



# GULL RIVER HOUSING

## AFFORDABLE HOUSING

### ISSUED FOR TENDER ADDENDUM 25 MAR 27

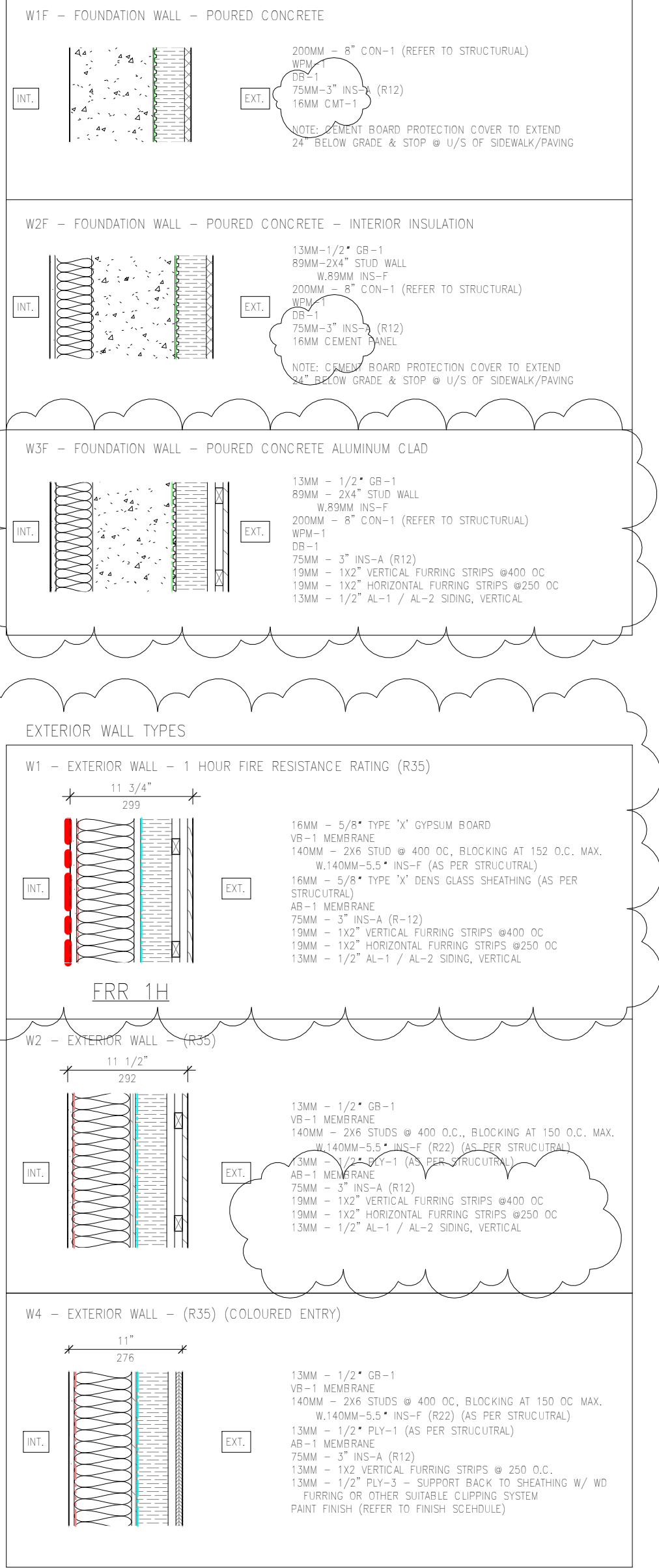
#### DRAWING LIST

##### ARCHITECTURAL

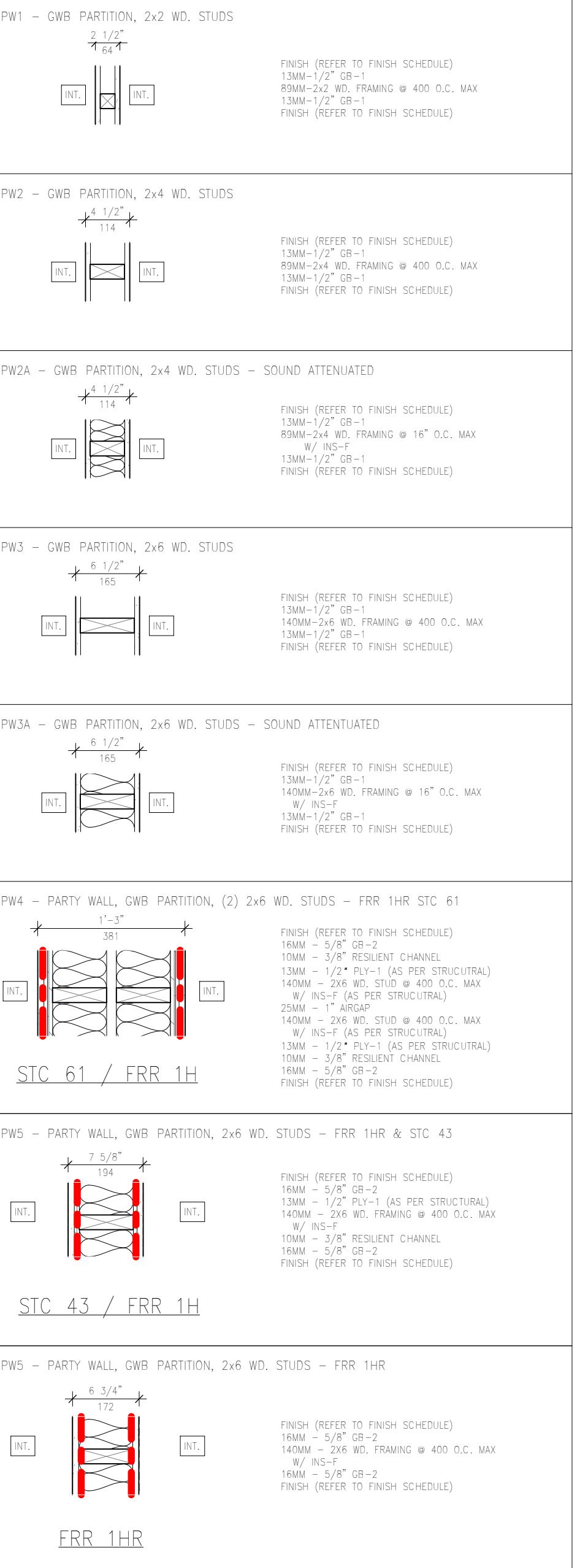
- |      |                                 |
|------|---------------------------------|
| A000 | COVER SHEET                     |
| A003 | STANDARD ASSEMBLY TYPES         |
| A301 | TYP. ELEVATIONS BUILDINGS 1-3-5 |
| A302 | TYP. ELEVATIONS BUILDINGS 2-4-6 |

**Williamson Williamson Inc.**

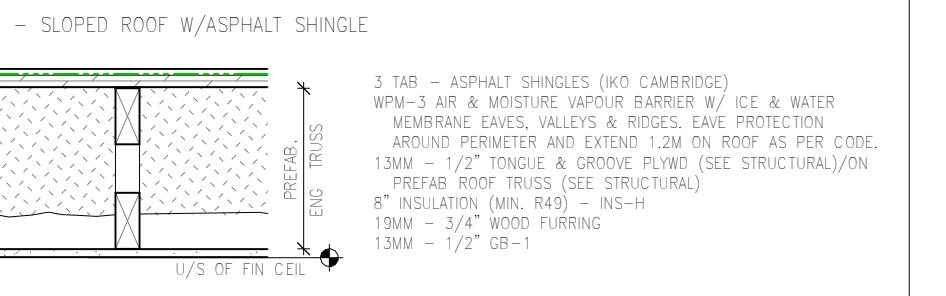
### FOUNDATION WALL TYPES



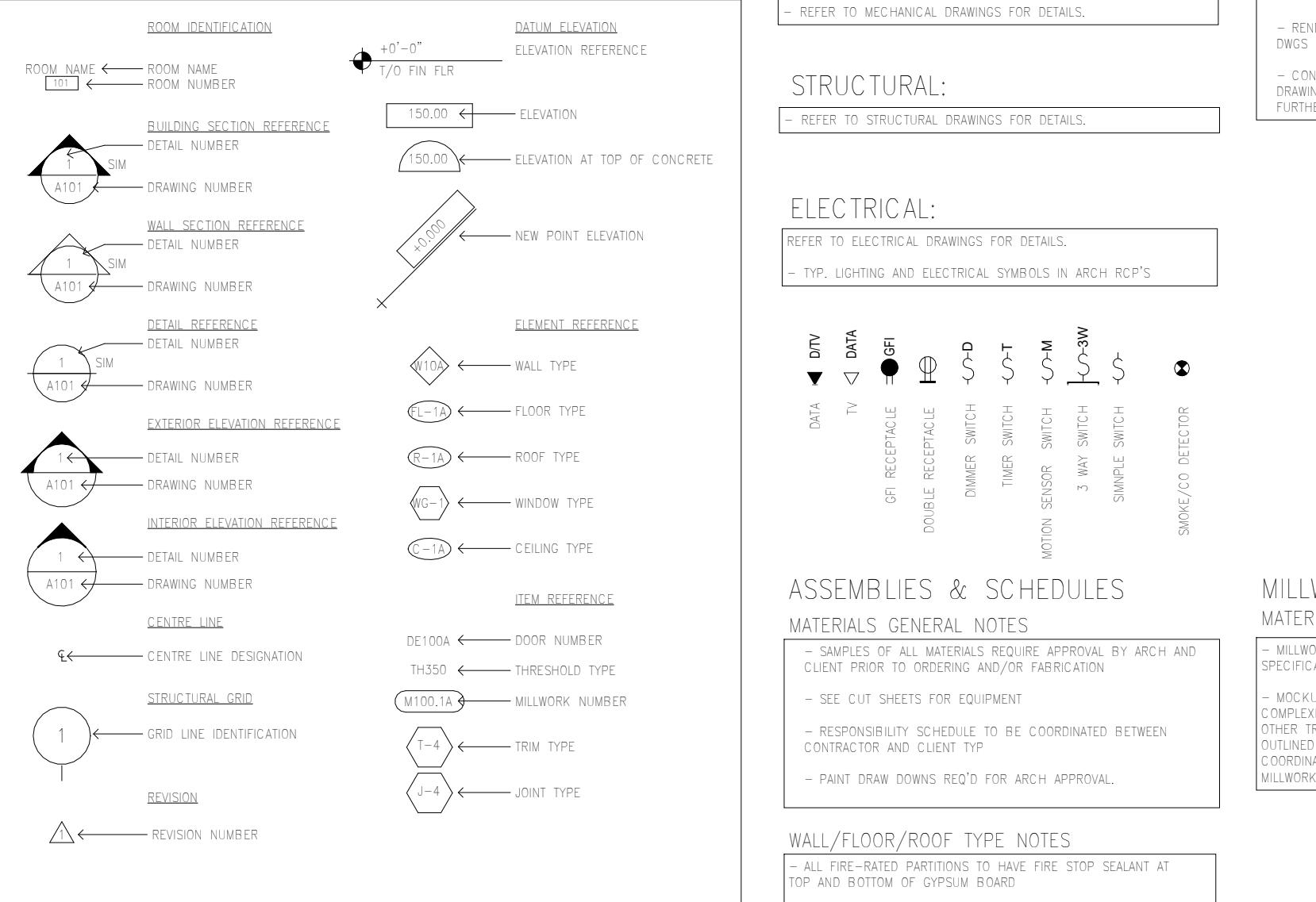
### INTERIOR PARTITION TYPES



### ROOF TYPES



### GENERAL DRAWING LEGEND



### MECHANICAL:

- REFER TO MECHANICAL DRAWINGS FOR DETAILS.  
- RENDERINGS ARE FOR REFERENCE ONLY. PLEASE CONSULT DCS FOR QUOTATIONS.  
- CONTRACTOR TO REVIEW ALL DISCIPLINES' DWGS & TIME OF DRAWING REVIEW AND FLAG ANY DISCREPANCIES THAT REQUIRE FURTHER COORDINATION VIA FORMAL RFI.

### ARCHITECTURAL:

- REFER TO STRUCTURAL DRAWINGS FOR DETAILS.  
- CONTRACTOR TO REVIEW ALL DISCIPLINES' DWGS & TIME OF DRAWING REVIEW AND FLAG ANY DISCREPANCIES THAT REQUIRE FURTHER COORDINATION VIA FORMAL RFI.

### General Notes

These contract documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents. Any discrepancies or existing conditions shown on drawings, specifications and/or existing conditions shall be brought to the attention of the Architect before proceeding with the work.

Drawings not to scale for construction. Contractor to verify all existing conditions and dimensions required to perform the work and to report to the Architect any discrepancies found before proceeding with the work. Upon written application, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract documents.

Plans of exposure for Mechanical or Electrical services, fittings and fixtures are intended on Architectural drawings. Locations shown on Architectural drawings shall govern over Mechanical and Electrical drawings. Mechanical and Electrical items not clearly listed will be coordinated as directed by the Architect. Items not indicated are taken indicated as per standard practice except as otherwise noted.

All work to be done in accordance with all provincial and local codes and agencies having jurisdiction. Work not indicated but intended to complete work is understood to be included.

16	ISSUED FOR TENDER ADDENDUM	25 MAR 27
13	ISSUED FOR TENDER	23 MAY 23
11	BUILDING PERMIT	22 OCT 23
10	BUILDING CODE REVIEW	22 SEP 23
8	BP COORDINATION SET	22 JUL 26
6	BUILDING PERMIT SET DRAFT 1	22 APR 12
No.	Description	Date

### Project Team:

Williamson Williamson Inc.

235 Carlaw Avenue, Suite 400  
Toronto, ON M4M 2S1  
(416) 703-9271 www.wwill.ca



### Project Name:

GULL RIVER HOUSING  
AFFORDABLE HOUSING  
#35 MINDEN HILLS, ONTARIO

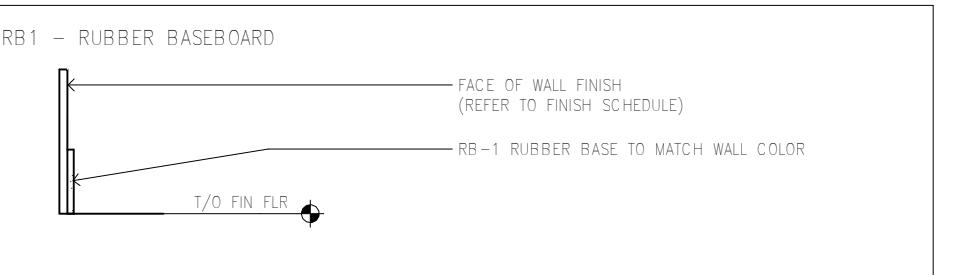
STANDARD ASSEMBLY TYPES

Project No.: 2010  
Scale: As indicated  
Drawn by: JH  
Date: 25 FEB 21

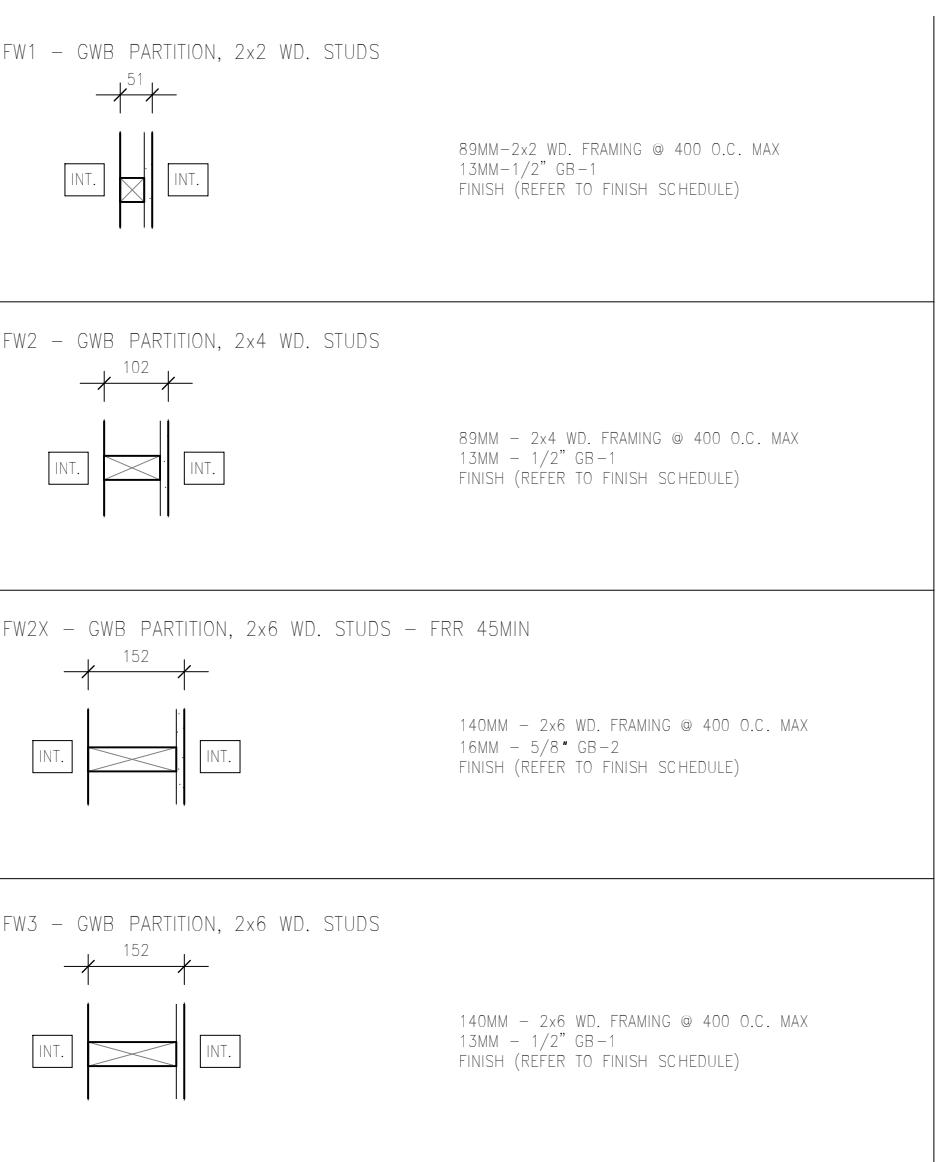
### Drawing No.:

A003

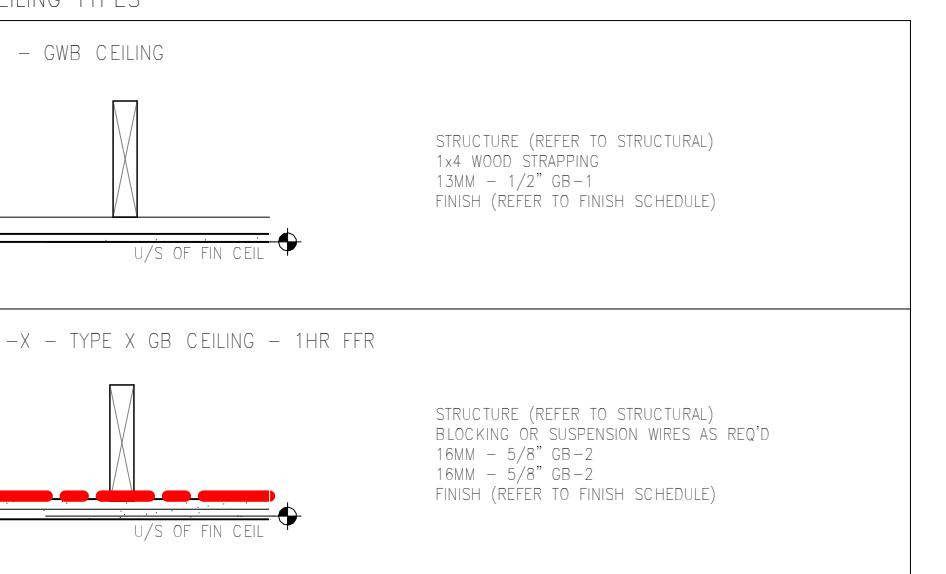
### BASE TYPES



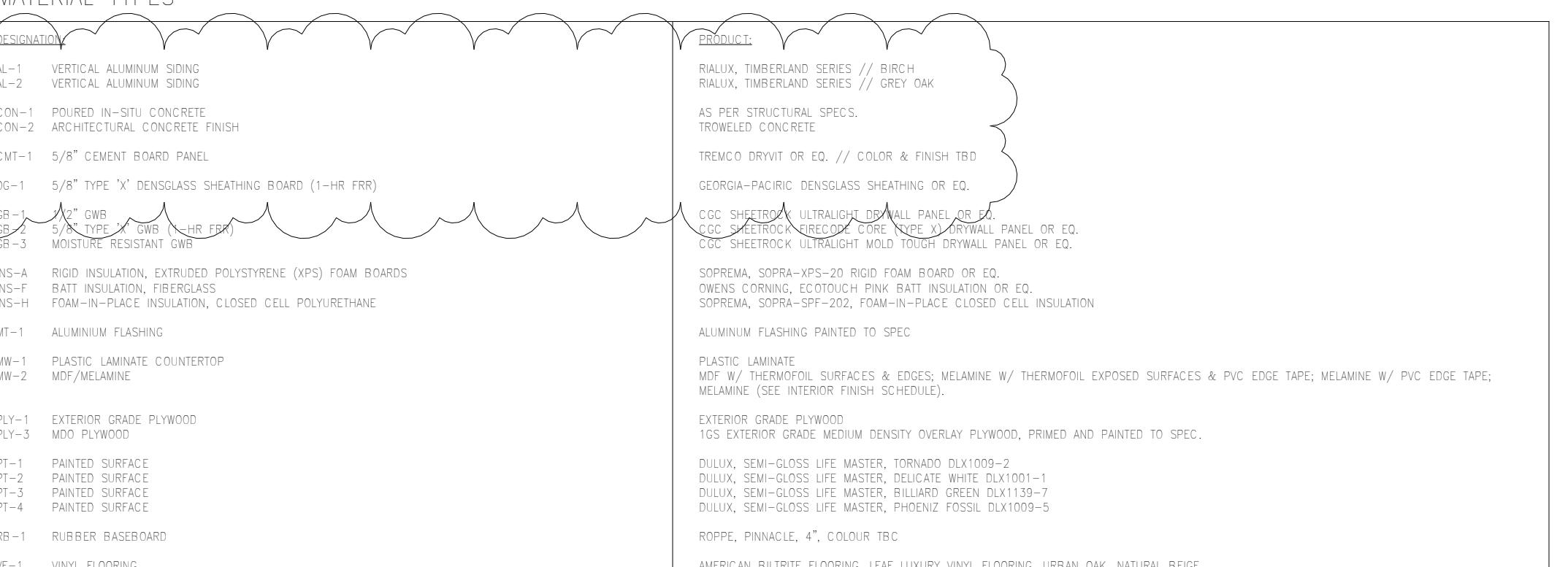
### FURRING WALL TYPES

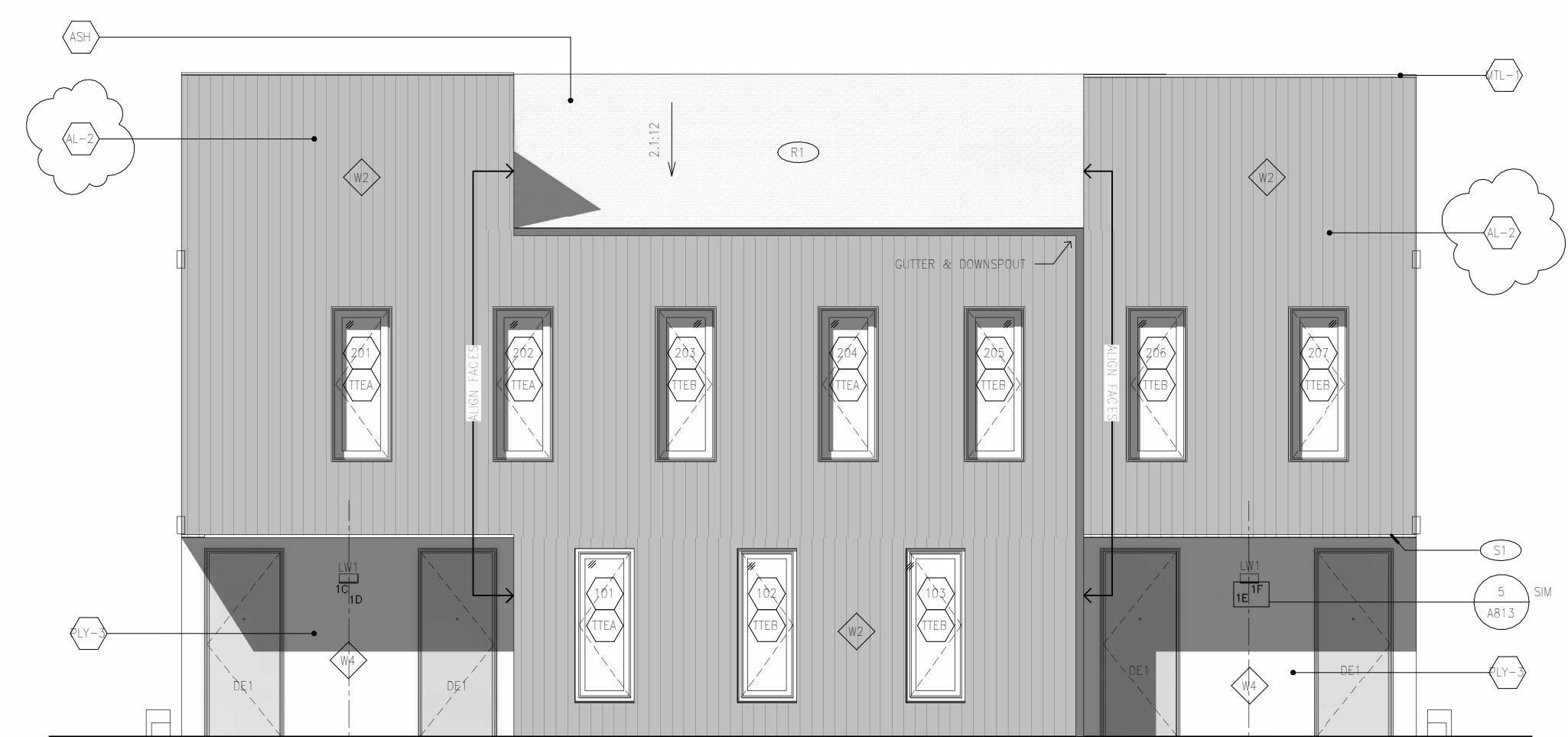


### CEILING TYPES

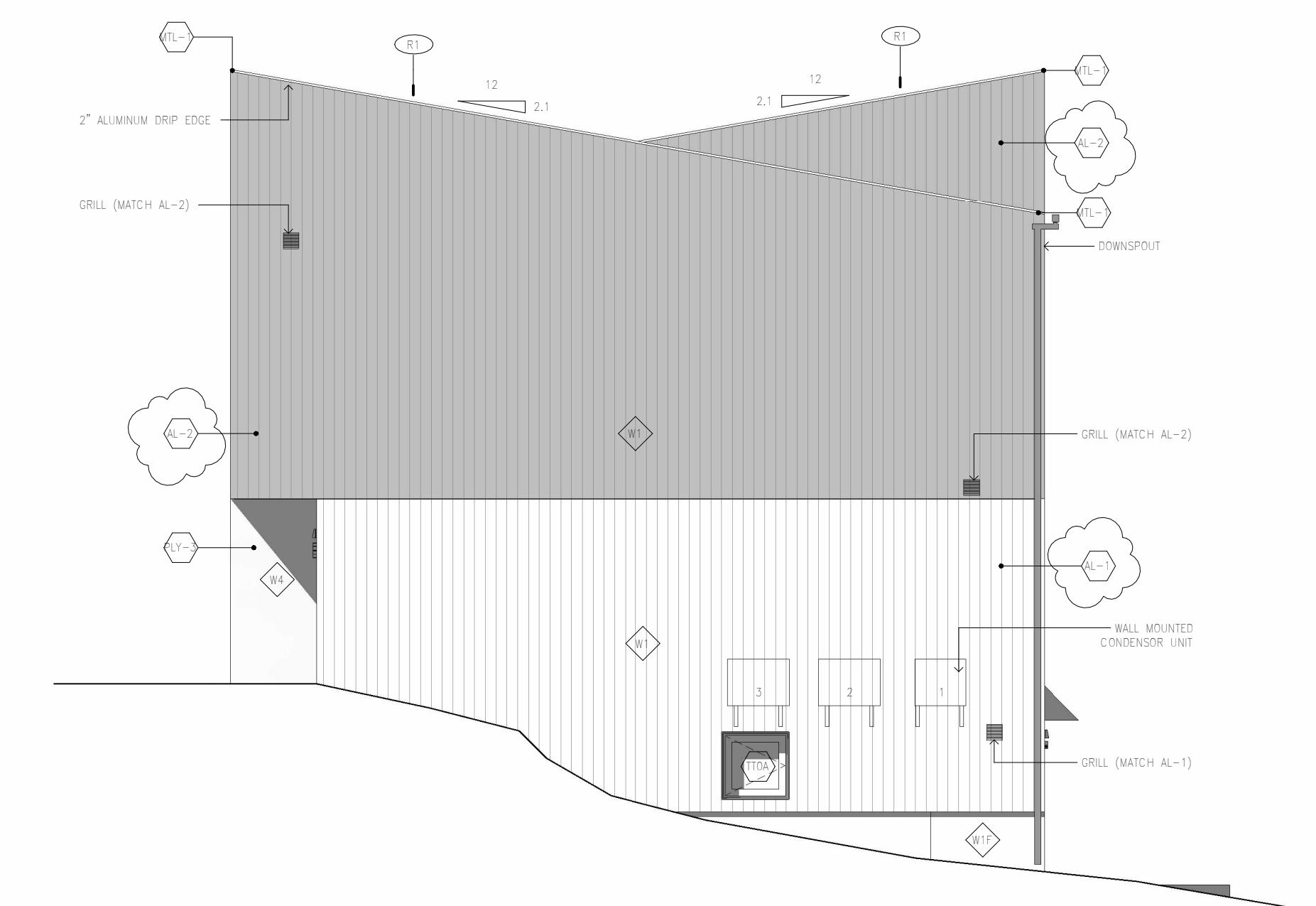


### MATERIAL TYPES





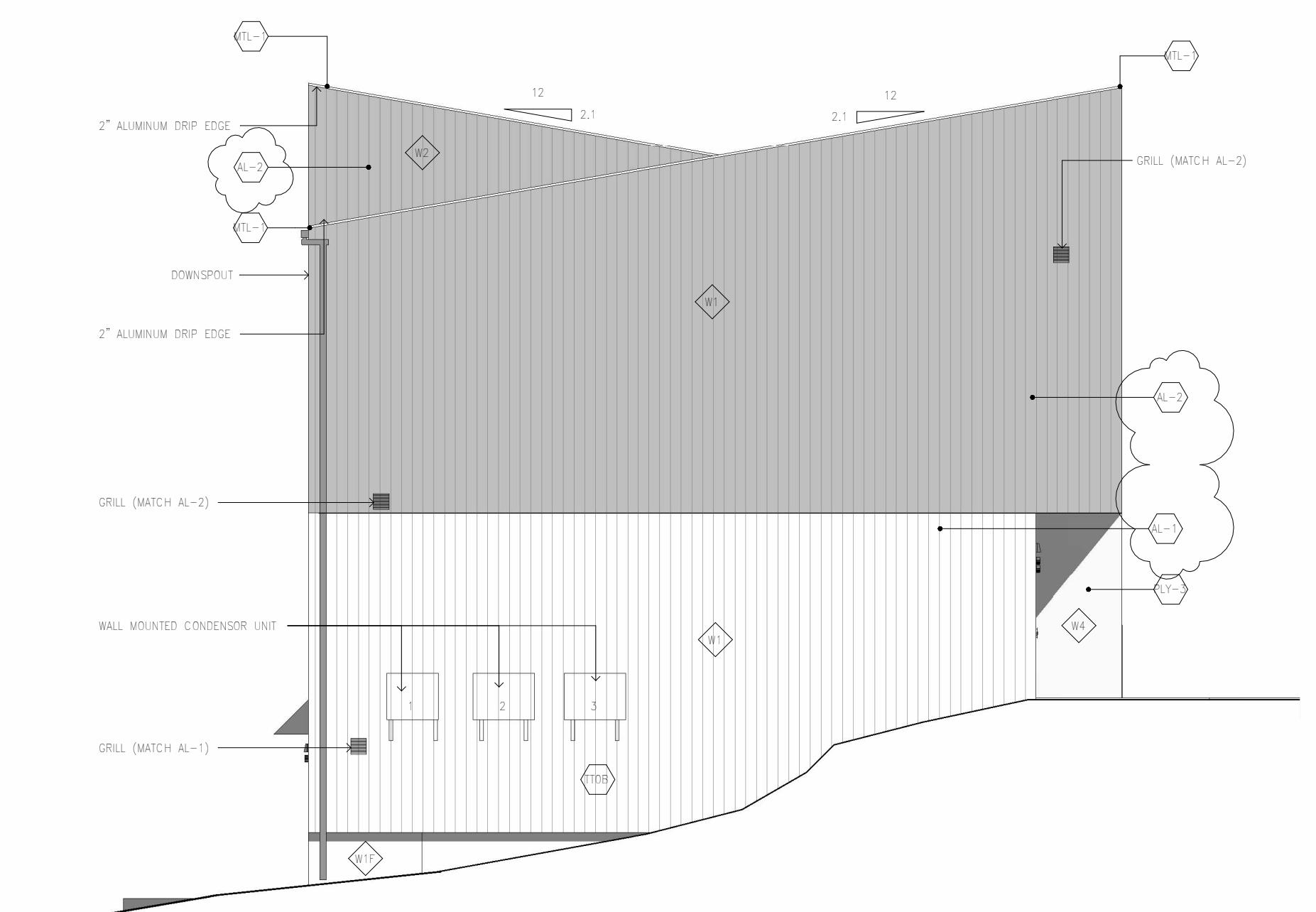
1 BUILDNG TYP A - East  
1 : 75



2 BUILDNG TYP A - North  
1 : 75



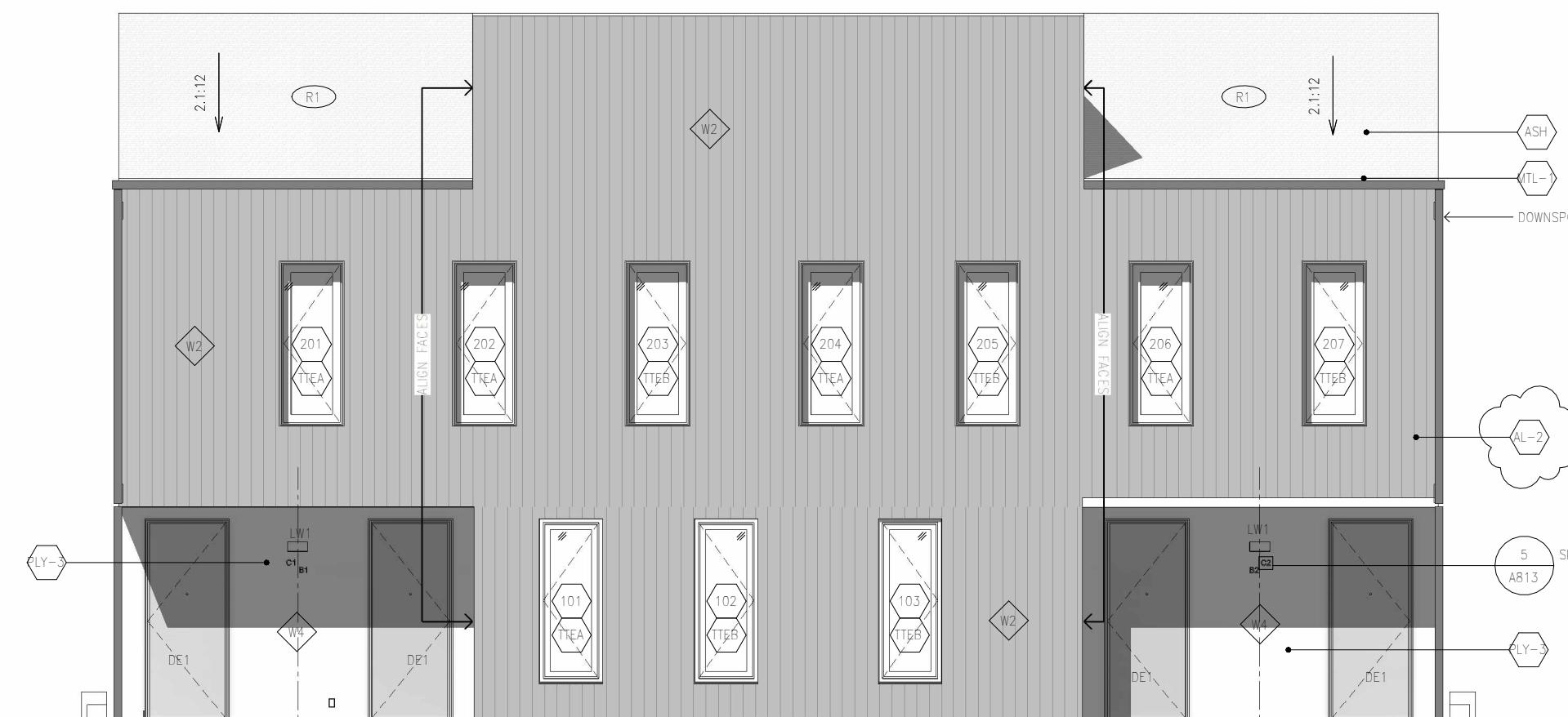
4 BUILDNG TYP A - West  
1 : 75



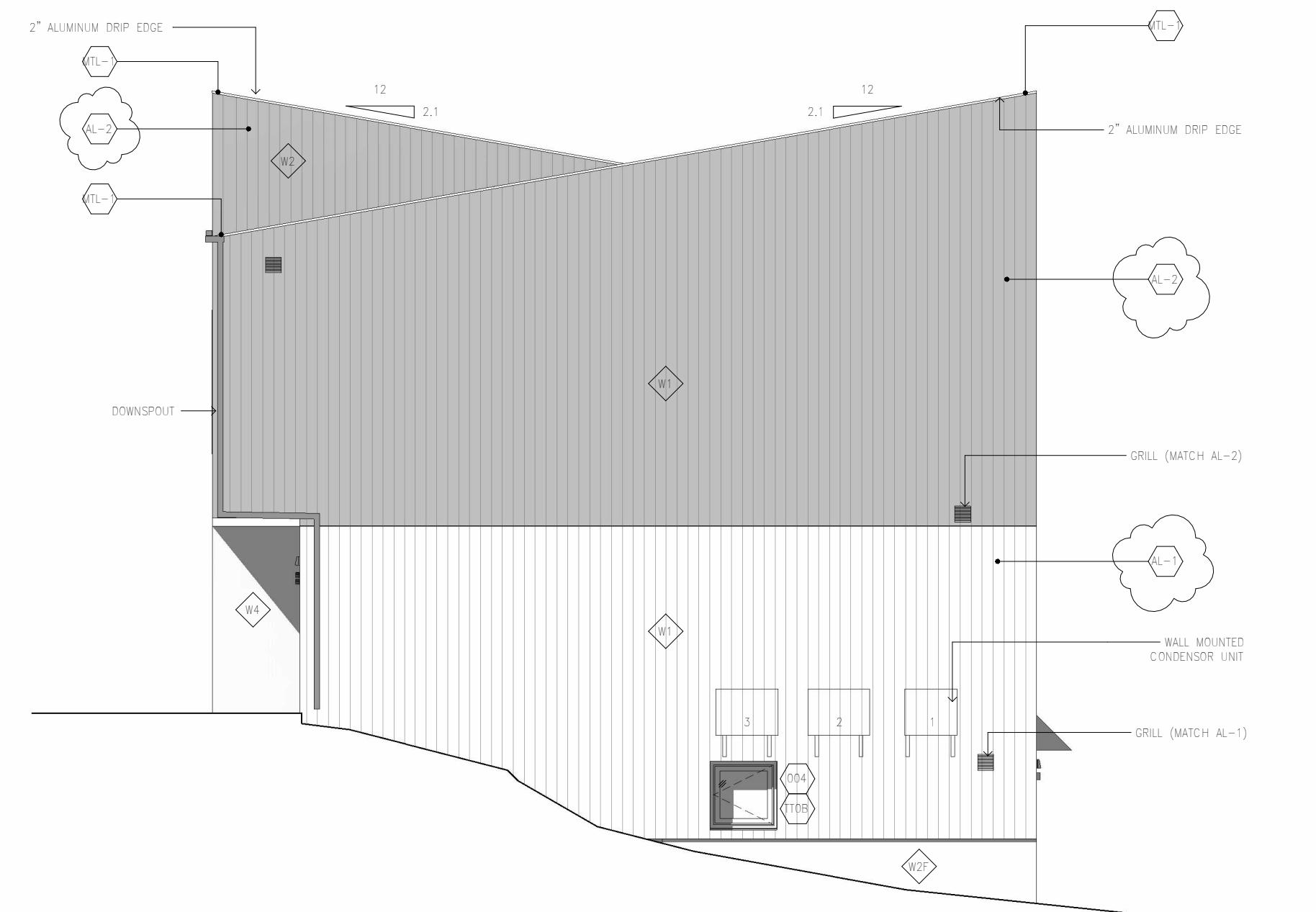
3 BUILDNG TYP A - South  
1 : 75

 <b>General Notes</b> These contract documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents. Any questions or discussions with respect to these drawings, specifications and/or existing conditions shall be brought to the attention of the Architect before proceeding with the work. Drawings not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and to report to the Architect any discrepancies found. All work to be done before commencing work. Upon written application, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract documents. Position of existing walls, Mechanical or Electrical devices, fittings and fixtures are indicated on Architectural drawings. Locations shown on Architectural drawings shall govern over Mechanical and Electrical drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect. Dimensions indicated are taken indecisively unless otherwise expressed, as otherwise noted. All work to be done in accordance with all provincial and local codes and agencies having jurisdiction. Work not indicated but intended to complete work is understood to be included.
16 ISSUED FOR TENDER ADDENDUM 25 MAR 27 13 ISSUED FOR TENDER 23 MAY 25 12 SPA #3.1 22 DEC 06 9 SPA #2 22 AUG 10 7 SPA COORDINATION SET 22 JUN 14 5 SPA 22 FEB 15 4 SPA DRAFT 4 21 OCT 04 3 SPA DRAFT 3 21 JUL 06 2 SPA DRAFT 2 21 JUN 17 1 SPA DRAFT 1 21 MAY 11 No. Description Date
Project Team:
<b>Williamson Williamson Inc.</b> 235 Carlaw Avenue, Suite 400 Toronto, ON M4M 2S1 (416) 783-9271 www.wwillinc.ca
 <b>ONTARIO ASSOCIATION OF ARCHITECTS</b> ELIZABETH WALKER WILLIAMSON LICENCE 5917
Project Name:
<b>GULL RIVER HOUSING</b> AFFORDABLE HOUSING #35 MINDEN HILLS, ONTARIO
TYP. ELEVATIONS BUILDINGS 1-3-5
Project No.: 2010 Scale: 1 : 75 Drawn by: JH Date: 25 FEB 21
Drawing No.: A301

**A301**



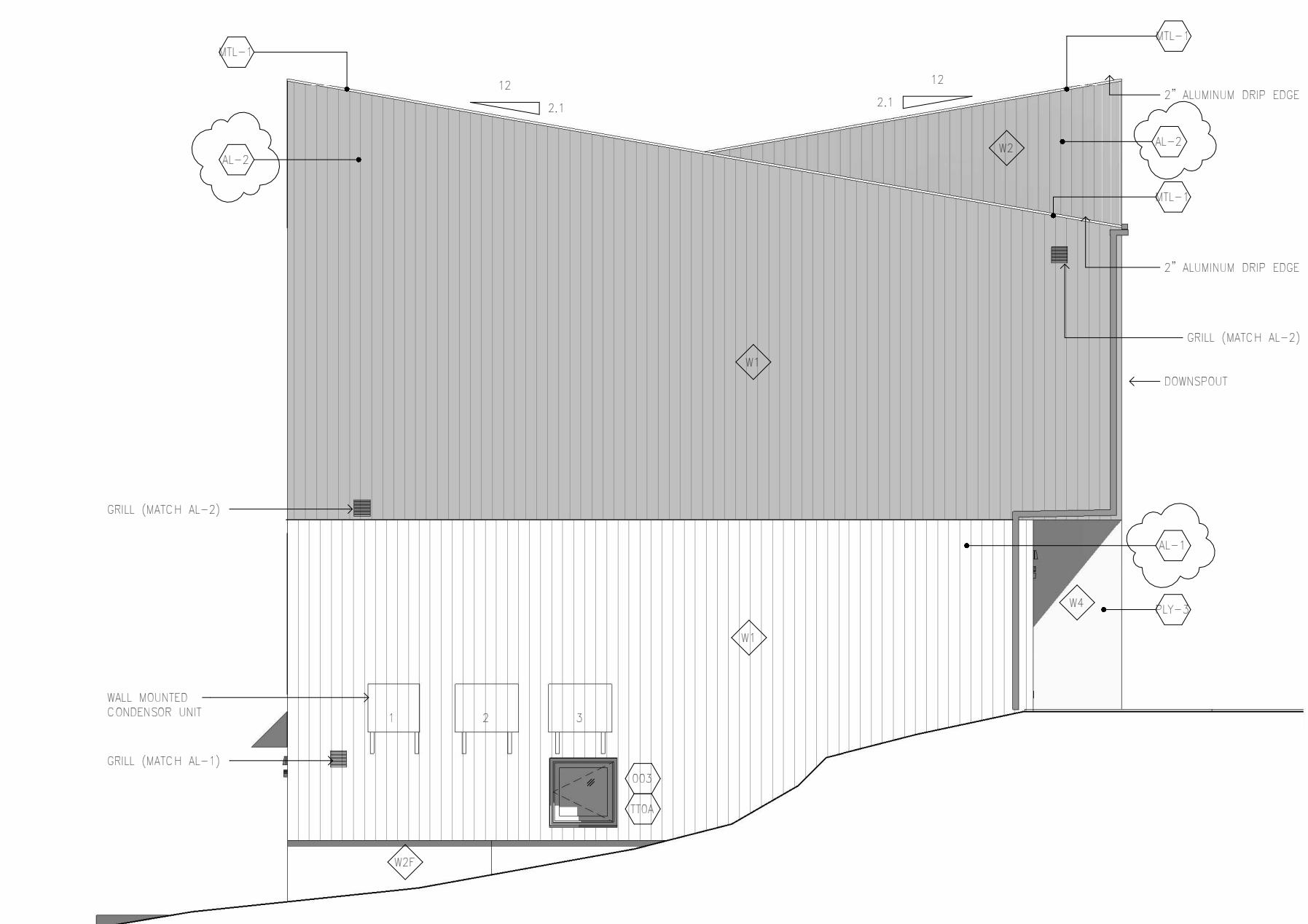
1 BUILDNG TYP B - East  
1 : 75



2 BUILDNG TYP B - North  
1 : 75



4 BUILDNG TYP B - West  
1 : 75



3 BUILDNG TYP B - South  
1 : 75

General Notes	
These contract documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents. Any questions or discussions concerning these drawings, specifications and/or existing conditions shall be brought to the attention of the Architect before proceeding with the work.	
Drawings not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and to report to the Architect any discrepancies. The Architect will provide written/approval or otherwise, indicating what changes, drawings, specifications and/or existing conditions shall be brought to the attention of the Architect before proceeding with the work.	
Positions of equipment, including Mechanical or Electrical devices, fittings and fixtures are indicated on Architectural drawings. Locations shown on Architectural drawings shall govern over Mechanical and Electrical drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect. Dimensions indicated are taken indecisively unless otherwise expressed, as otherwise noted.	
All work to be done in accordance with all provincial and local codes and agencies having jurisdiction. Work not indicated but intended to complete work is understood to be included.	
16 ISSUED FOR TENDER ADDENDUM	25 MAR 27
15 SPA # 3,2	24 FEB 06
13 ISSUED FOR TENDER	23 MAY 23
12 SPA #3,1	22 DEC 06
9 SPA #2	22 AUG 10
7 SPA COORDINATION SET	22 JUN 14
5 SPA	22 FEB 15
4 SPA DRAFT 4	21 OCT 04
3 SPA DRAFT 3	21 JUL 06
2 SPA DRAFT 2	21 JUN 17
1 SPA DRAFT 1	21 MAY 11
No. Description	Date

Project Team:  
**Williamson Williamson Inc.**  
235 Carlaw Avenue, Suite 400  
Toronto, ON M4M 2S1  
(416) 783-9271 www.wwinc.ca



Project Name:

**GULL RIVER HOUSING**  
AFFORDABLE HOUSING  
#35 MINDEN HILLS, ONTARIO

TYP. ELEVATIONS  
BUILDINGS 2-4-6

Project No.: 2010  
Scale: 1 : 75  
Drawn by: JH  
Date: 25 FEB 21

Drawing No.:

**A302**