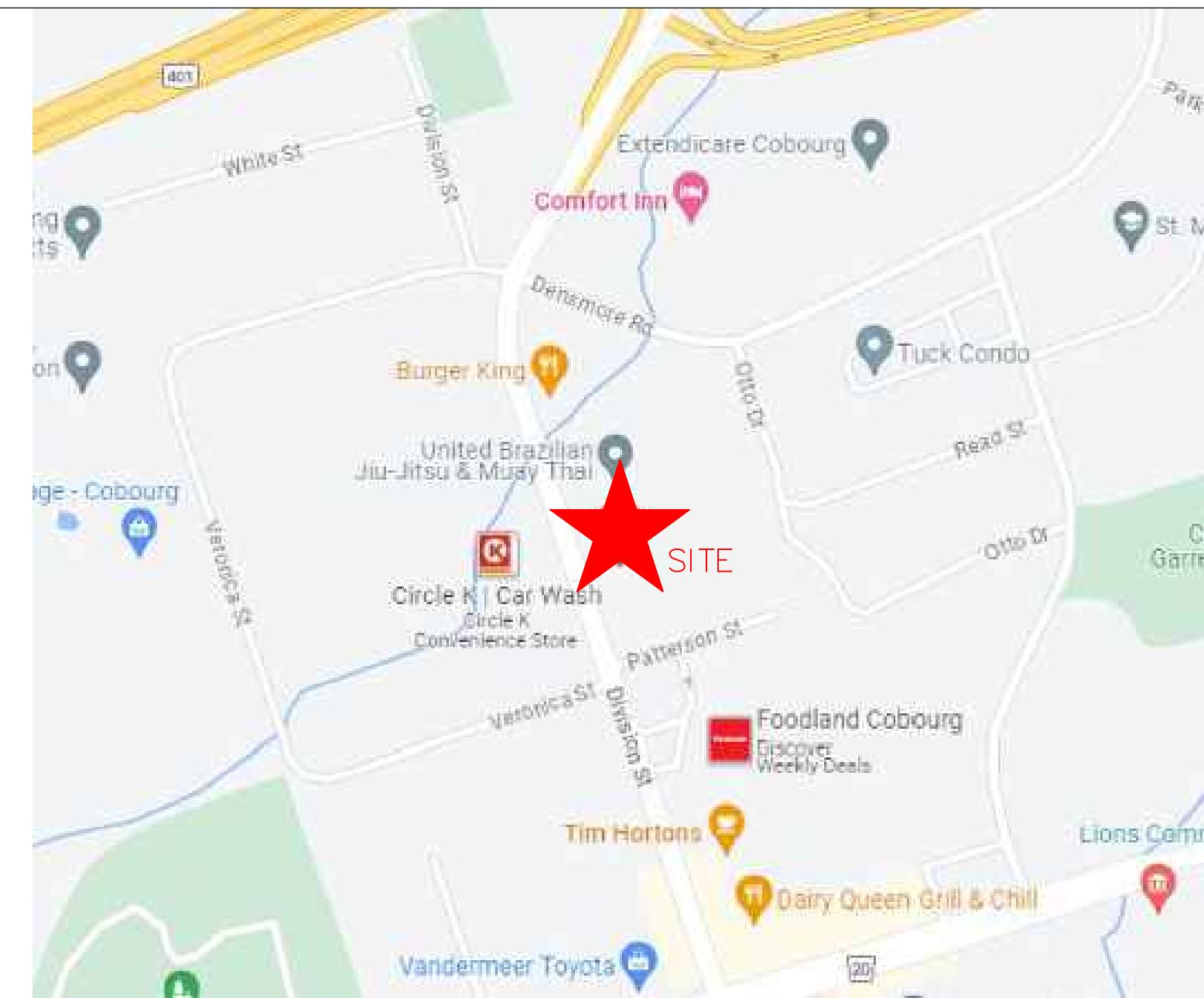


SET NUMBER	
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**1030 DIVISION STREET
NEW STARBUCKS
COBOURG, ONTARIO**



LOCATION PLAN - NTS

1030 DIVISION STREET NEW STARBUCKS

1030 DIVISION STREET
COBOURG, ONTARIO

ALEXANDER WILSON ARCHITECT INC.

ARCHITECT
139 FRONT STREET, UNIT 201
BELLEVILLE, ONTARIO
K8N 2Y6
Phone: 613-545-3744
Fax: 613-545-1411
Email: jordan@awarchitect.ca

Mc NEELY ENGINEERING LTD.

STRUCTURAL
777 JOHNSON ST
KINGSTON, ONTARIO
K7L 2B3
Phone: 613-544-5500
Fax:
Email: scott@meneelyengineering.com

CALLIDUS ENGINEERING

MECHANICAL & ELECTRICAL
1471 JOHN COUNTER BLVD., UNIT 301
KINGSTON, ONTARIO
K7M 8S8
Phone: 613-900-0845
Fax:
Email: info@callidus.ca

WSE CONSULTING INC.

CIVIL
205 DUNDAS ST. E, UNIT 301
BELLEVILLE, ONTARIO
K8N 5A2
Phone: 613-743-7511
Fax:
Email: wseconsulting@outlook.com

ALEXANDER WILSON ARCHITECT INC. Certificate of Practice Number: 3157		The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCDN.																			
Name of Project : Commercial Unit Expansion Proposed Starbucks w/ Drive Thru		Structural information within these drawings has been provided by McNeely Engineering LTD. Alexander Wilson Architect INC. assumes no responsibility or liability for any structural information provided.																			
ITEM	Ontario's 2012 Building Code Data Matrix Parts 3 & 9		OBC Reference																		
ITEM			References are to Division B unless noted [A] for Division A or [C] for Division C.																		
1	Project Description:	<input type="checkbox"/> New <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration	<input type="checkbox"/> Part 11 <input checked="" type="checkbox"/> Part 3 11.1 to 11.4 1.1.2. [A] 9.10.1.3																		
2	Major Occupancy(s)	GROUP A2 - RESTAURANT	3.1.2(1) 9.10.2																		
3	Building Area (m²)	Existing 236.6 New 134.6 Total 371.2	1.4.1.2. [A]																		
4	Gross Area (m²)	Existing 236.6 New 134.6 Total 371.2	1.4.1.2. [A]																		
5	Number of Storeys	Above Grade 1 Below Grade 0	1.4.1.2. [A] & 3.2.1.1 1.4.1.2. [A] 9.10.4. &																		
6	Number of Streets/ Fire Fighting Access	1 STREETS	3.2.2.10 & 3.2.5. 9.10.20																		
7	Building Classification	Group A2, 1 Storeys	3.2.2.28 9.10.2																		
8	Sprinkler System Proposed	<input type="checkbox"/> Entire Building <input type="checkbox"/> Selected compartments <input type="checkbox"/> Selected floor areas <input type="checkbox"/> Basement <input type="checkbox"/> In Lieu of Roof Rating <input checked="" type="checkbox"/> Not Required	3.2.2.28 3.2.2.25 3.2.2.17 INDEX INDEX																		
9	Standpipe Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9 N/A																		
10	Fir Alarm Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.4 9.10.18																		
11	Water Service/Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7. N/A																		
12	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6. N/A																		
13	Construction Restrictions	<input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible <input checked="" type="checkbox"/> Both Actual Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible <input checked="" type="checkbox"/> Both	3.2.2.20-83 9.10.6.																		
14	Mezzanine(s) Area (m²)	N/A	3.2.1.1(3)-(8) 9.10.4.1																		
15	Occupant load based on <input type="checkbox"/> m²/ person	<input checked="" type="checkbox"/> design of building (Starbucks) Occupancy	3.1.17. 3.1.2.6. TBD SEE STARBUCK FIT UP PERMIT SUBMISSION (Additional Floor Areas continued below)																		
16	BARRIER-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain) _____	3.8 9.5.2																		
17	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2. & 3.3.1.19. 9.10.1.3(4)																		
18	Required Fire Resistance Rating (FRR)	<table border="1"><tr><td>Horizontal Assemblies</td><td></td></tr><tr><td>FRR (Hours)</td><td></td></tr><tr><td>Floors</td><td>N/A Hours</td></tr><tr><td>Roof</td><td>N/A Hours</td></tr><tr><td>Mezzanine</td><td>N/A Hours</td></tr><tr><td>FRR of Supporting Members</td><td>Listed Design No. or Description (SB-2)</td></tr><tr><td>Floors</td><td></td></tr><tr><td>Roof</td><td>N/A Hours</td></tr><tr><td>Mezzanine</td><td>N/A Hours</td></tr></table>	Horizontal Assemblies		FRR (Hours)		Floors	N/A Hours	Roof	N/A Hours	Mezzanine	N/A Hours	FRR of Supporting Members	Listed Design No. or Description (SB-2)	Floors		Roof	N/A Hours	Mezzanine	N/A Hours	3.2.2.20.-83 & 3.2.1.4 9.10.8 9.10.9
Horizontal Assemblies																					
FRR (Hours)																					
Floors	N/A Hours																				
Roof	N/A Hours																				
Mezzanine	N/A Hours																				
FRR of Supporting Members	Listed Design No. or Description (SB-2)																				
Floors																					
Roof	N/A Hours																				
Mezzanine	N/A Hours																				
19	Spatial Separation - Construction of Exterior Walls		3.2.3.7 9.10.14																		
	Wall	Area of EBF (m²)	L.D. (m) (ft x ft)	RATIO (%)	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb Const.	Comb. Nonc. Cladding	Non-comb. Const.										
	North	56.7	13.9	< 3:1	100%	59.3%	N/A		N												
	South	29.4	0.8	< 3:1	0	0%	1HR	ULC U301	N	NON-COMB.	Y										
	East	101.7	65.9	3:1-10:1	100%	9.9%	N/A		N												
	West	47.7	20.6	< 3:1	100%	29.6%	N/A		N												
21	Other - Describe																				

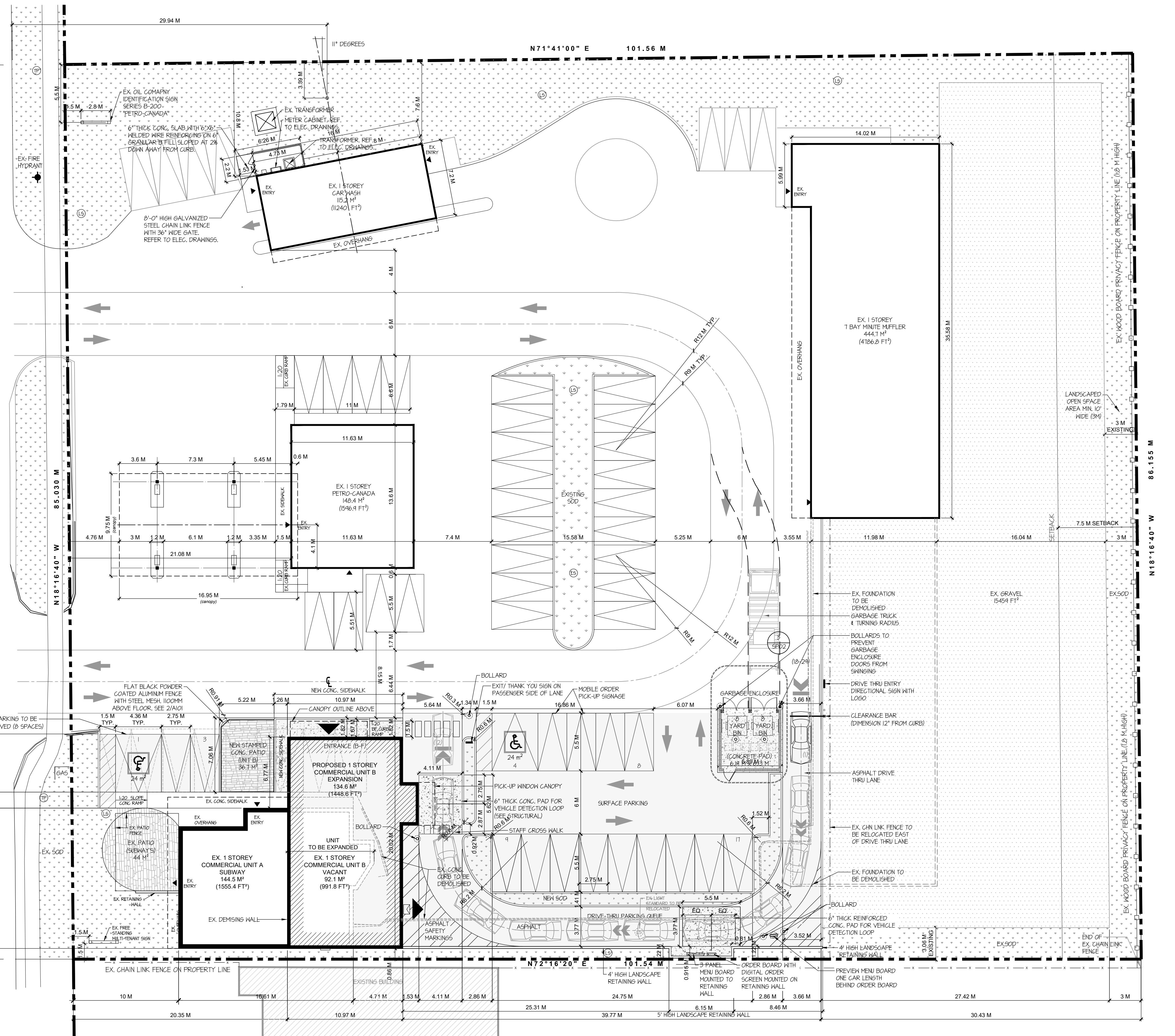
DRAWING LIST

ARCHITECTURAL

- A000 TITLE SHEET
- SP01 SITE PLAN
- SP02 GENERAL NOTES
- A100 FOUNDATION PLAN
- A101 FLOOR PLAN
- A102 ROOF PLAN
- A300 EXTERIOR ELEVATIONS
- A400 BUILDING SECTIONS
- A401 BUILDING DETAILS
- A402 ENLARGED PLAN DETAILS
- A700 ROOF DETAILS
- A900 SCHEDULES

PROJECT NUMBER	2343
ISSUE DATE	NOV 2023

DIVISION STREET



1 SITE PLAN
SP01 SCALE: 1:200

GENERAL LIGHTING NOTE					
1. ALL ARCHITECTURAL LIGHT, OUTDOOR LIGHTING FIXTURES, AND BUILDING LIGHTS SHALL BE MOUNTED SUCH THAT THE LIGHT IS AIMED DOWN. THERE SHALL BE NO LIGHT POLLUTION EMANATING FROM THE FIXTURE IN ACCORDANCE WITH THE FULL CUT-OFF DESIGN. (SEE PHOTOMETRIC STUDY)					
Project No. 2343 Starbucks Cobourg Address 1030 Division Street, Cobourg, ON Current Zoning District Commercial Proposed Zoning District Commercial Current Use Commercial Proposed Use Commercial - Proposed new one storey commercial addition to existing building #85-2003					
Permitted Use 14.1.1 Bakery Retail Outlet Permitted/Required Use Bakery Retail Outlet Proposed Use Bakery Retail Outlet Complies ✓					
Lot Area 14.1.5 Min. = 140 m² (7,965 ft²) Total 8,693 m² (93,578 ft²) (Existing)					
Lot Frontage 14.1.6 Min. = 25 m (80 ft) Total 57.49 m (Existing)					
Lot Coverage 14.1.7 Max. = 30% (building area/lot area) Existing = 7,744 ft² New = 8,613 ft² Total = 10,153 ft² Total Lot Coverage 10,153 ft² / 93,578 ft² *100 = 10.83%					
Building Area N/A N/A Expansion = 134.6 m² (1448.6 ft²) N/A					
Front Yard Setback 14.1.8 Min. = 3 m 10 m (existing commercial bldg) Rear Yard Setback 14.1.9 Min. = 7.5 m 6.8 m					
Interior Side Yard Setback (N) 14.1.10 0.0 m access provided to rear yard does not abut residential or development zone					
Interior Side Yard Setback (S) 8.4.10 0.0 m access provided to rear yard and interior side yard does not abut residential or development zone					
Landscaped Open Space - Percentage of Lot 14.1.12 Min. = 15% @ 86,613 ft² = 12,991 ft² 15.2% (14,264.5 ft² / 93,578 ft²)					
Landscaped Open Space - Lot Line Buffer 14.1.12 Min. Width = 3 m along residential or development zone lot line (Rear Yard)					
Building Height 14.1.13 Max. = 4 stories 1 storey					
Max. Floor Space Index 14.1.14 1.0 times = 86,613 ft² 10,156 ft² total (2,440 ft² expansion)					
Refuse and recycling enclosures 14.1.16 Located only in rear yard, as per site plan Construction: Slat wood staining to match exterior siding of proposed building. Height: 1.8 m high					
Number of Parking Spaces 6.1.1.i Located only in rear yard Eating establishments • 1 space / 9 m² • 134.6 m² (Expansion) Proposed • 1 space / use • 1 surface parking • 12 drive-thru queue Total = +15 spaces Total = +21 spaces (net)					
Number of Accessible Parking Spaces 6.1.1.v Uses with less than 20 parking spaces • 1 in front of Subway • 1 space / use • 1 use (Establishment) Proposed • 1 in front of Subway • 1 surface parking Total = 1 space Total = +1 space (net)					
Parking Space Size 6.1.4.i Min. Width = 2.7 m (9 ft) Min. Depth = 5.5 m (18 ft) 2.75 m x 5.5 m					
Driving Aisle 6.1.4.ii Min. = 6 m (20 ft) 6 m					
Accessible Parking Space Size 6.1.4.iii Min. Area = 24 m² (258 ft²) Min. Width = 4 m (13 ft) 24 m² (6.36 m wide x 5.5 m deep)					
Location 6.1.5 Parking Spaces shall be located on same lot they serve Non-contiguous development with combined ingress or egress for two-way traffic min. 6m width, max. 9m General 6.1.6.3 i) min. angle of intersection between driveway and street line is 90 degrees ii) min. distance between two separate driveways in one lot, measured along the street line is 22.2 m (Existing) iii) No driveway shall be closer than 1.0m to side lot line 1.2 m					
Number of loading spaces 6.2.1 Total gross floor area of 0- spaces 1 space 2,350 m² = min. 1 space Width of loading space 6.2.1 Min. = 4.5 m 4.5 m					

DO NOT SCALE DRAWINGS
CHECK AND VERIFY ALL DIMENSIONS BEFORE
PROCEEDING WITH THE WORK.
DRAWINGS NOT TO BE USED FOR CONSTRUCTION
UNLESS STAMPED AND SIGNED BY THE CONSULTANT.
THESE DRAWINGS HAVE BEEN DESIGNED IN
CONFORMANCE WITH THE ONTARIO BUILDING CODE.

Revisions and Issues	
REV. 1	DATE 2024/03/20
REV. 2	DATE 2024/10/24
REV. 3	DATE 2024/11/13

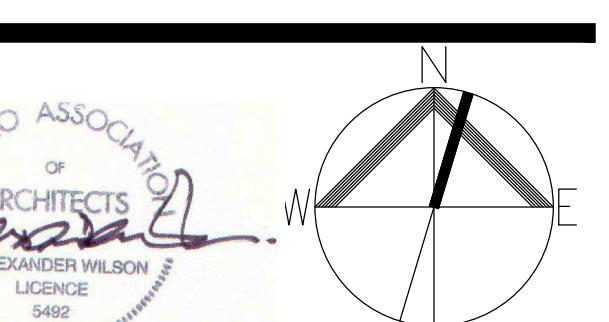
LEGEND	
[Symbol: White square]	[Text] [NEW / SUBJECT OF PROPOSAL]
[Symbol: Triangle pointing up]	[Text] EXIT / ENTRANCE
[Symbol: Circle with 'L']	[Text] LIGHTING STANDARD
[Symbol: Telephone pole icon]	[Text] TELEPHONE POLE
[Symbol: Gas pipe icon]	[Text] GAS
[Symbol: Fire hydrant icon]	[Text] FIRE HYDRANT
[Symbol: Surface parking space icon]	[Text] SURFACE PARKING SPACE
[Symbol: Traffic flow arrow icon]	[Text] TRAFFIC FLOW
[Symbol: Sod icon]	[Text] SOD
[Symbol: Gravel icon]	[Text] GRAVEL
[Symbol: Concrete icon]	[Text] CONCRETE
[Symbol: LED light fixture icon]	[Text] LED FULL CUT-OFF WALL PACK LIGHT
[Symbol: Dashed line]	[Text] LOT BOUNDARY / PROPERTY LINES
[Symbol: Fire route line icon]	[Text] FIRE ROUTE

CAUTION: THE LOCATION OF ALL EXISTING SERVICES AND UTILITIES IS APPROXIMATE ONLY, AND THE EXACT LOCATION SHOULD BE DETERMINED BY CONSULTING THE MUNICIPALITY AND UTILITIES PROVIDER. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LOCATION AND STATUS OF THESE SERVICES AND UTILITIES AND SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION.

1. ALL LANDSCAPED PORTIONS OF THE SITE TO BE FINISHED WITH 100mm TOPSOIL & SEED
2. ALL SCALES TO BE COMPLETED WITH 100mm TOPSOIL AND 2 ROWS OF SOD IN THE BOTTOM
3. ALL DISTURBED PORTIONS OF THE BOULEVARD TO BE RESTORED TO PROPERTY LIMITS WITH 100mm TOPSOIL AND SOD.

NOTE:
SITE GRADING TO BE COMPLETED TO ENSURE
POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
SURPLUS MATERIAL TO BE REMOVED FROM SITE.
ALL DISTURBED AREAS ARE TO BE REINSTATED.

Alexander Wilson
Architect Inc
Admiralty Place
103-20 Gore Street
Kingston, ON K7L 2L1
T: 613-545-3744
F: 613-545-1411



NEW STARBUCKS COBOURG

1030 Division Street
Cobourg, Ontario
Drawing

SITE PLAN

Drawn By	Checked By
CS	JMJ
Scale 1:200	Date NOV 2023
Project No. 2343	Revision 4
Drawing No. SP01	1:1

DO NOT SCALE DRAWINGS
CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK.
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THESE DRAWINGS HAVE BEEN DESIGNED IN CONFORMANCE WITH THE ONTARIO BUILDING CODE.

Revisions and Issues		
REV.	DATE	DESCRIPTION
1	2024/03/20	ISSUED FOR REVIEW
2	2024/10/10	ISSUED FOR REVIEW
3	2024/11/13	ISSUED FOR BUILDING PERMIT
4		

OFFSITE CONSTRUCTION NOTES:

1. THE OWNER COVENANTS AND AGREES NOT TO MAKE A MATERIAL CHANGE OR CAUSE A MATERIAL CHANGE TO BE MADE TO A PLAN, SPECIFICATION, DOCUMENT OR OTHER INFORMATION, ON THE BASIS OF WHICH THESE DRAWINGS WERE APPROVED BY THE CITY, WITHOUT NOTIFYING, FILING DETAILS WITH AND OBTAINING THE WRITTEN AUTHORIZATION OF THE CITY.

2. ALL UNDERGROUND AND ABOVE GROUND WORK IS TO BE DONE IN ACCORDANCE WITH CURRENT CITY PLANS, STANDARDS AND SPECIFICATIONS INCLUDING THE FOLLOWING:

CONCRETE SIDEWALK OPSD - 310.010

- EXCEPT a) DELETE THE FIRST SENTENCE IN "NOTE 1"
- b) COMPLETE "NOTE 2"
- c) 50mm OF GRANULAR FILL TO BE PLACED UNDER THE SIDEWALK
- d) CROSSFALL SLOPE ON THE SIDEWALK IS TO BE 2% OR AS DIRECTED BY THE CITY ENGINEER.

CONCRETE SIDEWALK RAMP AT INTERSECTION OPSD - 310.030

DEPRESSED CURB AND GUTTER AT SIDEWALK RAMPS

CONCRETE HEADER

CONCRETE BARRIER CURB WITH WIDE GUTTER

CONCRETE CURB WITH STANDARD GUTTER FOR FLEXIBLE PAVEMENT - MOUNTABLE CURB, DROP BASE OF CURB 75mm, WITH NO ADDITIONAL DROP AT ENTRANCES

PIPE PROTECTION AGAINST HEAVY CONSTRUCTION EQUIPMENT

PRECAST CONCRETE MAINTENANCE HOLE 1200mm DIAMETER - EXCEPT USE PRECAST MONOLITHIC BASE ONLY

PRECAST CONCRETE MAINTENANCE HOLE 1500mm DIAMETER - EXCEPT USE PRECAST MONOLITHIC BASE ONLY

PRECAST CONCRETE MAINTENANCE HOLE 1800mm DIAMETER

CAST IRON, SQUARE FRAME WITH CIRCULAR CLOSED OR OPEN COVER FOR MAINTENANCE HOLES - EXCEPT DELETE "TYPE 'B' OPEN COVER"

MAINTENANCE HOLE STEPS, HOLLOW - EXCEPT DELETE "RECTANGULAR STAINLESS STEEL" STEP DETAILS

MAINTENANCE HOLE BENCHING AND PIPE OPENING DETAIL - EXCEPT ON THE SECTION DETAIL, THE BENCHING IS TO BE CONSTRUCTED TO THE DEPTH OF THE PIPE, i.e. MAX.

CAST IN PLACE MAINTENANCE HOLE DROP STRUCTURE TEE - EXCEPT THE INVERT OF THE INLET END OF THE 90° BEND IS TO BE PLACED AT THE "SPRING LINE" OF THE MAIN SEWER PIPE.

ALUMINUM SAFETY PLATFORM FOR CIRCULAR MAINTENANCE HOLE

PRECAST CONCRETE ADJUSTMENT UNITS FOR MAINTENANCE HOLES, CATCH BASINS AND VALVE CHAMBERS

HIGH DENSITY POLYETHYLENE ADJUSTMENT UNITS FOR MAINTENANCE HOLES, CATCH BASINS AND VALVE CHAMBERS

PRECAST CONCRETE CATCH BASIN, 600 x 600mm

PRECAST CONCRETE TWIN INLET CATCH BASIN, 600 x 1450mm

PRECAST CONCRETE DITCH INLET, 600 x 1200mm

GALVANIZED STEEL, HONEY COMB GRATING FOR DITCH INLET

CAST IRON, SQUARE FRAME WITH SQUARE OVERFLOW TYPE DISHED GRATE FOR DITCH BASINS, HERING BONE OPENINGS

CATCH BASIN CONNECTION FOR RIGID MAIN PIPE SEWER

CATCH BASIN CONNECTION FOR FLEXIBLE MAIN PIPE SEWER

SUPPORT FOR PIPE AT CATCH BASIN OR MAINTENANCE HOLE

LIGHT DUTY SILT FENCE BARRIER

HEAVY DUTY SILT FENCE BARRIER

URBAN LOCAL ROAD, 20M RIGHT OF WAY STANDARD UTILITY LOCATIONS

STANDARD RESIDENTIAL ROAD (SUBDIVISIONS)

RIGID PIPE BEDDING, COVER AND BACKFILL

- EXCEPT a) USE CLASS B "BEDDING" DETAIL ONLY FOR ALL PIPE BEDDING, DELETE "CLASS C - BEDDING" DETAIL
- b) THE "GRANULAR BEDDING MATERIAL" IS TO BE GRANULAR "A" CRUSHED MATERIAL
- c) "COVER" IS TO BE SAND FILL
- d) DELETE "150mm" FROM "NOTE 1" AND INSERT 225mm FOR THE MINIMUM DEPTH BEDDING DEPTH
- e) FOR A "WET TRENCH" CONDITION AS DETERMINED BY THE CITY OF GANANOQUE
- f) THE "GRANULAR BEDDING MATERIAL" IS TO BE AN "HLL8 COURSE" GRADATION, CRUSHED LIMESTONE MATERIAL AND
- ii) THE "COVER MATERIAL" IS TO BE LIMESTONE SCREENINGS OR GRANULAR "A" CRUSHED MATERIAL

SEWER SERVICE CONNECTIONS FOR RIGID MAIN PIPE SEWER

- EXCEPT

- a) FACTORY MADE TEES OR WYES ARE NOT REQUIRED FOR SANITARY SERVICE CONNECTIONS TO THE MAIN SEWER UNLESS SPECIFIED
- b) THE "MARKER" AT THE PROPERTY LINE IS TO BE A 2x4 BOARD EXTENDING FROM THE INVERT OF THE LATERAL TO 600mm ABOVE THE GROUND SURFACE, AND THE SECTION OF THE BOARD ABOVE THE GROUND IS TO BE PAINTED SEWER GREEN
- c) THE BEDDING AND COVER MATERIALS ARE TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH OPSD-802.030, RIGID PIPE BEDDING, COVER AND BACKFILL AS REVISIED BY THE CITY OF GANANOQUE'S SPECIAL PROVISIONS

TURNING BASIN FOR TERMINATED URBAN ROADWAYS

- EXCEPT a) DELETE "RESIDENTIAL ROAD" DETAIL (WITH 15m RADIUS)

b) DELETE "ISLAND" FROM THE "RESIDENTIAL ROAD" DETAIL (WITH 19m RADIUS)

TYPICAL 90° CRESCENT

CONCRETE HEADWALL FOR PIPE LESS THAN 900mm DIAMETER

GRATING FOR CONCRETE HEADWALL

CHAIN LINK FENCING - EXCEPT THEY ARE TO HAVE A TOP RAIL

b) 40mm X 10mm MESH WITH KNUCKLES UP AND BARBS DOWN

3. THE CONTRACTOR IS REQUIRED TO OBTAIN A ROAD CUT PERMIT FROM THE CITY OF GANANOQUE BEFORE COMMENCING ANY WORK ON EXISTING CITY ROAD ALLOWANCES.

4. ALL PVC PIPE, INCLUDING RIBBED PVC PIPE 320 kPa, IS TO HAVE A MINIMUM COVER OF 0.8m

5. WHEREVER THE COVER OVER A SANITARY OR STORM SEWER IS 1.5m OR LESS, IT IS TO BE INSULATED WITH 50mm THICK X 1.2m WIDE INSULATION PLACES IN TWO (2) LAYERS WITH STAGGERED JOINTS, AND TO BE STYROFOAM BRAND H.I. TYPE IV

6. ALL SANITARY SEWERS, STORM SEWERS AND WATERMANS CONSTRUCTED ON PRIVATE PROPERTY ARE TO BE DONE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE

7. SURFACE FLOW FREE OF ALL UPSETS, OBSTRUCTIONS AND OTHER FOREIGN MATTER IS TO BE PLACED AT THE BACK OF THE CURB, AND ALONG BOTH SIDES OF SIDEWALKS WITHIN 72 HOURS OF THE PLACEMENT OF THE CONCRETE. THIS BACKFILL IS TO BE LEVEL WITH THE TOP OF THE CURB AND THE SIDEWALK FOR A DISTANCE OF 0.3m AND THEN GRADED TO EXISTING GROUND AT A MAXIMUM 3:1 SLOPE. BEFORE THE ACCEPTANCE OF THE CONSTRUCTION, THE CONTRACTOR IS TO REMOVE ALL THE EXCESS BACKFILL AND THE DITCH, THE ROAD SHOULDER OR CURB SHALL BE BACKFILLED AND GRADED AS REQUIRED FOR DRAINAGE.

8. EXISTING SIDEWALKS ALONG THE CURB THAT ARE DISTURBED ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION AT THE OWNER'S EXPENSE. NEW SIDEWALKS ARE TO BE CONSTRUCTED AS SHOWN ON THE PLANS.

9. CHAIN LINK FENCES ARE TO BE 1.5 METRES HIGH, UNLESS OTHERWISE STATED ON THE DRAWINGS, AND CONSTRUCTED IN ACCORDANCE WITH O.P.S.D. 972.130, EXCEPT THEY ARE TO HAVE A TOP RAIL AND 40mm X 10mm MESH WITH KNUCKLES UP AND BARBS DOWN.

10. SEDIMENT CONTROL TO BE PROVIDED AT CATCH BASINS AS DIRECTED BY THE CITY ENGINEER

11. A MINIMUM OF 75mm OF TOPSOIL IS TO BE USED FOR ALL TOPSOIL AND SOIL INSTALLATION ON PRIVATE AND PARK LANDS.

12. IN A LOCATION WHERE TWO OR MORE CATCHBASINS ARE CONNECTED TO EACH OTHER THE FOLLOWING CRITERIA APPLIES:

THE CATCHBASIN THAT IS CONNECTED TO THE OUTLET IS TO HAVE A MINIMUM DIAMETER OF 300mm, WHILE THE REMAINDER OF THE DOWNSTREAM OUTLET PIPES TO HAVE A MINIMUM DIAMETER OF 375mm. IF THE MOST UPSTREAM CATCHBASIN IS A DOUBLE CATCHBASIN, THE OUTLET PIPE FROM THIS CATCHBASIN IS TO HAVE A MINIMUM DIAMETER OF 375mm ALONG WITH THE REST OF THE DOWNSTREAM OUTLET PIPES.

13. IF AT ALL POSSIBLE THE MINIMUM GRADE FOR SWALES IS TO BE 1%. IF THIS GRADE IS NOT POSSIBLE A SUBGRADE, WHICH IS CONNECTED TO THE OUTLET CATCHBASIN, CAN BE PUT IN UNDER THE SWALE AND THEN THE SWALE CAN HAVE A GRADE

- 14. EXISTING SANITARY MANHOLES TO BE RAISED WITH MANHOLE TO ADJUSTMENT UNITS. HOWEVER, IF THE DISTANCE FROM THE PROPOSED TOP OF GRATE TO THE EXISTING FIRST STEP IS GREATER THAN 0.76m THEN THE EXISTING SANITARY MANHOLE TO BE RAISED IS TO BE BROKEN DOWN TO THE BOTTOM OF THE FIRST STEP AND A NEW SECTION IS TO BE CAST IN PLACE C/W LADDER RUNGS IN ACCORDANCE WITH CITY DRAWING SPEC. M-1-A (TYPICAL). NEW TOP STEP TO BE PROVIDED ABOVE EXISTING STEPS IF REQUIRED BY THE CITY.
- 15. DRIVEWAY LOCATIONS ARE TO BE NO CLOSER THAN 1.2 METRES FROM POLES, MANHOLES, TRANSFORMERS, SECONDARY PEDESTALS, HYDRANTS AND CUB STOP.
- 16. ALL CURB AT INTERSECTIONS SHOULD BE DEPRESSED WHERE THEY INTERSECT SIDEWALKS. SIDEWALK RAMPS AT INTERSECTIONS TO BE CONSTRUCTED IN ACCORDANCE WITH CITY OF GANANOQUE STANDARDS.
- 17. WELLS ARE TO BE DECOMMISSIONED BY A LICENSED WELL TECHNICIAN IN ACCORDANCE WITH ONTARIO REGULATION 372/07, s.20.

ON-SITE NOTES:

Notwithstanding the following General Notes, underground and above-ground work is to be done in accordance with current City plans, standards and specifications.

- (a) THE OWNER COVENANTS AND AGREES NOT TO MAKE A MATERIAL CHANGE OR CAUSE A MATERIAL CHANGE TO BE MADE TO A PLAN, SPECIFICATION DOCUMENT OR OTHER INFORMATION, ON THE BASIS OF WHICH THIS DRAWING WAS APPROVED BY THE WRITTEN AUTHORIZATION OF THE CITY.
- (b) ALL SANITARY SEWER, STORM SEWER AND WATERMAN ON PRIVATE PROPERTY IS TO BE DONE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
- (c) NO BLASTING IS PERMITTED IN THE PROPERTY LINE OR WITHIN THE SITE.
- (d) THE CONTRACTOR IS TO PROVIDE THE CITY OF GANANOQUE WITH THE PROPERTY LINE AND THE PUBLIC WORKS YARD IS TO BE CALLED TO ROD THE LATERAL TO THE MAIN SEWER AND APPROVE OF ITS USE BEFORE THE CONNECTION IS PLACED TO THE PUBLIC WORKS YARD.
- (e) EXISTING SERVICES, WHICH ARE NOT TO BE USED, SHALL BE CAPPED OFF WITH A MECHANICAL CAP AT THE PROPERTY LINE TO PREVENT INFILTRATION INTO THE MAIN SEWER.
- (f) THE REINSTATEMENT OF SIDEWALKS, CONCRETE CURBS AND GUTTERS, AND LANDSCAPING ON THE PUBLIC ROAD ALLOWANCE IS TO BE DONE BY THE OWNER AT THE OWNER'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE CITY'S DIRECTOR OF ENVIRONMENTAL AND OPERATIONAL SERVICES.

THE REINSTATEMENT OF ASPHALT ROADWAYS ON THE CITY ROAD ALLOWANCE IS TO BE DONE BY THE CITY OF GANANOQUE AT THE OWNER'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE CITY'S DIRECTOR OF ENVIRONMENTAL AND OPERATIONAL SERVICES.

- (g) EXISTING DRIVEWAYS, WHICH ARE NOT TO BE USED, ARE TO BE REMOVED. ANY CURB CUTS, WHICH ARE TO BE REPLACED, ARE TO BE CONSTRUCTED OF FULL HEIGHT CURB AND GUTTER TO CITY STANDARDS.
- (h) EXISTING SIDEWALKS ALONG THE ROAD WHICH ARE DISTURBED ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION.
- (i) THE TOP OF CURBS ABUTTING CITY SIDEWALKS SHALL BE KEPT LEVEL WITH THE SIDEWALK FOR A DISTANCE OF 0.3 METRES FROM THE SIDEWALK.
- (j) THE PROPERTY IS TO BE GRADED SO THAT SURFACE DRAINAGE IS DIRECTED AWAY FROM THE BUILDINGS.
- (k) ALL TOPOGRAPHICAL AND OTHER LANDSCAPING FEATURES, BOTH EXISTING AND PROPOSED, ARE TO BE KEPT A MINIMUM OF 1 METRE CLEAR OF CENTERLINE OF SWALES.

(l) THE OWNER AND / OR CONTRACTOR IS REQUIRED TO OBTAIN A ROAD CUT PERMIT FROM THE CITY OF GANANOQUE BEFORE COMMENCING ANY WORK ON THE CITY ROAD ALLOWANCE.

(m) THE NEW DRIVEWAY SHALL BE CONSTRUCTED SO THAT IT DOES NOT BLOCK THE DRAINAGE IN THE GUTTER OR ALONG THE EDGE OF THE ROAD.

(n) BEFORE THE CULVERT IS INSTALLED AND/OR EXTENDED IN A DRIVEWAY, THE OWNER WILL SIGN A CITY WORK ORDER

or if a cleanup needed

- (o) BEFORE THE CULVERT IS EXTENDED AND THE CLEANOUT IS INSTALLED IN THE PORTION OF THE DRIVEWAY ON THE ROAD ALLOWANCE, THE OWNER WILL SIGN A CITY WORK ORDER FOR THE INSTALLATION BY THE CITY OF THE CULVERT AND THE CLEANOUT, AND THE CONTRACTOR IS TO PROVIDE THE CITY WITH A COPY OF THE WORK ORDER.
- (p) THE DEPTH OF COVER OVER THE PROPOSED SANITARY BUILDING SEWER AND STORM SEWER SHOULD BE CHECKED, WHEREVER THE COVER IS 1.5 m OR LESS, IT IS TO BE INSULATED WITH 100 mm THICK X 1.2 m WIDE INSULATION PLACED IN TWO (2) LAYERED STAGGERED JOINTS TO BE STATED ON THE TYPE DRAWING.

(q) REPAIR EXISTING MAINTENANCE HOLES AS DIRECTED BY THE DIRECTOR OF ENVIRONMENTAL & OPERATIONAL SERVICES.

(r) STORM AND SANITARY SEWER MANS ARE TO BE FIELD TESTED AFTER CONSTRUCTION IN ACCORDANCE WITH OPSD 410 AND THE METHOD OF TESTING SHALL BE APPROVED BY THE CITY.

(s) THE CONTRACTOR SHALL SIGN ALL REQUIRED SHOP DRAWINGS AND OTHER SUBMITTALS IN ACCORDANCE WITH THE RESPECTIVE CITY OF GANANOQUE STANDARD SPECIFICATION PRIOR TO COMMENCING CONSTRUCTION.

WATER MAIN NOTES:

1. NOTWITHSTANDING THE FOLLOWING GENERAL NOTES, ALL WATERMAIN PIPE AND FITTINGS, VALVES, HYDRANTS, WATER SERVICES

AND ALL OTHER APPURTENANCES ARE TO BE INSTALLED IN ACCORDANCE WITH THEIR RESPECTIVE SPECIFICATION IN THE CURRENT CITY OF GANANOQUE MATERIAL OR STANDARD SPECIFICATION.

2. THESE NOTES ARE TO BE USED IN CONJUNCTION WITH THE CITY OF GANANOQUE STANDARD SPECIFICATIONS, WHICH REQUIREMENTS, HOWEVER, THE CONTRACTOR IS TO CONSULT THE RESPECTIVE CITY STANDARD SPECIFICATIONS FOR FURTHER DETAIL, AND NOT RELY SOLELY ON THESE NOTES.

3. UNLESS SPECIFIED OTHERWISE, ALL REFERENCES TO THE CITY OF GANANOQUE STANDARD SPECIFICATIONS, STANDARD DRAWINGS OR INDUSTRY STANDARDS REFER TO THE LATEST EDITION.

4. WATER SERVICE MATERIALS, INCLUDING PIPES, FITTINGS, VALVES AND CONNECTIONS, ARE TO BE AS SPECIFIED IN CITY OF GANANOQUE STANDARD SPECIFICATION.

5. THE COVER FOR ALL WATER SERVICES IS TO BE A MINIMUM OF 1.8 METERS AT ALL LOCATIONS ALONG THE SERVICE INCLUDING THE BOTTOM OF DITCHES.

6. WHERE A WATER SERVICE CROSSES OVER OR UNDER A SANITARY SEWER OR STORM SEWER (INCLUDING LATERALS AND CATCH BASIN LEADS), A MINIMUM CLEAR SEPARATION OF 0.5 METERS MUST BE MAINTAINED, MEASURED FROM PIPE WALL TO PIPE WALL.

7. WHERE A WATER SERVICE CROSSES OVER OR UNDER OTHER UTILITIES, 0.30 METERS CLEARANCE SHALL BE PROVIDED, PROVIDED PROPER BEDDING CAN BE MAINTAINED.

8. NO WATER SERVICES SHALL HAVE A CAPACITY THAT IS LESS THAN THE PEAK DEMAND FLOW.

9. THE INTERRUPTION OF THE WATER SUPPLY TO CUSTOMERS SHALL ONLY BE EFFECTED IN ACCORDANCE WITH CITY OF GANANOQUE STANDARD SPECIFICATION.

10. ANY EXISTING WATER SERVICES TO THE SITE THAT ARE NOT REQUIRED ARE TO BE DISCONNECTED AT THE MAIN IN ACCORDANCE WITH CITY OF GANANOQUE STANDARD SPECIFICATION.

11. THE CONTRACTOR SHALL SIGN ALL REQUIRED SHOP DRAWINGS AND OTHER SUBMITTALS IN ACCORDANCE WITH THE RESPECTIVE CITY OF GANANOQUE STANDARD SPECIFICATION PRIOR TO COMMENCING CONSTRUCTION.

WATER SERVICES 50mm IN DIAMETER OR LESS

12. WATER SERVICES ARE TO BE A MINIMUM DIAMETER OF 19mm

13. THE MINIMUM HORIZONTAL CLEAR SEPARATION BETWEEN THE WATER SERVICE AND ANY SEWER LATERAL IS 0.6 METERS, MEASURED FROM THE WALL TO PIPE WALL.

14. JOINT RESTRAINTS ARE TO BE PROVIDED IN ACCORDANCE WITH CITY OF GANANOQUE STANDARD SPECIFICATION.

15. FLOW CONTROL VALVES ARE TO BE PROVIDED ON THE WATER SERVICE IN ACCORDANCE WITH 150mm FROM THE PROPERTY LINE.

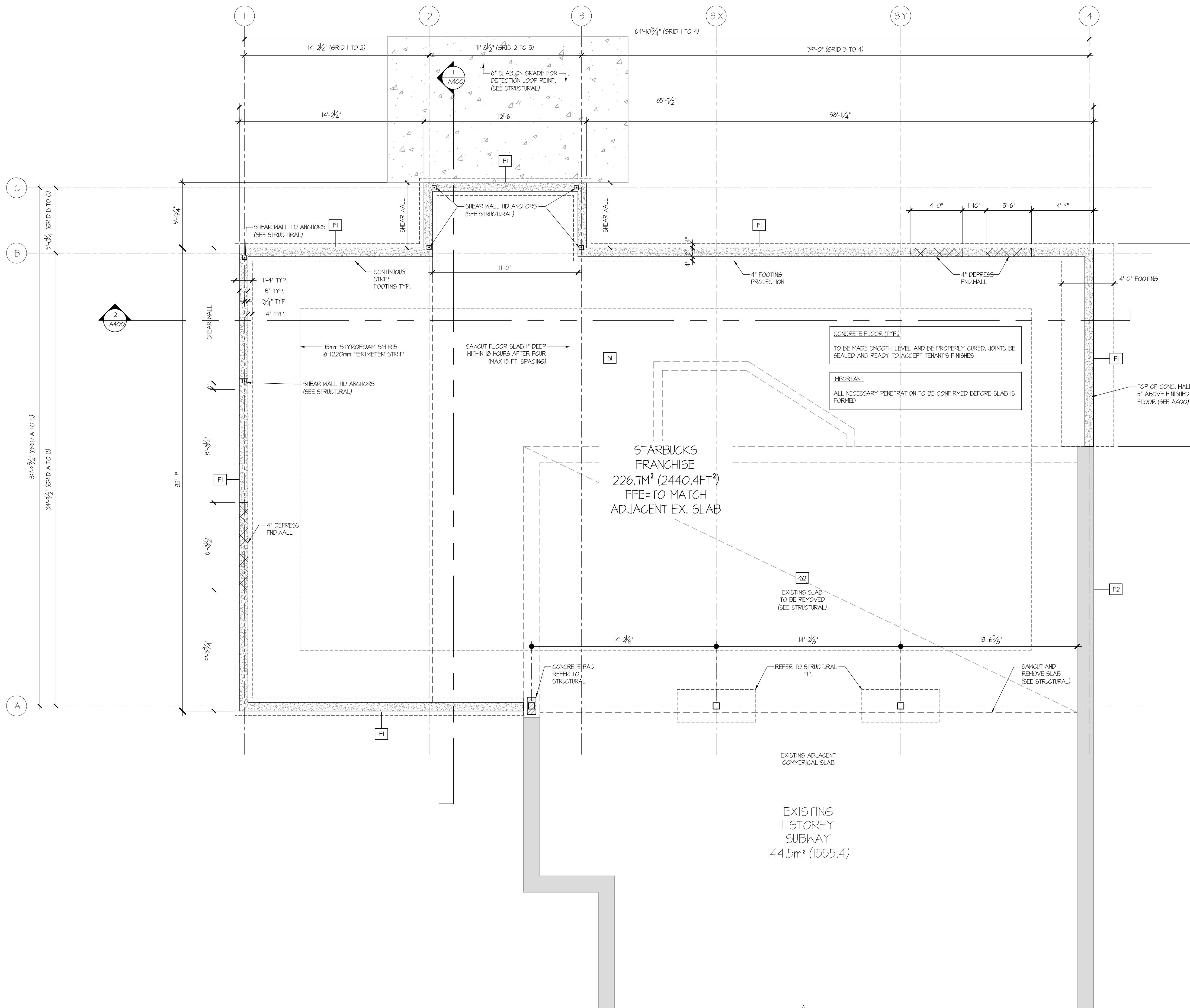
20. FLOW CONTROL VALVES ARE TO BE LOCATED IN DRIVEWAYS OR PARKING LOTS.

21.

DO NOT SCALE DRAWINGS
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Revisions and Issues		
REV.	DATE	DESCRIPTION
1	2024/03/20	ISSUED FOR REVIEW
2	2024/10/10	ISSUED FOR REVIEW
3	2024/10/24	ISSUED FOR COORDINATION
4	2024/11/13	ISSUED FOR BUILDING PERMIT

LEGEND			
EXISTING	NEW	DEMO	DEPRESSED FDN. WALL



FOUNDATION ASSEMBLIES

F1 TYP. PERIMETER FOUNDATION WALL ASSEMBLY
- 8" THICK CONCRETE BLOCK FNDTN. WALL
- 75 mm CONT. INSUL. OVER CONCR. BLOCK FOUNDATION WALL (R15)
- PARGING

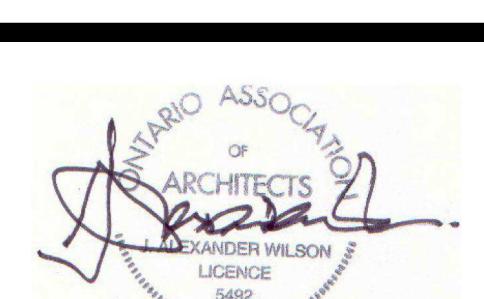
*IMPORTANT
TENANT TO SUPPLY ALL NECESSARY FLOOR PENETRATIONS

F2 EXISTING FOUNDATION WALL ASSEMBLY
- SITE CONFIRM

S1 SLAB ON GRADE
- REFER STRUCTURAL DWGS.

S2 EXISTING SLAB
- SITE CONFIRM

Alexander Wilson
Architect Inc
Admiralty Place
103-20 Gore Street
Kingston, ON K7L 2L1
T: 613-545-3744
F: 613-545-1411

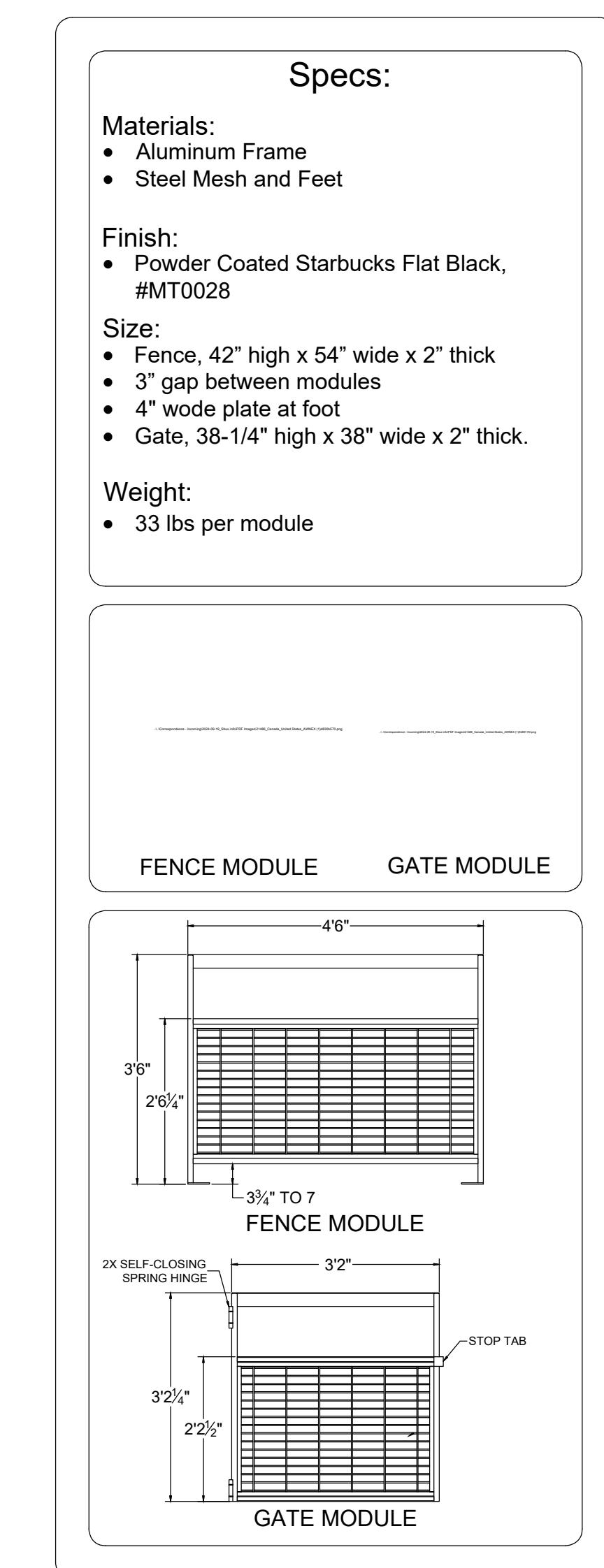
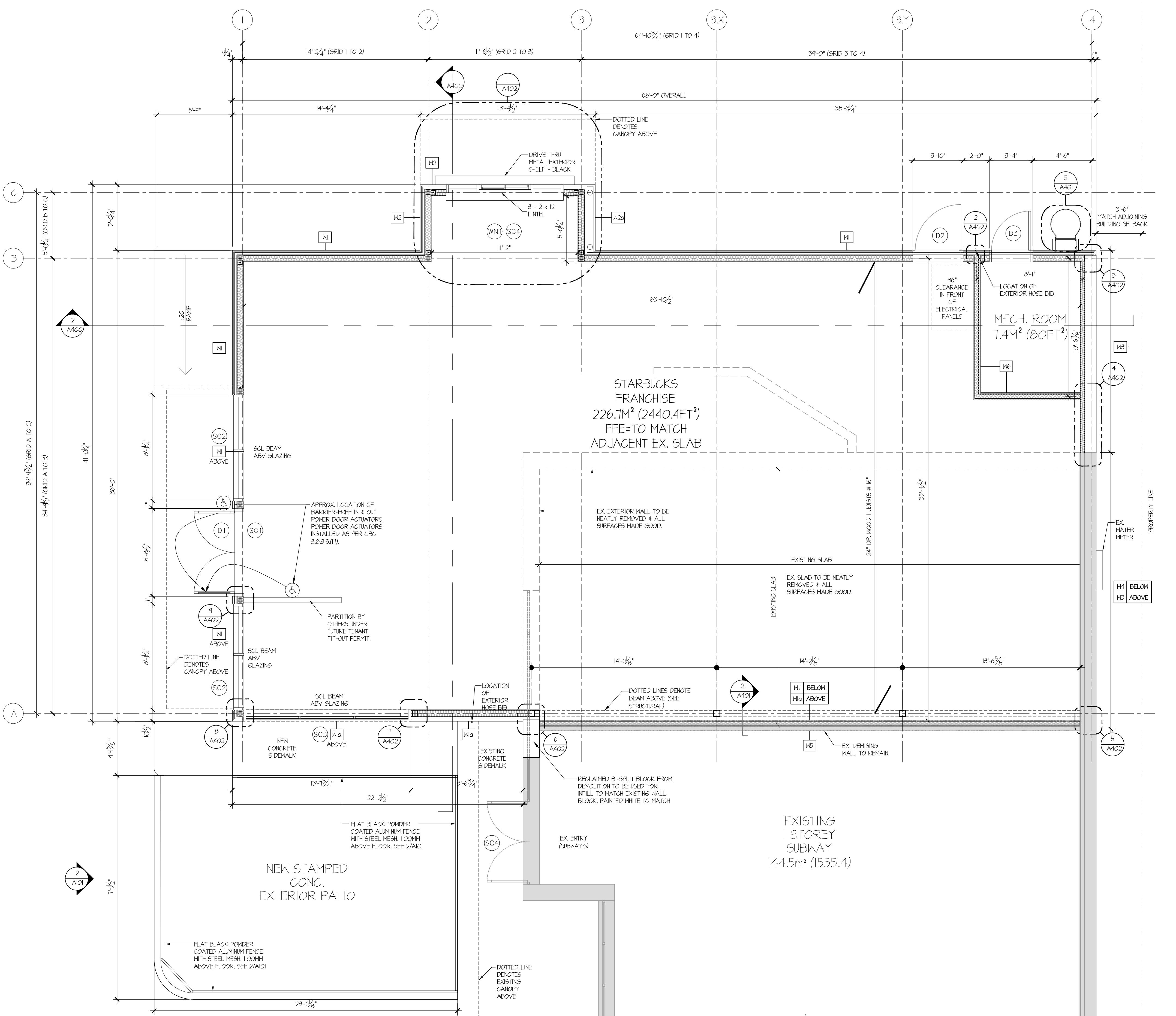


Project
NEW STARBUCKS
COBOURG

1030 Division Street
Cobourg, Ontario
Drawing

NEW + EX.
FOUNDATION PLAN

Drawn By	Checked By
CS	JM
Scale	Date
AS NOTED	NOV 2023
Project No.	Revision
2343	1
Drawing No.	
	A100
	1:1

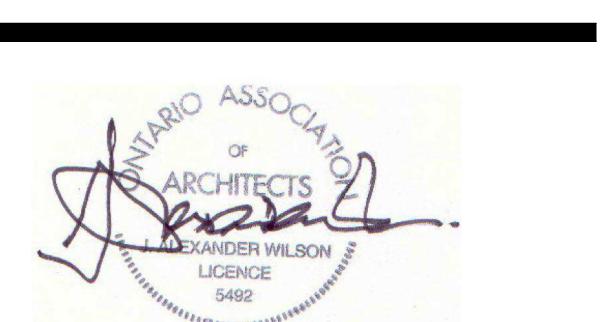


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3	2024/10/21	ISSUED FOR REVIEW
4	2024/10/24	ISSUED FOR COORDINATION
5	2024/11/13	ISSUED FOR BUILDING PERMIT

LEGEND		
	EXISTING	NEW
		DEMO

**Alexander Wilson
Architect Inc**
Admiralty Place
103-20 Gore Street
Kingston, ON K7L 2L1
T: 613-545-3744
F: 613-545-1411



NEW STARBUCKS COBOURG

1030 Division Street
Cobourg, Ontario

Drawing
NEW + EX.
FLOOR PLAN

Drawn By CS Checked By JMJ
Scale AS NOTED Date NOV 2023
Project No. 2343 Revision 1
Drawing No. A101
1:1

WALL ASSEMBLIES

W1 EXTERIOR WALL ASSEMBLY (R13+R12 c.i.)
- NEWTECHWOOD - NORWEGIAN CASTELLATION CLADDING, COLOUR: "PERUVIAN TEAK". REFER TO ELEVATION (MODELS: UH46, UH50, UH51, UH61)
- MIN. 3/4" WOOD FURRING
- 1/2" EXTERIOR SHEATHING @ 16" O.C.
- (2) 2X6" WOOD STUDS AT CANOPIES AND BRACKETS C/W 5 1/2" BATT INS. (R13 MIN.)
- 6 MIL VAPOUR BARRIER
- (2) 1/2" GYPSUM WALLBOARD (TAPE, FILLED, SANDED, AND PRIMED)

W1a EXTERIOR WALL ASSEMBLY (R13+R12 c.i.)
- NEWTECHWOOD - NORWEGIAN CASTELLATION CLADDING, COLOUR: "PERUVIAN TEAK". REFER TO ELEVATION (MODELS: UH46, UH50, UH51, UH61)
- MIN. 3/4" WOOD FURRING
- 1/2" EXTERIOR RIGID INSULATION (R12) JOINTS TAPE A.B.
- EXTERIOR RIGID INSULATION (R12) JOINTS TAPE A.B.
- 1/2" EXTERIOR SHEATHING @ 16" O.C.
- (2) 2X6" WOOD STUDS AT CANOPIES AND BRACKETS C/W 5 1/2" BATT INS. (R13 MIN.)
- 6 MIL VAPOUR BARRIER
- (2) 1/2" GYPSUM WALLBOARD (TAPE, FILLED, SANDED, AND PRIMED)

W2 EXTERIOR WALL ASSEMBLY (R13+R12 c.i.)
- GENTEK DELUXE ALUMINUM SIDING, 8" HORIZONTAL, COLOR: WHITE
- MIN. 1/2" WOOD FURRING
- 1/2" EXTERIOR SHEATHING @ 16" O.C.
- (2) 2X6" WOOD STUDS @ 16" O.C.
- EXTERIOR RIGID INSULATION (R12) JOINTS TAPE A.B.
- 1/2" EXTERIOR SHEATHING @ 16" O.C.
- (2) 2X6" WOOD STUDS AT CANOPIES AND BRACKETS C/W 5 1/2" BATT INS. (R13 MIN.)
- 6 MIL VAPOUR BARRIER
- (2) 1/2" GYPSUM WALLBOARD (TAPE, FILLED, SANDED, AND PRIMED)

W2a EXTERIOR WALL ASSEMBLY (R13+R12 c.i.)
- GENTEK DELUXE ALUMINUM SIDING, 8" HORIZONTAL, COLOR: WHITE
- MIN. 1/2" WOOD FURRING
- 1/2" EXTERIOR SHEATHING @ 16" O.C.
- (2) 2X6" WOOD STUDS @ 16" O.C.
- EXTERIOR RIGID INSULATION (R12) JOINTS TAPE A.B.
- 1/2" EXTERIOR SHEATHING @ 16" O.C.
- (2) 2X6" WOOD STUDS AT CANOPIES AND BRACKETS C/W 5 1/2" BATT INS. (R13 MIN.)
- 6 MIL VAPOUR BARRIER
- (2) 1/2" GYPSUM WALLBOARD (TAPE, FILLED, SANDED, AND PRIMED)

W3 2 HR FR EXTERIOR WALL ASSEMBLY (R22) (ULC U913)
- EX. (1) 5/8" TYPE X GYPSUM WALLBOARD (TAPE, FILLED, SANDED, AND PRIMED)
- MIN. 1/2" WOOD FURRING
- 2"X6" WOOD STUDS @ 16" O.C.
- EX. (1) 5/8" TYPE X GYPSUM WALLBOARD (TAPE, FILLED, SANDED, AND PRIMED)

W5 EX. 45MIN FR INTERIOR WALL ASSEMBLY
- EX. (1) 5/8" TYPE X GYPSUM WALLBOARD (TAPE, FILLED, SANDED, AND PRIMED)
- (2) 2X6" WOOD STUDS @ 16" O.C. (TO U/S OF ROOF DECK)
- EX. (1) 5/8" TYPE X GYPSUM WALLBOARD (TAPE, FILLED, SANDED, AND PRIMED)

W6 2 HR FR INTERIOR WALL ASSEMBLY (ULC U301)
- (2) 2X6" WOOD STUDS @ 16" O.C. (TO U/S OF ROOF DECK)
- 2"X4" WOOD STUDS @ 16" O.C. (TO U/S OF ROOF DECK)
- (2) 1/2" GYPSUM WALLBOARD (TAPE, FILLED, SANDED, AND PRIMED)

W7 2 HR FR INTERIOR WALL ASSEMBLY (ULC U301)
- (2) 1/2" GYPSUM WALLBOARD (TAPE, FILLED, SANDED, AND PRIMED)
- 1/2" PLYWOOD NAILED @ 3" ON BOUNDARIES
- 2"X4" WOOD STUDS @ 16" O.C. (TO U/S OF ROOF DECK)
- (2) 1/2" GYPSUM WALLBOARD (TAPE, FILLED, SANDED, AND PRIMED)

W5 EXISTING WALL ASSEMBLY

NOT SCALE DRAWINGS

**CHECK AND VERIFY ALL DIMENSIONS BEFORE
PROCEEDING WITH THE WORK.**

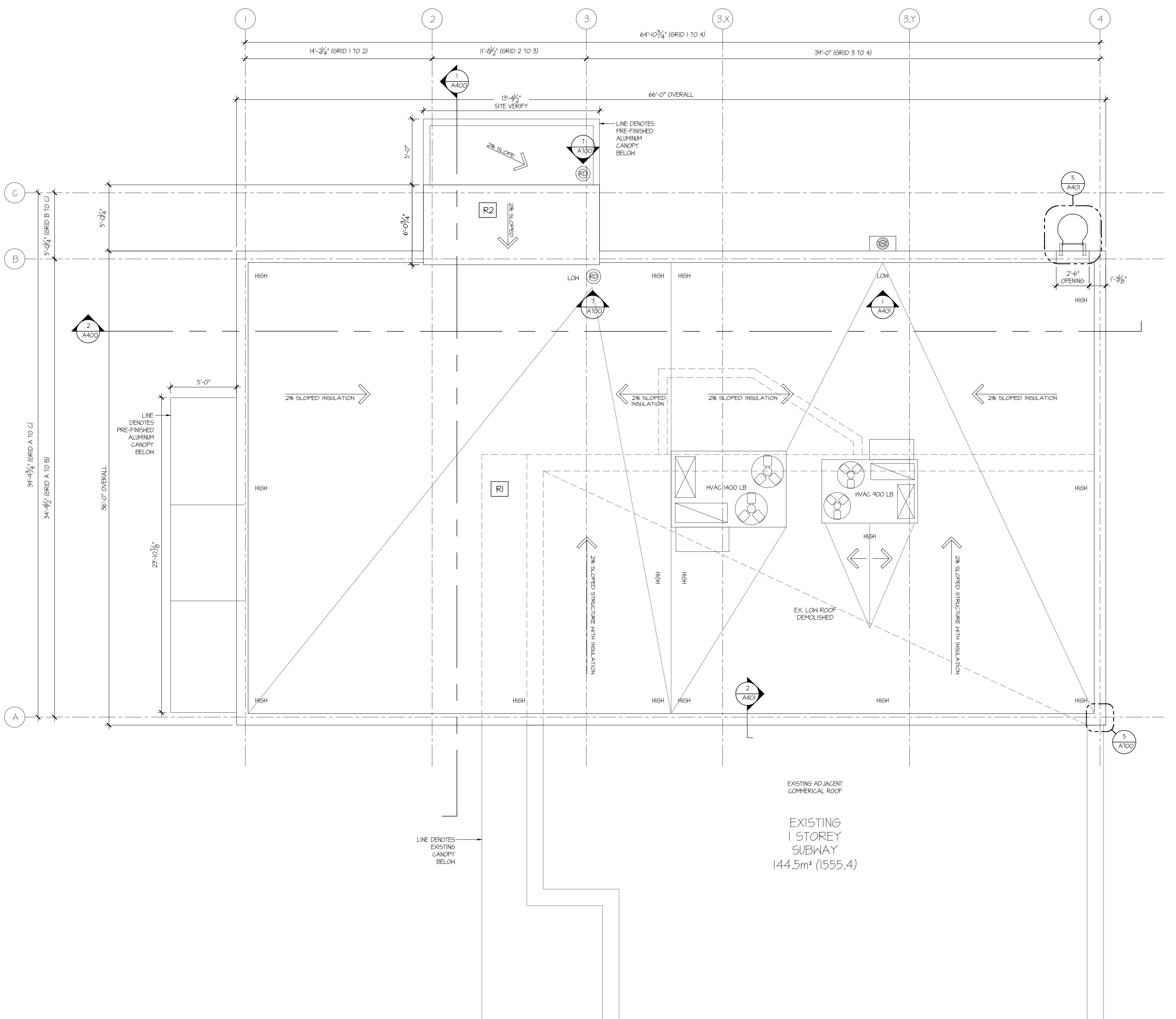
**DRAWINGS NOT TO BE USED FOR CONSTRUCTION
UNLESS STAMPED AND SIGNED BY THE CONSULTANT.**

**THESE DRAWINGS HAVE BEEN DESIGNED IN
ACCORDANCE WITH THE ONTARIO BUILDING CODE.**

V. Emissions and Issues		
V.	DATE	DESCRIPTION
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-	2024/11/13	ISSUED FOR BUILDING PERMIT

LEGEND

The diagram consists of three horizontal rectangular boxes. The first box is solid grey and labeled "EXISTING". The second box is white and labeled "NEW". The third box is dashed and labeled "DEMO".



1 ROOF PLAN

A102 SCALE: 1/4" =

ROOF ASSEMBLY (FULL TAPERED SYSTEM)

<p>R1</p> <p><u>ROOF ASSEMBLY (TPO) (R35)</u></p> <ul style="list-style-type: none"> - FULLY ADHERED EVERGUARD WHITE TPO SINGLE PLY ROOFING MEMBRANE OR APPROVED EQUAL (HEAT WELDED TO PREVIOUSLY INSTALLED MEMBRANE) - ENERGYGUARD POLYISO ROOF INSULATION (MIN. R35) (DRILL-TEC FASTENERS & PLATES WHERE NECESSARY) - EVERGUARD TPO SINGLE PLY ROOFING MEMBRANE - 6 MIL POLY VAPOUR RETARDER - $\frac{1}{2}$" EXTERIOR T&G SHEATHING - PRE-ENG. 24" DEEP WOOD JOIST @ 16" O.C. (PRIMED AND PAINTED BLACK) <p>* TAPERED INSULATION SHOP DRAWING LAYOUT TO BE APPROVED BY ARCHITECT.</p>	<p>R2</p> <p><u>ROOF ASSEMBLY (TPO) (R35)</u></p> <ul style="list-style-type: none"> - METAL ROOF (INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS) - WHITE METAL ROOFING PANELS - ICE+WATER SHIELD - 1/2" EXTERIOR SHEATHING <p>* TAPERED INSULATION SHOP DRAWING LAYOUT TO BE APPROVED BY ARCHITECT.</p> <p>TENANT TO SUPPLY ALL NECESSARY ROOF PENETRATIONS BEFORE INSULATION. (TYPICAL)</p>
--	--

10 Division Street
Burlington, Ontario

NEW + EX.
POOF PLAN

By

CS

AS NOTED

ct No.

2545

A102

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LEGEND	
A	PRE-FINISHED METAL CANOPY (BLACK) PROVIDE SHOP DRAWINGS
B	PRE-FINISHED METAL CAP FLASHING (BLACK)
C	NEWTECH WOOD - UH1-NORWEGIAN CASTELLATION CLADDING COLOUR: "PERUVIAN TEAK"
D	GENTEK DELUXE ALUMINUM SIDING, 8" HORIZONTAL, COLOUR: WHITE
E	ALL SIGNAGE IS SHOWN FOR GRAPHIC REPRESENTATION ONLY. REFER TO STARBUCKS PLAN. • CONTRACTOR TO SUPPLY STRUCTURAL SUPPLIES AND/OR ELECTRICAL FOR TENTANT SIGNAGE
F	FOUNDATION WALL (6" ABOVE FINISHED GRADE)
G	BLACK PRE-FINISHED METAL SCUPPER
H	SOFFIT LIGHT (REFER TO ELECTRICAL)
I	SPLIT-FACE BLOCK TO MATCH EX.
J	EXTERIOR WALL PACK LIGHT FIXTURE (REFER TO ELECTRICAL)
K	BARRIER-FREE IN & OUT POWER DOOR ACTUATORS INSTALLED AS PER OBC 8.8.3.3.(17) LCN 4100 SERIES ACTUATORS OR APPROVED EQUAL. FINISH TO ACCENT DOOR & FRAME.
L	DRIVE-THRU STAINLESS STEEL EXTERIOR SHELF
M	DOUBLE GLAZED INSULATED BLACK PRE-FINISHED WINDOW/SCREEN
N	READY ACCESS 275 MOER (INSULATED) WITH RIGHT TO LEFT ORIENTATION DRIVE-THRU SERVICE WINDOW
O	DOWNSPOUT INTO CAST-IN-PLACE DRAINPIPE IN SIDEWALK
P	DRAIN CHASE DISCHARGE LOCATION (APPROX.)

GENERAL LIGHTING NOTE

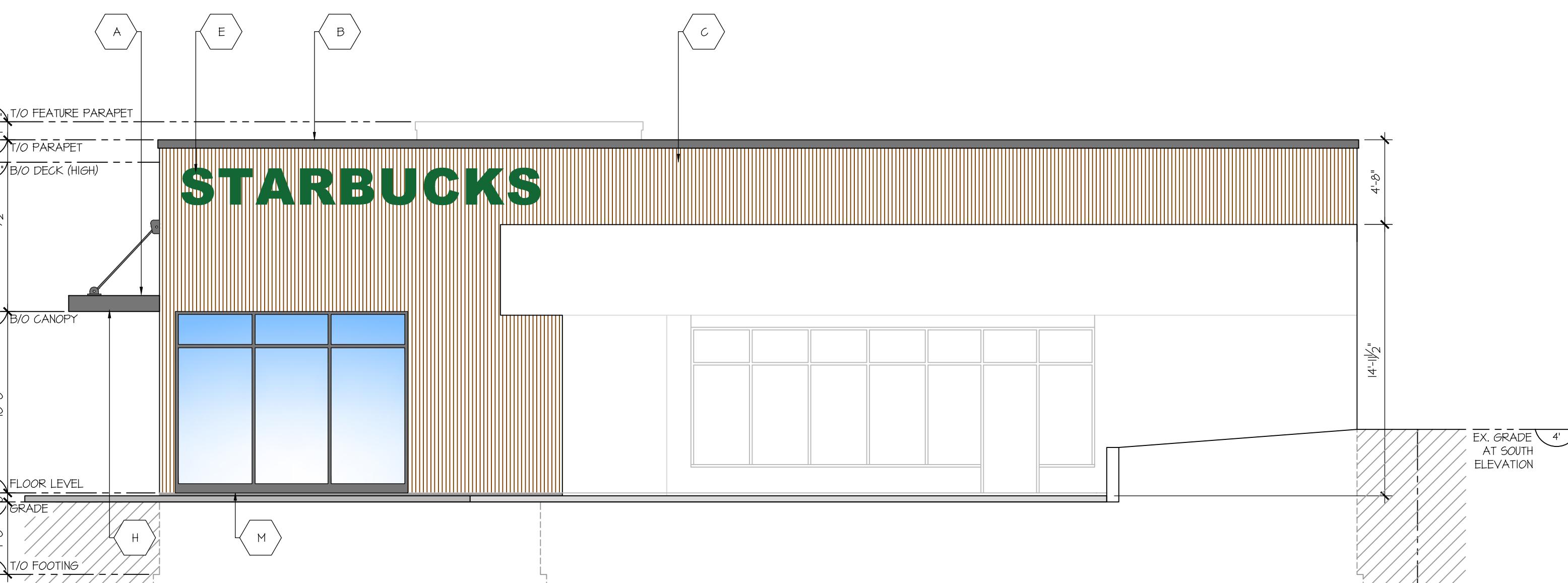
1. ALL ARCHITECTURAL LIGHT, OUTDOOR
LIGHTING FIXTURES, AND BUILDING LIGHTING
SHALL BE MOUNTED SUCH THAT THE LIGHT IS
AIMED DOWN. THERE SHALL BE NO LIGHT
POLLUTION EMANATING FROM THE FIXTURE IN
ACCORDANCE WITH THE FULL CUT-OFF DESIGN.



1 NORTH ELEVATION

A300

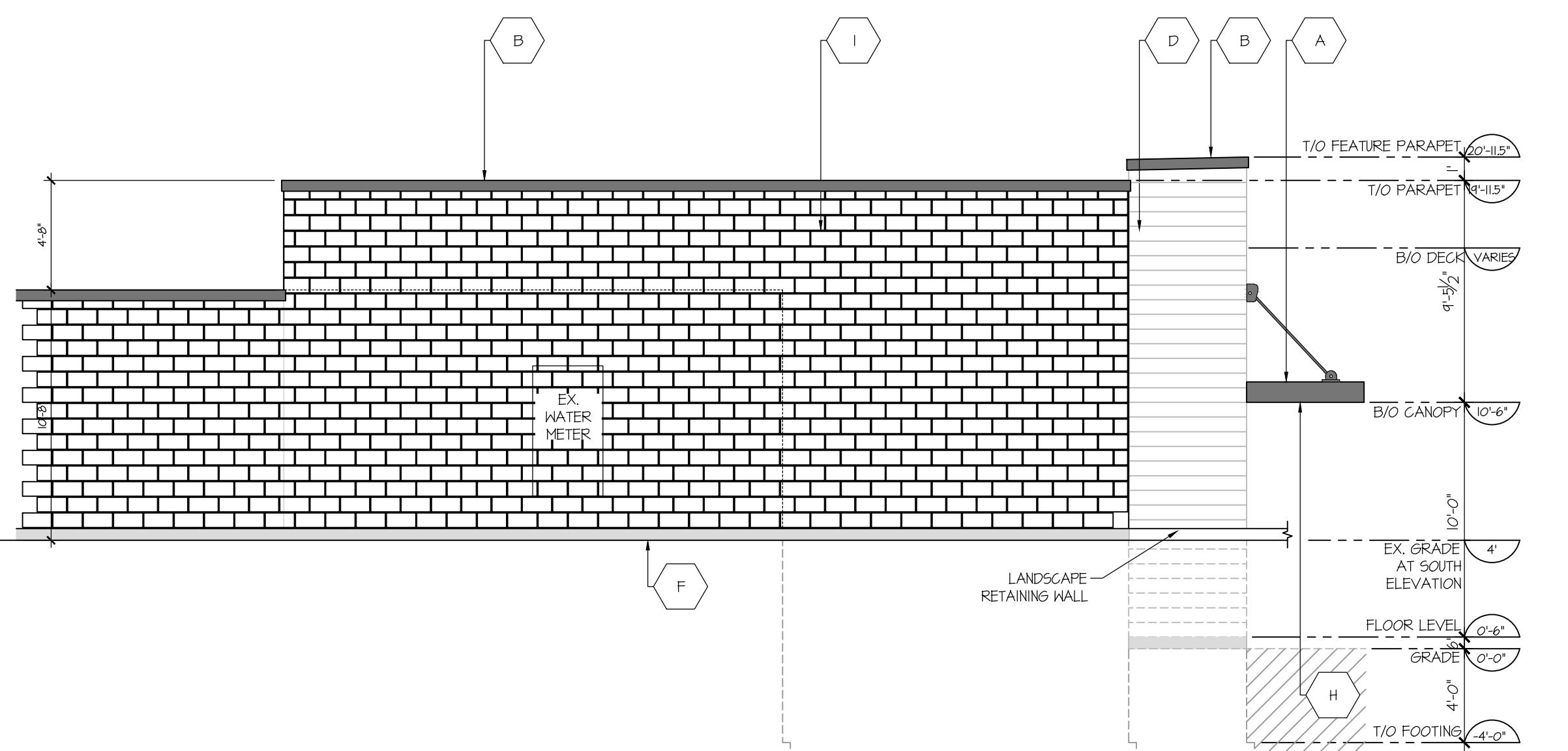
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION

A300

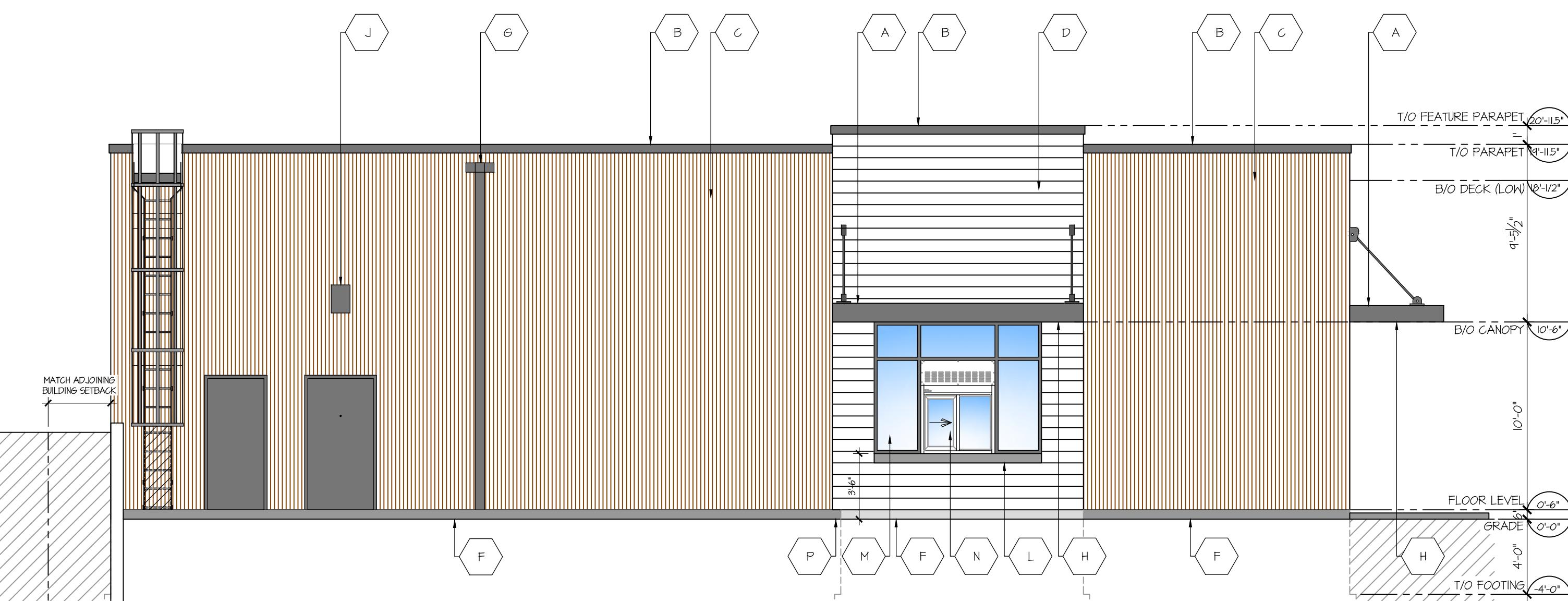
SCALE: 3/16" = 1'-0"



3 SOUTH ELEVATION

A300

SCALE: 3/16" = 1'-0"



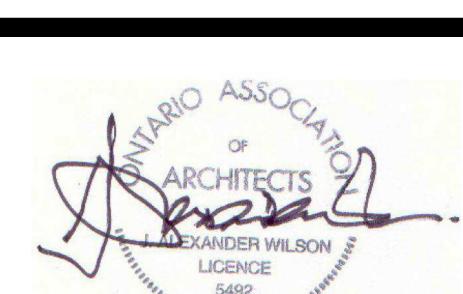
4 EAST ELEVATION

A300

SCALE: 3/16" = 1'-0"

SIGNAGE AREA SHOWN FOR
INFORMATION PURPOSES ONLY.
ALL SIGNS WILL BE SUBJECT TO
THE PROVISIONS OF
SIGNAGE BY-LAW FOR THE
CITY OF COBOURG ONTARIO,
AND A SEPARATE SIGN
APPLICATION WILL BE
REQUIRED THROUGH THE
BUILDING DIVISION.

Alexander Wilson
Architect Inc
Admiralty Place
103-20 Gore Street
Kingston, ON K7L 2L1
T: 613-545-3744
F: 613-545-1411

Stamp


NEW STARBUCKS COBOURG

1030 Division Street
Cobourg, Ontario

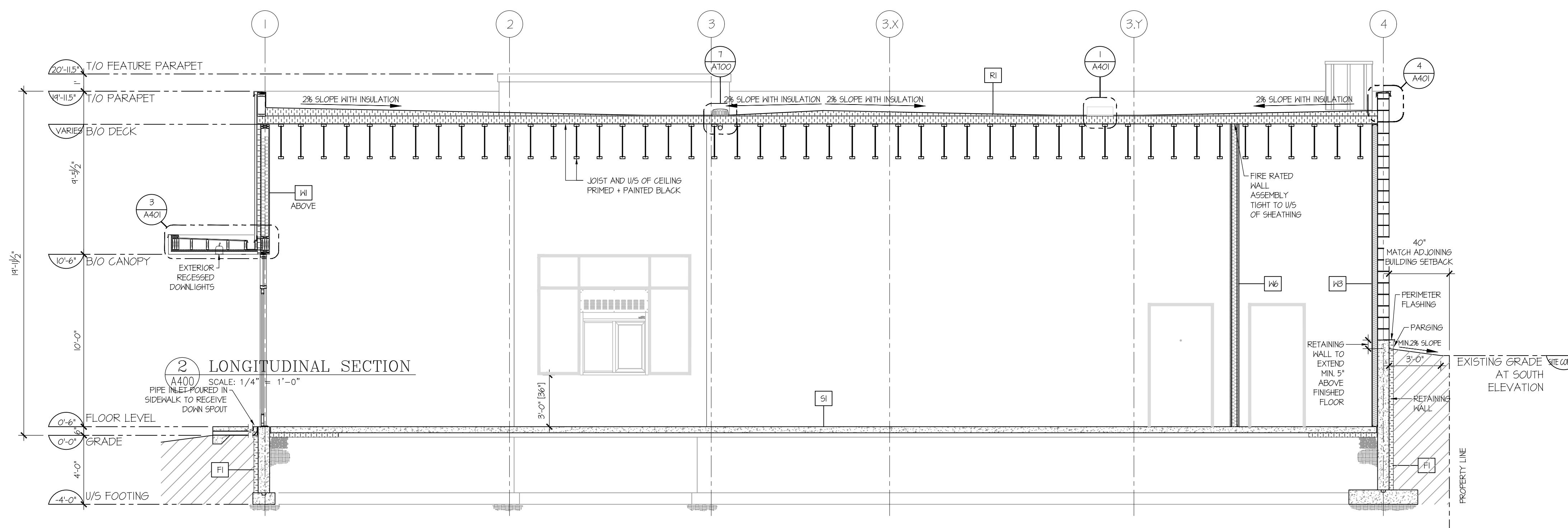
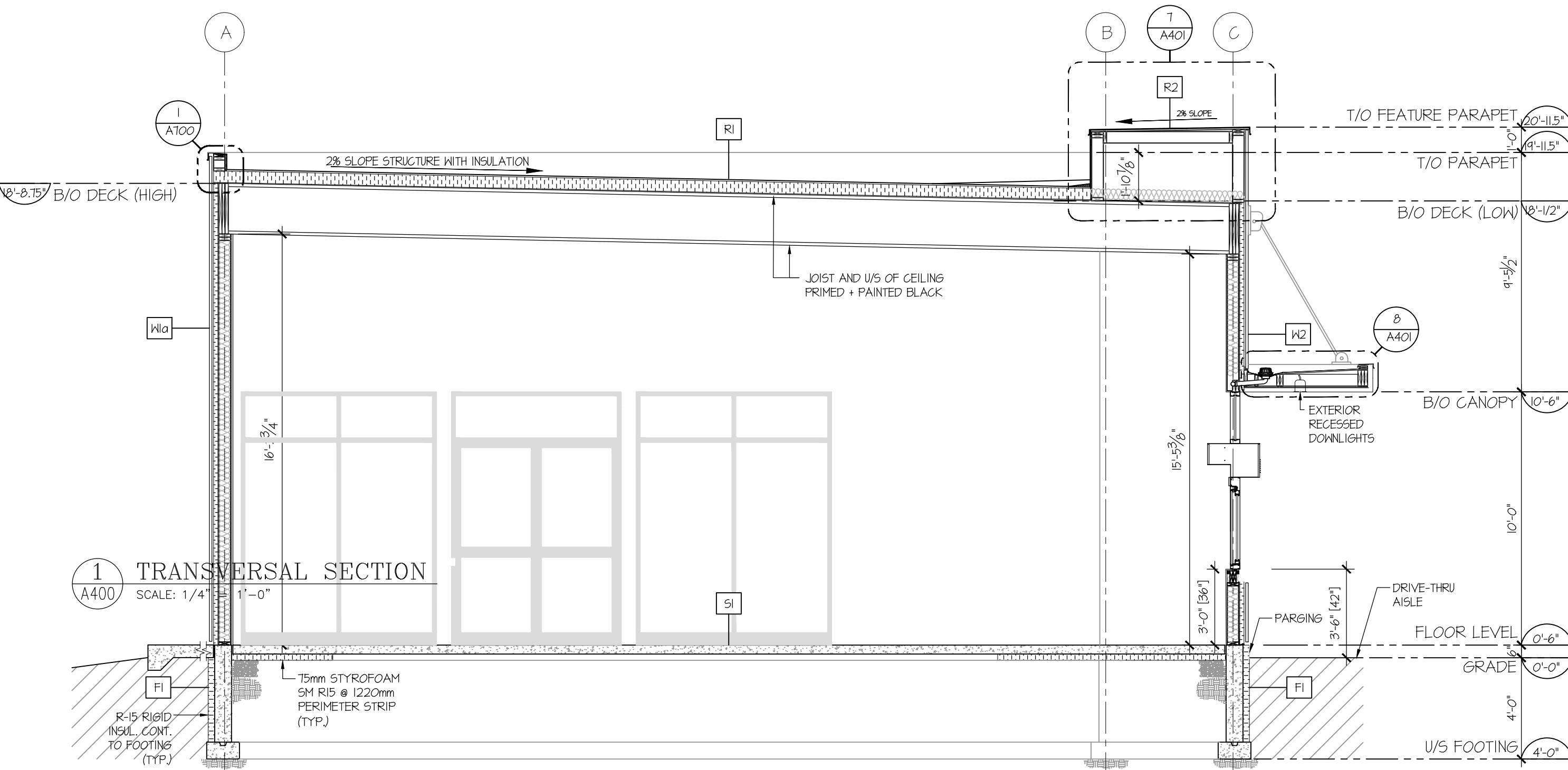
Drawing

EXTERIOR ELEVATIONS

Drawn By	Checked By
CS	JMJ
Scale	Date
AS NOTED	NOV 2023
Project No.	Revision
2343	1
Drawing No.	
A300	

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**Alexander Wilson
Architect Inc**
Admiralty Place
103-20 Gore Street
Kingston, ON K7L 2L1
T: 613-545-3744
E: 613.545.1411

NEW STARBUCKS COBOURG

1030 Division Street
Orillia, Ontario

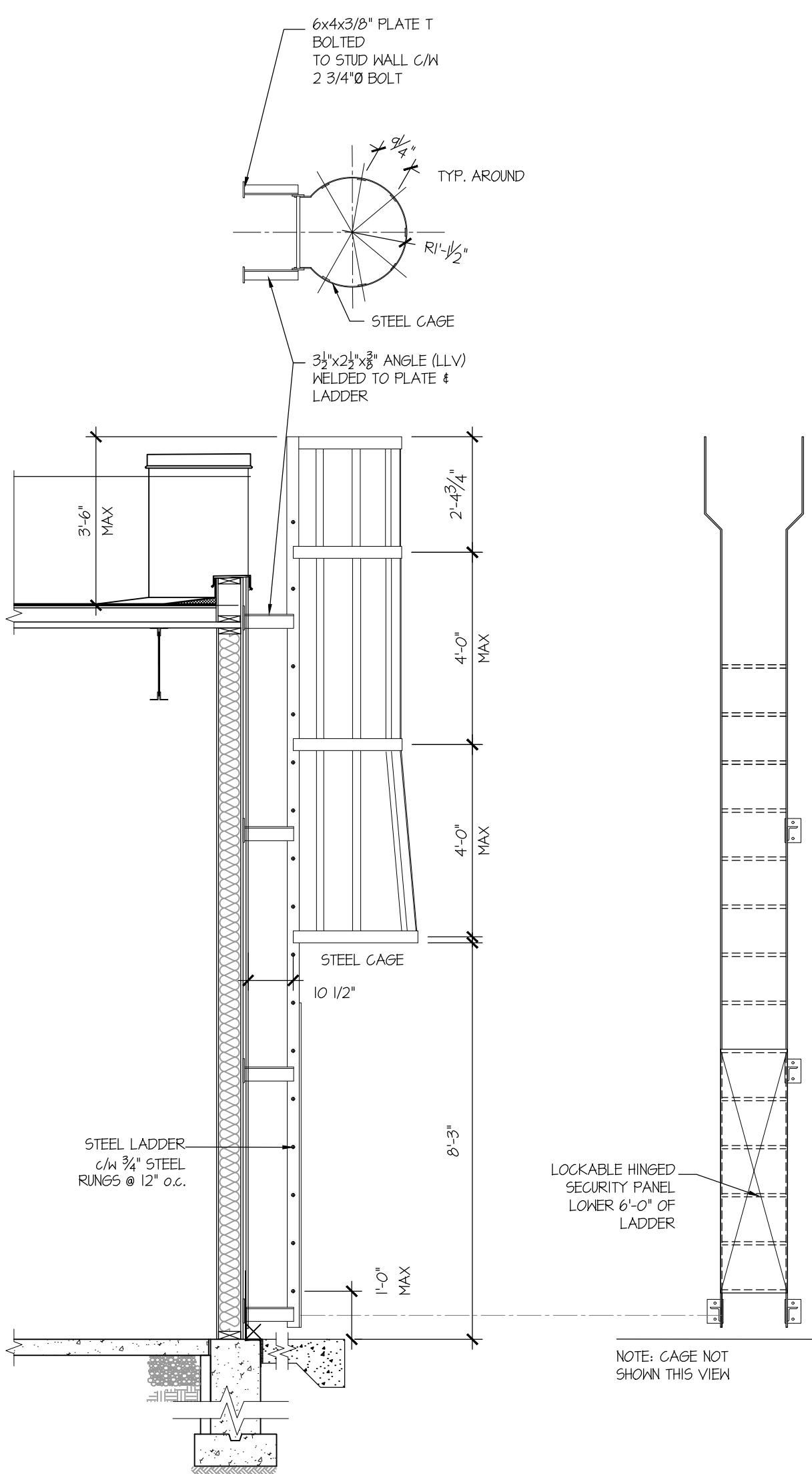
SECTIONS

Drawn By	Checked By
CS	JMJ
Date	
AS NOTED	NOV 2023
Object No.	Revision
2343	1
Drawing No.	A400

Revisions and Issues		
REV.	DATE	DESCRIPTION
1	2024/03/20	ISSUED FOR REVIEW
2	2024/10/10	ISSUED FOR REVIEW
3	2024/10/24	ISSUED FOR COORDINATION
4	2024/11/13	ISSUED FOR BUILDING PERMIT

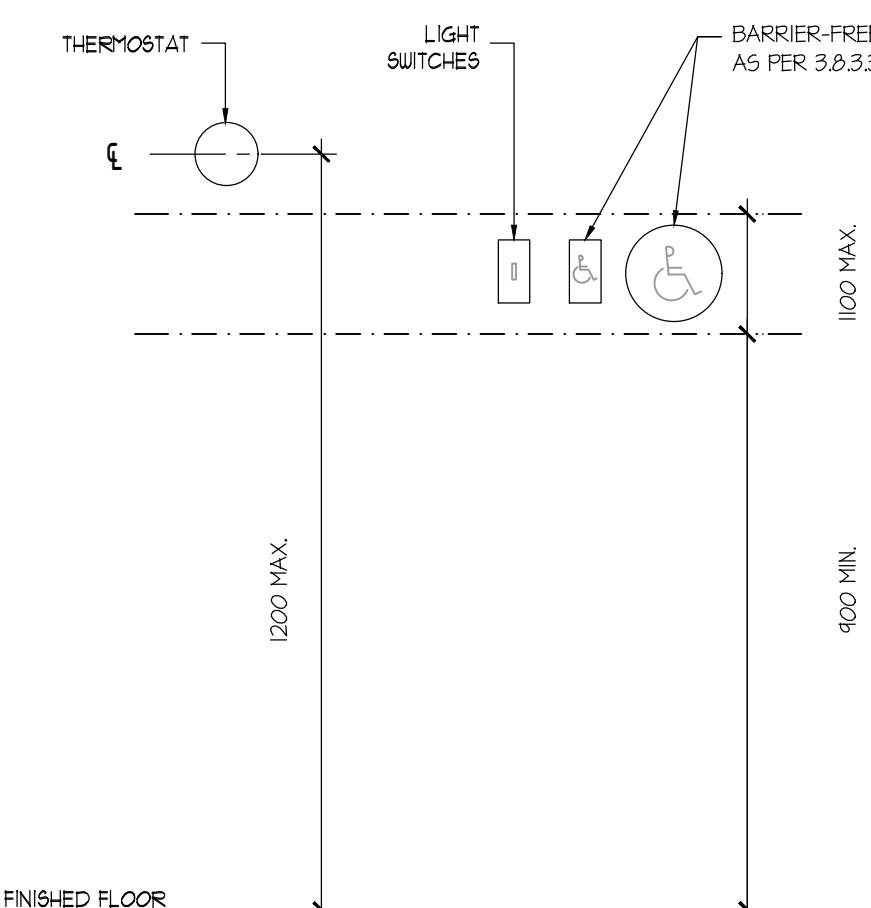
LEGEND

The legend consists of three entries. The first entry, 'EXISTING', features a solid grey rectangular box followed by the word 'EXISTING' in black capital letters. The second entry, 'NEW', features a white rectangular box with a thin black border followed by the word 'NEW' in black capital letters. The third entry, 'DEMO', features a rectangular box with a dashed black border followed by the word 'DEMO' in black capital letters.



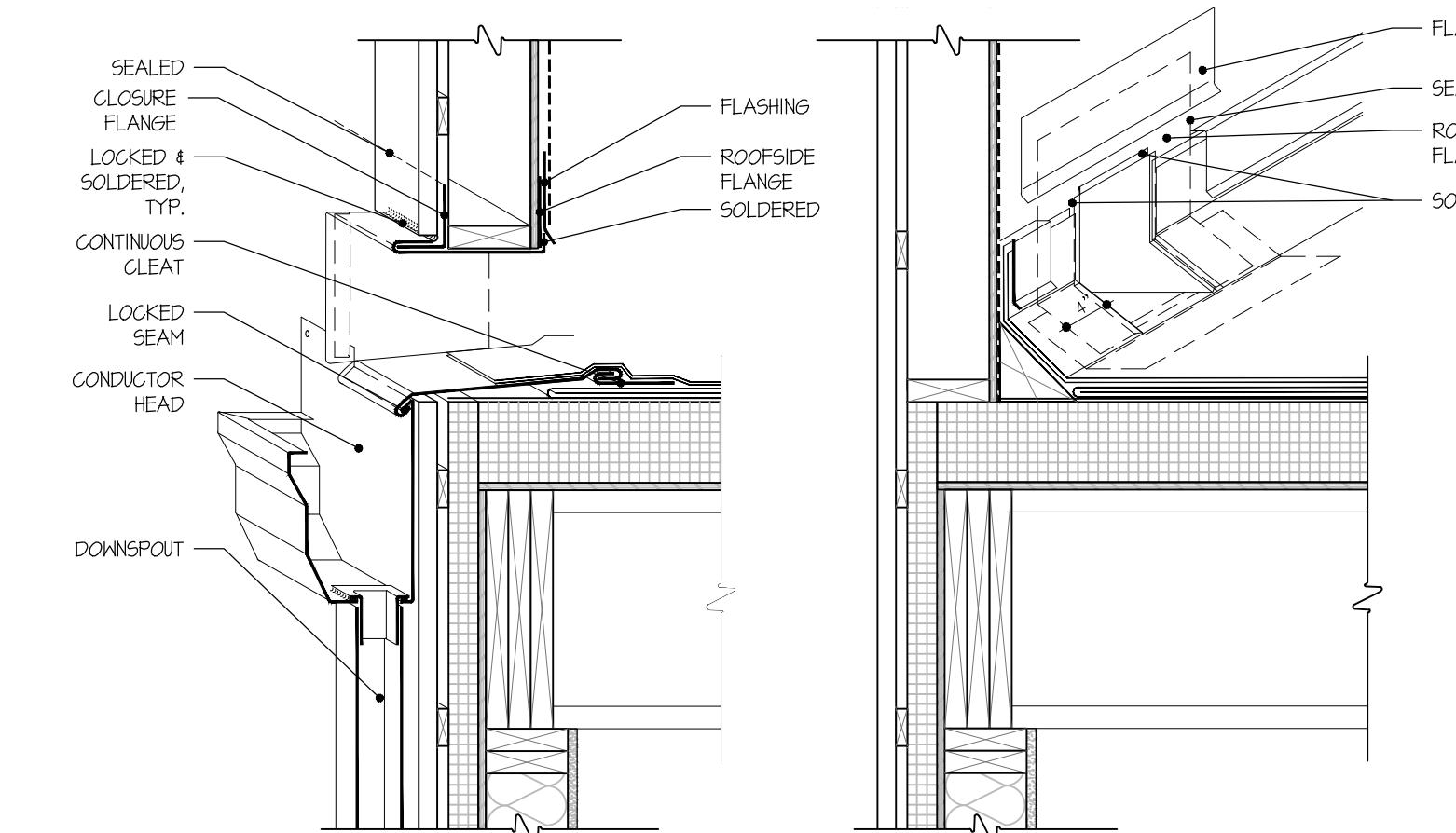
LADDER DETAILS

NOTE:
ACCESS LADDER TO BE C/W SELF CLOSING GATE.
PAINTED BLACK
SEE ARCHITECTURAL DRAWING FOR LOCATION OF ACC
LADDER.
CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW



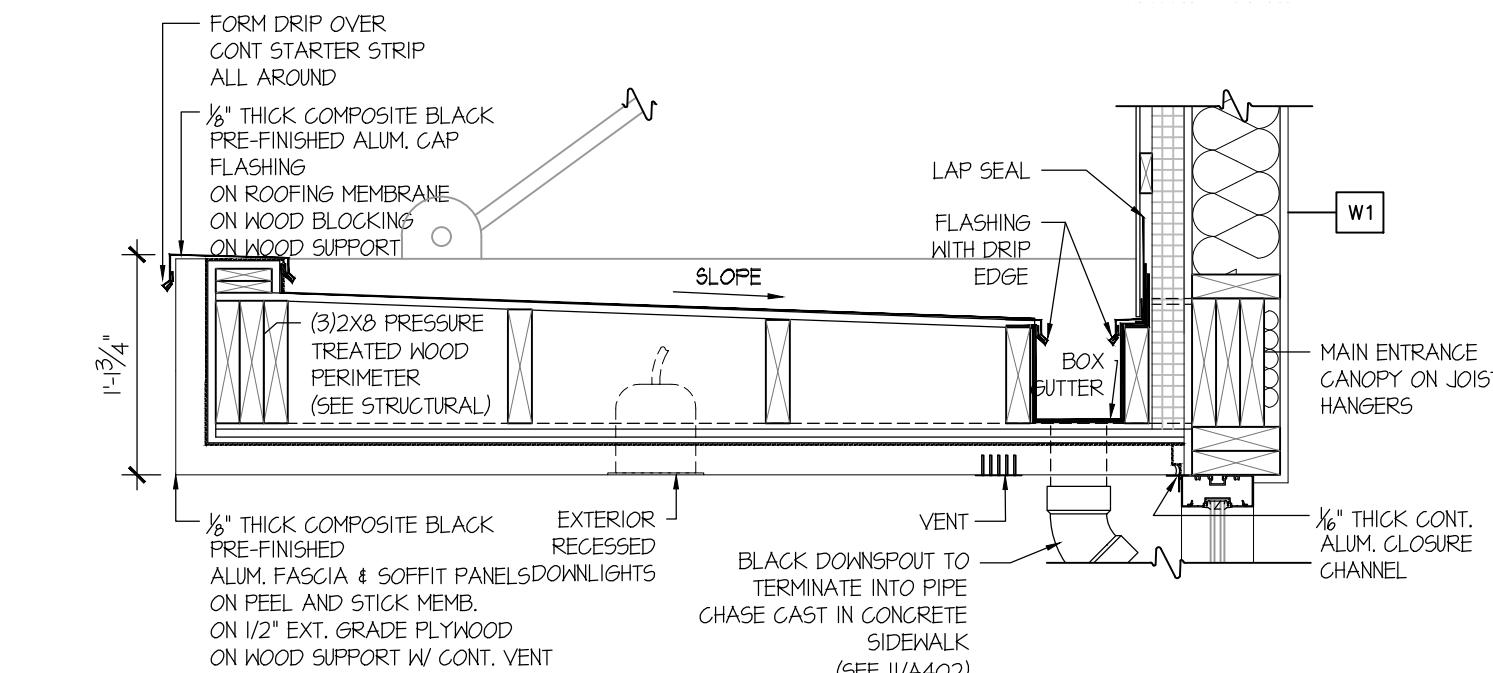
MOUNTED CONTROLS

A-3.8.1.5.(1) CONTROLS
LIGHT SWITCHES, INTERCOMS AND SIMILAR DEVICES LOCATED WITHIN BARRIER-FREE PATH OF TRAVEL SHOULD BE LOCATED BETWEEN 900 AND 1100mm ABOVE FINISHED FLOOR.
THERMOSTATS SHOULD BE MOUNTED AT 1200mm ON CENTRE ABOVE FINISHED FLOOR FOR THE OPTIMAL OPERATION.



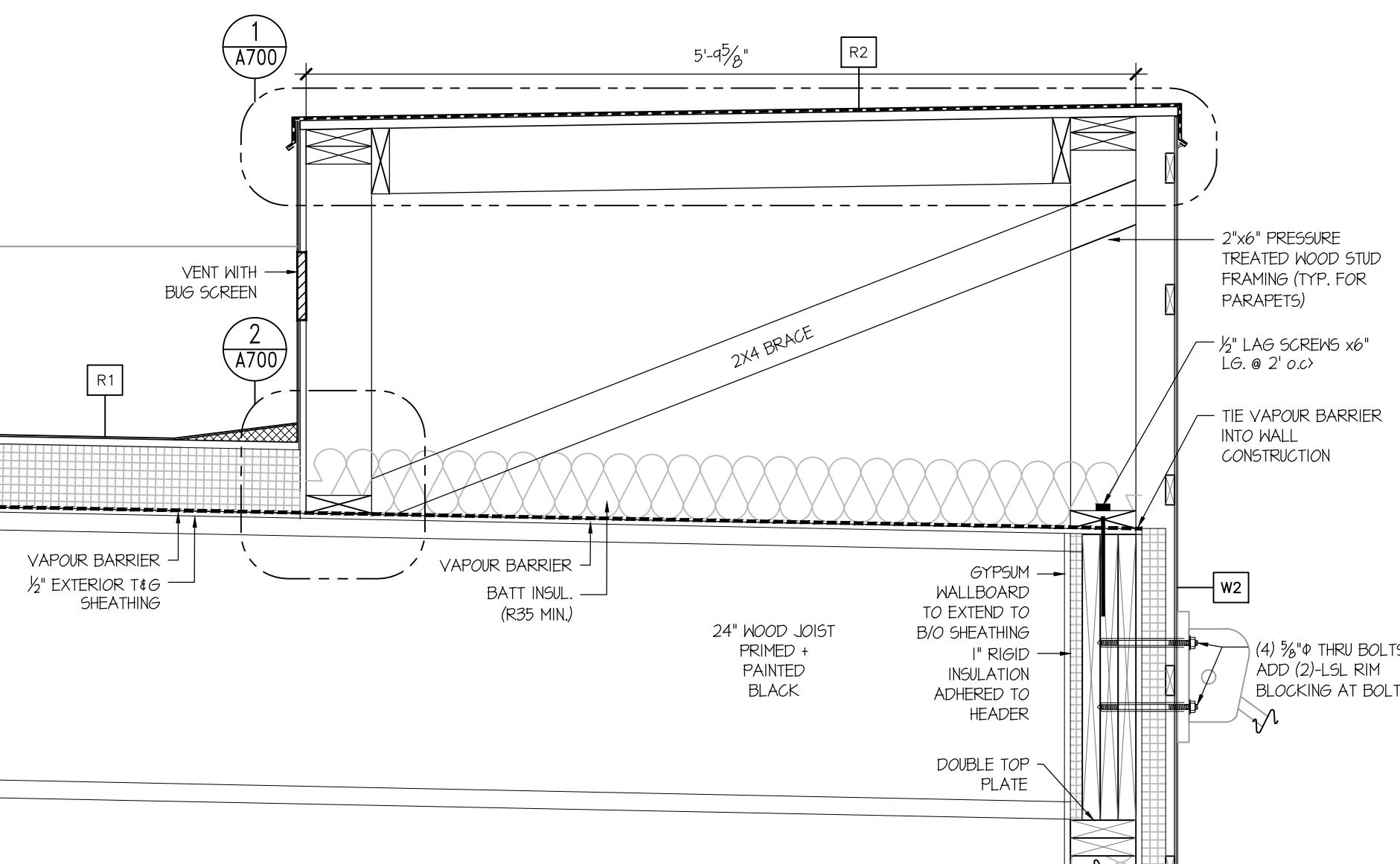
1 SCUPPER PENETRATION
A401 SCALE: 1" = 1'-0"

A401 SCALE: 1" = 1'



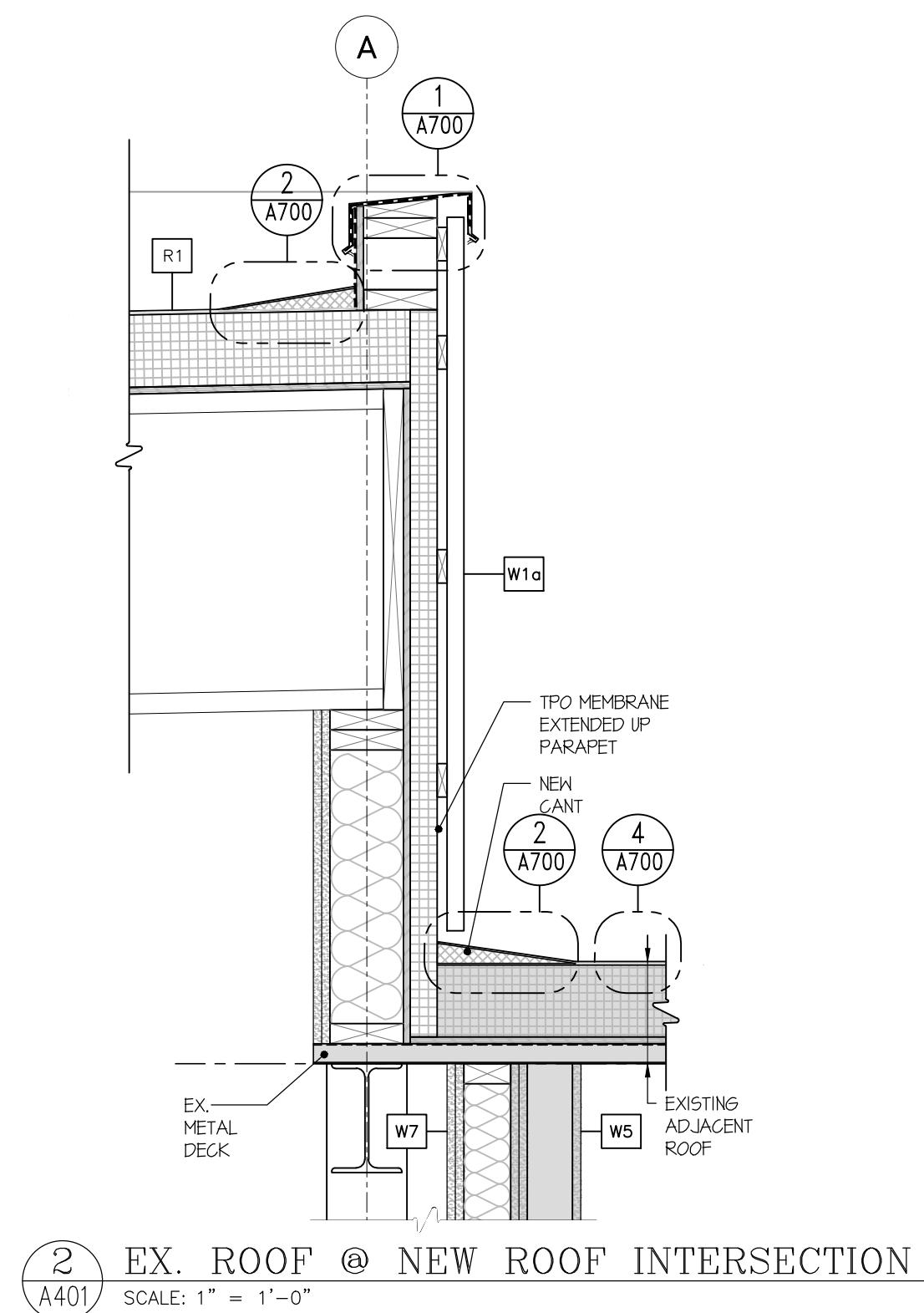
SECTION DETAIL – CANOPY @ MAIN ENTRANCE

A401 SCALE: 1" = 1'



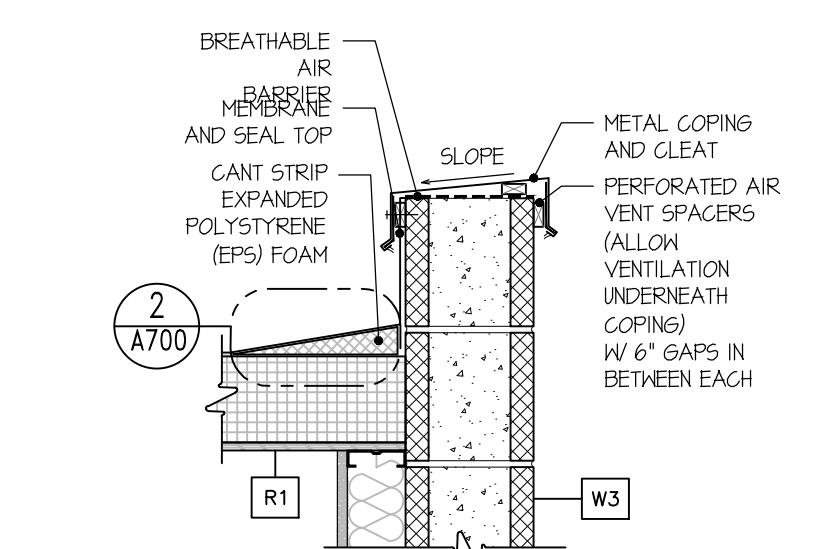
SECTION DETAIL — ROOF PARAPET

(A401) SECTION SCALE: 1" = 1'



2 EX. ROOF @ NEW ROOF INTERSECTION
M01 SCALE: 1" = 1' - 0"

A401 SCALE: 1"



4 BLOCK WALL PARAPET
A101 SCALE 1" = 1'-0"

A401 SCALE: 1" =



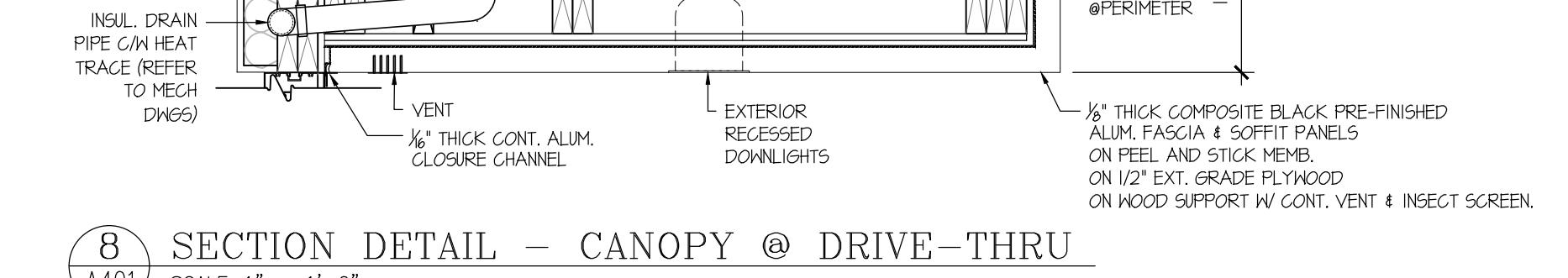
1



NEW STARBUCKS COBOURG

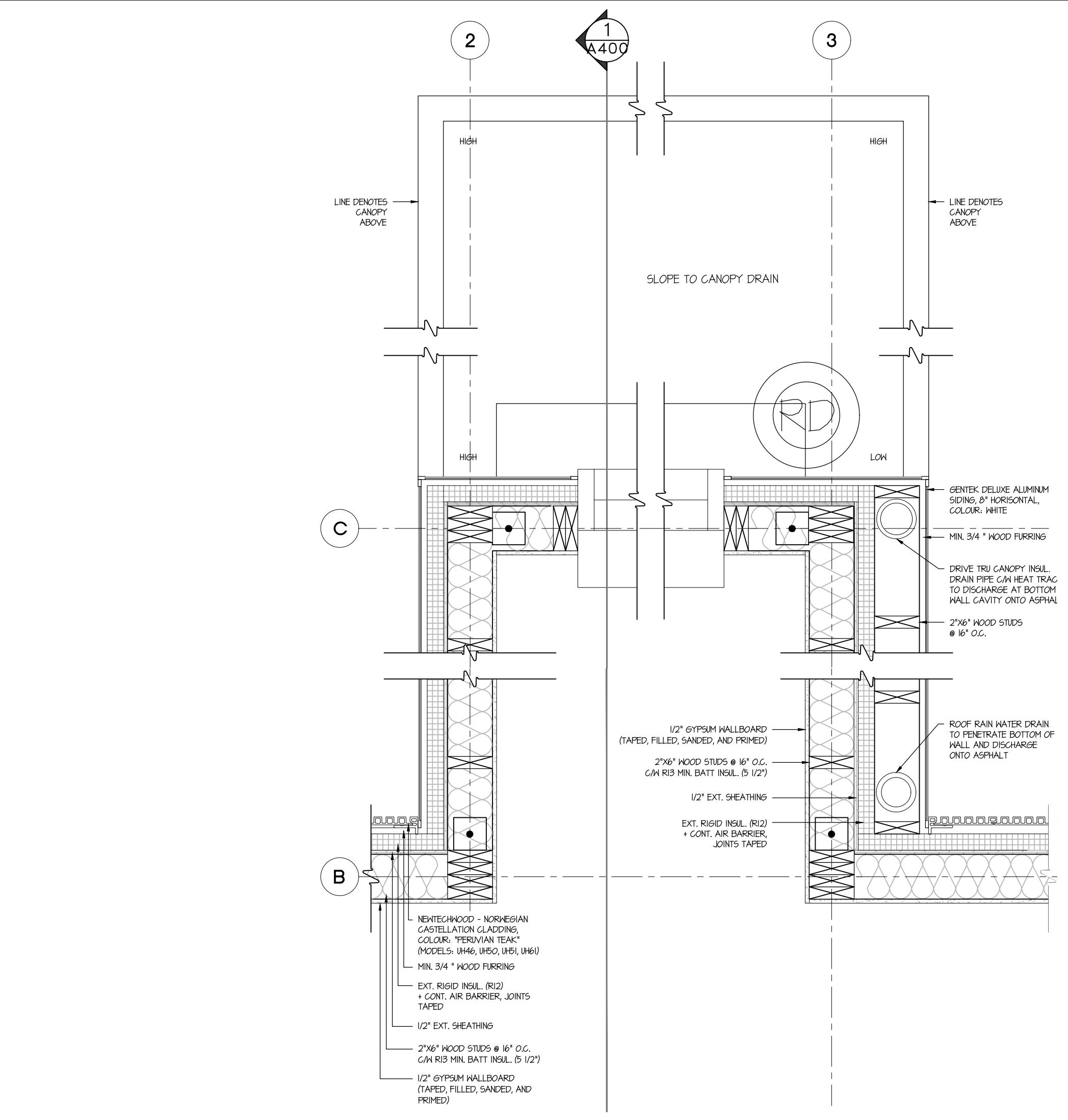
1030 Division Street
Kitchener, Ontario

BUILDING DETAILS

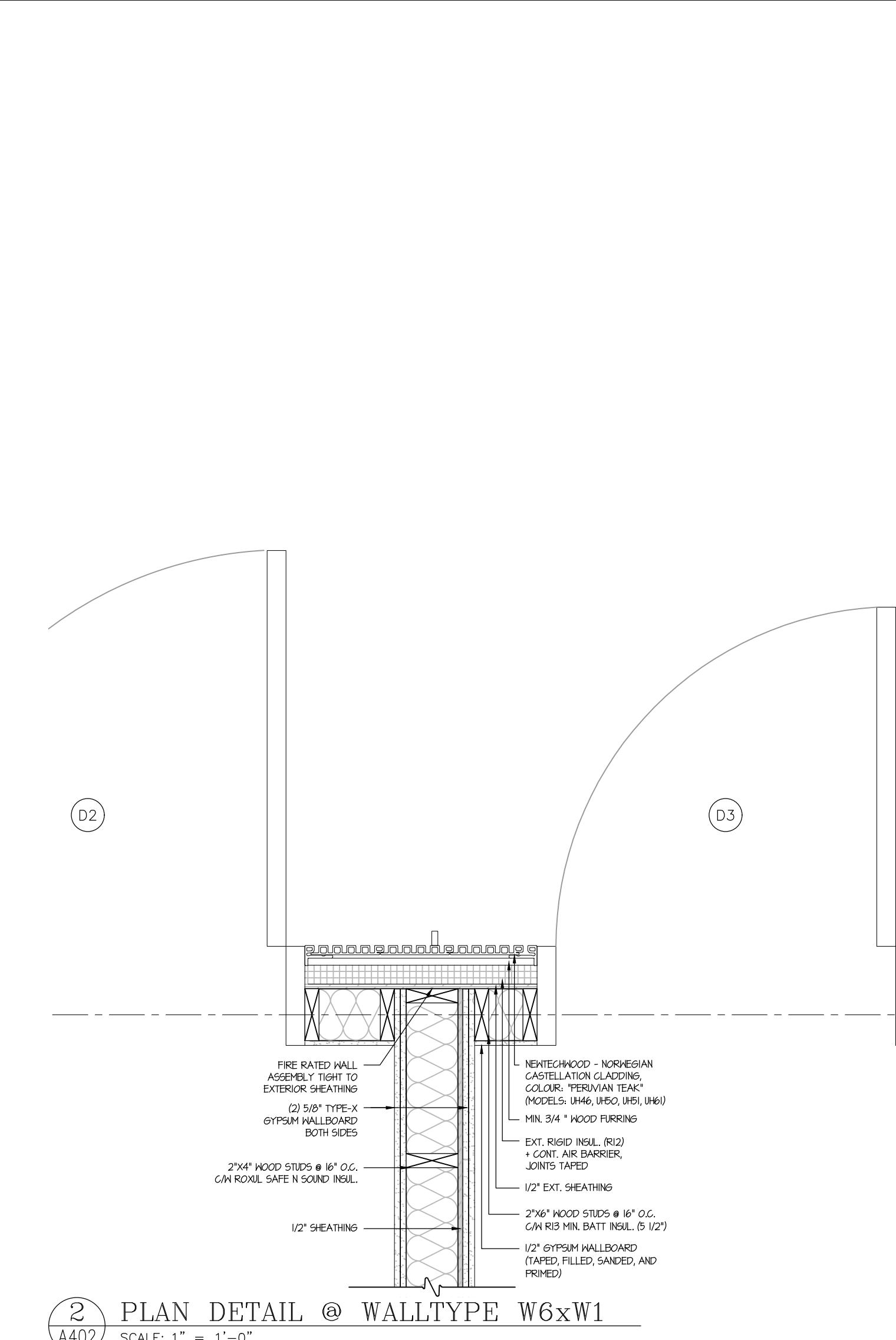


Revisions and Issues		
REV.	DATE	DESCRIPTION
1	2024/03/20	ISSUED FOR REVIEW
2	2024/10/10	ISSUED FOR REVIEW
3	2024/10/24	ISSUED FOR COORDINATION
4	2024/11/13	ISSUED FOR BUILDING PERMIT

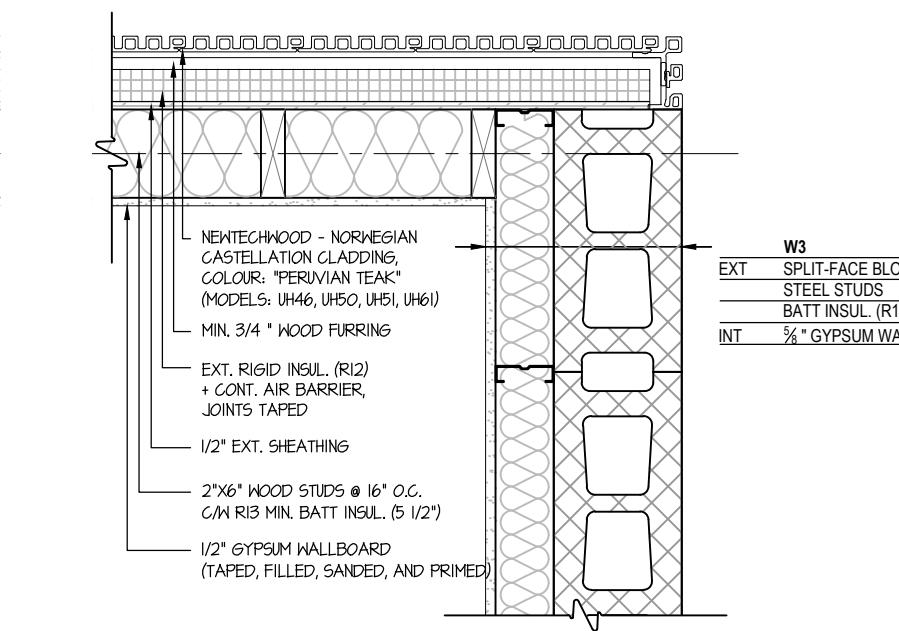
LEGEND		
	EXISTING	NEW
	DEMOLITION	



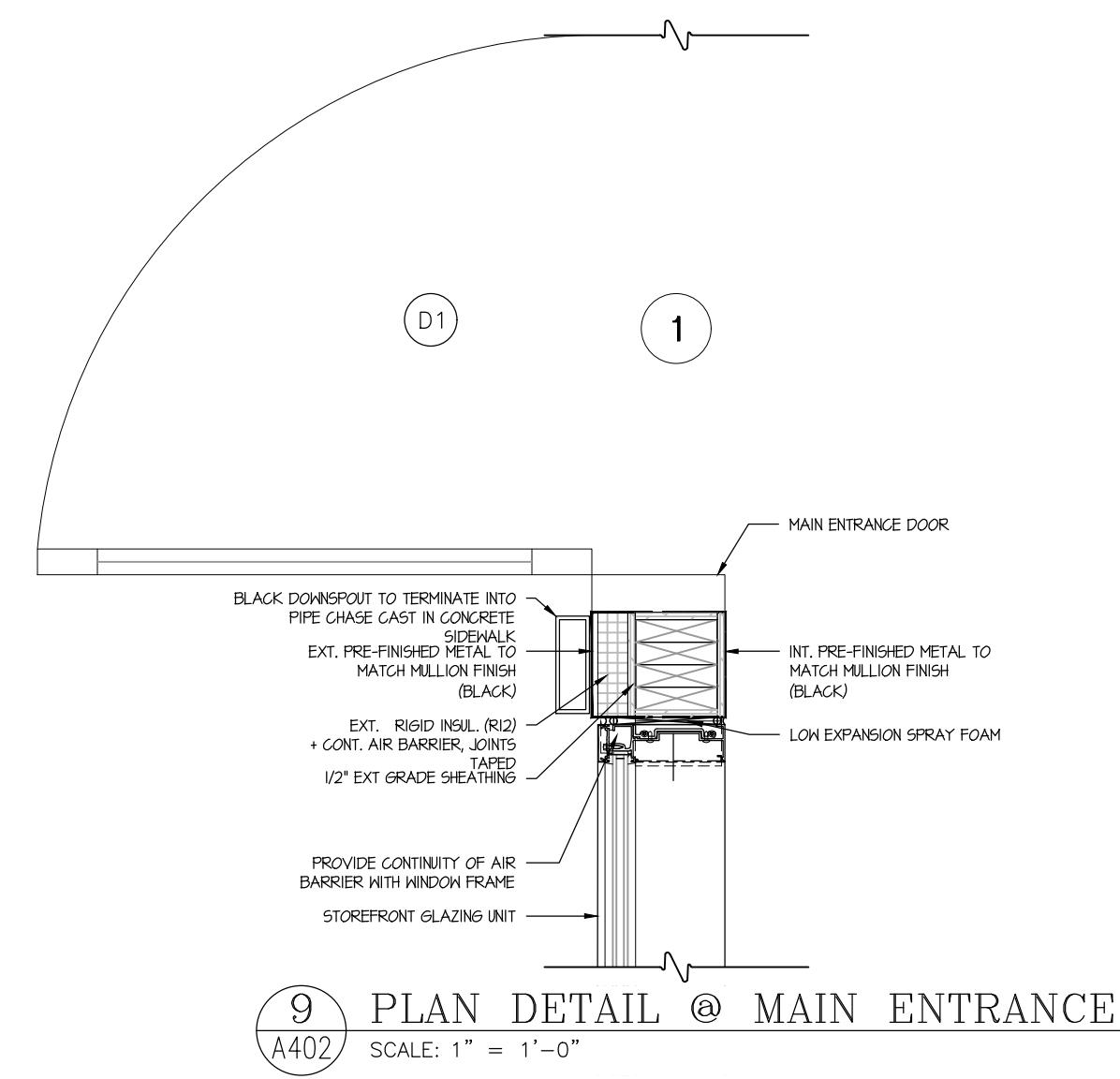
1 PLAN DETAIL @ DRIVE-THRU & CANOPY
A402



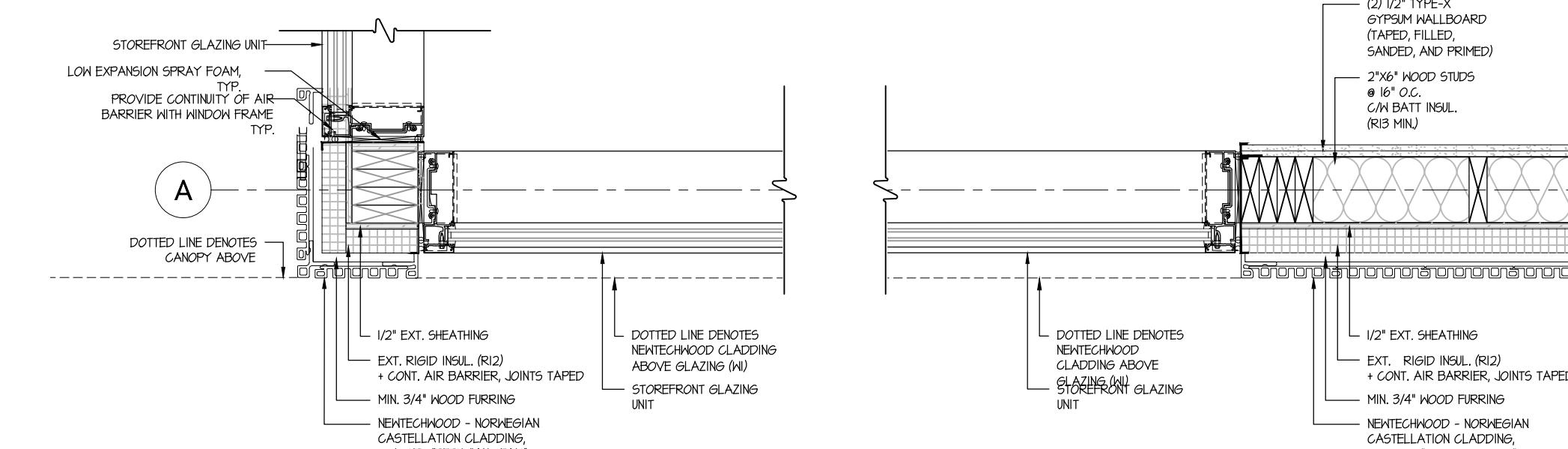
2 PLAN DETAIL @ WALLTYPE W6xW1
A402



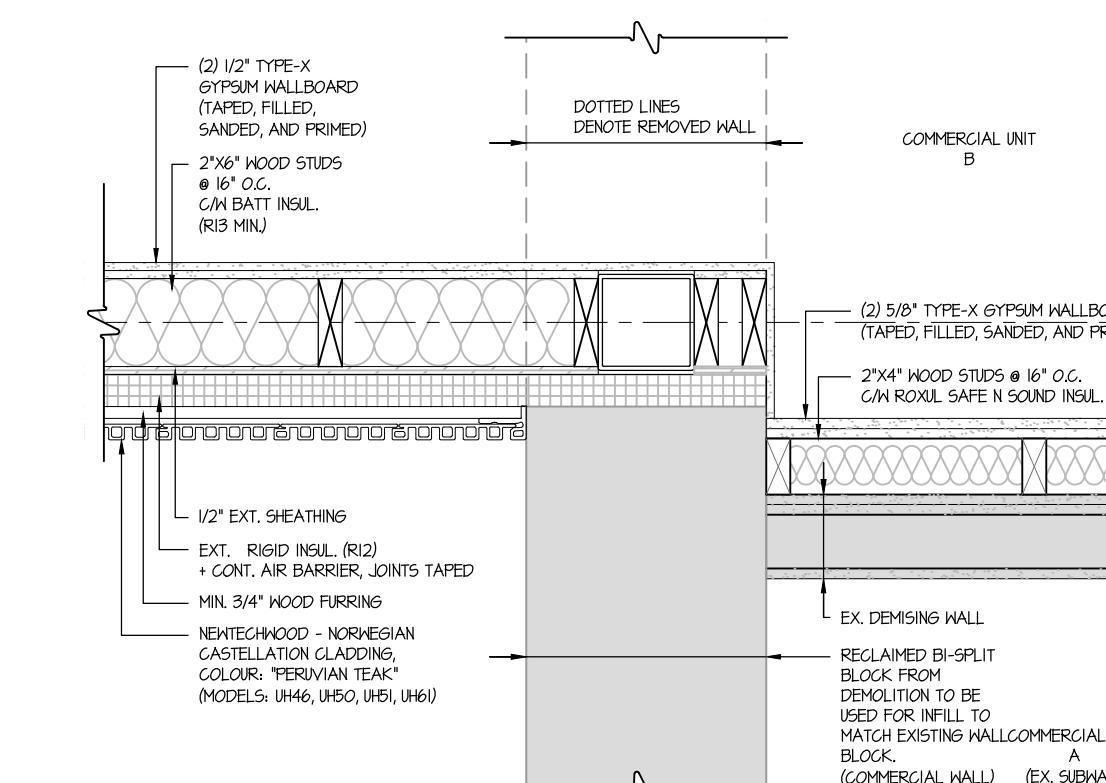
3 PLAN DETAIL @ S.EAST CORNER
A402



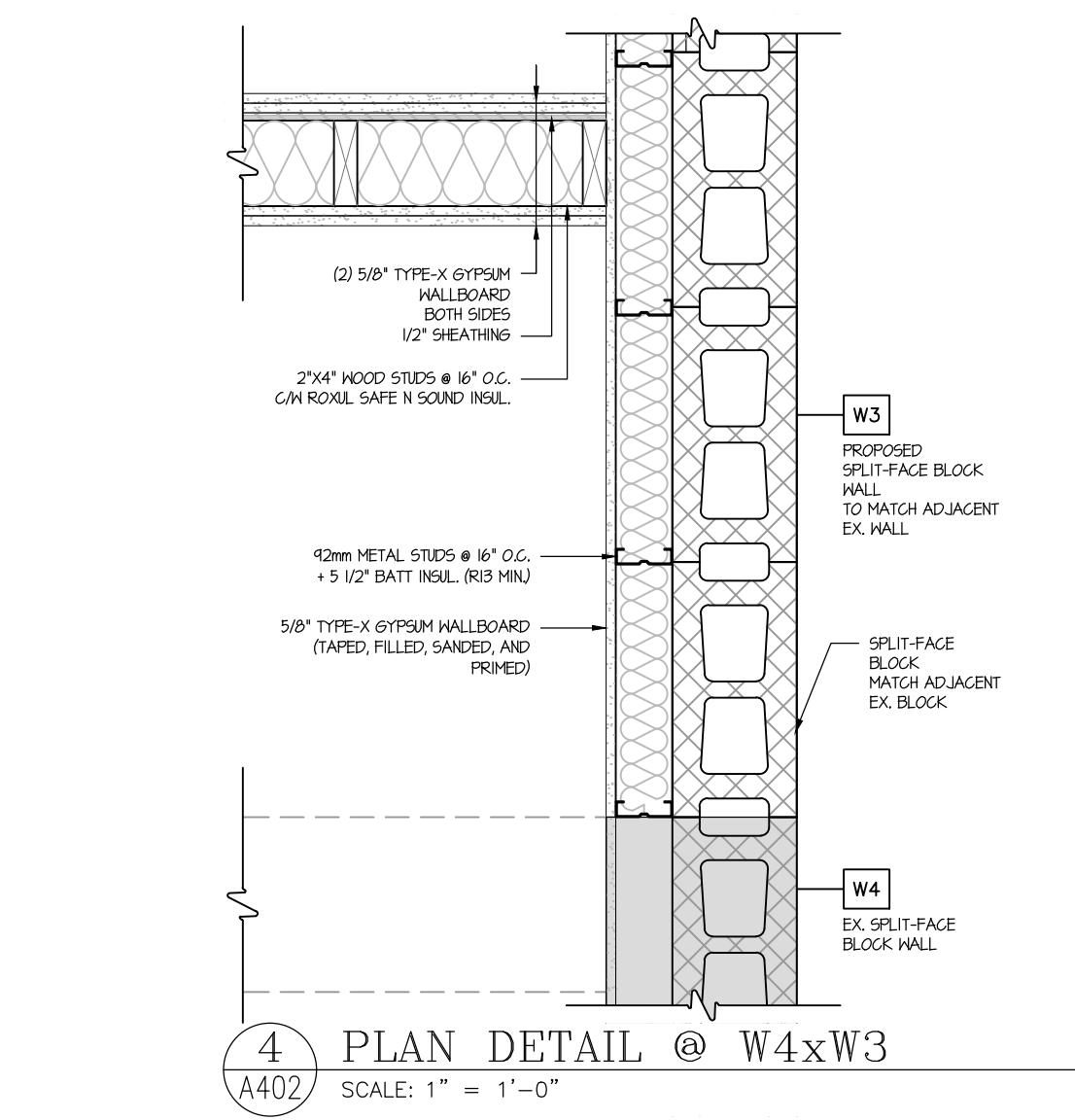
9 PLAN DETAIL @ MAIN ENTRANCE
A402



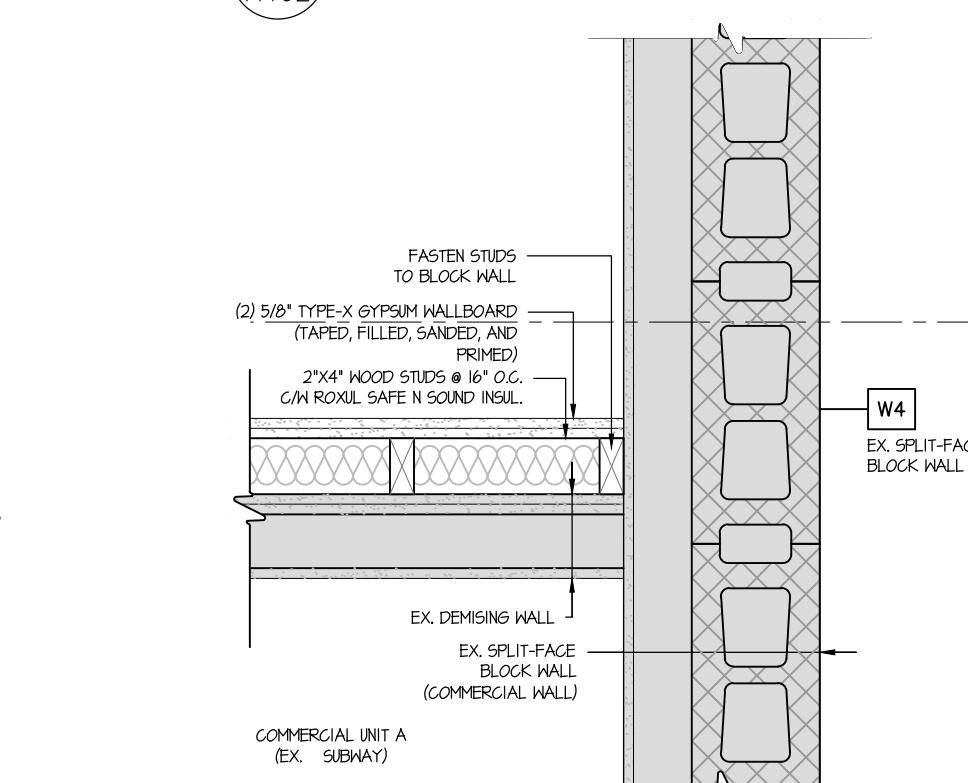
8 PLAN DETAIL @ GLAZING CORNER
A402



6 PLAN DETAIL @ DEMISING+NEW+EXST.
A402

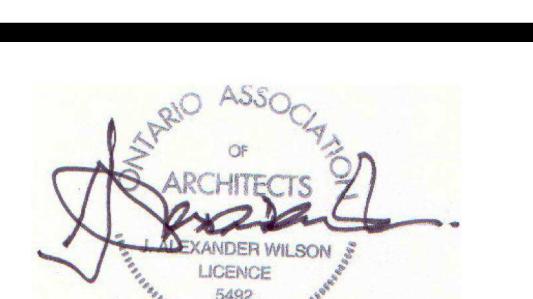


4 PLAN DETAIL @ W4xW3
A402



5 PLAN DETAIL @ DEMISING+EXST.
A402

Alexander Wilson
Architect Inc
Admiralty Place
103-20 Gore Street
Kingston, ON K7L 2L1
T: 613-545-3744
F: 613-545-1411

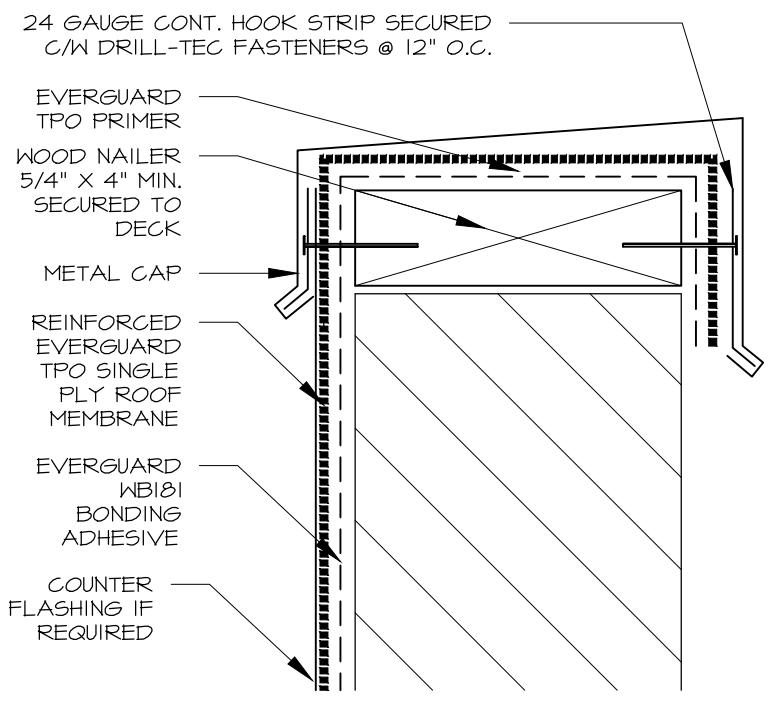


Project
NEW STARBUCKS
COBOURG

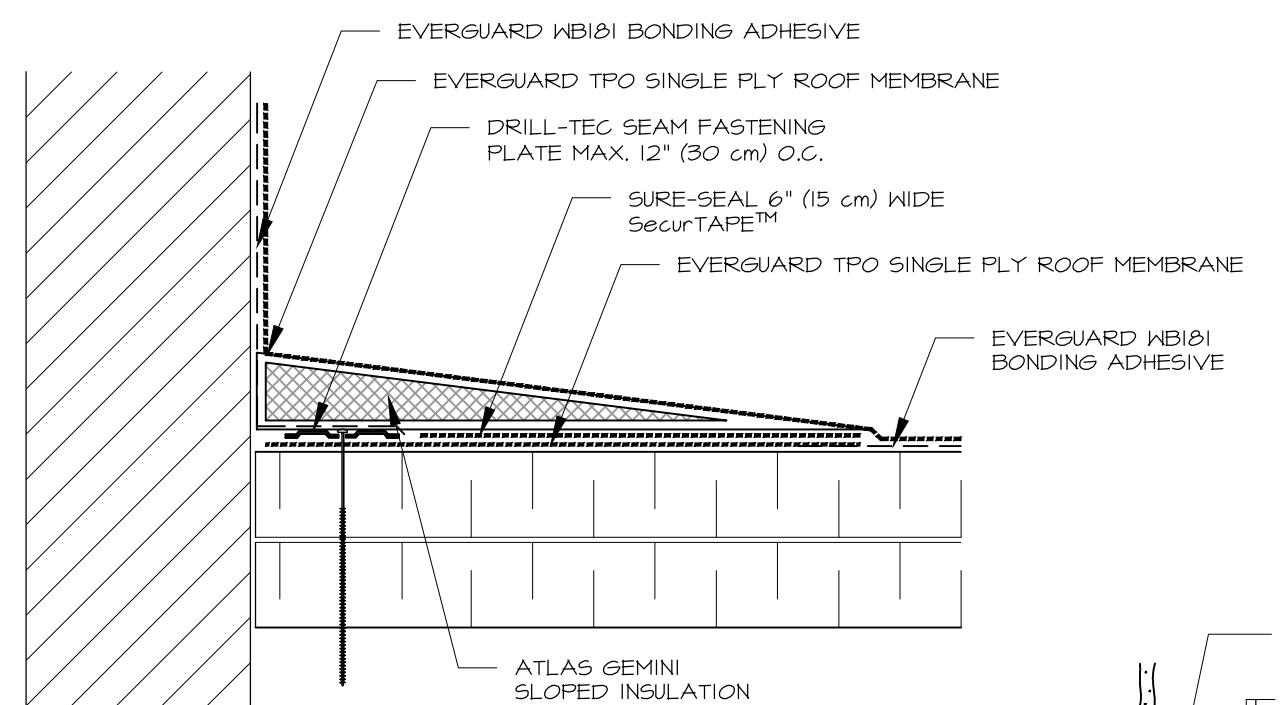
1030 Division Street
Cobourg, Ontario
Drawing

PLAN DETAILS

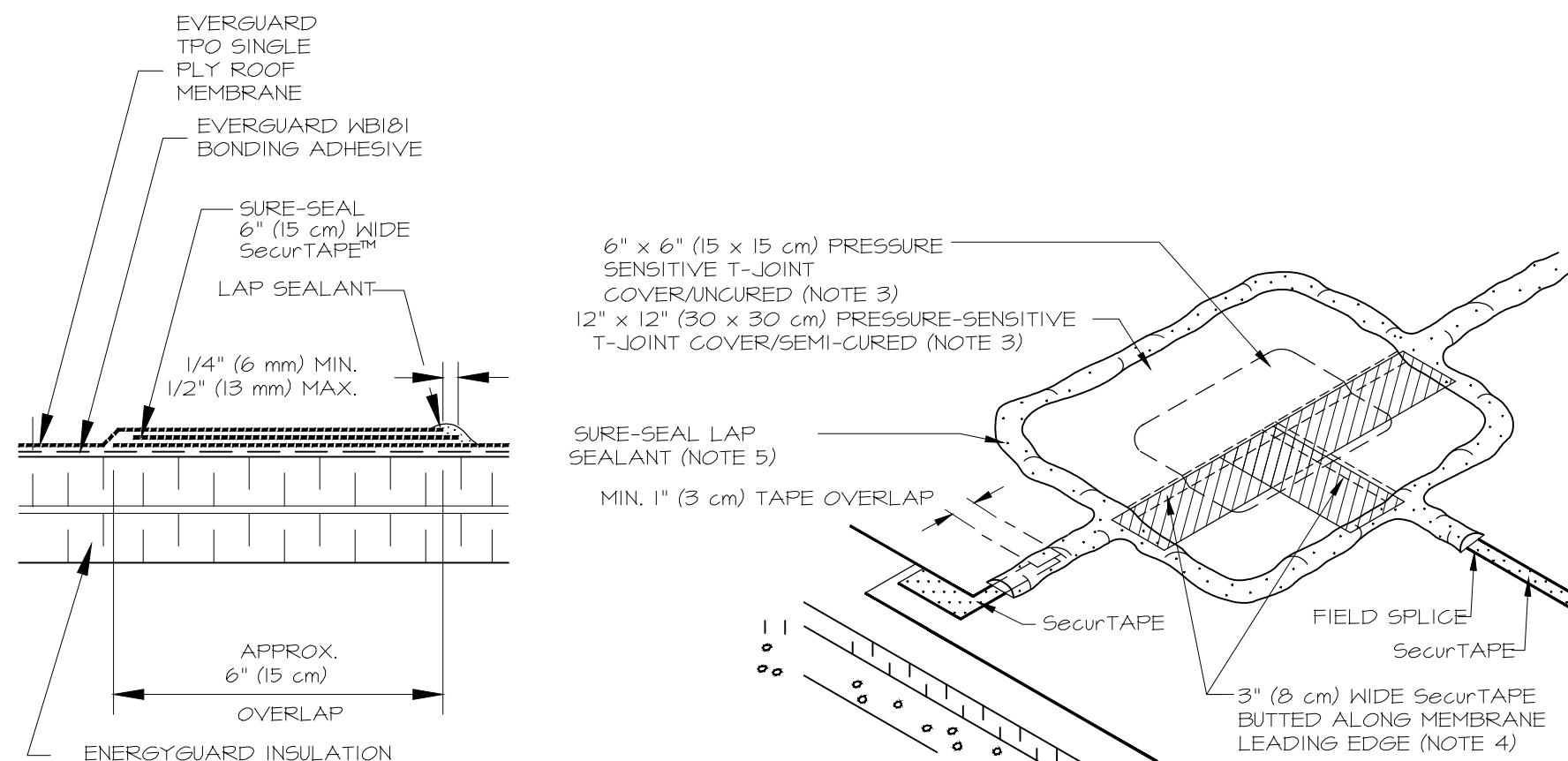
Drawn By	Checked By
CS	JMJ
Scale	Date
AS NOTED	NOV 2023
Project No.	Revision
2343	1
Drawing No.	
A402	



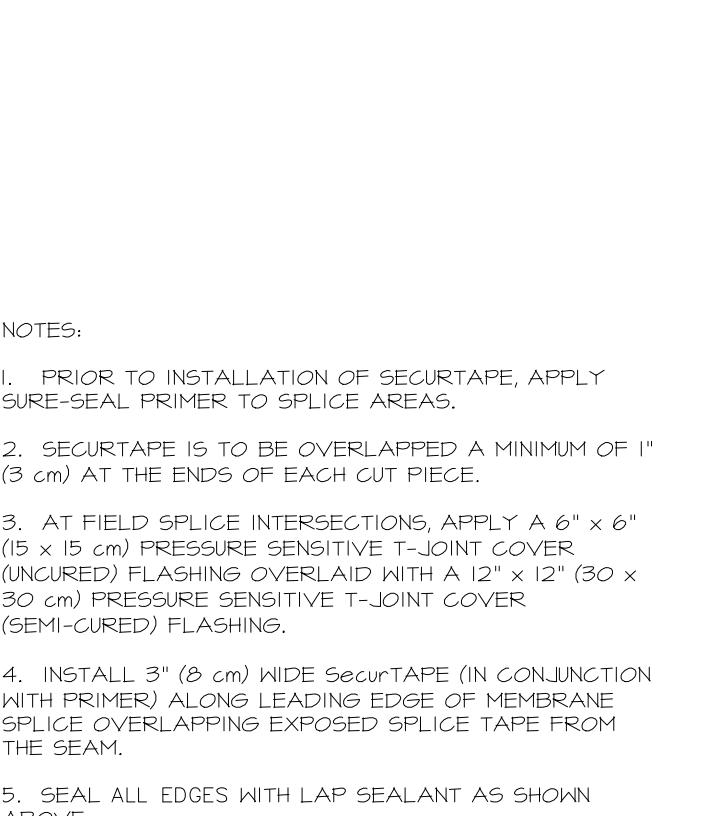
1 PARAPET CAP FLASHING
A700 SCALE: NTS



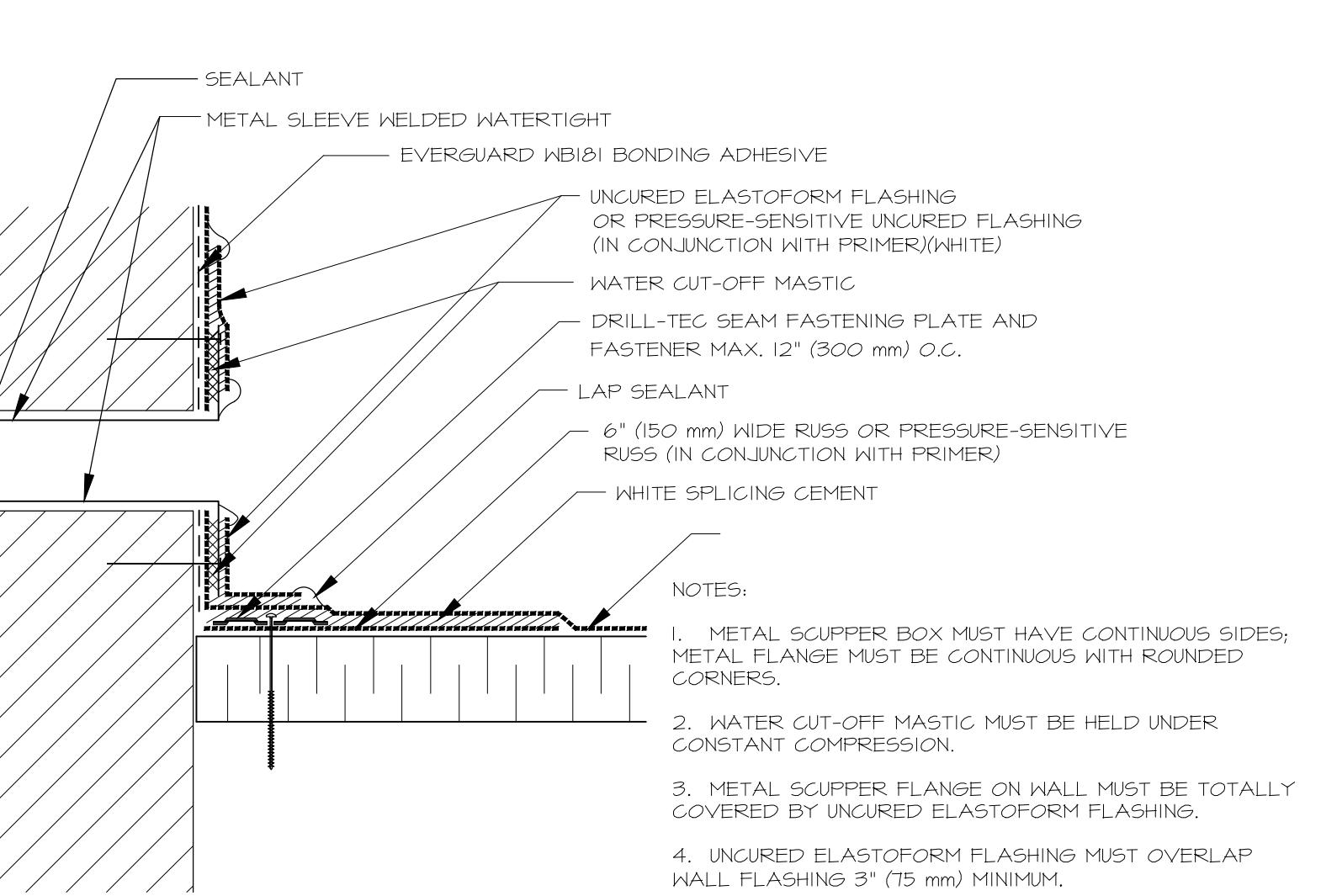
2 CONTINUOUS TPO WALL FLASHING DETAIL
A700 SCALE: NTS



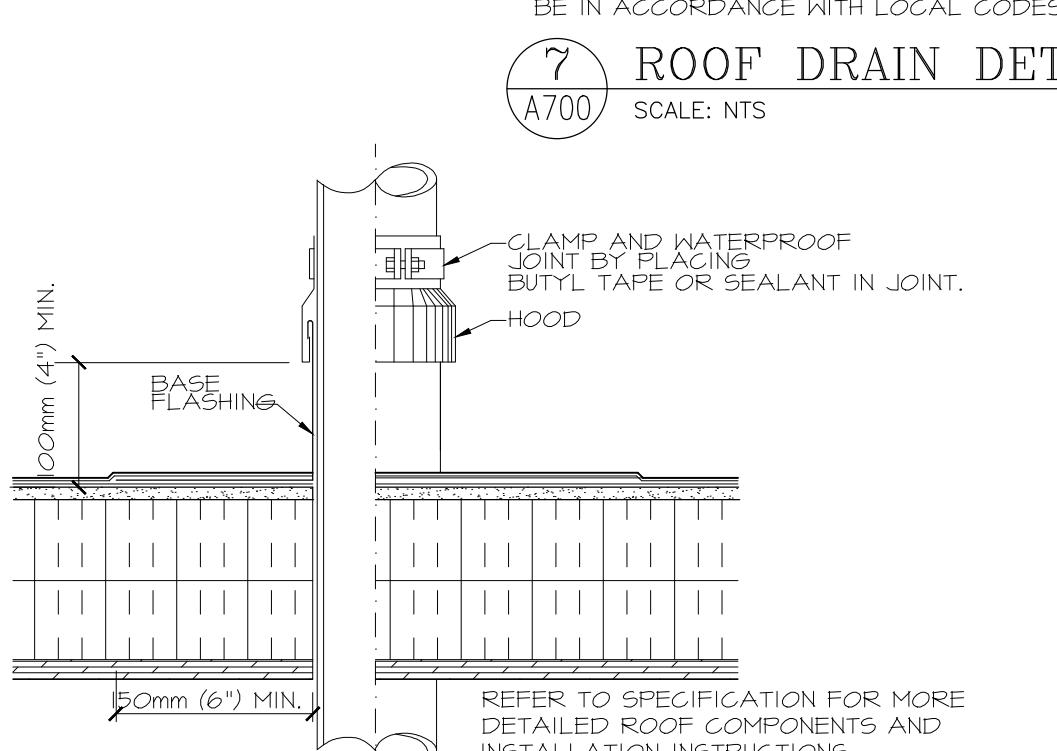
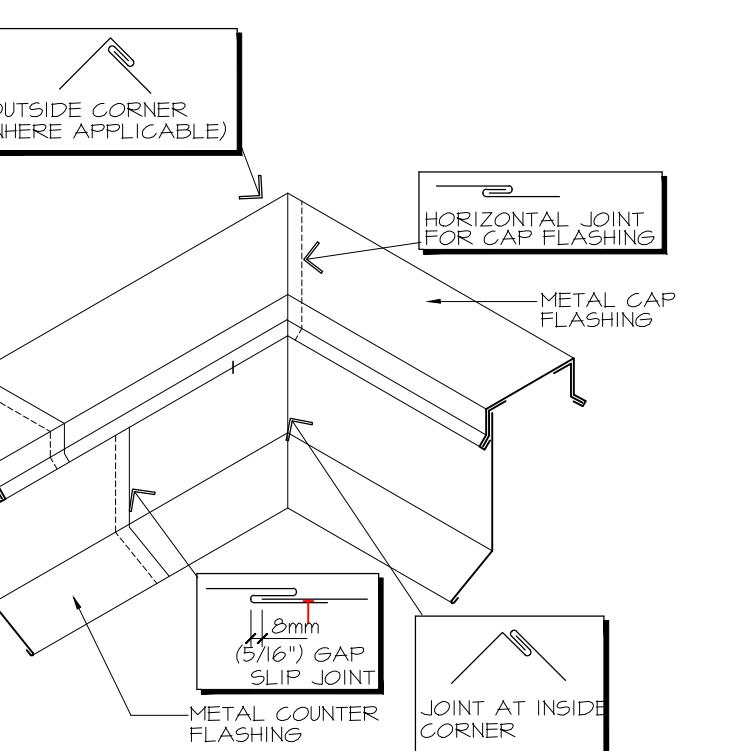
4 MEMBRANE SPLICE DETAIL
A700 SCALE: NTS



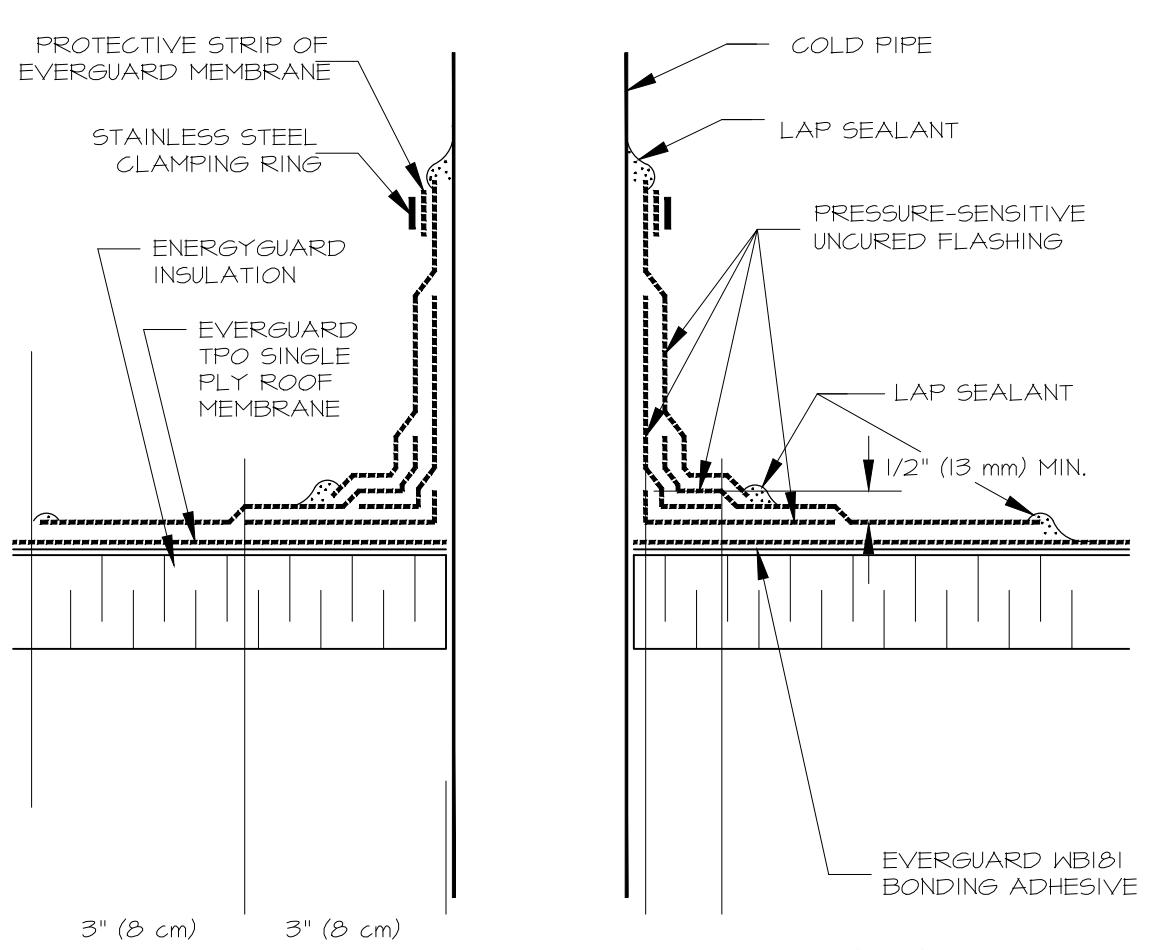
5 PARAPET FLASHING
A700 SCALE: NTS



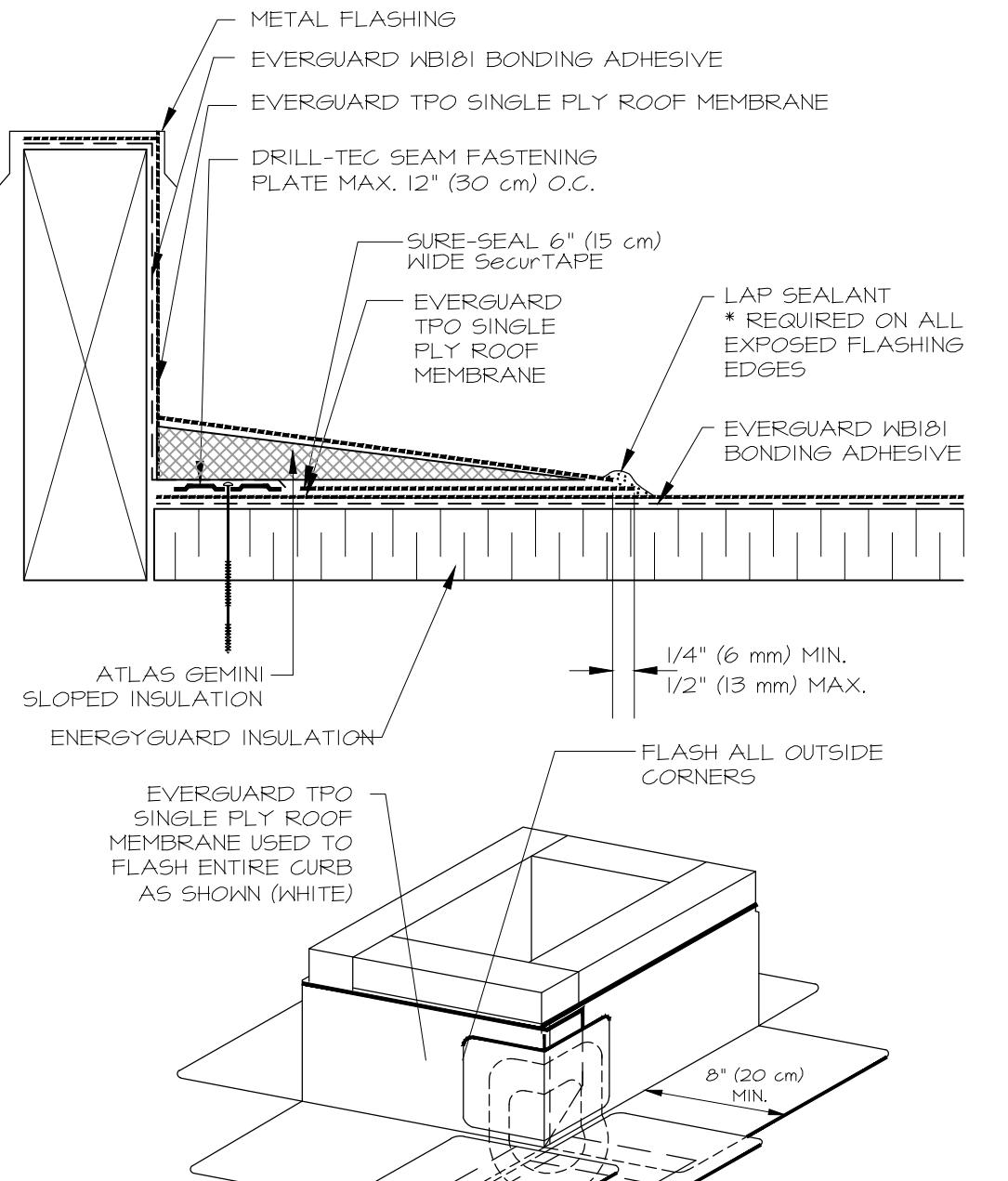
3 OVERFLOW METAL SCUPPER DETAIL
A700 SCALE: NTS



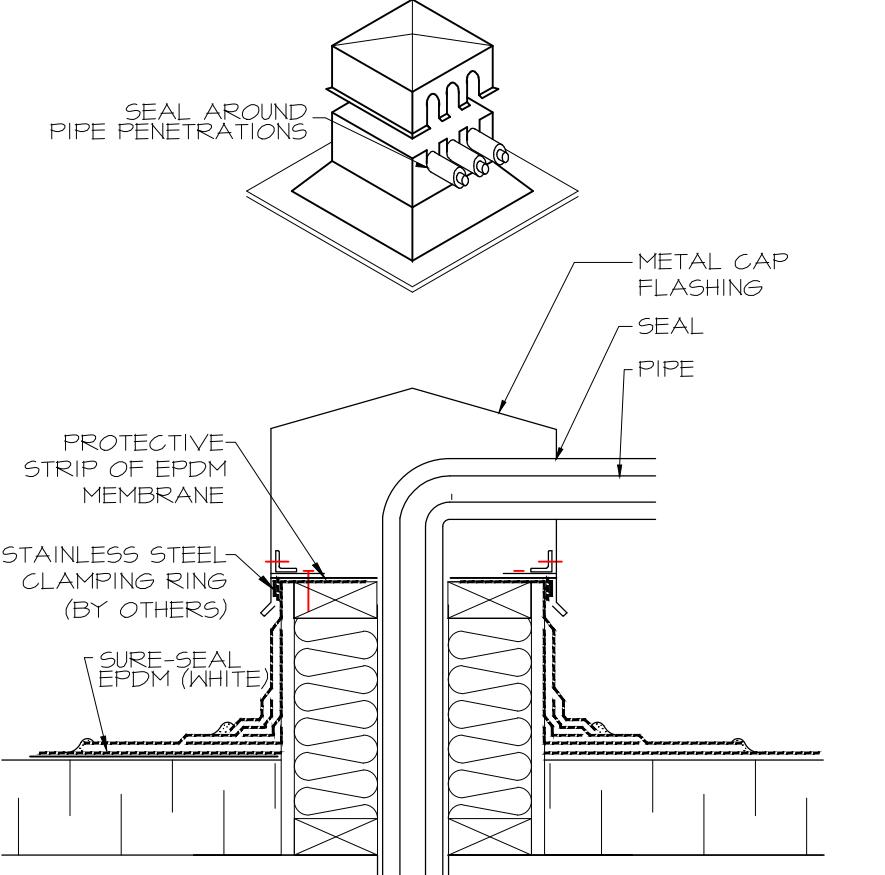
6 DETAIL A: COLD PIPE THROUGH EPDM ROOF
A700 SCALE: NTS



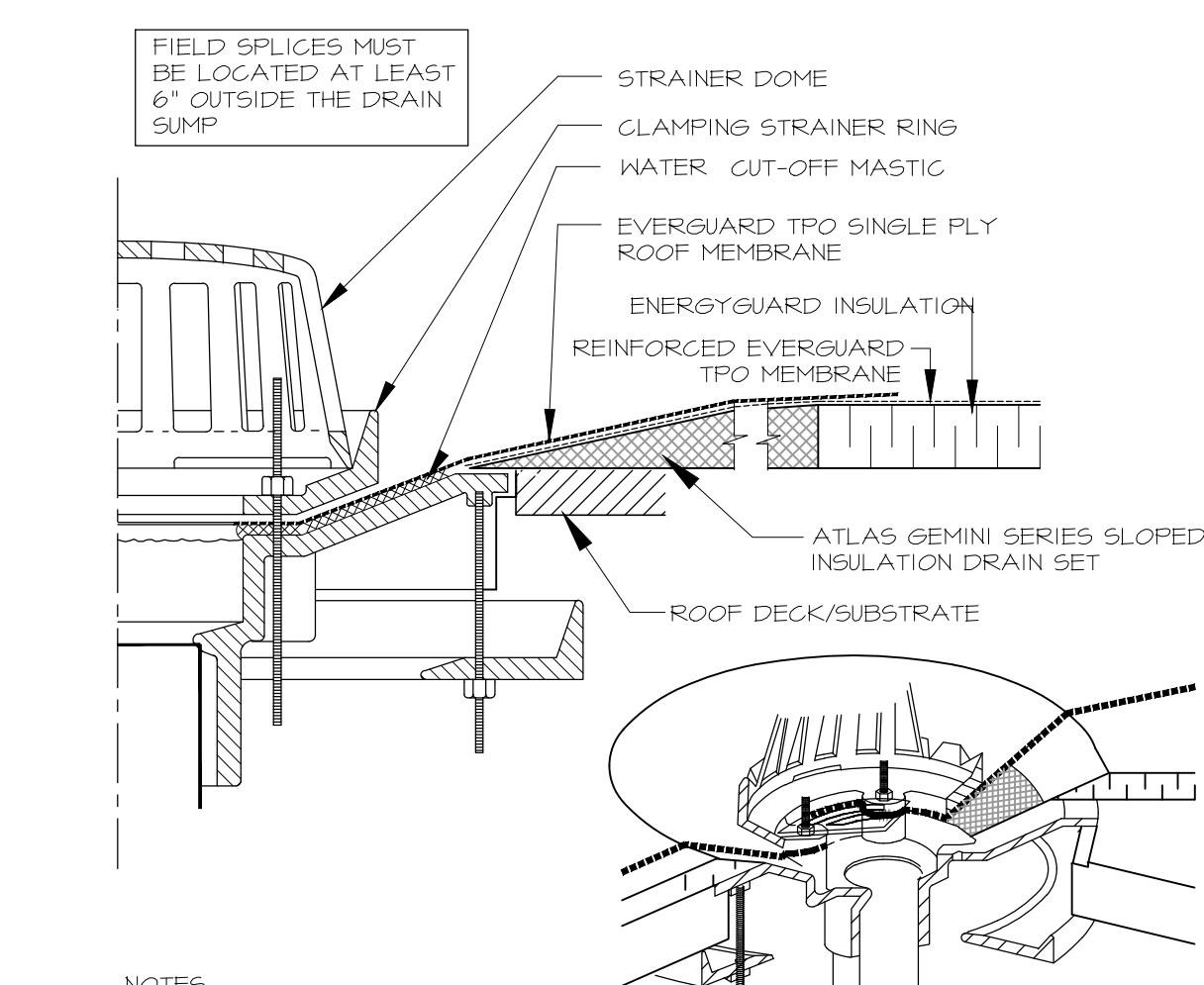
9 FIELD FABRICATED PIPE SEAL
A700 SCALE: NTS



10 INSULATED PIPE ENCLOSURE
A700 SCALE: NTS



11 INSULATED PIPE ENCLOSURE
A700 SCALE: NTS



12 PARAPET WALL C/W METAL EDGE & TPO COVER TAPE DETAIL
A700 SCALE: NTS

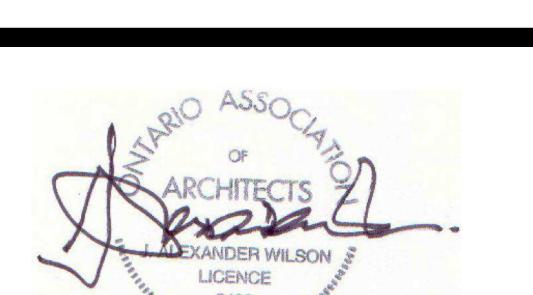
DO NOT SCALE DRAWINGS
CHECK AND VERIFY ALL DIMENSIONS BEFORE
PROCEEDING WITH THE WORK.
DRAWINGS NOT TO BE USED FOR CONSTRUCTION
UNLESS STAMPED AND SIGNED BY THE CONSULTANT.
THESE DRAWINGS HAVE BEEN DESIGNED IN
CONFORMANCE WITH THE ONTARIO BUILDING CODE.

Revisions and Issues	
REV.	DATE
1	2024/10/10 ISSUED FOR REVIEW
2	2024/10/24 ISSUED FOR COORDINATION
3	2024/11/13 ISSUED FOR BUILDING PERMIT
4	

GENERAL NOTES

- ALL DETAILS TO BE CO-ORDINATED WITH MECHANICAL/ELECTRICAL AND STRUCTURAL DRAWINGS AND ROOFING CONTRACTOR PRIOR TO INSTALLATION.
- REFER TO SPECIFICATION FOR DETAILED MATERIALS AND INSTALLATION INSTRUCTIONS.
- DETAILS SHOWN ARE POSSIBLE CONDITIONS AND NOT ALL MAY BE APPLICABLE.
- ALL ANCHORING & REINFORCING TO BE SIZED AND LOCATED ON STRUCTURAL DRAWINGS.
- FABRICATION AND INSTALLATION DRAWINGS ARE REQUIRED TO BE SUBMITTED FOR ALUMINUM ENTRY SYSTEM FOR APPROVAL PRIOR TO INSTALLATION.
- ROOF MEMBRANE TO BE SINGLE PLY WHITE EPDM MECHANICALLY FASTENED.
- ATLAS GEMINI SERIES TAPERED EDGE STRIP OR APPROVED EQUAL (TYP.) TO ALL PARAPETS, CURBING, AND HVAC UNITS.
- LINE DENOTES 4'-0"X1'-0" PRE-MANUFACTURED ONE-PIECE DRAIN SET (ATLAS GEMINI ONE-PIECE DRAIN SETS OR APPROVED EQUAL)(TYP.)

Alexander Wilson
Architect Inc
Admiralty Place
103-20 Gore Street
Kingston, ON K7L 2L1
T: 613-545-3744
F: 613-545-1411

Stamp


Project
NEW STARBUCKS COBOURG

1030 Division Street
Cobourg, Ontario

ROOF DETAILS

Drawn By	Checked By
CS	JMJ
Scale	Date
AS NOTED	NOV 2023
Project No.	Revision
2343	1
Drawing No.	

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ABBREVIATIONS

ALUM	ALUMINUM
CA	CLEAR ANODIZED
CINT	CLEAR TEMPERED INSULATED GLASS
DURO	DUROFIRM
EQ	EQUAL
EX	EXTERIOR
FGLG	FIXED GLAZING CLEAR GLASS
GALV	GALVANIZED STEEL
GVR	GREEN GLAZING GLASS
HC	HOLLOW CORE
HM	HOLLOW METAL
IMH	INSULATED HOLLOW METAL
INSUL	INSULATED
M.O.	MASONRY
OP	OVERHEAD DOOR
PT	PAINT
SA	SOFT ATTENUATING
SC	SOUND CORE WOOD
ST	STEEL
T	TEMPERED
T.B.D.	TO BE DIMENSED (SITE MEASURED)
TM	TO MATCH
WD	WOOD

HARDWARE GROUPS

GROUP 1	COMMERCIAL GRADE HARDWARE
	BUTT HINGES 115X100
	CLOSER
	LOCK SET
	FLUSH BOLT
	THRESHOLD
	WEATHER STRIPPING
	DOOR SWEEP
	Drip Edge
	PAN BAR
	SIGN
GROUP 2	COMMERCIAL GRADE HARDWARE
	BUTT HINGES 115X100
	CLOSER
	LOCK SET
	FLUSH BOLT
	THRESHOLD
	WEATHER STRIPPING
	DOOR SWEEP
	Drip Edge
GROUP 3	POWER DOOR OPERATOR

SC1 SC2 SC3 SC4 SC5

SC1 SC2 SC3 SC4 SC5