

GENERAL NOTES

THIS BUILDING IS CLASSIFIED AS PART 9 "HOUSING AND SMALL BUILDING".

THE DESIGN OF THIS BUILDING IS IN ACCORDANCE WITH:

- 2011 MANITOBA BUILDING CODE
- 9.4 "STRUCTURAL REQUIREMENTS"
- 9.4.1.1. "GENERAL" 9.4.1.1.1) a) b) AND c)
- 9.4.4.4

DO NOT SCALE DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER.

DESIGN SPECIFIED FLOOR LOADS = 40 PSF. DESIGN SPECIFIED SNOW LOAD = 26 PSF. NOTE: LOAD REDUCTIONS HAVE BEEN USED IN THE DESIGN OF THIS STRUCTURE. DESIGN LOADS AND ASSUMPTIONS AS PER THE 2011 MANITOBA BUILDING CODE AND TABLE 1 "DESIGN ASSUMPTIONS" OF THE SPAN BOOK-2004 EDITION.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL PLANS PREPARED BY OTHERS. ANY INFORMATION MISSING ON THIS DRAWING MUST BE OBTAINED FROM SAID ARCHITECTURAL PLANS. COORDINATE AND VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO COMMENCING CONSTRUCTION.

SEE ARCHITECTURAL DRAWINGS FOR ELEVATIONS, SLOPES, ROUGH OPENING DIMENSIONS FOR WINDOWS, DOORS, ETC.

SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR OPENINGS IN FLOORS, ROOF, WALLS, ETC.

DO NOT CUT OR DRILL OPENINGS IN ANY STRUCTURAL MEMBERS WITHOUT WRITTEN APPROVAL FROM BEACH ROCKE ENGINEERING LTD.

STRUCTURAL DRAWINGS SHOW THE COMPLETED STRUCTURE. THEY DO NOT SHOW COMPONENTS WHICH MAY BE NECESSARY FOR SAFETY DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SITE SAFETY AND TO ENSURE THAT ALL SUBTRADES CONFORM TO THE LATEST REGULATIONS OF THE PROVINCIAL "BUILDING PROTECTION ACT", TO PROVIDE ALL NECESSARY SAFETY EQUIPMENT AS REQUIRED THEREIN AND TO NOTIFY LOCAL AUTHORITIES AS REQUIRED BY LAW. THE GENERAL CONTRACTOR SHALL DESIGN ALL SHORING, FORM WORK, AND BRACING TO ENSURE PROPER CONSTRUCTION AND ERECTION.

THE CONTRACTOR SHALL CONFORM TO THE COLD WEATHER REQUIREMENTS OF THE CSA STANDARD A23.1/A23.2 AND THE NATIONAL BUILDING CODE.

IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO LOCATE ALL SITE SERVICES PRIOR TO CONSTRUCTION.

THE CONTRACTOR SHALL VISIT THE SITE, AND NOTE ALL CHARACTERISTICS AND IRREGULARITIES AFFECTING THE WORK OF THIS PROJECT.

FOUNDATION NOTES

ALL STRAIGHT SHAFT CONCRETE PILES ARE DESIGNED AS CAST-IN-PLACE FRICTION ELEMENTS IN FIRM UNDISTURBED MATERIAL WITH AN ALLOWABLE FRICTION CAPACITY OF 300 PSF. FOOTINGS SHALL BE FOUNDED ON FIRM DRY UNDISTURBED SOIL (EXCLUDING SILT) CAPABLE OF PROVIDING AN ALLOWABLE BEARING CAPACITY OF 1500 PSF. ALL BELLED PILES ARE DESIGNED AS END BEARING ELEMENTS FOUNDED ON FIRM DRY UNDISTURBED SOIL (EXCLUDING SILT) CAPABLE OF PROVIDING AN ALLOWABLE BEARING CAPACITY OF 2500 PSF. THE OWNER CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE ASSUMPTIONS WITH A SOILS INVESTIGATION. BEACH ROCKE ENGINEERING LTD. ACCEPTS NO LIABILITY FOR THESE ASSUMPTIONS OR FOR ANY REDESIGN OF THE FOUNDATION RESULTING FROM CONTRARY SOILS CONDITIONS.

AS PER A-TABLE 9.4.4.1 OF THE MANITOBA BUILDING CODE "CLASSIFICATION OF SOILS" CLAY AND SILT MAY BE CLASSIFIED AS "STIFF" IF IT IS DIFFICULT TO INDENT BY THUMB PRESSURE, "FIRM" IF IT CAN BE INDENTED BY MODERATE THUMB PRESSURE, "SOFT" IF IT CAN BE EASILY PENETRATED BY THUMB PRESSURE, WHERE THIS TEST IS CARRIED OUT ON UNDISTURBED SOIL IN THE WALL OF A TEST PIT.

THE FOUNDATION DESIGN IS COMPLIANT WITH LIMITS STATES DESIGN AS DEFINED IN THE 2011 MANITOBA BUILDING CODE (PART 9) AND CANADIAN FOUNDATION ENGINEERING MANUAL 4TH EDITION.

THE FOUNDATION/BUILDING DESIGN IS COMPLIANT WITH 9.4.4.4. ALL TELEPOSTS SHALL HAVE A MINIMUM 3" ADJUSTABILITY AND BE ISOLATED FROM NON-STRUCTURAL ELEMENTS SUCH AS CONCRETE SLAB-ON-GRADE FLOORS WITH A SLIP JOINT. ALL NON-LOAD BEARING BASEMENT INTERIOR AND EXTERIOR PARTITION WALLS SHALL BE FLOATED 1 1/2" MINIMUM.

ALL SLAB-ON-GRADE FLOORS AND UN-INSULATED SHALLOW FOUNDATIONS WILL EXPERIENCE MOVEMENT AND CRACKING DUE TO HEAVING AND SOILS EXPANSION RESULTING FROM THE NATURE OF THE CLAY SOIL, PREVIOUS AND PRESENT LEVEL OF VEGETATION AT THE SITE, SOIL MOISTURE LEVELS AND CONSTRUCTION PRACTICES. BEACH ROCKE ENGINEERING LTD. ACCEPTS NO LIABILITY FOR THIS CRACKING AND/OR MOVEMENT. THE OWNER/CONTRACTOR SHALL ENSURE THAT ANY CONCRETE SLAB-ON-GRADE FLOOR MOVEMENTS WILL NOT BE TRANSFERRED TO ANY OF THE STRUCTURAL ELEMENTS OF THE BUILDING BY CONSTANT MONITORING AFTER CONSTRUCTION IS COMPLETED.

THE BUILDING DESIGN ASSUMES THAT:

1. ALL TELEPOSTS SHALL BE CONTINUOUSLY MONITORED AND ADJUSTED, IF REQUIRED, BY SKILLED PROFESSIONALS EXPERIENCED IN THIS TYPE OF WORK, DURING AND AFTER CONSTRUCTION HAS BEEN COMPLETED.
2. POSITIVE DRAINAGE AROUND THE EXTERIOR OF THE BUILDING SHALL BE CONTINUOUSLY MAINTAINED DURING AND AFTER CONSTRUCTION IS COMPLETED.
3. THE SUMP AND DRAINAGE SYSTEM SHALL BE CONTINUOUSLY MAINTAINED DURING AND AFTER CONSTRUCTION IS COMPLETED. MEASURES SHALL BE TAKEN TO ENSURE THE SUMP DISCHARGE IS CONTINUOUSLY AND PROPERLY MAINTAINED TO PREVENT FREEZING AND BLOCKAGE AFTER CONSTRUCTION IS COMPLETED.
4. ALL FLOATED NON-LOAD BEARING BASEMENT INTERIOR AND EXTERIOR PARTITION WALLS SHALL BE CONTINUOUSLY MONITORED DURING AND AFTER CONSTRUCTION IS COMPLETED TO ENSURE THAT THE FLOAT IS MAINTAINED.

ALL TELEPOST LOADS ARE UNFACTORED (ALLOWABLE) UNLESS SHOWN OTHERWISE.

THE SUMP SHALL HAVE 1/4" DIAMETER HOLES ON A 3"x3" GRID, ONLY ON AREA IN CONTACT WITH GRANULAR DRAINAGE AGGREGATE WITH NO HOLES IN BOTTOM 10" OF SUMP. THE SUMP SHALL BE A MINIMUM OF 36" AWAY FROM ALL CONCRETE FOOTINGS (MEASURED EDGE TO EDGE). THE FINAL LOCATION OF THE SUMP BY OWNER/CONTRACTOR.

ANY CURRENT OR PRE-EXISTING (WITHIN TWO YEARS PRIOR TO CONSTRUCTION) LARGE VEGETATION SUCH AS TREES AND BUSHES SHALL BE REPORTED TO BEACH ROCKE ENGINEERING LTD. PRIOR TO CONSTRUCTION.

CONCRETE

CONCRETE SHALL BE MANUFACTURED AND PLACED IN ACCORDANCE WITH THE CSA STANDARDS A23.1-09/A23.2-09.

PROVIDE A MINIMUM 150mm (6") VOID UNDER ALL BEAMS, WALLS AND STRUCTURAL SLABS. VOID TO BE SHEARMAT OR APPROVED CARDBOARD VOIDFORM.

VIBRATE ALL CONCRETE TO ENSURE COMPLETE CONSOLIDATION.

THE LOCATIONS OF CONSTRUCTION JOINTS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE APPROVED BY BEACH ROCKE ENGINEERING LTD IN WRITING.

WHEN THE OUTSIDE TEMPERATURE FALLS BELOW 5 DEGREES CELSIUS, THE CONTRACTOR SHALL CONFORM TO CSA STANDARD A23.1-09/A23.2-09 AND THE NATIONAL BUILDING CODE FOR COLD WEATHER CONCRETE PROCEDURES,

CONCRETE SHALL CONFORM TO THE FOLLOWING:

NAME	CONC. TYPE	STRENGTH	MAX. AGG.	SLUMP	AIR	EXPOSURE CLASS
PILES	TYPE 50	32MPa @ 28 DAYS	3/4"	5"	4-7%	S-2
FOOTINGS	TYPE 50	32MPa @ 28 DAYS	3/4"	5"	4-7%	S-2
GRADE BEAMS	TYPE 10	20MPa @ 28 DAYS	3/4"	5"	4-7%	R-2
WALLS	TYPE 10	20MPa @ 28 DAYS	3/4"	5"	4-7%	R-2
ICF WALLS	TYPE 10	20MPa @ 28 DAYS	3/8"	5"	4-7%	R-2
BSMT OR INTERIOR SLABS	TYPE 10	20MPa @ 28 DAYS	3/4"	5"	NONE	R-3
GARAGE OR EXTERIOR SLABS	TYPE 10	32MPa @ 28 DAYS	3/4"	5"	5-8%	C-2

REINFORCING STEEL

REINFORCING STEEL SHALL BE NEW BILLET DEFORMED BARS MANUFACTURED AND DETAILED IN ACCORDANCE WITH CAN/CSA-G30.18-M92, WITH MINIMUM YIELD STRENGTH OF 400MPA.

REINFORCING STEEL SHALL BE FREE FROM LOOSE RUST, MUD, OIL OR OTHER COATINGS WHICH MAY REDUCE THE BOND OR HARM THE CONCRETE.

REINFORCING STEEL SHALL BE HELD IN PLACE AND TIED WITH PROPER ACCESSORIES SUCH AS HI-CHAIRS, SPACERS, TIES, ETC. SUPPLIED BY THE REINFORCING STEEL PROVIDER. APPROPRIATE SUPPORT SHALL BE PROVIDED UNDER ALL SUPPORT ACCESSORIES TO ENSURE THAT THE REINFORCING STEEL IS ACCURATELY POSITIONED.

LAP TOP BARS AT MID-SPAN AND BOTTOM BARS OVER SUPPORTS.

BEND ALL HORIZONTAL STEEL 18" AROUND CORNERS, OR USE EXTRA 36"x36" CORNER BARS TO MATCH HORIZONTALS.

PROVIDE 2-15M AROUND ALL SLAB, WALL, & BEAM OPENINGS, UNLESS OTHERWISE NOTED ON STRUCTURAL DRAWINGS.

CONCRETE COVER OVER REINFORCING STEEL SHALL BE AS FOLLOWS (UNLESS NOTED OTHERWISE):

- 7.1. CONCRETE CAST IN DIRECT CONTACT WITH SOIL -3"
- 7.2. FORMED CONCRETE IN CONTACT WITH SOIL 15M OR SMALLER -2"
- 7.3. FORMED CONCRETE IN CONTACT WITH SOIL 20M OR LARGER -1 1/2"
- 7.4. FORMED CONCRETE NOT IN CONTACT WITH SOIL (BEAMS AND COLUMNS) -1 1/2"
- 7.5. FORMED CONCRETE NOT IN CONTACT WITH SOIL (SLABS AND WALLS) -3/4"

CONCRETE FOOTINGS

THE CONTRACTOR SHALL LOCATE ALL SITE SERVICES PRIOR TO EXCAVATION.

BEARING SURFACES SHALL BE INSPECTED BY A QUALIFIED INSPECTOR TO VERIFY THE ALLOWABLE BEARING CAPACITY AND TO ENSURE ALL LOOSE AND DISTURBED MATERIAL HAS BEEN REMOVED AND REPLACED WITH COMPACTED GRANULAR MATERIAL.

POUR JOINTS IN THE FOUNDATION SHALL BE APPROVED BY THE ENGINEER.

CAST-IN-PLACE PILES

THE CONTRACTOR SHALL LOCATE ALL SITE SERVICES PRIOR TO PILING.

ALL HOLES SHALL BE DRILLED TO THE DEPTHS AND DIAMETERS SHOWN ON THE DRAWINGS. BEACH ROCKE ENGINEERING LTD. SHALL BE NOTIFIED IMMEDIATELY IF IT IS IMPOSSIBLE TO ATTAIN THE DEPTHS OR DIAMETERS INDICATED. NO CREDITS OR EXTRAS WILL BE CONSIDERED DUE TO ANY REVISION IN SIZE FROM THE SOIL CONDITIONS ENCOUNTERED.

ALL PILE HOLES SHALL BE POURED WITHIN AN 8 HOUR TIME PERIOD. NO MORE THAN 6 HOLES SHALL BE LEFT OPEN AT ANY TIME.

SLEEVES SHALL BE PLACED THROUGH ANY SOIL THAT MAY SLOUGH DURING CONSTRUCTION OF THE PILE.

CONCRETE SHALL BE PLACED INTO HOLES IN ONE CONTINUOUS POUR IMMEDIATELY AFTER HOLES ARE DRILLED. CONSOLIDATE THE TOP 10 FEET WITH A MECHANICAL VIBRATOR. PROTECT THE TOP OF THE PILE FROM FREEZING WHEN THE TEMPERATURE FALLS BELOW 5 DEGREES CELSIUS. ANY FROZEN CONCRETE WILL BE REJECTED.

PROVIDE FULL LENGTH REINFORCING FOR PILES IN UNHEATED AREAS. PROVIDE A GREASED SONO-TUBE FOR TOP 7'-0" FOR UN-INSULATED EXTERIOR CONCRETE PILES OR PROVIDE A 36" DIAMETER BELL AT THE BOTTOM OF THE PILE LENGTH SPECIFIED ON THE DESIGN DRAWINGS (NOTE: BELL IS TO PROVIDE UPLIFT RESISTANCE ONLY).

CENTER ALL PILES UNDER GRADE BEAMS OR WALLS UNLESS OTHERWISE NOTED.

CAST-IN-PLACE BELLED PILES

THE CONTRACTOR SHALL LOCATE ALL SITE SERVICES PRIOR TO PILING.

ALL HOLES SHALL BE DRILLED TO THE DEPTHS AND DIAMETERS SHOWN ON THE DRAWINGS. BEACH ROCKE ENGINEERING LTD. SHALL BE NOTIFIED IMMEDIATELY IF IT IS IMPOSSIBLE TO ATTAIN THE DEPTHS OR DIAMETERS INDICATED.

ALL PILE HOLES SHALL BE POURED WITHIN AN 8 HOUR TIME PERIOD. NO MORE THAN 6 HOLES SHALL BE LEFT OPEN AT ANY TIME.

SLEEVES SHALL BE PLACED THROUGH ANY SOIL THAT MAY SLOUGH DURING CONSTRUCTION OF THE PILE.

CONCRETE SHALL BE PLACED INTO HOLES IN ONE CONTINUOUS POUR IMMEDIATELY AFTER HOLES ARE DRILLED. CONSOLIDATE THE TOP 10 FEET WITH A MECHANICAL VIBRATOR. PROTECT THE TOP OF THE PILE FROM FREEZING WHEN THE TEMPERATURE FALLS BELOW 5 DEGREES CELSIUS. ANY FROZEN CONCRETE WILL BE REJECTED.

PROVIDE FULL LENGTH REINFORCING FOR PILES IN UNHEATED AREAS.

CENTER ALL PILES UNDER GRADE BEAMS OR WALLS UNLESS OTHERWISE NOTED.

THICKENED EDGE SLAB ON GRADE

THE CONTRACTOR SHALL LOCATE ALL SITE SERVICES PRIOR TO EXCAVATION.

THICKENED EDGE SLAB-ON-GRADE FOUNDATIONS SHALL BEAR ON NATIVE UNDISTURBED SOIL WITH AN ALLOWABLE BEARING CAPACITY OF 1500 PSF.

STRIP THE SITE OF ALL ORGANIC MATERIAL TO EXPOSE NATIVE UNDISTURBED SOIL WHERE FOUNDATIONS ARE TO BE INSTALLED.

PROOF ROLL UNDISTURBED SOIL TO IDENTIFY ANY SOFT SPOTS. ALL SOFT SPOTS SHALL BE SUB-CUT AND REMOVED. REPLACE SOFT SPOTS WITH 6" LIFTS OF COMPACTED GRANULAR "C" BASE.

THE COMPACTION OF ALL GRANULAR ("C" BASE MATERIAL) SHALL BE 98% MINIMUM.

THE POUR JOINTS IN THE FOUNDATION SHALL BE APPROVED BY THE ENGINEER.

ADDITIONS OR RENOVATIONS

PRIOR TO ADDRESSING THE FRAMING FOR THE STRUCTURAL RENOVATION WORK SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL EXPOSE ALL THE EXISTING STRUCTURAL FRAMING THAT WILL BE AFFECTED AND/OR CHANGED BY THE RENOVATION WORK. THIS STRUCTURAL FRAMING SHALL BE INSPECTED AND REVIEWED BEFORE ANY RENOVATION WORK IS DONE, SO AS TO ENSURE THAT THE PROPOSED STRUCTURAL RENOVATION WORK IS FEASIBLE, OR CHANGES AND/OR ADJUSTMENTS TO THE DRAWINGS ARE REQUIRED. BEACH ROCKE ENGINEERING LTD. WILL ACCEPT NO RESPONSIBILITY AND/OR LIABILITIES IF THIS INSPECTION AND REVIEW IS NOT DONE.

WOOD NOTES

ALL LUMBER COMPONENTS SHALL BE DESIGNED AND FABRICATED IN ACCORDANCE WITH THE CAN/CSA-086-09.

ALL LUMBER SHALL CONFORM TO "NLGA STANDARD GRADING RULES FOR CANADIAN LUMBER", AND THE GRADE SHALL BE CLEARLY IDENTIFIED ON ALL PRODUCTS.

ALL DIMENSIONAL LUMBER SHALL BE NO.2 GRADE, OR BETTER, UNLESS NOTED OTHERWISE ON DRAWINGS.

FRAMED WALLS AND ROOF SYSTEMS SHALL BE ADEQUATELY BRACED UNTIL CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL SUPPLY AND ERECT ALL BRACING NECESSARY TO PROVIDE STABILITY FOR THE STRUCTURE AS A WHOLE, INCLUDING DURING THE CONSTRUCTION PHASE.

SHEATHING AND STRUCTURAL ACCESSORIES SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

FASTENERS USED FOR FRAMING IN LUMBER ABOVE GRADE SHALL BE: HOT-DIPPED AND GALVANIZED.

FASTENERS USED FOR FRAMING IN LUMBER BELOW GRADE SHALL BE STAINLESS STEEL (TYPES 304 AND 316) FOR PRESERVATIVE-TREATED LUMBER CONFORMING TO CSA B111-1974.

LUMBER IN CONTACT WITH SOIL SHALL BE PRESERVATIVE-TREATED IN ACCORDANCE WITH THE CAN/CSA-080 SERIES-08. THE CUT ENDS AND DRILLED HOLES OF TREATED LUMBER SHALL BE TREATED WITH 3 COATS OF PRESERVATIVES.

JOINTS AND HOLES BELOW GRADE SHALL BE SEALED WITH BUTYL CAULKING COMPOUND OR EQUAL CONFORMING TO CGSB 19-GP-13 OR CGSB 19-GP-14, INSTALLED TO PROVIDE A WATER-TIGHT SEAL.

ALL STRUCTURAL ENGINEERED WOOD (TIMBERSTRAND, MICROLLAM, PARALLAM, GLUE-LAMINATED, ETC) PRODUCTS SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE CAN/CSA-086-09 TO SATISFY LOADING CONDITIONS NOTED ON THE DRAWINGS AND LOCAL BUILDING CODE REQUIREMENTS.

FASTEN EXTERIOR SHEATHING AT 6" O.C. AT EDGES, AND 12" O.C. AT INTERMEDIATE MEMBERS.

ALL LINTELS 5'-0" OR LESS SHALL BE 2-2x10 SPF NO.1/2 C/W 1 CRIPPLE, 1 KING STUDS, UNLESS NOTED.

ALL LINTELS 5'-0" TO 8'-0" SHALL BE 3-2x10 SPF NO.1/2 C/W 2 CRIPPLE, 1 KING STUDS, UNLESS NOTED.

ALL LINTELS 8'-0" TO 10'-0" SHALL BE 3-2x12 SPF NO.1/2 C/W 2 CRIPPLE, 1 KING STUDS, UNLESS NOTED.

PROVIDE METAL HANGERS AT ALL FLUSH BEAM AND JOIST CONNECTIONS.

ALL FLOOR JOISTS SHALL HAVE BRIDGING AT 6'-10" MAX O/C UNLESS NOTED.

ROOF TRUSSES SHALL BE SEPARATED BETWEEN HEATED & UNHEATED AREAS.

WOOD BEAM SPLICES SHALL MEET MBC A-9.23.8.3. "JOINT LOCATIONS IN BUILT-UP BEAMS".

POSTS SUPPORTING GIRDERS AND/OR BEAMS SHALL HAVE FULL BEARING UNLESS NOTED OTHERWISE.

STRUCTURAL STEEL

STRUCTURAL STEEL SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE CAN/CSA-S16-09 BY FULLY CERTIFIED MEMBERS OF THE CANADIAN INSTITUTE OF STEEL CONSTRUCTION.

ALL STRUCTURAL STEEL SHALL CONFORM TO THE CAN/CSA G40.21-350W CLASS C TO SIZES AND SHAPES INDICATED ON THE DRAWINGS. ALL ANGLES AND PLATES SHALL BE G40.21-300W. NO SUBSTITUTIONS IN GRADES OR SIZES ARE PERMITTED WITHOUT WRITTEN APPROVAL OF BEACH ROCKE ENGINEERING LTD.

ALL FABRICATION SHALL BE CARRIED OUT IN PLANT FACILITIES CERTIFIED BY THE CANADIAN WELDING BUREAU TO CSA S16-09 AND S136. SITE FABRICATION IS NOT PERMITTED WITHOUT WRITTEN APPROVAL FROM BEACH ROCKE ENGINEERING LTD.

ALL WELDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CSA W59 BY WELDERS FULLY CERTIFIED FOR STRUCTURAL WELDING BY THE CANADIAN BUREAU TO CSA W47.1. ALL BASE AND CAP PLATES SHALL BE FULLY WELDED TO COLUMNS.

STRUCTURAL FASTENERS SHALL BE A325 BOLTS. ANCHOR BOLTS SHALL BE 18" LONG C/W 3" HOOK (A307) UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS. BASE AND CAP PLATES SHALL BE 1/2" THICK. CAP PLATES TO HAVE MIN. 4 BOLT (A325) CONNECTION UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS.

PROVIDE TEMPORARY GUYING AND BRACING AS NECESSARY TO PROVIDE STABILITY FOR THE WHOLE STRUCTURE UNTIL DECKING AND PERMANENT BRACING ARE SECURED IN PLACE.

HOLES ARE NOT PERMITTED IN THE TOP FLANGES UNLESS NOTED OTHERWISE ON THE DRAWINGS.

INTERIOR STEEL SHALL BE PAINTED WITH ONE COAT OF RED OXIDE PRIMER, AFTER HAVING BEEN CLEANED TO SSPC-SP2.

CLEAN ALL FIELD WELDS AND TOUCH UP WITH PRIMER TO MATCH SHOP COAT.

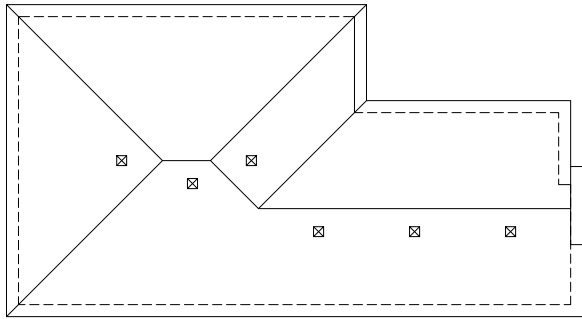
DESIGN AND FABRICATE CONNECTIONS FOR THE FULL STRENGTH OF THE MEMBER. SPICING OF MEMBERS IS NOT PERMITTED UNLESS WRITTEN APPROVAL FROM BEACH ROCKE ENGINEERING LTD. HAS BEEN PROVIDED.

ALL STEEL EXPOSED TO WEATHER SHALL BE GALVANIZED.

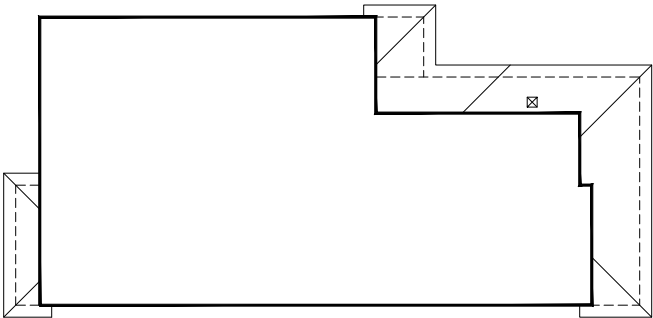
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JOB#	BONV 011.003	LOT: 3	BLK: 11	PLAN: 67601	*NOTE: SITE PLAN BY AREA SURVEYOR*	SPEC:	MODEL: QUEST C2	ADDRESS: 435 Crestmont Drive, Winnipeg, MB	DRAWN BY: MF	DATE: 2021/06/07	YEAR/MONTH/DAY	DATE	NOTES	PAGE	
														1	
														OF	9
														1. DO NOT SCALE DIMENSIONS 2. Contractor shall verify specifications & dimensions. Any discrepancies shall be reported to Daytona Homes for clarification and/or revision. 3. These drawings are the property of Daytona Homes. Do not use or reproduce them without their consent. 4. Drawings are never 100% accurate. As such, Daytona Homes reserves the right to make corrections to errors on plans.	





MAIN ROOF PLAN  
SCALE: 1/16" = 1'-0"



LOWER ROOF PLAN  
SCALE: 1/16" = 1'-0"

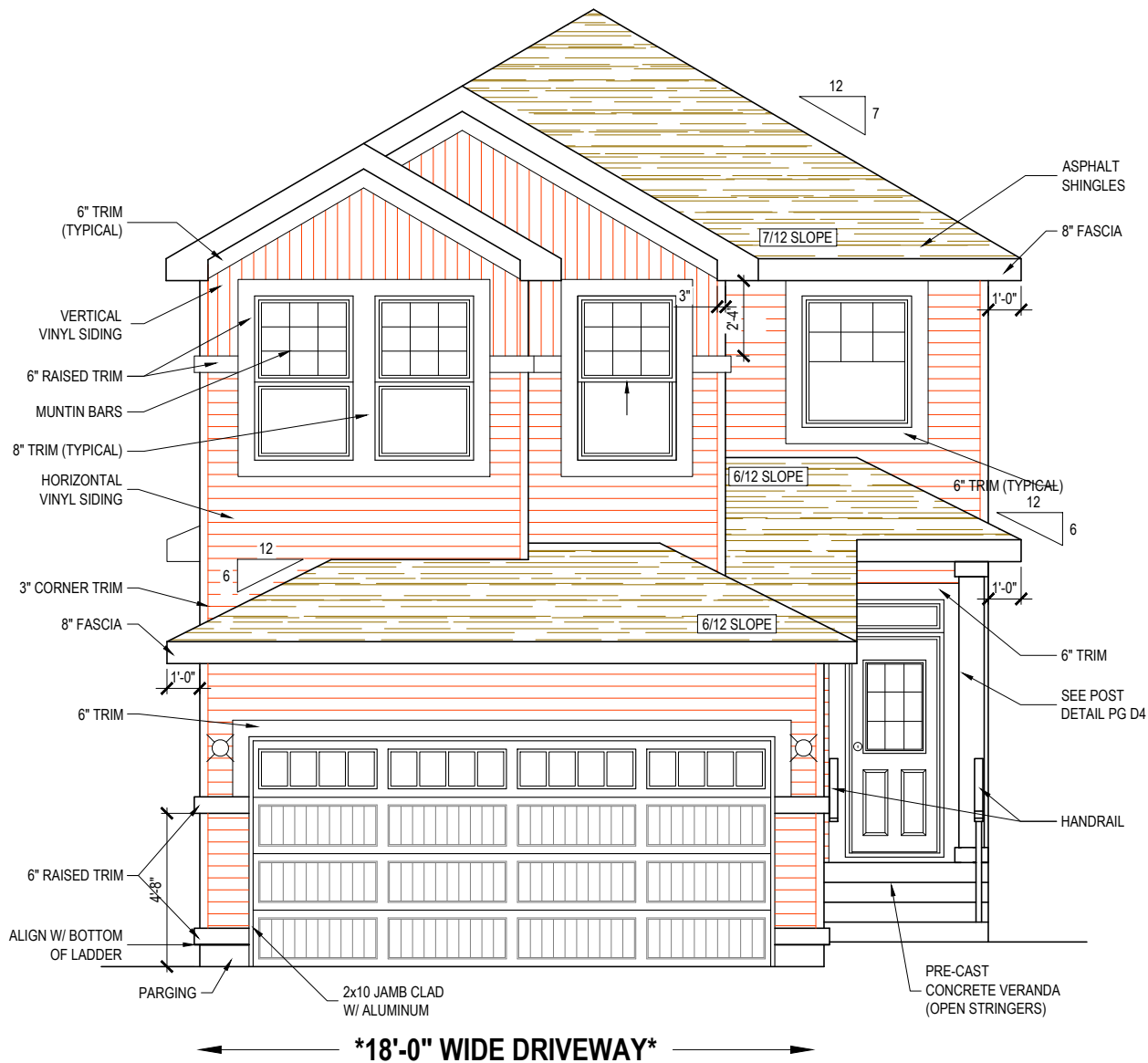
WINDOW CONSTRUCTION  
-HS1A GLASS MIN. U-VALUE 1.25

HEIGHT OF WINDOWS  
ARE @ 7'-0" FROM TOP TO  
THE FLOOR TO TOP OF WINDOW

(CALCULATION FOR EACH UNIT SEPARATELY)

VENTING SOFFIT REQUIREMENTS	
TOTAL INSULATED CEILING AREA	540 sq.ft
1/300 OF CEILING AREA	1.80 sq.ft
25% OF CEILING AREA ON TOP & BOTTOM OF SPACE	0.45 sq.ft

DAYTONA HOMES INC. ACKNOWLEDGES THE TOTAL AMOUNT OF VENTING SOFFITS REQUIRED BASED ON NATIONAL BUILDING CODE OF CANADA AND WILL CONFORM TO THE REVISIONS. SHADED AREA ON ROOF PLAN SHOWS WHERE NON-VENTED SOFFITS WILL BE LOCATED.DAYTONA HOMES WILL BE USING 0.018" UNPERFORATED ALUM. SOFFIT AND WILL PROVIDE EXTRA ROOF VENTING AS REQUIRED. WILL BE USING 7/16" PLYWOOD TO SEAL TRANSITION BETWEEN NON-VENTED TO VENTED AREAS

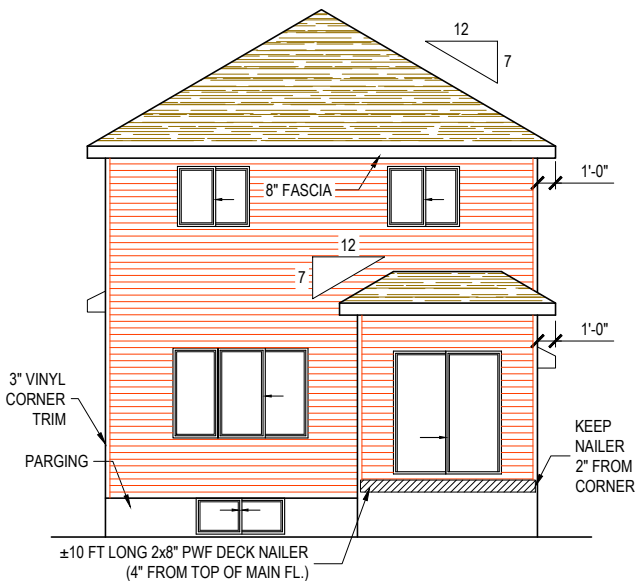


FRONT ELEVATION  
SCALE: 3/16" = 1'-0"

ELEVATION C2 - STANDARD

DEVELOPMENT AREA

FUTURE BASEMENT (N.I.C.) =	474 sq.ft.
MAIN FLOOR =	692 sq.ft.
SECOND FLOOR =	954 sq.ft.
TOTAL =	1,646 sq.ft.



REAR ELEVATION  
SCALE: 3/32" = 1'-0"

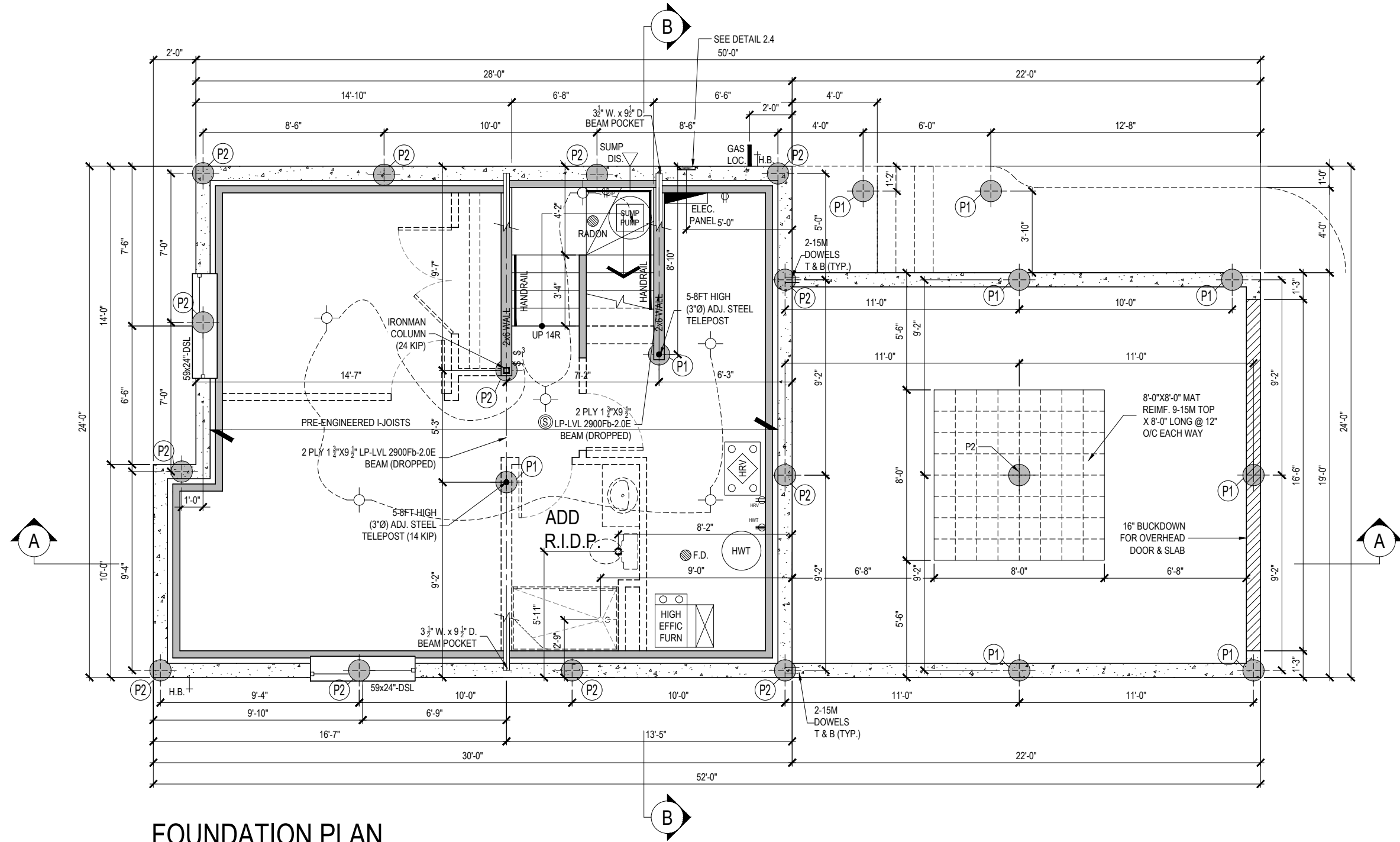
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signature(s)

date







FOUNDATION PLAN  
SCALE: 3/16" = 1'-0"

NOTE:  
ROOM LAYOUT SHOWN WITH DASHED LINES  
IS A SUGGESTED LAYOUT FOR BASEMENT  
DEVELOPMENT FOR USE AS A FUTURE  
REFERENCE ONLY  
  
NO IMMEDIATE BASEMENT DEVELOPMENT

NOTE: MECHANICAL ROOM LAYOUT MAY  
VARY FROM THE BLUEPRINT IN ORDER TO  
ACHIEVE THE HIGHEST EFFICIENCIES

- PILE LEGEND**
- P1 16"Øx 20'-0" PILE  
C/W 1-20M VERT
  - P2 16"Øx25'-0" PILE  
C/W 1-20 M VERT

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JOB # **BONV 011.003**

LOT: 3 BLK: 11 PLAN: 67601  
\*NOTE: SITE PLAN BY AREA SURVEYOR\*

SPEC:

MODEL: QUEST C2

ADDRESS: 435 Crestmont Drive, Winnipeg, MB

DRAWN BY: MF

DATE: 2021/06/07

NOTES

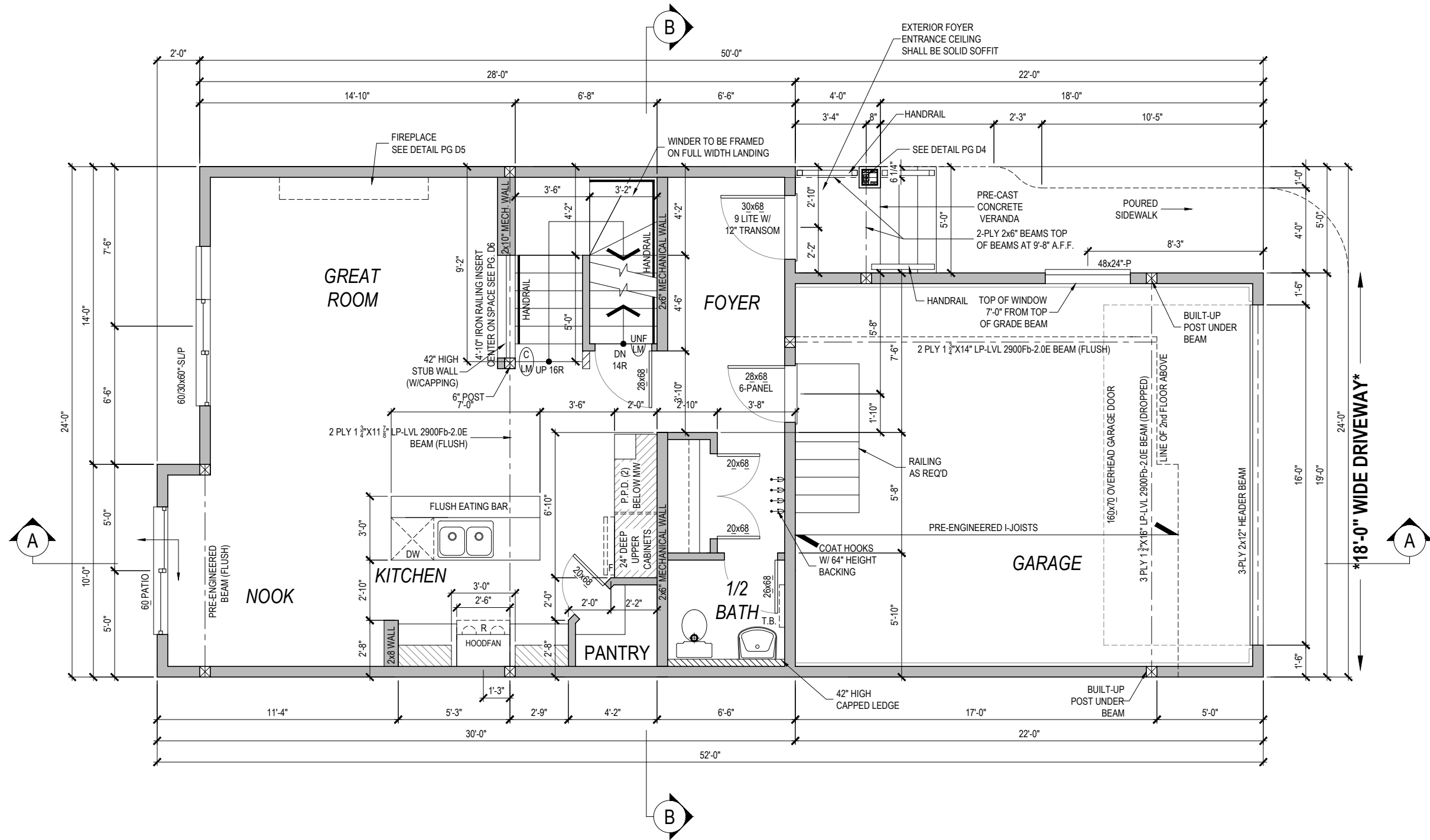
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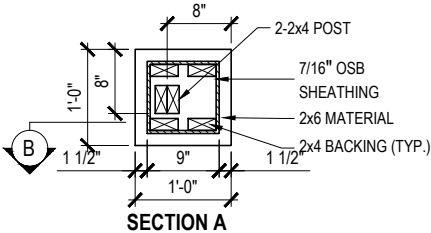


MAIN FLOOR PLAN  
SCALE: 3/16" = 1'-0"

TRU-SEAL ATTIC HATCH NOTE:  
THE ROUGH OPENING SIZE IS 22 1/2"X26"  
INSIDE OF FRAMING. INSULATION OSB (DEPTH 20")  
IS FASTENED TO INSIDE OF THIS OPENING  
(UP 1 1/2" FROM BOTTOM OF FRAMING)

10 1/16" STAIR RUN  
(SEE SECTIONS FOR DETAILS)


COLUMN DETAIL  
SCALE: 1/2" = 1'-0"  
MORE DETAIL SEE PAGE D4



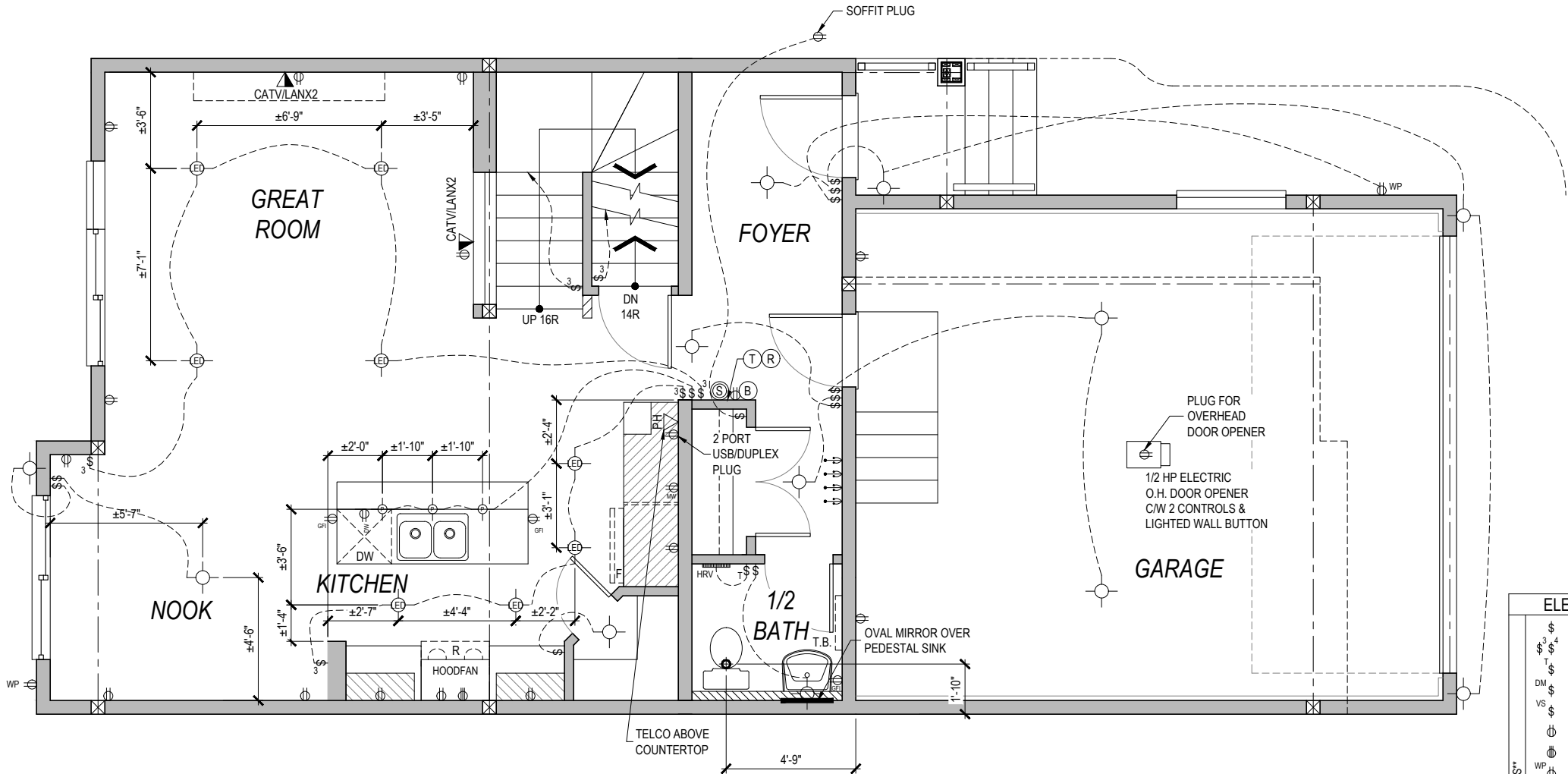
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date

			JOB # <b>BONV 011.003</b>		MODEL: QUEST C2		NOTES	PAGE
LOT: 3    BLK: 11    PLAN: 67601 *NOTE: SITE PLAN BY AREA SURVEYOR*			ADDRESS: 435 Crestmont Drive, Winnipeg, MB		DRAWN BY: MF		1. DO NOT SCALE DIMENSIONS 2. Contractor shall verify specifications & dimensions. Any discrepancies shall be reported to Daytona Homes for clarification and/or revision. 3. These drawings are the property of Daytona Homes. Do not use or reproduce them without their consent. 4. Drawings are never 100% accurate. As such, Daytona Homes reserves the right to make corrections to errors on plans.	4
SPEC:								
			DATE: 2021/06/07		YEAR/MONTH/DAY		OF	9





MAIN FLOOR PLAN (ELECTRICAL)  
SCALE: 3/16" = 1'-0"

ELECT. / MECH. LEGEND	
	SWITCH
	3 OR 4 WAY SWITCH
	VENT TIMER SWITCH
	DIMMER SWITCH
	VARIABLE SPEED SWITCH
	110V OUTLET
	220V OUTLET
	WEATHERPROOF OUTLET
	LIGHT FIXTURE
	LED POT-LIKE LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	PUCK LIGHT FIXTURE
	CABLE OUTLET
	TELEPHONE OUTLET
	STRUCTURED CABLE OUTLET
	EXHAUST FAN
	SMOKE / CARBON MONOXIDE ALARM
	SMOKE ALARM
	THERMOSTAT
	DOOR BELL CHIME
	HRV CONTROLLER
	CEILING MOUNT HEAT REGISTER
	CEILING MOUNT RETURN AIR
	HEAT REGISTER
	RETURN AIR
	HRV AIR RETURN

DRAWINGS INDICATE APPROXIMATE LOCATION OF ELECTRICAL & MECHANICAL OUTLETS. FINAL POSITION MAY VARY DUE TO STRUCTURAL OR CODE REQUIREMENTS.

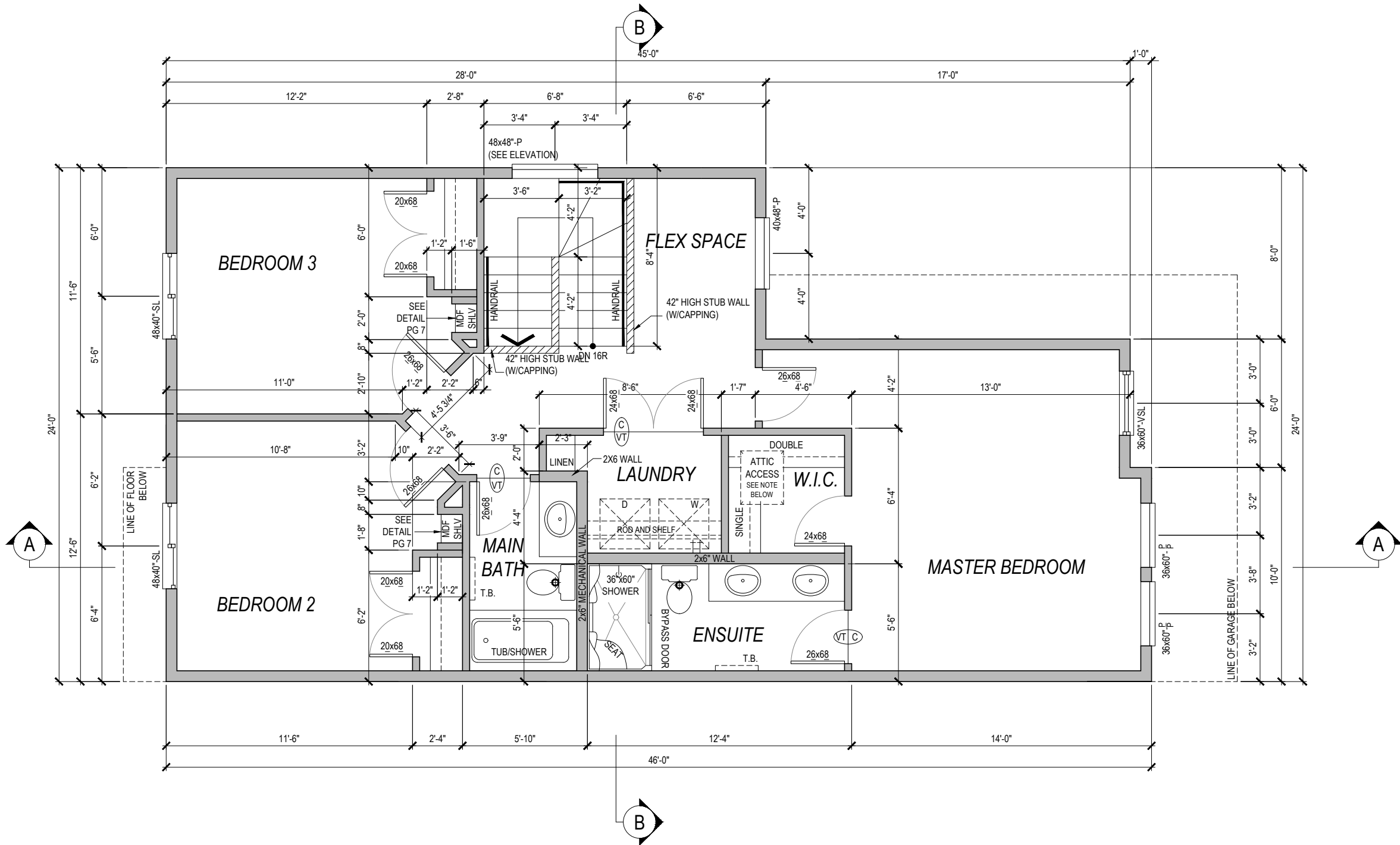
\*Symbols not shown here are as noted on plans

I/We have reviewed these plans and understand the house will be built according to these plans except for additional changes as noted on change orders returned with these plans. I/We further agree that there are no outstanding verbal commitments not documented on these signed plans or change orders.

signature(s)

date

	JOB # <b>BONV 011.003</b>		MODEL: QUEST C2		NOTES 1. DO NOT SCALE DIMENSIONS 2. Contractor shall verify specifications & dimensions. Any discrepancies shall be reported to Daytona Homes for clarification and/or revision. 3. These drawings are the property of Daytona Homes. Do not use or reproduce them without their consent. 4. Drawings are never 100% accurate. As such, Daytona Homes reserves the right to make corrections to errors on plans.	PAGE 5 OF 9
	LOT: 3	BLK: 11	PLAN: 67601	ADDRESS: 435 Crestmont Drive, Winnipeg, MB		
	*NOTE: SITE PLAN BY AREA SURVEYOR*		DRAWN BY: MF			
	SPEC:		DATE: 2021/06/07			



SECOND FLOOR PLAN  
SCALE: 3/16" = 1'-0"


TRU-SEAL ATTIC HATCH NOTE:  
THE ROUGH OPENING SIZE IS 22 1/2"x26"  
INSIDE OF FRAMING. INSULATION OSB (DEPTH 20")  
IS FASTENED TO INSIDE OF THIS OPENING  
(UP 1 1/2" FROM BOTTOM OF FRAMING)

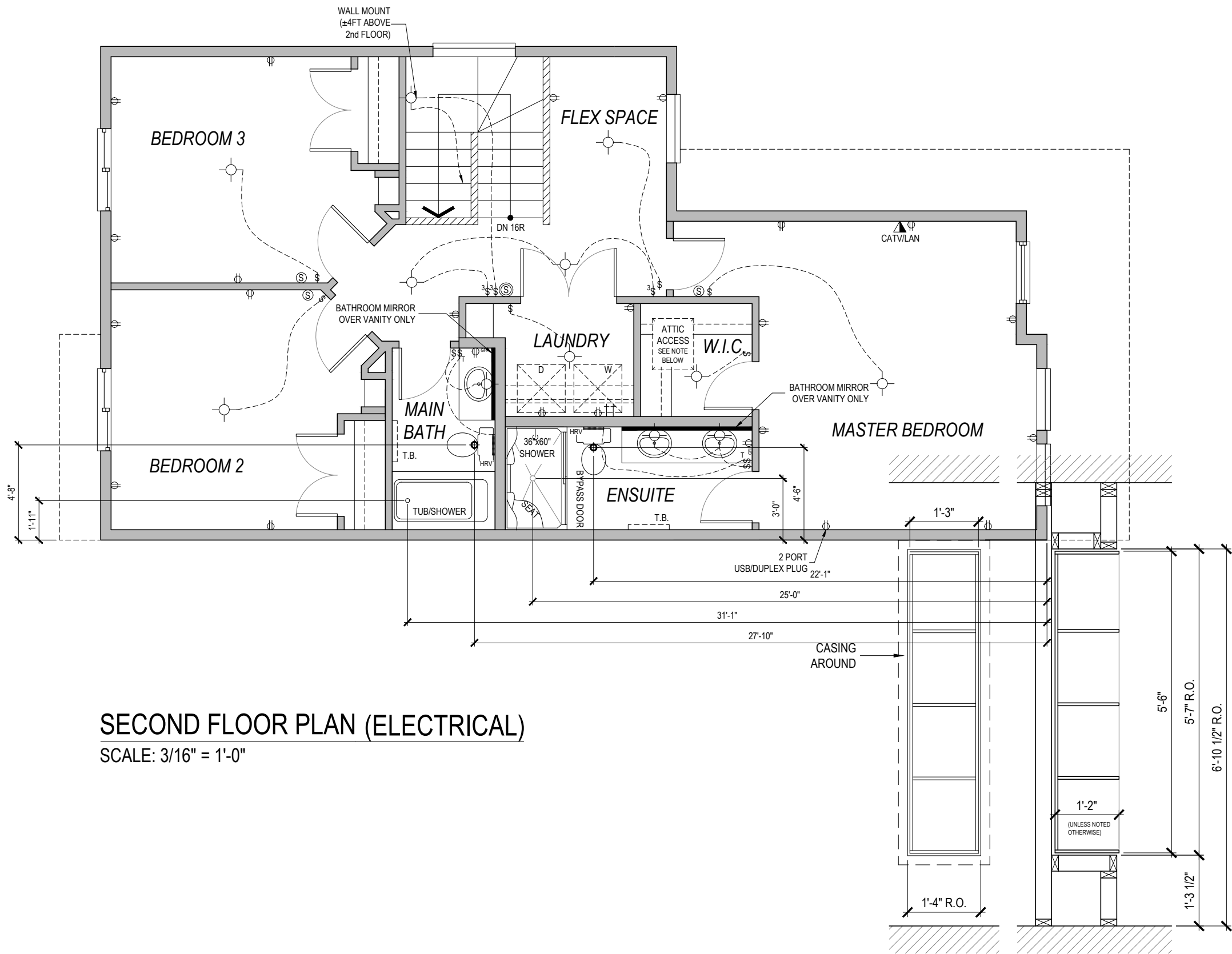
NOTE:  
LAUNDRY ROOM COUNTERTOP HEIGHT  
SHOWN IS TO ACCOMMODATE  
FUTURE FRONT LOADING  
WASHER AND DRYER **ONLY**

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	JOB # <b>BONV 011.003</b>		MODEL: <b>QUEST C2</b>		NOTES 1. DO NOT SCALE DIMENSIONS 2. Contractor shall verify specifications & dimensions. Any discrepancies shall be reported to Daytona Homes for clarification and/or revision. 3. These drawings are the property of Daytona Homes. Do not use or reproduce them without their consent. 4. Drawings are never 100% accurate. As such, Daytona Homes reserves the right to make corrections to errors on plans.	PAGE <b>6</b> OF <b>9</b>
	LOT: <b>3</b>	BLK: <b>11</b>	PLAN: <b>67601</b>	ADDRESS: <b>435 Crestmont Drive, Winnipeg, MB</b>		
	*NOTE: SITE PLAN BY AREA SURVEYOR*		DRAWN BY: <b>MF</b>			
	SPEC:		DATE: <b>2021/06/07</b>			



SECOND FLOOR PLAN (ELECTRICAL)  
SCALE: 3/16" = 1'-0"

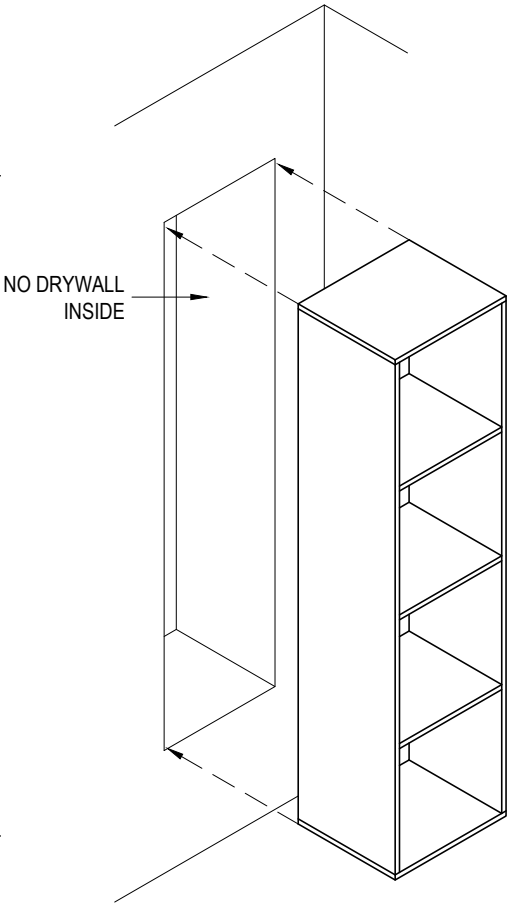
ELECT. / MECH. LEGEND	
	SWITCH
	3 OR 4 WAY SWITCH
	VENT TIMER SWITCH
	DIMMER SWITCH
	VARIABLE SPEED SWITCH
	110V OUTLET
	220V OUTLET
	WEATHERPROOF OUTLET
	LIGHT FIXTURE
	LED POT-LIKE LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
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	SMOKE ALARM
	THERMOSTAT
	DOOR BELL CHIME
	HRV CONTROLLER
	CEILING MOUNT HEAT REGISTER
	CEILING MOUNT RETURN AIR
	HEAT REGISTER
	RETURN AIR
	HRV AIR RETURN

\*\*\*DRAWINGS DO NOT REFLECT UPGRADED LIGHTING PACKAGES\*\*

DRAWINGS INDICATE APPROXIMATE LOCATION OF ELECTRICAL & MECHANICAL OUTLETS. FINAL POSITION MAY VARY DUE TO STRUCTURAL OR CODE REQUIREMENTS.

\*Symbols not shown here are as noted on plans

MDF SHELVING DETAIL  
SCALE: 1/2" = 1'-0"



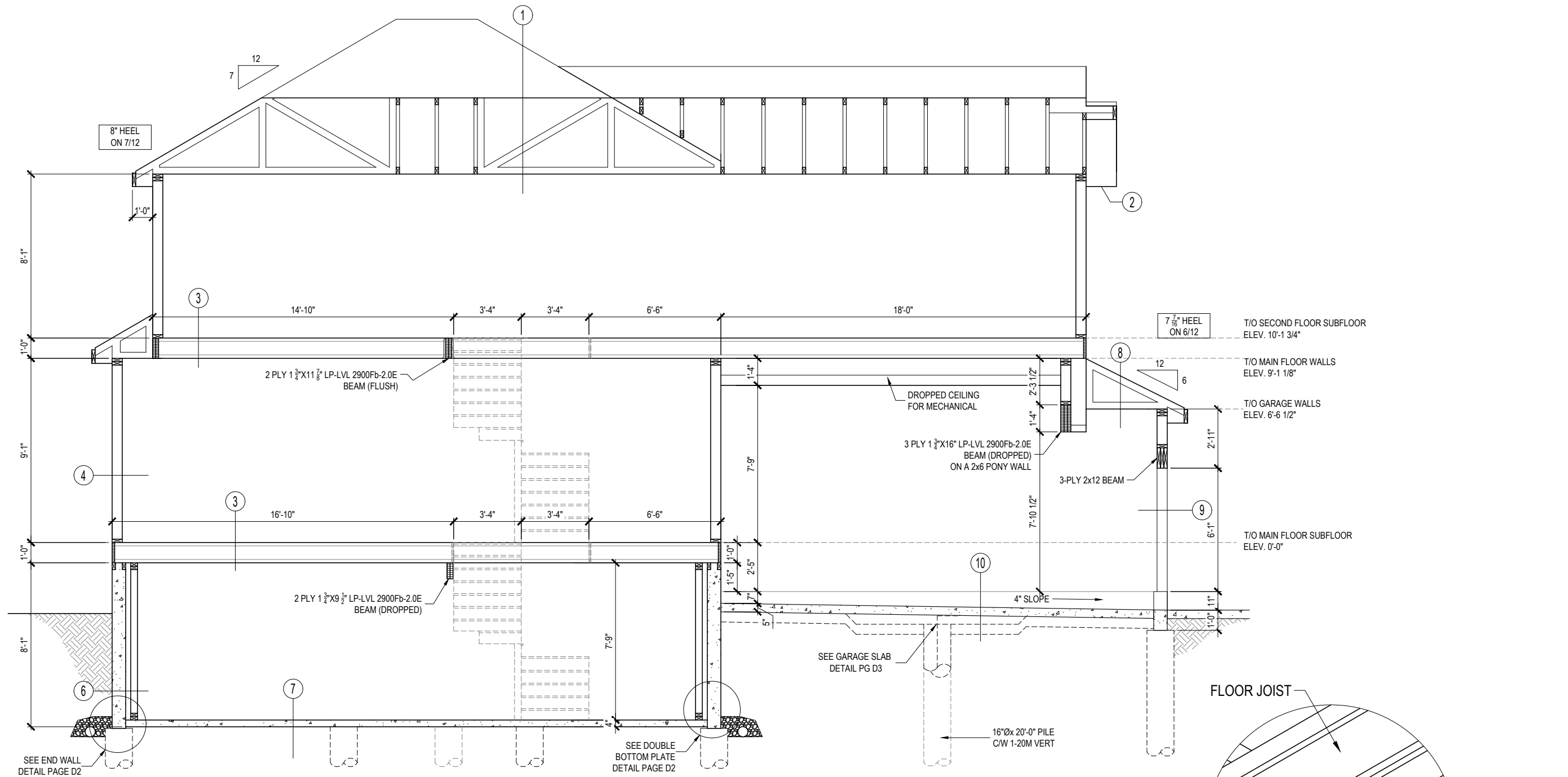
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signature(s)

date

	JOB # <b>BONV 011.003</b>		MODEL: <b>QUEST C2</b>	PAGE <b>7</b> OF <b>9</b>
	LOT: <b>3</b>	BLK: <b>11</b>	ADDRESS: <b>435 Crestmont Drive, Winnipeg, MB</b>	
	PLAN: <b>67601</b>		DRAWN BY: <b>MF</b>	
	*NOTE: SITE PLAN BY AREA SURVEYOR*		DATE: <b>2021/06/07</b>	
	SPEC:			






SECTION A-A  
SCALE: 3/16" = 1'-0"

GARAGE CEILING RAFTER  
MID SPAN SUPPORT

I/We have reviewed these plans and understand the house will be built according to these plans except for additional changes as noted on change orders returned with these plans. I/We further agree that there are no outstanding verbal commitments not documented on these signed plans or change orders.

Signature(s)

Date

<div>Daytona HOMES</div>				JOB # <b>BONV 011.003</b>		MODEL: <b>QUEST C2</b>		NOTES		PAGE	
LOT: <b>3</b>		BLK: <b>11</b>		PLAN: <b>67601</b>		ADDRESS: <b>435 Crestmont Drive, Winnipeg, MB</b>		1. DO NOT SCALE DIMENSIONS		8	
SPEC: <b>*NOTE: SITE PLAN BY AREA SURVEYOR*</b>						DRAWN BY: <b>MF</b>		2. Contractor shall verify specifications & dimensions. Any discrepancies shall be reported to Daytona Homes for clarification and/or revision.		OF	
						DATE: <b>2021/06/07</b>		3. These drawings are the property of Daytona Homes. Do not use or reproduce them without their consent.			
						YEAR/MONTH/DAY: <b>2021/06/07</b>		4. Drawings are never 100% accurate. As such, Daytona Homes reserves the right to make corrections to errors on plans.		9	

- 1

ROOF CONSTRUCTION

-ASPHALT SHINGLES  
-7/16" OSB ROOF SHEATHING  
-ENGINEERED ROOF TRUSSES

CEILING CONSTRUCTION

-R50 LOOSE FILL INSULATION  
-6 MIL VAPOUR BARRIER  
-1/2" DRYWALL (TYPE CD )
- 2

EXTERIOR EAVES

-PREFINISHED ALUMINUM SOFFITS, FASCIA AND EAVES
- 3

FLOOR CONSTRUCTION

-3/4" T&G OSB SUBFLOOR (GLUED AND SCREWED)  
-PRE-ENGINEERED FLOOR SYSTEM
- 4

EXTERIOR WALL CONSTRUCTION

-EXTERIOR WALL FINISH  
-BUILDING PAPER  
-7/16" WALL OSB SHEATHING  
-2x6 STUDS @ 24" O.C.  
-R20 BATT INSULATION  
-6 MIL VAPOUR BARRIER  
-1/2" DRYWALL
- 5

INTERIOR WALL CONSTRUCTION

-2x4 STUDS (UNLESS NOTED) @ 24" O.C.  
-1/2" DRYWALL ON FINISHED SIDE(S)  
-MECHANICAL STUDS TO LINE UP W/ JOIST SPACING
- 6

FOUNDATION CONSTRUCTION

-16"Øx 25'-0" PILES C/W 1-20M REINF. W/ 2-15M BARS @ 3-10M HORIZONTAL EQ SPASED 10M VERTICAL @ 16 O.C. I.F.  
-3 1/2" AIR SPACE C/W R20 BATT INSULATION (STANDARD)  
-2x4 WOOD STUDS @ 24" O.C.  
-6MIL VAPOUR BARRIER
- 7

FLOOR CONSTRUCTION

-4" CONCRETE SLAB  
-6 MIL VAPOUR BARRIER  
-RADON ROCK
- 8

GARAGE ROOF CONSTRUCTION

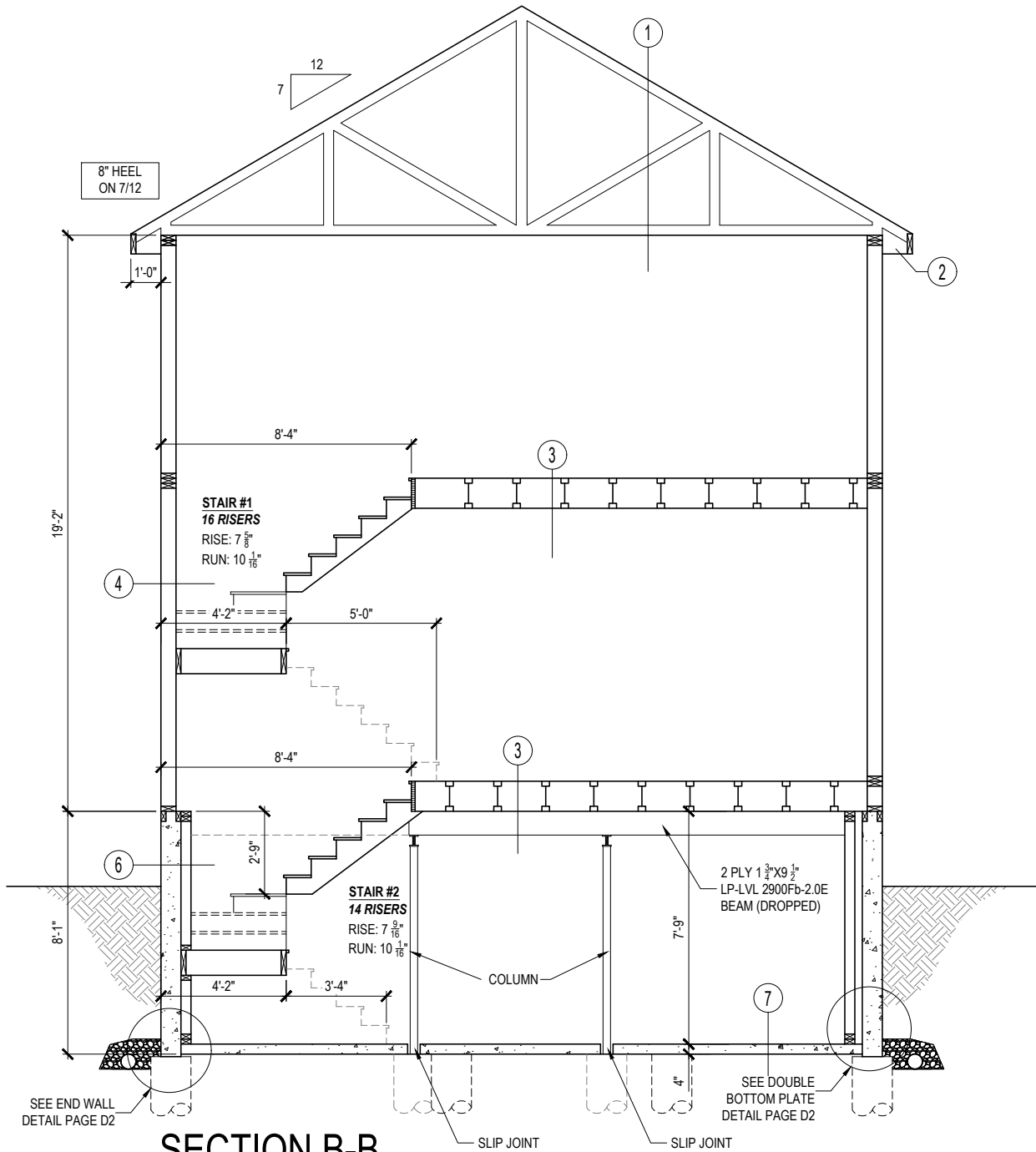
-ASPHALT SHINGLES  
-7/16" OSB ROOF SHEATHING  
-ENGINEERED ROOF TRUSSES
- 9

GARAGE WALL CONSTRUCTION

-7/16" WALL OSB SHEATHING  
-2x6 SPRUCE STUDS @ 24" O.C.  
-R20 BATT INSULATION  
-6 MIL VAPOUR BARRIER  
-1/2" DRYWALL
- 10

GARAGE FOUNDATION & FLOOR CONSTRUCTION

-8" CONCRETE WALL REINF. W/ 2-10M BARS @ TOP & BOTTOM  
-5" CONCRETE SLAB-ON-GRADE 10M @ 18" O/C B.W. BOTTOM  
6 MIL POLY  
6" COMPACTED GRAVEL



SECTION B-B  
SCALE: 3/16" = 1'-0"

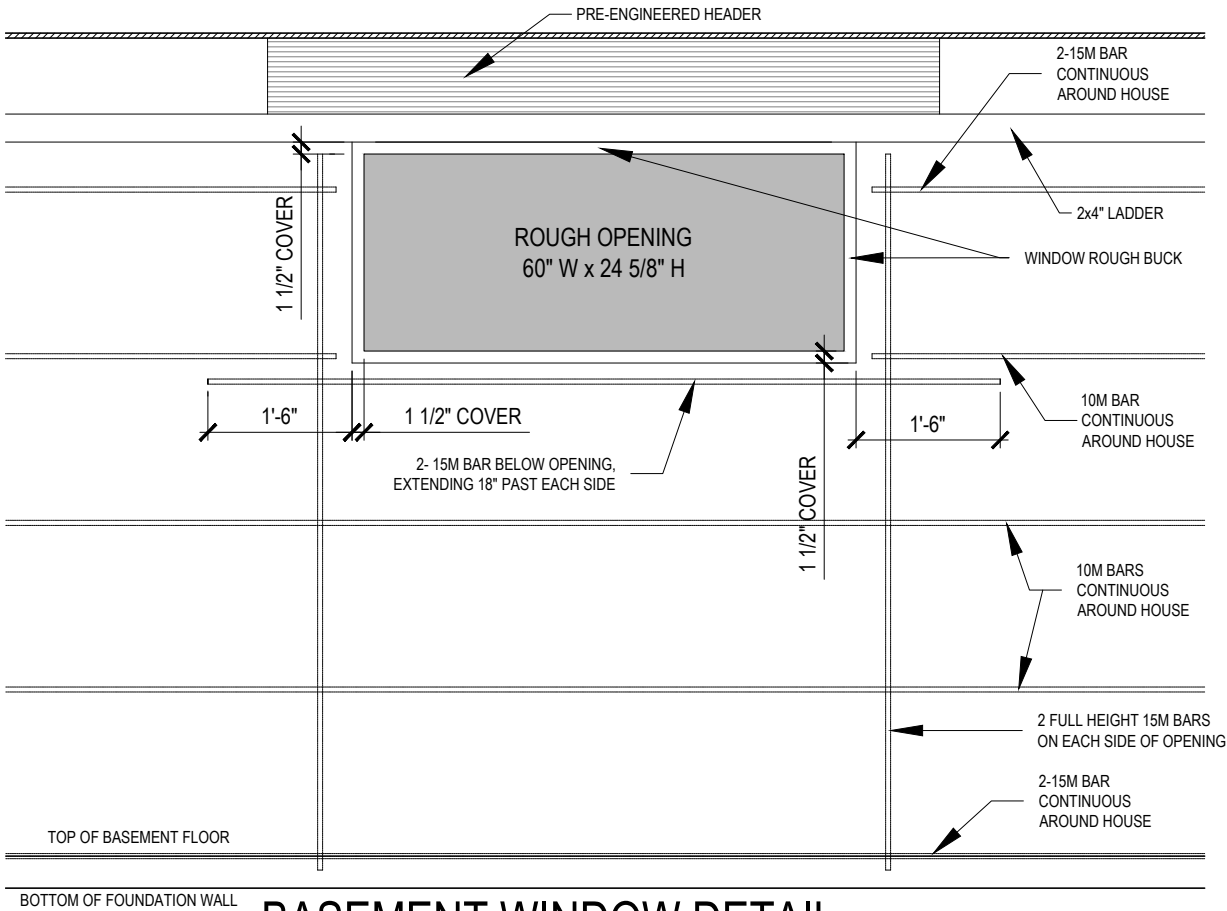
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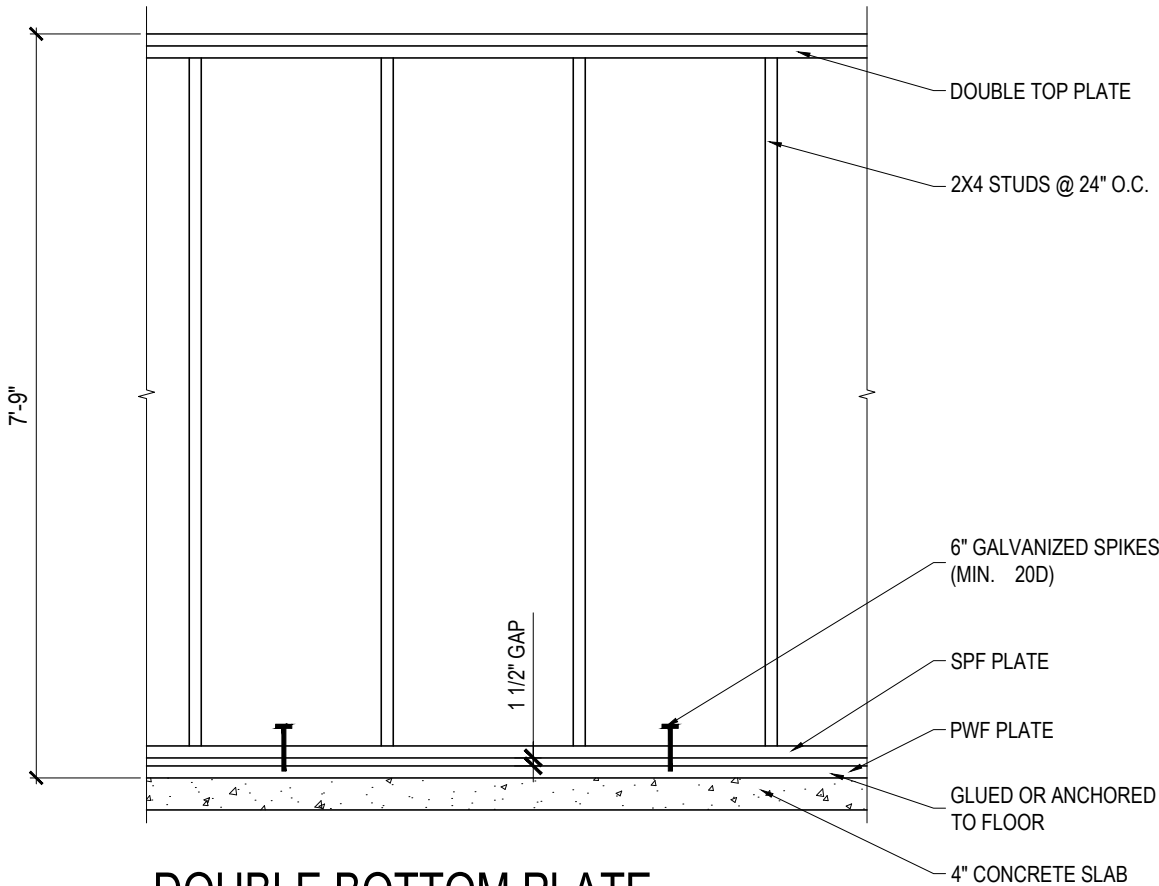
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JOB #	BONV 011.003			MODEL:	QUEST C2		NOTES	PAGE
	LOT: 3	BLK: 11	PLAN: 67601	ADDRESS:	435 Crestmont Drive, Winnipeg, MB		1. DO NOT SCALE DIMENSIONS 2. Contractor shall verify specifications & dimensions. Any discrepancies shall be reported to Daytona Homes for clarification and/or revision. 3. These drawings are the property of Daytona Homes. Do not use or reproduce them without their consent. 4. Drawings are never 100% accurate. As such, Daytona Homes reserves the right to make corrections to errors on plans.	9
*NOTE: SITE PLAN BY AREA SURVEYOR*				DRAWN BY:	MF			OF
SPEC:				DATE:	2021/06/07			9





**BASEMENT WINDOW DETAIL**  
SCALE: 1/2" = 1'-0"




**DOUBLE BOTTOM PLATE  
FROST WALL DETAIL**  
SCALE: 1/2" = 1'-0"

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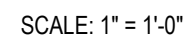
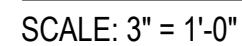
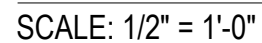
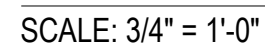
signature(s)


date

	JOB # <b>BONV 011.003</b>		MODEL: <b>QUEST C2</b>	PAGE <b>D1</b>	
	LOT: <b>3</b>	BLK: <b>11</b>	ADDRESS: <b>435 Crestmont Drive, Winnipeg, MB</b>	OF <b>D6</b>	
	PLAN: <b>67601</b>		DRAWN BY: <b>MF</b>	NOTES 1. DO NOT SCALE DIMENSIONS 2. Contractor shall verify specifications & dimensions. Any discrepancies shall be reported to Daytona Homes for clarification and/or revision. 3. These drawings are the property of Daytona Homes. Do not use or reproduce them without their consent. 4. Drawings are never 100% accurate. As such, Daytona Homes reserves the right to make corrections to errors on plans.	
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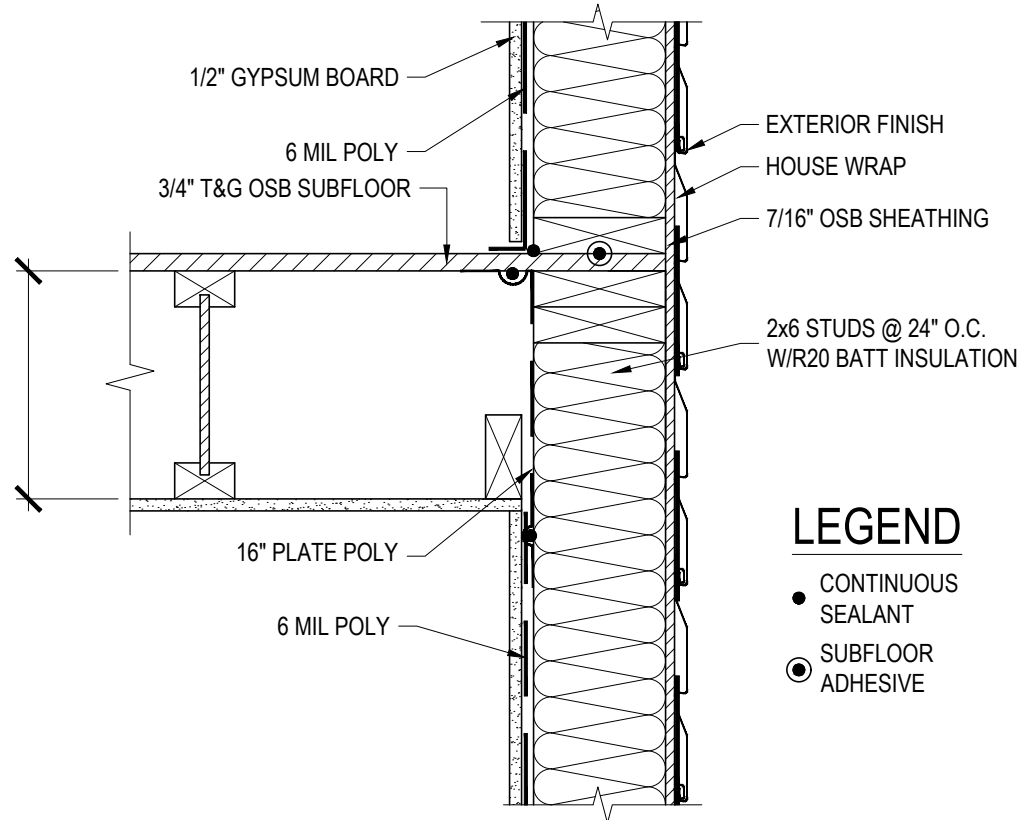






	JOB #		BONV 011.003		MODEL: QUEST C2	NOTES 1. DO NOT SCALE DIMENSIONS 2. Contractor shall verify specifications & dimensions. Any discrepancies shall be reported to Daytona Homes for clarification and/or revision. 3. These drawings are the property of Daytona Homes. Do not use or reproduce them without their consent. 4. Drawings are never 100% accurate. As such, Daytona Homes reserves the right to make corrections to errors on plans.	PAGE
	LOT: 3	BLK: 11	PLAN: 67601	ADDRESS: 435 Crestmont Drive, Winnipeg, MB			
	*NOTE: SITE PLAN BY AREA SURVEYOR*				DRAWN BY: MF		
	SPEC:			DATE: 2021/06/07	OF		

TYPICAL  
ENGINEERED FLOOR  
SYSTEM

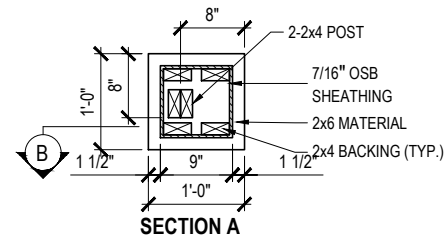


EXTERIOR WALL  
PARALLEL TO SECOND FLOOR JOISTS DETAIL

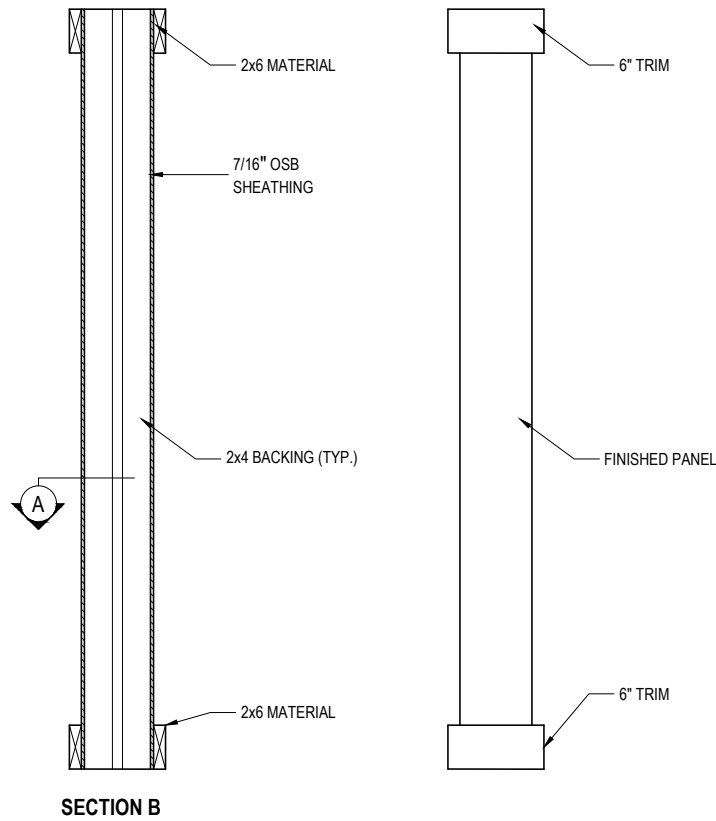
SCALE: 1 1/2" = 1'-0"

LEGEND

- CONTINUOUS SEALANT
- SUBFLOOR ADHESIVE



**\*\* NOTE: COLLARS TO BE PUT ON AFTER SHEATHING & TOP COLLAR TO BE 3/4" DOWN FROM U/S OF FRAMING \*\***




VERANDA POST DETAIL

SCALE: 1/2" = 1'-0"

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signature(s)

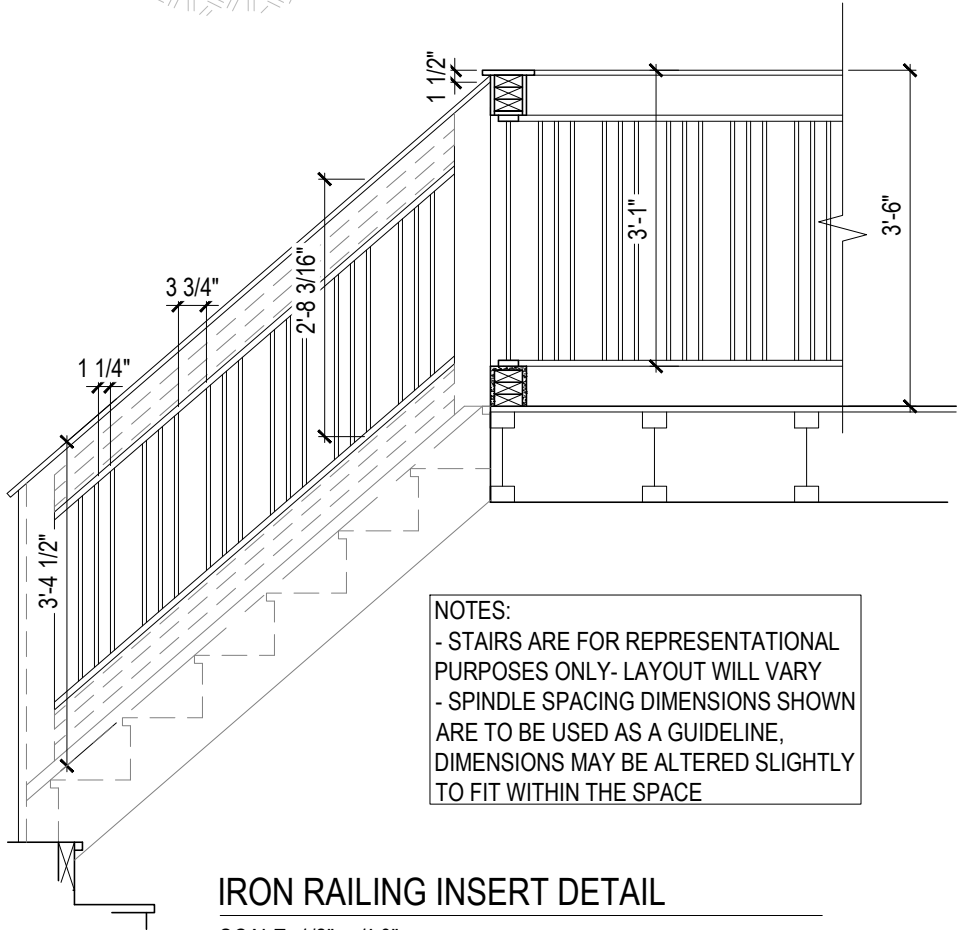
date

	JOB# <b>BONV 011.003</b>			MODEL: QUEST C2	NOTES 1. DO NOT SCALE DIMENSIONS 2. Contractor shall verify specifications & dimensions. Any discrepancies shall be reported to Daytona Homes for clarification and/or revision. 3. These drawings are the property of Daytona Homes. Do not use or reproduce them without their consent. 4. Drawings are never 100% accurate. As such, Daytona Homes reserves the right to make corrections to errors on plans.	PAGE
	LOT: 3	BLK: 11	PLAN: 67601	ADDRESS: 435 Crestmont Drive, Winnipeg, MB		D4
	*NOTE: SITE PLAN BY AREA SURVEYOR*			DRAWN BY: MF		OF
	SPEL:			DATE: YEAR/MONTH/DAY 2021/06/07		D6

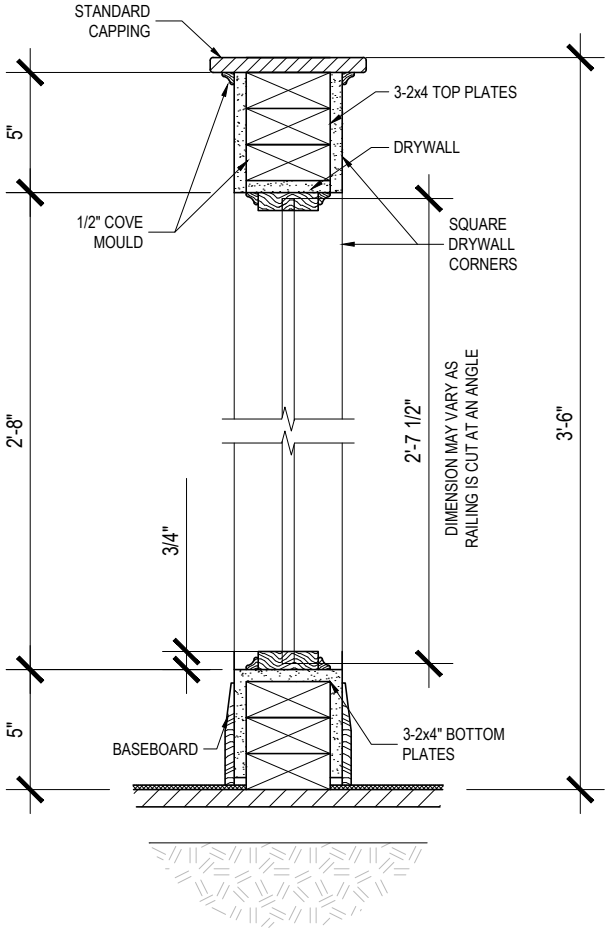
- CONTINUOUS SEALANT
- ◎ SUBFLOOR ADHESIVE



\_\_\_\_\_/We have reviewed these plans and understand the house will be built according to these plans except for additional changes as noted on change orders returned with these plans. I/We further agree that there are no outstanding verbal commitments not documented on these signed plans or change orders.



IRON RAILING INSERT DETAIL  
SCALE: 1/2" = 1'-0"



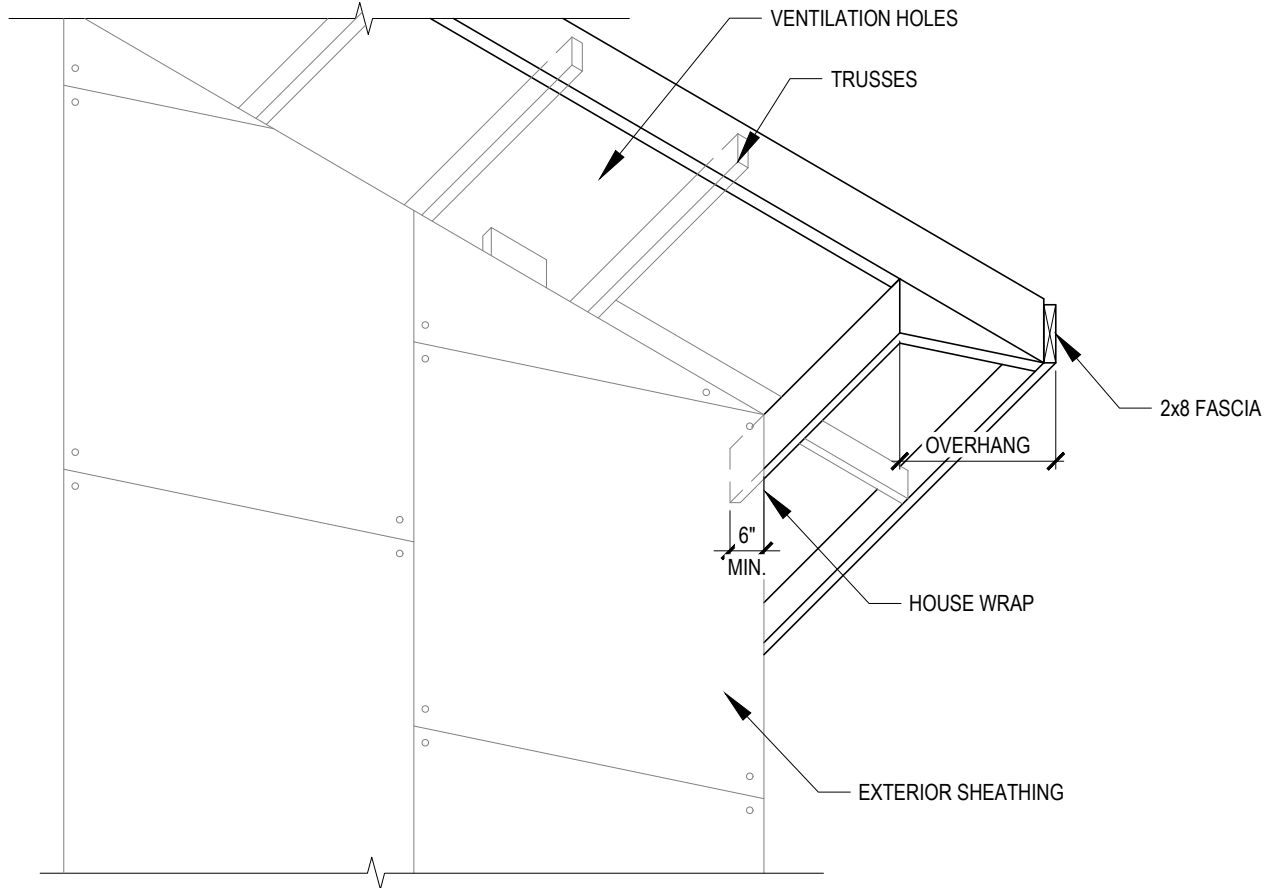
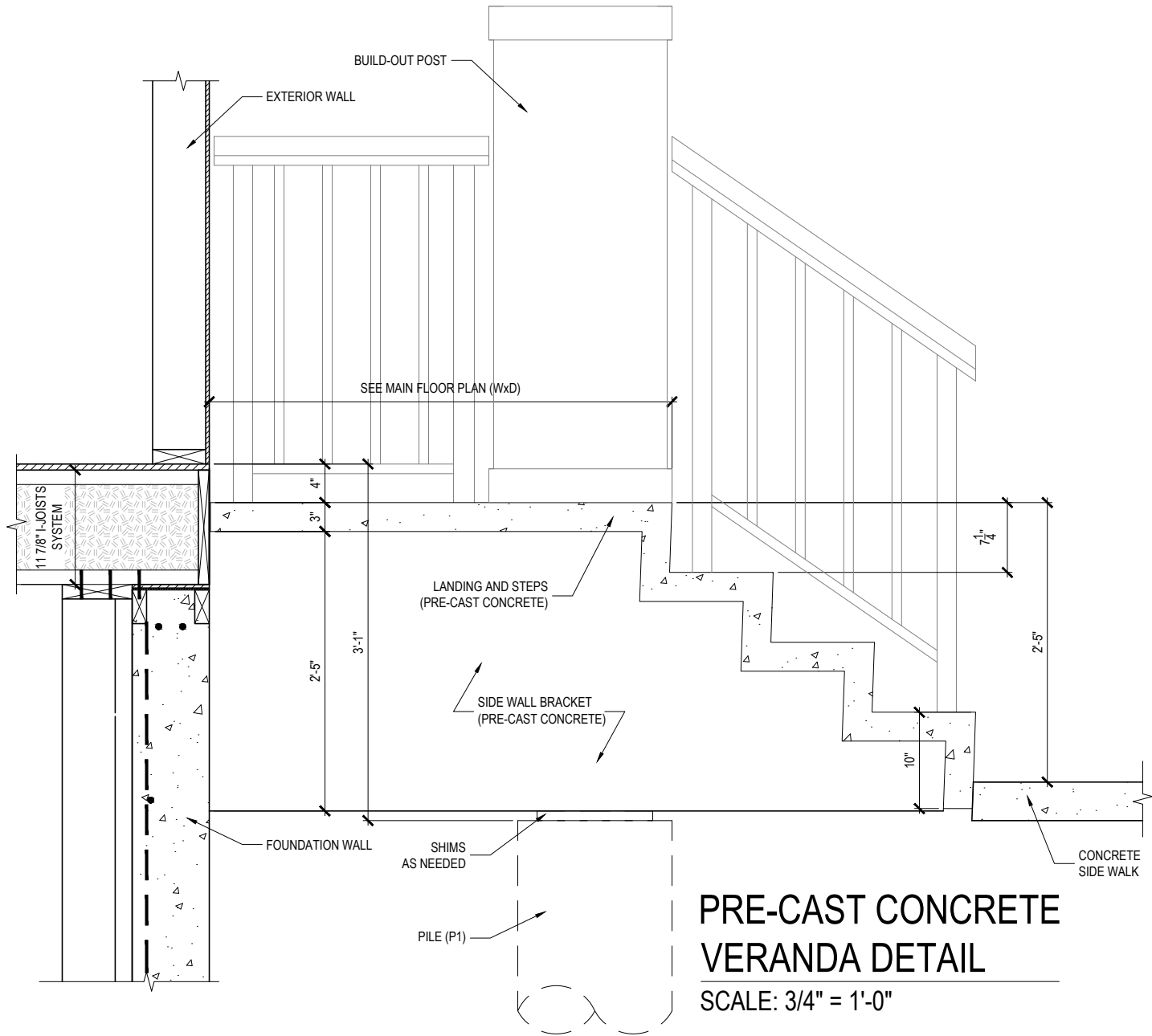
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	JOB # <b>BONV 011.003</b>		MODEL: QUEST C2	NOTES 1. DO NOT SCALE DIMENSIONS 2. Contractor shall verify specifications & dimensions. Any discrepancies shall be reported to Daytona Homes for clarification and/or revision. 3. These drawings are the property of Daytona Homes. Do not use or reproduce them without their consent. 4. Drawings are never 100% accurate. As such, Daytona Homes reserves the right to make corrections to errors on plans.	PAGE
	LOT: 3	BLK: 11	ADDRESS: 435 Crestmont Drive, Winnipeg, MB		<b>D6</b>
	PLAN: 67601		DRAWN BY: MF		OF
	*NOTE: SITE PLAN BY AREA SURVEYOR*		DATE: 2021/06/07		<b>D6</b>




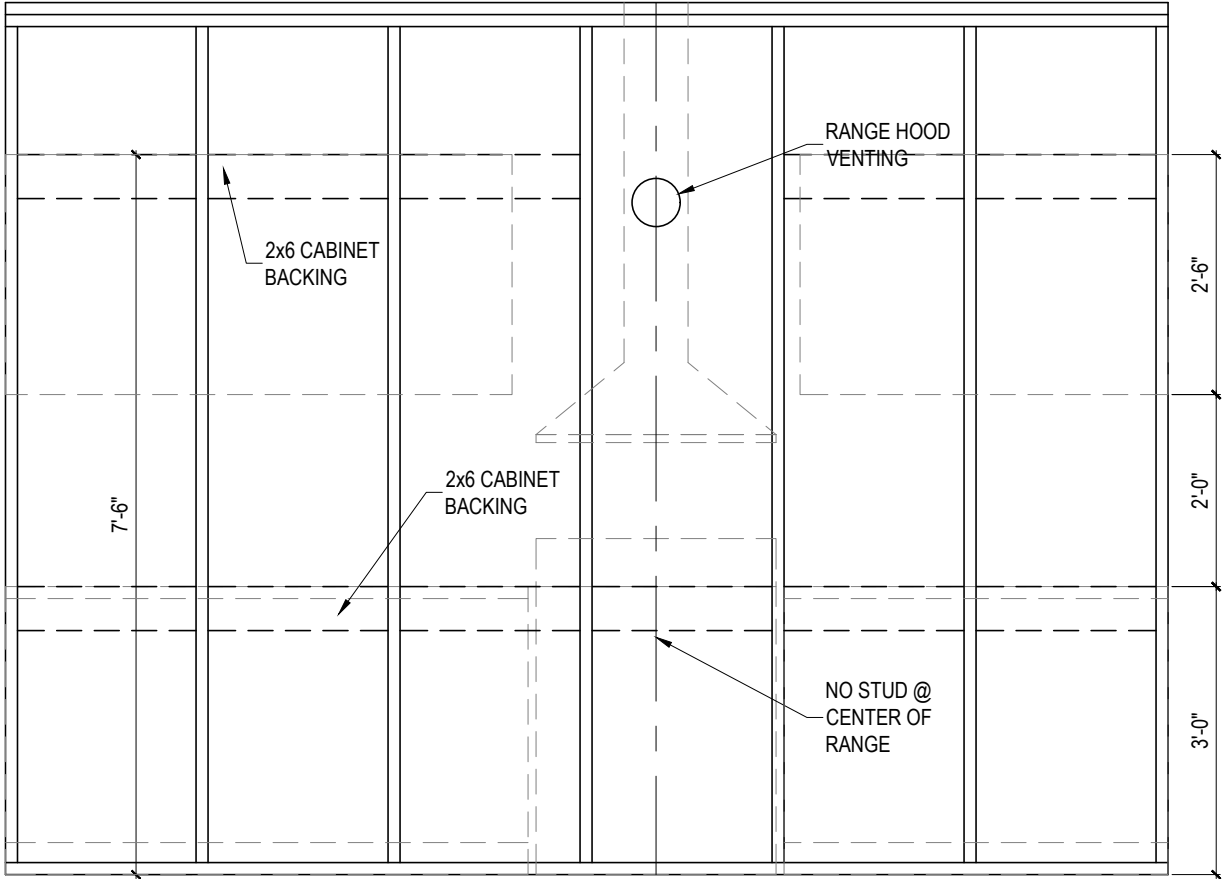


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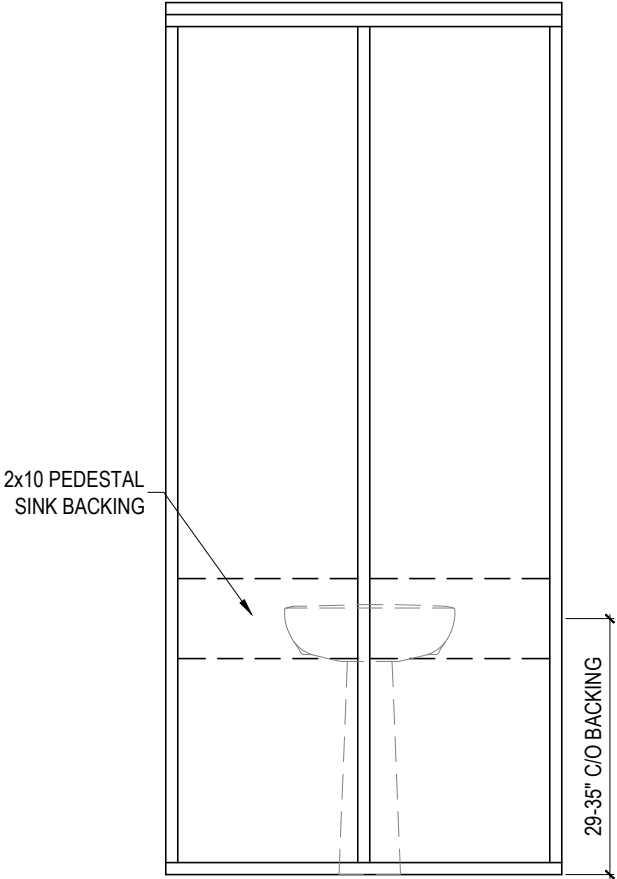
Signature(s)

Date

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	LOT: <b>3</b>	BLK: <b>11</b>	ADDRESS: <b>435 Crestmont Drive, Winnipeg, MB</b>		<b>SD</b>
	PLAN: <b>67601</b>		DRAWN BY: <b>MF</b>		OF
	*NOTE: SITE PLAN BY AREA SURVEYOR*		DATE: <b>2021/06/07</b>		<b>1</b>



CABINET BACKING LOCATIONS  
SCALE: 1/2" = 1'-0"




PEDESTAL SINK  
BACKING LOCATIONS  
SCALE: 1/2" = 1'-0"

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<div>Daytona HOMES</div>	JOB # <b>BONV 011.003</b>			MODEL: <b>QUEST C2</b>	<div>NOTES</div> <div>1. DO NOT SCALE DIMENSIONS</div> <div>2. Contractor shall verify specifications &amp; dimensions. Any discrepancies shall be reported to Daytona Homes for clarification and/or revision.</div> <div>3. These drawings are the property of Daytona Homes. Do not use or reproduce them without their consent.</div> <div>4. Drawings are never 100% accurate. As such, Daytona Homes reserves the right to make corrections to errors on plans.</div>	PAGE
	LOT: <b>3</b>	BLK: <b>11</b>	PLAN: <b>67601</b>	ADDRESS: <b>435 Crestmont Drive, Winnipeg, MB</b>		SD
	*NOTE: SITE PLAN BY AREA SURVEYOR*			DRAWN BY: <b>MF</b>		OF
	SPEC:			DATE: <b>2021/06/07</b>		2