

DRAINAGE & WATER NOTES

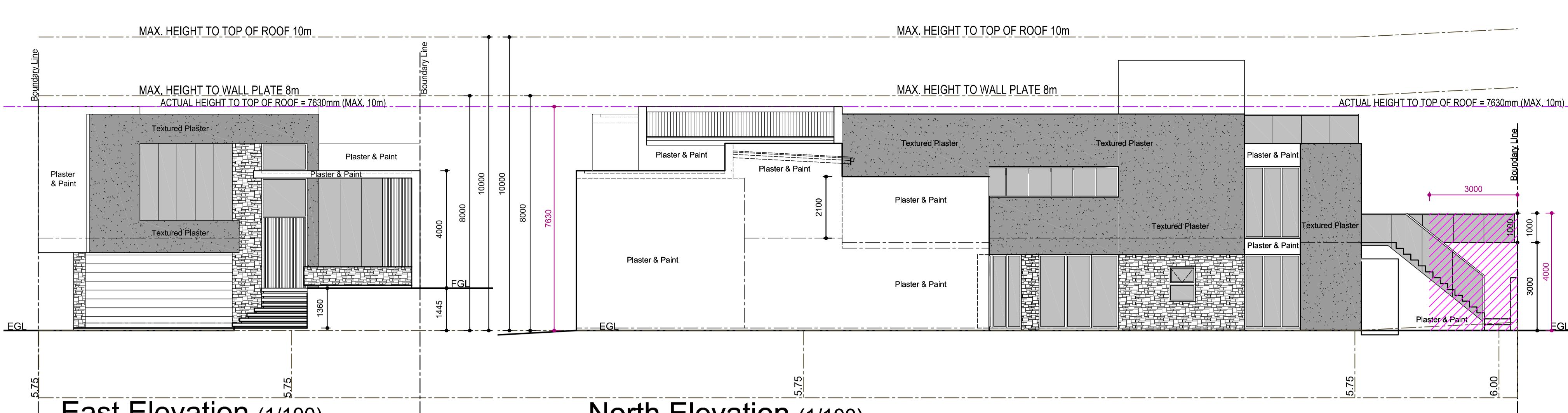
GENERAL NOTES (Compliant with SANS10400)

Drains:
-Drain will be laid in a straight line between changes in gradient.
-Where gradient changes, approved flexible joints will be provided.
-Drain to be laid in accordance with sabs10400 and to be protected where it is laid under building or driveway or where it has a cover less than 450mm by casting in concrete in a cover around the pipe of min 60mm.
-Drain to be laid at a min fall of 1:60
-Drain lines to have a top cover of not less than 450mm
-All drainline installations to be tested for leaks before covered up with any material.
-All materials used for drains to be SABS approved
-Where drain lines go to floors above ground floor, deep seal anti-siphon traps to be used
-Min of 1 gully per drain line
-All stub stacks to be fitted with 50mm one way vents
-At every direction change in a line there must be a rodung eye and an inspection eye
-A rodung eye must be fitted and spaced not more than 20m apart in each line

Water:
-Entire water system must be pressure tested for any leaks before any pipes are plastered over or built into walls.
-All pipes to be insulated in roofs to be laid in such a way as to ensure the least distance of the pipe is placed in walls.
-All materials used must be SABS approved.
-SABS approved solar geyser must be fitted to all new dwellings and installed by specialist.
-All plumbing must be done by a registered plumber and a plumbing certificate must be issued to the owner on completion.
-All pipes not built into walls must be insulated as per SANS204
-Geyser holding tanks inside roofs must be fitted with a drip tray capable of holding the entire content of the geyser and must be fitted with a drain pipe to the outside of the house that will be visible to the owner in the case of a burst geyser
-All installations to comply with SANS10400

note! (stormwater)
1. stormwater to be directed to road as per engineers layout.

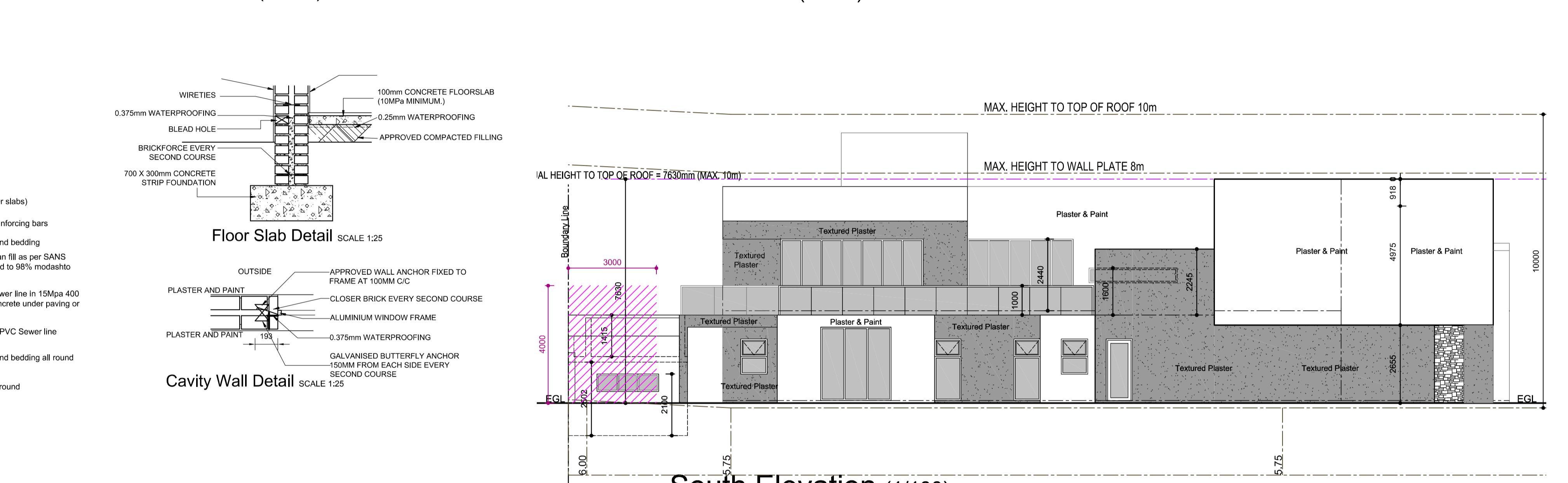
- All glass to be 4mm clear float glass.
- All glass in excess of 1sqm or within 500mm of fl. to be 6mm SABS approved safety glazing.
- FFL, dwelling to be min 150mm above the back of footway level at the driveway entrance.
- FFL of dwelling to be min 230mm above the back of footway level at the sewer connection.
- All precast lintels exceeding 900mm openings to be laid in accordance with the manufacturers specifications.
- No foundation or part of building to protrude boundary.
- All timber built into walls to be wrapped in dpc.
- Flashing and counter flashing to be provided where applicable.
- Parapets to be max 500mm.
- A Drain Shall have a soil cover over the outside of the drain of not less than 300mm in accordance with sans0400 Part P (4.22.5)
- All foundation walls to comply with table 4 of section k of the sabs0400
- Dwelling height of 150mm above ground level
- Garage trusses may not protrude through the fire wall between garage and house.
- Min half hour fire door with self closer to be fitted as garage door between garage and dwelling and to be locked in a ventilated wire mesh cage
- Chimneys to have a min height of 1m between the top of opening and the nearest roof cover point
- All gates leading to swimming pool area to be min 1.2m high non climbable and to be fitted with self-closing and self latching device.
- Manhole covers in driveways to be heavy duty.
- All habitable rooms to have a min of 10% natural light and a min of 5% openable area.
- All doors to be SABS approved and to be fitted or used as per manufacturer specs and to comply with SANS10400.
- All fire walls between garages and house or any fire breaks must be built up to roof covering
- Pool overflow to be discharged into stormwater and backwash to be discharged into sewer system



East Elevation (1/100)

North Elevation (1/100)

South Elevation (1/100)

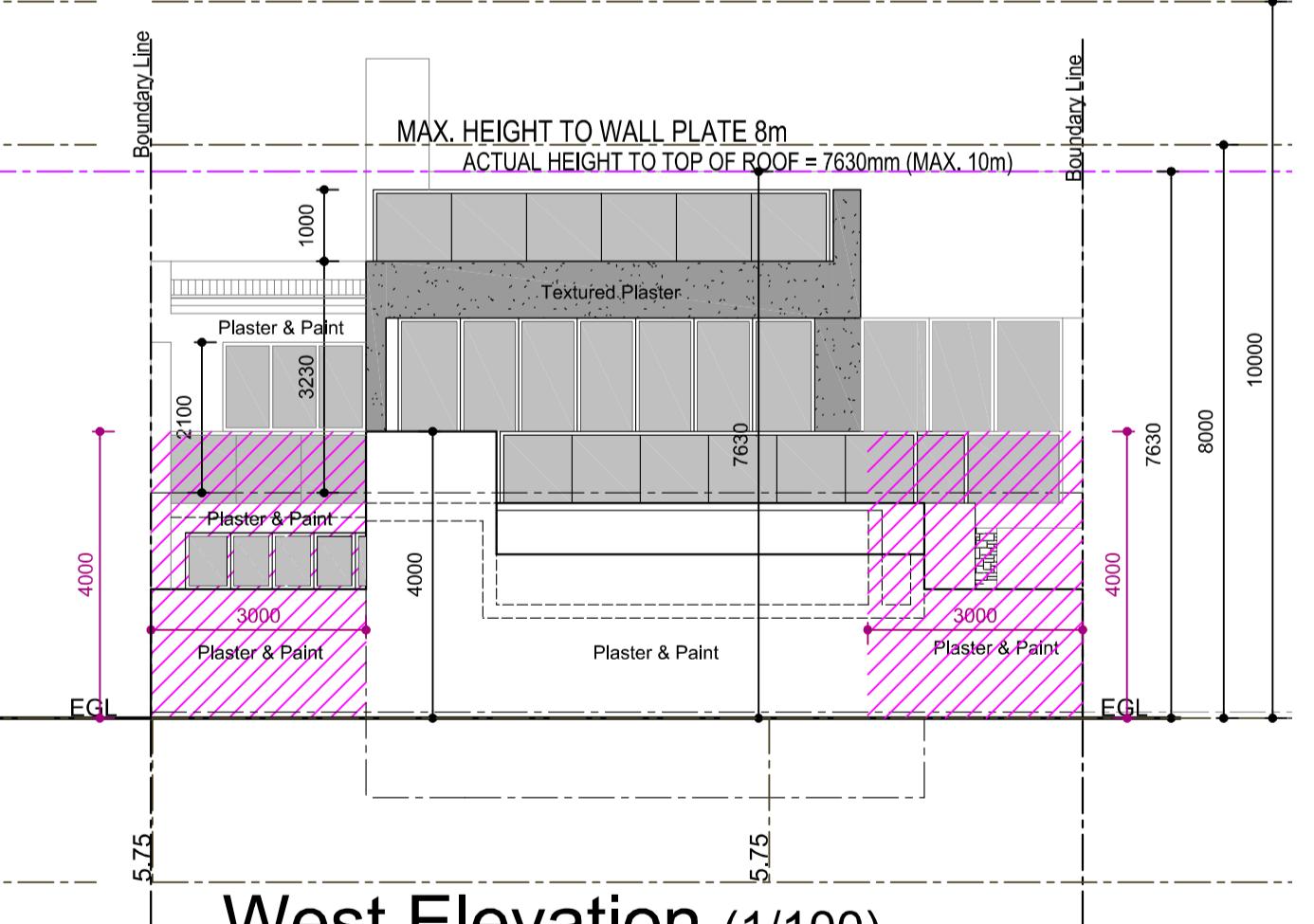


Max. permissible over 3m building line:	
23 000mm + 13 000mm + 23 000mm	= 59 000mm (Total common boundaries)
= 60% Max allowed = 35 400mm Max. allowed	
60% Max. Total Common boundaries as measured 5010mm + 7000mm + 15 885mm = 27 895mm Actual (Max height of 4m)	

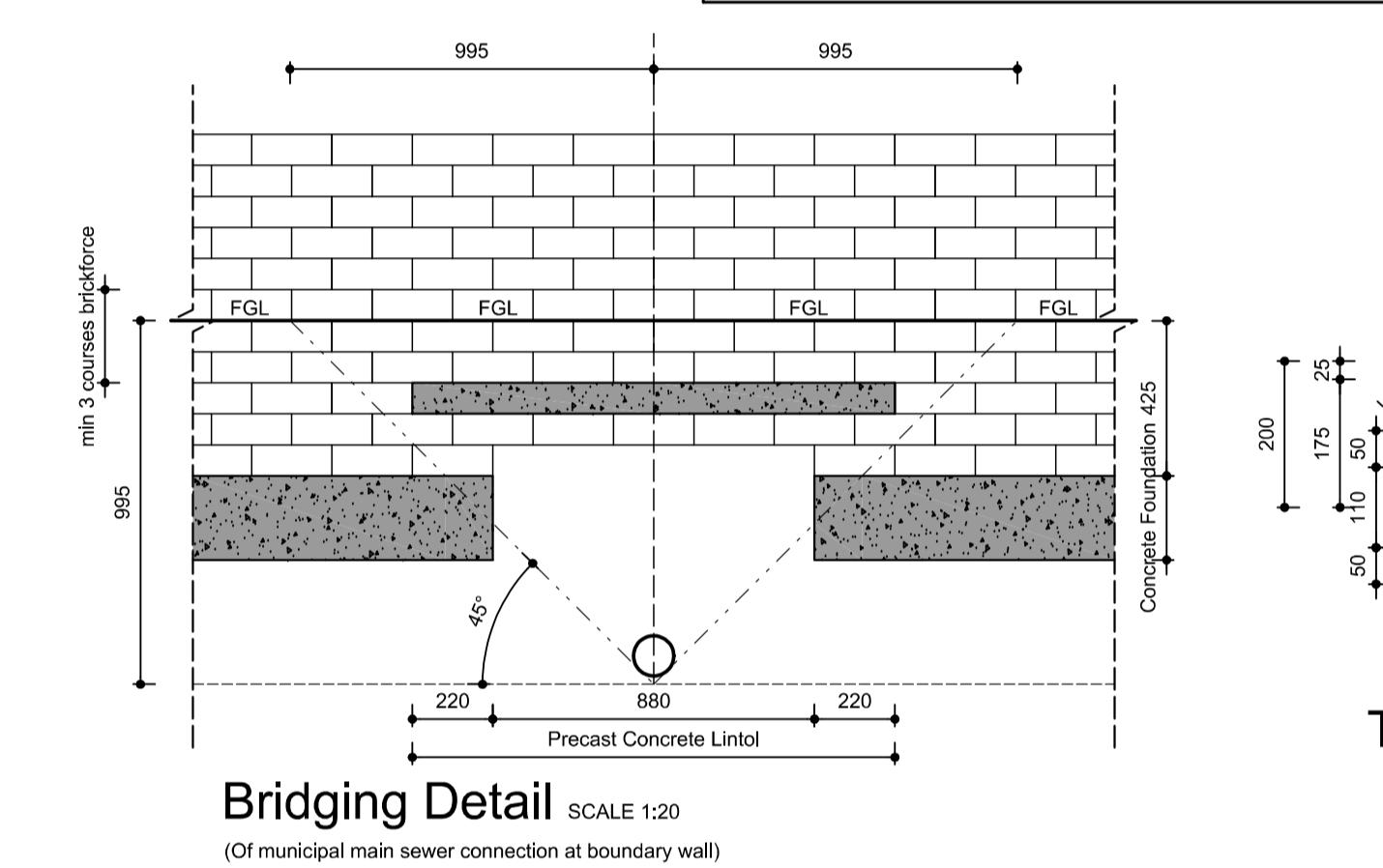
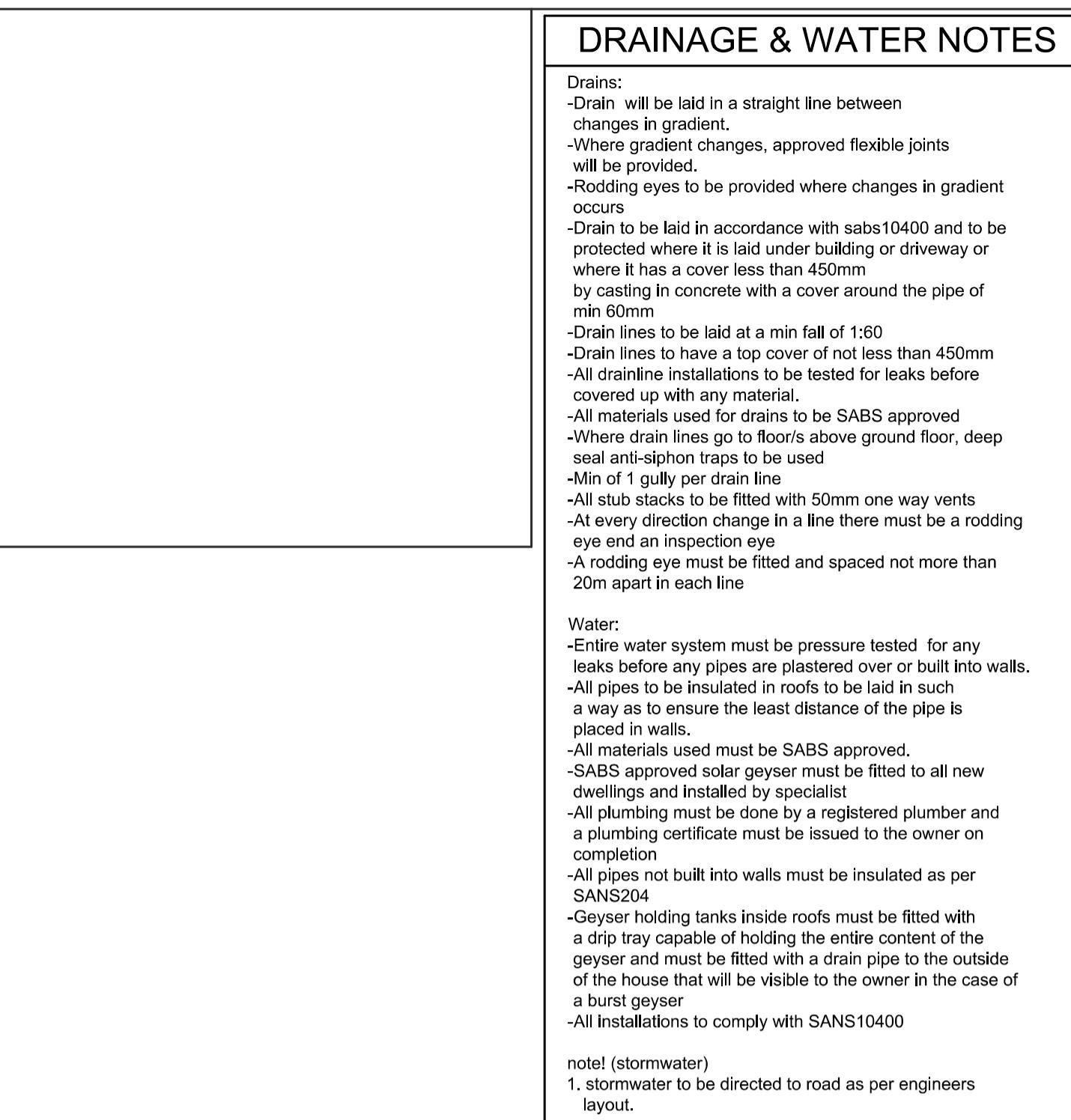
27 895mm (actual) < 35 400mm (Max. allowed)
Building line Departure not required

DRAINAGE LINE 110mm uPVC pipe @ min 1:60 fall cased in Concrete with 100mm Cover allround as per SANS 10400 Part b
STORMWATER LINE 110mm uPVC pipe @ 1:100 fall cased in Concrete with 100mm Cover allround pipe as per SANS 10400 Part P

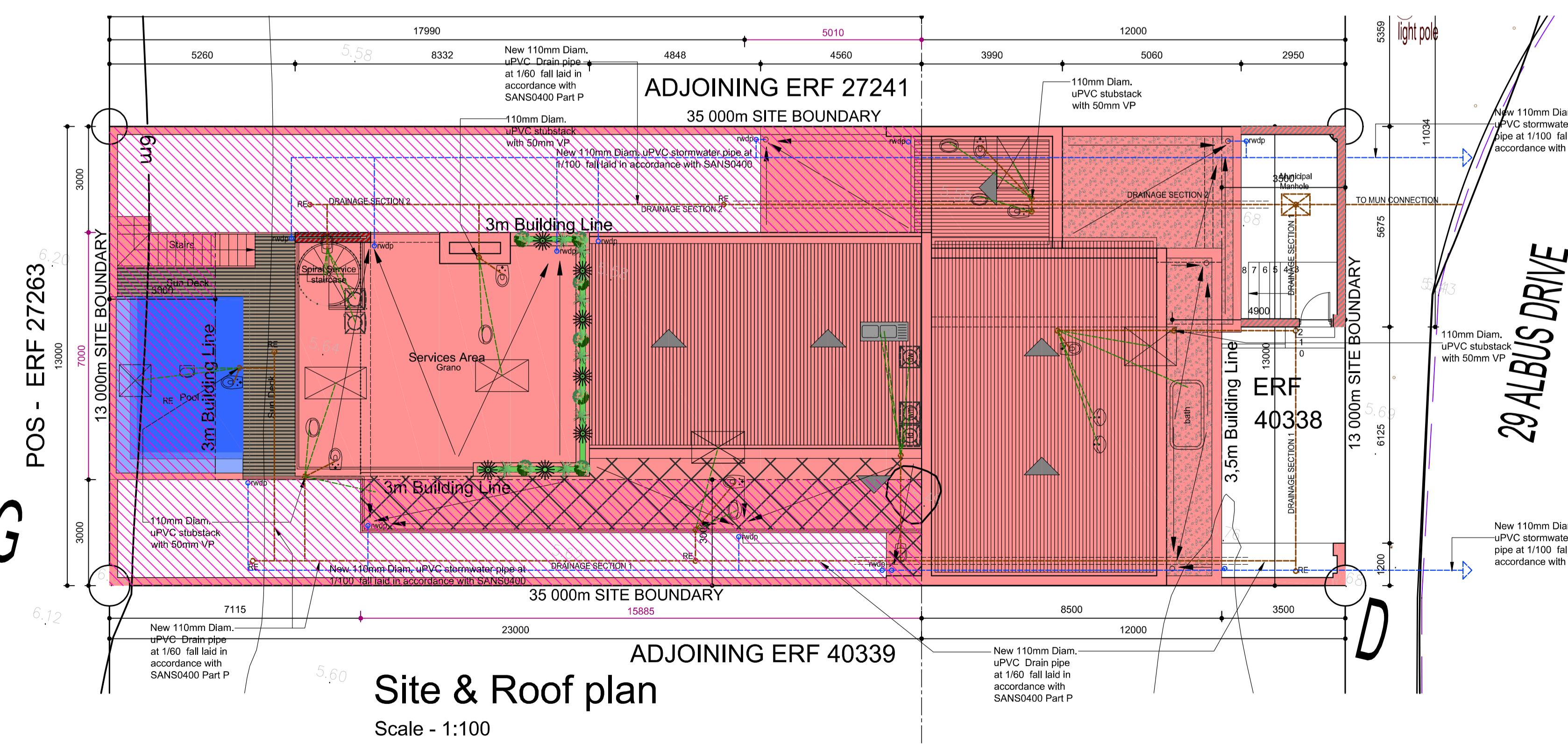
(SR1) Single residential 1 Erf = 455sq.m (Medium Residential Eren) Ground Storey = 129 sq.m Garage = 69 sq.m Domestic Quarters = 35 sq.m First Storey = 176 sq.m Control & Wash Room & Garden store = 30 sq.m Total House Area = 439 sq.m Balconies = 32 sq.m Open Sundeck = 25 sq.m Entrance stoop = 2sq.m Total bulk/ Floor factor = 340 sq.m = 0.747253% (Max = 1)



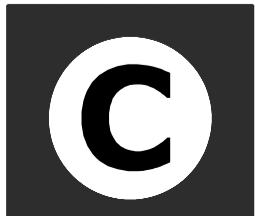
West Elevation (1/100)



Bridging Detail SCALE 1:20
(Of municipal main sewer connection at boundary wall)



DRAWING NO.
H1-M002



PLAN
DESCRIPTION
Municipal Submission

PROJECT NO.
- 46/2023

DATE ISSUED
2023.11.16

CLIENT
CGK Property Development and Investments (PTY)LTD

PROPERTY
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Sunset Beach

OWNER SIGNATURE
NB SIGNATURE

Sunset Beach

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