



FINAL PACKAGE - JUNE 02, 2022

UPDATED SET AS OF 10/28/2022

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Indrasena - New Residence

817 Brett Drive, Allen TX 75013

Seal:

Revision:

Date:

10/30/2022

Job No.:

2021.06

Issue:

CONCEPT DESIGN

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**A-1**

## Opening Schedule

WINDOW SCHEDULE				
NUMBER	WIDTH	HEIGHT	TYPE	QTY
W01	18"	24"	FIXED GLASS	3
W02	72"	48"	MULLED UNIT	1
W03	76"	72"	MULLED UNIT	1
W04	36"	18"	FIXED GLASS	4
W05	36"	24"	FIXED GLASS	4
W06	36"	36"	FIXED GLASS	2
W07	36"	48"	FIXED GLASS	1
W08	36"	56"	FIXED GLASS	2
W09	36"	60"	SINGLE CASEMENT	2
W10	36"	72"	SINGLE CASEMENT	6
W11	124"	78"	MULLED UNIT	1
W12	48"	60"	FIXED GLASS	1
W13	50"	90"	MULLED UNIT	1
W14	76"	90"	MULLED UNIT	1
W15	120"	96"	FIXED GLASS	1
W16	24"	48"	SINGLE CASEMENT	2
W17	36"	48"	SINGLE CASEMENT	1

DOOR SCHEDULE				
NUMBER	WIDTH	HEIGHT	COMMENTS	QTY
D01	192"	96"		1
D02	62"	96"		1
D03	24"	80"		2
D04	24"	96"		10
D05	32"	96"		6
D06	36"	96"		5
D07	42"	96"		1
D08	48"	96"		1
D09	60"	96"		1
D10	72"	96"		1
D11	84"	96"		1
D12	32"	72"		2
D13	196"	96"	GARAGE DOORS - CEDAR PANEL, BLACK	2

1. 5/8" INSULATED LOW "E" GLASS TYPICAL.  
 2. REFER TO MANUFACTURER TO VERIFY SPECIFIC WINDOW INFORMATION AND ROUGH OPENINGS.  
 3. U FACTOR - .36  
 SOLAR HEAT GAIN COEFFICIENT - .28
4. DOOR STYLE AND HARDWARE TO BE SELECTED BY OWNER.  
 5. ALL DOORS AND FRAMES TO BE PAINTED.  
 6. DOORS AND WINDOWS ARE IRON FRAME, FLAT BLACK FINISH.  
 7. ALL WINDOWS ARE CASEMENT TYPES.

## Area Tab (Sq.Ft.)

FIRST FLOOR	
CONDITIONED SPACE	- 4083
GARAGE	- 1038
PORCHES	- 435
SECOND FLOOR	
CONDITIONED SPACE	- 1273
TOTAL CONDITIONED SPACE	- 5356
GRAND TOTAL	- 6024

LOT SIZE - 12,143 SQ.FT  
 BUILDING COVERAGE -  
 $5556 / 12143 = 45.75\%$

## General Information

PROJECT - NEW TWO STORY HOUSE  
 ADDRESS - 817 BRETT DR. ALLEN TX 75013

- STRUCTURAL FRAMING AND FOUNDATION DESIGN BY CONTRACTOR.
- MECHANICAL, ELECTRICAL AND PLUMBING DESIGN AND LAYOUT BY CONTRACTOR. ARCHITECT PLAN IS DESIGN INTENT ONLY.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL INTERIOR FINISHES TO BE SELECTED BY OWNER / COORDINATED WITH CONTRACTOR.
- ALL CABINETS TO BE SELECTED BY OWNER/CONTRACTOR.
- PROVIDE LINEAR FIREPLACE 48".

7. KITCHEN NOTES:  
 A. PROVIDE GRANITE COUNTERTOPS.  
 B. ALL APPLIANCES SELECTED BY OWNER.

7. BATH NOTES:  
 A. PROVIDE GRANITE COUNTERTOPS.  
 B. PROVIDE FRAMED MIRROR ABOVE SINK.  
 C. SHOWER ENCLOSURE TO BE TILE, AS SELECTED BY OWNER.  
 D. PROVIDE TEMPERED GLASS DOOR AND SIDELITE AT SHOWER.  
 E. PROVIDE RECESSED SHAMPOO/SOAP DISH.

8. ALL LIGHT FIXTURES TO BE SELECTED BY THE OWNER AND COORDINATED WITH CONTRACTOR.

9. EXTERIOR NOTES:  
 A. EXTERIOR STONE - BUFF LUEDER OR SIMILAR  
 B. PAINT COLORS AS SELECTED BY OWNER.  
 C. MAIN ROOF TO BE CONCRETE TILE ROOFING SYSTEM - BIRCHWOOD COLOR.  
 D. STUCCO WALL SYSTEM- KILIM BEIGE FROM SHERMAN WILLIAMS.  
 E. PROVIDE GUTTERS AND DOWNSPOUTS AT ROOF AREAS.  
 F. CONCRETE PORCHES TO BE STAINED, LIGHT GREY CONCRETE.  
 G. PORCH SOFFITS ARE HARDI-BD PAINTED, COLOR AS SELECTED BY OWNER.  
 H. EXTERIOR WINDOWS- IRON WINDOWS W/ FLAT BLACK FINISH, LOW-E GLASS.  
 I. MAIN DOOR - IRON DOOR WITH FLAT BLACK FINISH.

10. ALL WORK MUST BE DONE ACCORDING TO MANUFACTURER'S SPECIFICATION & INDUSTRY STANDARDS.

11. ALL WORKS MUST BE DONE ACCORDING TO ALL CONCERNED CODES & REGULATIONS, ENERGY CODE INCLUDED.

12. NOTIFY ARCHITECT ANY DISCREPANCY BEFORE COMMENCEMENT OF WORK.

13. A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL CONSTRUCTION DETAILS.

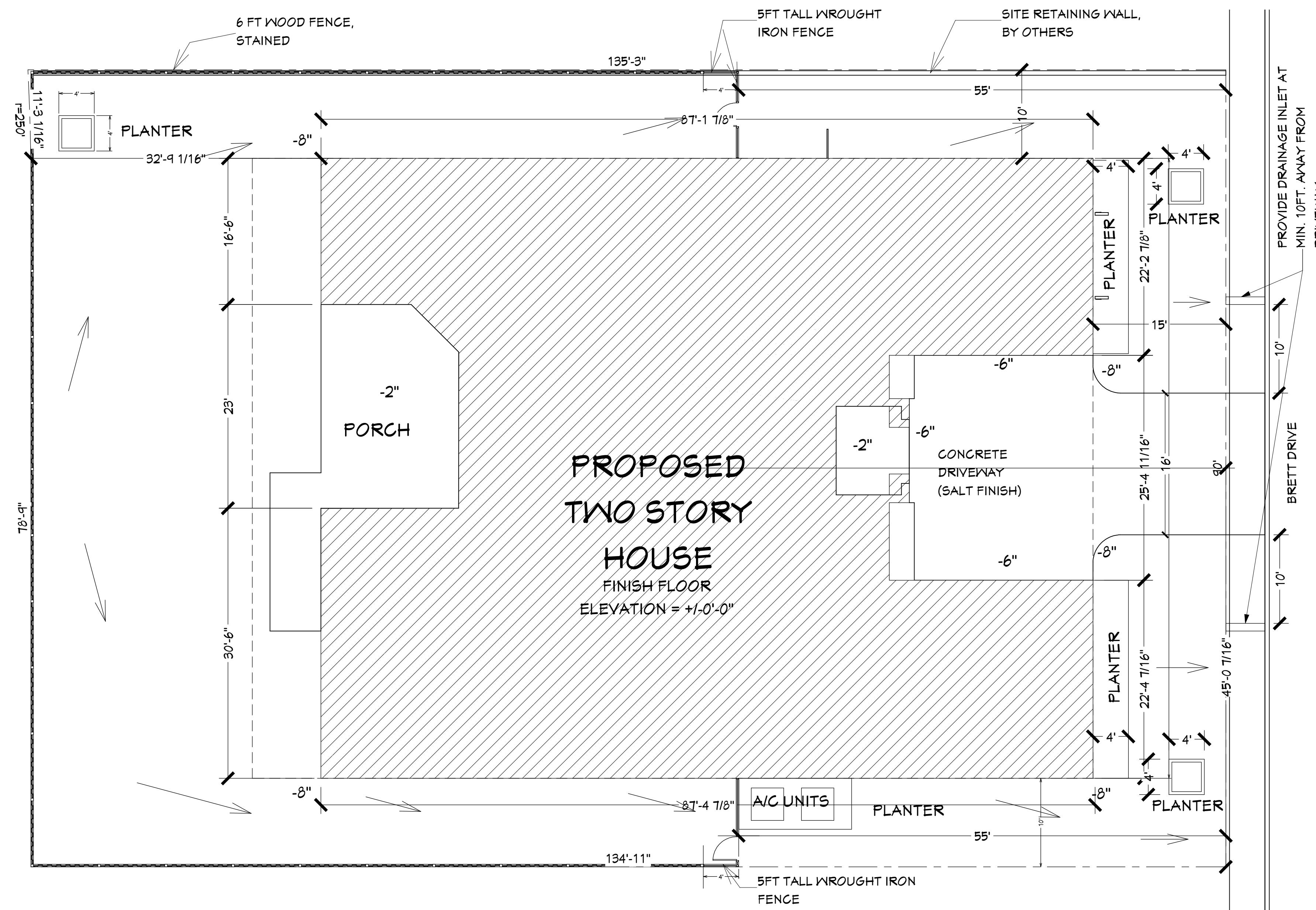
14. VENT ALL DEAD SPACES.

15. FIRE PLACE - 54 INCH PROBUILDER 54 LINEAR, FROM FIREPLACEX.

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## 01 SITE PLAN

SCALE - 1/8" = 1'-0"

## Finish Information

FLOOR	1	2	3	4	CEILING
BASE					WALL
1. HARDWOOD	1. WOOD PAINTED	1. GYPSUM BD PAINTED	1. GYPSUM BD PAINTED	1. GYPSUM BD PAINTED	
2. CARPET	2. NONE	2. TILE	2. HARDI BOARD PAINTED		
3. TILE					
4. CONCRETE - STAMPED					
5. CONCRETE					

NOTES:

- ALL INTERIOR FINISHES AND COLORS TO BE SELECTED BY OWNER.
- PROVIDE CROWN MOULDING, VERIFY W/ CONTRACTOR.

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817 Brett Drive, Allen TX 75013

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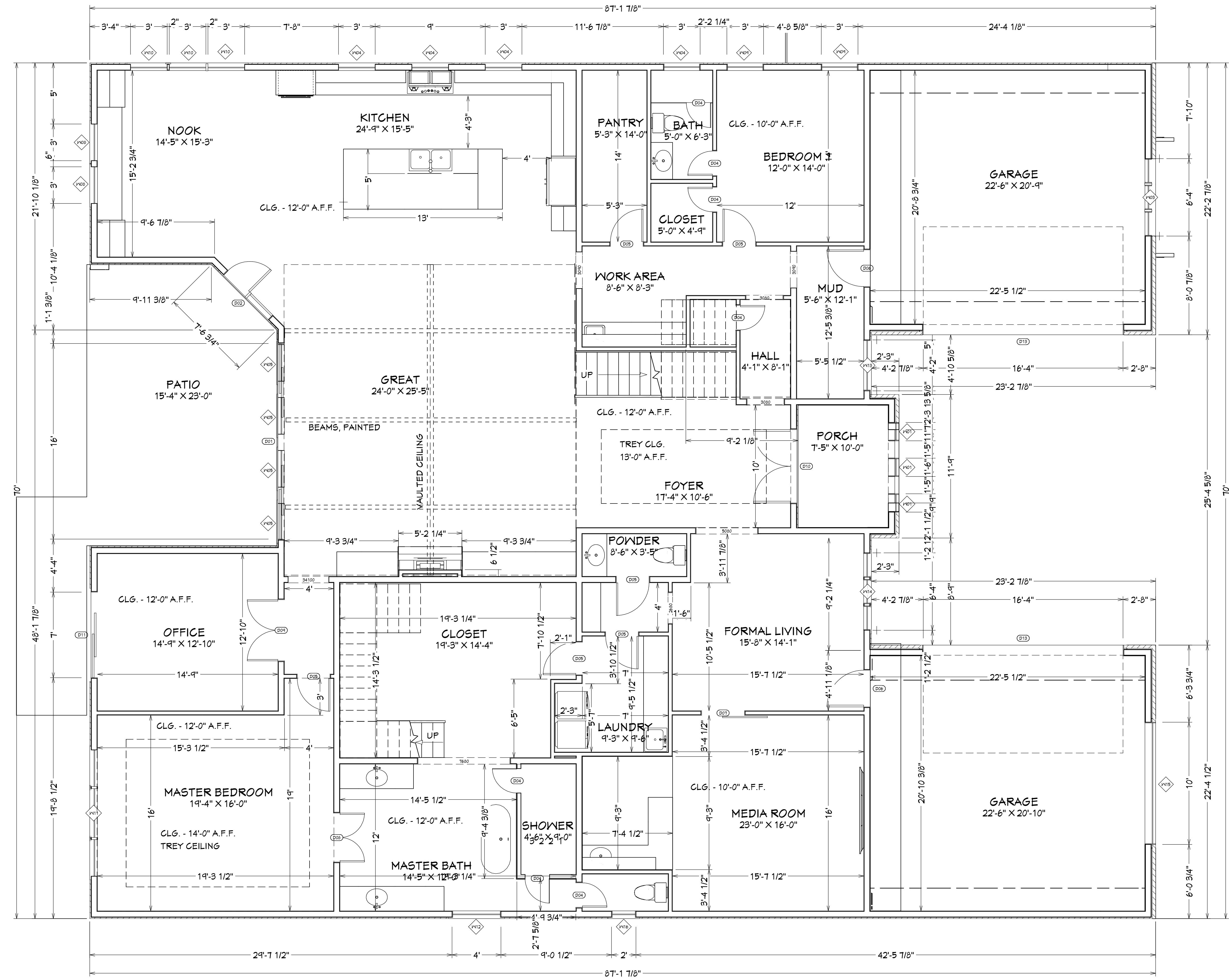
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**01 FIRST FLOOR PLAN**  
SCALE - 1/4" = 1'-0"

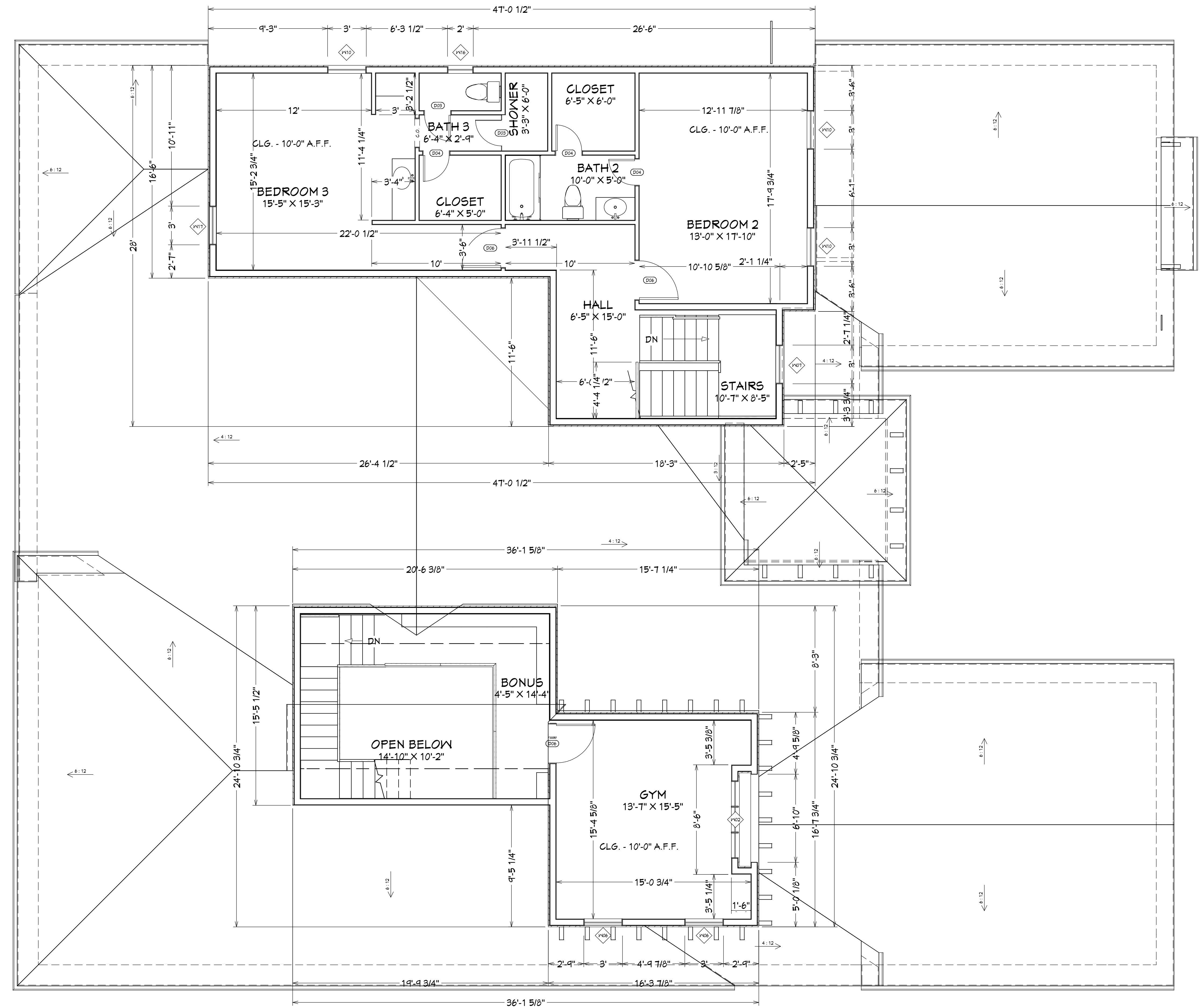
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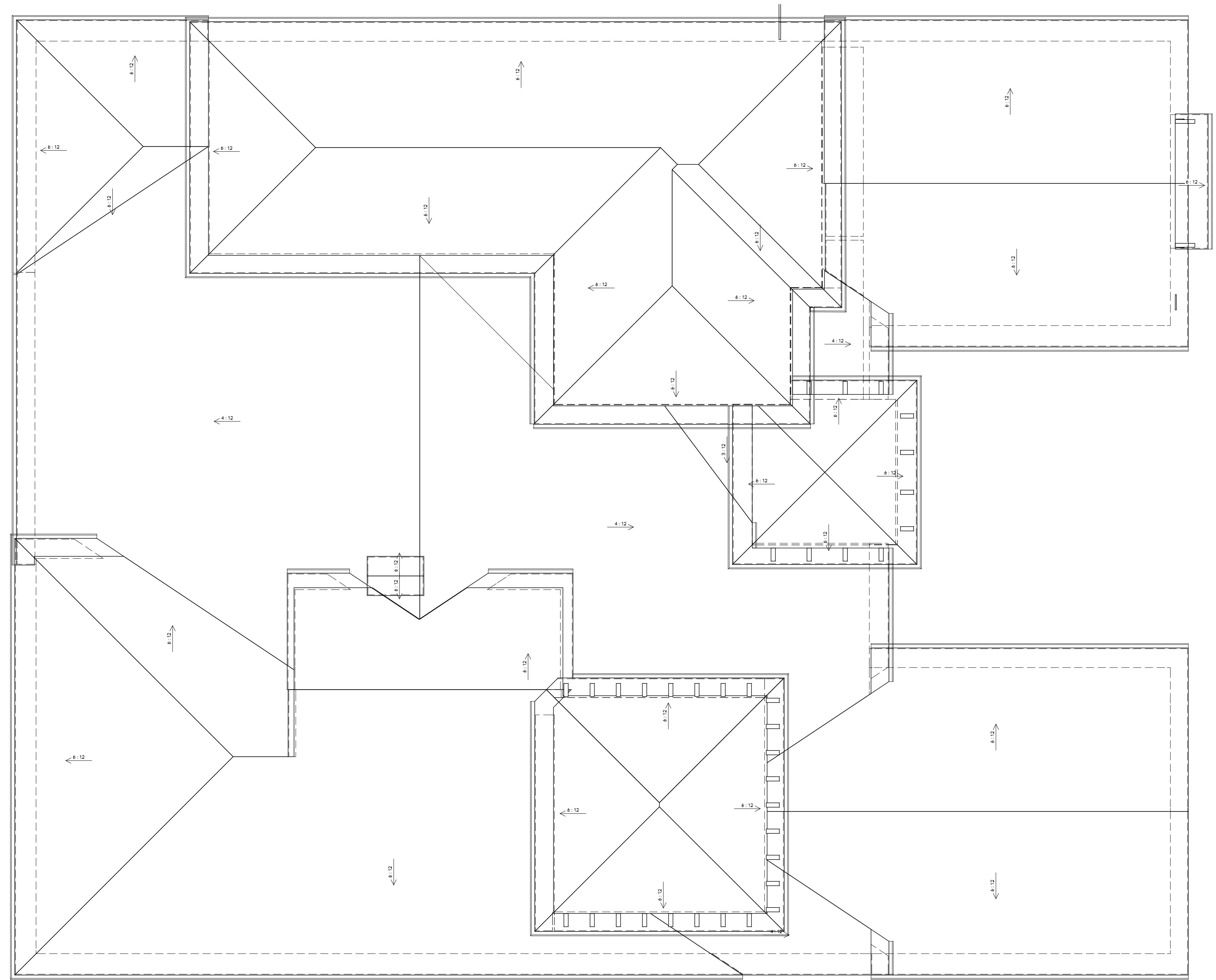
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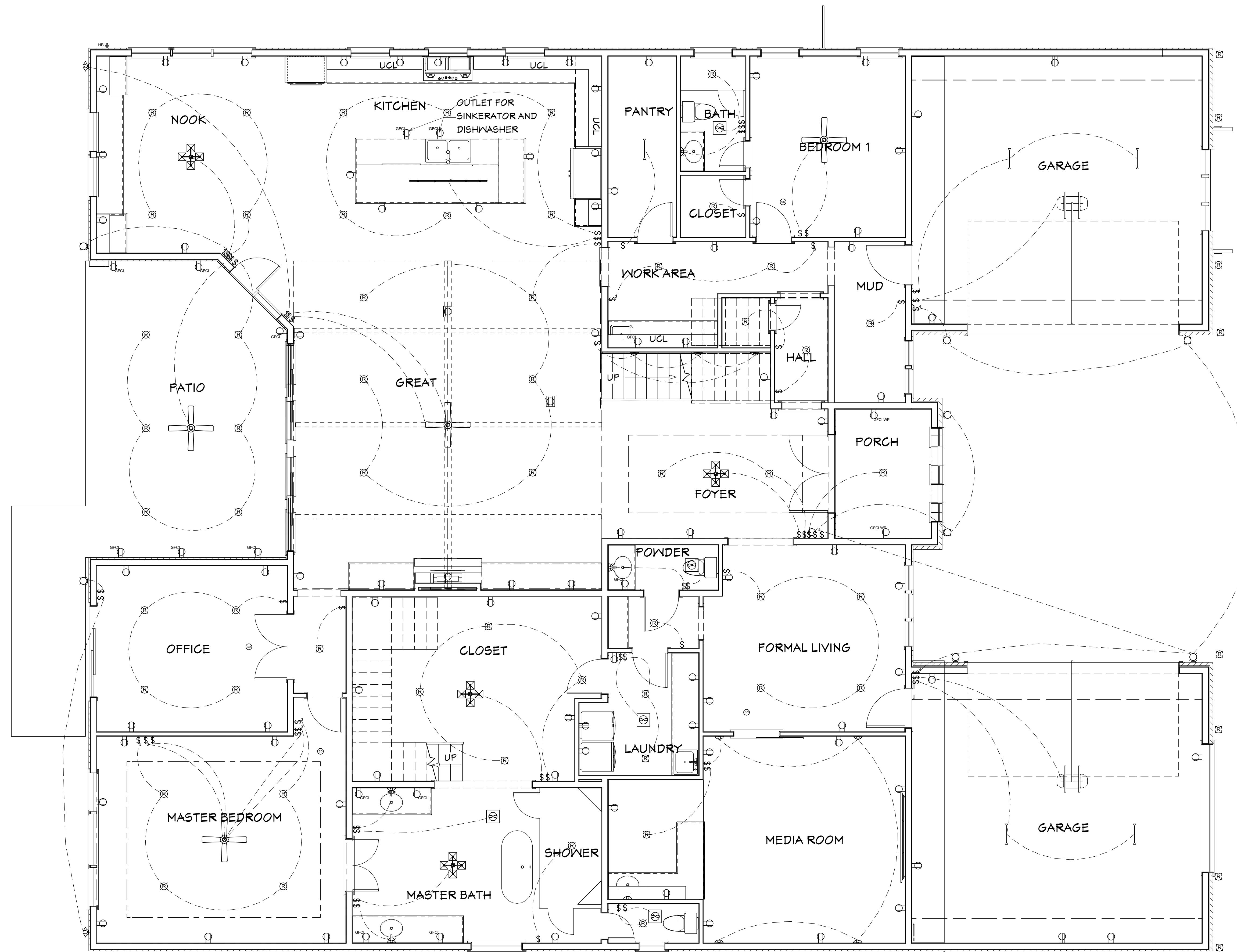
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**01 ROOF PLAN**  
SCALE - 1/4" = 1'-0"

**A-5**

PROVIDE PLUMBING,  
GAS CONNECTION FOR  
OUTDOOR KITCHEN

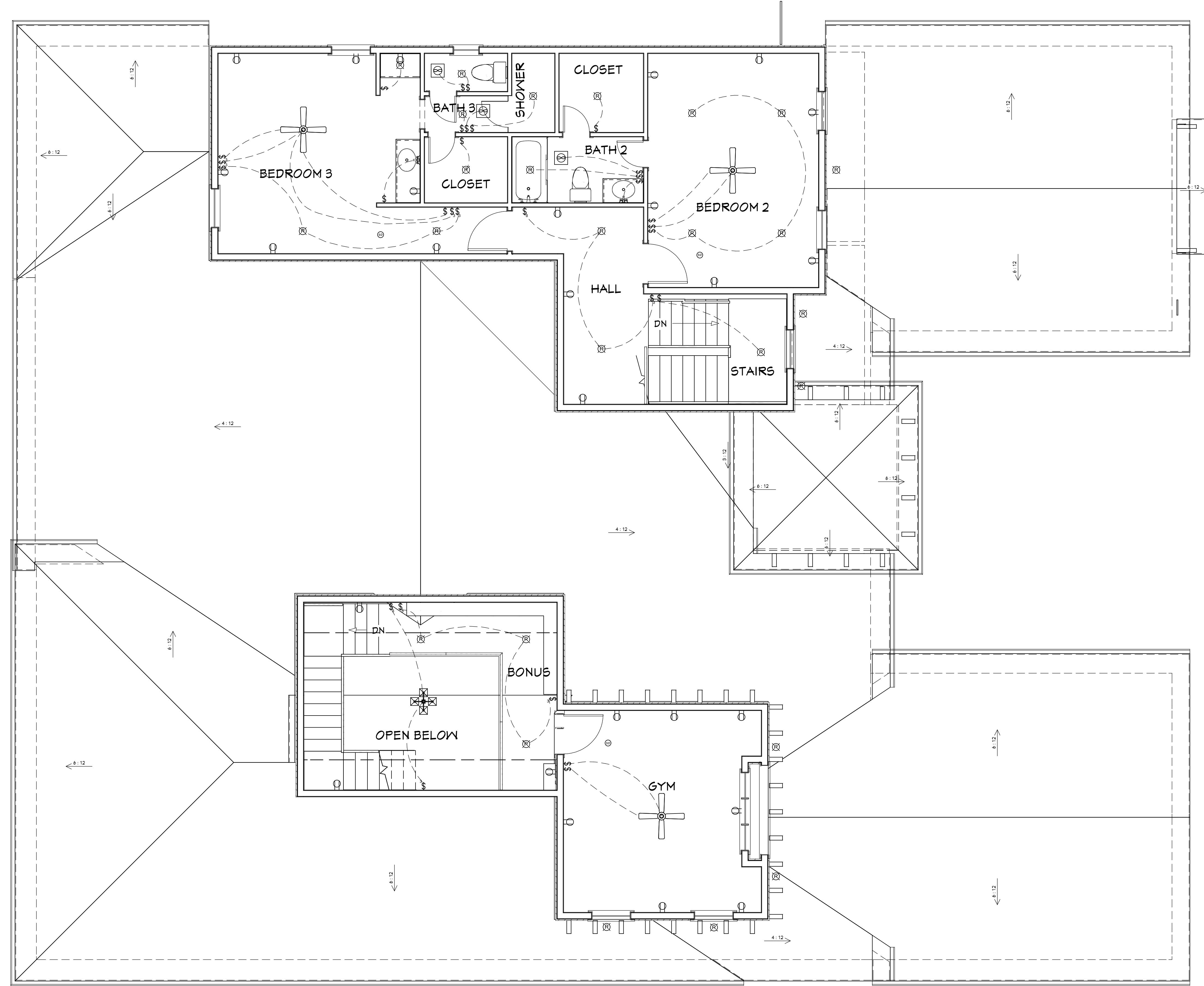


AUTOMATIC SPRINKLER SYSTEM IS  
REQUIRED THROUGHOUT ALL BUILDINGS  
PER ORDINANCE NO. 3693-B-19

ELECTRICAL SCHEDULE	
2D SYMBOL	DESCRIPTION
⊕	220V
☒	ARTS & CRAFTS CHANDELIER
—	CABLE TRACK LIGHTING
⤓	DUAL SPOTLIGHT
○	DUPLEX
⊖	EXHAUST
\$	FOUR WAY
h <sub>gfa</sub>	GFCI
⊕	GLOBE LIGHT CEILING FAN
⊕	GRAN TENOS
○	OLD WORLD SCONCE
◎	RECESSED DOWN LIGHT
\$	SINGLE POLE
\$	THREE WAY
◎	SMOKE DETECTOR
h <sub>wp</sub>	GFCI WP
—	TUBE
□	DUPLEX, FLOOR MOUNTED

PROVIDE EXTERIOR SOFFIT LIGHTS, SWITCH  
LOCATION TO BE COORDINATED  
PROVIDE SOFFIT OUTLETS FOR XMAS LIGHTS.

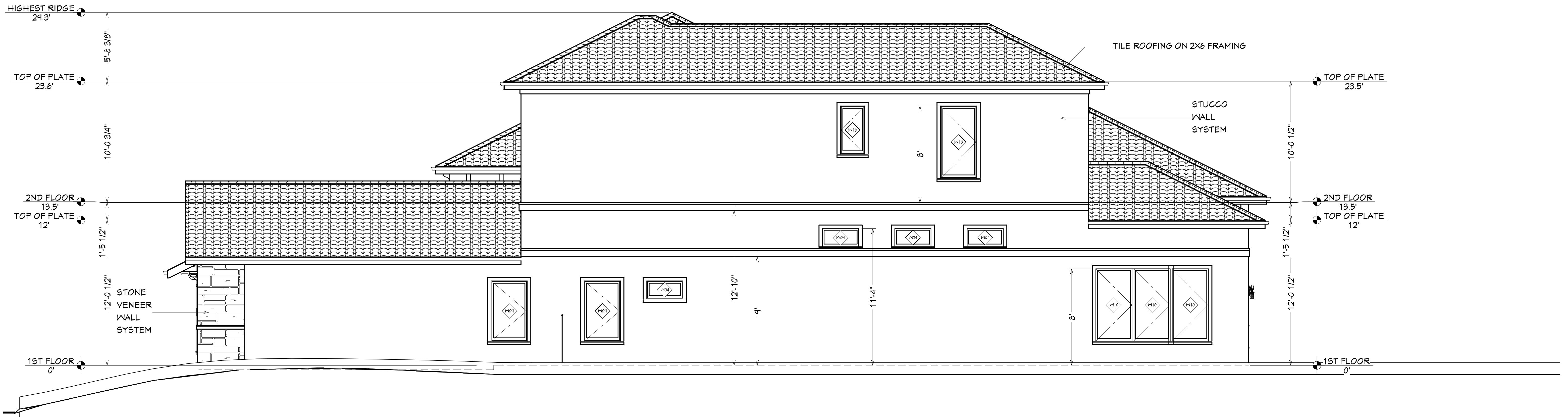
AUTOMATIC SPRINKLER SYSTEM IS REQUIRED  
THROUGHOUT ALL BUILDINGS PER ORDINANCE  
NO. 3693-8-19



01 SECOND FLOOR POWER & LIGHTING PLAN  
SCALE - 1/4" = 1'-0"

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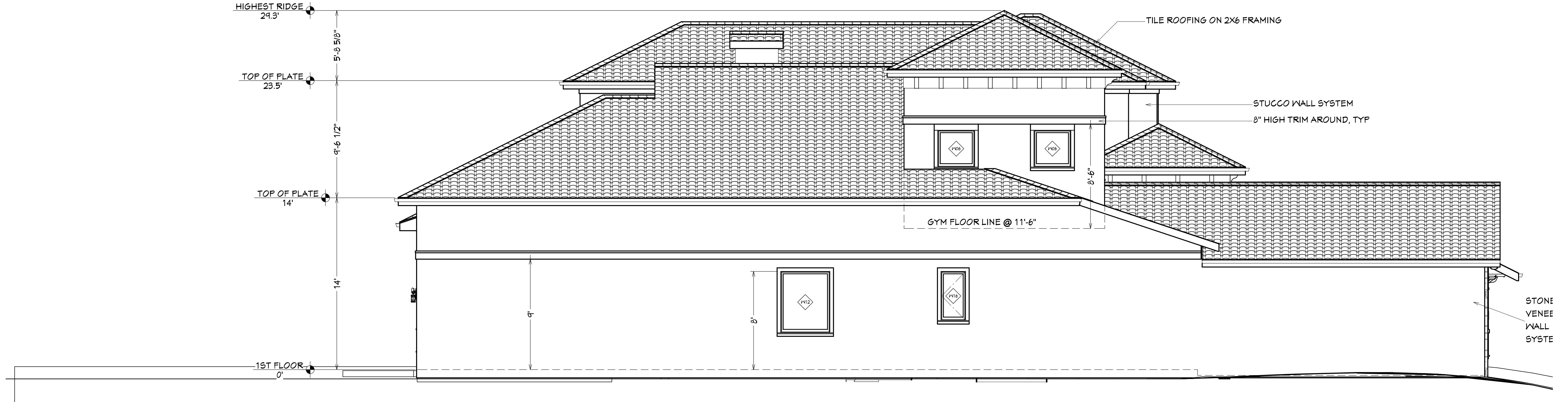
**02 SIDE (SOUTH) ELEVATION**

SCALE - 1/4" = 1'-0"



**01 FRONT (EAST) ELEVATION**

SCALE - 1/4" = 1'-0"



# 02 SIDE (NORTH) ELEVATION

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SCALE - 1/4" = 1'-0"

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SCALE - 1/4" = 1'-0"



# 01 REAR (WEST) ELEVATION

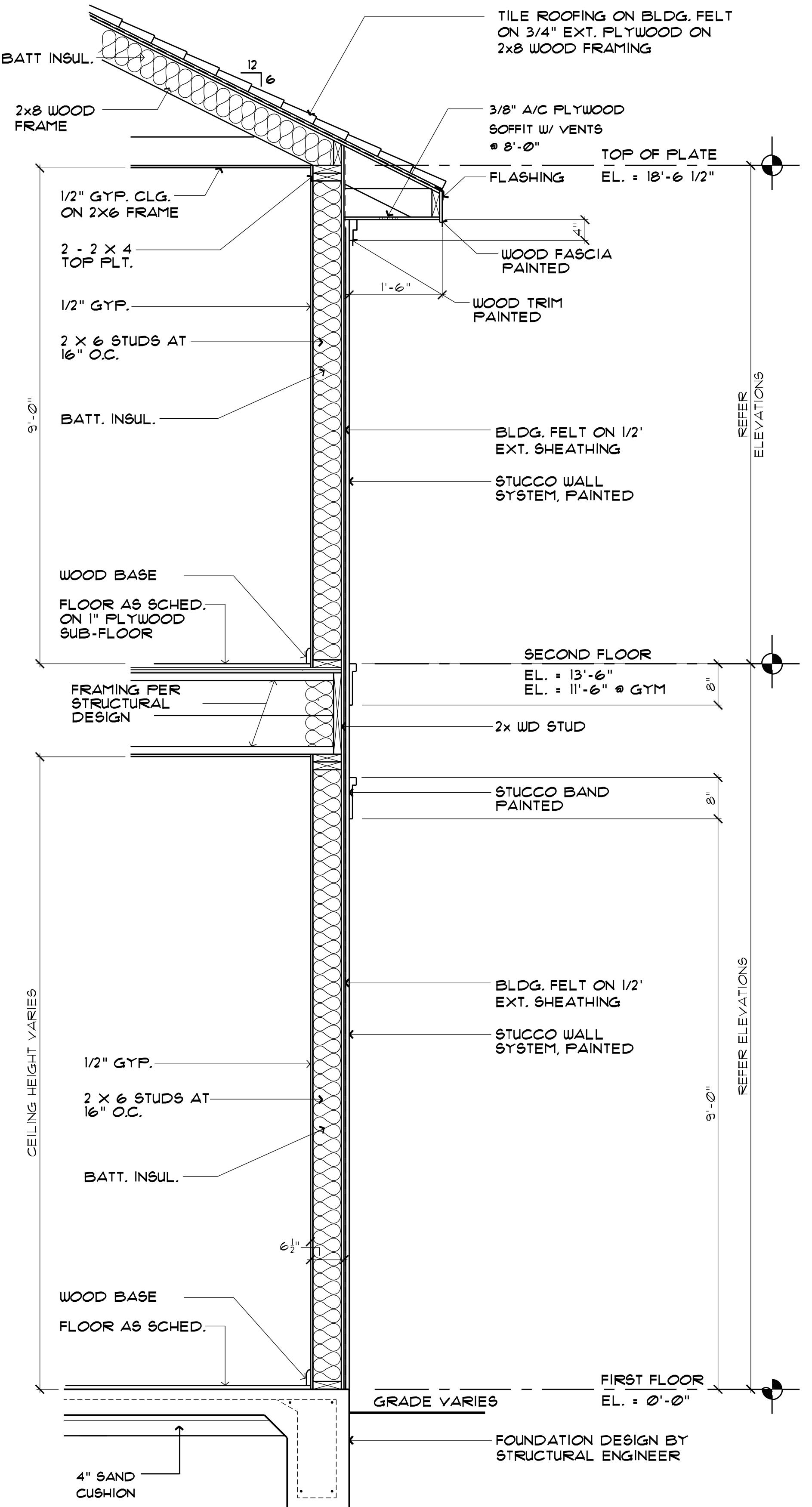
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SCALE - 1/4" = 1'-0"

# 03 WALL SECTION (TYPICAL)

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**SCALE - 3/4" = 1'-0"**

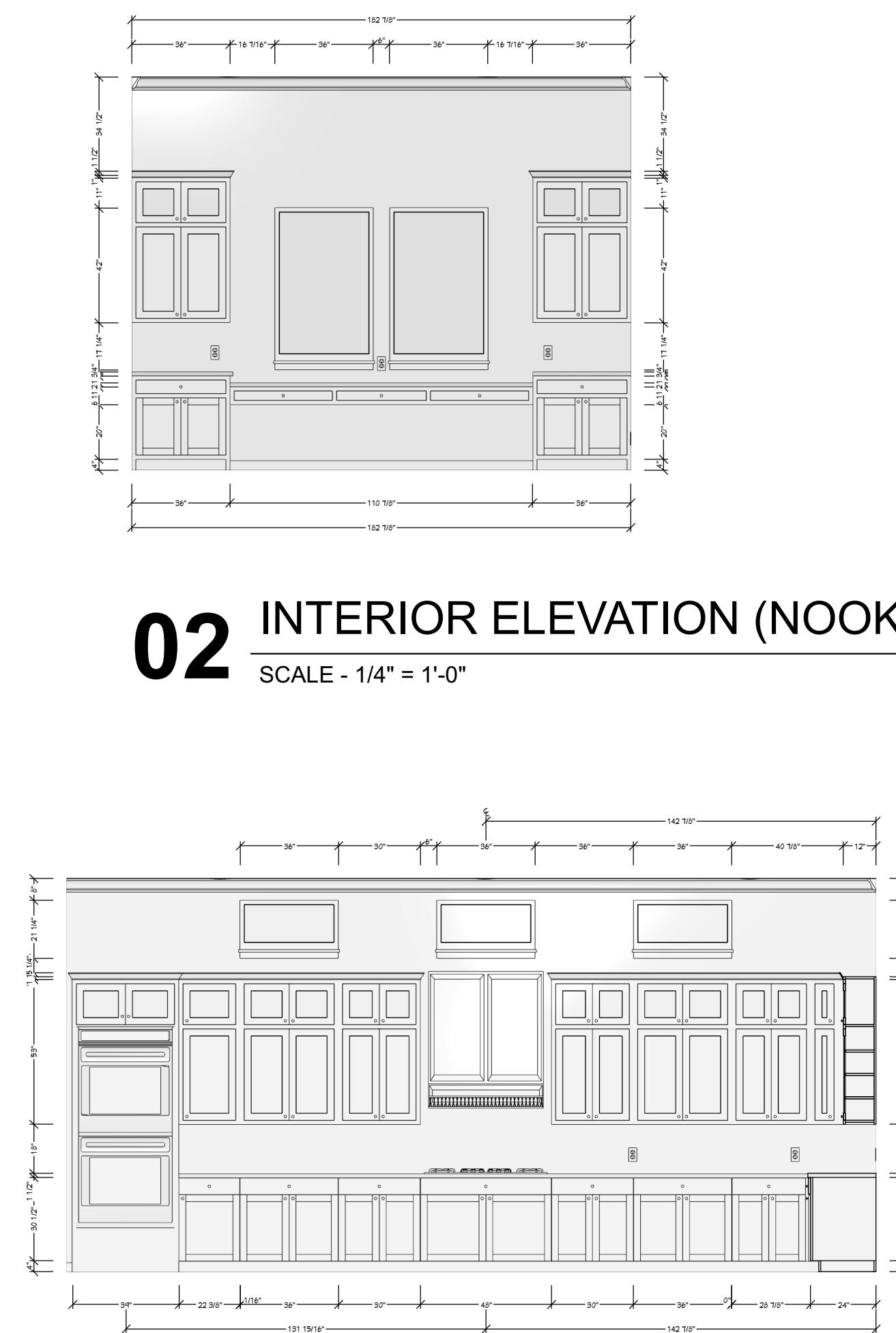


# 01 INTERIOR ELEVATION (KITCHEN)

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SCALE - 1/4" = 1'-0"

SCALE - 1/4" = 1'-0"

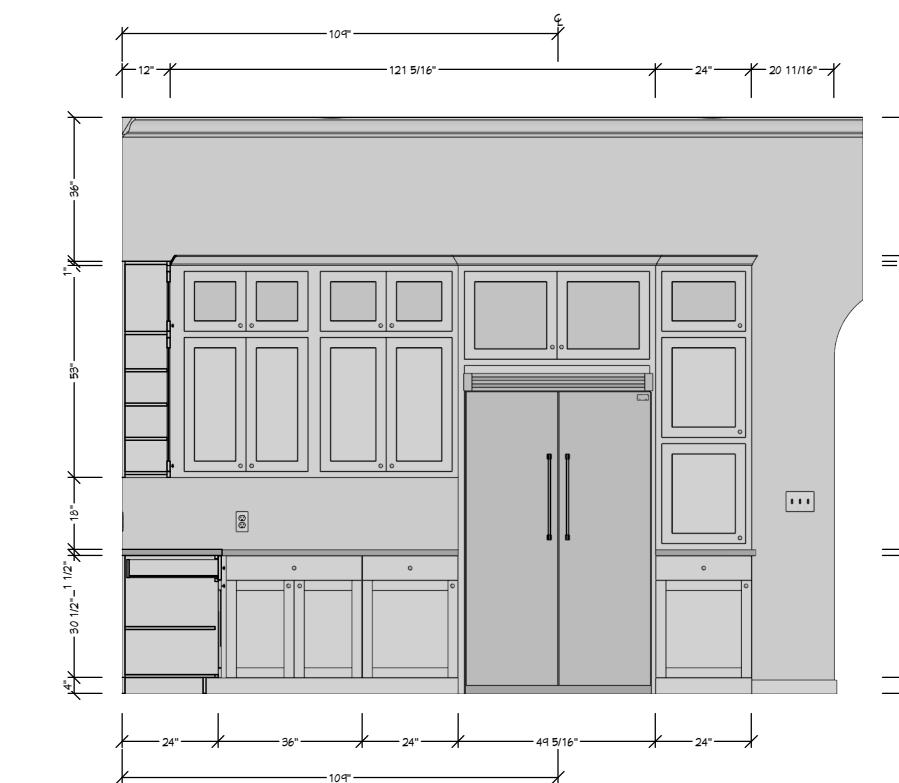
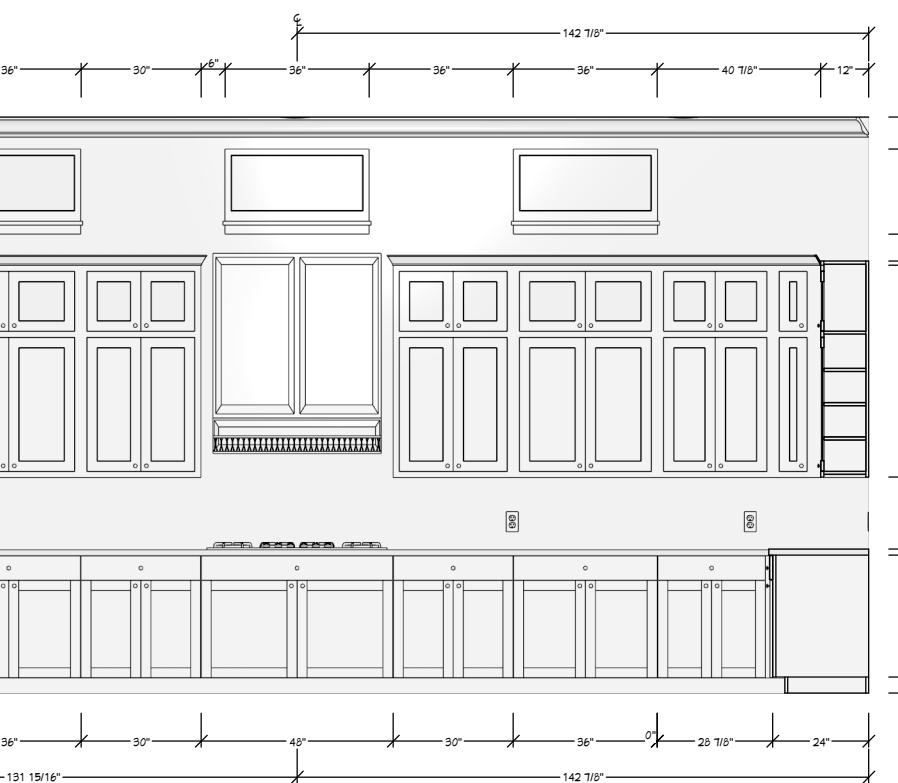


# 02 INTERIOR ELEVATION (NOOK)

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SCALE - 1/4" = 1'-0"

SCALE - 1/4" = 1'-0"



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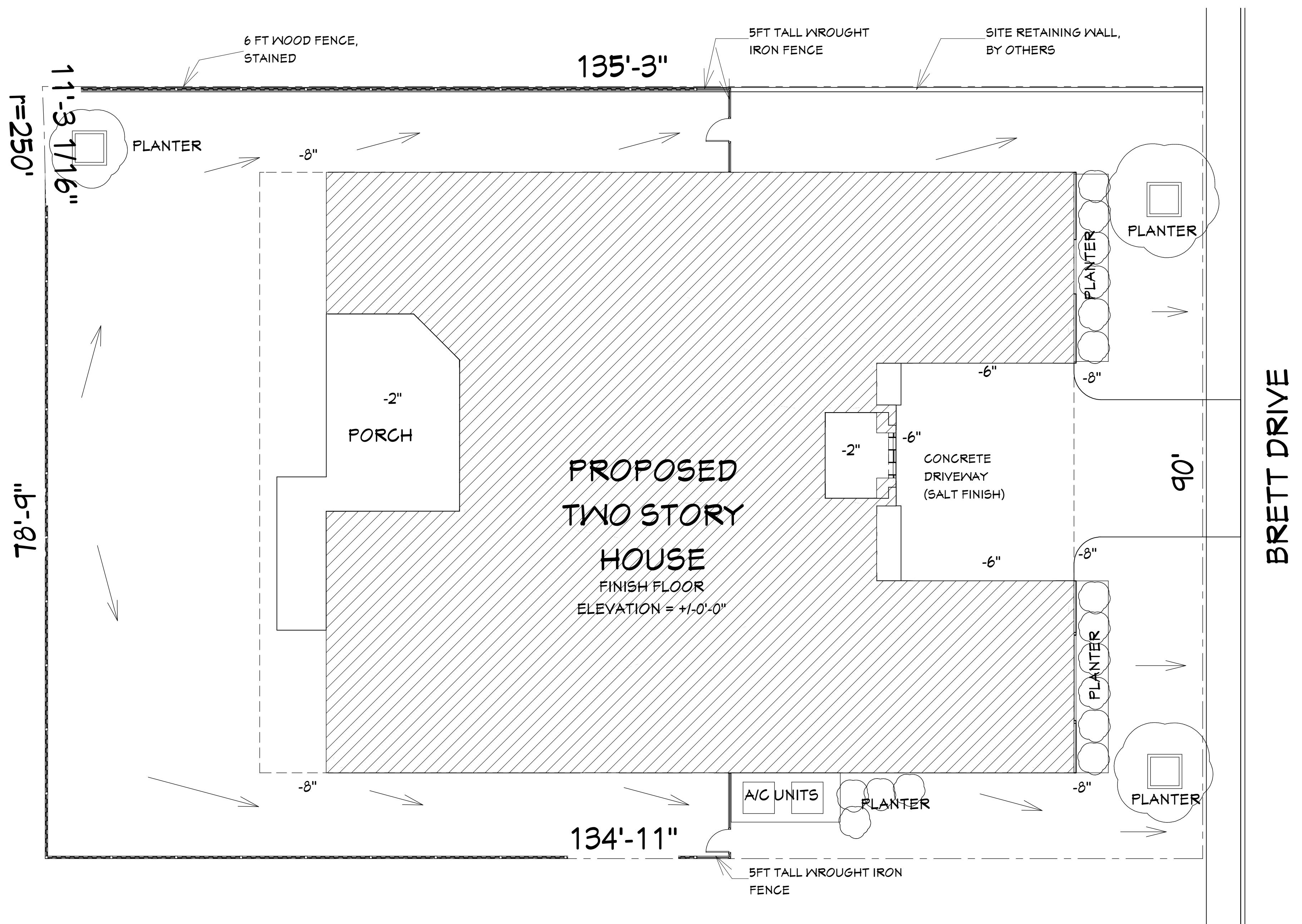
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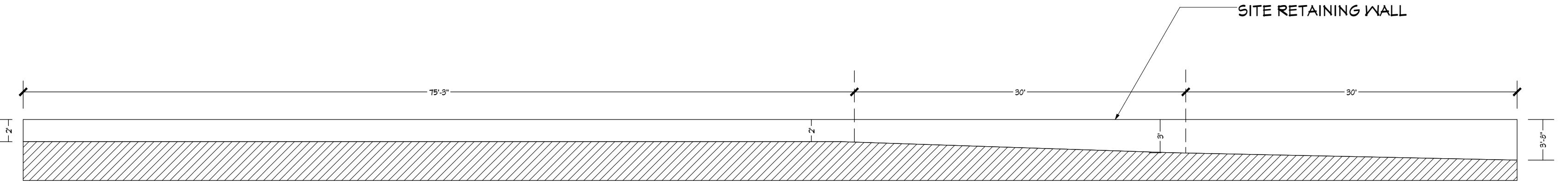
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# 01 LANDSCAPE PLAN

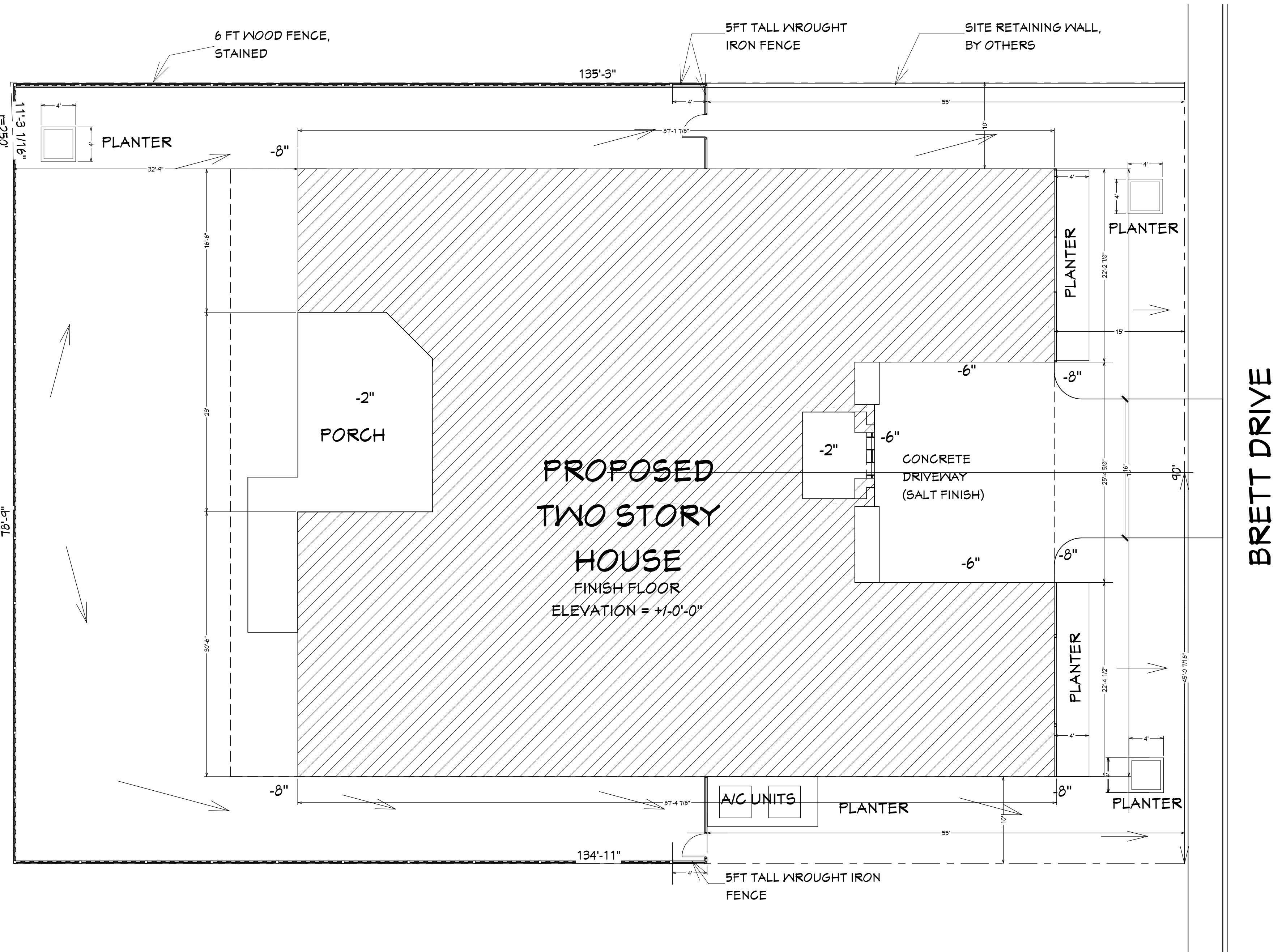
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**A-11**



**01 ELEVATION - RETAINING WALL**

SCALE - 1/8" = 1'-0"



**01 SITE PLAN (FENCE)**

SCALE - 1/8" = 1'-0"

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