

Gridley City Planning Commission – Special Meeting Agenda

Wednesday, September 18, 2019; 6:00 pm
Gridley City Hall, 685 Kentucky Street, Gridley, CA 95948

"Our purpose is to continuously enhance our community's vitality and overall quality of life. We are committed to providing high quality, cost-effective municipal services and forming productive partnerships with our residents and regional organizations. Working together, we develop, share, and are guided by a clear vision, values, and meaningful objectives."

1. **CALL TO ORDER** – Chairwoman Espino
2. **ROLL CALL** – Recording Secretary
3. **COMMUNITY PARTICIPATION FORUM** - *Members of the public may address the Planning Commission on matters not listed on the agenda. The Planning Commission may not discuss nor take action on any community participation item brought forward by a member of the community. Comments are requested to be limited to three (3) minutes.*
4. **CONSENT AGENDA** - *All items listed under the Consent Agenda are considered routine and acted upon by one motion. Any Planning Commissioner may request that an item be removed for separate consideration. The Planning Commission may only make minor comments; otherwise the item should be removed from the consent agenda and placed as the first item(s) under "Public Hearings".*
 - A. Planning Commission Minutes dated July 10th, 2019 (Amended) and August 14, 2019.
5. **PUBLIC HEARINGS**
 - A. **Tentative Parcel Map No. 2-19;** Application for a tentative parcel map to subdivide one parcel consisting of approximately 5.4 acres into forty-two (42) parcels for a residential housing development located at the south side of Sycamore Street adjacent to Palm Drive in the Single Family Residential District (R-1) and Residential, Low Density (RLD) General Plan land use designation. (APN: 010-270-120)
 - B. **General Plan Amendment GPA 1-19, Rezone RZ 1-19;** Application for a General Plan Amendment and Rezone of approximately 5.4 acres from the General Plan land use designation of Residential Suburban (RS) to Residential Low Density (RLD), and rezone from Residential Suburban (R-S) to Single Family Residential District (R-1) located at the south side of Sycamore Street adjacent to Palm Drive. (APN: 010-270-120)

City staff respectfully recommends the Planning Commission:

1. Receive staff report
2. Open public hearing
3. Hear public testimony
4. Close public hearing
5. Commission discussion

City staff respectfully recommends the Planning Commission:

1. Recommend the City Council adopt a resolution accepting the Negative Declaration meeting the California Environmental Quality Act; and,
2. Recommend the City Council adopt a resolution and ordinance amending the General Plan and Rezone of the property; and,
3. Recommend approval of TSM 2-19 to the City Council.

6. INFORMATIONAL – None.

7. REPORTS & COMMUNICATIONS – None

8. ADJOURNMENT - to a special meeting of the Planning Commission dated October 16, 2019.

General Notes:

This agenda was posted on the public bulletin board in the foyer of City Hall at or before 4:00 p.m. on September 13, 2019, in accordance with Government Code Section 54954.2. This agenda along with all attachments, if any, is available for public viewing online at www.gridley.ca.us and at the Administration counter in City Hall, 685 Kentucky Street, Gridley, CA. This is a public meeting and anyone may address the Planning Commission. Any documents that were provided to the Planning Commission after the Agenda packet was distributed are also available for public review during normal business hours.

Meeting facilities are accessible to persons with disabilities. By request, alternative agenda document formats are available to persons with disabilities. To arrange an alternative agenda document format or to arrange aid or services to modify or accommodate persons with a disability to participate in a public meeting, contact the City Clerk by calling 846-3631 (voice). This request should be received at least three working days prior to the meeting in order to accommodate your request. For questions about this agenda, please call the Recording Secretary, Elisa Arteaga, at (530) 846-5695.

Gridley City Planning Commission – Regular Meeting Minutes

Wednesday, July 10, 2019; 6:00 pm
Gridley City Hall, 685 Kentucky Street, Gridley, CA 95948

"Our purpose is to continuously enhance our community's vitality and overall quality of life. We are committed to providing high quality, cost-effective municipal services and forming productive partnerships with our residents and regional organizations. Working together, we develop, share, and are guided by a clear vision, values, and meaningful objectives."

1. **CALL TO ORDER** – At 6:00 p.m., Chairwoman Espino called the meeting to order.
2. **ROLL CALL** – Recording Secretary

Planning Commissioners

Present:	Maria Espino, Chairman Ken Wolfe, Vice Chair Ishrat Khan-Aziz, Commissioner
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Arriving post roll call:	None
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Absent:	None
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Staff Present:	Donna Decker, City Planner/Consultant (DES,LLC) Elisa Arteaga, Recording Secretary
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3. **COMMUNITY PARTICIPATION FORUM** - *Members of the public may address the Planning Commission on matters not listed on the agenda. The Planning Commission may not discuss nor take action on any community participation item brought forward by a member of the community. Comments are requested to be limited to three (3) minutes.*

There was no public comment.

4. **CONSENT AGENDA** - *All items listed under the Consent Agenda are considered routine and acted upon by one motion. Any Planning Commissioner may request that an item be removed for separate consideration. The Planning Commission may only make minor comments; otherwise the item should be removed from the consent agenda and placed as the first item(s) under "Public Hearings".*
 - A. **Approval of the Planning Commission Minutes dated February 12, 2018, June 18th, 2018, and August 8th, 2018.**

Motion by Wolfe, second by Khan, for approval of Planning Commission minutes dated February 12, 2018, June 18th, 2018, and August 8th, 2018.

Roll Call

Ayes: Khan, Wolfe, Espino Noes: None Absent: None Abstain: None **Motion Passes 3-0**

5. PUBLIC HEARINGS

A. Tentative Parcel Map No. 1-19: Application for a tentative parcel map to subdivide three parcels consisting of approximately 4.7 acres into twenty-one (21) parcels consisting of one 0.25 acre parcel for a detention basin and twenty (20) parcels for a residential housing development located at the northeast corner of Peach Street and West Biggs Gridley Road in the Single Family Residential District (R-1) and Residential, Low Density (RLD) General Plan land use designation. (APN: 022-230-022, -024 & -025)

1. Receive staff report

Staff report – Donna Decker reviewed the staff report and plans as submitted to Commission. She explained the differences in previous plans (originally submitted in 1993) and changes since the first submittal of the map. She explained the applicant is proposing a 21-parcel single-family residential subdivision on three parcels (4.7 acre). The proposed subdivision was initially proposed and approved in 1993 and 2005; both maps expired. The applicant is submitting a similar proposal as previously approved with slight differences in lot sizes, the connection to Bridgeford Avenue for future growth to the north. The tentative subdivision map will create 20 new single-family lots ranging in size from 5,050 to 6,565 square feet and one lot reserved for a storm water detention basin 11,200 sq. ft. She elaborated as to revised zoning codes and purpose to support infill design and legalize small parcels in town. She explained the City reduced lot sized and allowed for smaller lot designations under R1 zoning. She reviewed exhibit "A" Conditions of Approval and map as well as discussing the variety of zones and lot sizes within the map, proposed sidewalk improvements and deferred improvements as well as standards that need to be made for this subdivision. She closed that this is an opportunity for Commission to make recommendations to bring to City Council of this project. The project is categorically exempt and no environmental impacts.

Chairwoman Espino and Vice Chairman Wolfe asked for clarification of deferred sidewalk improvements. Decker reported it was for curb and gutter (north to south areas of the project with landscaping only). Espino and Wolfe both expressed concerns with conditions relating to the City entering into a deferred agreement relating to improvements located on the east one-half of West Biggs Gridley Road and costs associated to the improvements be passed onto the future property owners of those parcels. They both elaborated as to when other subdivisions have built along West Biggs Gridley Road, the improvements were included.

Commissioner Khan inquired if there are issues with archeological artifacts. Decker explained if found, the contractor is required to stop and inform the City and the owner will need to have an archeologist come out to the site. Decker reviewed the process of approval of the map and responsible parties for the project and development. Khan inquired what the term "slope" meant on the property map. Decker explained it's part of the drainage information for the lots. The grading plans and improvement plans will be further submitted.

Chairwoman Espino inquired on the Bridgeford Ave proposed future street extension. Decker reviewed the future street extension (county) plan submittal and designation. She explained the future street extension on Bridgeford, required annexation due to county lines. The original proposal was not to have Glen Drive but due to safety personnel access concerns, this plan has been submitted.

Espino inquired about #11 condition. Decker explained it is to keeping the dust down for Butte County Air Quality. There was further discussion between Decker and Espino relating to the City providing the same type of maintenance of districts such as those of Heron Landing. Decker concurred and explained the process of the deed lot 21, detentions, landscaping and streetlights, as well as frontage improvements.

Commissioner Khan inquired if the building requirements included building to code for "earthquakes" criteria. Decker reported that they will need to meet the most current uniform building codes which include that criteria.

2. Open the public hearing – Chairwoman Espino opened the public hearing.

Kurt Hilbers – 1555 Atkinson Ct., Yuba City, owner of Hilbers Inc. introduced himself to the Commission. He explained there is a lot of interest to build especially after Camp Fire Disaster and would like to see the project built. The difference between them and other builders is that the project this is a much smaller project.

Chairwoman Espino ask about project timelines. Mr. Hilbers explained they are working on a smaller project in Gridley, so it would be fast and they anticipate to be under construction this summer. They have much larger projects in other cities, this is a small project and it would move fast. There was discussion between Chairwoman Espino and Vice Chairman Wolfe relating to the deferred development of improvements and if the new owners would be made aware ahead of time before purchasing the project of those assessments. There was concern expressed of passing on the costs of the improvement to new homeowners.

Decker explained the owners would be notified of deferred improvement costs. It is best to design the entire road vs a short entire section of the road. She explained the theory for deferring improvements to ensure design conformity. Wolfe expressed concern of future costs for improvements could change over time. Decker explained control points and improvements and elaborated as to designing of small sections, pockets done if not right there could be problems with funding to tear out and rebuild improvements. There would be disclosures provided to owners and options to set up an assessment district.

Commissioner Khan ask Kurt Hilbers to confirm the other areas of improvements, lift station and retention basin. Mr. Hilbers confirmed per City Engineer and City requirements would have to be completed before homes are sold and all improvements should be in place and to code and prior to sale of homes.

Pat Coghlan – 852 Idaho Street, addressed the Commission, submitted a written statement for the record (attached to minutes as "Exhibit A"). He provided a verbal overview of his written submittal, highlighting each concern. He asked the Commission to reconsider the allowance of deferred improvements. The deferment of improvements only provides savings of costs to the developer. It puts the burden on new homeowners, the City and/or County. He reported that all other builders have provided improvement upfront and allowing deferment of improvements makes the future property owners jump through hoops take on the burden that should be on the developer. He urged the Commission to reconsider. He added that

that the detention pond calls for 6 ft cyclone fence with flats, that will look very unattractive. His primary concern was the safety issues with the plot plan. He deferred to other areas that are unsafe for pedestrians and cyclists. He suggested have a safety engineer look at the plot plan because it is not safe and the City do not allow deferred improvements on West Biggs Gridley Road.

There was brief overview of the map reassessing safety for pedestrians and cyclists. Decker reported if upon building the detention pond it is deep that would require fencing the instead of the cyclone fence it could be changed to an iron fence around Lot 21 detention basin with shrubbery.

3. **Close Public Hearing** - Chairwoman Espino closed the public hearing.
4. **Commission Discussion** -

Chairwoman Espino announced that new housing good idea for Gridley and Heron Landing Development has already set a standard to have improvements in place prior to the sale of homes. There will be more traffic and safety is a huge issue and she was not in support of the deferment of roadside improvements. She concluded she was in support of the development however, not the deferment of improvements along West Biggs Gridley Road as well as the extension to Bridgeford Street.

Commissioner Khan announced she appreciated the interest in developing in Gridley but the sidewalk improvements should in place prior to the building of the development or if there is a deferment there should be a plan for deferred costs for future owners. There needs to be clarification for costs for proposal of deferred amounts to homeowners such as annual tax assessments.

Vice Chairman Wolfe expressed concern with deferment of improvements along West Biggs Gridley Road. He was in support of new housing but not deferring costs to homeowners.

Planning Consultant, Donna Decker suggested adding language to fencing conditions to the detention basin and deferment and cost plans. She explained the assessment process and plans.

MOTION BY ESPINO, for the following:

1. Determine the project is Categorically Exempt per the California Environmental Quality Act, Section 15332(a-e), Class 32, Infill Development Projects; and,
2. Recommend approval of TSM 1-19 to the City Council with added two conditions of approval; if the detention basin requires fencing, it will not be cyclone fence, it will be iron/steel tubular fencing with shrubbery and the improvements along West Biggs Gridley Road and the Bridgford extension not be deferred.

For a lack of a second, motion did not pass.

Vice Chairman provided clarification that the Bridgford extension is County and is not included within the improvement limits of the project. He further elaborated that he did not agree with deferring of improvements.

MOTION BY WOLFE, SECOND BY KHAN for the following:

1. Determine the project is Categorically Exempt per the California Environmental Quality Act, Section 15332(a-e), Class 32, Infill Development Projects; and,
2. Recommend approval of TSM 1-19 to the City Council with added two conditions; if the detention basin requires fencing, it will not be cyclone fence, it will be iron tubular fencing with shrubbery and the all improvements along West Biggs Gridley Road be included not deferred.
3. Direct staff to work with the Developer to define deferred improvement buildout costs and plans.

Ayes: Khan, Wolfe, Espino Noes: None Abstain: None **Motion passes 3-0**

6. INFORMATIONAL – None

7. REPORTS & COMMUNICATIONS

Donna Decker, Planning Consultant provided clarification of regular meeting schedule. They are scheduled to be held every 2nd Wednesday of the month. She added there will be an upcoming meeting with other items and provided a verbal update on the status of the AM/PM project.

8. ADJOURNMENT – At 7:50 p.m. the Planning Commission adjourned to the next regular meeting of the Planning Commission to be held on Wednesday, August 14, 2019.

Approved: _____
Donna Decker, Planning Consultant

Exhibit "A" to Minutes 7-10-19

July 10, 2019

852 Idaho Street
Gridley CA 95948

Gridley Planning Commission
685 Kentucky Street, Gridley
Delivery by hand, July 10, 2019.

In re: Tentative parcel map 1-19, Hilbers New Home Communities public hearing.

Good Evening,

My name is Patrick Coghlan. I reside at the above address and have done so since July, 1981. This proposed subdivision is one half block from my property and yesterday was the first time I learned of it. I have briefly reviewed the plot plan and I have several concerns about the project as presented to the Commission. I believe that the safe movement of pedestrians, bicyclists and vehicles in the area is unduly compromised by the current design. Here are my observations and concerns about this project:

1. To me this project appears to propose that safety improvements to West Biggs-Gridley Road needed to accommodate Glenn Drive will not be completed as part of this project ("FUTURE STREET IMPROVEMENTS: NAPO THIS PROJECT"), that no deceleration lane or left turn lane provisions for cross streets will be incorporated into the project, and that the road width will be less than that incorporated into Heron Landing and Eagle Meadows subdivisions, and therefore unable to accommodate such safety provisions in the future.

I ask you not accept these reduced standards and not compromise the safety of Gridley residents. We know that Biggs favors growth to its south on that road, that Gridley landowners along that road may also seek to build on their properties, that the railroad is against allowing additional at-grade crossings, and that overpasses are prohibitively expensive. As most of the traffic from Gridley subdivisions is southbound, and all the schools are southbound from the site, it is reasonable to expect that the majority of traffic from residential growth on this road will have to pass through this road section.

After the exceptional job done by Heron Landing in accommodating expected growth, the last thing you should do is allow a pinch point to be created to accommodate this small development. The traffic on the road is definitely mixed use, in that in addition to residents it is used by farm vehicles and agricultural transport trucks, and is the dominant means by which police, fire and ambulance vehicles travel between Gridley and Biggs. When considering traffic safety simple residential standards are not effective and should not be relied upon. To keep this section of road safe I ask that the Gridley Planning Commission require road improvements which keep the same standards used for construction of Heron Landing and Eagle Meadows, and that they be completed prior to residential occupancy.

2. The project proposes an extension of Idaho Street as its one and only southbound traffic artery. It is reasonable to expect nearly all pedestrian, bicycle and vehicle traffic will be southbound towards highway 99, the city center, the shopping center and the schools, and such traffic will cross Peach and Oak Streets before turning on Spruce or a street further south. This is a high risk route and should not be considered.

Because Idaho Street is parallel to but only a little over 100 feet from West Biggs Gridley Road, these crossings are problematic for southbound motorized vehicles on Idaho crossing Oak, Spruce and streets further south as frequently cars turn east and do not have the time to react to a vehicle in the intersection. Pedestrians and bicyclists have an even worse problem as they take longer to cross the road. Crosswalks are impractical as motorists have too little warning after turning. If crosswalks were installed then a pedestrian crossing could result in a backup of vehicles onto Biggs Gridley Road. All it would take is one OTR truck to fill up the space between the crosswalk and the road.

A further issue is the absence of sidewalks on Idaho Street. Currently most pedestrians on Idaho walk in the street. In winter muddy areas discourage use of the city right of way where the sidewalk should be.

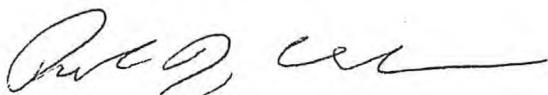
I ask the Commission to review the safety of the anticipated route for the residents of this subdivision, with special consideration for the safety of children walking or cycling to school, while mindful of the mix of vehicles going back and forth in the area.

3. The proposed intersection of Peach Street and Idaho Street has all the problems outlined above for Oak, Spruce and Hazel, with two added problems. If you imagine you are a southbound pedestrian on Idaho Street in the subdivision and you are looking West to ascertain oncoming traffic while next to the fire hydrant at the northeast corner of the intersection, you will note that your ability to both see and hear the traffic which may be about to turn eastbound on Peach is impeded by a six foot sound wall. With today's hybrid and electric vehicles you will be unable to see or hear such traffic. A vehicle turning from Biggs Gridley Road to Peach will also be blinded to the intersection and, while trying to execute a safe left turn may have less than 100' to respond to pedestrian. At about 35 mph that vehicle can be in that intersection in about three seconds. I think that it is unthinkable to put anyone, especially our school children in such an unsafe predicament. I fear that many will not recognize the sensory deprivation and attempt to cross that road without due caution. A sizeable side yard setback for lot 1 and elimination of the sound wall for that lot would be little relief.

I also ask your attention to the existing stop sign in the northbound lane of Idaho at the intersection with Peach. I can tell you that in the last 37 years it has rarely been visible due to trees or motorhomes parked in front of it. (The current property owner has a low utility trailer there, and that has helped a lot.) As the intersection is currently a "T" it has not been much of a problem, but if Idaho is extended, a section will need to be red-curbed or some other remedy chosen to make it continuously visible.

Thank you for your time. I encourage you to seek the guidance of a qualified traffic safety engineer in reviewing these issues. Please assist our community to grow but let's do so safely or not at all.

Sincerely Yours,



Patrick Coghlan

Gridley City Planning Commission – Regular Meeting Minutes

Wednesday, August 14, 2019; 6:00 pm
Gridley City Hall, 685 Kentucky Street, Gridley, CA 95948

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1. **CALL TO ORDER** – At 6:00 pm. Chairwoman Espino called the meeting to order.

2. **ROLL CALL** – Recording Secretary

Planning Commissioners

Present:	Maria Espino, Chairman Ken Wolfe, Vice Chair Sumran Khan, Commissioner
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Arriving post roll call:	None
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Absent:	Ishrat Khan-Aziz, Commissioner Rukhsana Khan
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Staff Present:	Donna Decker, City Planner/Consultant (DES,LLC) Elisa Arteaga, Recording Secretary
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3. **COMMUNITY PARTICIPATION FORUM** - *Members of the public may address the Planning Commission on matters not listed on the agenda. The Planning Commission may not discuss nor take action on any community participation item brought forward by a member of the community. Comments are requested to be limited to three (3) minutes.*

There were community participation comments.

4. **CONSENT AGENDA** - *All items listed under the Consent Agenda are considered routine and acted upon by one motion. Any Planning Commissioner may request that an item be removed for separate consideration. The Planning Commission may only make minor comments; otherwise the item should be removed from the consent agenda and placed as the first item(s) under "Public Hearings".*

- A. **Planning Commission Minutes dated July 10, 2019.**

Motion by Wolfe, Second by Espino, for approval of Planning Commission minutes dated July 10th, 2019. By unanimous vote, the motion passed 3-0.

5. PUBLIC HEARINGS

- A-D. **Variance No. 1-19 to 4-19** Norcal Investors, Inc., Applicant/Owner; Application for a variance from Title 17 zoning code development standards to reduce the side yard setback area for four residential parcels from 20 feet to 15 feet located at 1900 Canvasback Ct (APN 009-240-035), 1905 Cinnamon Teal Ct (APN 009-240-001), 1905 Canvasback Ct (APN 009-240-016), and 1905 Gray Lodge Ct (APN 009-250-064) in the Heron Landing Subdivision. Zoning for the property is Single Family Residential (R-1) and Residential Low Density (RLD) General Plan land use designation.

City staff respectfully recommends the Planning Commission:

1. Receive staff report – Donna Decker provided a verbal overview of staff report. She further elaborated as to setback requirements and designations and closed her verbal update summarizing the recommendations and stating that the request was not detrimental to the area.
2. Open public hearing - Chair woman Espino opened the public hearing.
3. Hear public testimony – Property Owner, Sunny Dhami, approached the Commission and provided a verbal update as to the request and added that the houses were being designed to match and blend in the existing neighborhood.
4. Close public hearing – Chairwoman Espino closed the public hearing.
5. Commission discussion - There was discussion among Planning Commissioners relating to the variance setbacks, review of the site described in the report, current land use designation and setback requirements under current code. There was brief overview of the conditions of approval “exhibit B” to the staff report. Planning Consultant Donna Decker reported that due to the irregular lot shape and desire to maximize the rear yard are limits the depth of the design to meet setback standards and review options available to the Commission for action.

Commissioner S. Khan inquired as to the noticing of the variance. Consultant Decker reported the notice was posted in City Hall, published in the Gridley Herald ten days before the hearing and mailed to residences within 300 feet of the site. No concerns were received to date.

Chairwoman Espino inquired if this type of variance request was common. Consultant Decker responded there have not been many requests as this is unique do to the irregular lot shape. She further clarified that it is a reasonable request because there is no impact to neighbors nor will it have a visual impact to the subdivision because it does not significantly encroach into the setback area.

There was brief discussion between Commissioner S. Khan and Decker relating to any concerns for the request to increase the setbacks to the street. Decker provided a history of the design of the lots to explain further the request for variance.

Motion by Wolfe, Second by S. Khan for following:

1. Determine the project is Categorically Exempt per the California Environmental Quality Act, Section 15305 (a), Class 5, Minor Alterations in Land Use Limitations; and,
2. Make the required variance findings as described within Exhibit A allowing the reduced streetside setback from 20 feet to 15 feet; and,
3. Approve Variance No. 1-19 Conditions of Approval as shown in Exhibit B.

Roll Call:

Ayes: Khan, Wolfe, Espino Noes:None

Absent: R. Khan, I. Khan

Abstain: None

Motion passed 3-0

Motion by Espino, Second by Wolfe for following:

1. Determine the project is Categorically Exempt per the California Environmental Quality Act, Section 15305 (a), Class 5, Minor Alterations in Land Use Limitations; and,
2. Make the required variance findings as described within Exhibit A allowing the reduced streetside setback from 20 feet to 15 feet; and,
3. Approve Variance No. 2-19 with Conditions of Approval as shown in Exhibit B.

Roll Call:

Ayes: Khan, Wolfe, Espino Noes:None Absent: R. Khan, I. Khan Abstain: None

Motion passed 3-0

Motion by Wolfe, Second by S. Khan for following:

1. Determine the project is Categorically Exempt per the California Environmental Quality Act, Section 15305 (a), Class 5, Minor Alterations in Land Use Limitations; and,
2. Make the required variance findings as described within Exhibit A allowing the reduced streetside setback from 20 feet to 15 feet; and,
3. Approve Variance No. 3-19 with Conditions of Approval as shown in Exhibit B.

Roll Call:

Ayes: Khan, Wolfe, Espino Noes:None Absent: R. Khan, I. Khan Abstain: None

Motion passed 3-0

Motion by Wolfe, Second by S. Khan for following:

1. Determine the project is Categorically Exempt per the California Environmental Quality Act, Section 15305 (a), Class 5, Minor Alterations in Land Use Limitations; and,
2. Make the required variance findings as described within Exhibit A allowing the reduced streetside setback from 20 feet to 15 feet; and,
3. Approve Variance No. 4-19 with Conditions of Approval as shown in Exhibit B.

Roll Call:

Ayes: Khan, Wolfe, Espino Noes:None Absent: R. Khan, I. Khan Abstain: None

Motion passed 3-0

- E. **Conditional Use Permit 1-19** Branden Meyers, Applicant; Application for a conditional use permit to allow the use of a recreational vehicle as a living unit for a one-year period located at 1431 Vermont Street on a 0.69 acre parcel. Zoning for the property is Single Family Residential District (R-1) and Residential Low Density (RLD) General Plan land use designation. (APN 010-360-052)

1. Received Staff Report – Planning Consultant, Donna Decker reported the applicant Branden Meyers could not be in attendance for this meeting. He is applying for a conditional use permit to allow the use of a recreational vehicle as a living unit for a one-year period to allow his father to live there while he is traveling to San Jose to a jobsite. This request is only for temporary use and the vehicle will not be visible from the street because it will be located by the shop. Ms. Decker closed her report with summarizing the conditional use permit findings attached to the staff report and recommendation of approving the conditional use permit.
2. Open public hearing – Chairwoman Espino opened the public hearing.
3. Hear public testimony - There was no public testimony.
4. Close the public hearing – Chairwoman Espino closed the public hearing.
5. Commission Discussion – There was discussion among Planning Commissioners. Commissioner S. Khan inquire as to the size of the recreation vehicle, safety requirements for utility connections, location of the vehicle on the property, and suggested modification to the Exhibit “B” to include the requirement of meeting the amperage demand of the recreational vehicle to the electrical service connected with the residence and that the vehicle can be towed to a dumping station or pumped at the site. Commissioner Wolfe concurred with the recommendation by Commissioner S. Khan to modify the Conditions of Approval Exhibit B.

Motion by S. Khan, Second by Wolfe, for the following:

1. Determine the project is categorically exempt per the California Environmental Quality Act, Section 15304, Minor Alterations to Land, Class 4 (e).
2. Make the required conditional use permits findings as described within Exhibit “A”, and
3. Approve Conditional Use Permit 01-19 subject to the conditions attached to the staff report as Exhibit B, including modification to #3 meeting the amperage demand of the recreational vehicle to the electrical service of the residence, and #4- The recreational vehicle can be towed to be pumped or pumped at the site.

Roll Call:

Ayes: Khan, Wolfe, Espino Noes:None Absent: R. Khan, I. Khan Abstain: None
Motion passed 3-0

6. INFORMATIONAL – None

7. REPORTS & COMMUNICATIONS –

Planning Commissioner Donna Decker provided a verbal update on the AM/PM project site.

8. ADJOURNMENT – at 6:50 p.m. the Commission adjourned to a special meeting to be held on September 18, 2019.

Approval: _____
Donna Decker, DES, LLC.

Planning Commission Item #5 A - B
Staff Report

Date: September 18, 2019
To: Chair and Planning Commissioners
From: Donna Decker, Planning Department

<input checked="" type="checkbox"/>	Regular
	Special
	Closed
	Emergency

Subject: **Tentative Parcel Map No. 2-19;** Application for a tentative parcel map to subdivide one parcel consisting of approximately 5.4 acres into forty-two (42) parcels for a residential housing development located at the south side of Sycamore Street adjacent to Palm Drive in the Single Family Residential District (R-1) and Residential, Low Density (RLD) General Plan land use designation. (APN: 010-270-120)

General Plan Amendment GPA 2-19, Rezone RZ 2-19; Application for a General Plan Amendment and Rezone of approximately 5.4 acres from the General Plan land use designation of Residential Suburban (RS) to Residential Low Density (RLD), and rezone from Residential Suburban (R-S) to Single Family Residential District (R-1) located at the south side of Sycamore Street adjacent to Palm Drive. (APN: 010-270-120)

Recommendation

City staff respectfully recommends the Planning Commission:

1. Recommend the City Council adopt a resolution accepting the Negative Declaration meeting the California Environmental Quality Act; and,
2. Recommend the City Council adopt a resolution and ordinance amending the General Plan and Rezone of the property; and,
3. Recommend approval of TSM 2-19 to the City Council.

Summary

The applicant is proposing a 42-parcel single-family residential subdivision on a ±5.4 gross acre parcel located on the south side of Sycamore Street, to the east of Palm Lane, and south of the Eagle Meadows Subdivision. The site had previously been considered for development; however, that approval expired. The applicant is applying for a different subdivision layout providing smaller lots, and the development of Palm Lane.

Discussion

Background

The subject site is located at the south side of Sycamore Street, east of Palm Lane. The site is currently vacant. The tentative subdivision map will create a 42 small lot subdivision for new single-family residential units. This model will allow an affordable by design unit with two-story homes ranging from 1,900 square feet to 2,250 square feet.

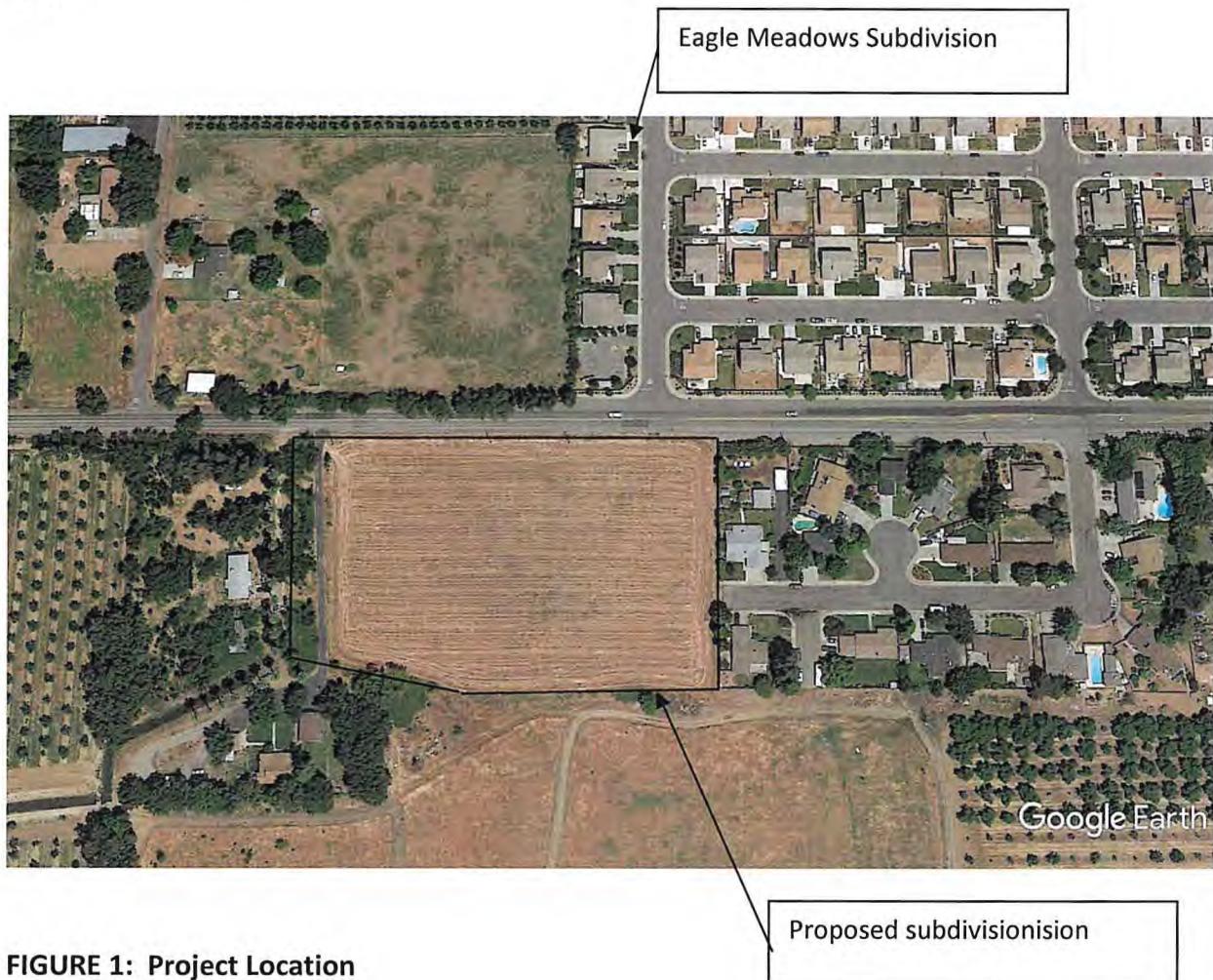


FIGURE 1: Project Location

Land Use

The project site is zoned R-S, Residential Suburban District and has a General Plan land use designation of Residential, Very Low Density. The project applicant is requesting a General Plan Amendment and a rezone to conform to the Standard Single Family District (R-1) and the General Plan Land Use Designation of Residential, Low Density. The single-family residential district has four (4) designations:

1. R-1A Parcels sized from 1,700 – 3,500 square feet
2. R-1B Parcels sized from 3,501 – 5,999 square feet
3. R1-C Parcels sized from 6,000 – 7,499 square feet
4. R-1 Parcels sized from 7,500 and greater

The purpose of changing the land use designation is to allow the project to comply without varying development standards so that future interpretations meet the code. The project could be accomplished by establishing a Planned Development Overlay where the land use could stay the same and the overlay zone would vary the development standards. Staff believes having straight zoning is advantageous.

The R-1 zone allows 4 du/ac; however, the city established the four additional subzoning based on parcel size that increases the allowed density. This project would have an R-1A zoning allowing lots to be from 1,700 sf to 3,500 square feet. These designations were developed to legalize many of the older City of Gridley lots so that each lot became legal and could be upgraded and maintained. The proposal is designed to meet the demand for a standard single family home without large lot areas to maintain. This has become a model that is highly desirable and provides a different housing product for our community.

The housing layout will be similar to the figure below:

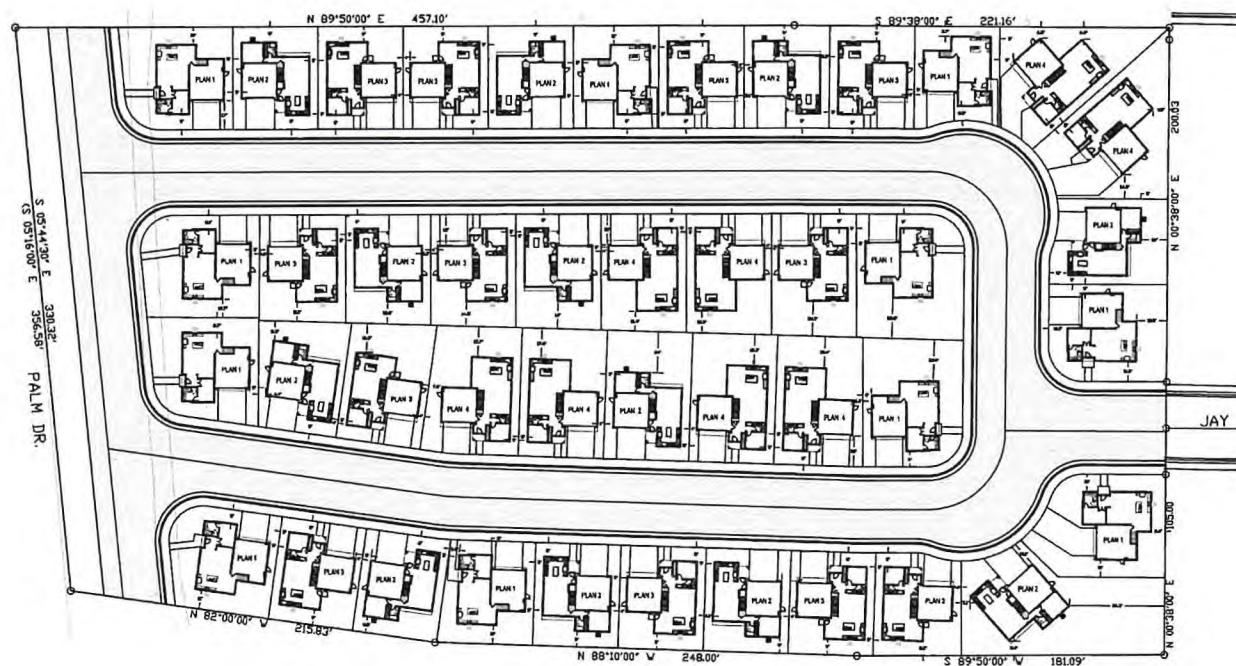


FIGURE 2: Housing Layout (Note this is not the same map as the Tentative Subdivision Map)

The layout provides a look at how the homes will fit on the lots. There is adequate parking and the street is designed to meet our subdivision standards for residential street design.

The Housing Element Policy HP-2.4 also supports this development:

"The City will encourage infill development in meeting the housing needs required by expanding populations."

The proposed Tentative Map is shown on Figure 3 below:

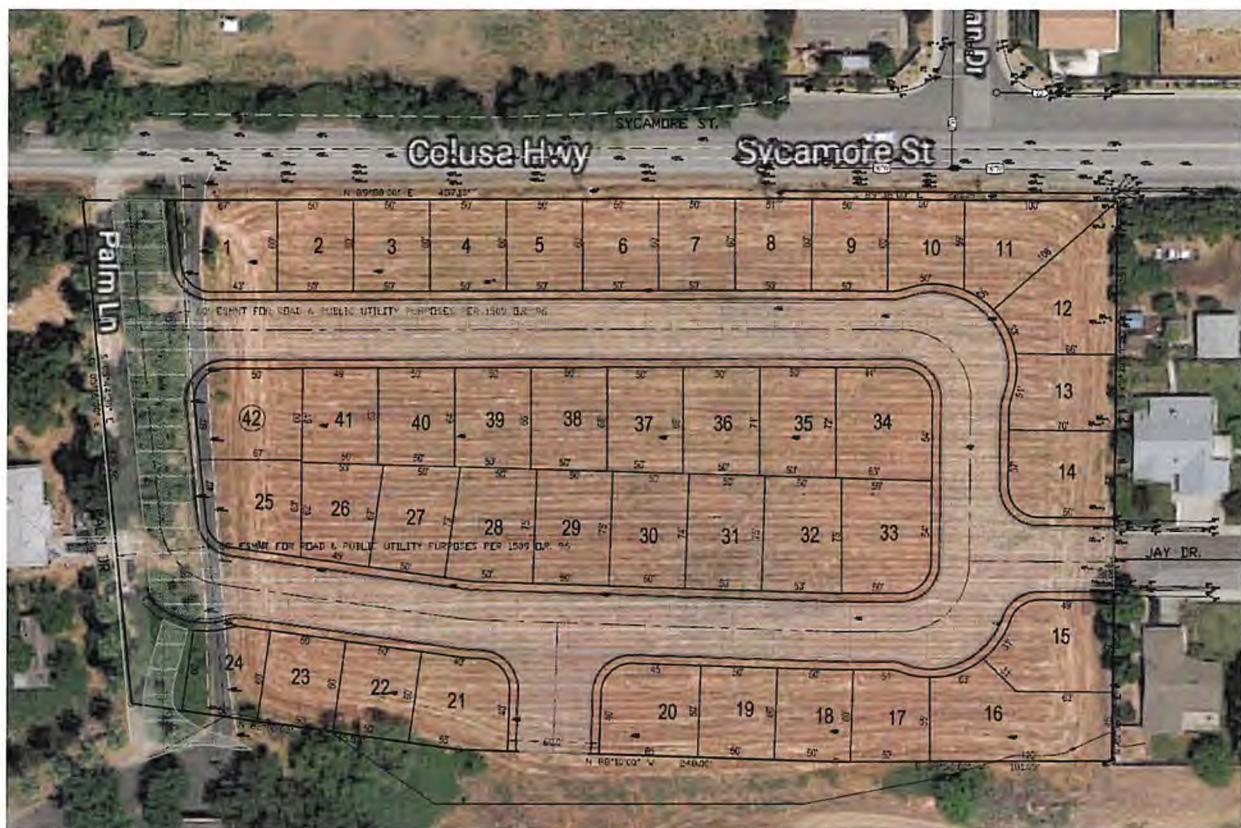


FIGURE 3: Lot Layout on Aerial

Driveways are provided for the residents to the west and south of the site. The road network provides access to the property to the south for future development.

Approval process

The approval process for subdivision maps are not discretionary in that the Planning Commission determines that the map meets the requirements of the Subdivision Map Act.

Public Notice

A notice was posted in the Gridley Herald 10 days in advance of the Planning Commission meeting, posted at City Hall, mailed 300 feet from the boundary of the property, made available at the Administration public counter, and placed on the City website for review. At the time this report was prepared no comments had been received.

Environmental Review

The proposed project requires a Negative Declaration. At the time of this report, no significant impacts had been identified. The Initial Study and Negative Declaration will be provided to the

City Council for approval when the resolution for the General Plan Amendment and the Ordinance for the rezone are presented.

Attachments –

- 1. Exhibit A Conditions of Approval
- 2. Exhibit B TSM 2-19 Map
- 3. Exhibit C Power Point Slides of Buildout

Exhibit A

Conditions of Approval TSM 2-19

1. The applicant/property owner shall file a Declaration of Acceptance of the Conditions of Approval within 30 days of approval for the Tentative Subdivision Map 2-19.
2. The Tentative Map 2-19 shall expire after a five (5) year period. No further extensions by the City are allowed under the Subdivision Map Act; unless determined by the State of California special legislation to provide automatic extensions for the period specified at the time.
3. No further extension of this Tentative Subdivision Map shall be allowed, unless it is extended by California State Legislation. A new application to develop the site would be required and all current conditions would need to be met at that time.
4. Use of the 5.4-acre project site is subject to all zoning regulations described in Gridley Municipal Code as applicable to "R-1 Single Family" residential zoning districts and all applicable requirements of the Gridley Municipal Code.
5. Physical development of the site shall conform to the design approved for Tentative Subdivision Map No. 2-19 and to all of the conditions of approval of that Tentative Subdivision Map.
6. The project shall be required to pay all applicable impact fees for the development of the project.
7. Minor changes may be approved by the Planning Director upon receipt of a substantiated request by the applicant, or their respected designee. Prior to such approval, verification shall be made by each Department that the modification is consistent with the approved application. Changes deemed to be major or significant in nature shall require a formal application for amendment.
8. In the event of the discovery or recognition of prehistoric or historic resources in the area subject to development activity, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie similar resources and a professional archaeologist shall be consulted. Further, if human remains are discovered, the coroner of the county in which the remains are discovered must be contacted to determine that no investigation of the cause of death is required. If the County Coroner determines the remains to be Native American, the coroner shall contact the Native American heritage Commission within 24 hours.

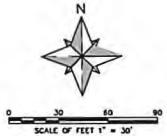
Upon completion of the site examination, the archeologist shall submit a report to the

City describing the significance of the finds and make recommendations as to its disposition. If human remains are unearthed during construction, the provisions of California Health and Safety Code Section 7050.5 shall apply. Under this section, no further disturbance of the remains shall occur until the County Coroner has made the necessary findings as to origin and disposition, pursuant to California Public Resources Code Section 5097.98. Mitigation measures, as recommended by the archaeologist and approved by the City, shall be implemented prior to recommencement of construction activity within the 50-foot perimeter.

9. Prior to any site work, the project applicant shall submit a geotechnical report to the City, prepared by a certified engineering geologist. The project applicant shall incorporate any recommended measures into the final site plan.
10. Construction of the project shall comply with the requirements of the National Pollution Discharge Elimination (NPDES) Permit and obtain a WDID from the State of California in conformance with the General Construction Storm Water Permit; Storm Water Pollution Prevention Plan (SWPPP) shall be prepared prior to construction activities.
11. Upon commencement of grading and construction activities, the applicant shall implement measures to offset particulate matter and emissions from construction equipment as specified by Butte County Air Quality Management District.
12. Prior to recordation of a Final Map, the applicant shall submit for review and approval improvement plans that shall include, not limited to, details related to above and underground infrastructure; piping and service laterals, meters, drop inlets, manholes, curb, gutter, and sidewalk, roadway, pavement markings, lighting, hydrants, street signs, electrical, transformer pedestals, and any and all components as required by the City of Gridley, the City Engineer, the Utility Supervisor, and Public Works Manager. Plans shall meet all required state and local ordinances, regulations, and Public Works Development Standards. Omissions on the plans does not constitute approval for the omission. Plans shall be reviewed and approved by the City Engineer and the Gridley Municipal Services Division.
13. Prior to recordation of the final map, the applicant shall coordinate with the Butte County Assessor's Office and Tax Collector to segregate any assessments against the properties and pay any delinquent, current, and future taxes and/or assessments against the properties as required.
14. Dedicate and improve the south one-half of Sycamore Street to the requirements of the City Engineer meeting the Public Works Standards.
15. Dedicate and improve the 60--foot wide local residential street right-of-way for the interior subdivision streets to the satisfaction of the City Engineer.

16. Dedicate a 10-foot public services easement adjacent to all public right-of-way frontages.
17. Prior to approval of a Final Map all of the following requirements shall be completed:
 18. A registered engineer shall prepare and submit the following information to Gridley Department of Public Works for review and approval:
 - a. Calculations identifying the estimated rate of peak stormwater runoff from the cross area of the undivided site and abutting streets - as they exist at the time of approval of the tentative subdivision map- during currently adopted design storm event. The calculations shall be prepared in a manner consistent with the Gridley Public Works Construction Standards, and with standard engineering practice.
 - b. Construction details, plans and profiles, typical sections, specifications, and maintenance plans for any proposed stormwater detention facilities to be constructed to serve the parcels created by this subdivision.
 - c. An assessment against the development and individual parcels shall be established to fund the on-going maintenance costs associated with any approved stormwater detention facilities, lighting, landscape, cmu block wall on Sycamore Street, and drainage components as determined by the City Engineer.
 - d. Dedication of the area for the detention facilities, if required shall be made to the City of Gridley as a condition of recordation of the Final Map.
 - e. The design of surface detention facilities, if required, shall minimize use of the facility by mosquitoes for breeding by incorporating some or all of the features recommended by the Butte County Mosquito and Vector Control District.
 - f. All drainage improvements shall be constructed in conformance with the Gridley Public Works Construction Standards, the City of Gridley Master Drainage Plan, and the details shown on approved construction plans. The developer shall have a registered engineer prepare and submit construction details, plans and profiles, typical sections, specifications, and cost estimates to the Department of Public Works for review and approval prior to the recordation of the Final Map.
 19. Telephone, cable television, and gas service shall be provided to all parcels in accordance with the Gridley Public Works Construction Standards, the Gridley Municipal Code, and the requirements of the agencies providing these services.

22. If any existing utilities must be relocated as a result of this subdivision, the agencies that own the facilities may require the developer to pay the cost of such relocations.
23. The lots shall be graded in conformance with the Gridley Public Works Construction Standards and the Gridley Municipal Code. The developer shall submit grading details, plans and specifications prepared by a registered engineer to the Department of Public Works for review and approval prior to the start of any work.
23. The Applicant shall hold harmless the City, its Council Members, its Planning Commission, officers, agents, employees, and representatives from liability for any award, damages, costs and fees incurred by the City and/or awarded to the plaintiff in an action challenging the validity of this tentative subdivision map or any environmental or other documentation related to approval of this tentative subdivision map.
24. In order to mitigate noise impacts from on the residential development, the applicant shall erect a 6'-high solid cmusplit face capped sound wall adjacent to Sycamore Street prior to the acceptance of the improvements for the project. Landscaping and irrigation shall be constructed on the north face of the wall to the satisfaction of the Planning Director.



TENTATIVE MAP
EAGLE MEADOWS SOUTH
GRIDLEY, CALIFORNIA

AUG 2019



PROJECT NOTES

APPLICANT/OWNER
GRIDLEY 17 LLC
CONTACT: HALL STAUF
705 DUTTON ST
WINTERS, CA 95694

ENGINEER
GUIDE ENGINEERING
CONTACT: JARED BROWN
5939 GRANITE LAKES DR., #150
GRANITE BAY, CA 95746 916-767-0248

ASSESSOR'S PARCEL NO.
010-270-120-000

AREA OF PROPOSED TENTATIVE SUBDIVISION MAP
5.42 (GROSS)

EXISTING USE

AGRICULTURAL

PROPOSED USE
42 SINGLE FAMILY LOTS

EXISTING ZONING

AGRICULTURAL

PROPOSED ZONING

NEIGHBORHOOD MEDIUM DENSITY

FIRE PROTECTION

CITY OF GRIDLEY

SCHOOL DISTRICT

GRIDLEY UNIFIED SCHOOL DISTRICT

SEWER

CITY OF GRIDLEY PUBLIC WORKS

STORM DRAIN

CITY OF GRIDLEY

WATER

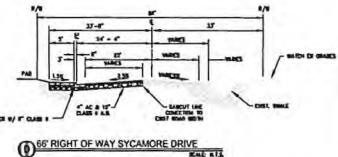
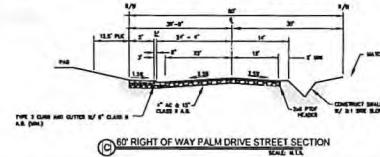
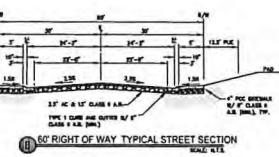
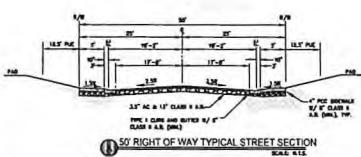
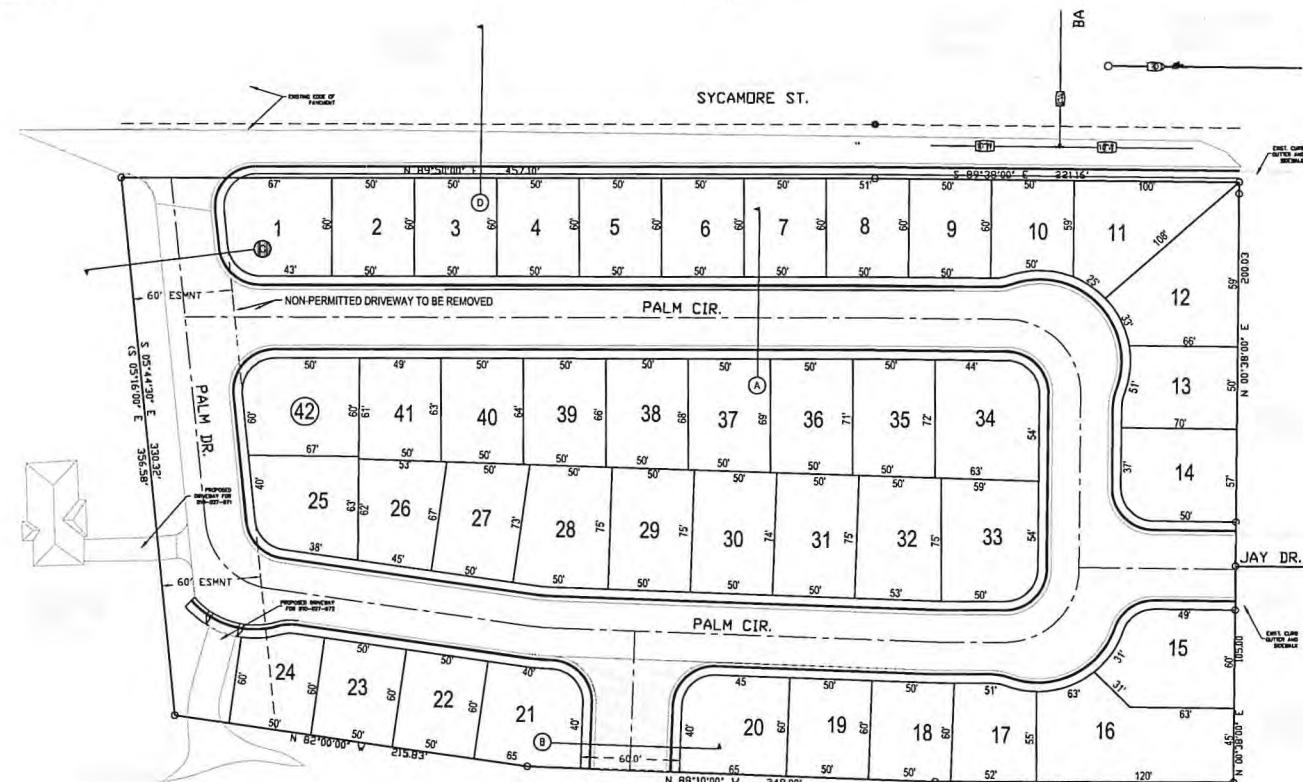
BIGGS-WEST GRIDLEY WATER DISTRICT

GAS

CITY OF GRIDLEY

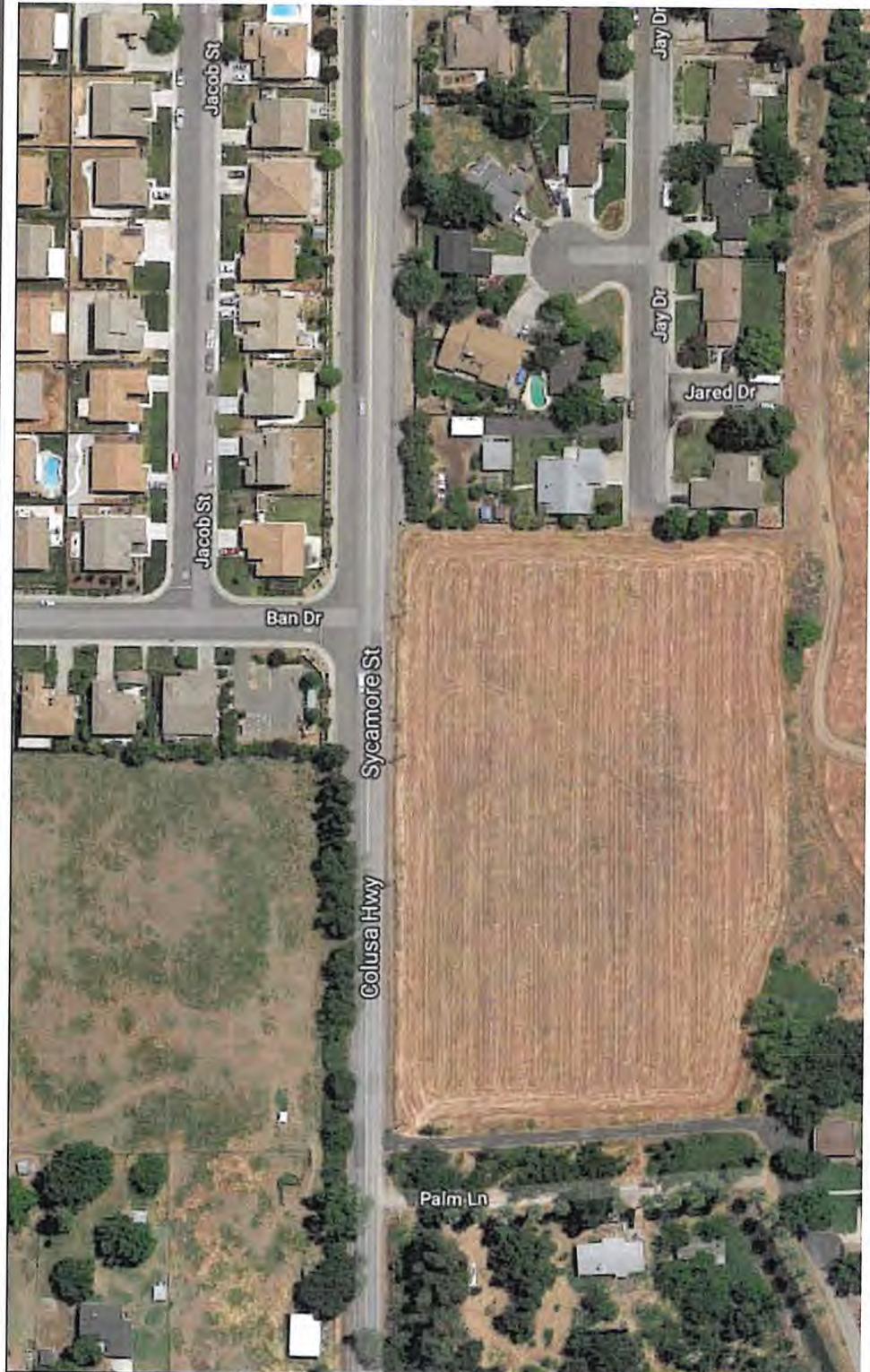
ELECTRICITY

CITY OF GRIDLEY ELECTRIC DEPARTMENT

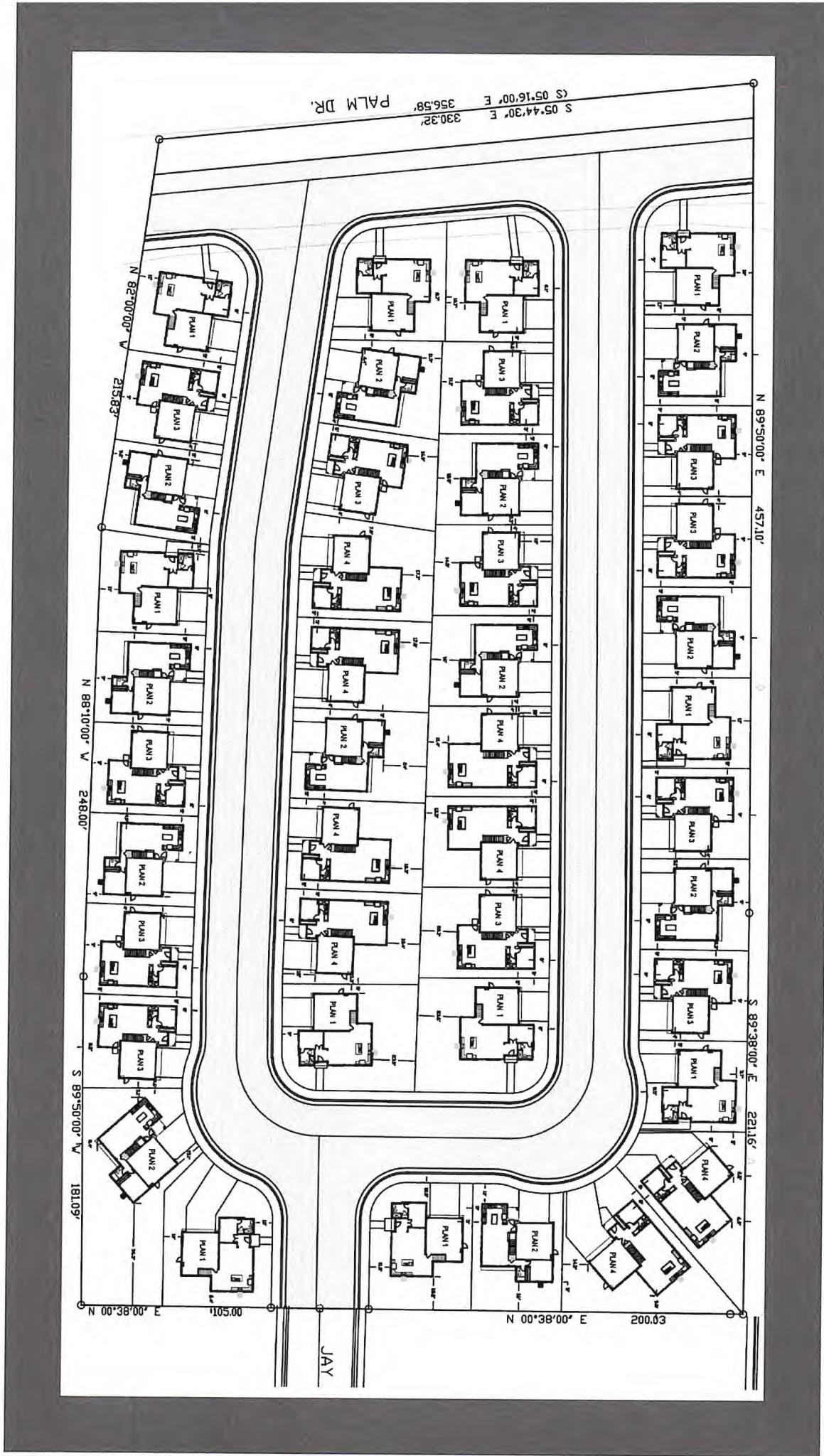


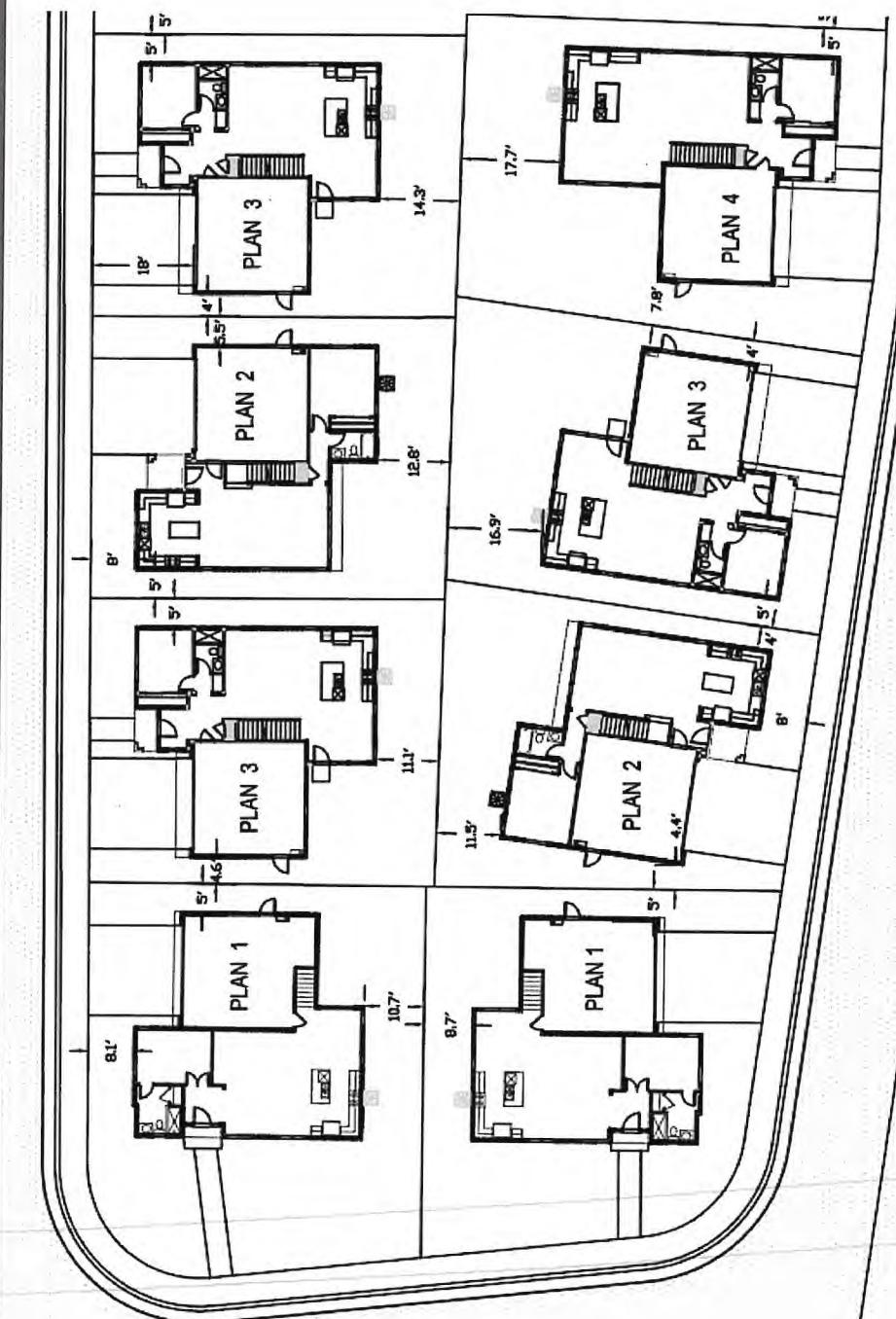


PROPOSAL FOR EAGLE MEADOWS SOUTH

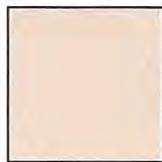




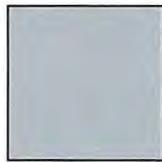




EAGLE MEADOWS SOUTH ELEVATION A



KM 302
Mission Tan



KM 4858-2
Horizon Gray



KM 417
Oxford Brown



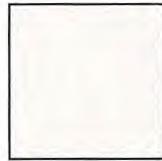
EAGLE MEADOWS SOUTH ELEVATION B



KM 304
Stonegate



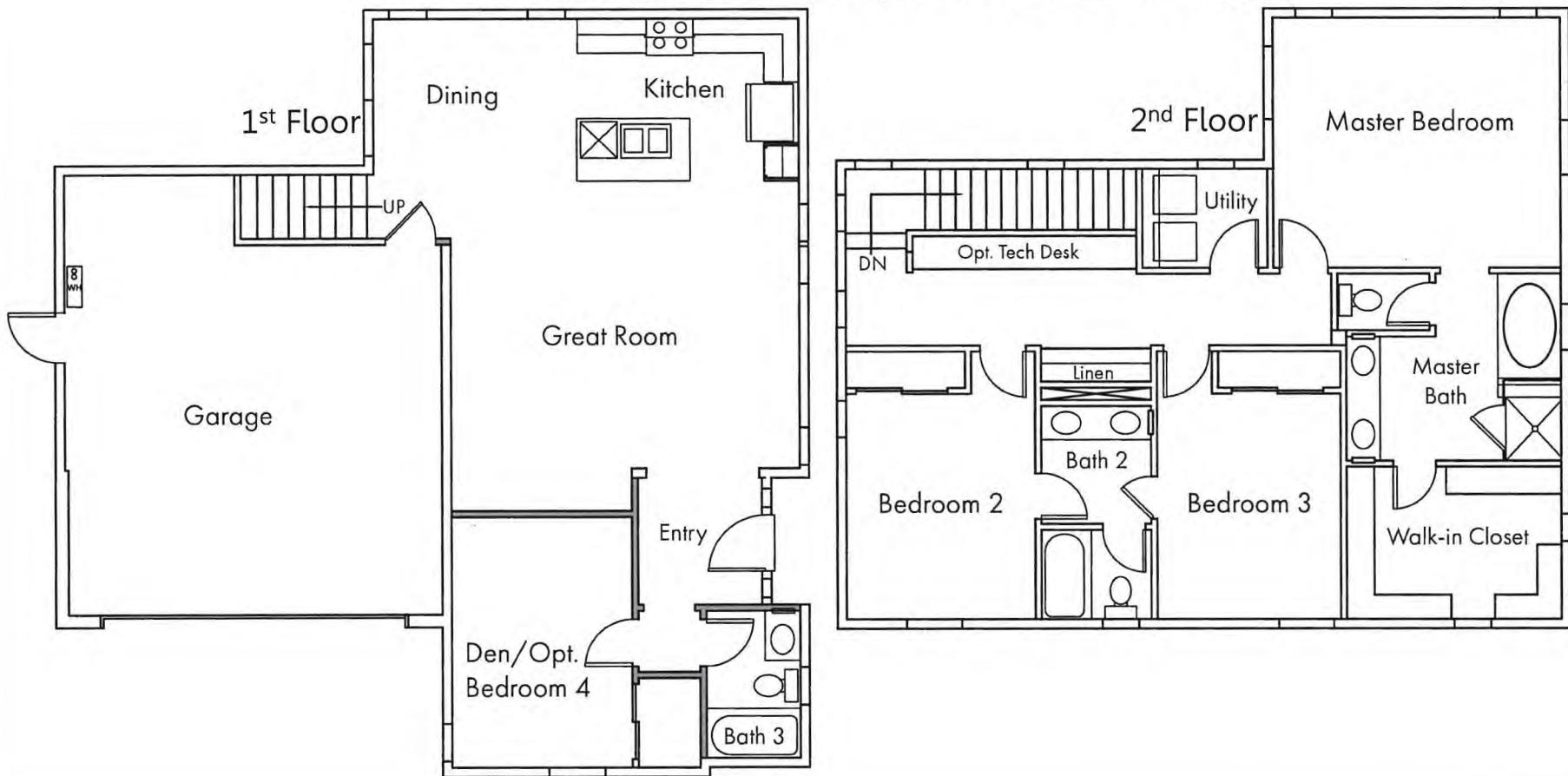
KM 74
Seattle Red



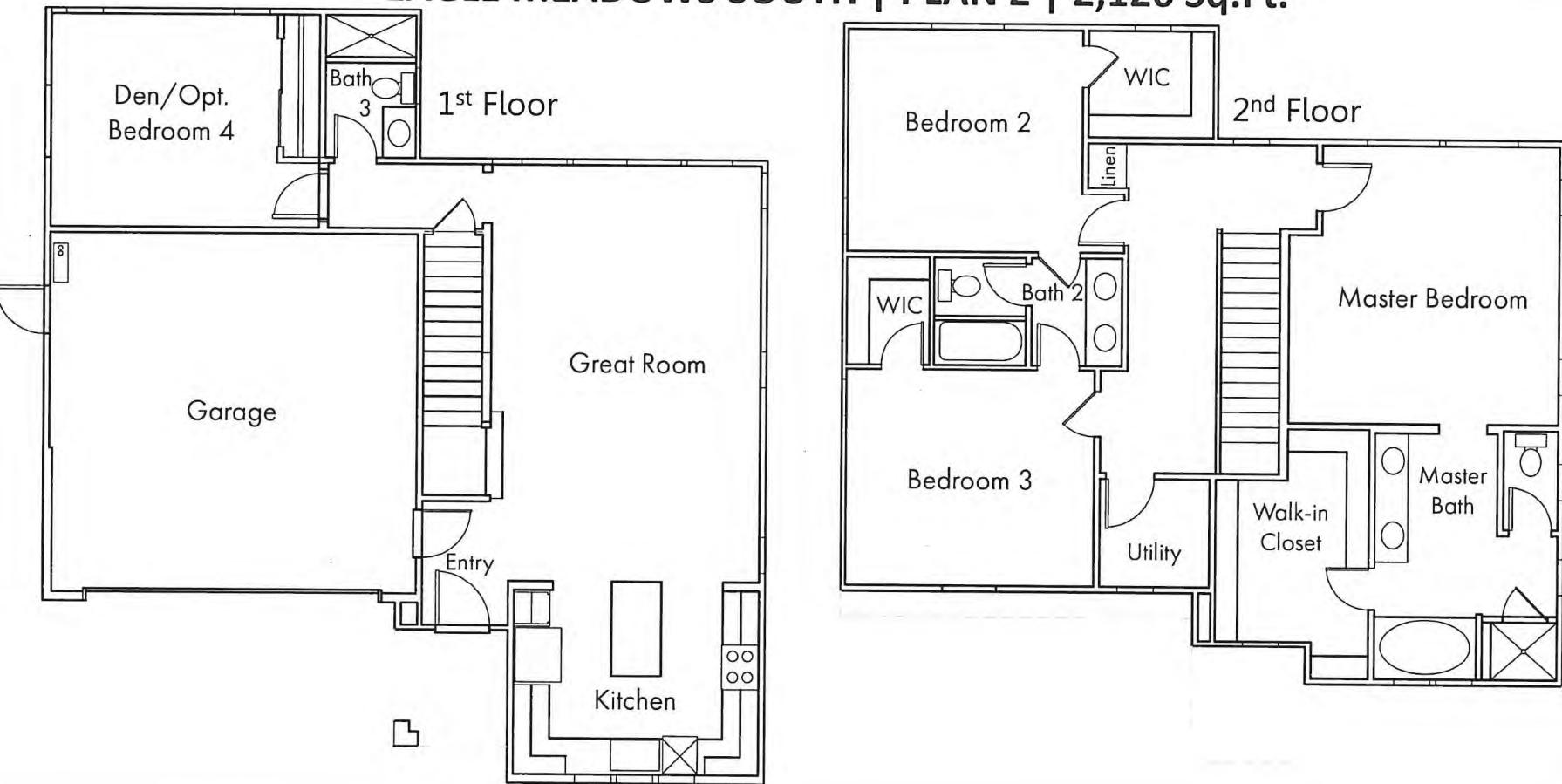
KM 14
Frost



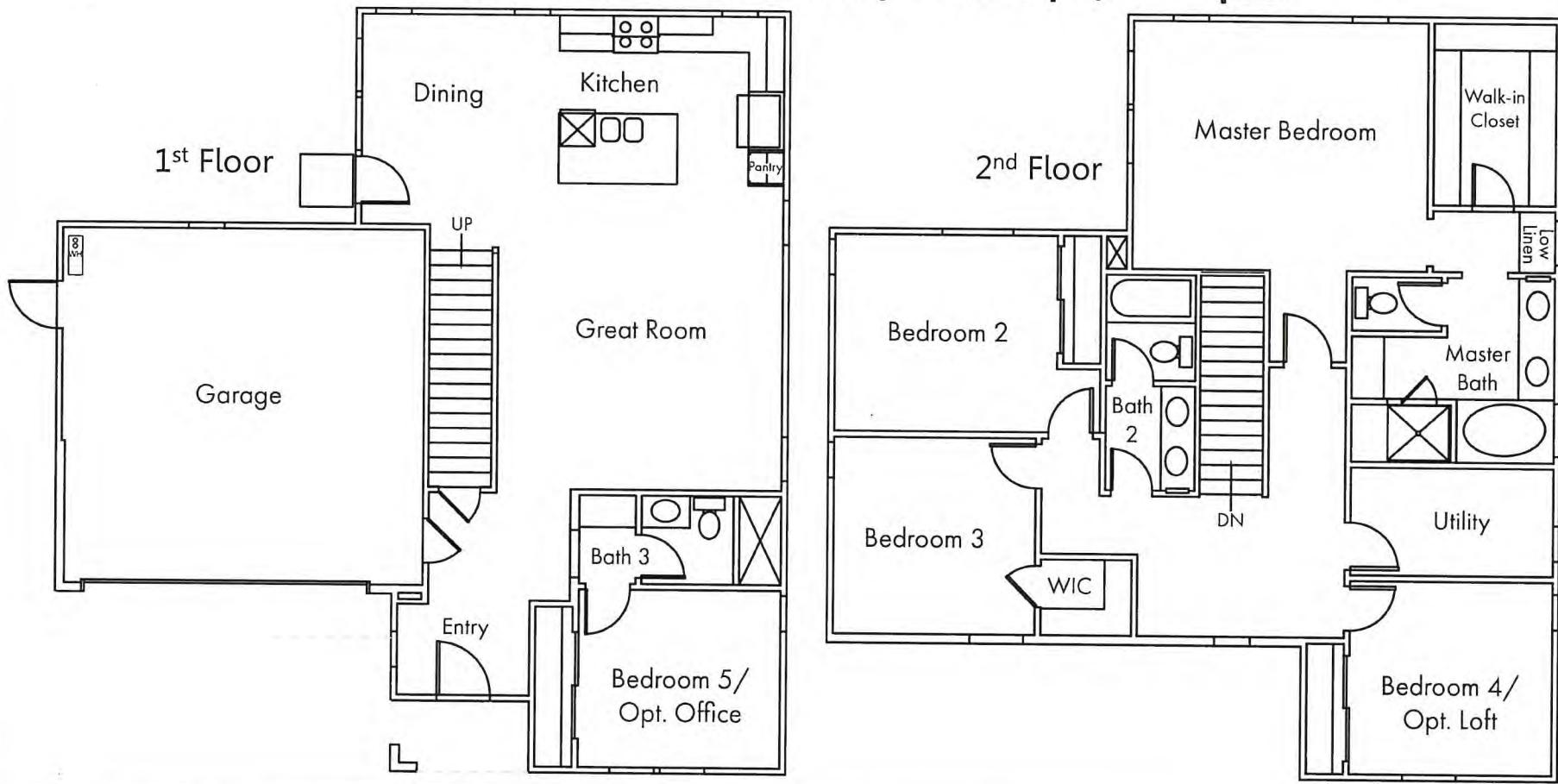
EAGLE MEADOWS SOUTH | PLAN 1 | 1,964 Sq.Ft.



EAGLE MEADOWS SOUTH | PLAN 2 | 2,126 Sq.Ft.



EAGLE MEADOWS SOUTH | PLAN 3 | 2,232 Sq.Ft.



EAGLE MEADOWS SOUTH | PLAN 4 | 2,574 Sq.Ft.

