

GENERAL NOTES (NCC 2019 BCA Vol 2)

- All materials and work practices shall comply with, but not limited to the Building Regulations 2018, the National Construction Code Series 2019 Vol 2 and all relevant current Australian Standards (as amended) referred to therein.
- All materials and construction practice shall meet the Performance Requirements of the National Construction Code. Where an alternative solution is proposed then prior to implementation or installation it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the National Construction Code.
- Glazing including safety glazing shall be installed to a size, type and thickness so as to comply with:
  - NCC 2019 Part 3.6 for Class 1 and 10 buildings within a design wind speed of not more than N3, and
  - NCC 2019 Part B1.4 for Class 2 to 9 buildings
- Waterproofing of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS 3740-2010: *Waterproofing of Wet Areas in Residential Buildings*.
- These Drawings shall be read in conjunction with any House Energy Rating (HERS) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alteration. Refer to energy rating report by .....
- Energy rating requirements:
  - All external windows and doors to be weathersealed
  - All new exhaust fans to be self-sealing
  - Ensure that new downlights are installed with approved non-ventilated downlight covers that minimise insulation and ventilation loss
  - Window glazing as per schedule
  - All gaps and cracks sealed
- Insulation Value:
  - Floors R
  - Internal Walls R
  - External Walls R
  - Ceilings R
- Step sizes (other than for spiral stairs) to be:
  - Risers (R) 190mm maximum and 115mm minimum
  - Going (G) 355mm maximum and 240mm minimum
  - 2R + 1G = 700mm maximum and 550mm minimum
  - With less than 125mm gap between open treads
- All treads, landings and the like to have non slip finish or suitable non-skid strip near edge of nosing.
- Provide balustrades where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Balustrades (other than tensioned wire balustrades) to be:
  - 1000mm min. above finished surface level of balconies, landings or the like, and
  - 865mm min. above finished surface level of stair nosing or ramp, and
  - Vertical with less than 125mm gap between, and
  - Any horizontal element within the balustrade between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/or treads.
  - Wire balustrade construction to comply with NCC 2019 Volume 2 Part 3.9.2.5 for Class 1 and 10 Buildings and NCC 2019 Volume 1 Part D2.16 for other Classes of Buildings.
- Hand rails to be 865mm minimum above stair nosing and 1,000mm above finished floor levels of landings.
- Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around.
- Where the building (excludes a detached Class 10) is located in a termite prone area the area to underside of building and perimeter is to be treated against termite attack. Termite protection to comply with NCC 2019 Volume 2 Part 3.1.3 Table 3.1.3.1 for Class 1 and 10 Buildings.
- Concrete stumps:
  - Up to 1400mm long to be 100mm x 100mm (1 No. H.D. Wire)
  - 1401mm to 1800mm long to be 100mm x 100mm (2 No. H.D. Wires)
  - 1801mm to 3000mm long to be 125mm x 125mm (2 No. H.D. Wires)
  - 100mm x 100mm stumps exceeding 1200mm above ground level to be braced where no perimeter base brickwork provided.
- For buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of Table 4.1 of AS4773.1-2010 'Masonry in small buildings' Part 1: Design

- All stormwater to be taken to the legal point of discharge to the Relevant Authorities approval.
- These drawings shall be read in conjunction with all relevant structural and all other consultants drawings/details and with any other written instructions issued in the course of the contract.
- Site plan measurements in metres - all other measurements in millimetres u.n.o.
- Figured dimensions take precedence over scaled dimensions.
- The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.
- The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.
- Installation of all services shall comply with the respective supply authority requirements.
- The Builder and Subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.
- These plans have been prepared for the exclusive use by the Client of **Mont-Eltham Building Design Pty Ltd** ('The Designer') for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.
- The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. Any said variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing the said variation.

STORMWATER

- 90mm DIA. Class 6 UPVC stormwater line laid to a minimum grade of 1:100 and connected to the legal point of stormwater discharge. Provide inspection openings at 9000mm C/C and at each change of direction.
- The cover to underground stormwater drains shall be not less than
  - 100mm under soil
  - 50mm under paved or concrete areas
  - 100mm under unreinforced concrete or paved driveways
  - 75mm under reinforced concrete driveways

SITE ENVIRONMENT DESIGN INFORMATION

Site Bushfire Attack Assessment (simplified method)

- This property **IS NOT** located in a bushfire prone area.

Site Classification

- Site classification as Class: *(Insert soil classification)*  
Refer to soil report No: *(Insert soil report number)*  
By: *(Insert Soil Engineer)*

Design gust wind speed / wind classification

- Building tie-downs to be provided in accordance with AS1684-2010 for an assumed design gust wind speed / wind classification of 33m/s (subject to confirmation on site by Relevant Building Surveyor at first inspection) refer to AS1684 for construction requirements.

Climate Zone

- Climate zone for thermal design / thermal performance assessment : Zone 6.

Corrosion protection of built-in structural members

- Provide corrosion protection of built-in structural steel members such as steel lintels, shelf angles, connectors, accessories (other than wall ties) in accordance with NCC 2019 Volume 2 Table 3.4.4.7 suitable for an Environment Classification of **LOW**.

Corrosion protection for sheet roofing

- Provide corrosion protection for sheet roofing in accordance with NCC 2019 Volume 2 Table 3.5.1.1 suitable for an Environment Classification of **LOW**.

AUTHORITIES / CONSULTANTS


- Municipality**  
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- Sewerage Authority**  
Name: **YARRA VALLEY WATER**  
Ph: **1300 304 688**
- Structural Engineer**  
Name:  
Ph:
- Geotechnical Engineer**  
Name:  
Ph:
- Thermal Performance Assessor**  
Name:  
Ph:



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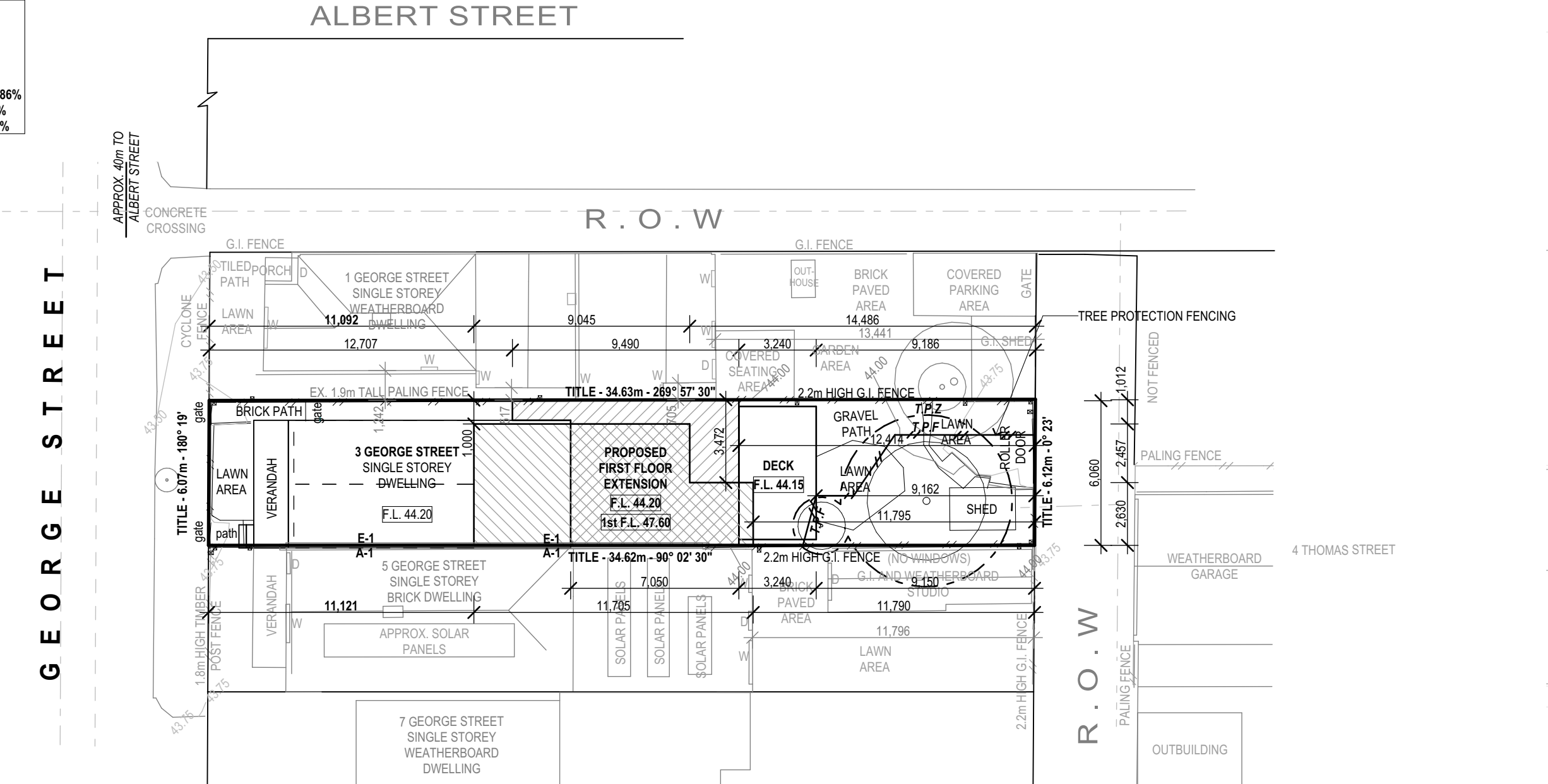
building practitioner  
m. read DP-AD578

ALL DIMENSIONS & LEVELS  
TO BE CHECKED & VERIFIED  
BEFORE WORK COMMENCES

General Notes		revision:		designed:	E.Jeong	scale:	as shown @ A3
		1	Response to RFI-1	drawn:	J.Chavez	job no:	03553-21
		2	Response to RFI-2	checked:	M.Read	published:	26-Sep-24
		3	Amendments	issue set:	W.D.02	sheet	1 OF 12
project:	Proposed works to 3 George st, Brunswick	client:	Trinity & Jimmy Frederick				

PRELIMINARY

<b>SITE ANALYSIS:</b>	
SITE AREA:	210.99m <sup>2</sup>
EXISTING BUILDING SITE COVERAGE:	111.48m <sup>2</sup>
EXISTING IMPERVIOUS SITE COVERAGE:	124.21m <sup>2</sup>
EXISTING GARDEN AREA:	86.56m <sup>2</sup>
PROPOSED SITE COVERAGE:	120.91m <sup>2</sup> / 58.86%
PROPOSED IMPERVIOUS SITE COVERAGE:	130.19m <sup>2</sup> / 61%
PROPOSED GARDEN AREA:	77.56m <sup>2</sup> / 36.7%



**SITE PLAN**  
SCALE 1:200

- PROPOSED GROUND FLOOR

- PROPOSED FIRST FLOOR

FOR FULL SETOUT DIMENSIONS REFER TO ENDORSED TOWN PLANNING PLANS

D.P - DOWNPIPE  
CONNECT ALL NEW DOWNPIPES TO EXISTING STORMWATER SYSYEM CONNECTED TO LEGAL POINT OF DISCHARGE IN ACCORDANCE WITH AS3500.3 2018

**PLANNING REPORT**  
 FOR PLANNING REPORT REFER TO THE REPORT DATED OCTOBER 2022 BY MULTIPLY TOWN PLANNING

ALL GROUND LEVELS WITHIN 1m TO SLOPE AWAY FROM DWELLING 1:50 FALL IN ACCORDANCE WITH BCA 3.1.3.3

PRELIMINARY

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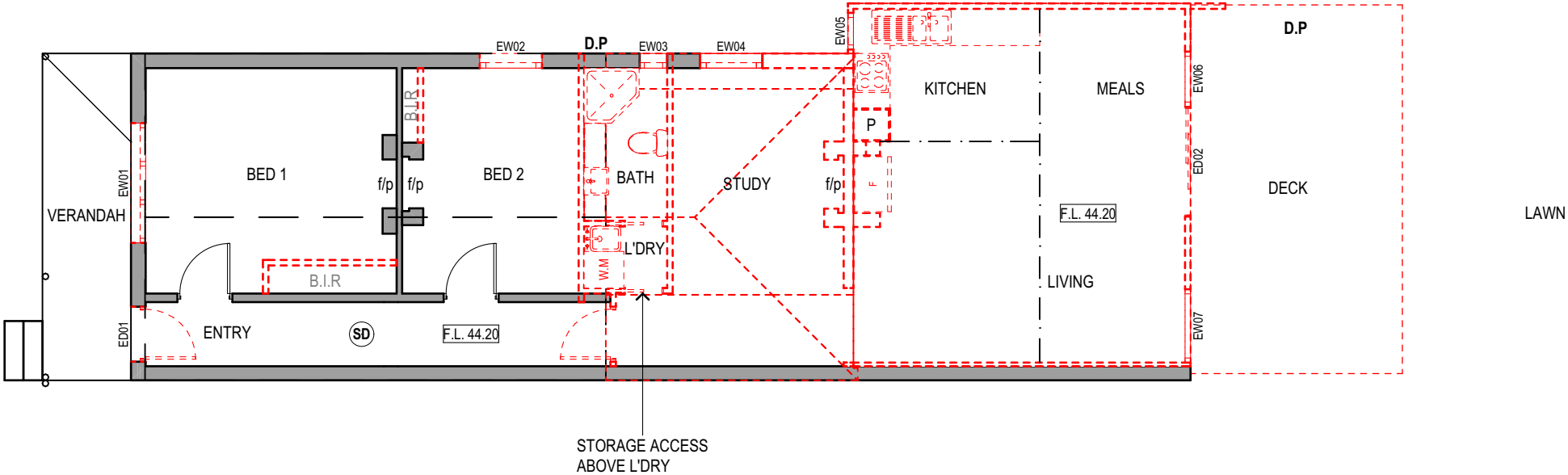
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<b>Site Plan</b>		<b>revision:</b>		<b>designed:</b>	E.Jeong	<b>scale:</b>	as shown @ A3		
<b>project:</b>	Proposed works to 3 George st, Brunswick	<b>client:</b>	Trinity & Jimmy Frederick	1	Response to RFI-1	<b>drawn:</b>	J.Chavez		
				2	Response to RFI-2				
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				<b>checked:</b>	M.Read	<b>published:</b>	26-Sep-24		
				<b>issue set:</b>	W.D.02	<b>sheet</b>	2 OF 12		

EXISTING WINDOW & DOOR SCHEDULE							
ID	HEIGHT	WIDTH	FRAME MATERIAL	U.V VALUE	S.H.G.C	OPENING STYLE	COMMENTS
ED01	2,100	820	TIMBER			SWING	
ED02	2,100	1,800	TIMBER			SLIDING	
EW01	1,270	1,960	METAL			CASEMENT	
EW02	1,900	1,020	TIMBER			DOUBLE HUNG	
EW03	1,850	450	TIMBER			AWNING	TO BE REMOVED
EW04	1,900	1,020	TIMBER			DOUBLE HUNG	TO BE REMOVED
EW05	1,050	600	TIMBER			AWNING	TO BE REMOVED
EW06	2,100	900	TIMBER			AWNING	TO BE REMOVED
EW07	2,100	1,200	TIMBER			AWNING	TO BE REMOVED



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EXISTING GROUND FLOOR PLAN

SCALE 1:100

BUILDER TO PROP EXISTING STRUCTURE AS  
REQUIRED BEFORE ANY WORKS COMMENCE

ALL WALLS, DOORS, WINDOWS & FIXTURES SHOWN  
DASHED **RED** ARE TO BE REMOVED / DEMOLISHED  
ALL SOLID INFILLED WALLS ARE TO BE RETAINED

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Existing Ground Floor Plan			revision:		designed:	E.Jeong	scale:	as shown @ A3	
project:	Proposed works to 3 George st, Brunswick	client:	Trinity & Jimmy Frederick	1	Response to RFI-1	drawn:	J.Chavez	job no:	03553-21
				2	Response to RFI-2				
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						checked:	M.Read	published:	26-Sep-24
						issue set:	W.D.02	sheet	3 OF 12

LEGEND

(SD)	SMOKE DETECTOR
(EF)	EXHAUST FAN
W.M	WASHING MACHINE
F	FRIDGE

**SD** - SMOKE DETECTOR/ALARM  
SMOKE DETECTORS/ALARMS TO BE HARDWIRED, INTERCONNECTED  
& INSTALLED WITH BATTERY BACK UP IN ACCORDANCE WITH AS3786

**CJ** - CONTROL JOINTS  
UNLESS DETAILED OTHERWISE IN ENGINEERING DRAWINGS OR  
SOIL REPORT PROVIDE CONTROL JOINTS IN BRICKWORK AT NO  
MORE THAN 6m CENTERS ACCORDING TO NCC 2019 PART 3.3.1.8

OVERALL HEIGHT BETWEEN FINISHED FLOOR LEVELS TO BE  
VERIFIED PRIOR TO ORDERING THE MANUFACTURE OF STAIRS

**STAIR SPECIFICATIONS:**  
RISERS 190mm MAXIMUM & 115mm MINIMUM  
GOING 355mm MAXIMUM & 250mm MINIMUM  
125mm MAXIMUM GAP TO OPEN TREADS  
BALUSTRADES TO BE 1000mm MINIMUM ABOVE FINISHED  
SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE  
& 865mm MINIMUM ABOVE FINISHED SURFACE LEVEL OF STAIR  
NOSING & VERTICAL WITH A 125mm MAXIMUM GAP BETWEEN  
STAIRS TO HAVE A CONTINUOUS HANDRAIL MIN 865mm ABOVE  
TREADS IN ACCORDANCE WITH AS1288-2006  
ALL TREADS AND LANDINGS FINISHED WITH SLIP RESISTANCE  
CLARIFICATION NOT LESS THAN P3 OR R11 FOR  
DRY SURFACE AND P4 OR R11 FOR WET SURFACE

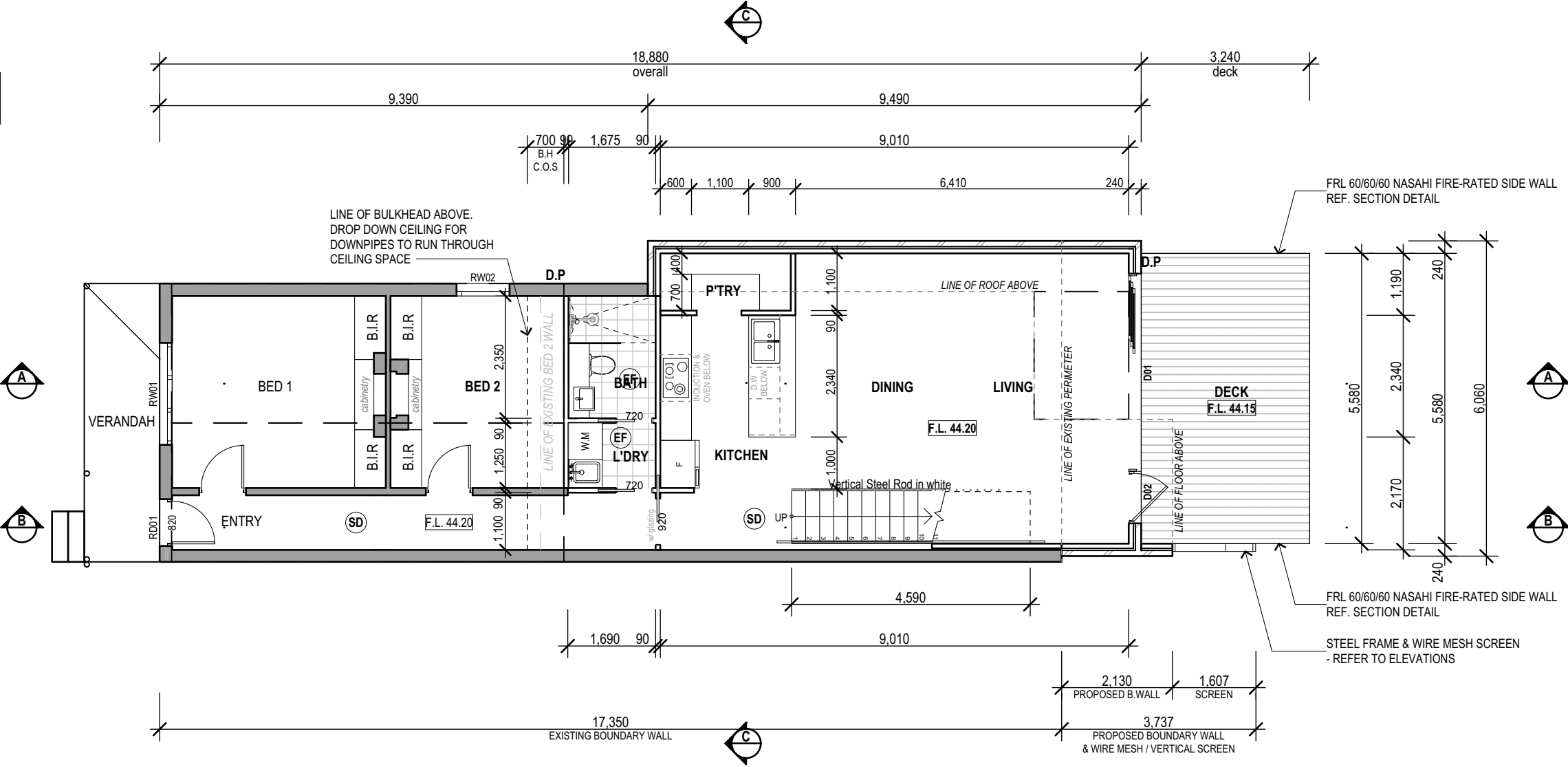
FOR ALL STRUCTURAL MEMBERS REFER TO ENGINEER'S  
DRAWINGS ..... BY .....

ANY SARKING INSTALLED IN THE EXTERNAL WALLS  
MUST BE VAPOUR PERMEABLE & COMPLY WITH AS4200.

ALL EXHAUST FANS CONNECTED TO LIGHT SWITCH  
AND DUCTED TO OUTSIDE AIR AND ACHIEVE A MINIMUM  
FLOW RATE OF 25L/s TO BATHROOMS/SANITARY  
COMPARTMENTS AND 40L/s TO LAUNDRY/KITCHEN

SHOWER BASES ARE TO BE TILED WITHOUT  
STEP UP & WATERPROOFED IN ACCORDANCE  
WITH **AS3740.2010** & PART **3.8.1** OF THE **NCC2019**  
FALL FLOOR AREA OF SHOWER & WITHIN 1.5M  
OF WASTE POINT TO FALL 1:100 TO FLOOR WASTE

PROVIDE SUB-FLOOR VENTILATION  
IN ACCORDANCE WITH B.C.A. PART 3.4.1



WALL LEGEND

[Solid Grey]	: EXISTING WALL
[White]	: PROPOSED CAVITY WALL
[Hatched]	: PROPOSED BRICK WALL

**EXISTING BEDROOMS TO BE REPAIRED**  
- CONTRACTOR TO INSPECT THE SITE PRIOR TO EXECUTION OF THE CONTRACT  
TO CONFIRM THE SCOPE OF WORKS;  
- RISING DAMP, CRACK WHICH MIGHT BE CAUSED BY GROUND WATER DOWN THE SIDE WAY  
- REPAIR WORKS BREAKDOWN TO BE PROVIDED



**PROPOSED GROUND FLOOR PLAN**  
SCALE 1:100

**PRELIMINARY**

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	3	Amendments	issue set:	W.D.02	sheet		4 OF 12		
	ALL DIMENSIONS & LEVELS TO BE CHECKED & VERIFIED BEFORE WORK COMMENCES	project:	Proposed works to 3 George st, Brunswick	client:	Trinity & Jimmy Frederick				



LEGEND

(SD)	SMOKE DETECTOR
(EF)	EXHAUST FAN

SD - SMOKE DETECTOR/ALARM  
SMOKE DETECTORS/ALARMS TO BE HARDWIRED, INTERCONNECTED  
& INSTALLED WITH BATTERY BACK UP IN ACCORDANCE WITH AS3786

OVERALL HEIGHT BETWEEN FINISHED FLOOR LEVELS TO BE  
VERIFIED PRIOR TO ORDERING THE MANUFACTURE OF STAIRS

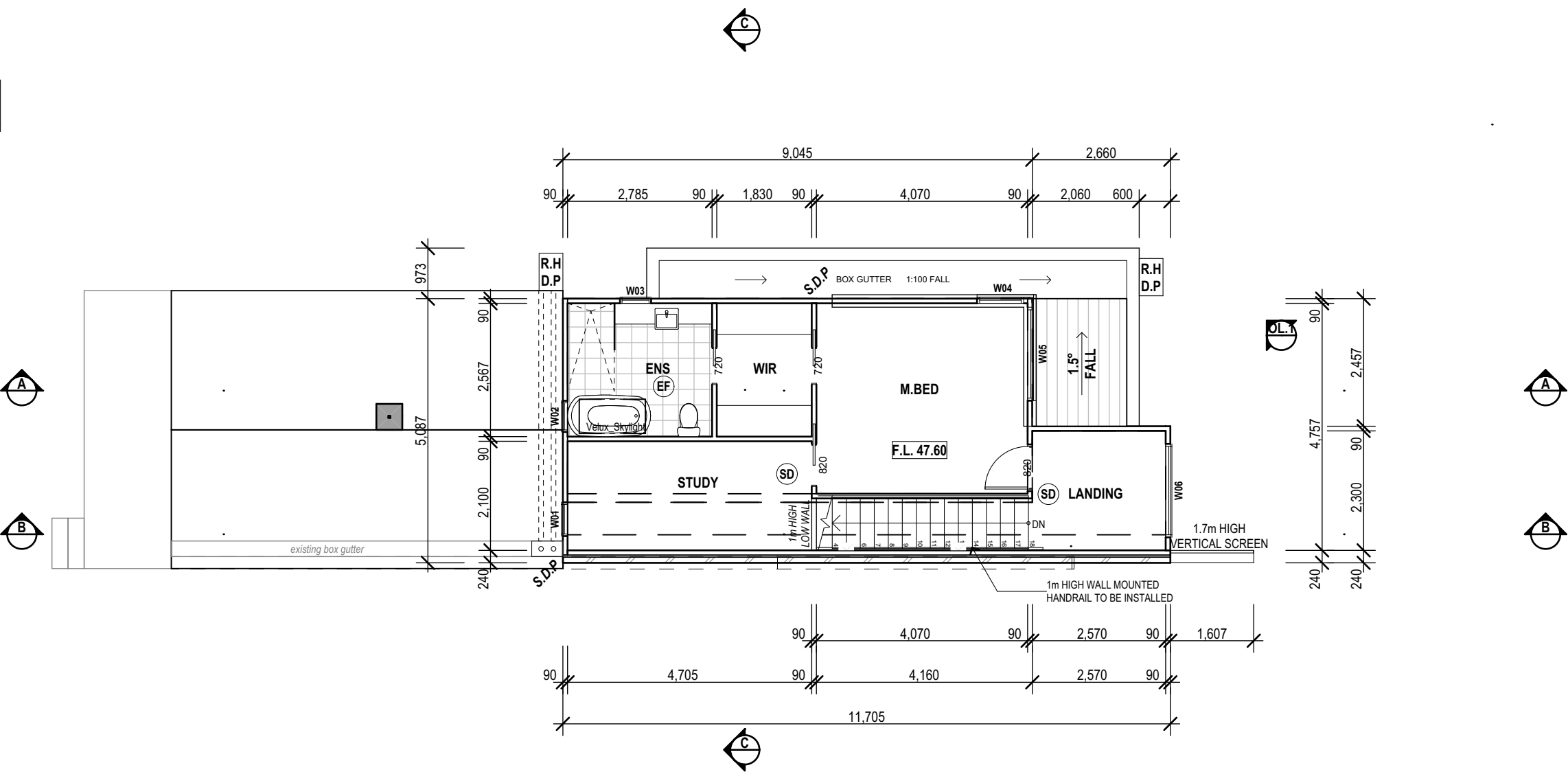
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FLOW RATE OF 25L/s TO BATHROOMS/SANITARY  
COMPARTMENTS AND 40L/s TO LAUNDRY/KITCHEN

SHOWER BASES ARE TO BE TILED WITHOUT  
STEP UP & WATERPROOFED IN ACCORDANCE  
WITH AS3740.2010 & PART 3.8.1 OF THE NCC2019  
FALL FLOOR AREA OF SHOWER & WITHIN 1.5M  
OF WASTE POINT TO FALL 1:100 TO FLOOR WASTE



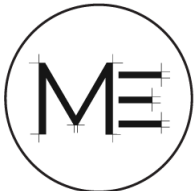
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PROPOSED FIRST FLOOR PLAN

SCALE 1:100

WALL LEGEND

	: EXISTING WALL
	: PROPOSED CAVITY WALL
	: PROPOSED BRICK WALL



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Proposed First Floor Plan

project: Proposed works to  
3 George st,  
Brunswick

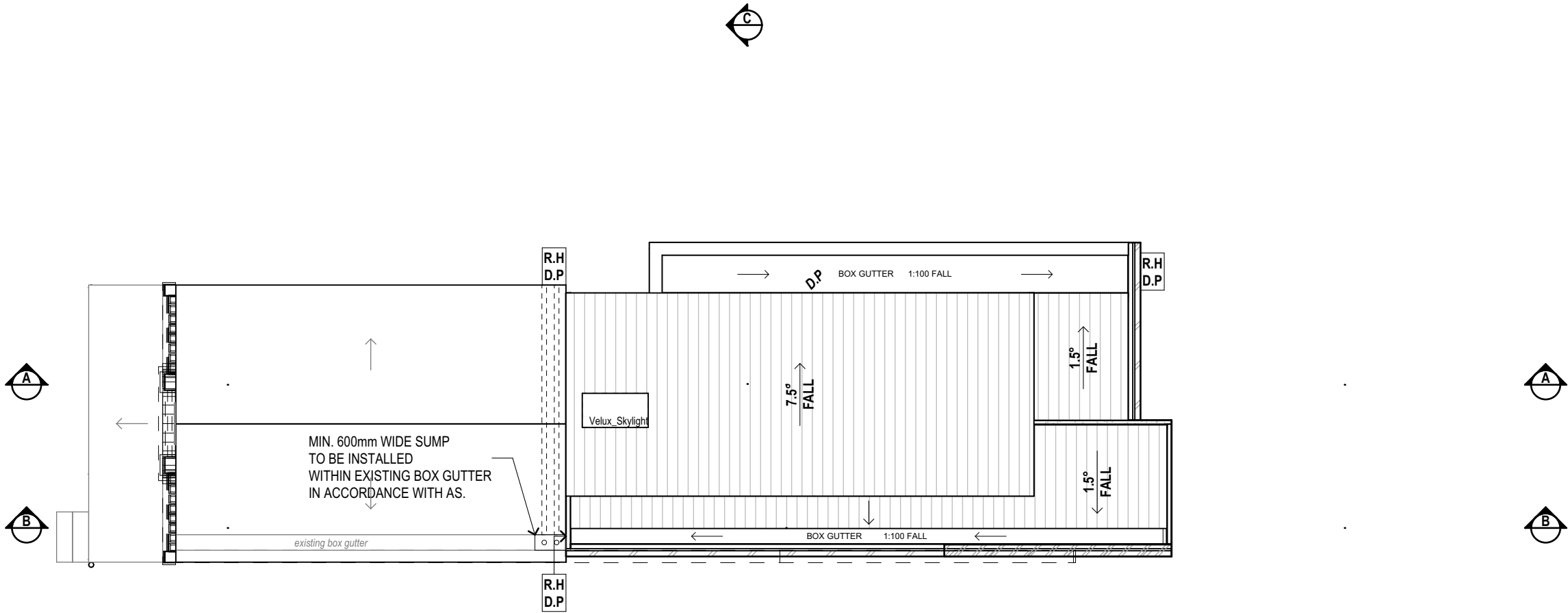
client:  
Trinity & Jimmy  
Frederick

revision:

1	Response to RFI-1
2	Response to RFI-2
3	Amendments

designed:	E.Jeong	scale:	as shown @ A3
drawn:	J.Chavez	job no:	03553-21
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issue set:	W.D.02	sheet	5 OF 12

**D.P - DOWNPIPE**  
CONNECT ALL NEW DOWNPIPES TO EXISTING STORMWATER  
SYSYEM CONNECTED TO LEGAL POINT OF DISCHARGE IN  
ACCORDANCE WITH AS3500.3 2018



**LEGEND**

	<b>PROPOSED SHEET ROOF @ SPECIFIED ROOF PITCH</b> <i>(builder to confirm pitch onsite)</i>
	<b>EXISTING SHEET ROOFING TO REMAIN</b> <i>(builder to verify pitch onsite)</i>

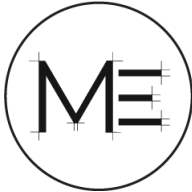


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**PROPOSED ROOF PLAN**

SCALE 1:100

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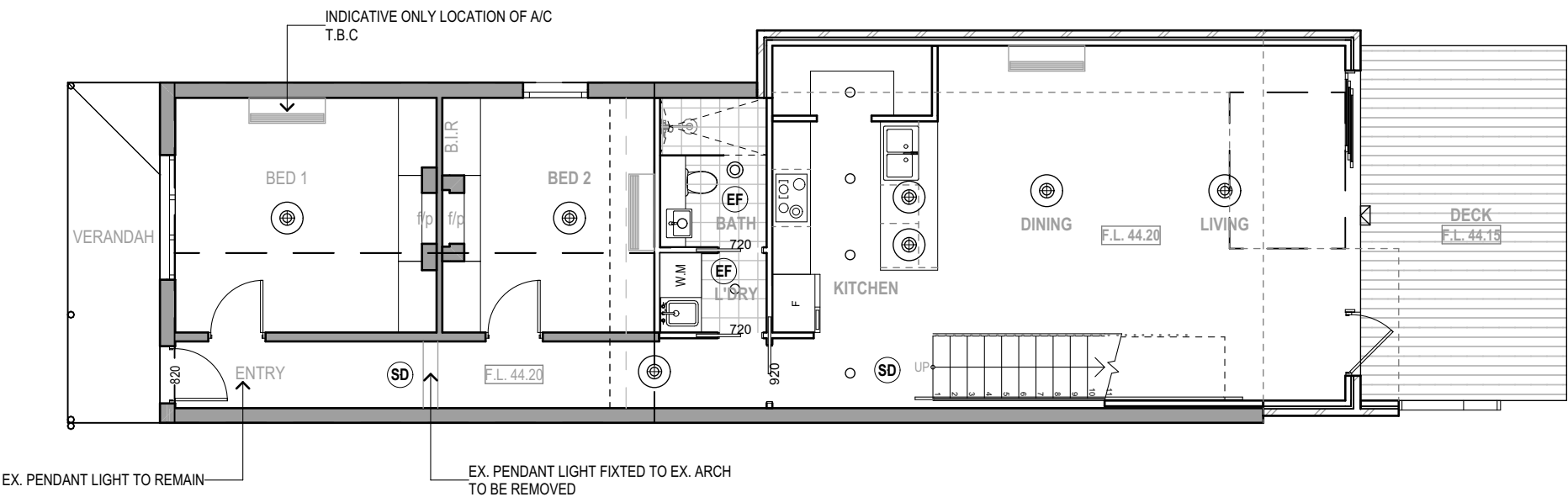
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Proposed Roof Plan			revision:		designed:	E.Jeong	scale:	as shown @ A3	
project:	Proposed works to 3 George st, Brunswick	client:	Trinity & Jimmy Frederick	1	Response to RFI-1	drawn:	J.Chavez	job no:	03553-21
				2	Response to RFI-2				
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LEGEND			
	NUMBER	WATTS	TOTAL
ⓔⓕ EXHAUST FAN	1	N/A	N/A
ⓈⓉ SMOKE DETECTOR	1	N/A	N/A
ⓈⓈ SELECTED PENDENT LIGHT	1	75w	75w
ⓈⓈ SELECTED BATHROOM LIGHT	1	32w	32w
○ LED DOWN LIGHT	16	9w	144w
TOTAL INTERNAL		144w - 2.4w p/m²	
ⓈⓈ SELECTED EXTERNAL WALL LIGHT	1	35w	35w
TOTAL WATTS EXTERNAL		35w - 3.5w p/m²	

TO BE UPDATED



IMPORTANT NOTES

- LOCATION, SPECS OF LIGHTINGS TO BE CONFIRMED PRIOR TO ORDERING
- REVERSE-CYCLE AIRCONDITIONING TO BE INSTALLED. LOCATION, SPECS TO BE CONFIRMED PRIOR TO ORDERING

ARTIFICIAL LIGHTING MUST NOT EXCEED THE ALLOWANCE OF:

- 5 W/m² IN A CLASS 1 BUILDING: AND
- 4 W/m² ON A VERANDAH, BALCONY OR THE LIKE ATTACHED TO A CLASS 1 BUILDING
- 3 W/m² IN A CLASS 10a BUILDING ASSOCIATED WITH A CLASS 1 BUILDING



PROPOSED GROUND FLOOR PLAN - LIGHTING

SCALE 1:100

PRELIMINARY



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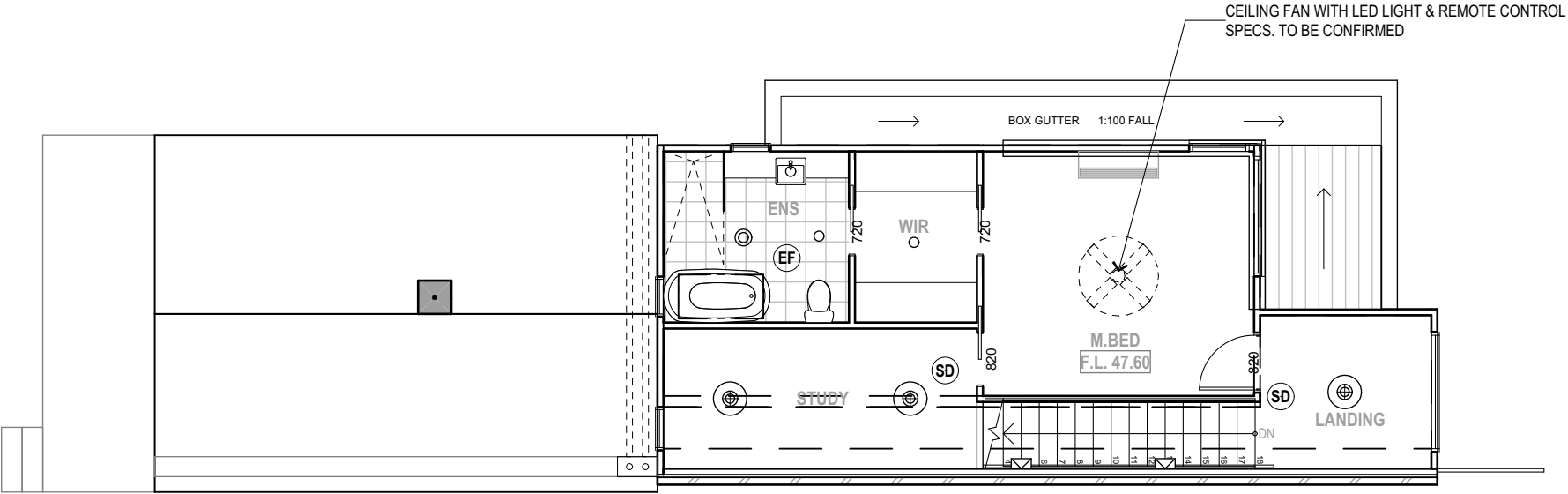
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Proposed Ground Floor Plan - Lighting		revision:	designed:	scale:
project:	Proposed works to 3 George st, Brunswick	1	Response to RFI-1	as shown @ A3
		2	Response to RFI-2	
		3	Amendments	
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			J.Chavez	03553-21
			checked:	published:
			M.Read	26-Sep-24
			issue set:	sheet
			W.D.02	7 OF 12

LEGEND		NUMBER	WATTS	TOTAL
ⓔ	EXHAUST FAN	1	N/A	N/A
Ⓢ	SMOKE DETECTOR	1	N/A	N/A
○	LED DOWN LIGHT	15	9w	135w
TOTAL INTERNAL		126w - 2.7w p/m²		

TO BE UPDATED



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PROPOSED FIRST FLOOR PLAN - LIGHTING

SCALE 1:100

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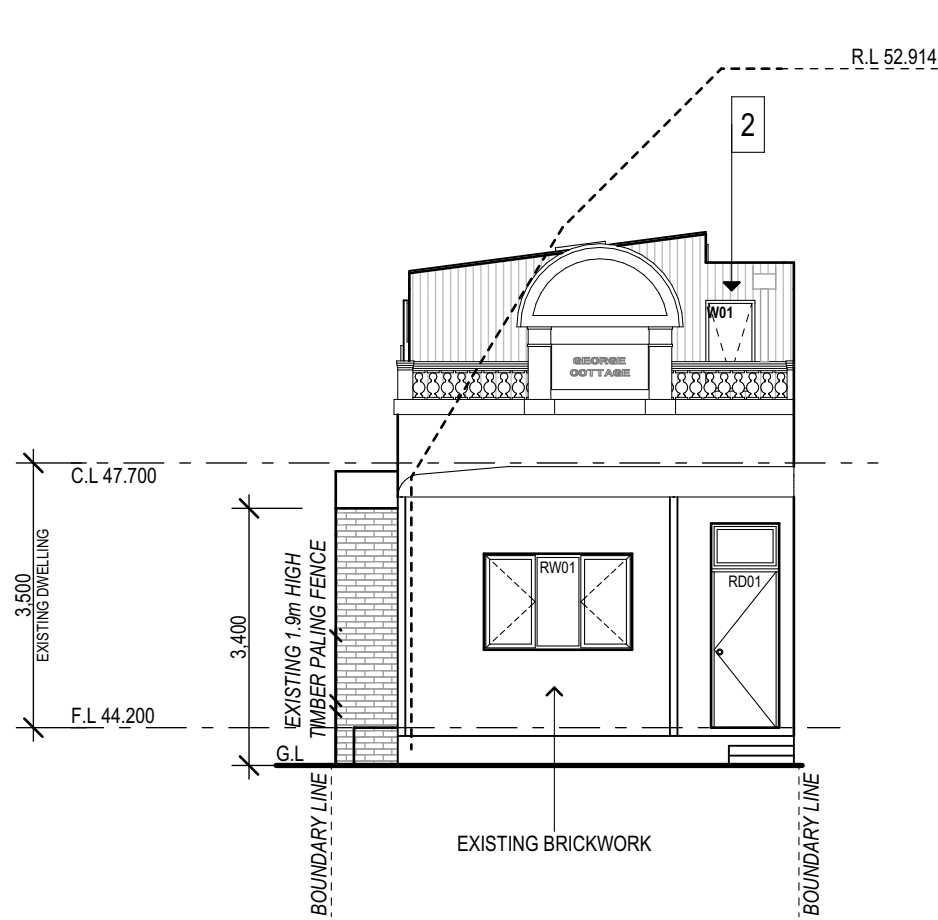
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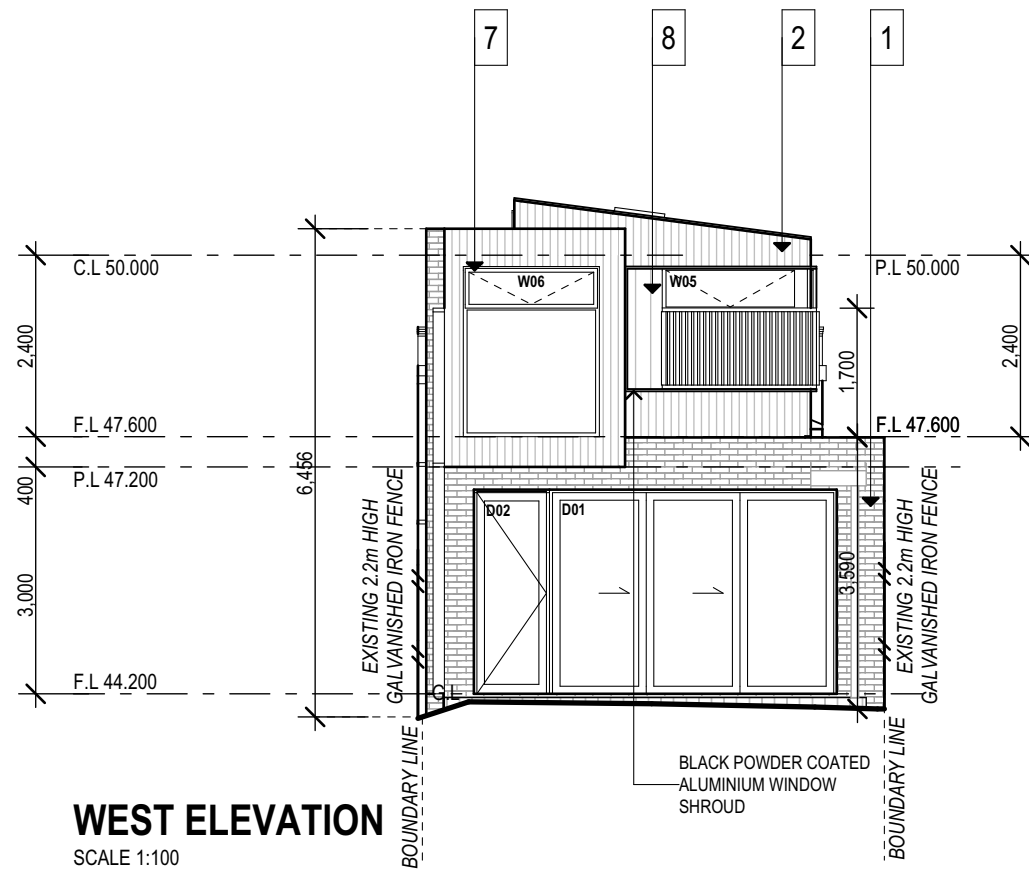
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BEFORE WORK COMMENCES

Proposed First Floor Plan - Lighting			revision:		designed:	E.Jeong	scale:	as shown @ A3	
project:	Proposed works to 3 George st, Brunswick	client:	Trinity & Jimmy Frederick	1	Response to RFI-1	drawn:	J.Chavez	job no:	03553-21
				2	Response to RFI-2				
				3	Amendments				
						checked:	M.Read	published:	26-Sep-24
						issue set:	W.D.02	sheet	8 OF 12





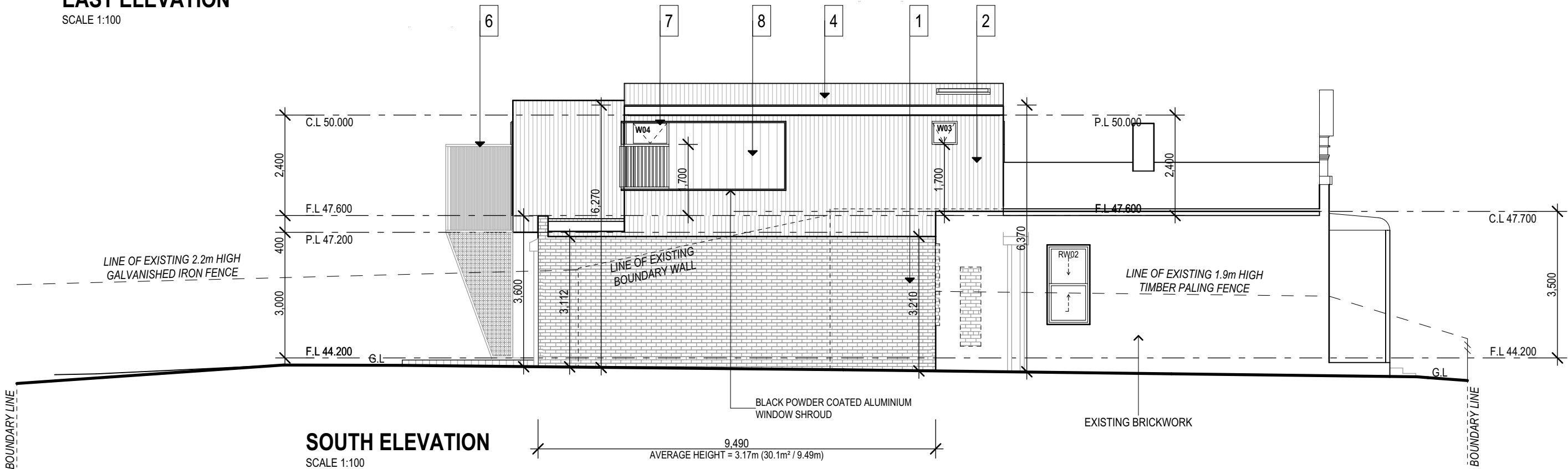
**EAST ELEVATION**  
SCALE 1:100



**WEST ELEVATION**  
SCALE 1:100

**MATERIAL SCHEDULE**

- |   |  |
|---|--|
| 1 | BRICKWORK: TO MATCH EXISTING 'RED' OR SIMILAR  |
| 2 | METAL SHEET CLADDING - COLORBOND NAILSTRIP 'MONUMENT' OR SIMILAR                                   |
| 3 | METAL ROOF SHEETING - COLORBOND 'MONUMENT' OR SIMILAR  |
| 4 | METAL ROOF SHEETING - COLORBOND NAILSTRIP 'MONUMENT' OR SIMILAR                                    |
| 5 | FASCIA, EAVES, GUTTERS - 'MONUMENT' OR SIMILAR   |
| 6 | VERTICAL ALUMINIUM SCREENING - 'SATIN BLACK' OR SIMILAR  |
| 7 | WINDOWS & DOORS - ALUMINIUM 'SATIN BLACK' OR SIMILAR   |
| 8 | PAINTED CEMENTBOARD CLADDING - SCYON 'AXON CLADDING 133mm SMOOTH' DULUX 'TIMELESS GREY' OR SIMILAR |



**SOUTH ELEVATION**  
SCALE 1:100

**PRELIMINARY**



**MONT-ELTHAM**  
BUILDING DESIGN

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building practitioner  
m. read DP-AD578

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**Elevations**

project: Proposed works to  
3 George st,  
Brunswick

client:  
Trinity & Jimmy  
Frederick

**revision:**

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2	Response to RFI-2
3	Amendments

designed: E.Jeong

scale: as shown @ A3

drawn: J.Chavez

job no: 03553-21

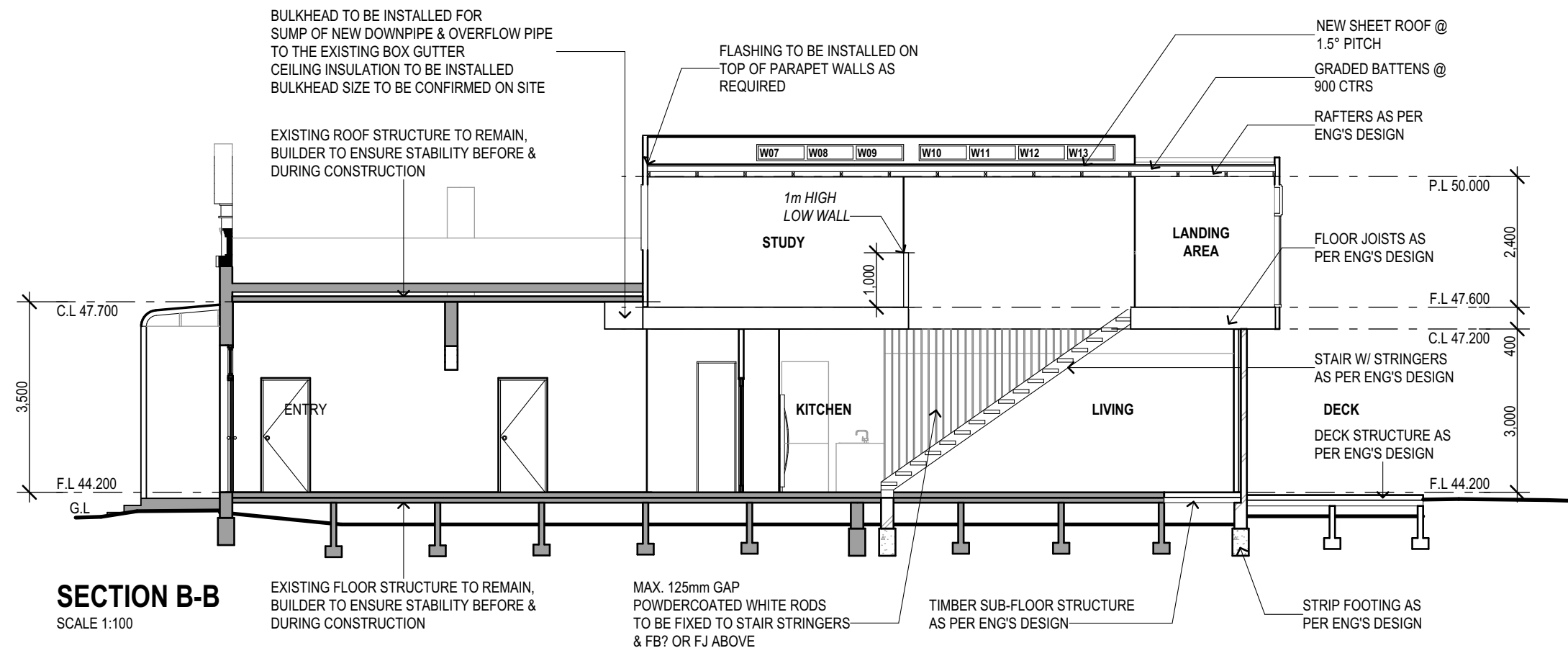
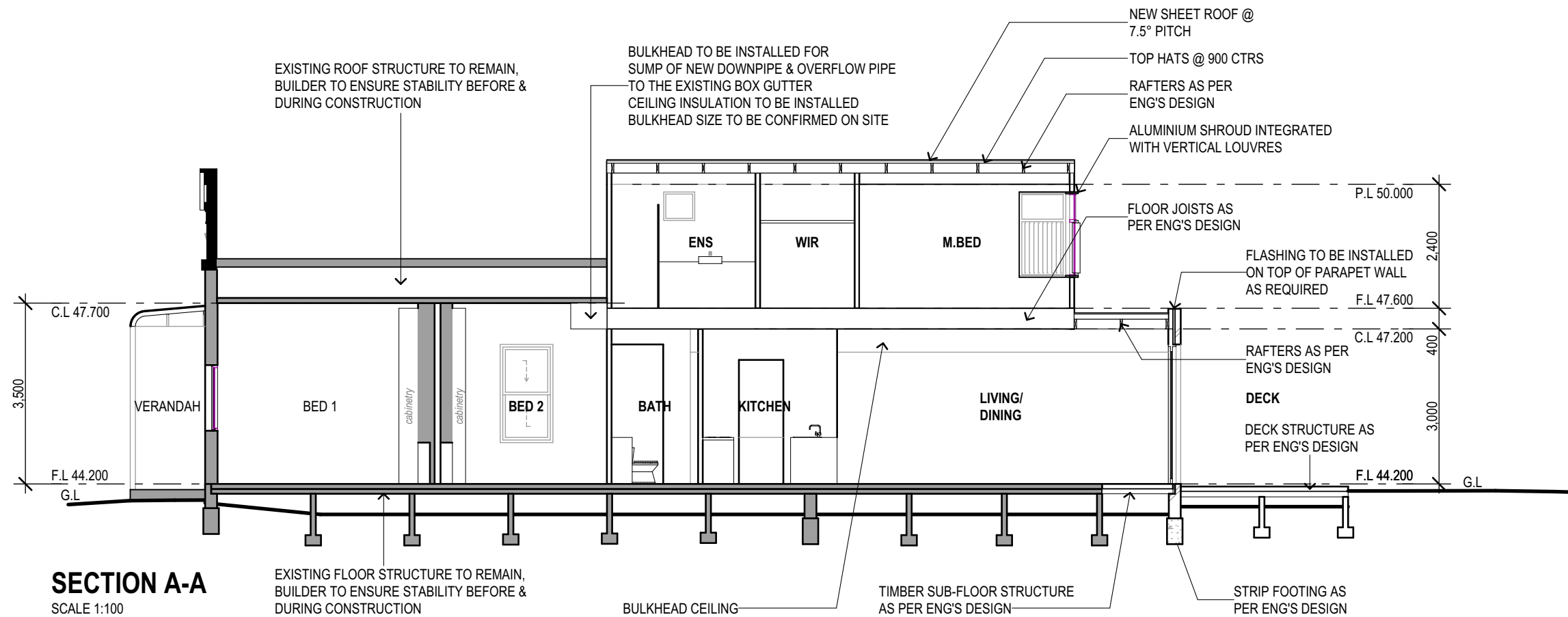
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**PRELIMINARY**



**MONT-ELTHAM**  
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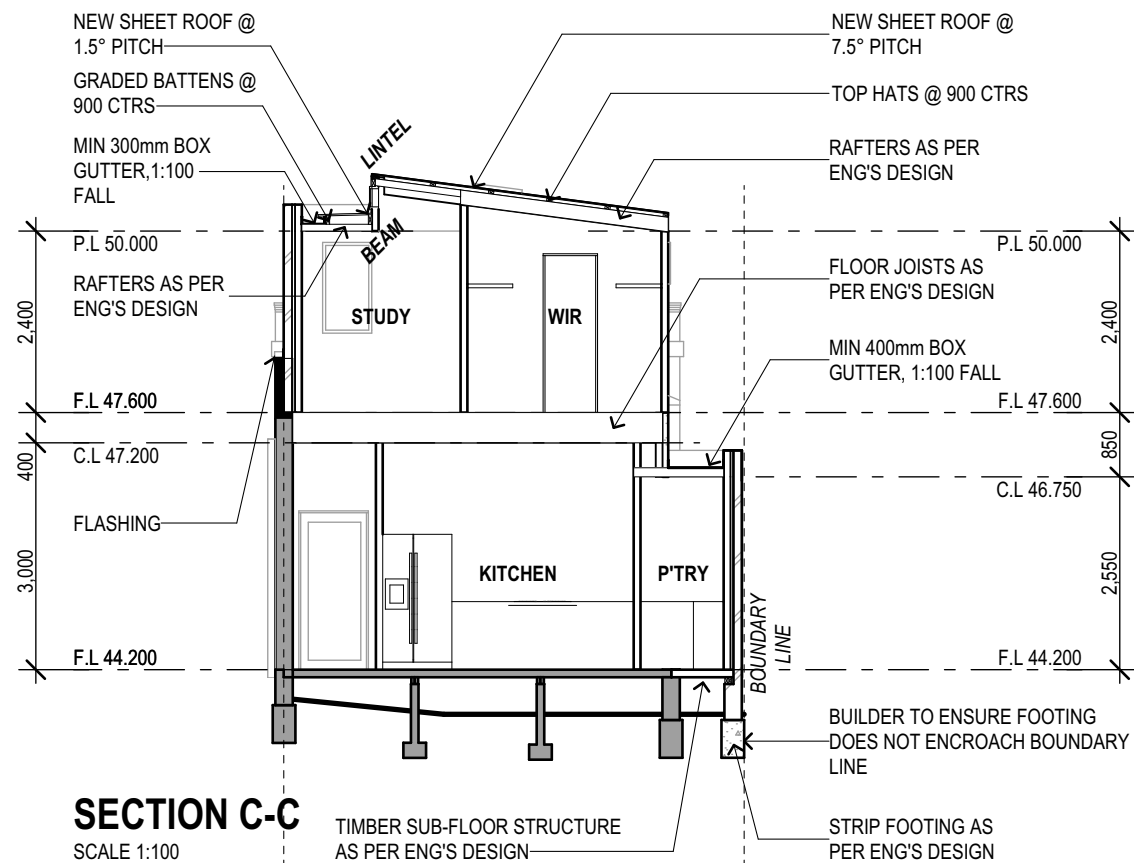
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Sections			revision:		designed:	E.Jeong	scale:	as shown @ A3	
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FOR ALL STRUCTURAL MEMBERS REFER TO ENGINEER'S DRAWINGS ..... BY .....

**TIMBER FRAME SPEC**

**SINGLE OR UPPER STOREY LOAD-BEARING WALLS**

70x90 MGP10 TOP PLATE  
45x90 MGP10 BOTTOM PLATE  
90x35 MGP10 STUDS @ 450mm CTRS. UPTO 2700mm HIGH  
90x45 MGP10 STUDS @ 450mm CTRS. UPTO 3000mm HIGH  
STUDS TO BE ALIGNED WITH OR BLOCKED TO FLOOR JOISTS UNDER  
NOGGINGS @ 1250ctr's

**LOWER STOREY LOAD-BEARING WALLS**

70x90 MGP10 TOP PLATE  
45x90 MGP10 BOTTOM PLATE  
90x45 MGP10 STUDS @ 450mm CTRS. UPTO 2550mm HIGH  
STUDS TO BE ALIGNED WITH OR BLOCKED TO FLOOR JOISTS UNDER  
NOGGINGS @ 1250ctr's

**LINTELS**

**SINGLE OR UPPER STOREY LOAD-BEARING WALLS**

AS PER ENG'S DESIGN

**LOWER STOREY LOAD-BEARING WALLS**

AS PER ENG'S DESIGN

**JAMB STUDS**

**SINGLE OR UPPER STOREY LOAD-BEARING WALLS**

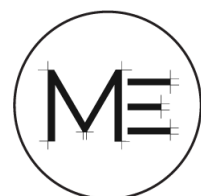
AS PER ENG'S DESIGN

**LOWER STOREY LOAD-BEARING WALLS**

AS PER ENG'S DESIGN

**SECTION C-C**  
SCALE 1:100

**PRELIMINARY**



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