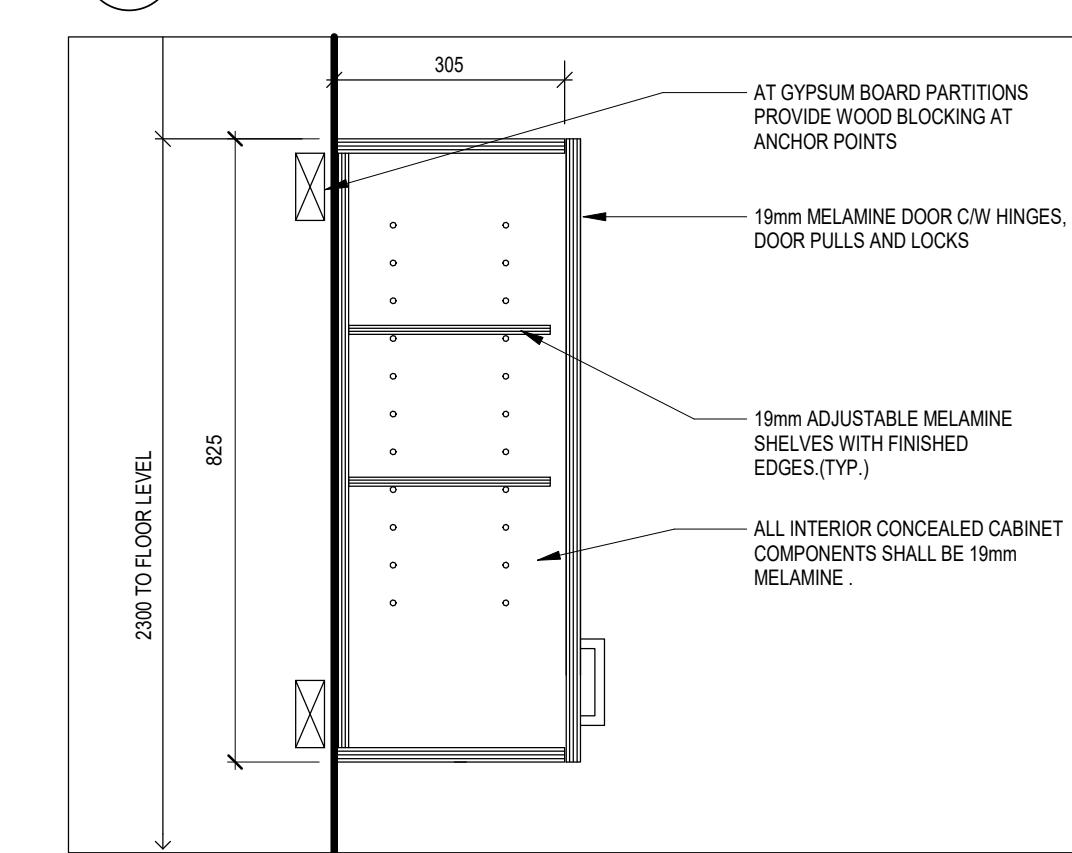
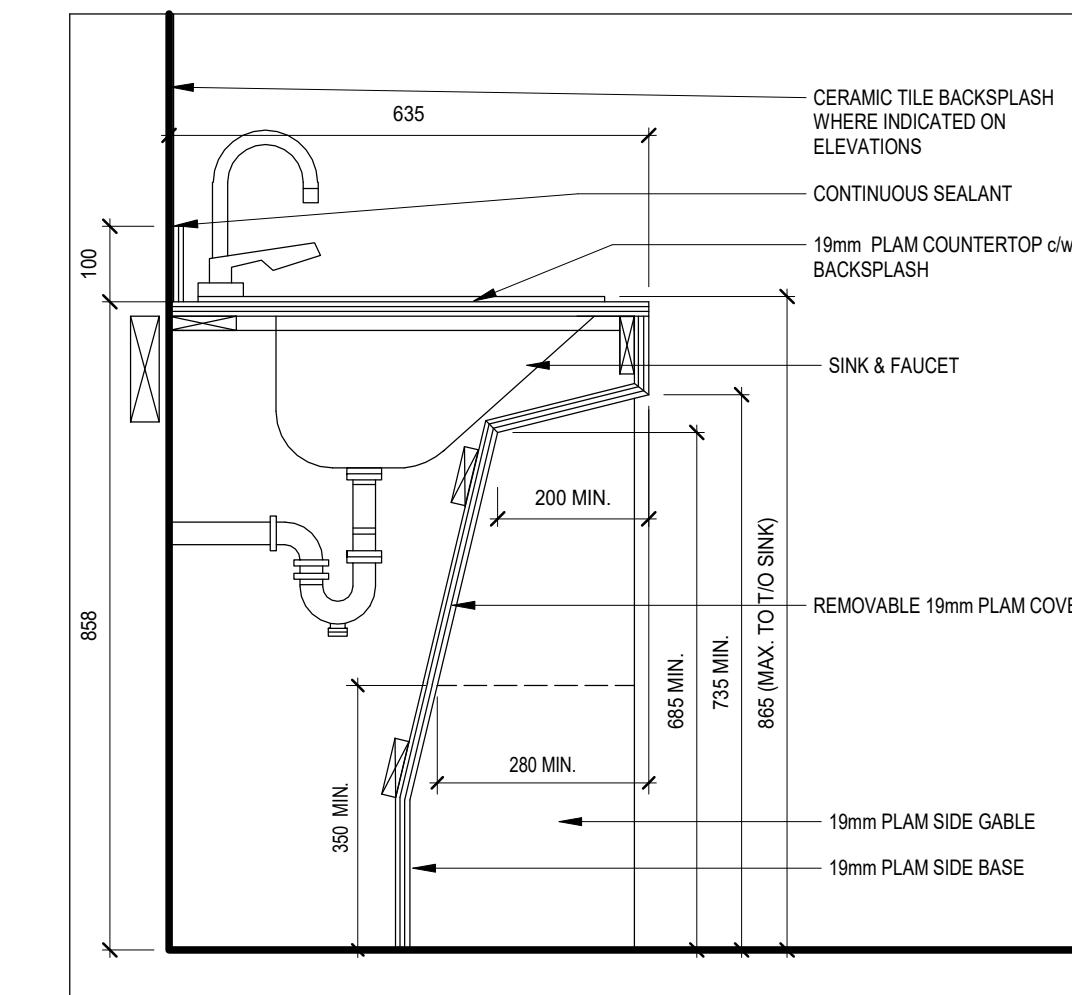
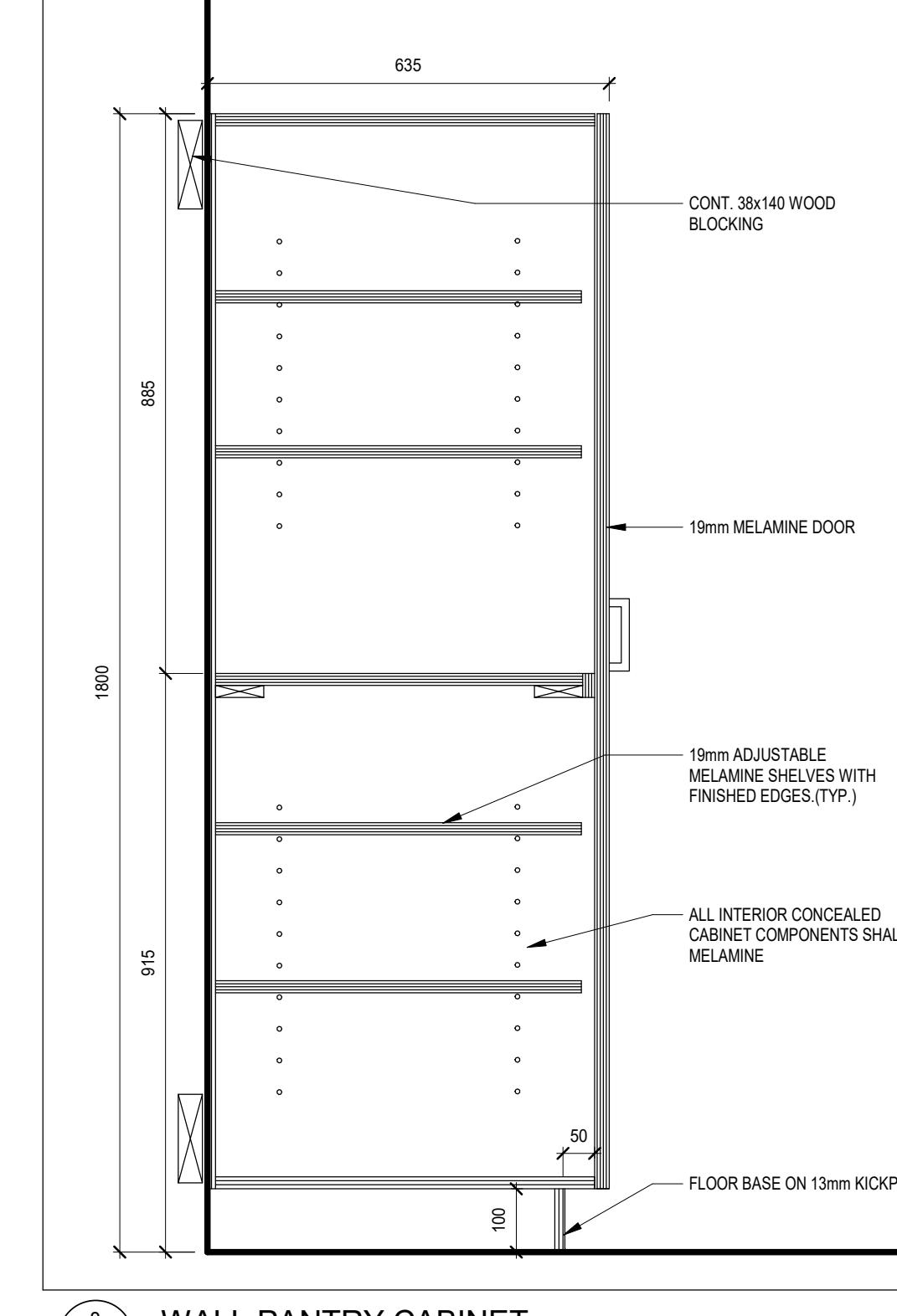
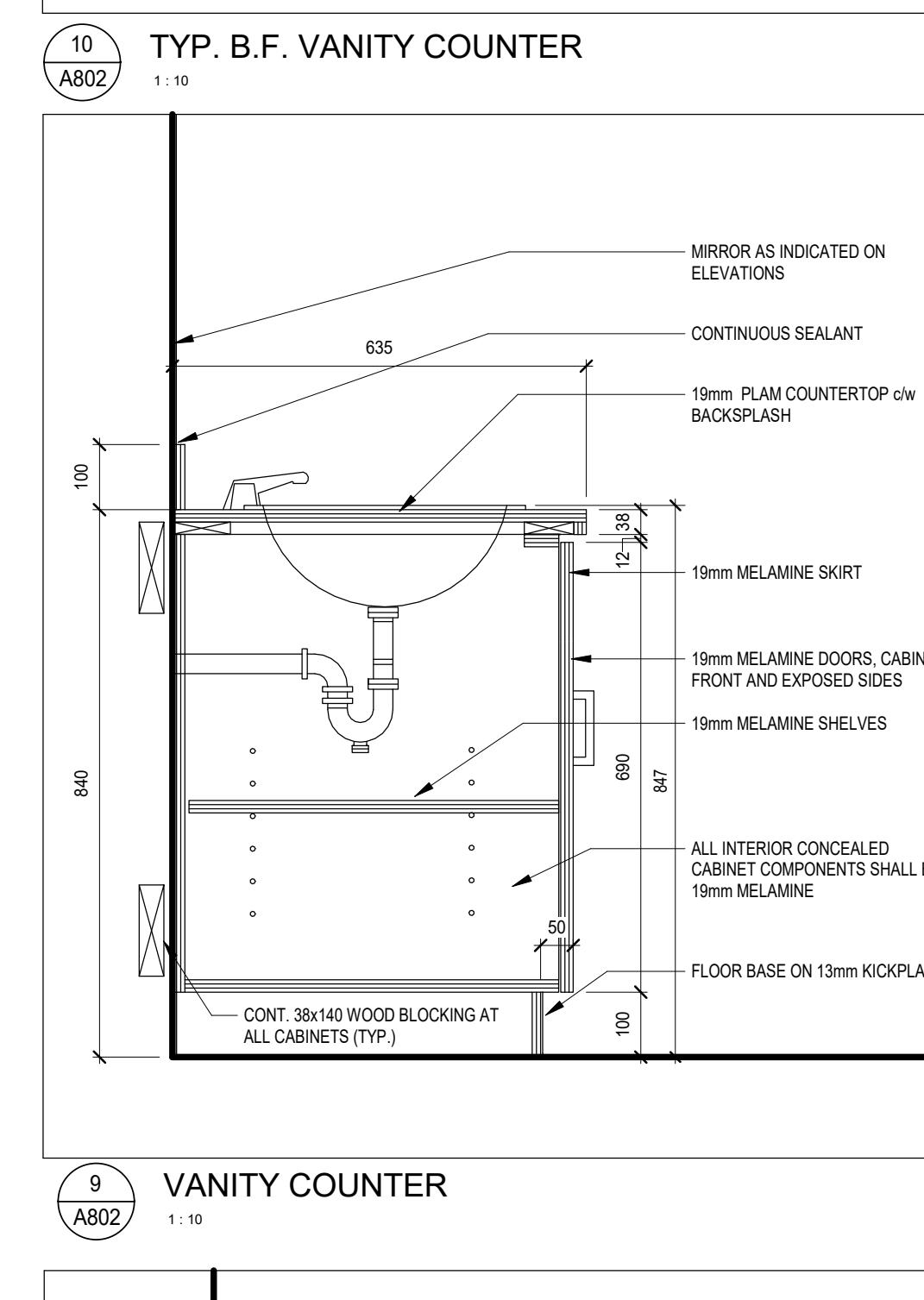
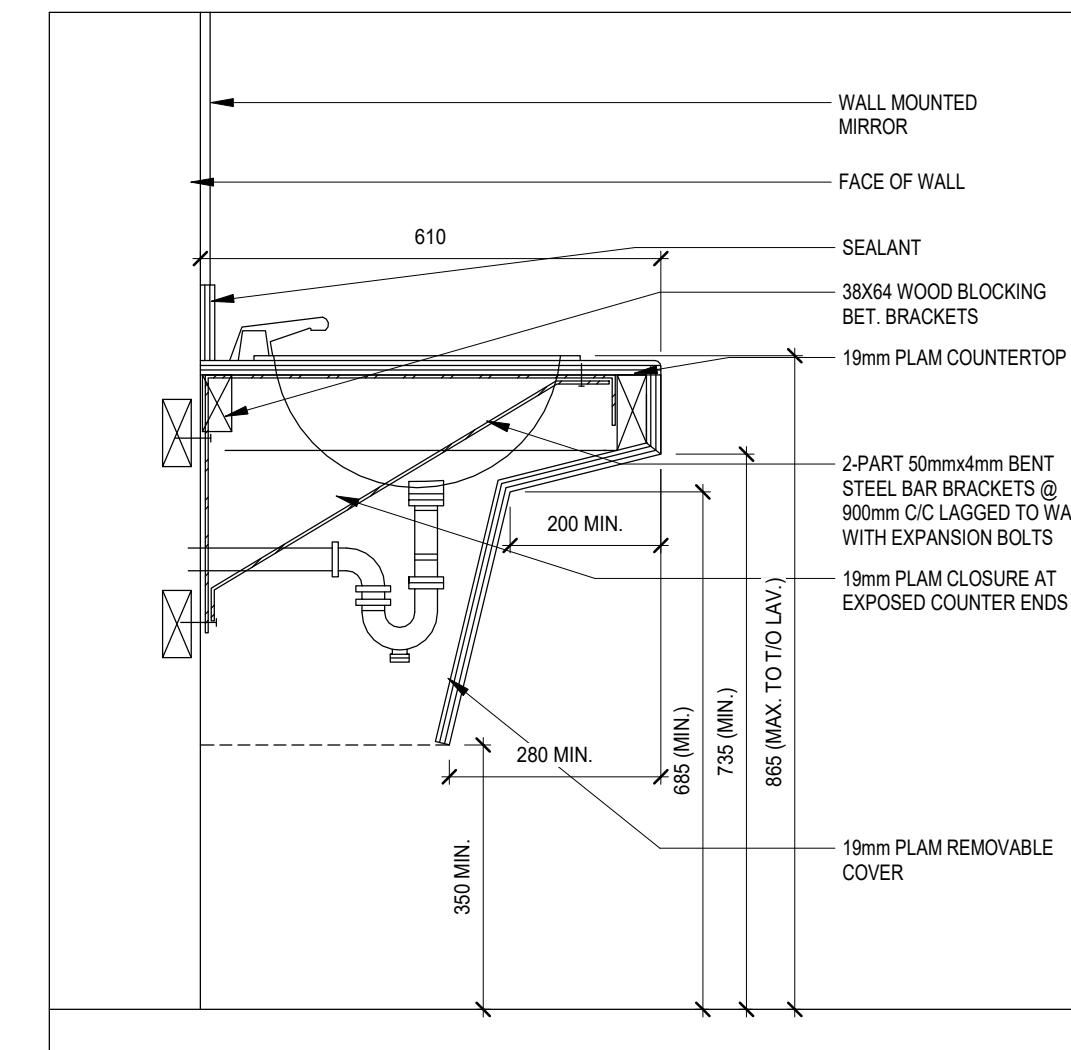
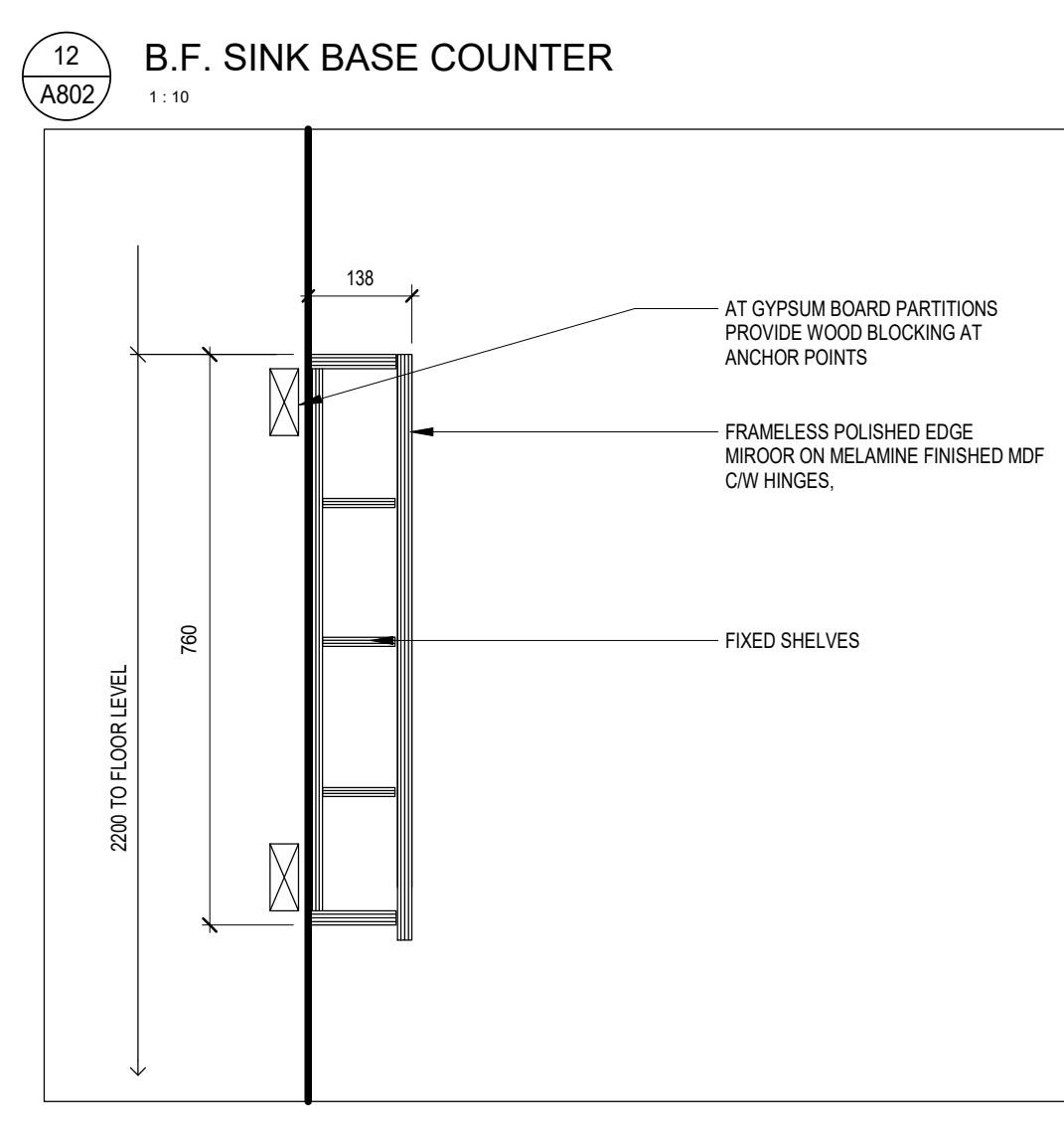
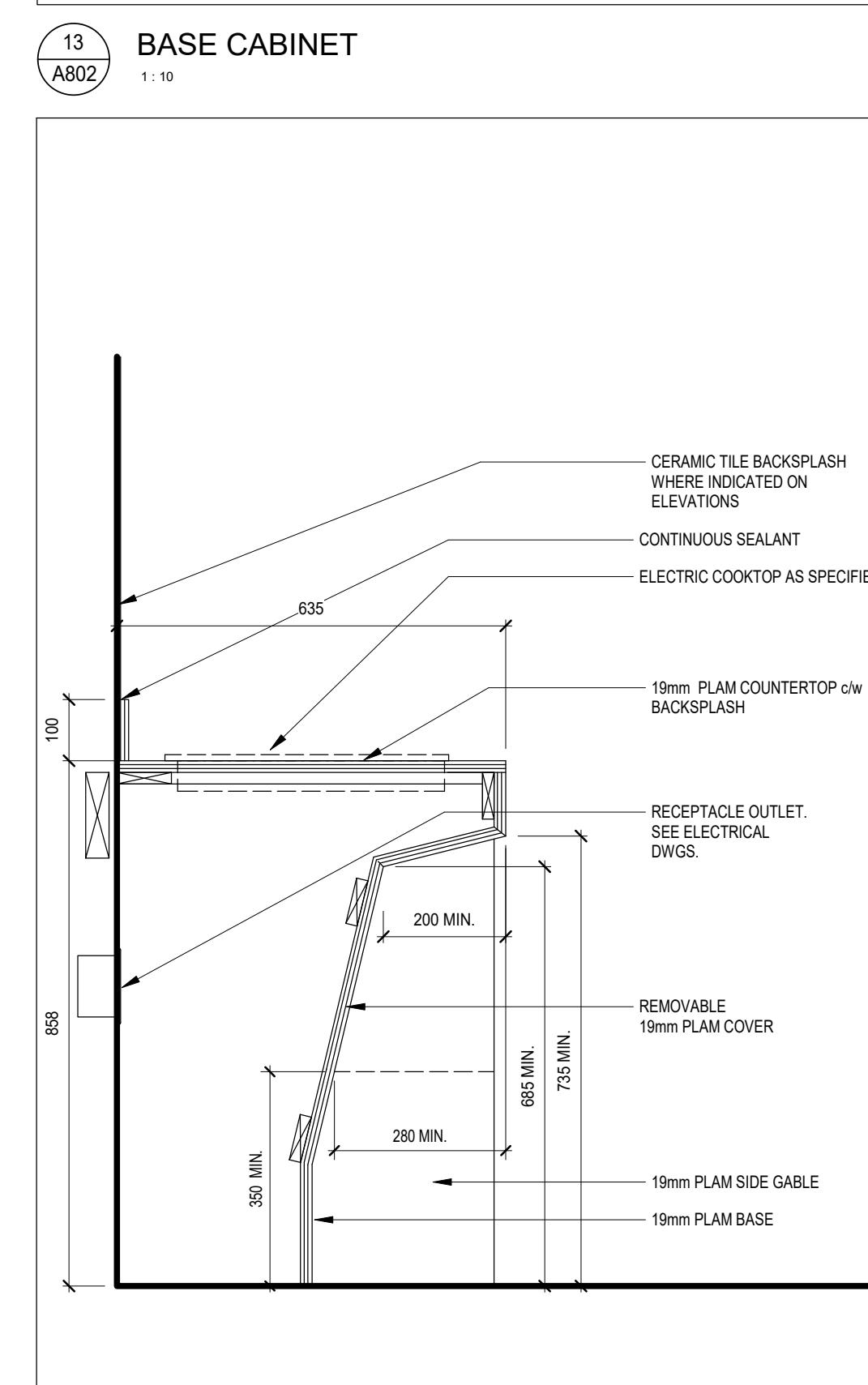
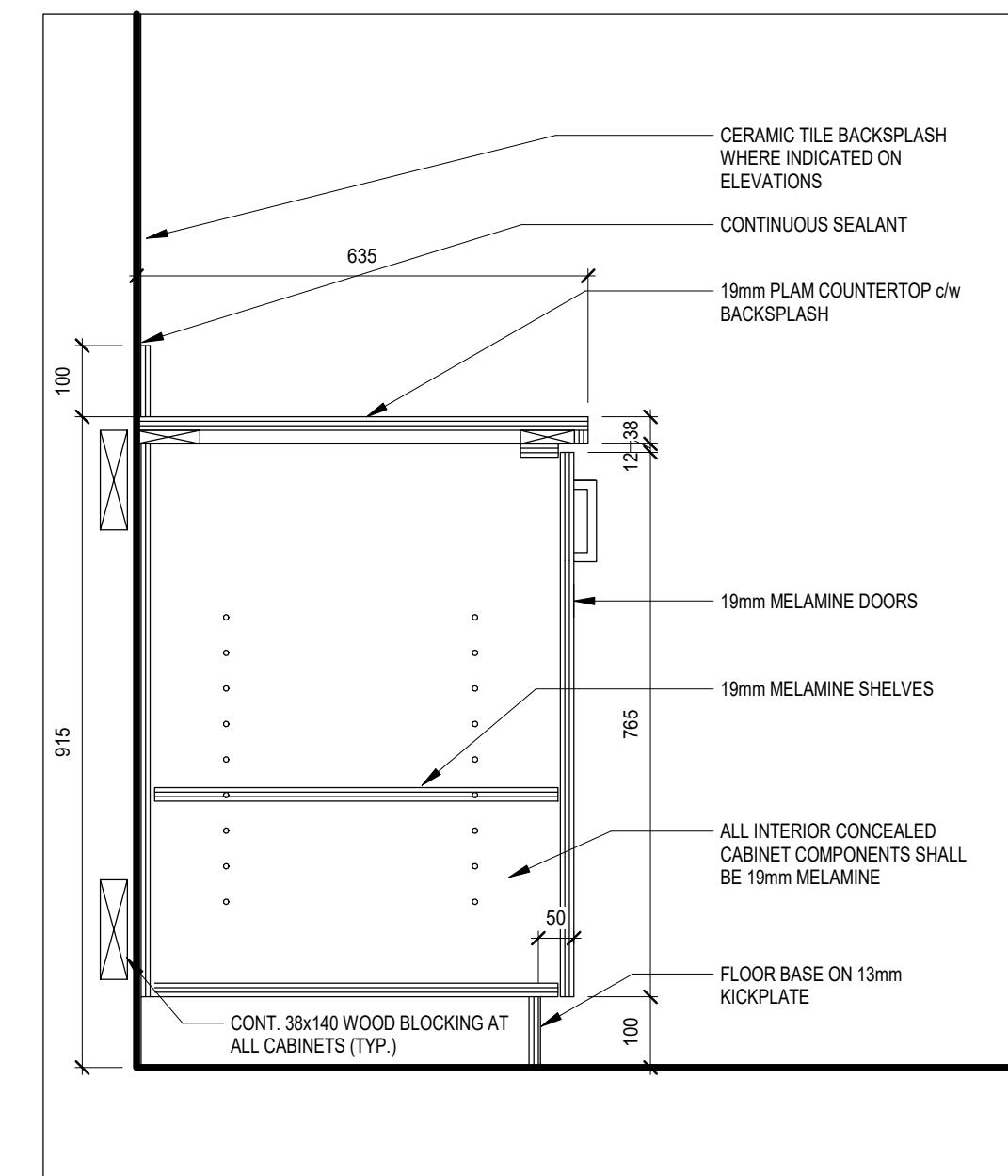
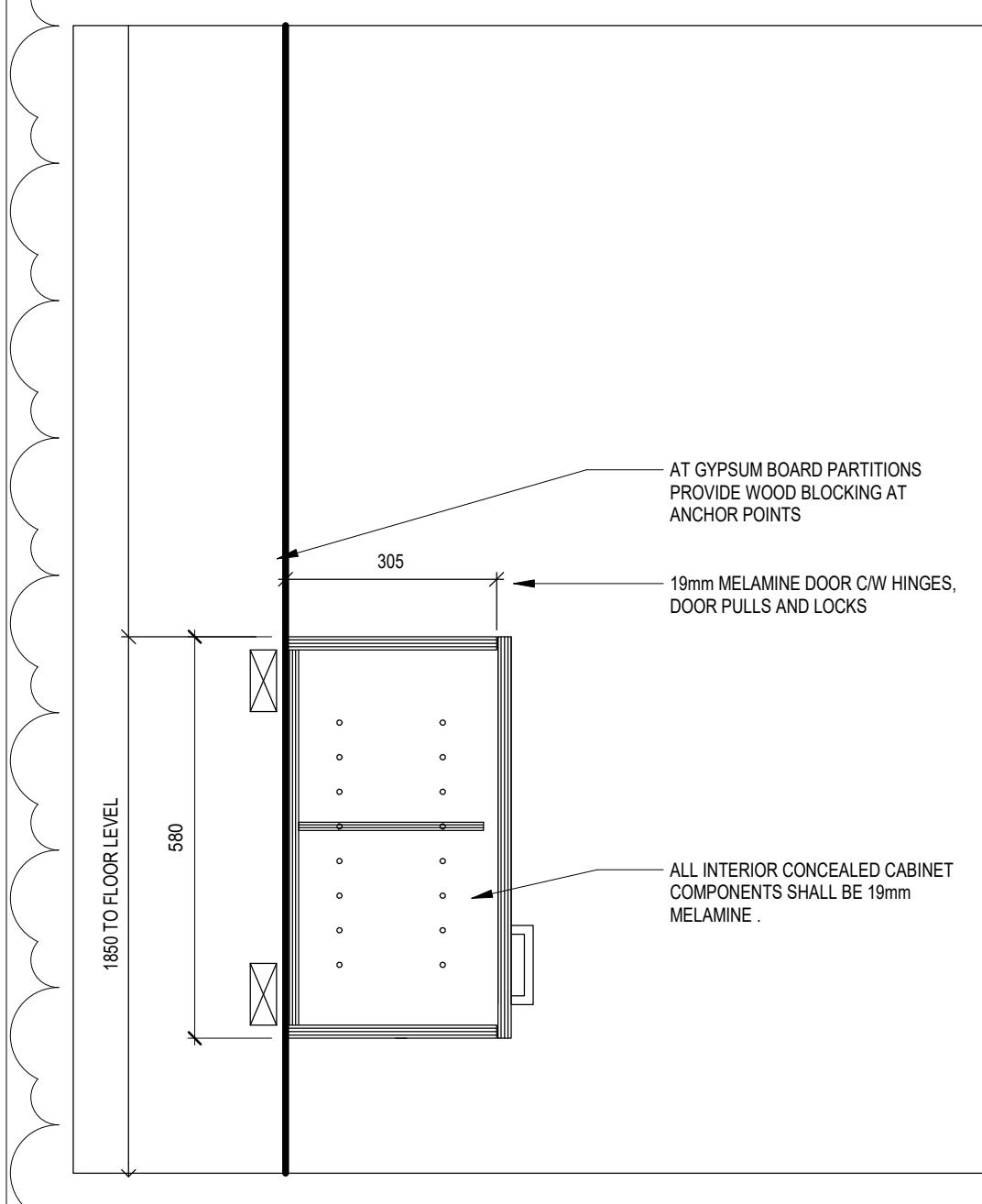
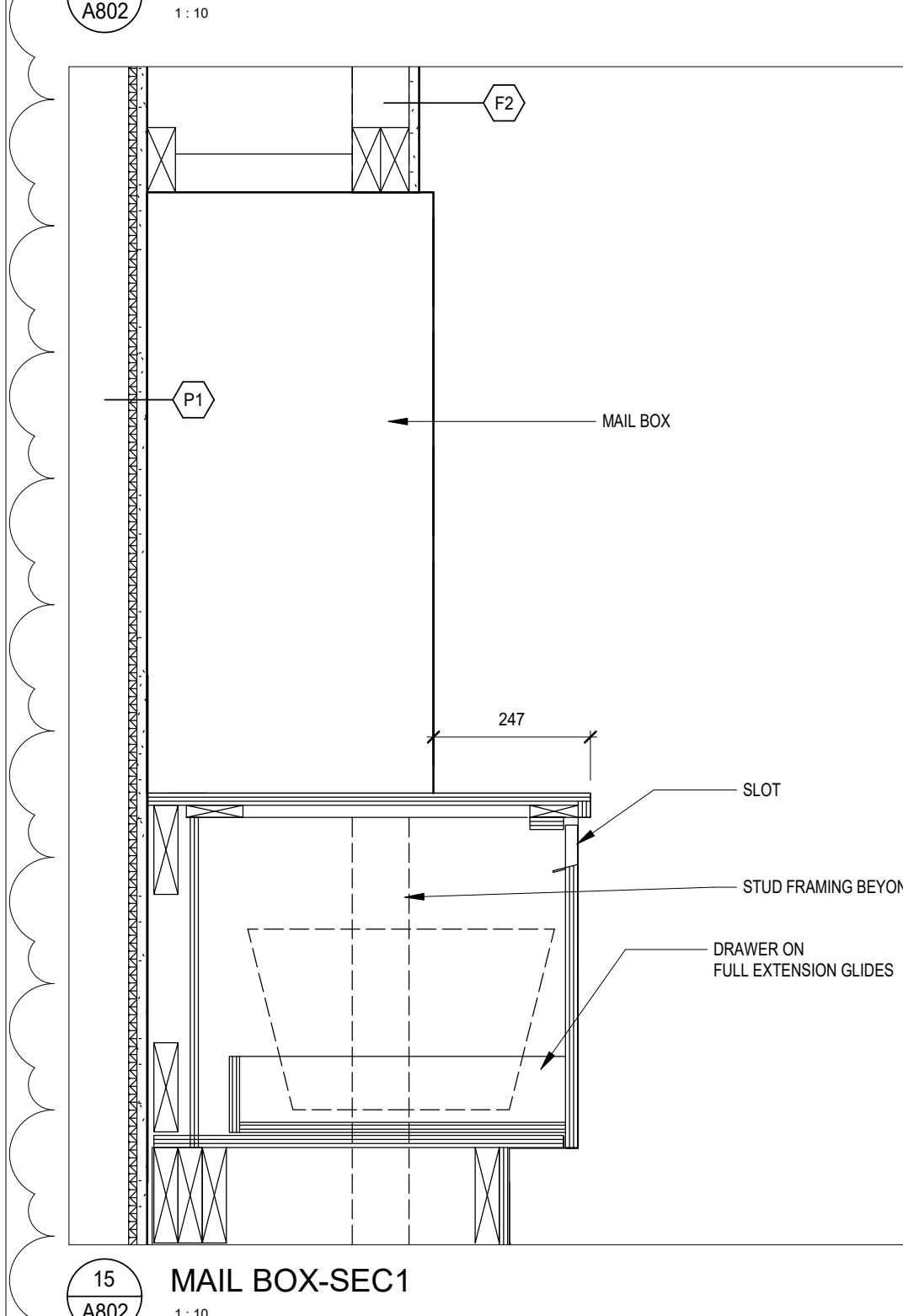
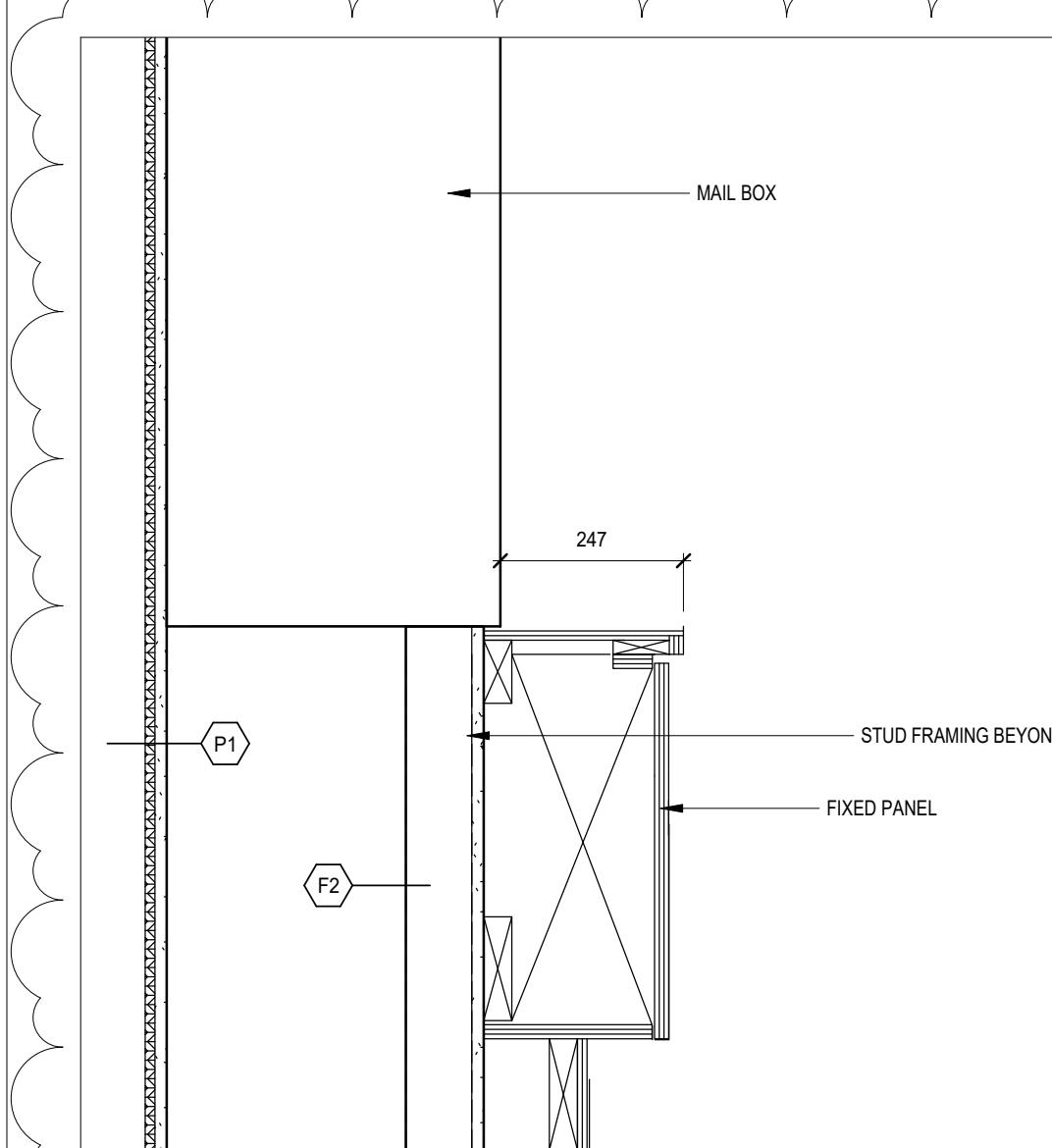


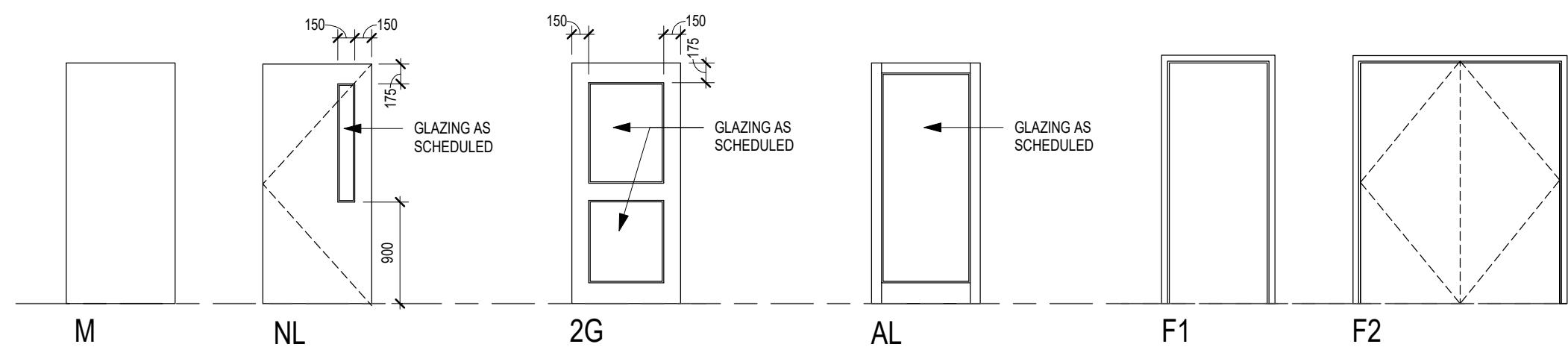
BARRY BRYAN
ASSOCIATES

DESIGN BY: BBA
DRAWN BY: S. COMPLETE
Architects Engineers Project Managers
DATE: 05/07/20
SCALE: 1 : 10
FILE: Drawings - Current - CECC.RVT

PROJECT NO: DRAWING NO:

21046 A802





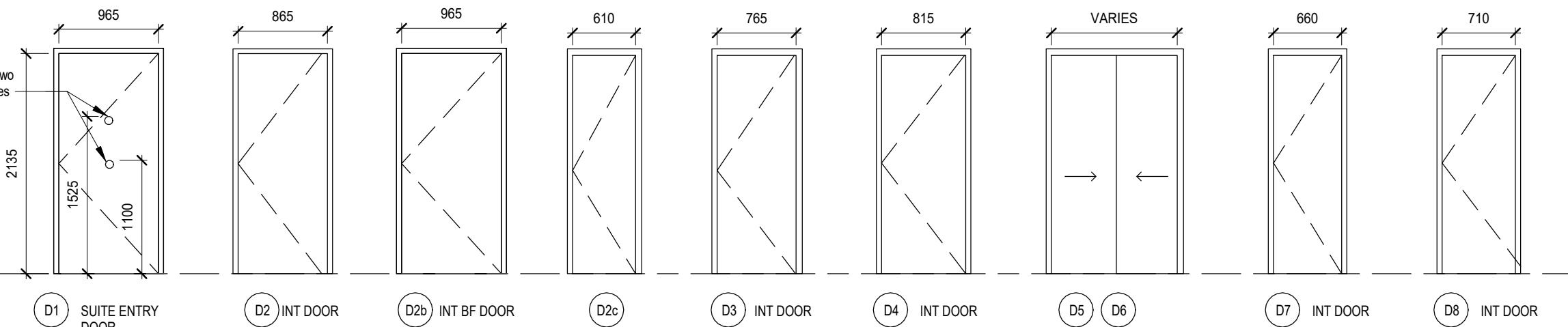
DOOR TYPES

FRAME TYPE

GLAZING LEGEND

GENERAL NOTES

1. GLASS PANELS IN DOORS TO COMPLY WITH BARRIER FREE VISABILITY REQUIREMENTS.
2. ALL EXTERIOR DOORS TO HAVE THERMALLY BROKEN INSULATED FRAMES.
3. PREPARE DOORS AND FRAMES FOR ELECTRONIC HARDWARE WHERE INDICATED AND WHERE REQUIRED CONDUITS SHALL BE CONCEALED.
4. ALL DOORS IN FIRE SEPARATION LOCATIONS SHALL HAVE LATCHING DEVICE.
5. ALL DOORS TO BE OFFSET FROM WALL 100mm ON HINGED SIDE U.N.O.
6. DOOR SCHEDULE: STAIRS SHOWS TYPICAL DOORS AT STAIRWELLS. PROVIDE QUANTITIES AS REQUIRED. (ONE PER FLOOR) WHERE APPLICABLE.
7. DOOR SCHEDULE: UNITS SHOWS TYPICAL DOOR TYPES AT EACH RESIDENTIAL UNIT. PROVIDE QUANTITIES AS REQUIRED.



SUITE DOOR TYPES

DOOR SCHEDULE MAIN BUILDING AREAS

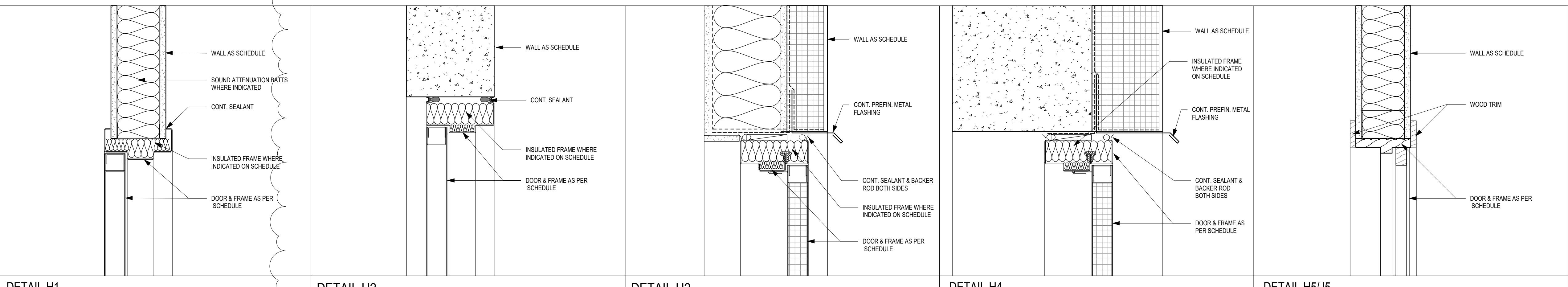
DOOR SCHEDULE UNITS

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O.	ISSUES	DATE	BY
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2	ISSUED FOR PERMIT AND TENDER	Aug 30 2024	RG
3	ADDENDUM # 1	Sep 10, 2024	RG



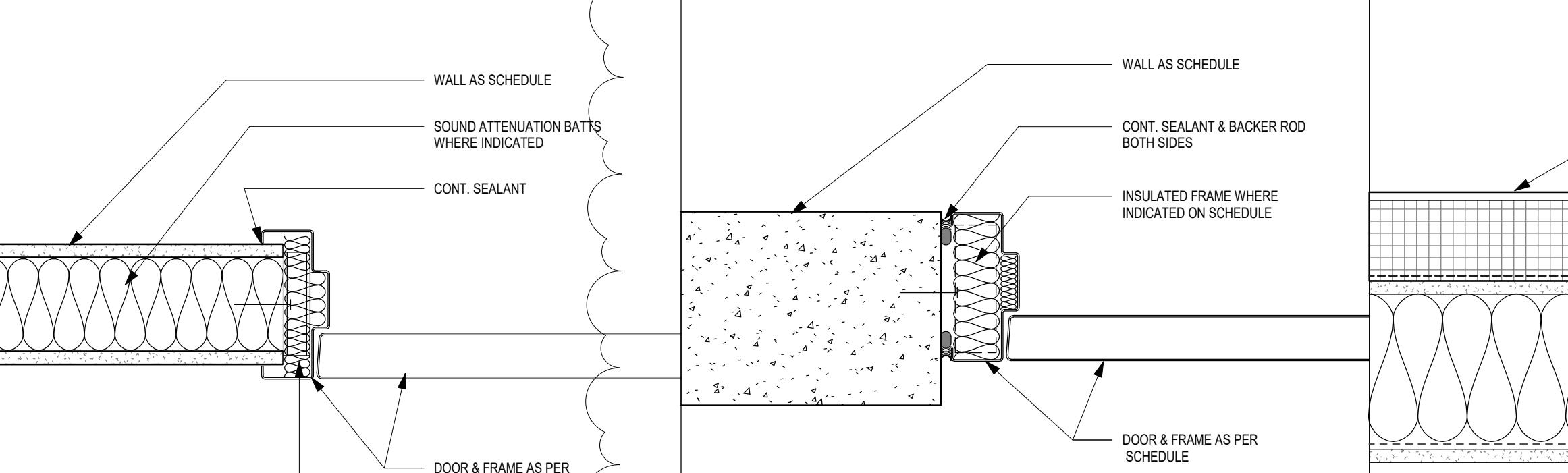
DETAIL H1

DETAIL

DETA

DETAIL H4

DETAIL H5/J5



DETAIL J1

DETAIL J

DETAIL

DETAIL J4



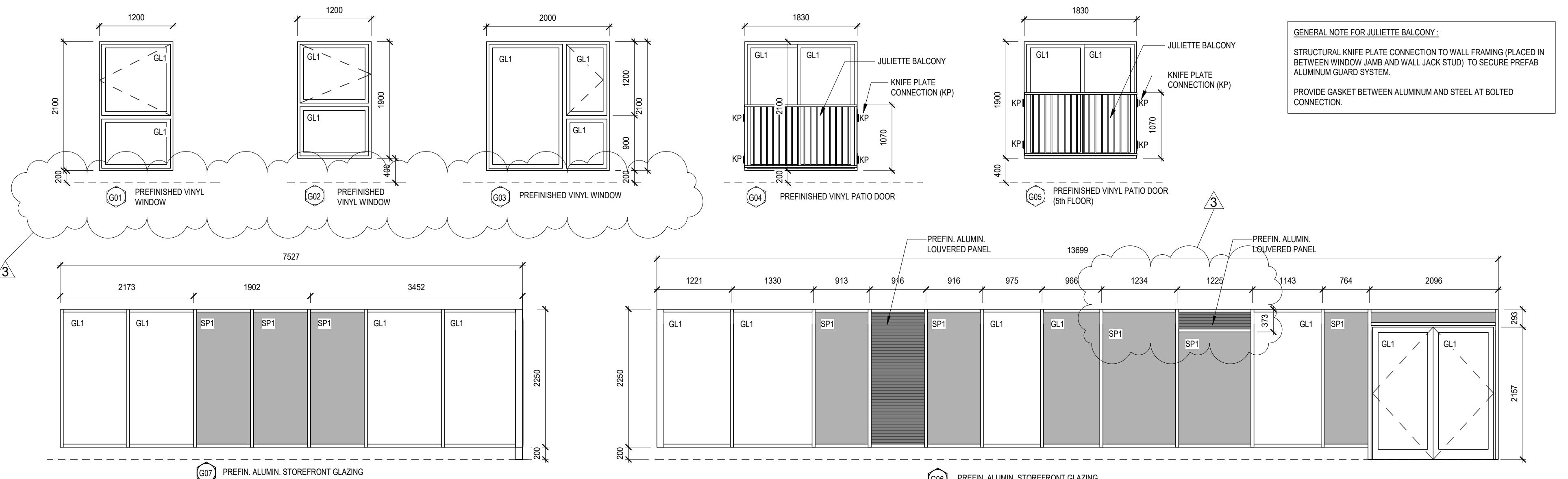
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NO.	ISSUES	DATE BY
1	ISSUED FOR PERMIT	Aug 30 2024 RG
2	ISSUED FOR PERMIT AND TENDER	Aug 30 2024 RG
3	ADDENDUM # 1	Sep 10, 2024 RG

NO.	REVISIONS	DATE	BY

PROJECT:
Mixed-Use Building Development (BLDG.#3) PHASE1

1697 Durham Regional Hwy 2, Courtice,
ON L1E 2R5
RH Gay Holdings Co.

**DRAWING:
GLAZING SCHEDULE**



GENERAL NOTES

1. GLASS PANELS IN DOORS TO COMPLY WITH BARRIER FREE VISIBILITY REQUIREMENTS.
2. ALL EXTERIOR DOORS TO HAVE THERMALLY BROKEN INSULATED FRAMES.
3. PREPARE DOORS AND FRAMES FOR ELECTRONIC HARDWARE WHERE INDICATED AND WHERE REQUIRED. CONDUITS SHALL BE CONCEALED.
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7. DOOR SCHEDULE: UNITS SHOWS TYPICAL DOOR TYPES AT EACH RESIDENTIAL UNIT. PROVIDE QUANTITIES AS REQUIRED.

GLAZING LEGEND

GL1 INSULATED DOUBLE GLAZED SEALED UNITS (EXTERIOR)
SP1 INSULATING GLAZED SPANDEL UNITS



DESIGN BY: AA	RE-CHECKED DATE: 2023-11-03
DRAWN BY: AA/JP	5. COMPLETE
Checked by: AA/NS	Initial:
DATE: 2023-11-03	
SCALE: As indicated	
FILE: Drawings - Current - CECC.RVT	

PROJECT NO: 21046 DRAWING NO: A902

570 Water St.
Peterborough, ON
K9H 3M8

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p. 705-745-2831
f. 705-741-1526

Sept 11, 2024
Project: 7393

Barry Bryan Associates (BBA)
201-250 Water Street
Whitby, Ontario
L1N 0G5

Attention: Robin George

Mechanical Addendum No. M1

Project: 1697 Hwy#2, Clarington, Ontario

General

The following shall constitute the mechanical portion of the addendum to be issued by BBA, Architect. Bidders are to include the following in the tender price.

1. Drawing M13

1. Dryer vent sizes adjusted to coordinate with lintel.

2. Drawing M13-M17

1. Some suite range hood exhaust routing adjusted to coordinate with lintel. Changes bubbled on drawing.
2. Some suite ERV return ducting adjusted to fit in bulkhead (by architectural). Changes bubbled on drawing.

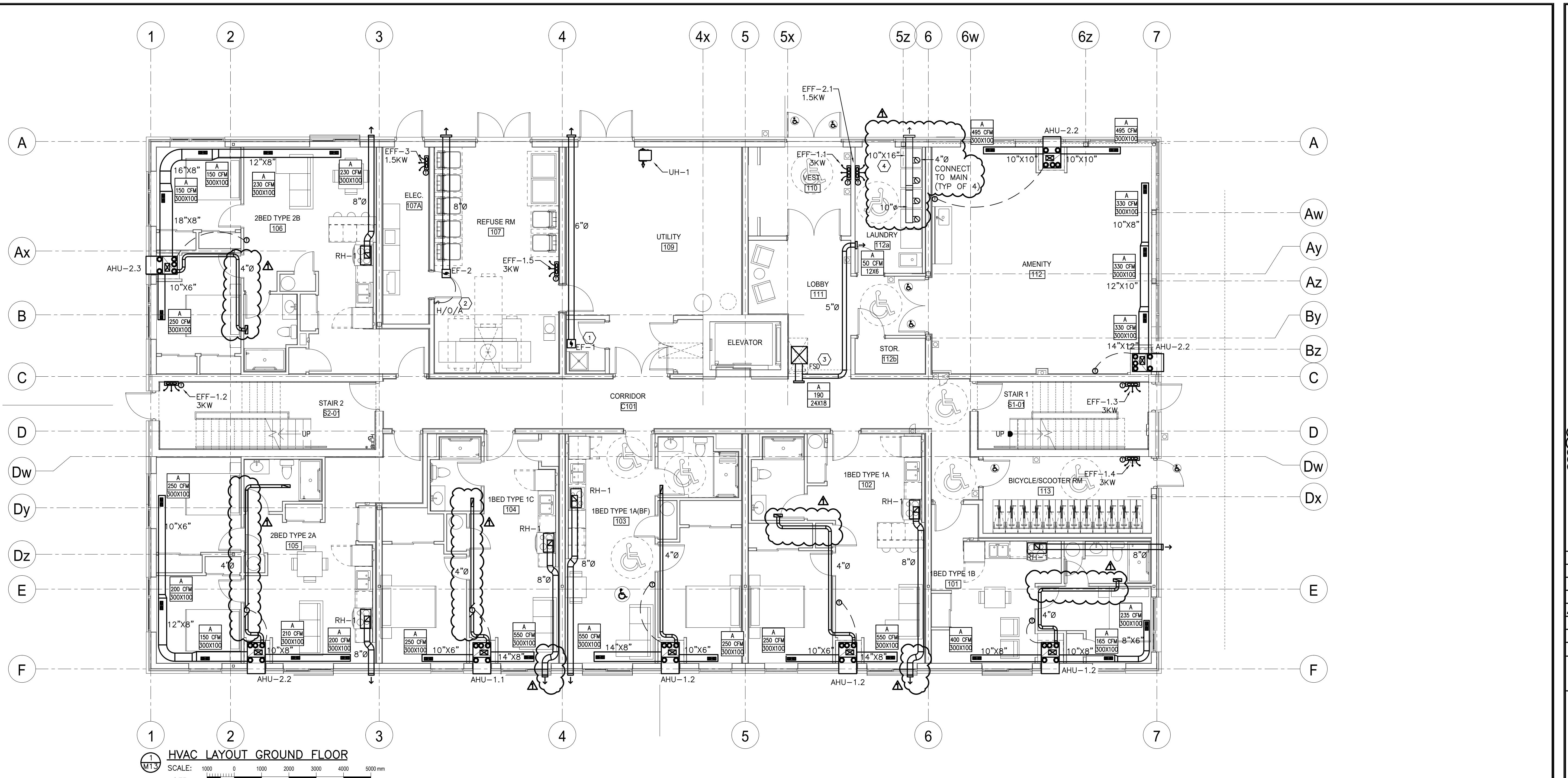
End of Mechanical Addendum M1



Calvin Muller, P.Eng.
Mechanical Engineer



ASSOCIATION OF CONSULTING
ENGINEERING COMPANIES
ONTARIO



GENERAL NOT

1. INSULATE ALL FRESH AIR INTAKE DUCTS FROM EXTERIOR WALL TO UNIT, FOR ALL UNITS.
 2. ELECTRIC FAN FORCED HEATERS SUPPLIED AND INSTALLED BY MECHANICAL, POWER BY ELECTRICAL.
 3. AHU'S HAVE INTEGRAL SUPPLEMENTAL ELECTRIC HEAT. REFER TO SCHEDULE FOR DETAILS.
 4. SUITE WASHROOM EXHAUST IS INTEGRAL TO SUITE AIR HANDLING UNIT ERV SYSTEM.

DRAWING NOTES

- 1 EXHAUST FAN CONTROL
INTERLOCKED WITH LIGHTING
CONTROLS. EXHAUST FAN SUPPLIED
AND INSTALLED BY MECHANICAL,
CONTROLS BY ELECTRICAL
 - 2 HAND/OFF/AUTO FOR GARBAGE
ROOM, BY MECHANICAL. ON AUTO
SHALL BE SET TO RUN
CONTINUOUSLY
 - 3 FSD TO BE SUPPLIED AND
INSTALLED BY MECHANICAL. POWER
AND INTERCONNECTION WITH SMOKE
DETECTOR BY ELECTRICAL

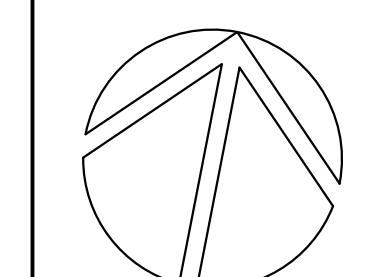
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ISSUED FOR TENDER	2024.08.29	CSM

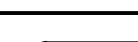
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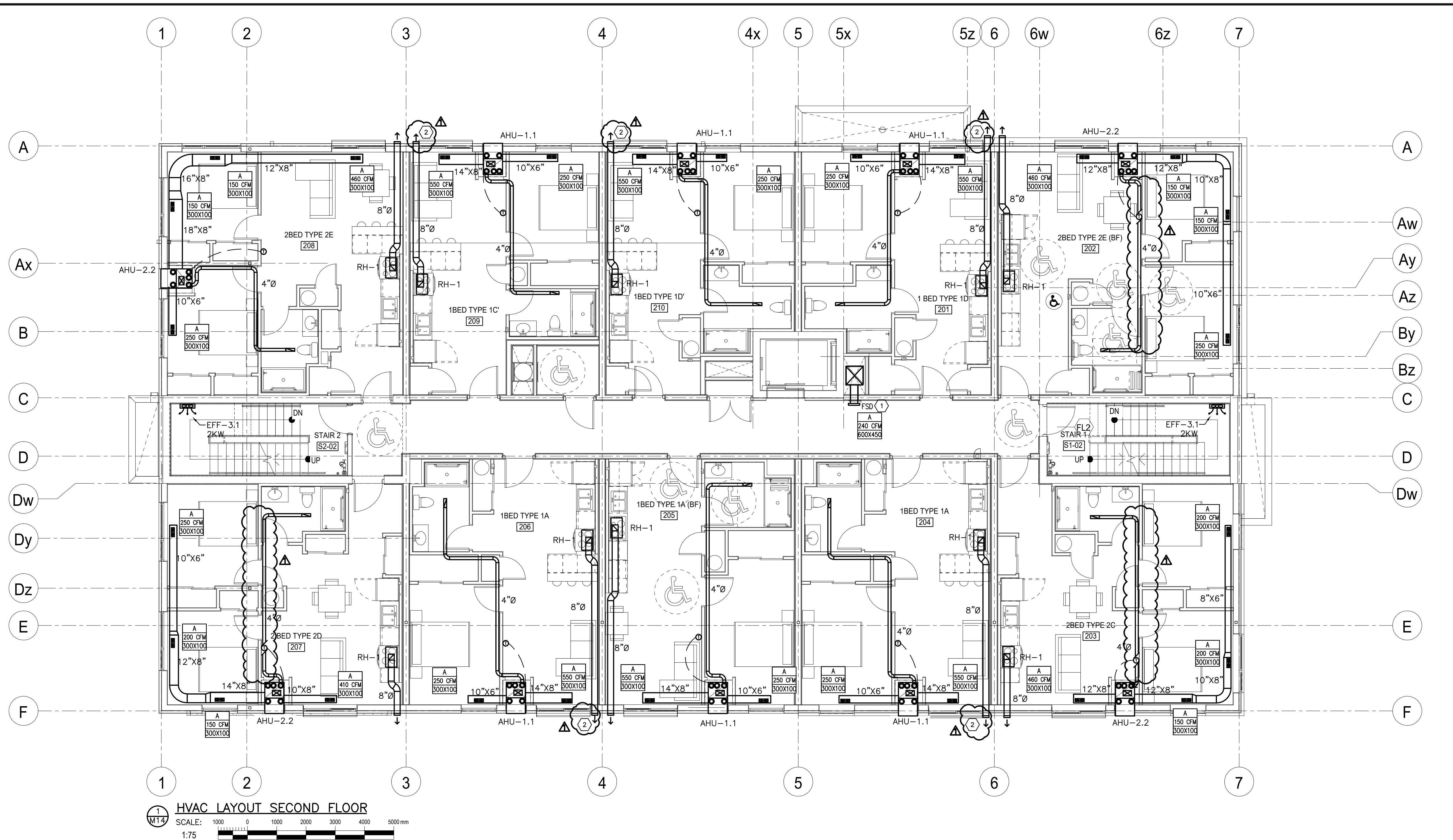
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JECT
**COURTICE SENIOR
DEVELOPMENT**

1697 HIGHWAY No 2
CLARINGTON ON

E GROUND FLOOR HVAC

Minimum Fresh Air Requirements						
Room Name	Occupant Load	Square Footage	Occupancy Category (Ashrae 62.1 Table 6.2.2.1)	People Outdoor Air Rate (cfm/person)	Area Outdoor Air Rate (cfm/ft^2)	Fresh air Required (CFM)
Ground Floor Corridor	0	515	General - Corridor	0	0.06	30.9
Ground Floor Lobby	2	242	General - Conference/meeting	5	0.06	24.52
Ground Floor Laundry	1	135	Hotels/Motels/Resorts/Dorms - Laundry Rooms, central	5	0.12	21.2
2 B/R unit, typ	2	546	Residential - Dwelling Unit	5	0.06	42.76
Total Fresh Air Required						76.62



GENERAL NOTES

1. INSULATE ALL FRESH AIR INTAKE DUCTS FROM EXTERIOR WALL TO UNIT, FOR ALL UNITS.
2. ELECTRIC FAN FORCED HEATERS SUPPLIED AND INSTALLED BY MECHANICAL, POWER BY ELECTRICAL
3. AHU'S HAVE INTEGRAL SUPPLEMENTAL ELECTRIC HEAT. REFER TO SCHEDULE FOR DETAILS.
4. SUITE WASHROOM EXHAUST IS INTEGRAL TO SUITE AIR HANDLING UNIT ERV SYSTEM.

DRAWING NOTES

- 1 FSD TO BE SUPPLIED AND
INSTALLED BY MECHANICAL POWER
AND INTERCONNECTION WITH SMOKE
DETECTOR BY ELECTRICAL.
 - 2 RANGE HOOD EXHAUST LOUVER SIZE
AND LOCATION WILL BE COORDINATED
WITH STRUCTURAL TO SUIT LINTEL.
ANY CHANGES WILL BE REFLECTED
IN A FUTURE ADDENDUM.

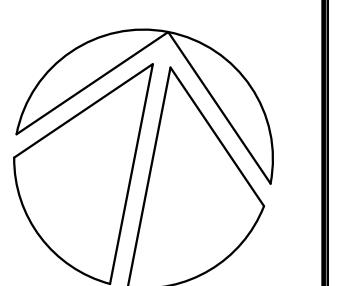
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DESCRIPTION		DATE	BY

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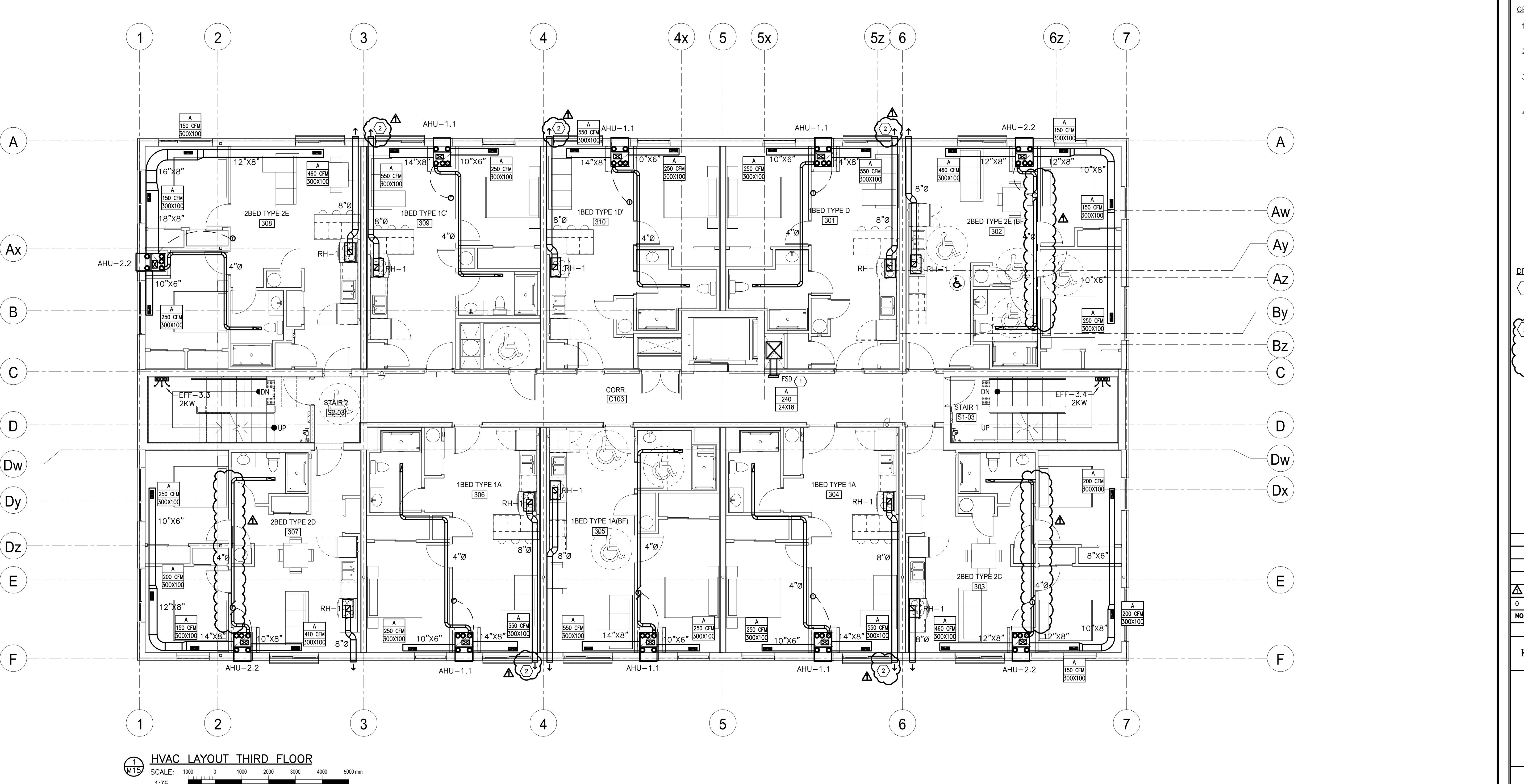
**JCTC
COURTICE SENIOR
DEVELOPMENT**

1697 HIGHWAY No 2
CLARINGTON, ON

**E
SECOND FLOOR
HVAC**

GN	CSM	SCALE AS NOTED
WN	KCS	DWG NO.
CKED	CSM	
ROVED	CSM	
JECT		
7393		M14

M14



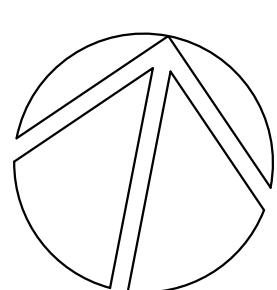
- GENERAL NOTES**
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DRAWING NOTES

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- ② RANGE HOOD EXHAUST LOUVER SIZE AND LOCATION WILL BE COORDINATED WITH STRUCTURAL TO SUIT LINTEL. ANY CHANGES WILL BE REFLECTED IN A FUTURE ADDENDUM.

ADDENDUM #1	2024.09.09	CSM
ISSUED FOR TENDER	2024.08.29	CSM
NO.	DESCRIPTION	DATE
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PROJECT
COURTICE SENIOR DEVELOPMENT

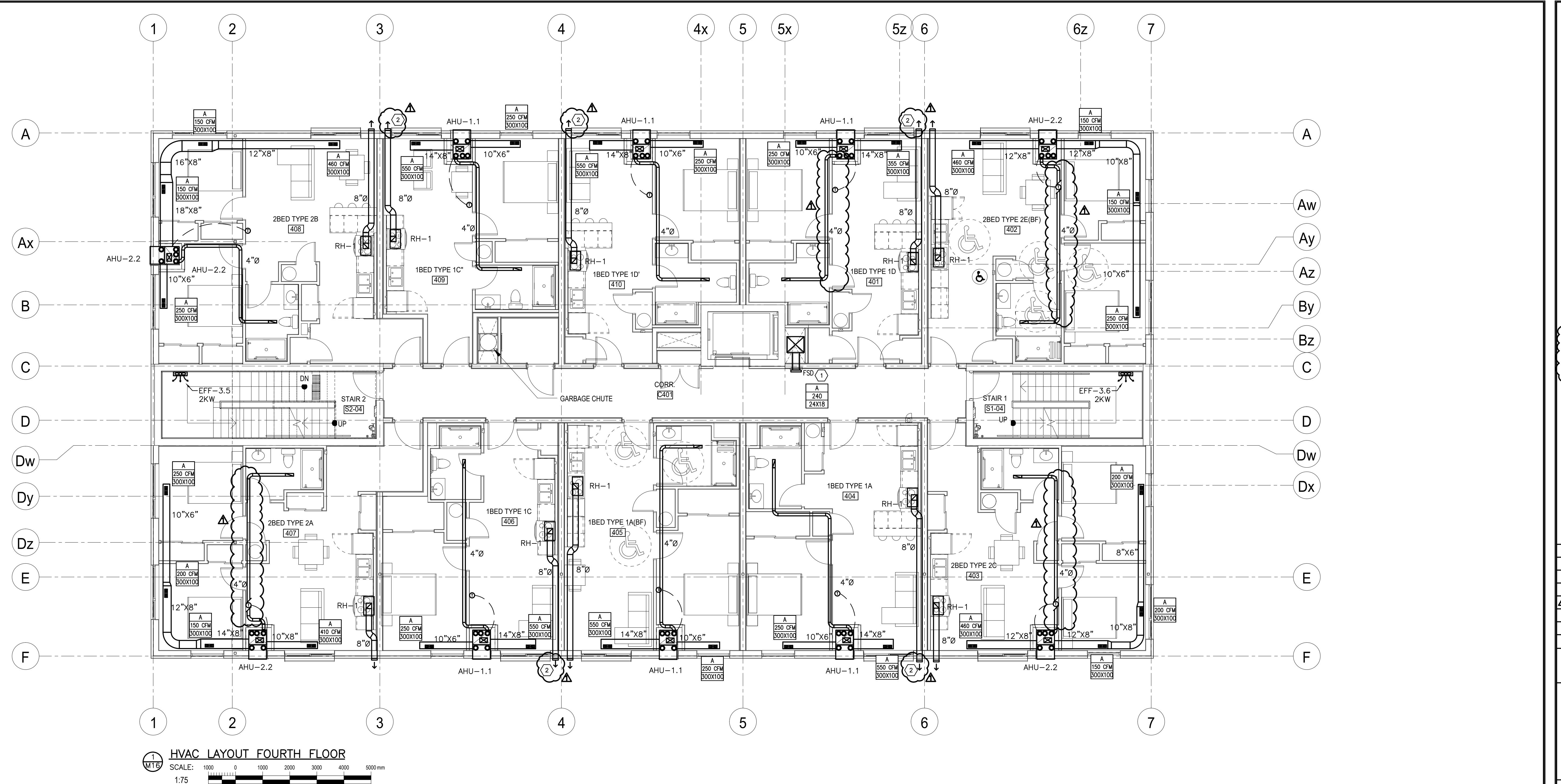
1697 HIGHWAY No 2
CLARINGTON, ON

TITLE
THIRD FLOOR
HVAC

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	
APPROVED	CSM	
PROJECT	M15	7393

M15

CADD FILE NO. 7393M15



1 HVAC LAYOUT FOURTH FLOOR

M16 SCALE: 1000 0 1000 2000 3000 4000 5000 mm

1:75

- GENERAL NOTES**
1. INSULATE ALL FRESH AIR INTAKE DUCTS FROM EXTERIOR WALL TO UNIT FOR ALL UNITS.
 2. ELECTRIC FAN FORCED HEATERS SUPPLIED AND INSTALLED BY MECHANICAL POWER BY ELECTRICAL.
 3. AHU'S HAVE INTEGRAL SUPPLEMENTAL ELECTRIC HEAT. REFER TO SCHEDULE FOR DETAILS.
 4. SUITE WASHROOM EXHAUST IS INTEGRAL TO SUITE AIR HANDLING UNIT ERV SYSTEM.
 5. ALL IN-SUITE UNITS UPDATED TO VERTICAL HEAT PUMP AHU'S. DUCTING HAS BEEN MODIFIED TO SUIT.

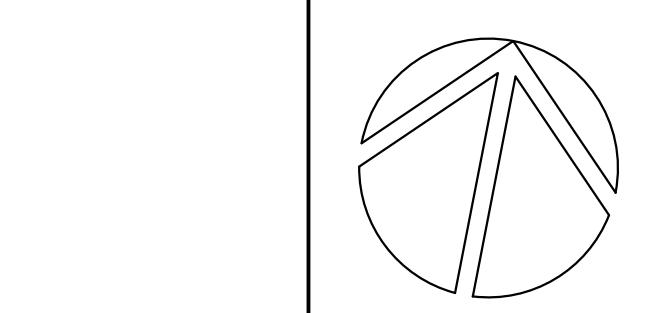
DRAWING NOTES

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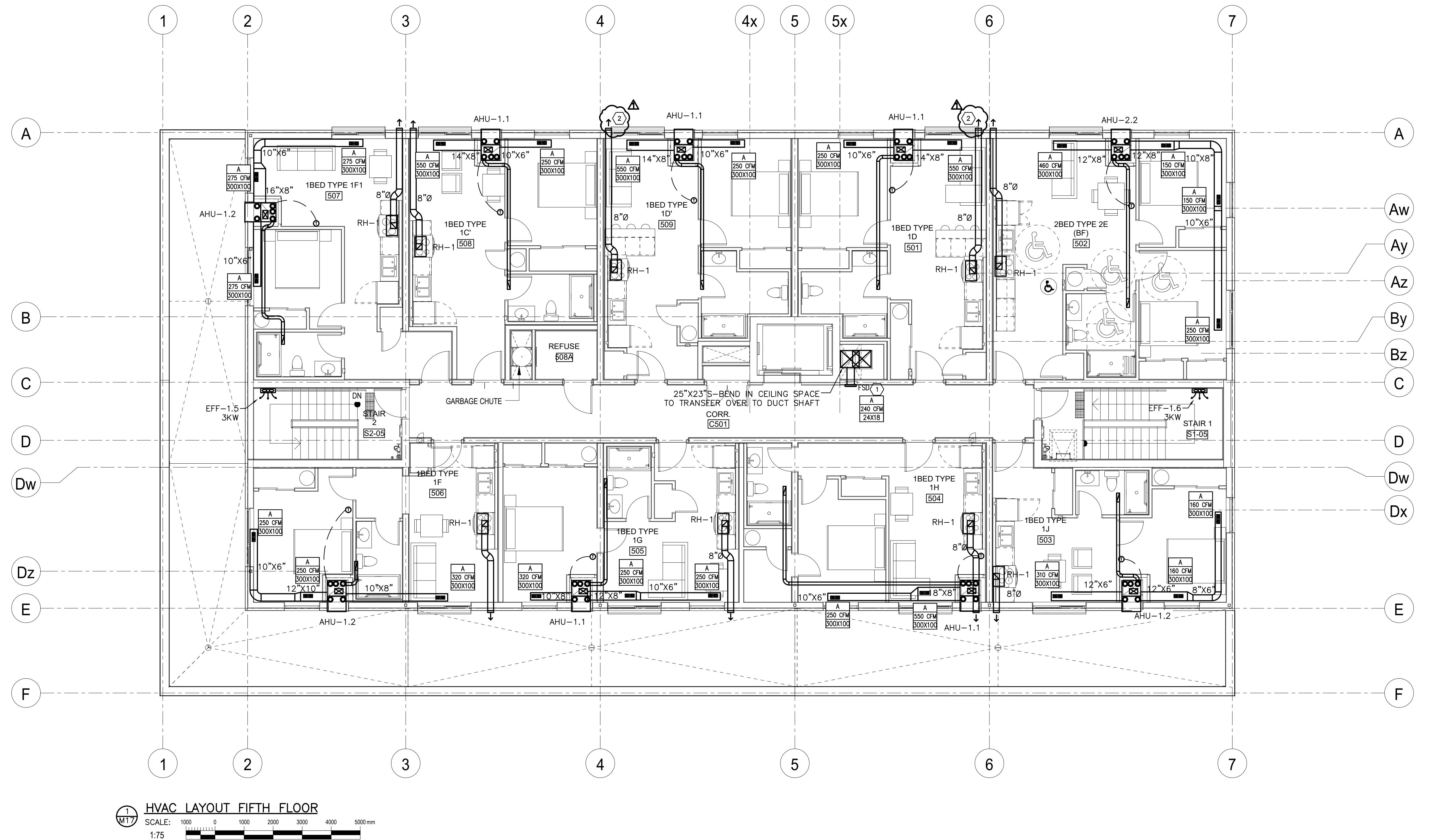
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TITLE
FOURTH FLOOR
HVAC

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	
APPROVED	CSM	
PROJECT	CSM	

M16

CADD FILE NO. 7393M16



- GENERAL NOTES**
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 5. ALL IN-SUITE UNITS UPDATED TO VERTICAL HEAT PUMP AHU'S. DUCTING HAS BEEN MODIFIED TO SUIT.

DRAWING NOTES

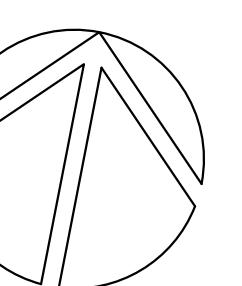
(1) FSD TO BE SUPPLIED AND INSTALLED BY MECHANICAL POWER AND INTERCONNECTION WITH SMOKE DETECTOR BY ELECTRICAL.

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△	ADDENDUM #1	2024.09.09 CSM
O	ISSUED FOR TENDER	2024.08.29 CSM
NO.	DESCRIPTION	DATE BY

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CLARINGTON, ON

TITLE
5TH FLOOR HVAC LAYOUT

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	
APPROVED	CSM	
PROJECT	CSM	

M17
7393

M17