

**KHANSAHEB CIVIL ENGINEERING L.L.C.**  
**Construction Division**  
Al Rashidiya  
P. O.Box 2716  
Dubai, United Arab Emirates

خانصاحب للهندسة المدنية ذ.م.م.  
قسم الإنشاءات  
الراشدية  
ص.ب. ٢٧١٦  
دبي، الإمارات العربية المتحدة

**MINOR WORKS SUBCONTRACT ORDER NO. 201A22002/69**  
**PROJECT NAME: Dorchester Hotel & Residences (Completion Works)**

Terra Firma Trading L.L.C.  
P.O. Box 393109  
Dubai, U.A.E.  
Tel: 04 5667490  
Fax:

CONTRACT NO. : 201A22002  
SITE CONTACT : Mr. Chris McCann  
SITE TEL. NO. : 050 5873058  
DATE : 7<sup>th</sup> March 2023  
OUR REF. : AJS/CM/KBD/ARM/201A22002/69

PLEASE CARRY OUT THE WORK DESCRIBED BELOW IN LINE WITH THE ENCLOSED AND REFERENCED DOCUMENTS AND SUBJECT TO THE SUBCONTRACT GENERAL TERMS AND CONDITIONS:

Procure, supply, deliver, offload, handle, distribute, install, protect, maintain and guarantee Acoustic Absorption Lining and Ceiling Works, all in accordance with the subcontract documents, drawings, specifications and all as generally described in the below listed Subcontract documents and to the satisfaction of the Engineer (Subcontract Works) for the sum of Dhs. 51,170.00 (Dirhams Fifty One Thousand One Hundred and Seventy Only) QUANTITIES ARE SUBJECT TO RE-MEASUREMENT ON COMPLETION (Subcontract Price).

**NOTE:** This order is subject to receiving approval by the Engineer of the Subcontractor's pre-qualification documents, material / shop drawings submittals and method statement etc.

**ATTACHMENTS:** 1. TF quotation ref. Q/112222/KCE-Q13/R1 dated 17.02.2023 (2 pages).  
2. KCE letter ref. 201A22002/K100/SK/qa/00218 dated 28.02.2023 (43 pages).  
3. Bill of quantities (1 page).  
4. Subcontract: General Terms and Conditions (2 pages).

**PROGRAMME :** As attached and/or in line with the requirements of Khansaheb's Project Management Team to suit the relevant times prescribed within the Main Contract Programme.

#### PAYMENT TERMS

As detailed within the attached Subcontract documents.

#### **PARTICULARS OF MAIN CONTRACT:**

MAIN CONTRACTOR	:	Khansaheb Civil Engineering LLC
EMPLOYER	:	Sky Palace Real Estate Developments LLC
EMPLOYER'S REPRESENTATIVE	:	Omniyat Concept Investments LLC
FORM OF MAIN CONTRACT	:	FIDIC 1 <sup>st</sup> Edition 1999
DEFECTS LIABILITY PERIOD	:	As Main Contract

FOR AND ON BEHALF OF KHANSAHEB CIVIL ENGINEERING L.L.C



Andrew Sanders/Eirian Morris  
Commercial Manager/Commercial Director



Tariq Hussain Khansaheb/  
Amer Abdulaziz Khansaheb/Maher Khansaheb

Reference: Q/I12222/KCE-Q13-R1  
 Date: Friday, February 17, 2023

Mr. Sukesh - Sr. Site Agent  
 +971-50 559 7046  
 Khansaheb - Construction, Dubai UAE

Dear Mr. Sukesh

Thank you for your inquiry, we are pleased to submit our revised quote for supply and installation of Acoustic Absorption Lining & Acoustic Ceiling for the Dorchester Hotel Project in Business Bay as below

S. No	Description	Quantity	UOM	Unit Rate	Total Amount
50mm Thick Acoustic Absorption Lining - 0.7mm thick Powdercoated GI Perforated Sheet Model - In Situ					
1	Supply and installation of 50mm thick acoustic absorption lining comprising of 50mm thick 70kg/m <sup>3</sup> rockwool covered with BGT and as a final protection 0.7mm thick GI perforated-RAL 9016 powder coated finish shall be mechanically fixed to 50mm deep studs.	68	Sq.M	AED 445	AED 30,278
Acoustic ceiling with 1" deflection spring hanger					
2	Supply & Installation of resilient ceiling comprising of 1" deflection spring hangers, 2-layers of 12.5mm thick regular GWB, 50mm thick 24kg/m <sup>3</sup> fiberglass insulation along with furring channel, C-clamp, C-Channel, joint tape & joint compound.	63	Sq.M	AED 330	AED 20,892
Total Quoted Price =					AED 51,170

#### Delivery Period:

1-2 Weeks from the date of PO, advance & Approval of MAS & SD, whichever is last.

#### Installation Period:

To be discussed and agreed mutually

#### Payment Terms:

As discussed & agreed at site office

#### Price Terms:

Excluding VAT, delivered to Site.

#### Validity:

15 days

#### Notes:

#### General

1. Closed storage space shall be provided by the contractor to store our materials.
  2. It is contractor's responsibility to shift materials from store to place of installation.
  3. Delivery of materials is subjected to receipt of signed & dated cheque copy
  4. Area quoted is re-measurable. Quoted areas calculated from the provided drawing during enquiry stage. Final area to be confirmed post completion of the activity quoted for.
  5. We reserve all rights to revise unit rate on substantial reduction of area quoted above.
  6. Timely payments are essential for successful completion of above quoted acoustic works. Delays in payment have not been costed/allowed for.
  7. Above quoted TFT ISO Clip model acoustic ceiling shall be confirmed for feasibility of installation upon a site visit.
- If found otherwise the said line item shall be replaced with spring hanger type ceiling and the revision of quote for it shall follow.
8. Any variation work apart from above mentioned scope will be executed only upon receipt of a separate LPO or email instruction, failing which we will not execute any additional work at site. If by chance we are asked to execute additional work without LPO or email instruction contractor should pay for the additional/variation works as per agreed payment terms without any delay.

#### Exclusions

1. Any civil works or masonry works.
2. Any structural calculations.
3. Scaffolding for work
4. Any structural steel.
5. Any Community, Government/Authority permits or approvals.
6. Any other item not specially included in offer.

REFER TO  
 CLARIFICATION  
 SCHEDULE





Terra Firma Trading LLC  
PO Box 393109, Dubai, UAE  
+971 4 5667490 | sales@terrafirmuae.com  
TRN: 100465358800003

- 7. Noise Measurements of any sort
- 8. Any Sanding / Painting on gypsum surfaces

REFER TO CLARIFICATION SCHEDULE

We trust the above is in line with your requirements. We now look forward to the pleasure of receiving your valued Order.

Sincerely,  
Gunasekar Venkateswaran  
Mob No. +971 52 251 9462



Ref: 201A22002/K100/SK/qa/00218

28<sup>th</sup> February 2023

Terra Firma Trading LLC  
 P.O. Box 393109  
 Dubai, United Arab Emirates  
 Tel No. 04 566 7490

Email. [sales@terrafirmuae.com](mailto:sales@terrafirmuae.com)

Attn; Mr. Sudhanshu Sharma  
 Dear Sir,

**Dorchester Hotel & Residences  
 Acoustic Absorption Lining & Ceiling Works - Post Tender Meeting**

Further to the discussion on 13<sup>th</sup> February 2023, we enclose herewith for your information and further action the following;

- |  |            |
|--|------------|
| 1. Minutes of Kick off meeting         | (13 pages) |
| 2. Schedule of Relevant Correspondence | (1 page)   |
| 3. Hand Amended Subcontractor's Tender | (2 pages)  |
| 4. Tender Clarification schedule       | (2 pages)  |
| 5. K5 Summary of Requirements          | (3 pages)  |
| 6. Bill of Quantities                  | (1 page)   |

Please sign the minutes of meeting (page 12) and the K5 form and return these pages to our offices for record.

We trust the enclosed is an accurate representation of the meeting held, however, should you have any comments please advise in writing within 5 days of the date of this letter, failing which you will be deemed to have accepted the attached as a true record.

Yours faithfully,  
 for and on behalf of Khansaheb Civil Engineering LLC.

Chris McCann  
 Senior Project Manager

Encl. as noted

**KHANSAHEB CIVIL ENGINEERING LLC**  
**SUBCONTRACTOR'S POST TENDER REVIEW MEETING**

Contract:	Dorchester Hotel & Residences, Business Bay	Contract No:	201A22002
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Subcontractor (SC):	Terra Firma Trading LLC	Meeting Date:	13.02.23
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**Purpose of Meeting:** To review the technical & commercial aspects of the Subcontractor's tender, to ensure the bid is compliant with the tender enquiry, ascertain if the Subcontractor has fully understood the scope of the package & has the current capacity to execute the works and manage any associated risks.

**SCOPE OF WORK:**

The design (to the extent defined in the Subcontract), procurement, fabrication, delivery, handling, offloading, distribution, installation, maintenance and commissioning of all works associated with the Acoustic Absorption Lining & Ceiling works.

<b>SUBCONTRACTOR DETAILS (SC)</b>		<b>KHANSAHEB DETAILS (KCE)</b>	
Name:	Terra Firma Trading LLC	Name:	Khansaheb Civil Engineering LLC
Address:	P.O Box 393109 Dubai, UAE	Address:	P.O.Box 2716 Dubai, UAE
Tel No.	04 566 7490	Tel No.	04 605 7200

<b>NAME (SC)</b>		<b>DESIGNATION</b>	<b>NAME (KCE)</b>	<b>DESIGNATION</b>
Present:	Gunasekar Venkateswaran Prashanth S	Sales Executive Sales Executive	Present:	Sukesh Nair Saman Kulsooriya Anil Kumar

**Khansaheb point of contact (KCE):**

Name:	Chris McCann
Position:	Senior Project Manager
Mobile No:	056 507 6171
Email:	chris.mccann@khansaheb.ae

**Project Commercial Manager (KCE):**

Name:	Kevin Davies
Mobile No:	050 651 1597
Email:	kevin.davies@khansaheb.ae

**Subcontractor point of Contact (SC):**



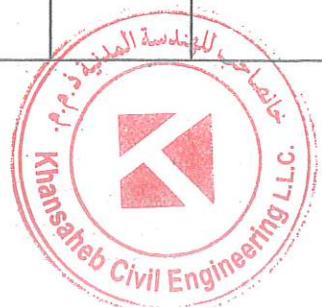
Name:	Prashanth S
Position:	Sales Executive
Mobile No:	052 158 3576
Email:	sales@terrafirmuae.com

**Correspondence:**

All correspondence issued in connection with this Subcontract is to be addressed to the Contractor's / Subcontractor's designated 'point of contact' noted above.

The SC confirmed that their point of contact named above is deemed to be duly authorised to act on behalf of and agree matters on behalf of the Subcontractor and to act as the Subcontractor's Representative under the Subcontract.

Contract:	Dorchester Hotel & Residences, Business Bay	Contract No:	201A22002
Item	Minute	Action by	Date
2.0	Commercial Sufficiency		
2.1	<p><b>Khansaheb Tender Enquiry</b></p> <p>SC confirmed receipt of KCE tender Enquiry:            Reference: Enquiry for Plant Generator rooms Acoustic wall &amp; ceiling            Dated: 19.11.22</p> <p>Further communication is listed in the Schedule of Relevant Correspondence attached in Appendix No. 1 of these minutes.</p>		
2.2	<b>Validity of the Subcontractor's Tender</b>		
2.2.1	The SC confirmed its tender reference dated 17-Feb-23 remained valid until	Q/112222/KCE-Q13-R1 18-Apr-23	
2.2.2	SC confirmed its tender price as:	AED 51,170.00	
2.2.3	SC confirmed its tender price was:	Subject to Remeasurement Fixed Price	
2.2.4	SC confirmed that its rates and prices are fixed until: Issuance of the Performance Certificate		
2.2.5	SC confirmed that after discount its final offer is: AED 51,170.00		
2.3	<b>Insurance, Bonds &amp; Warranties</b>		
2.3.1	SC confirmed that an Advance Payment would not be required	No	
2.3.2	KCE and SC agreed that the Advance Payment would be 20 % of the Subcontract price.		
2.3.3	The Advance Payment will be recovered at 20 % of the gross amount certified to the SC in interim payment certificates, until the advance payment has been fully recovered.		
2.3.4	KCE and SC agreed that a Performance Bond would be N/A of the Subcontract price		



Contract:	Dorchester Hotel & Residences, Business Bay	Contract No:	201A22002
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Item	Minute	Action by	Date
2.3	Insurance, Bonds & Warranties continued		
2.3.5	SC confirmed that their tender included the provision of all warranties and guarantees required by the tender document and to satisfy the Employer's Requirements. Where a warranty or guarantee for a particular item is not clear from the tender documentation, the SC agreed to obtain the maximum warranty / guarantee available from the specified suppliers.		
2.3.6	SC agreed to provide a Collateral Warranty if required	Yes	
2.3.7	The SC confirmed and agreed that the cost of supplying the above bonds and warranties is included in their Subcontract price and that failure to provide them will result in interim payments being withheld.		
2.3.8	KCE and SC agreed that the following insurances are to be provided:  Workmen's Compensation <input type="checkbox"/> S/C      Plant & Equipment <input type="checkbox"/> S/C Professional Indemnity <input type="checkbox"/> N/A      CAR / Third Party <input type="checkbox"/> Employer		
2.3.9	The SC agreed to provide copies of their up to date policies and confirmed that if any insurances expire during the currency of the Project, the Subcontractor is to provide evidence of renewal.		
2.4	Valuation & Payment		
2.4.1	KCE and SC agreed that valuations are to be submitted on:  30th of each month		
	KCE confirmed that payment would be made within <input type="checkbox"/> 15 days of receipt of the corresponding payment from the Employer		
2.4.2	KCE confirmed and the SC agreed that the retention percentage on the work is <input type="checkbox"/> 10 %		
2.4.3	The release of retention will take place in line with the conditions of the Main Contract which states that the first half will be released:  On receipt of the Taking Over Certificate for the Main Contract works		
2.4.4	The Balance of retention release will occur:  on receipt of the Defects Liability Certificate for the Main Contract works		
2.4.5	KCE and SC agreed that all retention payments will be made within <input type="checkbox"/> 15 days of receipt of the corresponding payment from the Employer		



Contract:	Dorchester Hotel & Residences, Business Bay	Contract No:	201A22002
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Item	Minute	Action by	Date
2.4	Valuation & Payment continued		
2.4.6	If the SC fails to comply with the agreed programme (section 6) then Liquidated Damages / Penalties for the whole of the Works and any section, where applicable, will be applied in line with the amounts under the Main Contract.		
2.4.7	KCE and SC agreed that the Defect Liability Period would be: 365 days from date of Taking over certificate		
	Further commercial terms were recorded in the continuation sheets: <input checked="" type="checkbox"/> Yes		
2.5	Conditions of Contract		
2.5.1	Main Contract Project Description: All outstanding Works required to bring the Project known as the Dorchester Hotel & Residences to completion		
2.5.2	Form of Contract: FIDIC first ed. 1999 Red Book as amended by Particular Conditions (see continuation sheet)		
2.5.3	KCE confirmed and the SC agreed that the Main Contract documents, including drawings, specifications and other schedules / appendices (excluding commercially sensitive information) are available for inspection by the SC.		
2.5.4	The SC confirmed that his offer is fully technically and commercially compliant with the Main Contract and any future Subcontract agreement will be performed on a back to back basis, except as noted herein.		
2.5.5	The SC confirmed that he has made due allowance for the above in his price.		
	Subcontract		
2.5.6	Form of Subcontract: Minor Works Order		
2.5.7	KCE and SC agreed that the Subcontractor's tender qualifications, exclusions, attendances, terms and conditions are superseded by the amendments / agreements made in: Appendix 2 Clarification schedule		
2.5.8	KCE and SC confirmed their responsibility for the provision of certain attendances / facilities by reviewing the K5 form. The K5 was agreed and will be signed and returned by the SC within 2 days of the date of this meeting		



Contract:	Dorchester Hotel & Residences, Business Bay	Contract No:	201A22002
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Item	Minute	Action by	Date
3.0	Design		
3.1	The following design responsibilities were identified as being the responsibility of the SC (if none state none):  Not Applicable		
3.2	The following temporary works design responsibilities were identified as being the responsibility of the SC (if none state none):  Not Applicable		
3.3	The SC confirmed that his design, will be in accordance with the Tender and Main Contract documents and all design obligations shown and / or described therein are included.		
3.4	SC confirmed that it has sufficient and competent design resource available to deliver the above design responsibilities for this project.		
3.5	SC confirmed that his tender is fully compliant with all applicable Building Standards, Statutory Authority Regulations, Civil Defence and Municipality requirements etc.		
3.6	SC confirmed that he has included for the provision of shop drawings:  Yes		
3.7	SC agreed to provide all necessary as-built information and records:  Yes		
3.8	SC agreed to provide all necessary information and records necessary for incorporation into the projects operating and maintenance manuals:  Yes		
3.9	KCE confirmed and SC agreed that for the purposes of payment, unless the as-built details / O & M manuals and any other close out documentation to be provided by the SC are in compliance with the Subcontract, that KCE may withhold payments.		



**KHANSAHEB CIVIL ENGINEERING LLC**  
**SUBCONTRACTOR'S POST TENDER REVIEW MEETING**

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Item	Minute	Action by	Date								
4.0	Change Management										
4.1	<p>KCE confirmed and SC agreed that payment for additional work will not be made without prior written instruction from the following named persons:</p> <table> <thead> <tr> <th>Title</th> <th>Name</th> </tr> </thead> <tbody> <tr> <td>Project Manager</td> <td>Chris McCann</td> </tr> <tr> <td>Sr. Quantity Surveyor</td> <td>Saman Kulsooriya</td> </tr> <tr> <td></td> <td></td> </tr> </tbody> </table>	Title	Name	Project Manager	Chris McCann	Sr. Quantity Surveyor	Saman Kulsooriya				
Title	Name										
Project Manager	Chris McCann										
Sr. Quantity Surveyor	Saman Kulsooriya										
4.2	<p>KCE and SC agreed that the valuation of works on a daywork basis: <input type="checkbox"/> will not be permitted on this contract.</p> <p>If permissible KCE and SC agreed that the rules of 4.1 above would apply and the SC would submit comprehensive record sheets within 24 hours of the work being carried out.</p>										
4.3	The SC agreed to promptly advise KCE, in writing, of the impact that any instruction may have on the Subcontract works and to comply with the requirements of the Subcontract in all cases.										
4.4	Instructions issued by the Client / Consultants direct to the Subcontractor should not be acted on, unless relating to H&S matters. The SC agreed to notify KCE in writing about any instruction issued by the client.										
4.5	SC agreed to proceed with all instructions issued by the above named persons, including cases where the value has not been agreed.										
5.0	Technical Sufficiency										
5.1	<p>SC stated that its tender was technically fully compliant with the tender enquiry documents including but not limited to specifications, drawings, BOQ etc. and all applicable Building Standards / Statutory Authority Regulations, including Civil Defence and Municipality requirements etc. current at the date of its tender.</p> <p><input type="checkbox"/> Yes</p> <p>If no, the variance were identified as;  [refer to appendix 2 for a complete list of clarifications / agreements]</p>										



**KHANSAHEB CIVIL ENGINEERING LLC**  
**SUBCONTRACTOR'S POST TENDER REVIEW MEETING**

Contract:	Dorchester Hotel & Residences, Business Bay	Contract No:	201A22002
Item	Minute	Action by	Date
5	Technical Sufficiency continued		
5.2	KCE and SC reviewed the KCE Trade Checklist:  If yes, the following pertinent points were identified: None	N/A	
5.3	Further minutes were recorded in the continuation sheets:  SC summarised what innovation, construction and material alternative options can be offered with potential cost savings: Not Applicable	No	
6.0	Programme		
6.1	KCE confirmed that the site working hours are:  Monday Sunday to Thursday                      7am - 5pm Friday    7am - 5pm Saturday Sunday                                    Closed		
	If the SC wishes to work outside the above hours then permission must be requested / obtained from KCE's Project Manager in writing with 24 hours notice. Additional supervision / attendance cost incurred by KCE as a consequence will be charged to the SC's account.		
6.2	The SC confirmed that the Subcontract works will be carried out in accordance with the durations and sequence indicated in KCE programme reference:  Programme to be agreed to align with Main Contract Programme.		
	A copy of which has been enclosed within Appendix 4	No	
6.3	SC confirmed receipt of KCE Main Contract programme rev and confirmed their acceptance of the same.	No	N/A



Contract:	Dorchester Hotel & Residences, Business Bay	Contract No:	201A22002
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Item	Minute	Action by	Date
6.0	Programme continued		
6.4	SC confirmed that it was fully able to resource the works, including all necessary management, supervision, labour and plant in order to meet the requirements of the project and programme.		
6.5	SC confirmed that it would submit a detailed programme for approval within: 7 days from receipt of an LOI.		
6.6	SC confirmed that it would submit a resource histogram for labour & plant within: 7 days from receipt of an LOI.		
6.7	SC confirmed that it would submit procurement / submittal / shop drawing / information release schedules within: 14 days from receipt of an LOI.  SC is to ensure that all schedules are comprehensive and that information is requested / submitted in time to meet the requirements of the above referenced programme.		
6.8	SC confirmed that it would commence the production of shop / design drawings on receipt of the IFC drawings from KCE.		
6.9	SC agreed to provide a comprehensive schedule of long lead items for KCE's review including all documentation to evidence that all suppliers / manufacturers are working toward the agreed programme dates: N/A S/C Confirmed no long lead in items		
6.10	KCE advised the SC of other critical interfaces or factors affecting the programme and the SC agreed to co-ordinate their works with other Subcontractor trades:  Civil work, finishing- floor, wall & ceiling, MEP works		
6.11	KCE confirmed and the SC agreed that continuity of work cannot be guaranteed and the SC has allowed for an adequate number of visits to execute and complete the Subcontract works.		
6.12	SC confirmed that method statements and risk assessments will be submitted for approval within a minimum of 14 days prior to the commencement of the Subcontract works on site or as required to comply with the programme current at that time.		
6.13	KCE stated that from time to time the Project Manager may amend the programme. The SC acknowledged this and confirmed that it would comply with any amendment.		



Contract:	Dorchester Hotel & Residences, Business Bay	Contract No:	201A22002
Item	Minute	Action by	Date
7.0	Management of the Subcontract Works		
7.1	SC confirmed that it would provide full time competent supervision whilst the Subcontract works are ongoing and the level of supervision would be commensurate with the extent of the SC's works. SC also agreed that CV's of proposed supervisor(s) would be provided 1 week from award for KCE's review and approval.		
7.2	SC agreed that if the number of supervisors is inadequate and / or the knowledge, capability and experience of those supervisors is not to KCE's satisfaction, then the SC will be given the opportunity to resolve this within a set timeframe. Should the SC fail to take the appropriate action then KCE shall take whatever measures are necessary to ensure the safe and timely delivery of the works. Any additional costs, charges or expenses incurred by KCE as a consequence will be charged to the Subcontractor's account.		
7.3	The SC agreed to attend regular progress / co-ordination meetings at the request of KCE and the SC agreed to prepare a progress report prior to each meeting detailing the status of both on and off site activities.		
7.4	SC agreed to submit its proposed organisation chart for the project.		
8.0	Safety, Quality & Environmental		
8.1	SC confirmed its intention to sub-let part of the Subcontract works: <input checked="" type="checkbox"/> Yes  If yes, the SC requested permission to sub-let the following works to the named companies below, and agreed that all KCE's conditions, standards, worker welfare polices etc. would also be applied to its subcontractors:  Labour hire for installation only		
8.2	SC confirmed that its labour for this project would be supplied by: <input checked="" type="checkbox"/> Direct & Hired legally employed resource  If hired resource, SC confirmed the name of the labour supply company under item 8.1.		
8.3	SC confirmed that should any element of the works at any stage be required to be sub-let outside of the above list the SC would, prior to starting the works, obtain KCE's approval and provide details of the scope being sub-let and of the proposed companies. The SC also confirmed that it would warrant that the performance of all of their supply chain would be in line with the SC's own obligations as outlined in section 8.1 in every regard.		



Contract:	Dorchester Hotel & Residences, Business Bay	Contract No:	201A22002
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Item	Minute	Action by	Date					
8.4	The SC confirmed that all subcontractors listed in 8.1 or any future subcontractors referred to in 8.3 would be pre-qualified and assessed to ensure their competence and capacity to complete the sub-let element of works. The SC agreed to provide prequalification records upon request.							
8.5	KCE explained to the SC the requirements of their K-Standards that relate to the package works and the SC confirmed that they would fully comply with these standards and that the associated costs are included in their tender price.							
8.6	KCE confirmed that a copy of the company health, safety, environmental & sustainability policies and company procedure are available for inspection on site and stated that the content of this document was the minimum standard to be achieved by the SC. The SC confirmed and agreed to its application.							
8.7	KCE confirmed that a copy of the company Worker Welfare Procedure is available for inspection at KCE's Head Office and that the requirements of this document must be respected and adhered to in relation to the employment of labour in every regard. The SC confirmed and agreed to its application.							
8.8	KCE confirmed that all persons entering site must attend a site induction and provide all required documentation.  The site inductions would be held on site at the following times: <table border="1"><tr><td>Day</td><td>Daily</td><td>Time</td><td>7am</td></tr></table>	Day	Daily	Time	7am			
Day	Daily	Time	7am					
	KCE confirmed and SC agreed that should their persons fail to attend the above induction then they must leave site and return for the next available induction. All cost associated with this will be the responsibility of the SC.							
8.9	SC confirmed that it would provide weekly tool box talks to its operatives along with daily briefings on the methodology and controls required to complete the works  From time to time KCE may request the SC to carry out a tool box talk on a specific subject matter. The SC agreed to comply with any such request.							
8.10	The SC confirmed that the below named person would be their Safety Officer(s) on the project and confirmed that this person held the following qualifications:  <table border="1"><tr><td>Name</td><td>to be advised</td></tr><tr><td>Qualifications</td><td>to be advised</td></tr></table> <i>Note: minimum requirement of NEEBOSH qualification. Alternatives qualifications will be subject to prior approval from KCE Safety Department</i>  SC agreed that the above named person would be on site <table border="1"><tr><td>full time</td></tr></table> during the execution of the works.  SC agreed to comply with the DM code of construction safety practice as a minimum, ensuring that the required attendance & qualifications of its Safety Officers are met.  SC agreed to provide a copy of its proposed Safety Officers CV for KCE's review and approval. Dependant on the number of operatives the SC has on site the number of Safety Officers required may increase as described in the DM code. The SC agreed to promptly provide further names and CV's of any additional Safety Officers required, for KCE's prior approval.	Name	to be advised	Qualifications	to be advised	full time		
Name	to be advised							
Qualifications	to be advised							
full time								



Contract:	Dorchester Hotel & Residences, Business Bay	Contract No:	201A22002
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Item	Minute	Action by	Date
8.11	KCE confirmed that the OSP19 Disciplinary Action Procedure for safety violations would be incorporated into the Subcontract. Any fines will be deducted from interim payments due to the SC.		
8.12	KCE explained the key details of the project safety plan as outlined below and the SC confirmed its understanding:  A full copy of the Project HSE Plan & logistics plan is available for the SC to inspect / review		
8.13	KCE explained the key details of its Sustainability's policy and confirmed its commitments to a sustainable construction.		
8.14	SC confirmed its commitment to sustainability in line with KCE's policy and outlined some of the sustainability initiatives it was currently undertaking:  Yes		
8.15	SC agreed to comply with KCE's Quality plan and QA procedures currently in force, a copy of which is available on site for the SC to review.		
8.16	SC agreed to provide compliance certificates for all workmanship, materials, plant & equipment supplied for the Project and agreed to provide an inspection & test plan prior to commencing the works on site, to which the plan relates.		
9.0	Further Matters		
9.1	Further matters raised by KCE / SC are recorded on the continuation sheets attached.  Yes		
10.0	Intention to Subcontract		
10.1	KCE having considered the SC tender and the SC representations during this meeting advised that the following option as described below will be taken:  <input type="checkbox"/> Option 1: KCE stated that other Subcontract tenders are under consideration and will contact the SC in the near future. <input checked="" type="checkbox"/> Option 2: KCE stated its intention to proceed to complete a Subcontract agreement. <input type="checkbox"/> Option 3: KCE requested that the SC provide further and better particulars as identified in these minutes to enable evaluation of the SC tender to be completed. <input type="checkbox"/> Option 4: KCE will not proceed further on this occasion.		



Contract:	Dorchester Hotel & Residences, Business Bay	Contract No:	201A22002
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Item	Minute	Action by	Date
10.2	KCE stated that in the event of a Subcontract award a Letter of Intent (LOI) would be issued. The SC agreed to proceed on this basis whilst the formal Subcontract Agreement was being collated.		
10.3	KCE confirmed the list of documentation appropriate for incorporation into the formal Subcontract order in the event of award is:  As listed in Appendix 1 of these minutes  These minutes and attachments  Any further documents issued from the date of these minutes until placement of order	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> No	
11.0	<b>Statement of Agreement</b>		
11.1	These minutes together with the below referenced attachments are issued 'subject to contract' but are agreed and accepted to be a complete and accurate record of discussions and as such may form part of a future Subcontract agreement and then be binding on the parties. In the event that they are not issued immediately after the meeting, the SC is requested to return them to KCE within 5 calendar days of receipt having previously raised and agreed with KCE's representative below any matter that will reasonably require amendment.		
11.2	Signed for Khansaheb:  Name (print): Anil Kumar  Signature: 	Date: 28.02.23	
11.3	Signed for SC:  Name (print):  Signature:	Date:	
12.0	<b>Attachments</b>		
12.1	No. of continuation pages	<input type="checkbox"/> 1	
12.2	Appendix 1 - Relevant Correspondence	<input type="checkbox"/> Yes	
12.3	Appendix 2 - Tender Clarification Schedule / hand marked copy of SC tender	<input type="checkbox"/> Yes	
12.4	Appendix 3 - K05 Summary of Attendances	<input type="checkbox"/> Yes	
12.5	Appendix 4 - Programme of Works	<input type="checkbox"/> Yes	



Contract:	Dorchester Hotel & Residences, Business Bay	Contract No:	201A22002
Item	Minute	Action by	Date
	Continuation Sheets		
2.4.1	<p>Payment Terms:            20% advance payment against receipt of security cheque with cover letter.            70% upon material delivery, quantity based on approved drawings / approval by the consultant            30% upon Completion / approval of Subcontract works            All above payments are subject to 20% advance recovery and 10% Retention.</p> <p>All the payments shall be made within 15 days from the receipt of corresponding payment from the Employer and not exceeding maximum of 75 days from the month end invoice.</p>		
2.4.6	The daily rate of Liquidated Damages / Penalties will be 0.1% of the Subcontract sum / calendar day to a limit of 10% of the Subcontract Sum.		
2.5.2	FIDIC Conditions of Contract for Building & Engineering Works designed by the Employer, first edition 1999 (Red Book) as amended by Particular Conditions		
8.10	TF confirmed that there will not be more than 6 operatives on site and cannot have a full time safety officer. KCE informed TF that the Engineer / Supervisor on site will be responsible for all the activities to be carried out safely and all the operatives must comply with the KCE's HSE plan and policies		
	<b>General:</b>		
1	The SC will provide HS staff, including 1st Aider, in accordance with statutory requirements		
2	KCE advised that storage space on site if restricted and so all materials are to be delivered on a 'just in time' basis. Materials are to be delivered in sequence and are to be lifted & fixed directly into place upon delivery.		
3	KCE will provide craneage in accordance with its site logistics plan or other such arrangement to off-load & erect materials. The SC's representative is to attend daily crane co-ordination meetings with KCE to agree crane usage / timings for the following days. Notwithstanding that KCE is providing the craneage the SC is responsible for submission of lifting plans, Risk Assessments Method Statements for KCE's approval.		
4	The SC retains responsibility for providing lifting equipment, suitably trained & qualified riggers / banksman and supervision at all times during the SC Works		
5	The SC confirmed it has allowed for all costs associated with reduced working hours and / or changes in shift patterns during the Holy Month of Ramadan, 'summertime working' restrictions, night shifts & public holidays etc		
6	There will only be one site induction per day, should the SC require additional inductions additional costs will be incurred and charged to the SC		





**APPENDIX 1**  
**SCHEDULE OF RELEVANT CORRESPONDENCE**



KHANSAHEB CIVIL ENGINEERING LLC

SUBCONTRACTOR'S POST TENDER REVIEW MEETING

APPENDIX 1

## SCHEDULE OF RELEVANT CORRESPONDENCE

Terra Firma Trading LLC

No.	Subject	Reference	Date
1	Dorchester Project - Plot 18 Enquiry for Plant Generator rooms Acoustic wall & Ceiling lining	KCE(Sukesh) email, 13:17	19.11.22
2	Acoustic Report	KCE(Sukesh) email, 15:17 enclosing the acoustic report	19.11.22
3	TF Quote Submission	TF (Prashanth) email, 18:01 enclosing the quotation and compliance statement.	23.11.22
4	Commented material submittal	KCE(Sukesh) email, 11:39 enclosing the commented material submittal	19.12.22
5	Resubmission of material submittal complying with the consultant & client comments	KCE(Sukesh) email, 12:32 to resubmit the material submittal complying with the consultant & client comments	03.01.23
6	TF updated Quote Submission	TF (Gunasekar) email, 16:50 enclosing the updated quotation compliant with consultant comments.	17.02.23
7	Minutes of Post Tender Review Meeting	KCE Letter ref. 201A22002/K100/SK/qa/0218	28.02.23



## Anil Kumar Kariyappa

**From:** Sukesh Nair  
**Sent:** 19 November 2022 13:17  
**To:** sales@terrafirmuae.com  
**Cc:** Jainulabudeen; Anil Kumar Kariyappa; Mithun Vallar Veetil  
**Subject:** FW: Dorchester Hotel - Plant Generator rooms Acoustic wall & ceiling lining Option-2 .pdf; FM-MX-SD-ML-04106-DWG\_04.dwg; FM-MX-SD-ML-11472-DWG\_01.dwg  
**Attachments:**

Dear Prashant

As discussed please refer attached B1 Generator Room acoustic report which requires the installation of IAC Varitone acoustic panels on wall ( pink highlighted locations) & insulated gypsum ceiling boards ( generator room only). Please revert with technical proposal & cost for carrying out these works.

Regards



**Sukesh Nair**

Senior Site Agent

E [sukesh.nair@khansaheb.ae](mailto:sukesh.nair@khansaheb.ae) | M +971 50 559 7046 | T +971 4 605 7200

[www.khansaheb.ae](http://www.khansaheb.ae)



**From:** Shihab Chandrathil <[shihab.chandrathil@khansaheb.ae](mailto:shihab.chandrathil@khansaheb.ae)>

**Sent:** 01 November 2022 02:47 PM

**To:** Sukesh Nair <[sukesh.nair@khansaheb.ae](mailto:sukesh.nair@khansaheb.ae)>

**Subject:** FW: Plant rooms Acoustic study

**From:** Hari Prasad <[hari@ame-ts.com](mailto:hari@ame-ts.com)>

**Sent:** 01 November 2022 09:47 AM

**To:** Samir Chamma <[samir.chamma@omniyat.com](mailto:samir.chamma@omniyat.com)>

**Cc:** Shihab Chandrathil <[shihab.chandrathil@khansaheb.ae](mailto:shihab.chandrathil@khansaheb.ae)>; Ibrahim Sultan <[ibrahim.sultan@khansaheb.ae](mailto:ibrahim.sultan@khansaheb.ae)>; Tiago Marques da Gama <[tiago.dagama@omniyat.com](mailto:tiago.dagama@omniyat.com)>

**Subject:** RE: Plant rooms Acoustic study

Hi Samir,

I was down with flu for few days. Sorry for the slight delay on our report.

Please refer attached Report for Generator room Acoustic study for your reference. Other plantrooms review is underway, and I am working on this as priority. Will send it as soon as completed.

Thank you.

Kind Regards

**Hari prasad**

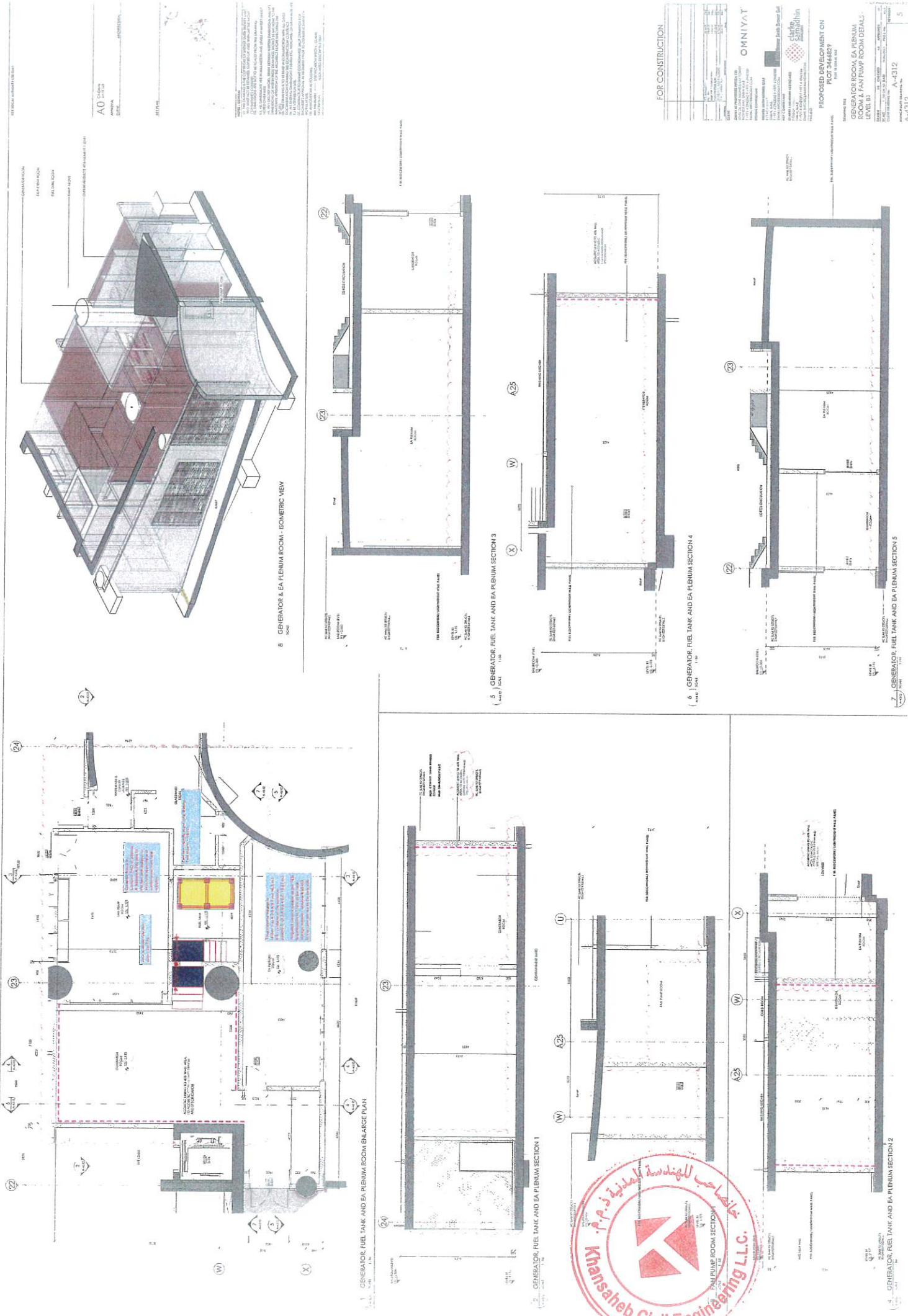
SENIOR PROJECT ENGINEER



E: [hari@ame-ts.com](mailto:hari@ame-ts.com)  
T: +971 564688579  
P: PO Box 474409 Dubai  
A: Arenco building 4, office #213 Dubai Investment Park

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## Anil Kumar Kariyappa

**From:** Sukesh Nair  
**Sent:** 19 November 2022 15:17  
**To:** sales@terrafirmauae.com  
**Cc:** Jainulabudeen; Anil Kumar Kariyappa; Mithun Vallar Veetil  
**Subject:** RE: Dorchester Hotel - Plant Generator rooms Acoustic wall & ceiling lining  
**Attachments:** AME-2K22-184-U-D1-00-NH (Basement Generator Acoustic Review).pdf

Dear Prashant

As discussed, please find attached the Acoustic report for Generator room, do call for any clarifications required.

Regards



**Sukesh Nair**  
Senior Site Agent  
E sukesh.nair@khansaheb.ae | M +971 50 559 7046 | T +971 4 605 7200

**From:** sales@terrafirmauae.com <sales@terrafirmauae.com>  
**Sent:** 19 November 2022 03:06 PM  
**To:** Sukesh Nair <sukesh.nair@khansaheb.ae>  
**Cc:** Jainulabudeen <jainul.abudeen@khansaheb.ae>; Anil Kumar Kariyappa <anil.morabad@khansaheb.ae>; Mithun Vallar Veetil <mithun.vallarveetil@khansaheb.ae>  
**Subject:** RE: Dorchester Hotel - Plant Generator rooms Acoustic wall & ceiling lining

Dear Sir,

We thank you for the enquiry shared. Kindly share the approved acoustic report for the generator room so that we can offer our quote and compliance as per consultant recommendations.

Regards,  
Prashanth S.



Terra Firma Trading L.L.C.  
P.O. Box 393 109, Dubai, UAE.  
Tel: +971 4 566 7490 | Mob: +971 52 158 3576  
sales@terrafirmauae.com | www.terrafirmauae.com



**From:** Sukesh Nair <sukesh.nair@khansaheb.ae>  
**Sent:** Saturday, 19 November 2022 1:35 PM  
**To:** sales@terrafirmauae.com  
**Cc:** Jainulabudeen <jainul.abudeen@khansaheb.ae>; Anil Kumar Kariyappa <anil.morabad@khansaheb.ae>; Mithun Vallar Veetil <mithun.vallarveetil@khansaheb.ae>  
**Subject:** FW: Dorchester Hotel - Plant Generator rooms Acoustic wall & ceiling lining

Dear Prashant



REF: AME-2K22-184-U-01-00-NH

DATE: 31/10/2022

NUM OF PAGES: 07

ATTN: SAMIR CHAMMA

COMPANY: OMNIYAT

## MEMO: DORCHESTER RESIDENCES | BASEMENT GENERATOR ROOM ACOUSTIC REVIEW

### 1. INTRODUCTION

This memo provides Acoustic review of the Generator room located in Basement-01 of the project. This review is requested by client to verify the sound attenuator selections and any further requirement of acoustic treatments for the generator.

Subject generator room is located within a dedicated plantroom in Basement Level 01. Intake and exhaust of the generator is served from the open carpark/ramp of Basement 1 & 2. Refer excerpt of generator room layout below.

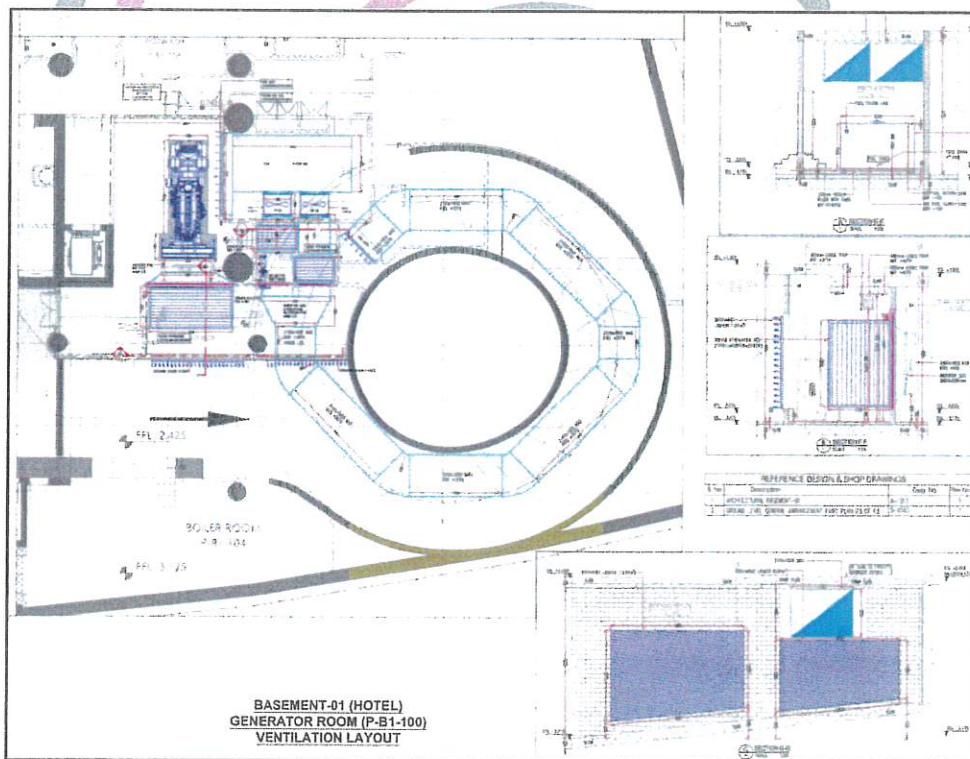


FIGURE 1: GENERATOR ROOM LAYOUT

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License No 12926/2018



Our review and assessment are based on the Drawings received from Khansaheb/Omniyat. Refer acoustic review along with suitable recommendations to achieve the project requirement.

## 2. PROJECT ACOUSTIC CRITERIA

AME have considered the Acoustic Criteria from Project Acoustic design report prepared by Design Confidence i.e., Acoustic 100% Detailed Design Report (Ref: AD150202).

Refer internal noise level limits requirements as per Section 1.5.1.2 of project acoustic design is excerpted below (NTS)

### 1.5.1.2 Design confidence recommendations

Design confidence has provided recommendations for spaces which require attention that are not mentioned by the Dorchester design brand standards..

**Table 3: Internal Noise Levels Limit Criteria**

Type of occupancy/activity (Residential)	Satisfactory	Maximum
Work rooms	35 dB(A)Leq	45 dB(A)Leq
Washrooms and Toilets	45 dB(A)Leq	55 dB(A)Leq
Plant rooms	65 dB(A)Leq	75 dB(A)Leq
Type of occupancy/activity (Hospitality)	Satisfactory	Maximum
Washrooms and Toilets	45 dB(A)Leq	55 dB(A)Leq
Dining Rooms	40 dB(A)Leq	45 dB(A)Leq
Enclosed carparks	55 dB(A)Leq	65 dB(A)Leq
Plant rooms	65 dB(A)Leq	75 dB(A)Leq

**FIGURE 2 – PROJECT'S INTERNAL NOISE LEVEL CRITERIA MARKED WITH CARPARK REQUIREMENT**

## 3. ACOUSTIC STUDY

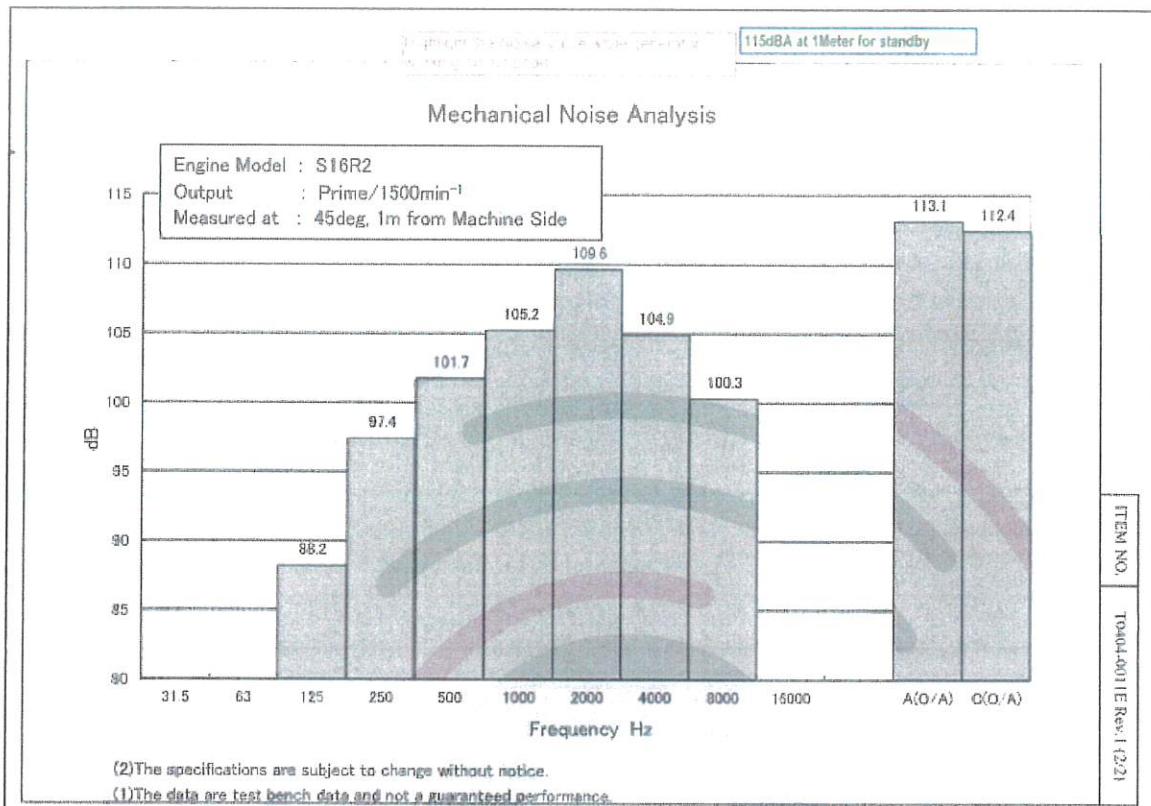
Acoustic review is undertaken based on the Generator room HVAC layout, noise level data of the generator and sound attenuator selections as excerpted below.

### Noise level data of Generator:

Refer excerpt of sound level data of the generator below:

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**FIGURE 3: GENERATOR NOISE LEVEL(PUBLISHED DATA)**

Note: Noise level data of the generator is provided in sound pressure level at 1m distance. AME have applied the distance correction and resultant noise level as considered as Sound power level for the calculations. Refer calculated sound power level data below:

Frequency	63Hz	125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz	8000 Hz	Overall SWL, dB(A)
Sound power level, dB	99.0	99.2	108.4	112.7	116.2	120.6	115.9	111.3	124.2

### Sound Attenuator selection for Generator:

Refer excerpt of sound attenuator insertion losses proposed for the generator from Seagull HVAC below:

Schedule of Sound Attenuators																	
Sr #	Description	Dimensions (mm)			Airflow (m³/sec)	Selected Attenuator	Noise Level @ 3 meter	Pa Loss	Insertion Loss (dB)								
		Width	Height	Length					63	125	250	500	1K	2K	4K	8K	
1	Discharge Sound Attenuators	4200	2900	2100	42.35	RS7CP	≤60dBA	59	10	19	41	52	55	55	40	1	
2	Intake Sound Attenuators	2100	2100	1200	21.125	RS4CP	≤58dBA	90	9	15	29	38	48	52	46	29	2
Total Quantity														3			

FIGURE 4: GENERATOR SOUND ATTENUATOR SELECTIONS

### **3.1. ACOUSTIC REVIEW & RECOMMENDATIONS**

AME have undertaken detailed acoustic calculations for the generator noise emissions to the adjacencies via. exhaust duct, Intake path, through wall to adjacent lift lobby and through floor slab to BOH Kitchen above.

#### Considerations & Assumptions:

1. In the absence of specific noise level criteria for the lift lobby and BOH kitchen areas from the Project Acoustic Design report, AME have considered the noise levels as per local authority guideline which refers to BS 8233:2014 standard for comparison.
2. As per BS 8233 standard, ambient noise levels within lift lobby shall be 45-50dB(A) and within BOH Kitchen shall be 50-55dB(A) for normal operating plant equipment.
3. For generator noise level emissions, (on basis of emergency plant operation) 'Ambient noise + 5dB' is considered as per international best practice.
4. Considering point 3 above, noise from emergency plant equipment within lift lobby shall be 50-55dB(A) and within BOH Kitchen shall be 55-60dB(A).

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### 3.1.1. EXHAUST TERMINAL – RECOMMENDATIONS

Based on the noise level calculations, selected sound attenuator for exhaust terminal is acoustically acceptable.

#### **AME Recommendation:**

1. Generator room results in negative pressure on the highlighted door which will effectively ‘suck’ the door back of its perimeter seals. It is recommended to reverse the swing on the door to be inward opening to the Discharge Plenum side (exhaust air plenum). Refer layout below marked with the door.

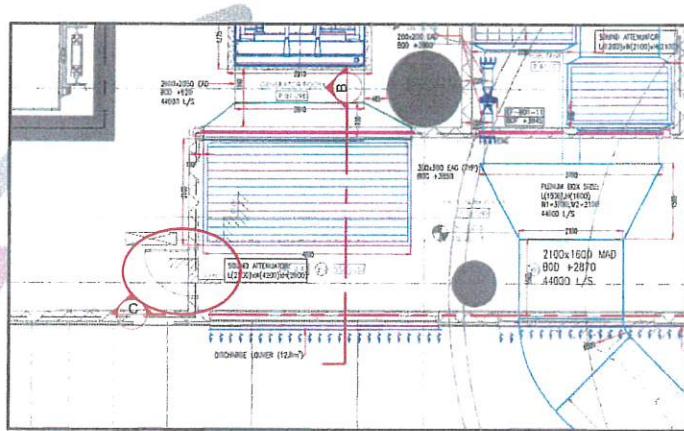


FIGURE 5: GENERATOR LAYOUT MARKED WITH CONCERNED DOOR ORIENTATION

### 3.1.2. INTAKE TERMINAL – RECOMMENDATIONS

Based on the noise level calculations, selected sound attenuator for Intake terminal is acoustically not acceptable.

Acoustic treatment for the generator is required to be installed as listed below to maintain acoustic compliance to the adjacencies:

1. Internal walls of the generator plantroom required to be installed with Acoustically absorptive finish as per project acoustic design report i.e., min. 40% wall area of the generator room shall be installed with IAC Varitone acoustic panels having NRC  $\geq 0.9$ . Refer excerpt image below:



FIGURE 6: IAC VARITONE ACOUSTIC PANELS ON WALLS

2. First 10m length of intake air ductwork including bends shall be externally lagged with acoustic material having min STC 26dB (Benchmark spec material: Pyrotek Soundlag 4525C)
  - a. Alternatively, upgrade the sound attenuator insertion losses to same attenuator proposed for Exhaust terminal. Refer Table below presenting required insertion losses:

Frequency	63Hz	125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz	8000 Hz
Sound attenuator Insertion loss, dB	10	19	41	52	55	55	55	40

### 3.1.3. NOISE BREAKOUT TO LIFT LOBBY – THROUGH WALL

Based on the noise level calculations by considering 200mm thick solid concrete blockwork wall (plaster rendered on both sides) between generator room to lift lobby, the noise levels from the generator plantroom to lift lobby achieves  $L_{Aeq}$  56dB which marginally complies with the nominated "ambient + 5dB" criteria.

### 3.1.4. NOISE BREAKOUT TO BOH KITCHEN – THROUGH CONCRETE SLAB

Based on the noise level calculations by considering ≥300mm thick RC slab between generator room to BOH Kitchen above, the noise levels from the generator plantroom to Kitchen achieved  $L_{Aeq}$  64dB which does not comply with the nominated "ambient + 5dB" criteria.

In order to control noise transmission from generator room to BOH Kitchen above, a resilient gypsum ceiling is recommended within the generator plantroom. Refer indicative section elevation of the recommended resilient suspended ceiling below (NTS).

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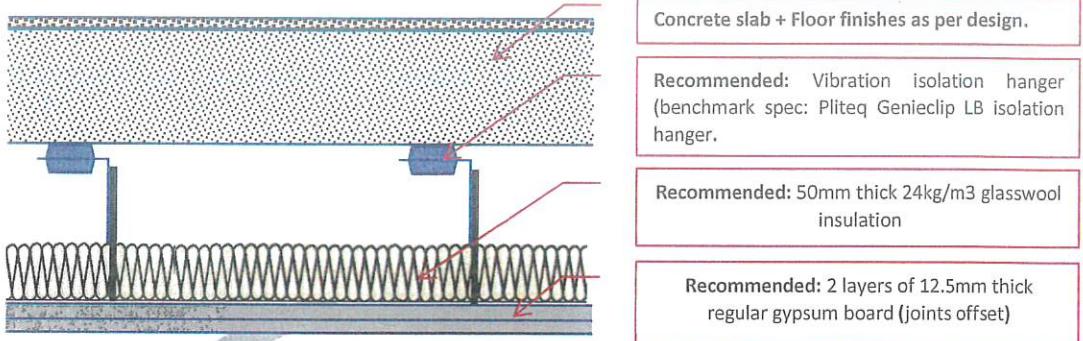


FIGURE 7: SECTION ELEVATION – RESILIENT SUSPENDED CEILING RECOMMENDATION (NTS)

### 3.1.5. DOOR'S ACOUSTIC RECOMMENDATIONS

All doors on the Generator plantroom shall be acoustic rated doors having min.  $R_w$  45dB with full perimeter acoustic seals.

- $R_w$  45dB door shall be proprietary acoustic rated door constructed from GI sheet metal on both faces of door leaf with acoustic core within the door cavity.
- Door seals shall be acoustic rated door seals equivalent to Lorient acoustic door seals installed to full perimeter of the door including;
  - Head and jamb seals
  - Automatic door drop seals and threshold plate
  - Meeting style seals with overlapping rebate
- It is further recommended to have suitable latch on the non-operable door leaf to suitably fix the door leaf into position under the excessive over pressure of airflow from the generator and ventilation fans operating conditions

### 3.1.6. VIBRATION ISOLATION ACOUSTIC RECOMMENDATIONS

- Generator shall be vibration isolated from the building structure as per manufacturer specification or ASHRAE requirement (50mm static deflection caged spring isolator).
- Ventilation fans shall be vibration isolated by installing 50mm static deflection heavy duty spring hanger/isolator.
- Any supporting elements of the generator including the exhaust pipe shall be vibration isolated by installing 50mm static deflection spring hanger/isolator

### 3.1.7. PENETRATIONS ACOUSTIC RECOMMENDATIONS

All duct and pipework penetrations through the perimeter wall of generator room shall be acoustically sealed as below:

- Maintain min. 10mm full perimeter gap at the penetration.
  - Install insulation within the perimeter gap.
  - Install metal angle at the perimeter.
  - Tool flush full perimeter gap at penetration with acoustic rated sealant (100% non-acrylic sealant) upto face of the wall

Refer excerpt generator layout marked with the duct penetrations to be sealed (  ). Further to marked areas, all pipe penetrations, cable tray penetration need to be acoustically sealed.

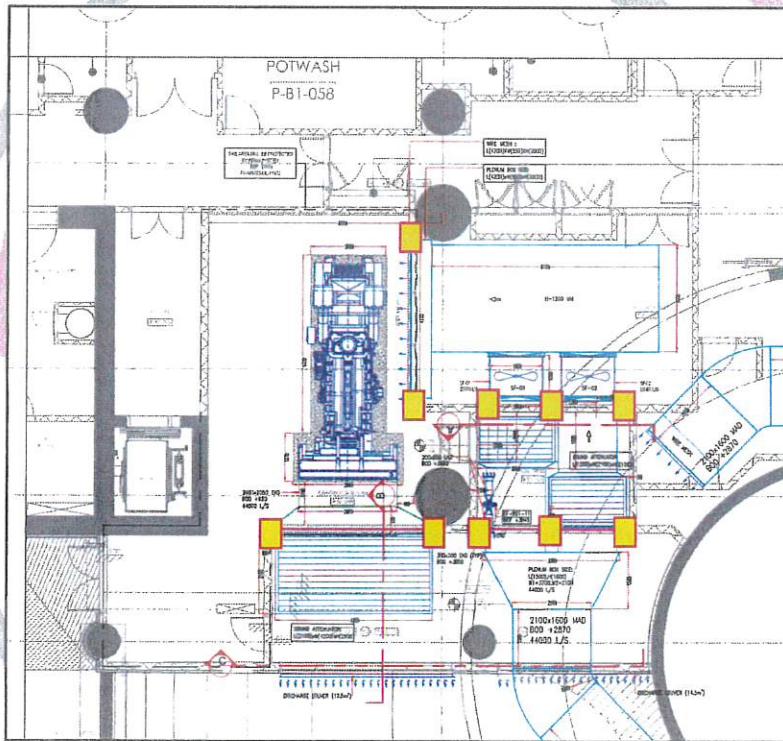


FIGURE 8: GENERATOR LAYOUT MARKED WITH SEALANT RECOMMENDATIONS

## Anil Kumar Kariyappa

**From:** sales@terrafirmauae.com  
**Sent:** 23 November 2022 18:01  
**To:** Sukesh Nair  
**Cc:** Jainulabudeen; Anil Kumar Kariyappa; Mithun Vallar Veetil  
**Subject:** RE: Dorchester Hotel - Plant Generator rooms Acoustic wall & ceiling lining  
**Attachments:** KCE-Q13 - Dorchester Hotel.pdf

Dear Sir,

Please find attached the quote for acoustic absorption lining & acoustic ceiling.  
Also please find below the link to download our PQ, Compliance to consultant specification.  
<https://we.tl/t-sHUFq27zxK>

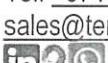
Kindly let us know when we can have a site visit to discuss further.

We now look forward to your valuable order.

Regards,  
Prashanth S.



Terra Firma Trading L.L.C.  
P.O. Box 393 109, Dubai, UAE.  
Tel: +971 4 566 7490 | Mob: +971 52 158 3576  
sales@terrafirmauae.com | www.terrafirmauae.com



**From:** Sukesh Nair <sukesh.nair@khansaheb.ae>  
**Sent:** Saturday, 19 November 2022 3:17 PM  
**To:** sales@terrafirmauae.com  
**Cc:** Jainulabudeen <jainul.abudeen@khansaheb.ae>; Anil Kumar Kariyappa <anil.morabad@khansaheb.ae>; Mithun Vallar Veetil <mithun.vallarveetil@khansaheb.ae>  
**Subject:** RE: Dorchester Hotel - Plant Generator rooms Acoustic wall & ceiling lining

Dear Prashant

As discussed, please find attached the Acoustic report for Generator room, do call for any clarifications required.

Regards



**Sukesh Nair**

Senior Site Agent

E [sukesh.nair@khansaheb.ae](mailto:sukesh.nair@khansaheb.ae) | M +971 50 559 7046 | T +971 4 605 7200

[www.khansaheb.ae](http://www.khansaheb.ae)



**From:** [sales@terrafirmauae.com](mailto:sales@terrafirmauae.com) <[sales@terrafirmauae.com](mailto:sales@terrafirmauae.com)>  
**Sent:** 19 November 2022 03:06 PM



Reference: Q/112222/KCE-Q13  
 Date: Tuesday, 22 November 2022

Mr. Sukesh - Sr. Site Agent  
 +971-50 559 7046  
 Khansaheb - Construction, Dubai UAE

Dear Mr. Sukesh

Thank you for your inquiry, we are pleased to submit our quote for supply and installation of Acoustic Absorption Lining & Acoustic Ceiling for the Dorchester Hotel Project in Business Bay as below

S. No	Description	Quantity	UOM	Unit Rate	Total Amount
<b>50mm Thick Acoustic Absorption Lining - 0.7mm thick Powdercoated GI Perforated Sheet Model - In Situ</b>					
1	Supply and installation of 50mm thick acoustic absorption lining comprising of 50mm thick 70kg/m <sup>3</sup> rockwool covered with BGT and as a final protection 0.7mm thick GI perforated-RAL 9016 powder coated finish shall be mechanically fixed to 50mm deep studs.	68.04	Sq.M	AED 445	AED 30,278
<b>Acoustic Ceiling - TFT Noise Isolation Clip Model</b>					
2	Supply & Installation of 100mm deep mounting bracket (raw finish) + TFT ISO Clip + Furring channels + 1x50mm thick 24kg/m <sup>3</sup> fiberglass insulation + 2x12.5mm thick regular GWB+ joint tape+joint compound+ 15mm thick perimeter isolaiton board+ perimeter joint sealants.	63.31	Sq.M	AED 330	AED 20,892
Total Quoted Price =					AED 51,170

**Delivery Period:**

1-2 Weeks from the date of PO, advance & Approval of MAS & SD, whichever is last.

**Installation Period:**

To be discussed and agreed mutually

**Payment Terms:**

All payments to be made against CDC from the date of submission of invoice.

20% advance along with order, 65% to be paid against delivery of materials at site prorata,

15% to be paid against prorata installation.

**Price Terms:**

Excluding VAT, delivered to Site.

**Validity:**

15 days

**Notes:**

**General**

1. Closed storage space shall be provided by the contractor to store our materials.
  2. It is contractor's responsibility to shift materials from store to place of installation.
  3. Delivery of materials is subjected to receipt of signed & dated cheque copy
  4. Area quoted is re-measurable. Quoted areas calculated from the provided drawing during enquiry stage. Final area to be confirmed post completion of the activity quoted for.
  5. We reserve all rights to revise unit rate on substantial reduction of area quoted above.
  6. Timely payments are essential for successful completion of above quoted acoustic works. Delays in payment have not been costed/allowed for.
  7. Above quoted TFT ISO Clip model acoustic ceiling shall be confirmed for feasibility of installation upon a site visit.
- If found otherwise the said line item shall be replaced with spring hanger type ceiling and the revision of quote for it shall follow.
8. Any variation work apart from above mentioned scope will be executed only upon receipt of a separate LPO or email instruction, failing which we will not execute any additional work at site. If by chance we are asked to execute additional work without LPO or email instruction contractor should pay for the additional/variation works as per agreed payment terms without any delay.

**Exclusions**

1. Any civil works or masonry works.
2. Any structural calculations.
3. Scaffolding for work
4. Any structural steel.
5. Any Community, Government/Authority permits or approvals.
6. Any other item not specially included in offer.
7. Noise Measurements of any sort
8. Any Sanding / Painting on gypsum surfaces

---

We trust the above is in line with your requirements. We now look forward to the pleasure of receiving your valued Order.

---

Sincerely,  
 Prashanth S  
 Mob No. +971 52 158 0576



sales@terrafirmuae.com



+971 50 650 5259



PO Box 393109



Dubai, UAE

## Anil Kumar Kariyappa

**From:** Sukesh Nair  
**Sent:** 19 December 2022 11:39  
**To:** sales@terrafirmauae.com  
**Cc:** Jainulabudeen; Anil Kumar Kariyappa; Mithun Vallar Veetil; Sanjiv Kumar; Shihab Chandrathil; Prabakaran Kuppusamy; Ali Saadeddine  
**Subject:** RE: Dorchester Hotel - Plant Generator rooms Acoustic wall & ceiling lining  
**Attachments:** KCE-AX-MT-B1-00053 REv0.pdf

Dear Prashanth

B1 Generator room Acoustic lining - Refer attached OME commented material submittal MT-000053 ( Full download link <https://we.tl/t-c1uvlHEw90> ) for your further action to comply & resubmit ASAP. Pls call myself of Jainul for any clarifications.

Regards



**Sukesh Nair**  
Senior Site Agent  
E sukesh.nair@khansaheb.ae | M +971 50 559 7046 | T +971 4 605 7200

**From:** sales@terrafirmauae.com <sales@terrafirmauae.com>  
**Sent:** 25 November 2022 05:34 PM  
**To:** Sukesh Nair <sukesh.nair@khansaheb.ae>  
**Cc:** Jainulabudeen <jainul.abudeen@khansaheb.ae>; Anil Kumar Kariyappa <anil.morabad@khansaheb.ae>; Mithun Vallar Veetil <mithun.vallarveetil@khansaheb.ae>  
**Subject:** RE: Dorchester Hotel - Plant Generator rooms Acoustic wall & ceiling lining

Dear Sir,

Please find below the links to download the MAS & PQ. Sample board shall be submitted at the site as discussed.

**MAS:** <https://we.tl/t-jAAj5TUUbEw>

**PQ:** <https://we.tl/t-2mQzM20gNi>

Regards,  
Prashanth S.



Terra Firma Trading L.L.C.  
P.O. Box 393 109, Dubai, UAE.  
Tel: +971 4 566 7490 | Mob: +971 52 158 3576  
[sales@terrafirmauae.com](mailto:sales@terrafirmauae.com) | [www.terrafirmauae.com](http://www.terrafirmauae.com)



**From:** sales@terrafirmauae.com <sales@terrafirmauae.com>  
**Sent:** Wednesday, 23 November 2022 6:01 PM  
**To:** 'Sukesh Nair' <sukesh.nair@khansaheb.ae>  
**Cc:** 'Jainulabudeen' <jainul.abudeen@khansaheb.ae>; 'Anil Kumar Kariyappa' <anil.morabad@khansaheb.ae>;



## Anil Kumar Kariyappa

**From:** Sukesh Nair  
**Sent:** 03 January 2023 12:32  
**To:** sales@terrafirmauae.com  
**Cc:** Chris McCann; Shihab Chandrathil; Anil Kumar Kariyappa; Jainulabudeen; Prabakaran Kuppusamy; Ali Saadeddine  
**Subject:** RE: Dorchester Hotel - Plant Generator rooms Acoustic wall & ceiling lining

Dear Prashant/ Sudhanshu

As discussed today between OME/ AME/ KCE/ TF, please arrange to resubmit by 5.1.2023 the material submittal with updated compliances with test reports of proposed materials. Also, update submittal with site condition photos & delivery duration constraint to validate the wall panelling change proposal. Do revert for any clarifications required.

Regards



**Sukesh Nair**  
 Senior Site Agent  
 E sukesh.nair@khansaheb.ae | M +971 50 559 7046 | T +971 4 605 7200

**From:** Jainulabudeen <jainul.abudeen@khansaheb.ae>  
**Sent:** 21 December 2022 07:33 AM  
**To:** Badawi Dado <b.dado@wmeglobal.com>  
**Cc:** Samir Chamma <samir.chamma@omniyat.com>; Chris McCann <chris.mccann@khansaheb.ae>; sales@terrafirmauae.com; Anitha Kumari <anitha.kumari@khansaheb.ae>; Shihab Chandrathil <shihab.chandrathil@khansaheb.ae>; Sukesh Nair <sukesh.nair@khansaheb.ae>; Anil Kumar Kariyappa <anil.morabad@khansaheb.ae>  
**Subject:** FW: Dorchester Hotel - Plant Generator rooms Acoustic wall & ceiling lining

Hi Mr.Badawi,

As requested in below mail from our specialist contractor, would you please arrange for a meeting with the acoustic consultant tomorrow on 22<sup>nd</sup> Dec 2022 for the discussion on his comments prior to proceed with the resubmission of this Material Submittal.



Location of Use: Basement 1 Generator Room

Contract Specification Clause Ref: AME Report

<u>SPECIFIED</u>		<u>PROPOSED</u>	
		(NB: for alternative materials a Compliance Report must be provided)	
MR AGENT		MR AGENT	Terra Firma, Dubai, UAE
MAKE / MODEL		MAKE / MODEL	

Contractor Review Comments:

Digital

Proposed as per OME issued AME acoustic report ref AME-2H22-185-U-01-00-NII dated 31.10.2022

SN.

Name.....

Signature.....

Date.....

Consultant Review Comments:

Digital

AME Comments:Comment on TET ISO Clip: No technical data related to acoustic performance is provided. Provide acoustic isolation performance details in comparison to the recommended benchmark product.Comment on Perforated acoustic panel on wall: Product is proposed to be in-situ installation. Test report is provided only for insulation. Acoustic test report to be provided for the complete system with perforated GI facing.Comment on Gypsum board for ceiling: Proposed material/product i.e., gypsum board insulation is Acceptable. Refer comment above on TET ISO clip.Comment on sealant: Proposed PU sealant is acceptable in principle. Manufacturer/supplier to confirm there is no acrylic content in the sealant.

Name HARIPRASAD .....

Signature.....

Date 09.12.22

A APPROV  
 B APPROV  
 C REJECT  
 D REVIEW

**REVIEWED BY:**  
 AME has made a decision on this issue. Please communicate this finding to the other parties involved.

Lead Consultant Review Comments:

Digital

**-Address AME comments & resubmit**

**Document Review:**

A **OK**  
 B **INFO**  
 C **RE**  
 D **NO**

**REVIEWED BY:**  
 Lead consultant has made a decision on this issue. Please communicate this finding to the other parties involved.

Name.....

Signature.....

Date 13.12.2022

Employer's Representative (Omniyat) Review Comments:

Digital

No Objection to the submitted material subject to revise and resubmit to comply with AME comments

Co

Ahmed Ibrahim

Signature.....

AI

Date.....

12 Dec 2022

Regards,



Jainulabdeen  
Senior MEP Coordinator



Anil Kumar Kariyappa

**From:** sales@terrafirmauae.com  
**Sent:** 17 February 2023 16:50  
**To:** Anil Kumar Kariyappa  
**Cc:** Donavelle B Maquimot; 'Karan Sharma'; 'Sudhanshu S'  
**Subject:** RE: Dorchester Hotel - Plant Generator rooms Acoustic wall & ceiling lining  
**Attachments:** KCE-Q13-R1- Dorchester Hotel.pdf

Dear Mr. Anil Kumar

Further to below email and discussions at site office please find attached revised quote for further processing. Apologies for the late response.

Regards,  
 Gunasekar Venkateswaran



Terra Firma Trading L.L.C.  
 P.O. Box 393 109, Dubai, UAE.  
 Tel: +971 4 566 7490 | Mob: +971 52 251 9462  
 sales@terrafirmauae.com | www.terrafirmauae.com



**From:** Anil Kumar Kariyappa <anil.morabad@khansaheb.ae>  
**Sent:** Wednesday, February 15, 2023 8:23 AM  
**To:** sales@terrafirmauae.com  
**Cc:** Donavelle B Maquimot <donavelle.bm@khansaheb.ae>  
**Subject:** RE: Dorchester Hotel - Plant Generator rooms Acoustic wall & ceiling lining

Hi Guna / Prashanth,

Further to our meeting on 13.02.23, please advise the status of the revised quote submission compliant with the consultant comments.

Also, we will forward the documents required to register your company in our data base, please arrange to complete the same and issue to us.

Regards,



Anil Kumar Kariyappa

Quantity Surveyor

E [anil.morabad@khansaheb.ae](mailto:anil.morabad@khansaheb.ae) | M +971 56 369 1734 | T +971 4 605 7200

[www.khansaheb.ae](http://www.khansaheb.ae)



**From:** [sales@terrafirmauae.com](mailto:sales@terrafirmauae.com) <[sales@terrafirmauae.com](mailto:sales@terrafirmauae.com)>

**Sent:** 14 January 2023 01:50 PM

**To:** Sukesh Nair <[sukesh.nair@khansaheb.ae](mailto:sukesh.nair@khansaheb.ae)>

**Cc:** Chris McCann <[chris.mccann@khansaheb.ae](mailto:chris.mccann@khansaheb.ae)>; Shihab Chandrathil <[shihab.chandrathil@khansaheb.ae](mailto:shihab.chandrathil@khansaheb.ae)>; Anil Kumar Kariyappa <[anil.morabad@khansaheb.ae](mailto:anil.morabad@khansaheb.ae)>; Jainulabdeen <[jainul.abudeen@khansaheb.ae](mailto:jainul.abudeen@khansaheb.ae)>; Prabakaran





**APPENDIX 2**  
**HAND AMENDED SUBCONTRACTOR TENDER**  
**TENDER CLARIFICATION SCHEDULE**



Reference: Q/112222/KCE-Q13-R1  
 Date: Friday, February 17, 2023

Mr. Sukesh - Sr. Site Agent  
 +971-50 559 7046  
 Khansaheb - Construction, Dubai UAE

Dear Mr. Sukesh

Thank you for your inquiry, we are pleased to submit our revised quote for supply and installation of Acoustic Absorption Lining & Acoustic Ceiling for the Dorchester Hotel Project in Business Bay as below

S. No	Description	Quantity	UOM	Unit Rate	Total Amount
50mm Thick Acoustic Absorption Lining - 0.7mm thick Powdercoated GI Perforated Sheet Model - In Situ					
1	Supply and installation of 50mm thick acoustic absorption lining comprising of 50mm thick 70kg/m <sup>3</sup> rockwool covered with BGT and as a final protection 0.7mm thick GI perforated-RAL 9016 powder coated finish shall be mechanically fixed to 50mm deep studs.	68	Sq.M	AED 445	AED 30,278
Acoustic ceiling with 1" deflection spring hanger					
2	Supply & Installation of resilient ceiling comprising of 1" deflection spring hangers, 2-layers of 12.5mm thick regular GWB, 50mm thick 24kg/m <sup>3</sup> fiberglass insulation along with furring channel, C-clamp, C-Channel, joint tape & joint compound.	63	Sq.M	AED 330	AED 20,892
Total Quoted Price =					AED 51,170

**Delivery Period:**

1-2 Weeks from the date of PO, advance & Approval of MAS & SD, whichever is last.

**Installation Period:**

To be discussed and agreed mutually

**Payment Terms:**

As discussed & agreed at site office

**Price Terms:**

Excluding VAT, delivered to Site.

**Validity:**

15 days

**Notes:**

**General**

1. Closed storage space shall be provided by the contractor to store our materials.
  2. It is contractor's responsibility to shift materials from store to place of installation.
  3. Delivery of materials is subjected to receipt of signed & dated cheque copy
  4. Area quoted is re-measurable. Quoted areas calculated from the provided drawing during enquiry stage. Final area to be confirmed post completion of the activity quoted for.
  5. We reserve all rights to revise unit rate on substantial reduction of area quoted above.
  6. Timely payments are essential for successful completion of above quoted acoustic works. Delays in payment have not been costed/allowed for.
  7. Above quoted TFT ISO Clip model acoustic ceiling shall be confirmed for feasibility of installation upon a site visit.
- If found otherwise the said line item shall be replaced with spring hanger type ceiling and the revision of quote for it shall follow.
8. Any variation work apart from above mentioned scope will be executed only upon receipt of a separate LPO or email instruction, failing which we will not execute any additional work at site. If by chance we are asked to execute additional work without LPO or email instruction contractor should pay for the additional/variation works as per agreed payment terms without any delay.

**Exclusions**

1. Any civil works or masonry works.
2. Any structural calculations.
3. Scaffolding for work
4. Any structural steel.
5. Any Community, Government/Authority permits or approvals.
6. Any other item not specially included in offer.

REFER TO  
 CLARIFICATION  
 SCHEDULE



- 7. Noise Measurements of any sort
- 8. Any Sanding / Painting on gypsum surfaces

Terra Firma Trading LLC  
PO Box 393109, Dubai, UAE  
+971 4 5667490 | sales@terrafirmauae.com  
TRN: 100465358800003

} REFER TO CLARIFICATION SCHEDULE

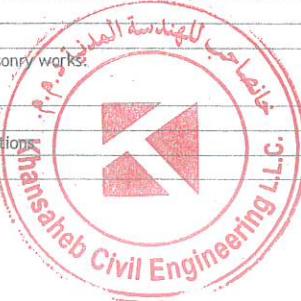
We trust the above is in line with your requirements. We now look forward to the pleasure of receiving your valued Order.

Sincerely,  
Gunasekar Venkateswaran  
Mob No. +971 52 251 9462

- sales@terrafirmauae.com
- +971 50 650 5259
- PO Box 393109
- Dubai, UAE



Ref	Clarification / Qualification quote ref Q/112222/KCE-Q13- R1	KCE's Response dated 09.02.23	Final Agreement dated 09.02.23
A	<u>Delivery Period</u>		
1	1-2 weeks from the date of PO, advance & approval of MAS & SD whichever is last	KCE informed TF to comply with the programme requirements.	Agreed & closed.
B	<u>Installation Period</u>		
1	To be discussed and agreed mutually	KCE informed TF to comply with the programme requirements.	Agreed & closed.
C	<u>Payment Terms</u>		
1	All payments to be made against CDC from the date of submission of invoice. 20% advance along with order, 65% to be paid against delivery of materials at site prorata, 15% to be against prorata installation	Refer to PTR meeting minutes continuation sheet for the payment terms agreement.	Agreed & closed.
D	<u>Price Terms:</u>		
1	Excluding VAT, delivered to Site.	Noted. Agreed.	Agreed & closed.
E	<u>Validity</u>		
1	15 days	KCE informed TF that the quote will be valid until the order is issued.	Agreed & closed.
F	<u>General Notes</u>		
1	Closed storage space shall be provided by the contractor to store our materials	Refer to K05- summary of attendances and facilities	Agreed & closed.
2	It is contractor's responsibility to shift materials from store to place of installation	Refer to K05- summary of attendances and facilities	Agreed & closed.
3	Delivery of materials is subjected to receipt of signed & dated cheque copy	Refer to PTR meeting minutes continuation sheet for the payment terms agreement.	Agreed & closed.
4	Area quoted is re-measurable. Quoted areas calculated from the provided drawing during enquiry stage. Final area to be confirmed post completion of the activity quoted for.	Remeasurable as per the approved drawings, TF to verify the site condition prior to submission of drawings. The increase in rate for quantities reduced by more than 20% shall be reviewed subject to justification from TF with proper backup. If the quantities are increased by more than 20% the rates will be evaluated accordingly.	Agreed & closed.
5	We reserve all rights to revise unit rate on substantial reduction of area quoted above.	KCE informed TF that the requirements at site has already been reviewed and no further increase shall be accepted.	Agreed & closed.
6	Timely payments are essential for successful completion of above quoted acoustic works. Delays in payment have not been costed/allowed for	KCE informed TF that all the payments will be made as per the agreed payment terms.	Agreed & closed.
7	Above quoted TFT ISO Clip model acoustic ceiling shall be confirmed for feasibility of installation upon a site visit.	KCE informed TF that all the specification and consultant requirements have been reviewed and TF to comply with the same.	Agreed & closed.
8	Any variation work apart from above mentioned scope will be executed only upon receipt of a separate LPO or email instruction, failing which we will not execute any additional work at site. If by chance we are asked to execute additional work without LPO or email instruction contractor should pay for the additional/variation works as per agreed payment terms without any delay.	Refer to the change management section in the PTR meeting minutes.	Agreed & closed.
G	<u>Exclusions</u>		
1	Any civil works or masonry works.	Noted. Agreed.	Agreed & closed.
2	Any structural calculations	Noted. Agreed.	Agreed & closed.
3	Scaffolding for work	Refer to K05- summary of attendances and facilities	Agreed & closed.



Ref	Clarification / Qualification quote ref Q/112222/KCE-Q13- R1	KCE's Response dated 09.02.23	Final Agreement dated 09.02.23
6	Any other item not specially included in offer.	Noted. Subject to consultant approval.	Agreed & closed.
7	Noise Measurements of any sort	Noted. Subject to consultant approval.	Agreed & closed.
8	Any Sanding/ Painting on gypsum surfaces	Noted. KCE informed TF that all the coordination between the finishing subcontractor	Agreed & closed.





### APPENDIX 3

#### K05 SUMMARY OF ATTENDANCES & FACILITIES



## APPENDIX - 3: SUMMARY OF ATTENDANCES & FACILITIES

K05

This schedule outlines the attendances and facilities which are to be provided by KCE and those that are to be provided by the Subcontractor. Those facilities provided by KCE shall be used in common with other Subcontractors. All facilities provided by the Subcontractor are to meet the minimum requirements described in KCE's procedures and K Standards. Failure to meet these requirements may result in KCE taking remedial action with all associated charges being levied against the Subcontractor's account.

Ref	Description	KCE	Sub-Contractor
1	<b>Site Facilities</b>		
1.1	Area for Subcontractor's offices	✓	<input type="checkbox"/>
1.2	Area for Subcontractor's storage	✓	<input type="checkbox"/>
1.3	Offices for Subcontractor's staff	<input type="checkbox"/>	✓
1.4	Buildings / containers for Subcontractor's storage	n/a	n/a
1.5	Specific security of Subcontractor's facilities and material (general security by KCE as 1.8)	<input type="checkbox"/>	✓
1.6	Toilet and washing facilities	✓	<input type="checkbox"/>
1.7	Canteen facilities (if applicable)	n/a	n/a
1.8	General security / hoarding to perimeter of site / laydown areas	✓	<input type="checkbox"/>
1.9	Provision of first aider(s) & all equipment	<input type="checkbox"/>	✓
1.10	Provision of telephone and internet connection	n/a	n/a
1.11	Telephone and internet monthly charges	n/a	n/a
1.12	Computers, printers & other electrical office equipment	n/a	n/a
1.13	Provision of office furniture	n/a	n/a
1.14	Provision of office stationary	n/a	n/a
1.15	Provision of office consumables (milk, tea, coffee etc.)	n/a	n/a
2	<b>Temporary Services</b>		
2.1	Provision of temporary power & water to office & storage buildings	✓	<input type="checkbox"/>
2.2	Provision of a temporary power connection for the works 50m from the workface (110v)	✓	<input type="checkbox"/>
2.3	Safe distribution of power from the above connection (item 2.2)	<input type="checkbox"/>	✓
2.4	Provision of a water connection point 50m from the workface	✓	<input type="checkbox"/>
2.5	Distribution of water to the workface 50m from the above connection point (item 2.4)	<input type="checkbox"/>	✓
2.6	Task lighting	<input type="checkbox"/>	✓
2.7	Safety lighting (in order to provide safe access and egress)	✓	<input type="checkbox"/>
3	<b>The Works</b>		
3.1	Setting out - main grid lines & datum points	✓	<input type="checkbox"/>
3.2	Setting out of the Subcontract works	<input type="checkbox"/>	✓
3.3	Competent Supervision of the Subcontract works and labour	<input type="checkbox"/>	✓
3.4	Protection of the Subcontract works & removal of protection on completion	<input type="checkbox"/>	✓
3.5	Disposal of waste to site refuse area	<input type="checkbox"/>	✓
3.6	Segregation of waste in to the designated waste skip	<input type="checkbox"/>	✓
3.7	Disposal of waste off site to an approved location	✓	<input type="checkbox"/>
3.8	Disposal of hazardous waste off site to an approved location (if Applicable)	✓	<input type="checkbox"/>
3.9	Provision of personal protective equipment ( <i>KCE Gloves &amp; Eye protect Policy</i> )	<input type="checkbox"/>	✓
3.10	Provision of samples & mock ups	<input type="checkbox"/>	✓
3.11	Testing / commissioning (where applicable to SC Works)	<input type="checkbox"/>	✓
3.12	Cleanings and housekeeping Labour- Dedicated team for daily regular progressive clean-up	<input type="checkbox"/>	✓
3.13	Final clean of Subcontract Works	<input type="checkbox"/>	✓
3.14	Temporary works (if applicable)	<input type="checkbox"/>	✓



Ref	Description	KCE	Sub-Contractor
4	Cranage & Hoisting		
4.1	Shared use of KCE tower cranes (if available on site)	✓	<input type="checkbox"/>
4.2	Mobile cranes (If available on site)	n/a	n/a
4.3	Shared use of hoists and / or service lifts	✓	<input type="checkbox"/>
4.4	Offloading Subcontractor's deliveries (within the areas identified in KCE's logistic / crane plan & within maximum crane lifting limits)	✓	<input type="checkbox"/>
4.5	Offloading Subcontractor's deliveries (Outside of areas shown in KCE logistic / crane plan)	<input type="checkbox"/>	✓
4.6	Loading out Subcontractor materials to the place of installation	<input type="checkbox"/>	✓
4.7	Specialist lifting accessories i.e Spreader beams, frames etc	<input type="checkbox"/>	✓
5	Access & Equipment		
5.1	Provision of small tools & hand held power tools (110 volt only)	<input type="checkbox"/>	✓
5.2	Small mechanical plant & equipment	✓	<input type="checkbox"/>
5.3	Driver operated plant & equipment (if required)	✓	<input type="checkbox"/>
5.4	Operators for mechanical plant & equipment (if required)	✓	<input type="checkbox"/>
5.5	Provision of fuel, water, gas and the like to power mechanical equipment	✓	<input type="checkbox"/>
5.6	Mobile scaffold towers (where permitted by KCE SPM, see also 7.2)	✓	<input type="checkbox"/>
5.7	Mechanical/electrical working platforms - scissor lifts, cherry pickers and the like	✓	<input type="checkbox"/>
5.8	Independent access scaffold up to platform height of 3m by SC	✓	<input type="checkbox"/>
5.9	Independent access scaffold platform height above 3m	✓	<input type="checkbox"/>
5.10	Birdcages & specialist crash decks	✓	<input type="checkbox"/>
5.11	Handrail edge protection	✓	<input type="checkbox"/>
5.12	Debris netting & protection	✓	<input type="checkbox"/>
5.13	Access stairs to the works	✓	<input type="checkbox"/>
5.14	Task specific fire extinguishers where required (e.g. for hot works)	<input type="checkbox"/>	✓
5.15	Task specific safety signage	<input type="checkbox"/>	✓
6	Personal Protective Equipment (PPE)		
6.1	Provision of all KCE mandatory PPE including but not limited to, branded overalls & high visibility vests, safety footwear, heavy duty safety helmets, safety gloves, safety glasses. Note; Any operative attending site with poor quality PPE or without the mandatory PPE, will either be refused entry or issued with the correct PPE with the cost being deducted from the Subcontractor's account.	<input type="checkbox"/>	✓
6.2	All task specific PPE required to comply with the approved safe system of work documented through KCE's K-Standards or the method statement, risk assessment and COSHH assessment must be provided.	<input type="checkbox"/>	✓
7	Any Other Specific Facilities & Attendances Identified Below		
7.1	The SC shall use its best endeavours to ensure the collection & removal of recyclable waste materials generated by the Subcontractor (& its supply chain) is returned to source and not included in skips to be disposed off as waste.	<input type="checkbox"/>	✓
7.2	MEWP's to be used wherever possible, mobile scaffold towers use to be approved by KCE SPM. Access requirement above 3m platform height will be provided by KCE.	✓	<input type="checkbox"/>
7.3	High visibility vests with company name, designation	<input type="checkbox"/>	✓
7.4	Safety Helmet with names/ designation	<input type="checkbox"/>	✓
8	Confined Space Works (only to extent applicable for the SC Works)		
8.1	Multi gas monitor	n/a	n/a
8.2	Rescue harness per entrant	n/a	n/a
8.3	Rescue tripods & winches	n/a	n/a
8.4	Mechanical ventilation, extraction & air movement equipment	n/a	n/a
8.5	Emergency rescue escape sets (for medium & high risk works).	n/a	n/a
8.6	Means of communication (e.g. Radios)	n/a	n/a



Ref	Description	KCE	Sub-Contractor
9	MEP Specific Attendances (only to extent applicable for the SC Works)		
9.1	Provision of power for testing & commissioning	<input type="checkbox"/>	<input type="checkbox"/>
9.2	Provision of water for testing & commissioning	<input type="checkbox"/>	<input type="checkbox"/>
9.3	Disposal of water for testing & commissioning	<input type="checkbox"/>	<input type="checkbox"/>
9.4	Provision of concrete plinths for MEP support	<input type="checkbox"/>	<input type="checkbox"/>
9.5	Provision of other MEP support - steelwork, service pads and the like (to extent applicable to SC Works)	<input type="checkbox"/>	<input type="checkbox"/>
9.6	Antivibration pads / floating floors and the like (to the extent applicable to the SC Works)	<input type="checkbox"/>	<input type="checkbox"/>
9.7	Provision of spares & tools	<input type="checkbox"/>	<input type="checkbox"/>
9.8	Marking of BWIC openings	<input type="checkbox"/>	<input type="checkbox"/>
9.9	Preparation of builders work drawings prior to the works being undertaken	<input type="checkbox"/>	<input type="checkbox"/>
9.10	SC to provide all necessary details and information for MC to prepare co-ordinated shop drawings	<input type="checkbox"/>	<input type="checkbox"/>
9.11	Sealant around services, sanitary ware, equipment etc.	<input type="checkbox"/>	<input type="checkbox"/>
9.12	Provision of fire extinguishers (permanent works)	<input type="checkbox"/>	<input type="checkbox"/>
9.13	Replacement of fused bulbs until handing over the works	<input type="checkbox"/>	<input type="checkbox"/>
9.14	Provision of acoustic requirements around services / service penetrations	<input type="checkbox"/>	<input type="checkbox"/>
9.15	Provision of manhole covers & frames ( Gratings / Covers etc inside pool )	<input type="checkbox"/>	<input type="checkbox"/>
9.16	Provision of temporary cap ends to drainage, vent & RW pipes during the works	<input type="checkbox"/>	<input type="checkbox"/>
9.17	Coring & drilling through walls & floors less than 200mm dia. (Where due to WM errors)	<input type="checkbox"/>	<input type="checkbox"/>
9.18	Coring & drilling through walls & floors greater than 200mm dia.	<input type="checkbox"/>	<input type="checkbox"/>
9.19	Chasing out walls & floors	<input type="checkbox"/>	<input type="checkbox"/>
9.20	Forming openings in new walls (subject to conformance with item 9.9)	<input type="checkbox"/>	<input type="checkbox"/>
9.21	Fire stopping generally	<input type="checkbox"/>	<input type="checkbox"/>
9.22	Fire stopping between MEP services & the service sleeve	<input type="checkbox"/>	<input type="checkbox"/>
9.23	Fire stopping between service sleeve and the opening	<input type="checkbox"/>	<input type="checkbox"/>
		<input type="checkbox"/>	<input type="checkbox"/>
		<input type="checkbox"/>	<input type="checkbox"/>
		<input type="checkbox"/>	<input type="checkbox"/>
		<input type="checkbox"/>	<input type="checkbox"/>
		<input type="checkbox"/>	<input type="checkbox"/>

Signed on behalf of the SC

Date



## **BILL OF QUANTITIES**

**CONTRACT NAME:** Dorchester Hotel & Residences

Date : 28.02.23

CONTRACT NO : 201A22002

SUBCONTRACTOR: Terra Firma Trading LLC

TOTAL AMOUNT IN AED.

51,170.00

**SUBCONTRACT : GENERAL TERMS AND CONDITIONS**

1. The Subcontractor shall design (to the extent provided for by this Subcontract) execute and complete the Subcontract Works:
  - a. in accordance with this Subcontract and the Main Contract to the satisfaction of the Main Contractor and Employer and/or Engineer and/or Employer's Representative and/or Contract Administrator and / or any other Superintending Officer as referred to in the Main Contract; and
  - b. in order that no act or omission of the Subcontractor's shall constitute, cause or contribute to any breach by the Main Contractor of any of his obligations under the Main Contract.
2. The Subcontractor shall, save as aforesaid, assume and perform hereunder all the obligations and liabilities of the Main Contractor under the Main Contract in relation to the Subcontract Works, other than where the provisions of this Subcontract require.
3. If the Subcontractor commits any breaches of this Subcontract, he shall indemnify and hold the Main Contractor harmless against and from any and all damages, penalties, claims, proceedings, costs, charges and expenses for which the Main Contractor becomes liable under the Main Contract as a result of such breaches. Without prejudice to any other remedy the Main Contractor has for such breaches, the Main Contractor may deduct such amounts from monies otherwise due to the Subcontractor under the Subcontract.
4. The Main Contractor has made the Main Contract, including the Appendix to Tender (excluding confidential details) available to the Subcontractor for inspection. The Subcontractor is deemed to have full knowledge of the relevant provisions of the Main Contract.
5. If under any provision of the Main Contract the Main Contractor is required to insert or to use its best endeavours to have inserted any specific provision of the Main Contract into a Subcontract and this Subcontract is of the nature to which such requirement applies, such provision shall be deemed to have been fully inserted herein and the Subcontractor agrees to be bound thereby accordingly.
6. The Subcontractor shall remedy at no cost to the Main Contractor any defects in the Subcontract Works due to the Subcontractor's design, materials or plant or workmanship not being in accordance with the Subcontract.
7. Unless stated otherwise in the Subcontract, the Subcontractor shall be responsible at its own expense for the provision of all personnel, superintendence, labour, materials, plant, equipment and all other things, whether of a temporary or permanent nature, required in and for the design (to the extent provided for by the Subcontract), execution and completion of the Subcontract Works and the remedying of any defects therein PROVIDED that the Subcontractor may be entitled to share use of certain common facilities to the extent described in the Subcontract.
8. The Subcontractor shall comply with the Main Contractor's Health, Safety, Environmental and Sustainability policies and procedures, including any relevant Statutory Regulations etc. and all other current legislation including Codes of Practice and the Health and Safety Executive's Guidance Notes relating to Construction work, including any amendments made during the course of the Project.
9. The Subcontractor warrants the whole of the Subcontract Works in respect of workmanship and materials used in the Subcontract Works in accordance with the Main Contract. The Subcontractor shall indemnify the Main Contractor for any loss or damages arising from breach of this warranty. This guarantee shall not limit or negate any of the Main Contractor's rights or the Subcontractor's obligations under the laws of the Emirate of Dubai or the United Arab Emirates.
10. The Subcontractor shall comply with all instructions and determinations issued by the Main Contractor in relation to the Subcontract Works.
  - (i) The Subcontract Works shall be varied only by way of an instruction from the Main Contractor (**Variation**).
  - (ii) The Subcontractor shall execute and be bound by each Variation.
  - (iii) All Variations shall be valued at the rates and prices set out in the Subcontract, if in the opinion of the Main Contractor the same shall be applicable. If the Subcontract does not contain any rates or prices applicable to the varied work, the rates and prices in the Subcontract shall be used as the basis for valuation so far as may be reasonable, failing which suitable rates or prices shall be agreed upon between the Main Contractor and the Subcontractor, provided that the Main Contractor shall be under no obligation to agree any rates or prices that differ from those rates certified for payment under the Main Contract and the value of a Variation shall not exceed the value of the same Variation under the Main Contract.
11. The Subcontractor shall not subcontract the whole of the Subcontract Works. The Subcontractor shall not subcontract any part of the Works without the consent of the Main Contractor.
12. The Subcontractor shall not assign the whole or any part of the Subcontract Works.
13. If this Subcontract requires the Subcontractor to design all or part of the Subcontract Works, the Subcontractor hereby grants the Main Contractor a non-exclusive, royalty free, irrevocable copyright license to use the design for all purposes relating to or in connection with the Project.
14. If the Main Contractor is required to pay any sum by way of damages or penalties under the Main Contract and / or incurs any loss or expense for any delay in completing the Main Contract works as a result of a delay caused in whole or in part by the Subcontractor in its performance of the Subcontract Works, the Subcontractor shall be liable to the Main Contractor for such sums as are attributable to the delay in the execution of the Subcontractor's work or the consequence of such delay. The Main Contractor shall be entitled to deduct this sum from the Subcontract Price or such other monies as may be due to the Subcontractor under this Subcontract.
15. The Subcontractor shall be held responsible, for a period of ten (10) years for the safety of the construction of the Subcontract Works and for any default or defect resulting from the execution of the Subcontract Works, irrespective of the final handover certificates and the return of the Performance Guarantee (if applicable) to it.
16. The Subcontractor shall adequately effect and maintain insurance against:
  - (i) all claims of whatsoever nature which may be brought against the Main Contractor in connection with or arising out of the execution of the Subcontract Works;
  - (b) injuries or damage to any person employed by the Subcontractor on or about the Subcontract Works or in any connection therewith;
  - c. injuries or damage to any person whatsoever, including a person employed by the Main Contractor, caused by or arising out of the execution of the Subcontract Works; and
  - d. injuries or damage to any property or thing including the property or things of the Main Contractor or the Employer caused by or arising out of the execution of the Subcontract Work.
17. (ii) The Subcontractor will on request by the Main Contractor at any time produce for inspection evidence of the policies of insurance and receipts for premiums relating to the risks aforesaid.
18. (iii) The Subcontractor shall indemnify and hold harmless the Main Contractor against and from all actions, claims, proceedings, damages, costs and expenses in respect of the matters listed at Clause 17(i) above.
  - (i) The Main Contractor shall pay the Subcontractor the Subcontract Price stated in the attached Minor Works Subcontract Order for its proper performance of the Subcontract Works, or such other sum as shall become payable in accordance with this Subcontract, on the same terms as the Main Contractor is paid under the Main Contract (unless otherwise agreed in this Subcontract). The Subcontract Price shall not be due to the Subcontractor until such time as it has been certified as part of a payment due to the Main Contractor under the Main Contract. The Main Contractor shall not pay the Subcontractor the Subcontract Price until such payment has been paid to the Main Contractor under the Main Contract, unless otherwise provided for in this Subcontract.
  - (ii) The rates and prices referred to in this Subcontract are to remain fixed for the duration of the Subcontract Works. There shall be no adjustment to the rates and prices in this Subcontract in respect of:
    - a. any fluctuation in the cost of labour and/or materials or any other matters affecting the cost of the execution of the Subcontract Works; or
    - b. any changes to any law of the Emirate of Dubai or the United Arab Emirates.
19. Where a percentage of retention is applicable, the Main Contractor shall pay to the Subcontractor the retention money under the Subcontract in the same proportions that apply to the Main Contractor's retention under the Main Contract no later than 14 days after the Main Contractor has received its retention under the Main Contract.
20. The Subcontractor shall be responsible for each item of plant and materials brought to site by or on behalf of the Subcontractor and that forms or is intended to form part of the Subcontract Works (**Materials**) until such time as the Materials are incorporated into the Works under the Main Contract. The Materials shall become the property of the Main Contractor at whichever is the earlier of the following times:
  - a. when the Materials are delivered to site;
  - b. when the Materials are paid for by the Main Contractor in accordance with Clause 18 above; and
  - c. when the Materials are identified / allocated to this Project.
21. (i) The Main Contractor shall be entitled to terminate this Subcontract if:
  - a. the Subcontractor fails to proceed with the Subcontract Works expeditiously and without delay as shall in the opinion of the Main Contractor be necessary to avoid delays to other trades and the completion of the Subcontract Works by the Completion Date; or
  - b. the Subcontract Works are at any time not being carried out to the standards of quality described in this Subcontract; or
  - c. the Subcontractor fails to comply within 7 days of receipt of a written order from the Main Contractor to proceed with any rectification work or replacement of defective work not in accordance with the Subcontract; or
  - d. the Subcontractor is, for any other reason, in breach of this Subcontract.
- In any of these events or circumstances, the Main Contractor may, upon giving 14 days' written notice to the Subcontractor, terminate this Subcontract and expel the Subcontractor from site.
- (ii) Notwithstanding Clause 21(i) above, the Main Contractor can terminate this Subcontract at any time for the Main Contractor's convenience by giving 14 days' written notice to such termination to the Subcontractor.
- (iii) The Main Contractor shall also be entitled to suspend and / or terminate this Subcontract if the Main Contract is suspended and / or terminated by the Employer. In this event, the respective rights of the Main Contractor and Subcontractor shall be like for like to those of the Employer and the Main Contractor under the Main Contract.



- (iv) In the event of this Subcontract being terminated under Clause 21(i)a., b., c., or d. the Subcontractor shall be entitled to payment of the unpaid balance of Subcontract Works executed and materials delivered to site, adjusted by:
- any increased cost to the Main Contractor in the completion of the Subcontractor Works; and
  - any other loss and expense incurred by the Main Contractor as a result of the termination.
22. The Subcontractor shall treat the details of this Subcontract as private and confidential, except to the extent necessary to carry out the obligations under it or to comply with laws of the Emirate of Dubai and the United Arab Emirates.
23. (i) If a dispute of any kind whatsoever arises between the Main Contractor and the Subcontractor in connection with, or arising out of, the Subcontract or the execution of the Subcontract Works, then the Main Contractor or the Subcontractor shall give a notice of this dispute to the other party (Notice of Dispute), stating that the Notice of Dispute is given pursuant to this Clause.
- (ii) If a Notice of Dispute is given under Clause 23(i) the Main Contractor and Subcontractor shall attempt to settle such dispute amicably within 56 days of receipt of the Notice of Dispute.
- (iii) If the dispute is not settled amicably under Clause 23(ii) either party may refer the dispute to an independent third party adjudicator appointed by Dubai International Arbitration Centre (Adjudicator) to be finally settled. The Main Contractor and Subcontractor shall agree the terms upon which to appoint the adjudicator and conduct the adjudication. The Adjudicator must issue his written decision to the Main Contractor and Subcontractor within 90 days of being appointed (Adjudicator's Decision).
- (iv) The Adjudicator's Decision shall be final and binding on the Main Contractor and Subcontractor until the completion of the Subcontract Works or the issuance of a notice of dissatisfaction in accordance with Clause 23(v) below. The Subcontractor shall give immediate effect to the Adjudicator's Decision and shall proceed with the Subcontract Works with all due diligence whether he or the Main Contractor requires arbitration as hereinafter provided or not.
- (v) If the Adjudicator fails to issue his decision in accordance with Clause 23(iii), or if either the Main Contractor or the Subcontractor is dissatisfied with his decision and has issued a written notice of dissatisfaction to the Adjudicator and the other party within 14 days of receiving the decision, either the Main Contractor or the Subcontractor may within 90 days of receiving the decision or 90 days after the expiration of the first named period of 90 days (as the case may be) refer the dispute to arbitration, to be conducted in accordance with the arbitration agreement in the Main Contract. In this event, reference to the Employer and Main Contractor in the arbitration agreement in the Main Contract shall be read as Main Contractor and Subcontractor respectively.
24. This Subcontract shall be governed by the laws of the Emirate of Dubai and the United Arab Emirates and the ruling language shall be English.
25. The Subcontractor warrants and undertakes that it shall comply with:
- all applicable laws and regulations relating to its performance of the Subcontract Works and, in particular, laws and regulations relating to the employment, health, safety, welfare, immigration and emigration of its employees. The Subcontractor shall require its employees to obey all applicable laws and regulations, including those concerning safety at work;
  - all applicable laws and regulations relating to anti-bribery and anti-corruption; and
  - all of the Main Contractor's internal policies and procedures and, in particular, those relating to the welfare of its employees and anti-bribery and anti-corruption.
26. (i) Contractor's Worker Welfare Procedure: means the Contractor's Worker Welfare Procedure as available in the Contractor's Main Office and as updated by the Contractor from time to time.
- (ii) The Subcontractor undertakes, warrants and represents that in the performance of its obligations under this agreement that it and each member of its own supply chain shall comply without limitation with all applicable laws, statutes, regulations and codes from time to time in force and where there is no conflict shall as a minimum comply with the Contractor's Worker Welfare Procedure.
- Any breach of this Clause 26 by the Subcontractor shall be deemed a fundamental breach of the Subcontract Agreement and shall entitle the Contractor to terminate the Subcontract Agreement.
- (iii) The Subcontractor represents and warrants that:
- its responses to the Contractor's due diligence questionnaires are complete and accurate; and
  - neither the Subcontractor nor any of its officers, employees [or other persons associated with it] has been convicted or is in the process of being investigated for any offence involving slavery and human trafficking, bribery or any breach of competition law.
- The Subcontractor shall implement due diligence procedures for its own suppliers, subcontractors and other participants in its supply chains to ensure that there is no slavery or human trafficking, bribery or breach of competition law within its own supply chains.
- (iv) The Subcontractor shall notify the Contractor as soon as it becomes aware of any breach, or potential breach, of Clause 26 by it or any member of its own supply chain.
- (v) The Subcontractor shall:
- allow the Contractor a general right of audit, and in particular a right to audit their accommodation facilities and give access to their employees to be interviewed where deemed appropriate.
  - demonstrate they have taken reasonable and appropriate steps to ensure that their own supply chain meet the requirements of the Contractor's Worker Welfare Procedure.
- (vi) The Subcontractor shall conduct a programme of regular training for its officers, employees, agents, subcontractors and other members of its supply chain to ensure compliance with the policies as set out in the Contractor's Worker Welfare Procedure.
- (vii) The Subcontractor shall indemnify and hold harmless the Contractor, its Shareholders, Directors, officers and employees in full and on demand from and against any and all liabilities, claims, fines, demands, damages, losses, costs or expenses (including legal and other professional adviser's fees and disbursements), interest and penalties incurred by them howsoever arising whether wholly or in part resulting from a breach of the policies as set out in the Contractor's Worker Welfare Procedure.
- (viii) The Subcontractor represents, warrants and undertakes that it conducts its business in a manner that is consistent with the policies as set out in the Contractor's Worker Welfare Procedure.

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