

EK

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CORTLAND RESIDENCE

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SACRAMENTO, CALIFORNIA
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LIC# 019682
STATE OF CALIFORNIA
LICENSED ARCHITECTDATE: ISSUE:
9.24.24 SPM REVISIONS

12.24 CLIENT REVISIONS

ABBREVIATIONS

A.B. ANCHOR BOLT
A/C AIR CONDITION
A.F.E. ABOVE FINISHED FLOOR
APP APPROVED
ARCH. ARCHITECT
ARCHL. ARCHITECTURAL

BD. BOARD
BLDG. BUILDING
BLK'G BLOCKING
BM. BEAM
B.O. BY OWNER
BOT. BOTTOM
B.O.W. BASE OF WALL
B.U. BASE-UP

CL. CENTERLINE
CLR. CLEAR
CLG. CEILING
COL. COLUMN
CSK. COUNTERSINK
COMP. COMPOSITION
CONC. CONCRETE
CONT. CONTINUOUS
CONTR. CONTRACTOR
CRC. COLD-ROLLED CHANNEL
C.T. CERAMIC TILE

DBL. DOUBLE
DET. DETAIL
DWR. DRAWER
DIM. DIMENSION

(E) EXISTING
EA. EACH
ELEV. ELEVATION
EO. EQUAL
EXH. EXHAUST
EXP. EXPANSION
EXT. EXTERIOR

F.A. ED.FLOOR AREA
F.D. FLOOR DRAIN
FDN. FOUNDATION
F.G. FIXED GLAZING
FIN. FINISH
FL./FLR. FLOOR
FLUOR. FLUORESCENT
F.O. FACE OF
FTG. FOOTING

GA. GAUGE
GALV. GALVANIZED
G.B. GYPSUM BOARD
G.I. GALVANIZED IRON
GLB. GLUE-LAMINATED BEAM
GFRG. GLASS FIBER REINFORCED GYPSUM
GSM. GALVANIZED SHEET METAL

HB. HOSE BIB
HO. HOLLOW CORE
HD. HOLLOW
HDR. HEADER
HT. HEIGHT

INCL. INCLUDE(D)
INSUL. INSULATION
INT. INTERIOR
JST. JOIST
JT. JOINT
L.H. LEFT HAND
L.H.R. LEFT HAND REVERSE
L/S. LANDSCAPE
LT. LIGHT
LLI. LANDLORD IMPROVEMENTS

MAX. MAXIMUM
M.B. MACHINE BOLT
MECH. MECHANICAL
MCH. MECHANIC
MTL. METAL
MFR. MANUFACTURER
MIN. MINIMUM
MTD. MOUNTED

(N) NEW
N.I.C. NOT IN CONTRACT
N.T.S. NOT TO SCALE

O.A. OVERALL
O.C. ON CENTER
OP. OPERABLE
OPG. OPENING
OPP. OPPOSITE

PL. PLATE
PLAM. PLASTIC LAMINATE
PLY. PLYWOOD
PROP. PROPERTY
P.T. PRESSURE-TREATED

R. RISER
(R) RE-LOCATED(D)
R.D. ROOF DRAIN
REC. RECD
REG. REGISTER
REF. REINFORCED
REQ'D. REQUIRED
REV. REVERSE
R.H. RIGHT HAND
R.H.R. RIGHT HAND REVERSE
RWD. REDWOOD
R.W.L. RAINFOOT LEADER

S.C. SOLID CORE
S.D. SMOKE DETECTOR
SHTG. SHEATHING
SIM. SIMILAR
SQ. SQUARE
S.S.D. SEE STRUCTURAL DRAWINGS

T. TREAD
T&G TONGUE & GROOVE
TBD TO BE DETERMINED
TEMP. TEMPERED
THK. THICK
TI. TREATMENT IMPROVEMENTS
TOP. CURB
T.O.C. TOP OF CURB
T.O.W. TOP OF WALL
TYP. TYPICAL

U.O.N. UNLESS OTHERWISE NOTED
UHMW. ULTRA HIGH MOLECULAR WEIGHT
POLY-ETHYLENE

W/ WITH
W.C. WATER CLOSET
W.C. WATER CLOSET
W.P. WATERPROOF
W.W.M. WELDED WIRE MESH
WIN. WINDOW
W/O WITHOUT
WD. WOOD

GENERAL NOTES

- EXISTING CONSTRUCTION DATA HAS BEEN OBTAINED IN THE FIELD BY VISUAL MEANS ONLY. DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB SITE BY EACH CONTRACTOR. ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE WORK BEGINS OR SUPPLIES ARE ORDERED.
- SEE ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS UNLESS INDICATED OTHERWISE.
- ALL DISCREPANCIES BETWEEN DRAWINGS SHALL BE CLARIFIED WITH THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN OR DETAILED ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.
- REPAIR, REPLACEMENT AND/OR PATCHING IN EXISTING AREAS ARE TO MATCH SUBSTRATE AND ADJACENT FINISH.
- VERIFY ELECTRICAL, MECHANICAL AND FIRE ALARM REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
- WORK SHALL BE PERFORMED IN CONFORMANCE WITH STATE & FEDERAL CODES, LAWS AND REGULATIONS APPLICABLE TO THIS WORK INCLUDE SPECIFICALLY BUT ARE NOT LIMITED TO CBC 2022 AS WELL AS CAL GREEN 2022 MANDATORY MEASURES. VOLUNTARY CAL GREEN MEASURES ARE ENCOURAGED AND WORKSHEETS FOR CONFORMANCE ARE AVAILABLE FROM ARCHITECT.
- ALL DIMENSIONS ARE TO FACE OF FINISH, FACE OF CONCRETE, TO CENTERLINES OF COLUMNS AND OTHER GRID POINTS, & TO CENTERLINES OF DOORS AND OTHER SCHEDULED OPENINGS UNLESS OTHERWISE NOTED.
- OFFSET STUDS WHERE REQUIRED TO ALIGN WITH FINISH MATERIAL.
- WHERE UL, GA OR UBC CONSTRUCTION ASSEMBLIES ARE DESIGNATED, THE COMPONENTS AND INSTALL DETAILS MUST CONFORM IN EVERY PARTICULAR WITH THE DESIGN NUMBER SPECIFIED.
- CEILING HEIGHTS ARE MEASURED TO BOTTOM OF FINISH CEILING.
- IN CEILINGS, LOCATE PENETRATING ITEMS (FIXTURES, SPRINKLERS, ETC.) IN PATTERNS SHOWN ON REFLECTED CEILING PLANS. IF NOT SHOWN, REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.
- G.C. TO PROVIDE & COORDINATE ACCESS DOOR LOCATIONS (FOR CONCEALED ITEMS) WITH APPROPRIATE CONTRACTOR AND REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.

- DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW AND COORDINATION. FOLLOWING THE COMPLETION OF PROJECT, ARCHITECT/ENGINEER REVIEW AND COORDINATION, WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (EG WITH REGARD TO GEOMETRY, LOAD CONDITIONS, ETC.) WITH NO EXCEPTIONS.
- THIS BUILDING SHALL BE EQUIPPED WITH AN APPROVED MANUAL AND AUTOMATIC FIRE ALARM SYSTEM PER FIRE CODE AND CALIFORNIA ELECTRICAL CODE – SEE FIRE DWG. FOR INFO.
- RATED WALLS AND CEILINGS SHALL NOT BE PENETRATED WITH PLASTIC PIPE OR BOXES (EXCEPT UL FIRE BOXES MAY BE USED PER NEC 300-21, CBC 709 & 710).
- ANY ITEM OR WORK NOTED AS "EXISTING" (E) SHALL BE NEW.
- ALL WORK TO BE DONE IN CONFORMANCE WITH ALL GOVERNING CODES WHETHER INDICATED ON THE DRAWINGS OR NOT.
- THE CONTRACTOR SHALL LEAVE THE JOB BROOM CLEAN AT THE END OF EACH DAY'S WORK.
- THE CONTRACTOR SHALL LEAVE THE JOB BROOM CLEAN, WINDOWS AND FIXTURES WASHED AND DEBRIS REMOVED FROM THE JOB SITE AT THE COMPLETION OF THE PROJECT.
- ALL MANUFACTURED ITEMS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATION AND RECOMMENDATIONS UNLESS OTHERWISE NOTED.
- PRIOR TO FINAL ACCEPTANCE, ALL SYSTEMS, EQUIPMENT, APPARATUS AND APPLIANCES SHALL OPERATE SAFELY AND SATISFACTORILY AS THE DESIGN INTENDED.
- CONTRACTOR TO PROVIDE OWNER WITH A HARD COVERED (3-RING, ETC.) BINDER OWNER'S MANUAL THAT SHALL INCLUDE MANUFACTURER'S INFORMATION, WARRANTIES, DIRECTIONS, ETC., ON ALL MECHANICAL ELEMENTS OF THE PROJECT.
- SHOP DRAWINGS SHALL BE PROVIDED FOR REVIEW AND FINAL APPROVAL BY THE OWNER AND ARCHITECT FOR DOORS, WINDOWS AND CABINETS.
- CUT SHEETS OR SAMPLES SHALL BE PROVIDED FOR REVIEW AND FINAL APPROVAL BY THE OWNER AND ARCHITECT FOR ALL EQUIPMENT, LIGHTING FIXTURES, PLUMBING FIXTURES, HARDWARE AND FINISH MATERIALS THROUGHOUT THE PROJECT.
- ALL INTERIOR FINISHES SHALL COMPLY WITH 2022 CBC TABLE 803.13.

- RECORDED SURVEY, O.S.Bk.12 Pg.12 (10-26-2004)
For Sec. 60, Rancho Del Paso, P.M.Bk.1, Pg.23 (10-6-66)
Walnut Glenn, R.M.Bk.30, Pg.22
Record of Survey O.S.Bk.45, Pg.25 (7-14-89)
- NOTE - Assessor's Block Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles

DRAWING SYMBOLS

FIN. FL. DATUM POINT, DIMENSION POINT
+0'-0"

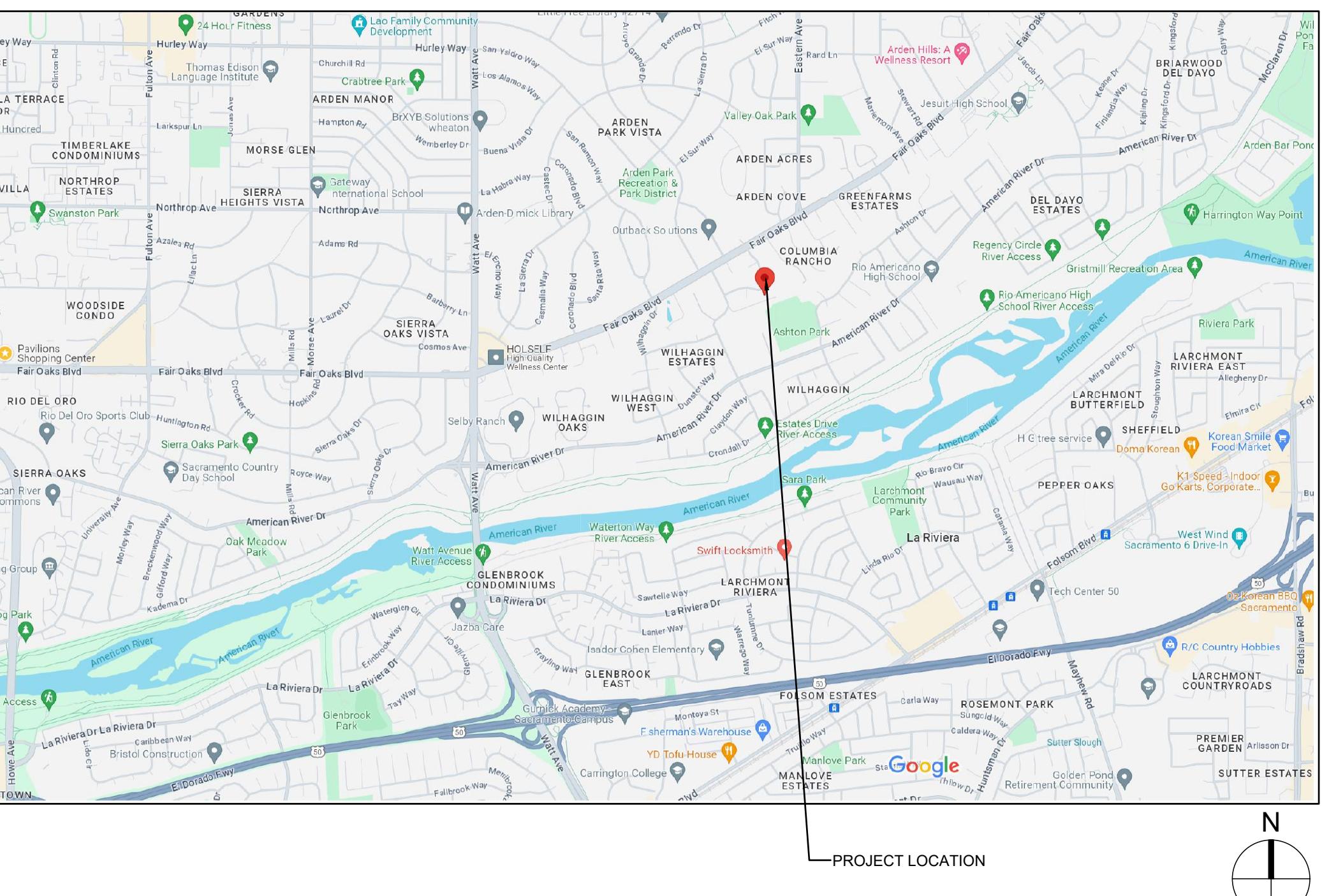
1 (DRAWING NO.) (SHEET NO.) SECTION TAG
A1.01

1 (DRAWING NO.) (SHEET NO.) DETAIL TAG
A1.01

1 (DRAWING NO.) (SHEET NO.) EXTERIOR ELEVATION TAG
A1.01

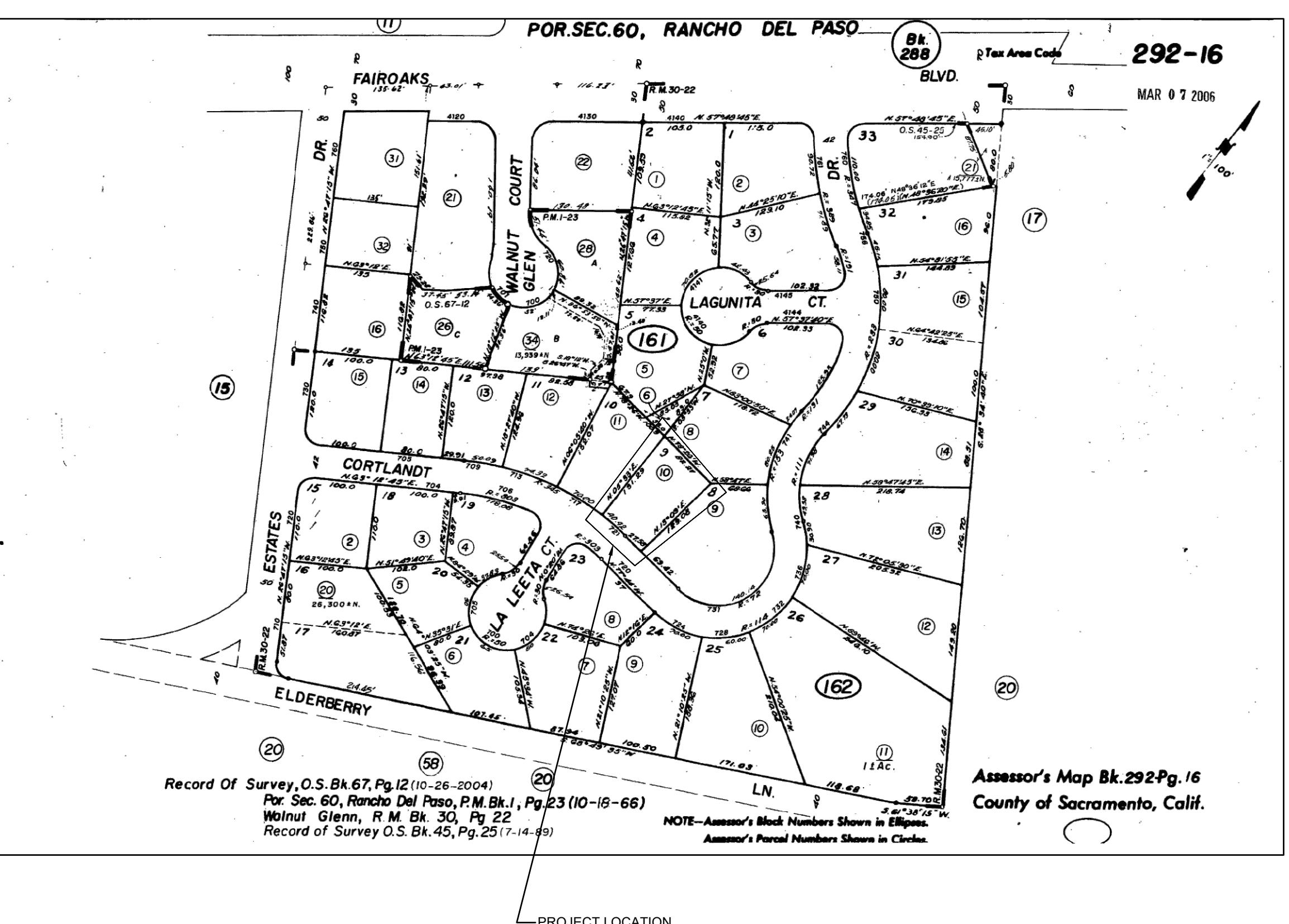
1 DOOR NUMBER

1 WINDOW NUMBER



LOCATION MAP

N.T.S.



ASSESSOR'S MAP

N.T.S.

DRAWING INDEX

ARCHITECTURAL

A0.01 PROJECT INFORMATION
A0.02 NOTES, SCHEDULES & SPECIFICATIONS

AB1.00 AS-BUILT SITE PLAN
AB1.01 AS-BUILT FLOOR PLAN
AB1.02 AS-BUILT ROOF PLAN
AB2.01 AS-BUILT EXTERIOR ELEVATIONS

A1.00 PROPOSED SITE PLAN
A1.01 PROPOSED FLOOR PLAN
A1.02 PROPOSED ROOF PLAN
A1.03 PROPOSED REFLECTED CEILING PLAN SHOWING ELECT./LIGHTING/MECH.

A2.01 PROPOSED EXTERIOR ELEVATIONS
A2.02 PROPOSED EXTERIOR ELEVATIONS

STRUCTURAL

S-1 FOUNDATION PLAN- MAIN HOUSE
S-1.1 FOUNDATION ISO VIEW- MAIN HOUSE
S-2 SHEAR WALL PLAN- MAIN HOUSE
S-3 ROOF FRAMING PLAN- MAIN HOUSE

SD-1 STRUCTURAL DETAILS
SD-2 STRUCTURAL DETAILS
SD-3 STRUCTURAL DETAILS
SD-4 STRUCTURAL DETAILS
SD-5 STRUCTURAL DETAILS
SD-6 STRUCTURAL DETAILS
SD-7 STRUCTURAL DETAILS

SN-1 STANDARD NOTES

TITLE 24

T24-1 CERTIFICATE OF COMPLIANCE
T24-2 CERTIFICATE OF COMPLIANCE, CONT.
T24-M 2022 LOW-RISE MANDATORY MEASURES

PROJECT DIRECTORY

OWNERS WAGNER POWELL PROPERTIES LLC
3909 RANDOM LANE
SACRAMENTO, CA 95864

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STRUCTURAL PZSE STRUCTURAL ENGINEERS
ENGINEER 1478 STONE POINT DRIVE, SUITE 190
ROSEVILLE, CA 95661
T. 916.961.3960

CONTRACTOR CAMERON CONSTRUCTION
STEPHEN CAMERON
T.916.717.4172

PROJECT SUMMARY

OCCUPANCY GROUP: R-3 (RESIDENCE) & U (GARAGE)

CONSTRUCTION TYPE: V-B

APPLICABLE BUILDING CODE: CRC 2022

APPLICABLE PLUMBING CODE: CPC 2022

APPLICABLE ELECTRICAL CODE: CEC 2022

APPLICABLE GREEN CODE: CGBSC 2022

APPLICABLE MECHANICAL CODE: CMC 2022

APPLICABLE FIRE CODE: CFC 2022

APPLICABLE ENERGY CODE: CA ENERGY CODE 2022

APPLICABLE LOCAL CODES: SACRAMENTO COUNTY CODE OF ORDINANCES & ZONING CODE

ZONING: RD-4

STRUCTURES SPRINKLERED: NO

(E) LOT AREA: 20,038 SF / 0.46 ACRE

(E) RESIDENCE (1 STORY): 2611

(E) GARAGE TO BE DEMO'D: 487

(E) CARPORT TO BE DEMO'D: 330

(E) LOT COVERAGE: 3428 SF, 17%

PROPOSED LOT COVERAGE ADDITIONS:

(N) RESIDENCE: 3675 SF (+1064)

(N) GARAGE: UNDER SEP. PERMIT #CBNR 2025-00535: 761

(N) ADU: UNDER SEP. PERMIT #CBNR 2025-00528: 461

(N) TOTAL PROPOSED LOT COVERAGE: 4897 SF (+1469), 24%

(E) ALLOW. REAR YARD COVERAGE: 4075 SF X 30% = 1222.5 SF

(N) REAR YARD COVERAGE: 761 (GARAGE)+ 461 (ADU) = 1222.0 SF

(N) PROPOSED CONDITIONED AREA:

RESIDENCE (1 STORY): 3200 SF

ADU (UNDER SEPARATE PERMIT) 1st FLOOR: 344

ADU (UNDER SEPARATE PERMIT) 2nd FLOOR: 346

(N) TOTAL: 3849 SF (+1238 SF)

PROJECT SCOPE

REMODEL EXISTING MAIN RESIDENCE, DEMOLISH (E) GARAGE & CARPORT. NEW ADU & GARAGE UNDER SEPARATE PERMITS.

DATE: 6/1/25

SCALE: NTS

DRAWN: ek

A0.01

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NOTES,
SCHEDULES &
SPECIFICATIONS

DATE: 6/1/25
SCALE: N/A
DRAWN: ek

A0.02

SCHEDULES

WING	LOCATION	SIZE (W X H)	AREA	MANUF.	TYPE	FRAME TYPE/ FINISH	HDR HEIGHT	SUL HEIGHT	HDWR GROUP	NOTES
MAIN HOUSE										
1	S ELEV ENTRY	1'-6" X 6'-8"		PORTELLA	FIXED	ARTISAN STEEL- BLACK	7'-0"		T.B.D.	DOUB PANE LOW E
2	ELEV / RM. BATH	2'-4" X 8'-6"			CASEMENT		"	"		
3	S ELEV / RM. BATH	2'-4" X 8'-6"	5.7 SF MIN - BMGRG EGRESS		CASEMENT		"	"		
4	S ELEV / RM. BDRM	2'-4" X 8'-6"	5.7 SF MIN - BMGRG EGRESS		CASEMENT		"	"		
5	W ELEV / RM. BDRM	2'-4" X 8'-6"	5.7 SF MIN - BMGRG EGRESS		CASEMENT		"	"		
6	W ELEV / RM. BDRM	2'-4" X 14'-4"			AWNING: CLERESTORY		"	"		
7	W ELEV / BACK ENTRY	2'-0" X 14'-4"			AWNING: CLERESTORY		"	"		
8	N ELEV / LOFT	2'-0" X 14'-4"			AWNING: CLERESTORY		"	"		
9	W ELEV / OFFICE	2'-0" X 14'-4"			AWNING: CLERESTORY		"	"		
10	N ELEV / BDRM	2'-0" X 14'-4"			AWNING: CLERESTORY		"	"		
11	NW ELEV / BDRM 2	2'-0" X 8'-8"	5.7 SF MIN - BMGRG EGRESS		CASEMENT		"	"		
12	NW ELEV / BATH 2	2'-0" X 8'-8"			AWNING: CLERESTORY		"	"		
13	NW ELEV / BATH 2	2'-0" X 8'-8"			AWNING: CLERESTORY		"	"		
14	NW ELEV / BATH 2	2'-0" X 14'-4"			AWNING: CLERESTORY		"	"		
15	NW ELEV / BATH 2	2'-0" X 14'-4"	5.7 SF MIN - BMGRG EGRESS		CASEMENT		"	"		
16	NE ELEV / KITCHEN	2'-0" X 8'-4"			FIXED		"	"		
17	NE ELEV / KITCHEN	2'-0" X 8'-4"			DOUB CASEMENT		"	"		
18	NE ELEV / KITCHEN	2'-0" X 8'-4"	5.6 sf		TRAFZODIAL CLERESTORY FIXED		"	"		
19	NE ELEV / KITCHEN	2'-0" X 8'-4"	5.6 sf		TRAFZODIAL CLERESTORY FIXED		"	"		
20	NE ELEV / KITCHEN	2'-0" X 8'-4"	5.6 sf		TRAFZODIAL CLERESTORY FIXED		"	"		
21	NE ELEV / KITCHEN	2'-0" X 8'-4" Av. V.I.F	1.0 sf		VARIES		"	"		
22	NE ELEV / DIN RM	4'-0" X 3'-4"			DOUB CASEMENT		7'-0"	"		
23	SE ELEV / UV RM	5'-7" X 9'-0" Av. V.I.F	6.0 sf		TRAFZODIAL CLERESTORY FIXED		"	"		
24	SE ELEV / UV RM	5'-7" X 9'-0" Av. V.I.F	10.9 sf		TRAFZODIAL CLERESTORY FIXED		"	"		
25	SE ELEV / UV RM	5'-7" X 9'-0" Av. V.I.F	10.9 sf		TRAFZODIAL CLERESTORY FIXED		"	"		
26	SE ELEV / UV RM	5'-7" X 11'-8" Av. V.I.F	6.0 sf		TRAFZODIAL CLERESTORY FIXED		"	"		
ADU										
27	N ELEV / KITCHEN	5'-2" X 2'-2"			AWNING		6'-8"	4'-6"		"
28	N ELEV / UV RM	2'-0" X 3'-2"			AWNING		6'-8"	4'-6"		"
29	S ELEV / W.C.	2'-0" X 3'-2"			CASEMENT		6'-8"	3'-6"		"
30	W ELEV / CLOSET	2'-0" X 3'-2"			CASEMENT		6'-8"	3'-6"		"
31	N ELEV / BEDRM	3'-11" X 2'-2"			CASEMENT		6'-11" X 4'-6"			"
32	N ELEV / BEDRM	3'-11" X 2'-2"			CASEMENT		6'-11" X 4'-6"			"
33	E ELEV / HALL	2'-0" X 4'-2"			CASEMENT		6'-1" X 4'-1"	1'-1" X 4'-1"		"
34	E ELEV / BATH	2'-0" X 4'-2"			CASEMENT		6'-1" X 4'-1"	4'-1" X 4'-1"		"
35	S ELEV / STAIRWAY	6'-0" X 5'-2"			FIXED		6'-1" X 4'-6"	2'-1" X 4'-6"		DOUB PANE LOW E
36	W ELEV / STAIRWAY	2'-0" X 3'-2"			FIXED		6'-1" X 4'-6"	2'-1" X 4'-6"		DOUB PANE LOW E
37	W ELEV / BEDRM	6'-0" X 3'-2"			DOUB CASEMENT		6'-1" X 4'-6"	2'-1" X 4'-6"		DOUB PANE LOW E
GARAGE										
38	N ELEV / LOFT	5'-2" X 2'-2"			AWNING		5'-1" X 4'-6"	1'-1" X 4'-6"		"
39	N ELEV / LOFT	5'-2" X 2'-2"			AWNING		5'-1" X 4'-6"	1'-1" X 4'-6"		"
40	N ELEV / LOFT	5'-2" X 2'-2"			AWNING		5'-1" X 4'-6"	1'-1" X 4'-6"		"
EXTERIOR DOOR SCHEDULE										
DOOR NO.	LOCATION / TYPE	SIZE (W X H)	MANUF.	TYPE	FRAME TYPE/ FINISH	HDR HEIGHT	HDWR GROUP	NOTES		
1	S / MARE ENTRY	3'-0" X 7'-0"	PORTELLA	GLASS ENTRY	ARTISAN STEEL- BLACK	7'-0"	KEYED W/ DEADBOLT	DOUB PANE LOW E		
2	S / PRIM. BDRM	3'-0" X 7'-0"		GLASS SLIDING POCKET		"		"		" W/ SCREEN DOOR
3	W / BACK ENTRY	3'-0" X 7'-0"	*	GLASS ENTRY		"				DOUB PANE LOW E
4	KITCHEN	3'-0" X 7'-0"	*	GLASS SLIDING POCKET		"				" W/ SCREEN DOOR
5	LOUNGE	3'-0" X 7'-0"	*	GLASS SLIDING POCKET		"				
6	N / GREEN RM.	3'-0" X 7'-0"	*	GLASS SLIDING POCKET		"				
7	E / GREAT RM.	16'-0" X 7'-0"	*	4 PANEL PATIO GLASS SLIDING		"				DEADBOLT
8	N / NOT USED									
9	ADU / PRIM. ENTRY	3'-0" X 6'-0"		GLASS ENTRY		6'-8"	KEYED W/ DEADBOLT	FROSTED DOUB. PANE LOW E		
10	ADU / E / LIV. RM.	8'-0" X 6'-0"		GLASS SLIDING		"				DOUB. PANE LOW E W/ SCREEN
11	ADU / E / LIV. RM.	2'-4" X 6'-0"	*	GLASS ENTRY		"				FROSTED DOUB. PANE LOW E
12	ADU W.H. RM / UTILITY	2'-2" X 6'-0"	T.B.D.	VENTED EXT. STL.	PAINTED STL.	6'-0"	KEYED			
13	GARAGE MAN ENTRY	3'-0" X 6'-0"	PORTELLA	GLASS ENTRY	ARTISAN STEEL- BLACK	6'-8"	KEYED W/ DEADBOLT	DOUB. PANE LOW E		
14	GARAGE AUTO ENTRY	8'-0" X 7'-0"	T.B.D.	4- PANEL ROLL-UP	BLACK FRAME	7'-0"	WALL MOUNT MOTOR	FROSTED GLASS		
15	GARAGE AUTO ENTRY	19'-0" X 7'-0"	T.B.D.	4- PANEL ROLL-UP	BLACK FRAME	7'-0"	WALL MOUNT MOTOR	FROSTED GLASS		
16	LOUNGE	8'-0" X 6'-0"	PORTELLA	GLASS SLIDING	ARTISAN STEEL- BLACK	6'-0"	DEADBOLT	DOUB. PANE LOW E W/ SCREEN		
17	KIT/ BREAKFAST	8'-0" X 6'-0"	*							
18	HALLWAY	8'-0" X 6'-0"	*							
INTERIOR DOOR SCHEDULE										
19	ENTRY COAT CLOSET	2'-0" X 6'-0"	T.B.D.	WOOD 5- PANEL LADDER	WOOD- PAINTED	6'-8"	PASSAGE			
20	POWDER ROOM	2'-0" X 6'-0"	*	*	*	"	PRIVACY			
21	PRIM. BEDRM. ENTRY	3'-0" X 6'-0"	*	*	*	"	PRIVACY			
22	PRIM. BEDRM. CLOSET	PR. 1'-8" X 6'-0"	*	*	*	"	PASSAGE			
23	PRIM. BEDRM. CLOSET	PR. 1'-8" X 6'-0"	*	*	*	"	PRIVACY			
24	BEDRM. BATH	2'-0" X 6'-0"	*	*	*	"	PASSAGE			
25	PRIM. BATH / SHOWER	2'-0" X 6'-0"	*	1/2" TEMP. GLASS SWING	TEMPERED					
26	OFFICE ENTRY	3'-0" X 6'-0"	*	WOOD 5- PANEL LADDER	WOOD- PAINTED	6'-8"	PRIVACY			
27	LAUNDRY	3'-0" X 6'-0"	*	*	*	"	PASSAGE			
28	HALL PANTRY	PR. 2'-0" X 6'-0"	*	*	*	"	PASSAGE			
29	BDRM. 2 ENTRY	2'-10" X 6'-0"	*	WOOD 5- PANEL LADDER	WOOD- PAINTED	"	PRIVACY			
30	BDRM. 2 CLOSET	2'-10" X 6'-0"	*	*	*	"	PASSAGE			
31	BDRM. 2 CLOSET	2'-10" X 6'-0"	*	*	*	"	PRIVACY			
32	BDRM. 2 CLOSET	2'-10" X 6'-0"	*	*	*	"	PASSAGE			
33	BDRM. 2 CLOSET	2'-10" X 6'-0"	*</td							

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C O R T L A N D T R E S I D E N C E

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728 CORTLAND DRIVE
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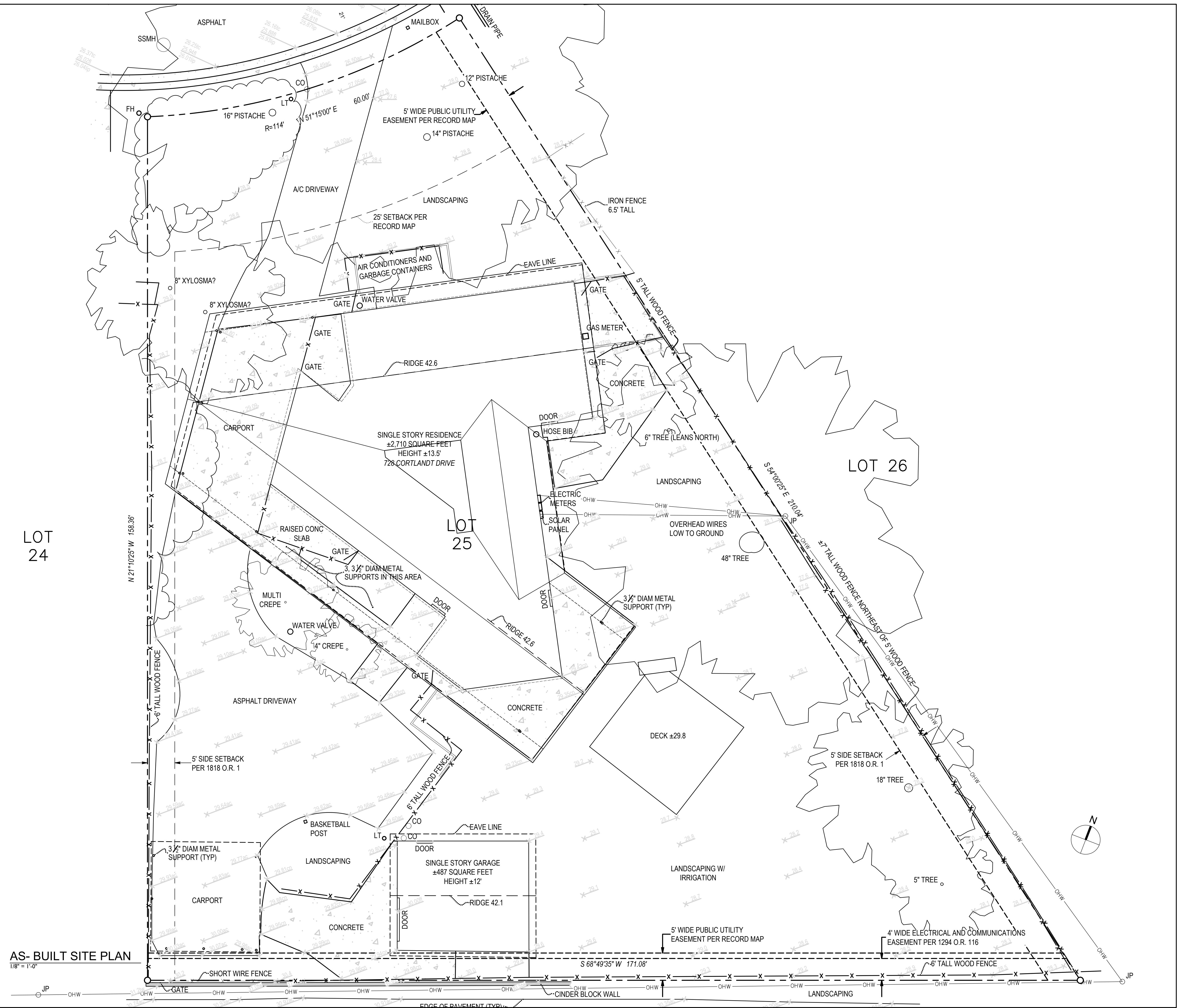


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AS-BUILT SITE PLAN

DATE: 6/1/25
SCALE: 1/8" = 1'-0"
DRAWN: ck

ABI.00

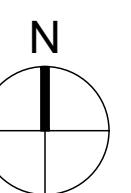


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architect

2231 H STREET

SACRAMENTO, CA 95816

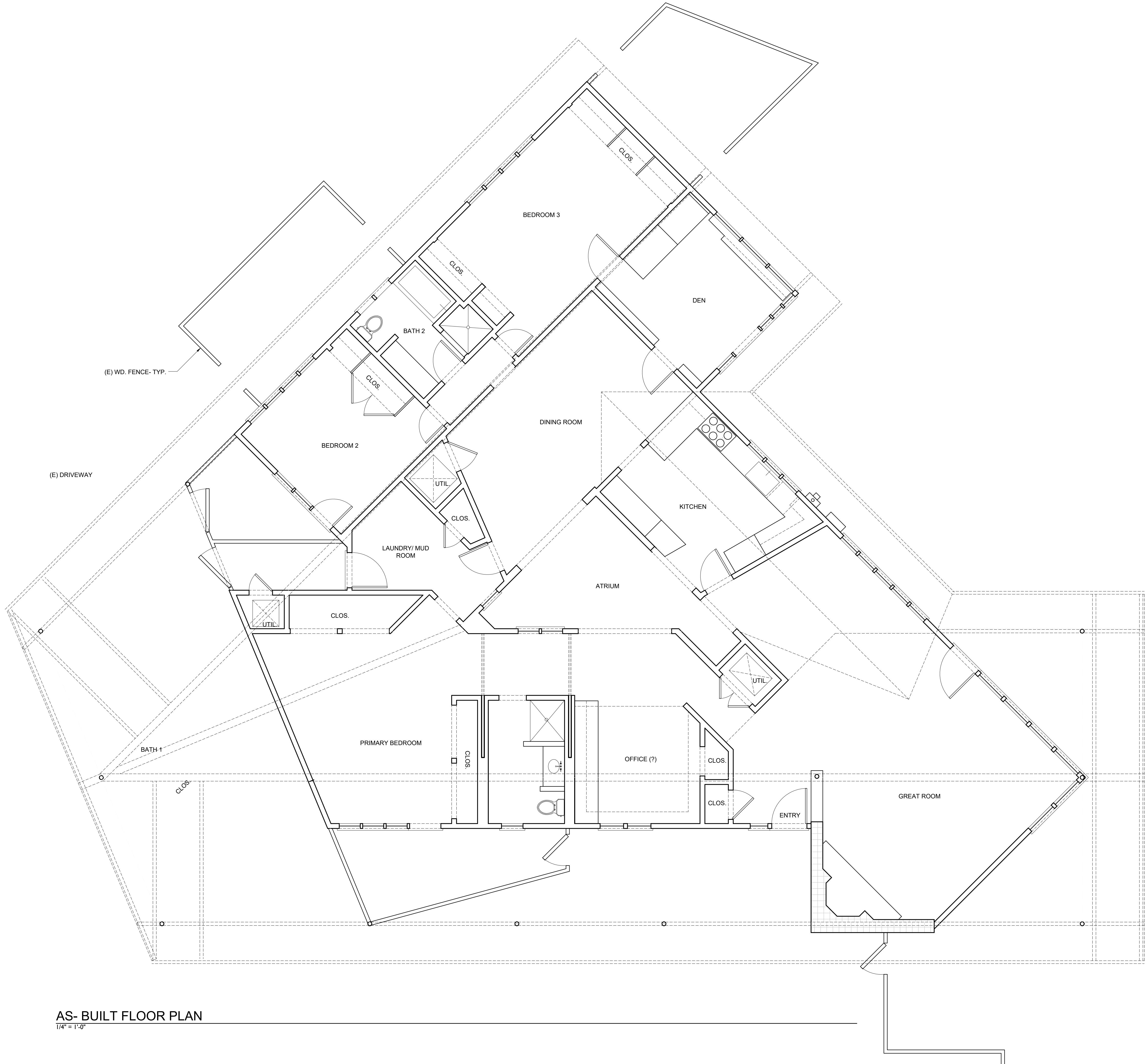
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12.9.24 CLIENT REVISIONS

AS-BUILT FLOOR PLAN

DATE:
SCALE:
DRAWN:
6/1/25
1/4" = 1'-0"
ek

AB1.01



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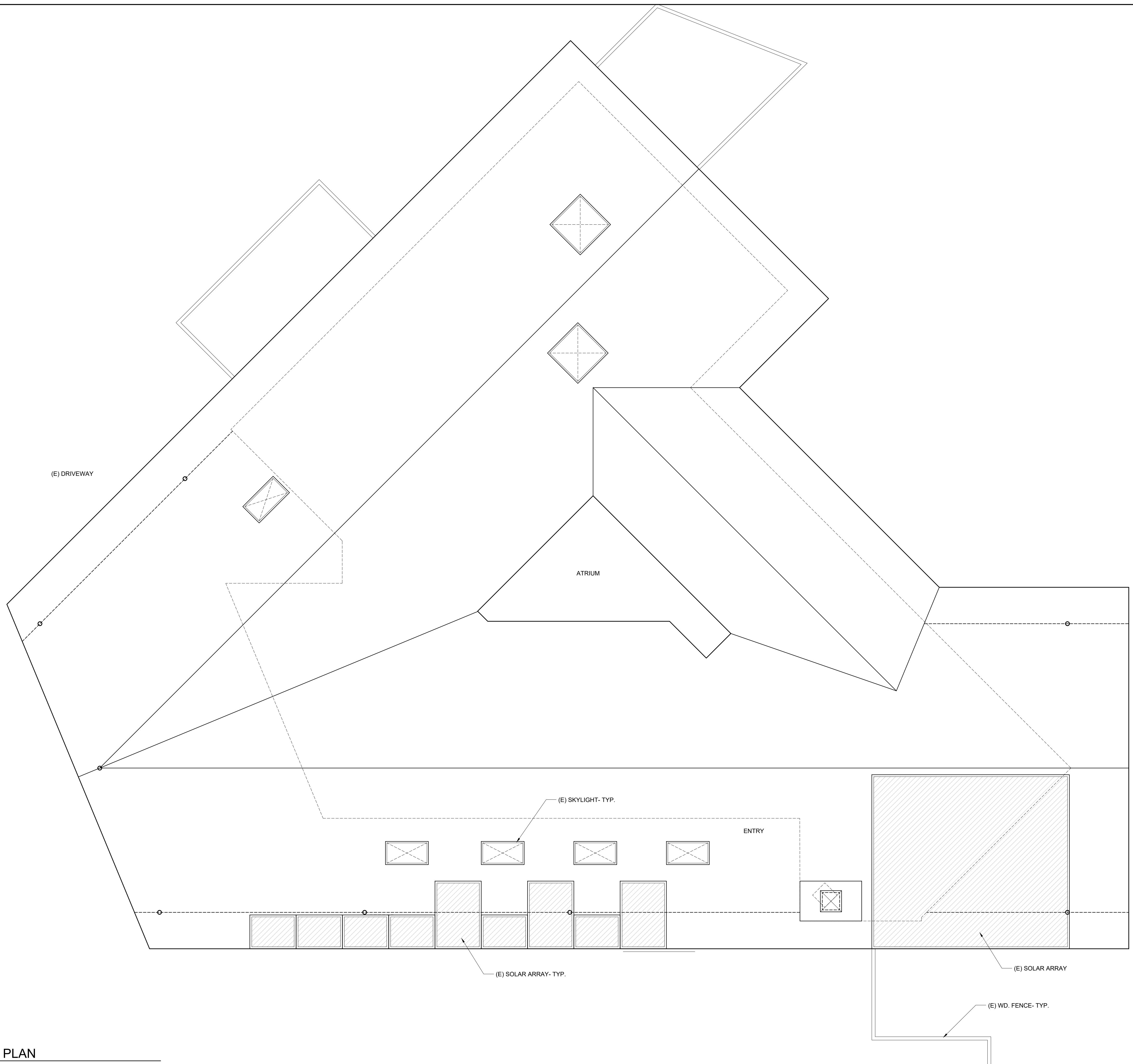
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PLANDATE:
SCALE:
DRAWN:6/1/25
1/4" = 1'-0"
ek

AB1.02



EK

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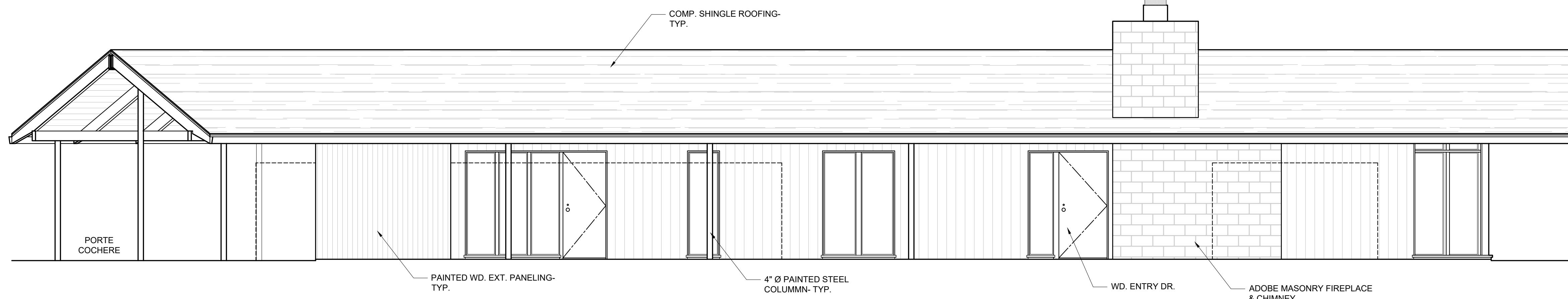
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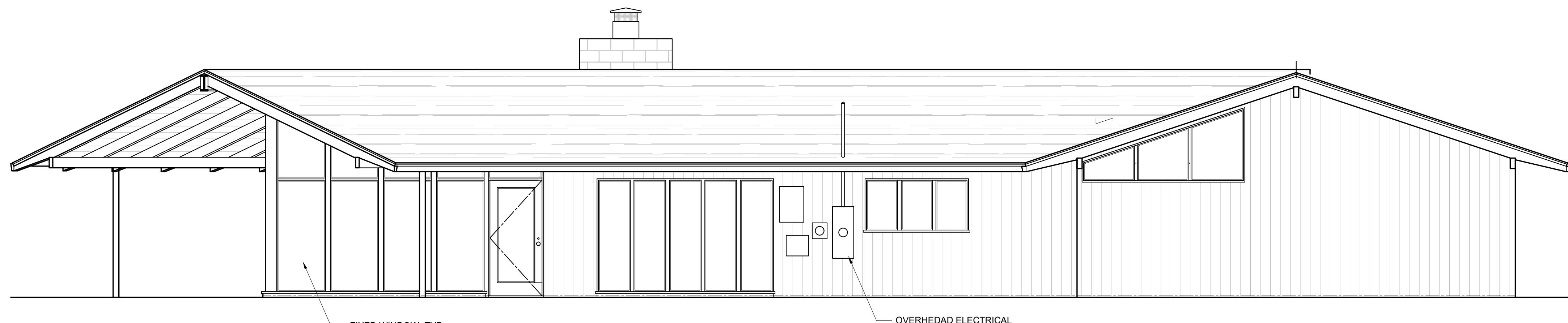
AS-BUILT EXTERIOR ELEVATIONS

DATE: 6/1/25
SCALE: 1/4" = 1'-0"
DRAWN: ek
AB 2.01



AS-BUILT SOUTH/ FRONT ENTRY EXTERIOR ELEVATION

1/4" = 1'-0"



AS-BUILT NORTHWEST/ SIDE EXTERIOR ELEVATION

1/4" = 1'-0"

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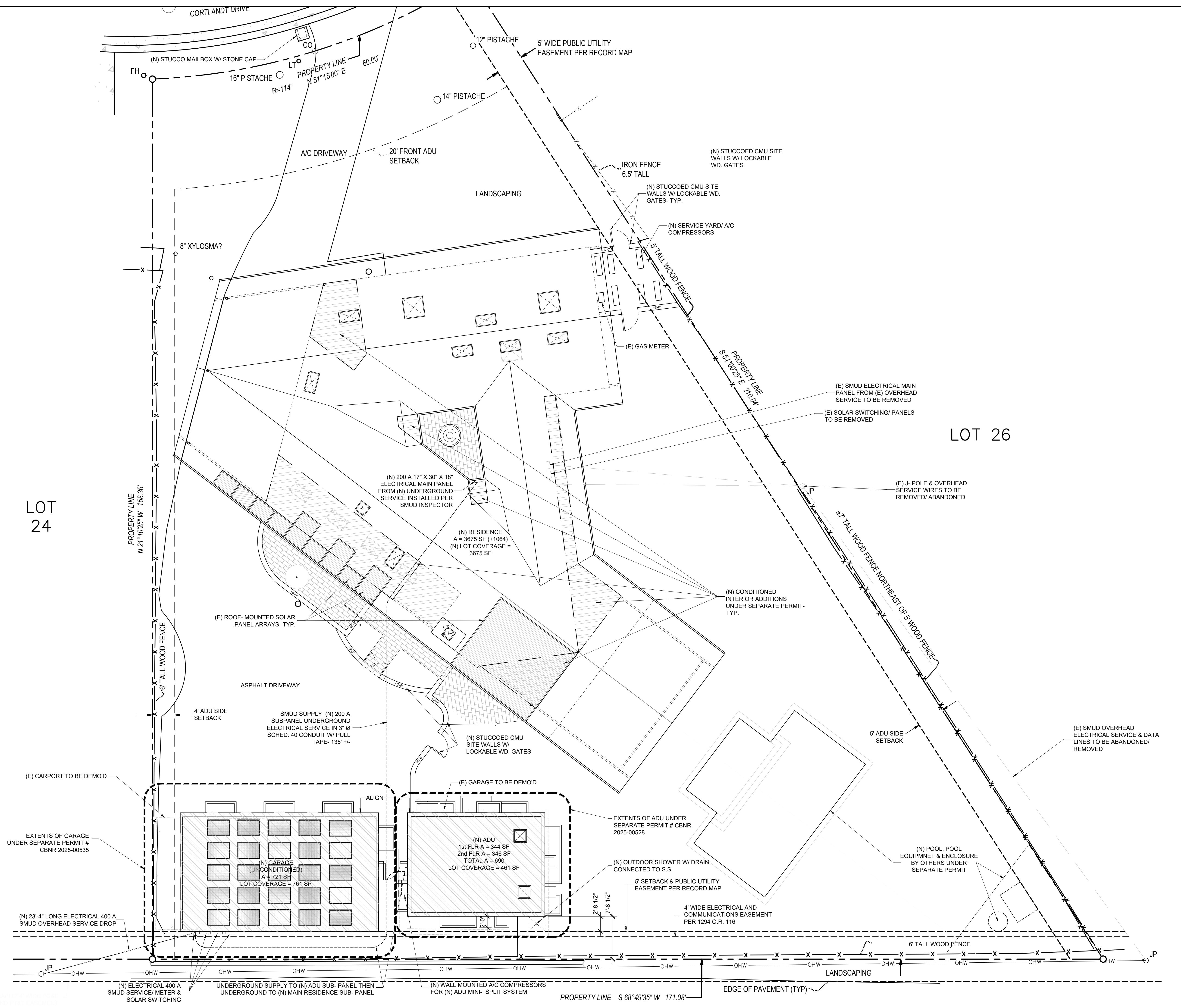


DATE: ISSUE:
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PROPOSED SITE PLAN

DATE: 6/1/25
SCALE: 1/8" = 1'-0"
AWN: ek

A1.00



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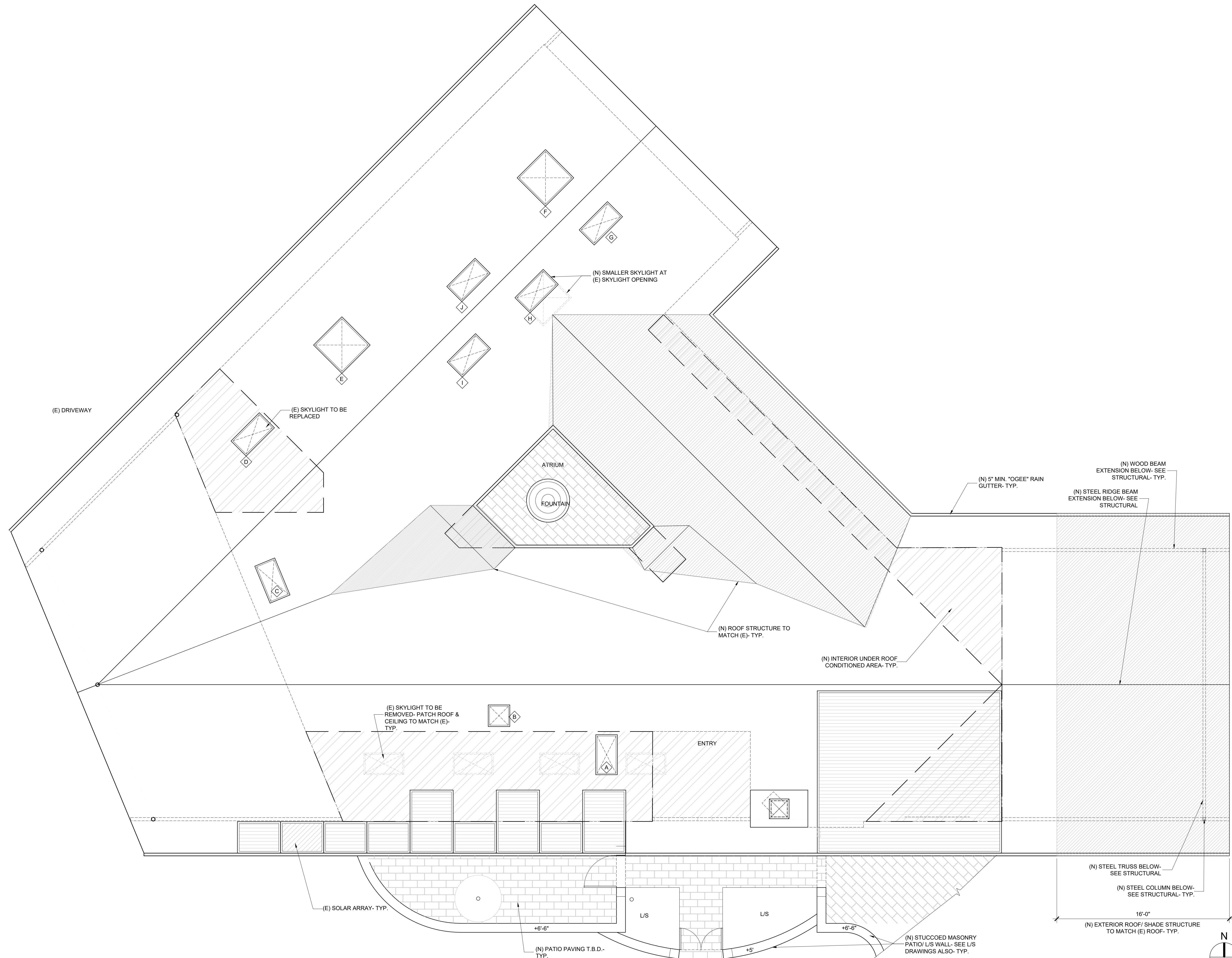
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12.9.24 CLIENT REVISIONS**PROPOSED ROOF PLAN**DATE:
SCALE:
DRAWN:

6/1/25

1/4" = 1'-0"

ek

A1.02



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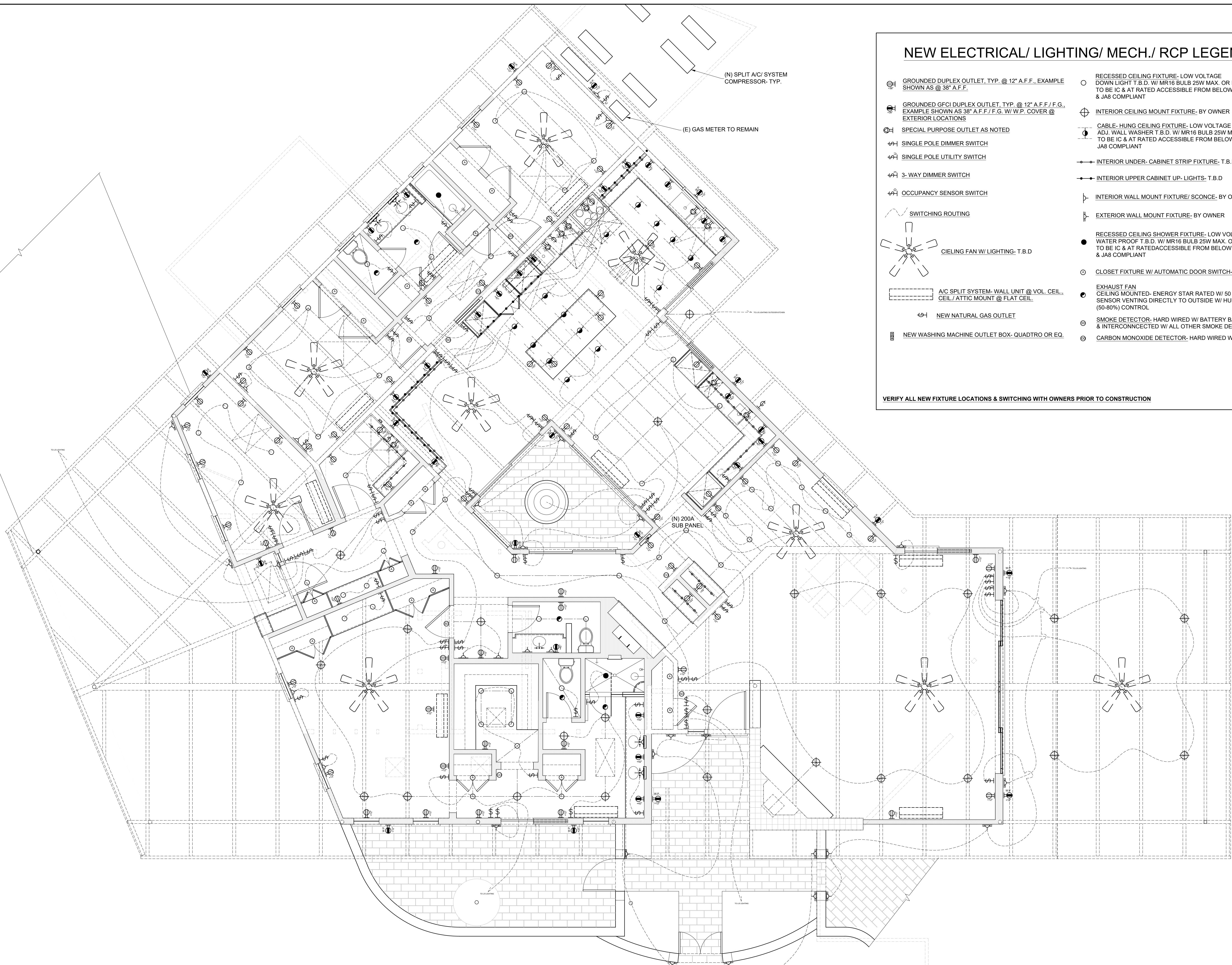
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95864DATE: ISSUE:
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12.9.24 CLIENT REVISIONSPROPOSED
REFLECTED
CEILING PLAN-
MAIN HOUSEDATE:
SCALE:
DRAWN:
I/4" = 1'-0"
ek

A1.03

NEW ELECTRICAL/ LIGHTING/ MECH./ RCP LEGEND

- (N) SPLIT A/C SYSTEM COMPRESSOR- TYP.
- (E) GAS METER TO REMAIN
- GROUNDED DUPLEX OUTLET, TYP. @ 12" A.F.F., EXAMPLE SHOWN AS @ 38" A.F.F.
- GROUNDED GFCI DUPLEX OUTLET, TYP. @ 12" A.F.F./ F.G., EXAMPLE SHOWN AS 38" A.F.F. / F.G. W/ W.P. COVER @ EXTERIOR LOCATIONS
- SPECIAL PURPOSE OUTLET AS NOTED
- SINGLE POLE DIMMER SWITCH
- SINGLE POLE UTILITY SWITCH
- 3-WAY DIMMER SWITCH
- OCCUPANCY SENSOR SWITCH
- SWITCHING ROUTING
- CEILING FAN W/ LIGHTING- T.B.D
- A/C SPLIT SYSTEM- WALL UNIT @ VOL. CEIL. CEIL / ATTIC MOUNT @ FLAT CEIL.
- NEW NATURAL GAS OUTLET
- NEW WASHING MACHINE OUTLET BOX- QUADRO OR EQ.
- RECESSED CEILING FIXTURE- LOW VOLTAGE DOWN LIGHT T.B.D. W/ MR16 BULB 25W MAX. OR EQUIV. TO BE IC & AT RATED ACCESSIBLE FROM BELOW CEILING & JA8 COMPLIANT
- INTERIOR CEILING MOUNT FIXTURE- BY OWNER
- CABLE- HUNG CEILING FIXTURE- LOW VOLTAGE ADJ. WALL WASHER T.B.D. W/ MR16 BULB 25W MAX. OR EQUIV. TO BE IC & AT RATED ACCESSIBLE FROM BELOW CEILING & JA8 COMPLIANT
- INTERIOR UNDER- CABINET STRIP FIXTURE- T.B.D
- INTERIOR UPPER CABINET UP- LIGHTS- T.B.D
- INTERIOR WALL MOUNT FIXTURE/ SCONCE- BY OWNER
- EXTERIOR WALL MOUNT FIXTURE- BY OWNER
- RECESSED CEILING SHOWER FIXTURE- LOW VOLTAGE WATER PROOF T.B.D. W/ MR16 BULB 25W MAX. OR EQUIV. TO BE IC & AT RATED ACCESSIBLE FROM BELOW CEILING & JA8 COMPLIANT
- CLOSET FIXTURE W/ AUTOMATIC DOOR SWITCH- BY OWNER
- EXHAUST FAN
- CEILING MOUNTED- ENERGY STAR RATED W/ 50 CFM OCCUPANCY SENSOR VENTING DIRECTLY TO OUTSIDE W/ HUMIDITY (50-80%) CONTROL
- SMOKE DETECTOR- HARD WIRED W/ BATTERY BACKUP & INTERCONNECTED W/ ALL OTHER SMOKE DETECTORS IN PROJECT
- CARBON MONOXIDE DETECTOR- HARD WIRED W/ BATTERY BACKUP

VERIFY ALL NEW FIXTURE LOCATIONS & SWITCHING WITH OWNERS PRIOR TO CONSTRUCTION



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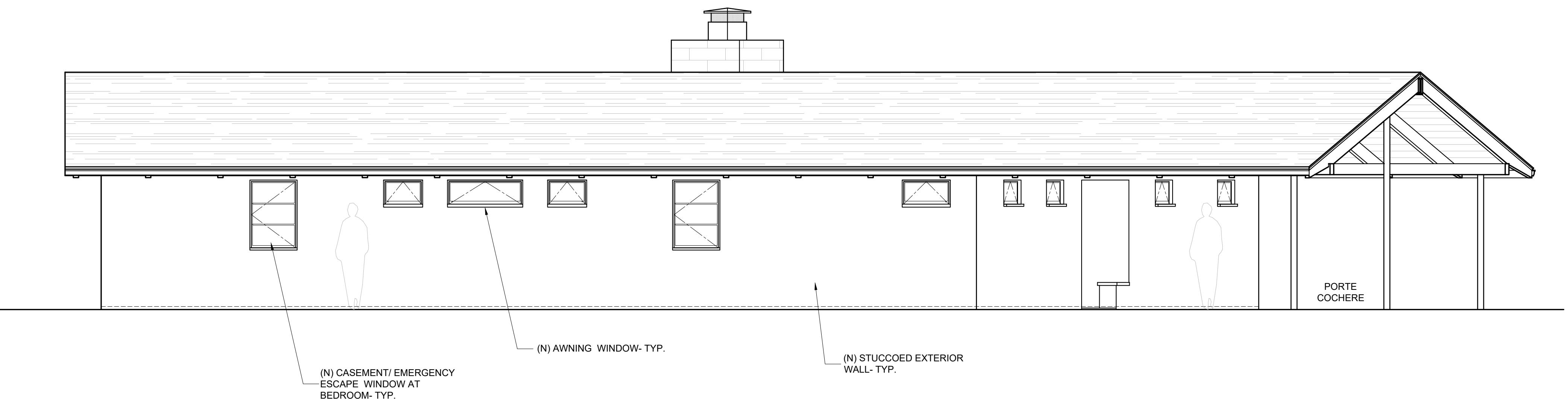
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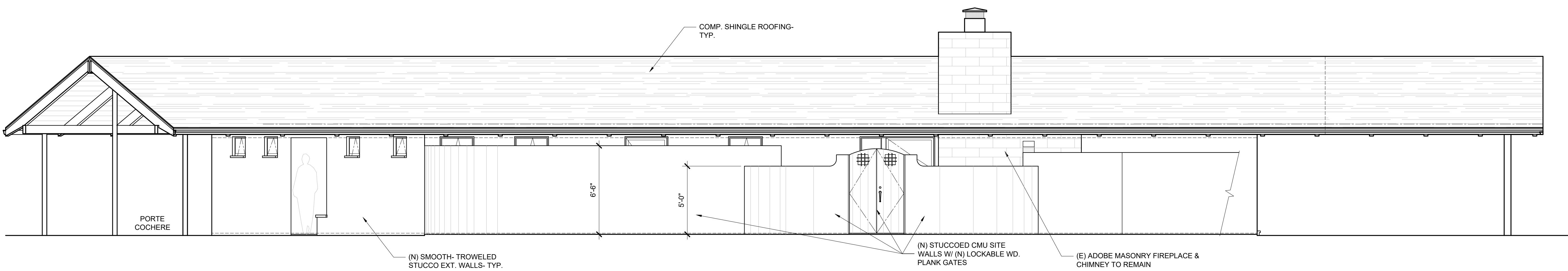
PROPOSED EXTERIOR ELEVATIONS

DATE: 6/1/25
SCALE: 1/4" = 1'-0"
DRAWN: ek
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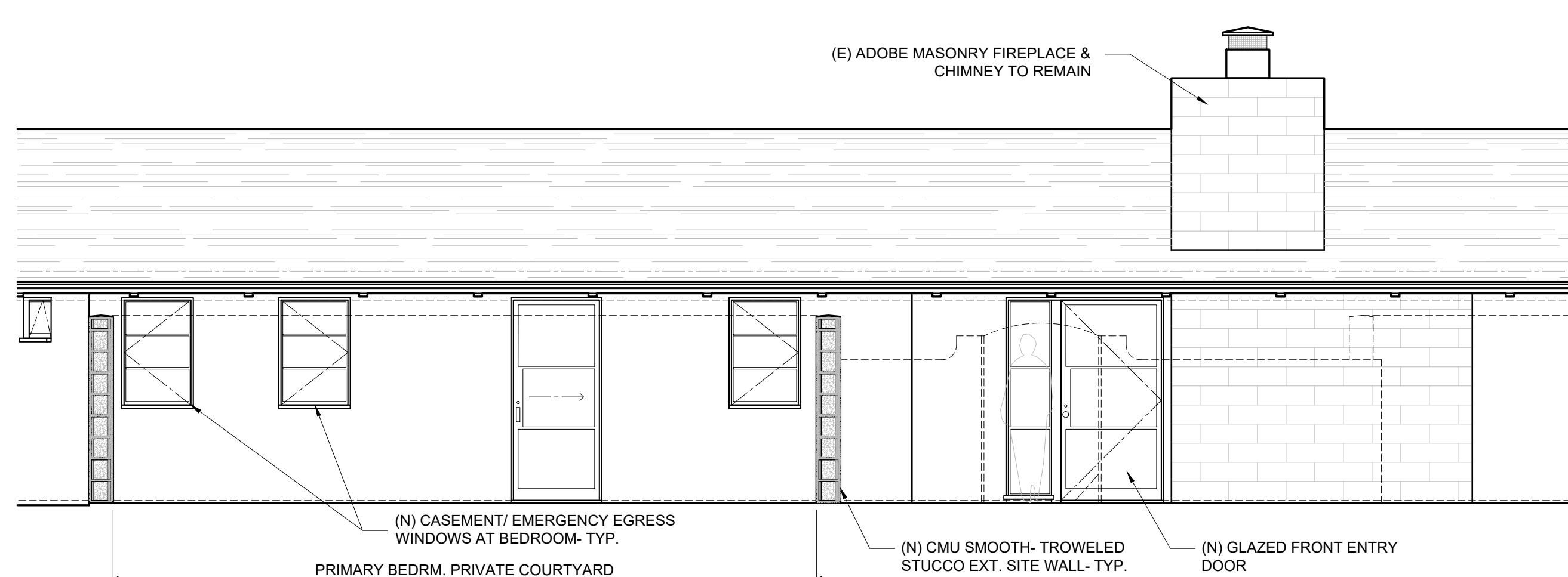
PROPOSED NORTHWEST/ STREET- SIDE EXTERIOR ELEVATION

1/4" = 1'-0"



PROPOSED SOUTH/ FRONT ENTRY EXTERIOR ELEVATION

1/4" = 1'-0"



PROPOSED SOUTH/ FRONT ENTRY PARTIAL EXTERIOR ELEVATION BEHIND FRONT SITE WALLS

1/4" = 1'-0"

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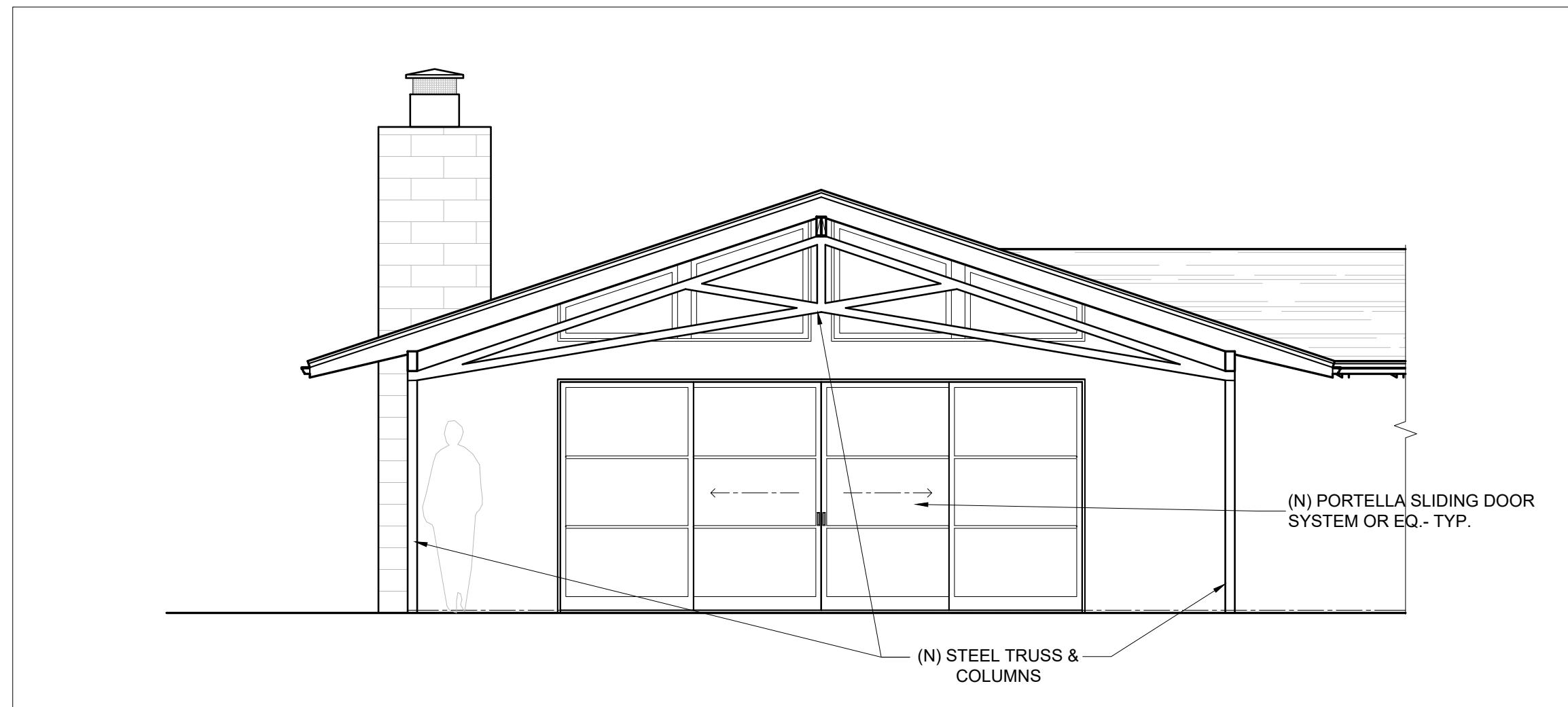
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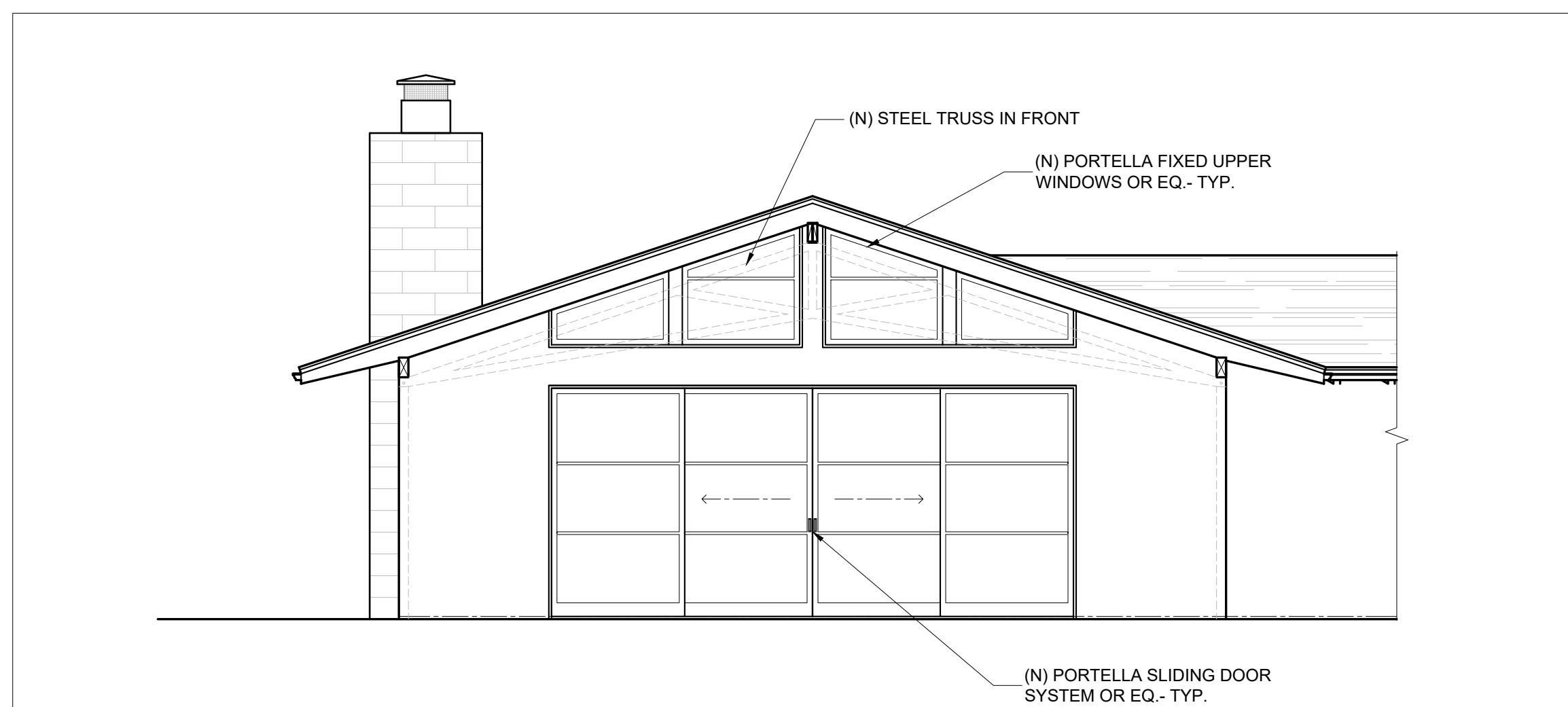
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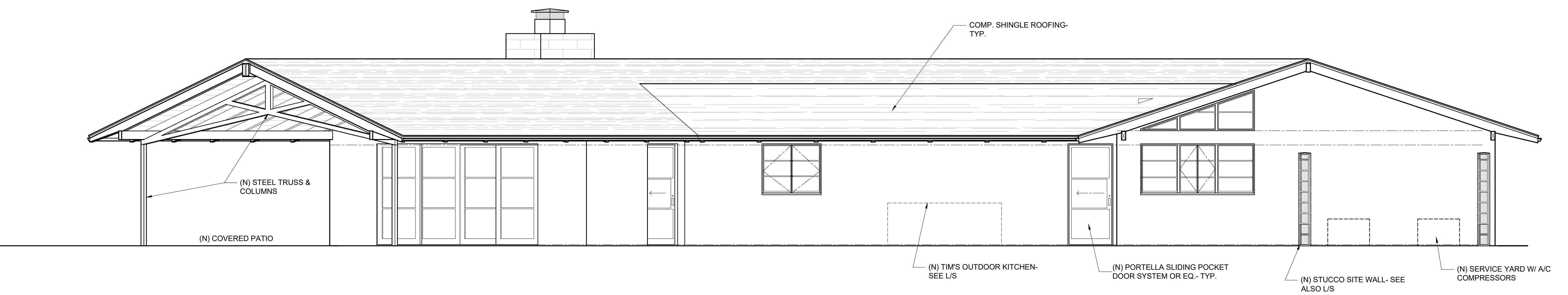
PROPOSED EAST EXTERIOR ELEVATION

1/4"



PROPOSED EAST EXTERIOR SECTION/ ELEVATION AT LIVING ROOM WALL

1/4" =



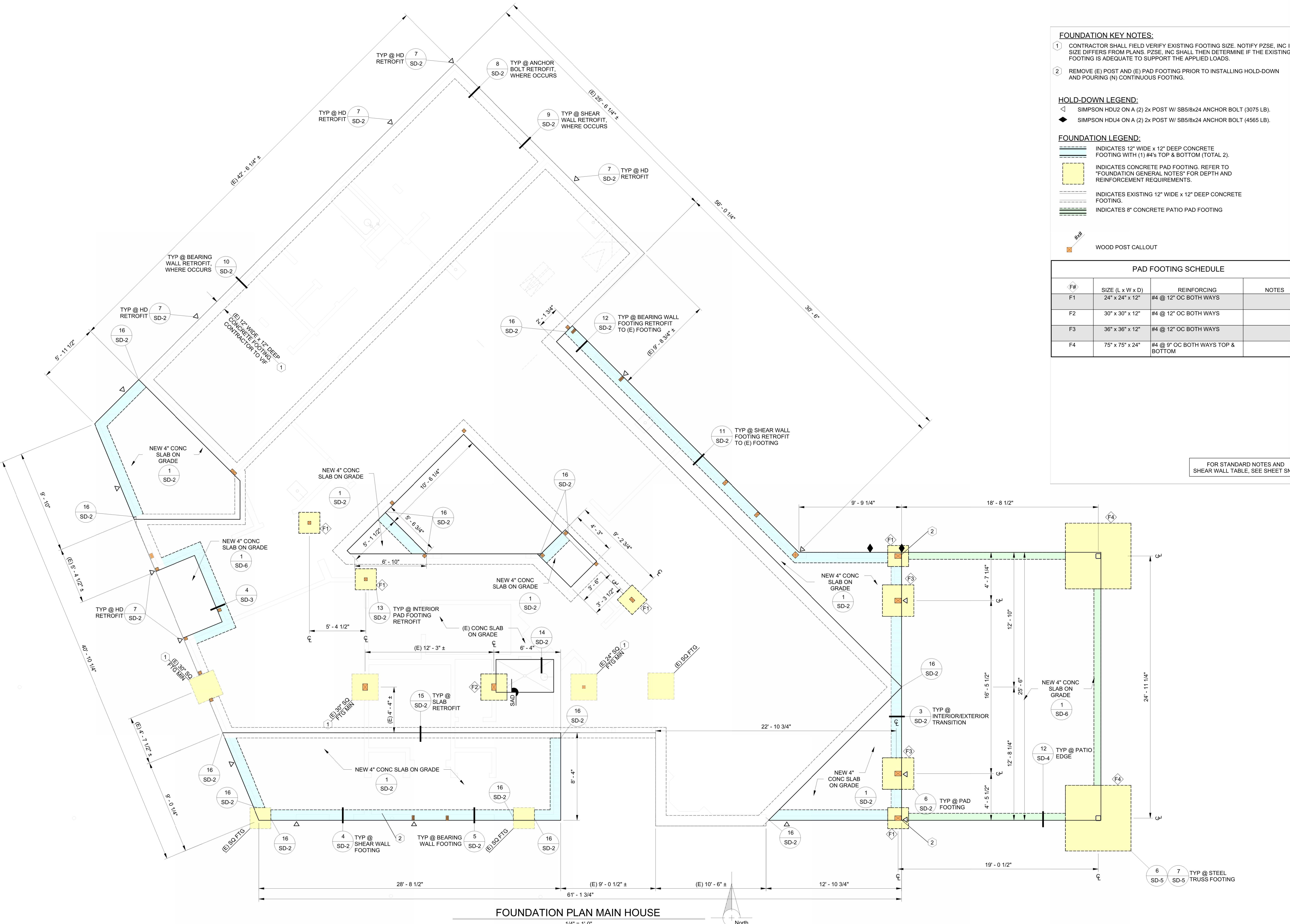
PROPOSED NORTHEAST/ REAR EXTERIOR ELEVATION

1/4" = 1'-0"

PROPOSED EXTERIOR ELEVATIONS

6/1/25

A 2.02



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PAUL KENNETH ZACHER
REGISTERED STRUCTURAL ENGINEER
CORTLAND DRIVE
SACRAMENTO, CA 95814
No. S-3878
Exp. 3-31-27

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DESIGNER:	BV/MM
RAFTER:	CA

EOB:	PKZ	
REVISIONS:		
NO.	REVISION	DATE

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3 CORTLAND DRIVE, SACRAMENTO, CA 95864

KNUTSON ARCHITECT
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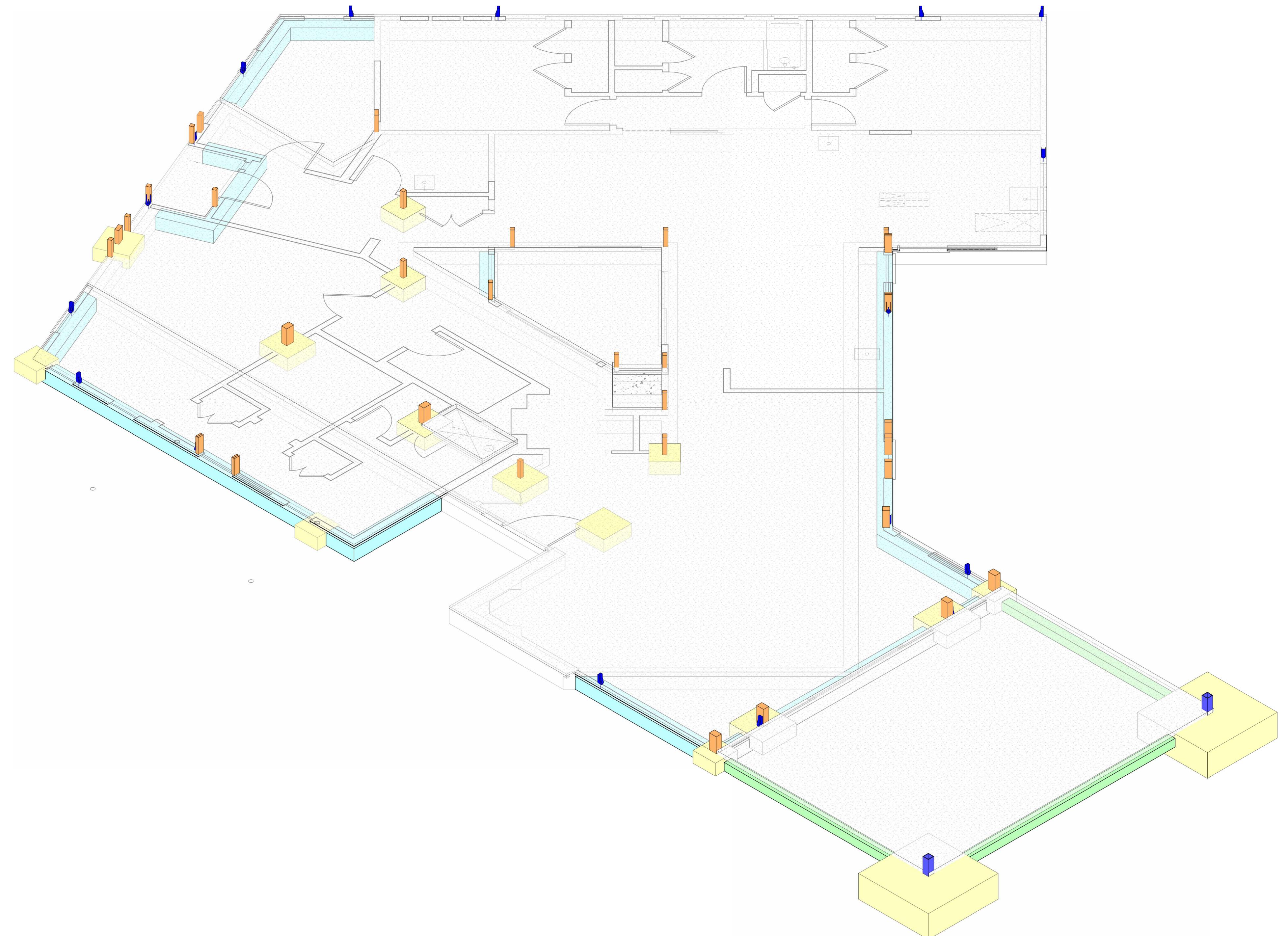
72

PROJECT NUMBER:	2024-04738
DATE:	04-04-2025

MEET TITLE:

**FOUNDATION
PLAN MAIN
HOUSE**

HEET NUMBER:
S-1



FOUNDATION ISO VIEW MAIN HOUSE

ISOMETRIC GENERAL NOTES:

1. FOR EXACT FOUNDATION, BEAM, JOIST & POST CALLOUTS, DIMENSIONS AND LOCATIONS SEE STRUCTURAL PLANS.
 2. HOLD-DOWNS ONLY SHOWN FOR REFERENCE. REFER TO MATRIX FOR REQUIRED POST ATTACHMENTS. HD DIRECTION TO BE ESTABLISHED IN FIELD.

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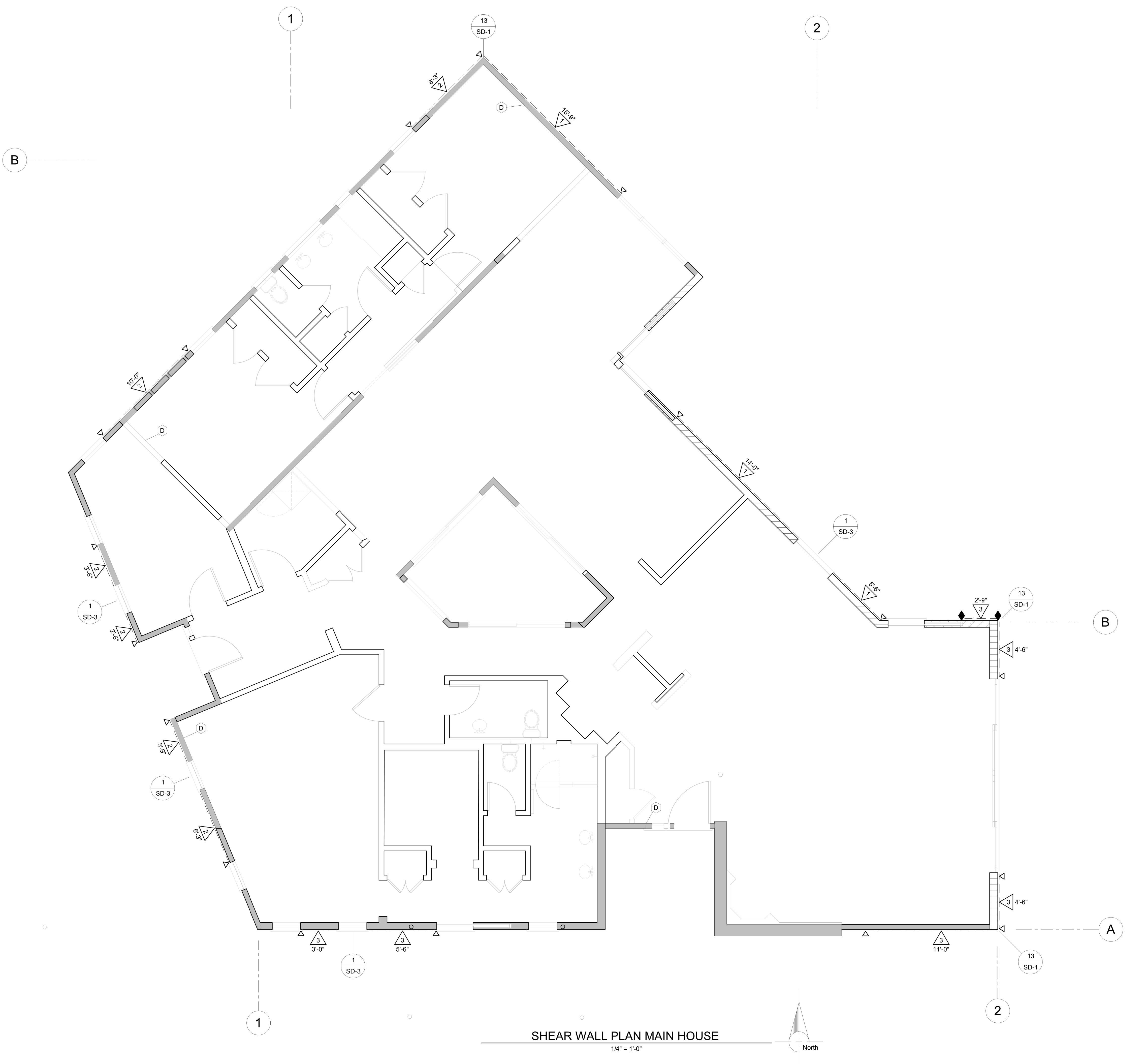
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728 C
728 C
ENT:

JECT NUMBER:
2024-04738

04-04-2025

HOUSE



1ST FLOOR SHEAR WALL NOTES:

1. ALL EXTERIOR WALLS SHALL BE SHEATHED WITH 3/8" OSB OR CDX AND NAILED WITH 8d @ 6" OC AT THE EDGES AND 12" OC IN THE FIELD UNO
 2. FOR SHEAR WALL, HOLD-DOWN AND STRAP TIE INFORMATION, SEE THE "SHEAR WALL TABLE" ON SHEET SN-1.
 3. ALL HOLD-DOWN CONNECTORS SHALL BE RE-TIGHTENED JUST PRIOR TO ENCLOSURE.

1ST FLOOR SHEAR WALL KEY NOTES:

- A** SHEAR WALL TO BE CONTINUOUS BEHIND INTERVENING PERPENDICULAR WALL.
 - B** HOLD-DOWN (STRAP TIE WHERE OCCURS) TO BE PLACED DIRECTLY BELOW THE STRAP TIE LOCATED AT THE FLOOR LEVEL ABOVE.
 - C** CONCRETE WALL (FOUNDATION, RETAINING OR OTHER) IDENTIFIED AS A WOOD SHEAR WALL FOR CALCULATION PURPOSES ONLY.
 - D** ADD CS16 x 4'-0" STRAP AT BALLOON FRAMED STUDS THAT ARE NOT CONTINUOUS (DOUBLE TOP PLATE IN MIDDLE OF STUDS). CENTER STRAP ON DOUBLE TOP PLATE.

HOLD-DOWN LEGEND:

- ◀ SIMPSON HDU2 ON A (2) 2x POST W/ SB5/8x24 ANCHOR BOLT (3075 LB).
 - ◆ SIMPSON HDU4 ON A (2) 2x POST W/ SB5/8x24 ANCHOR BOLT (4565 LB).

WALL FRAMING LEGEND:

-  INDICATES 2x4 DF#2 @ 16" OC BEARING/SHEAR WALL
 -  INDICATES 2x6 DF#2 @ 16" OC BEARING/SHEAR WALL
 -  INDICATES 2x8 DF#2 @ 16" OC BEARING/SHEAR WALL
 -  INDICATES 2x NON-BEARING WALL

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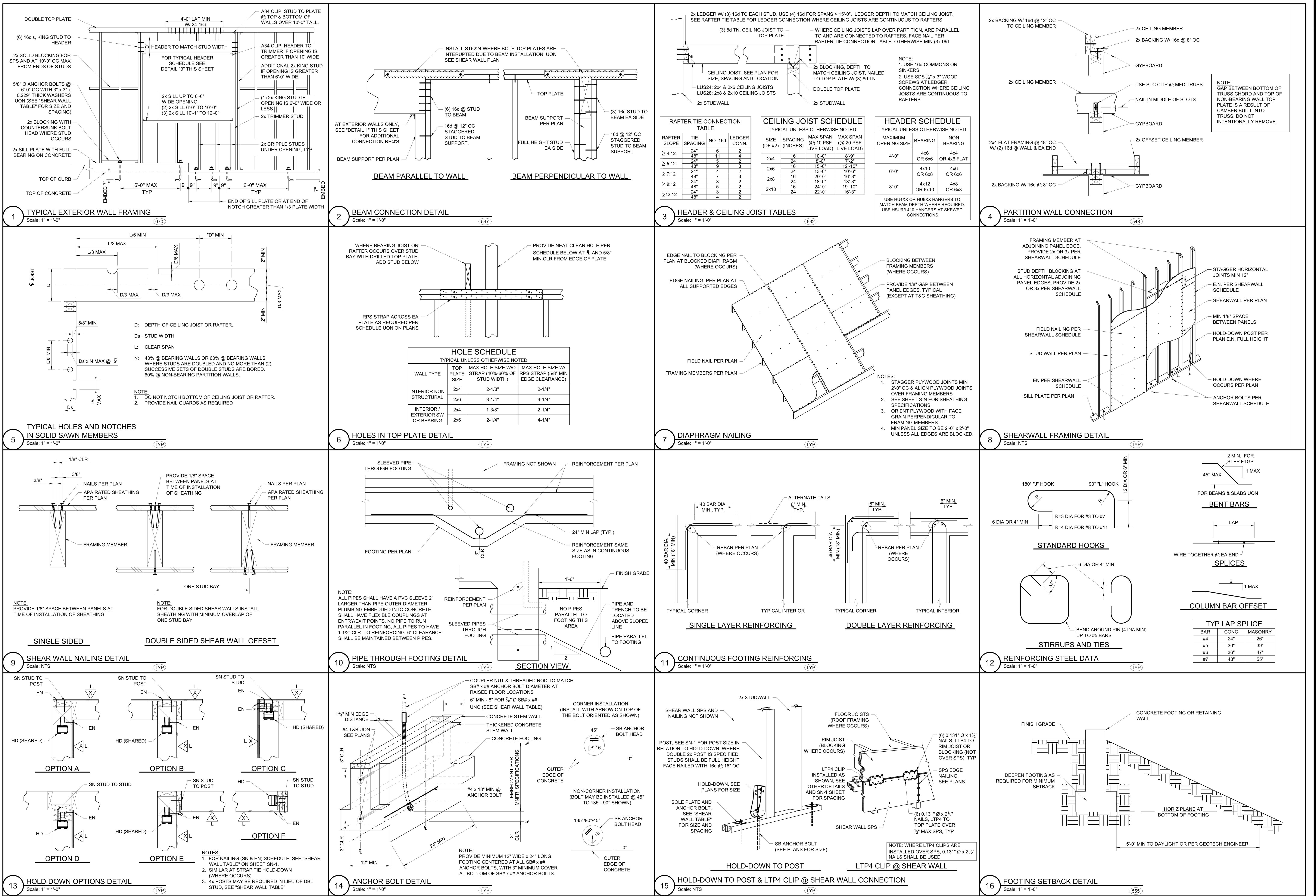
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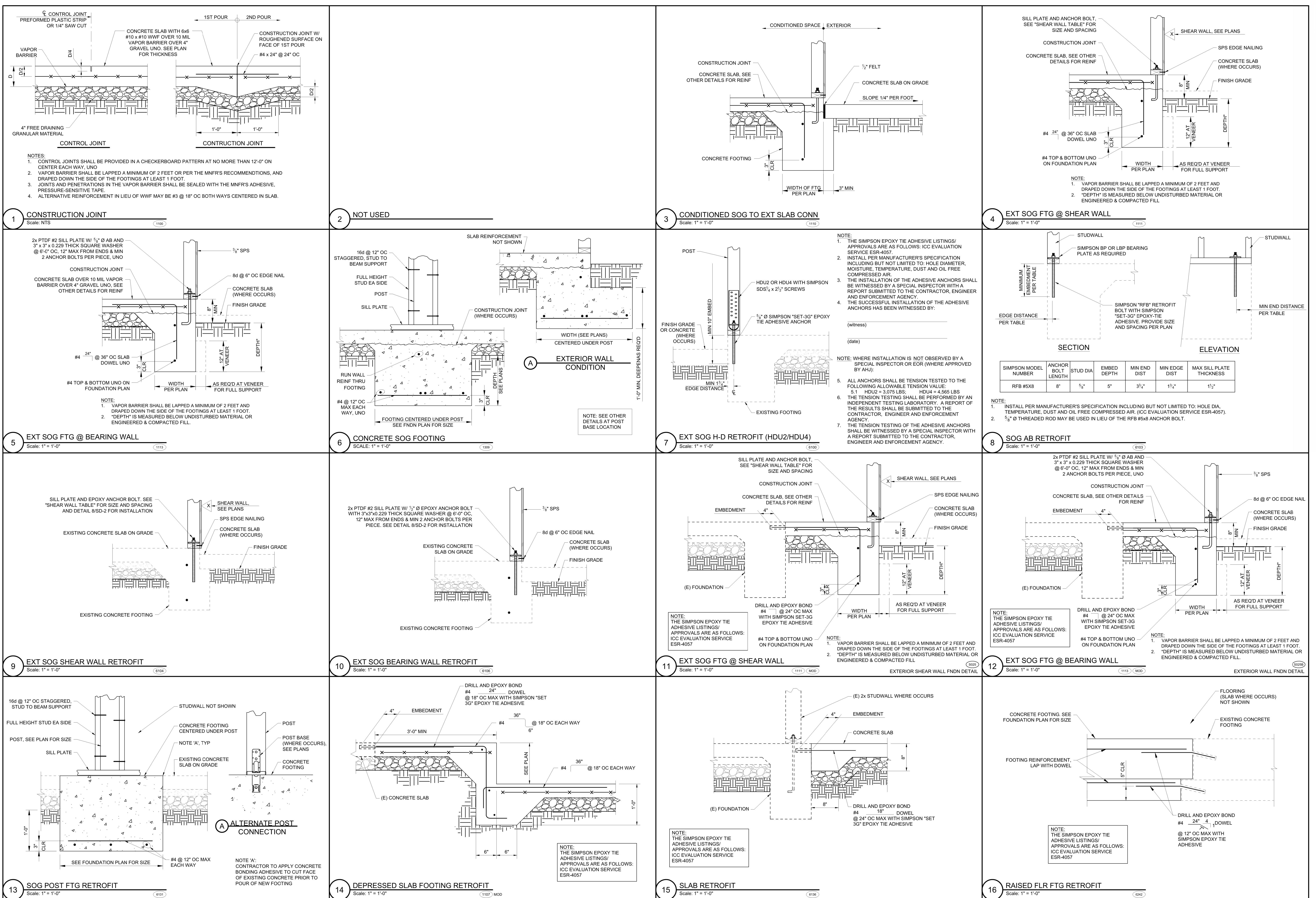
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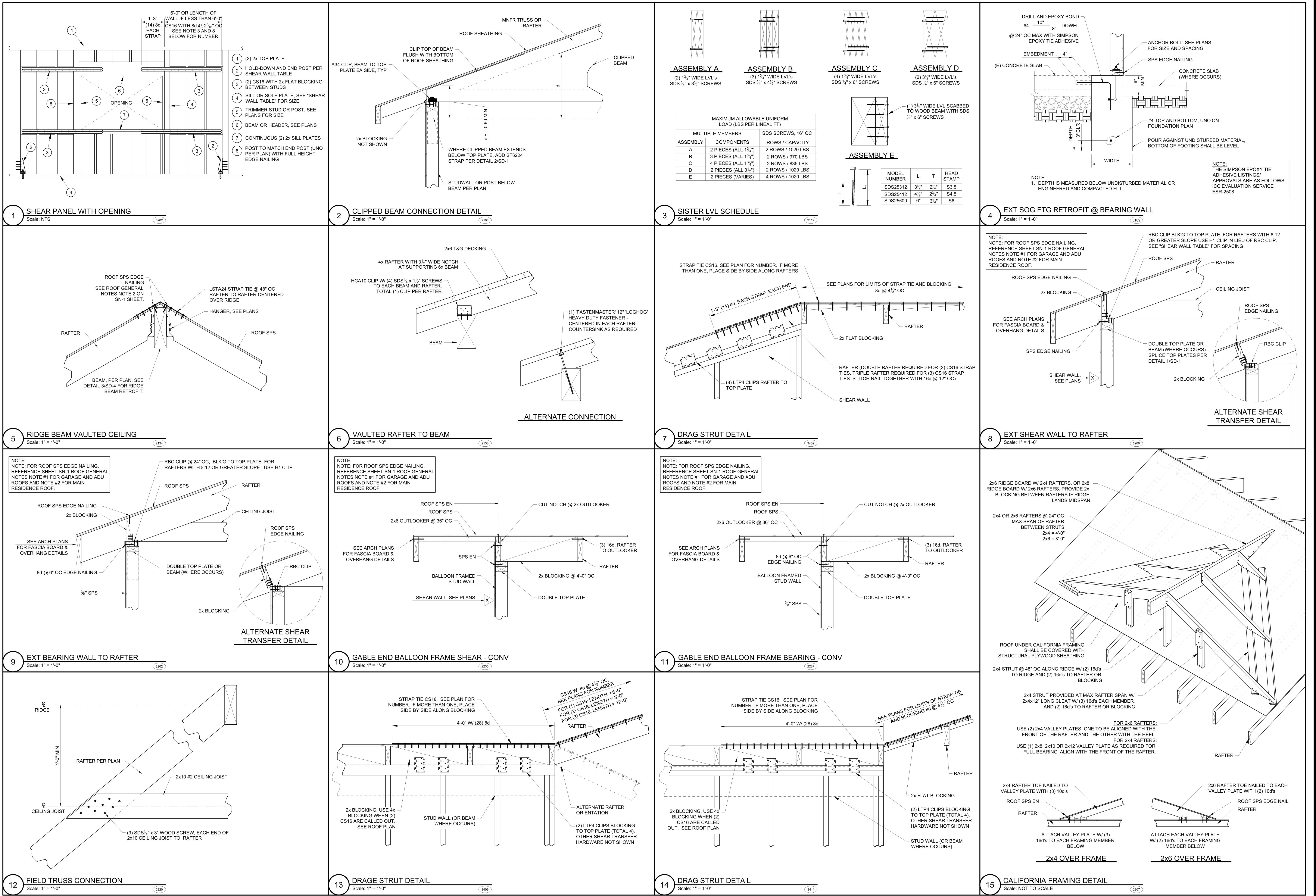
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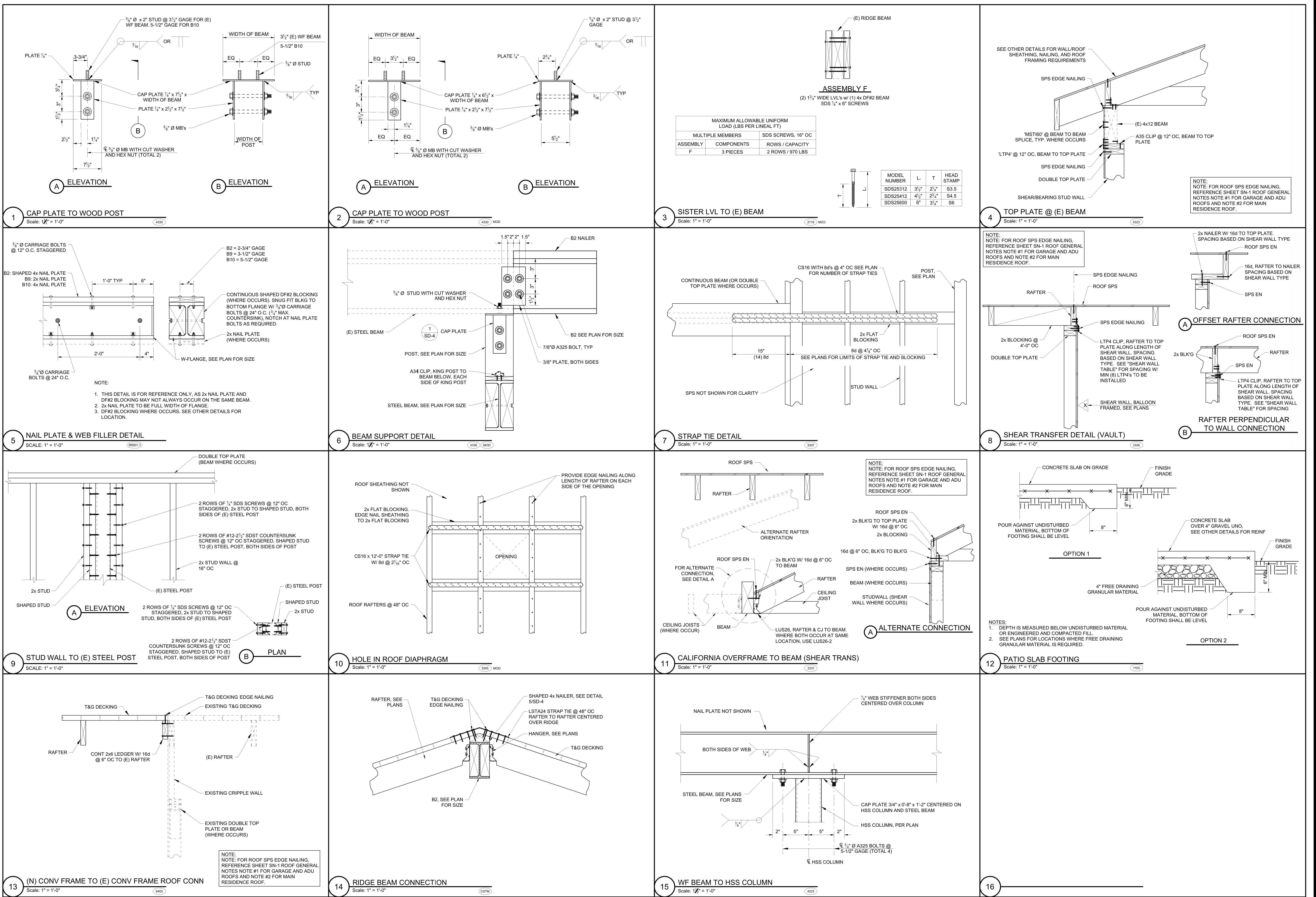
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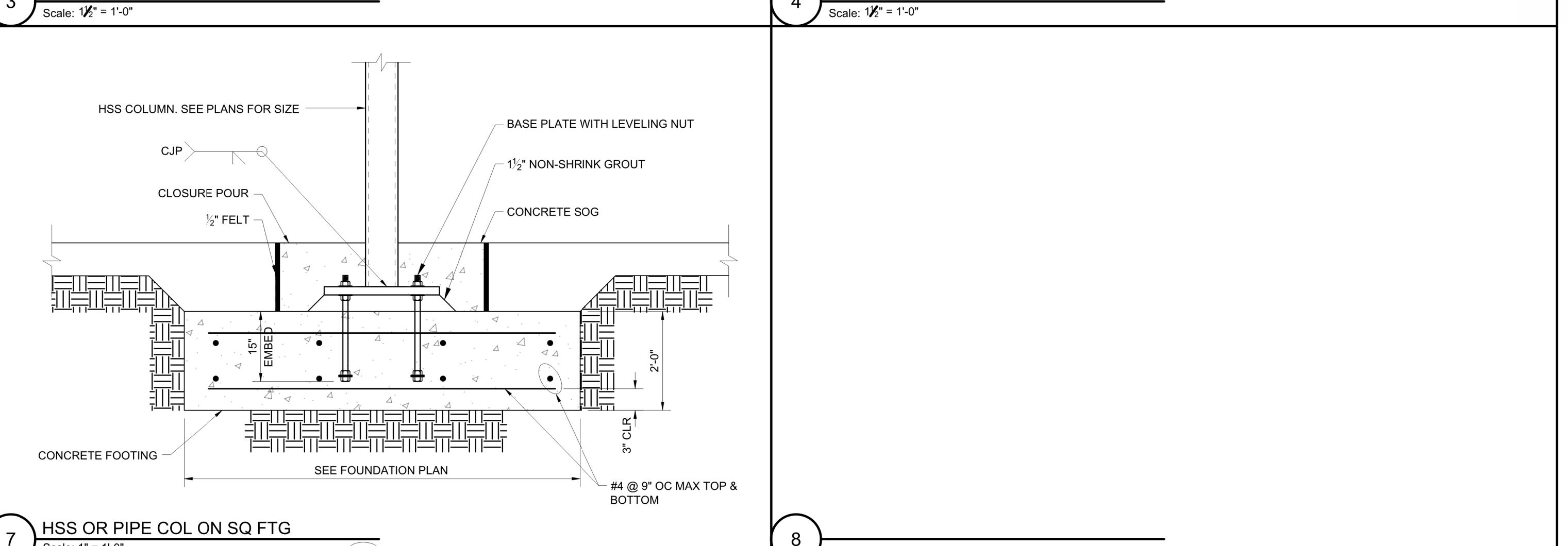
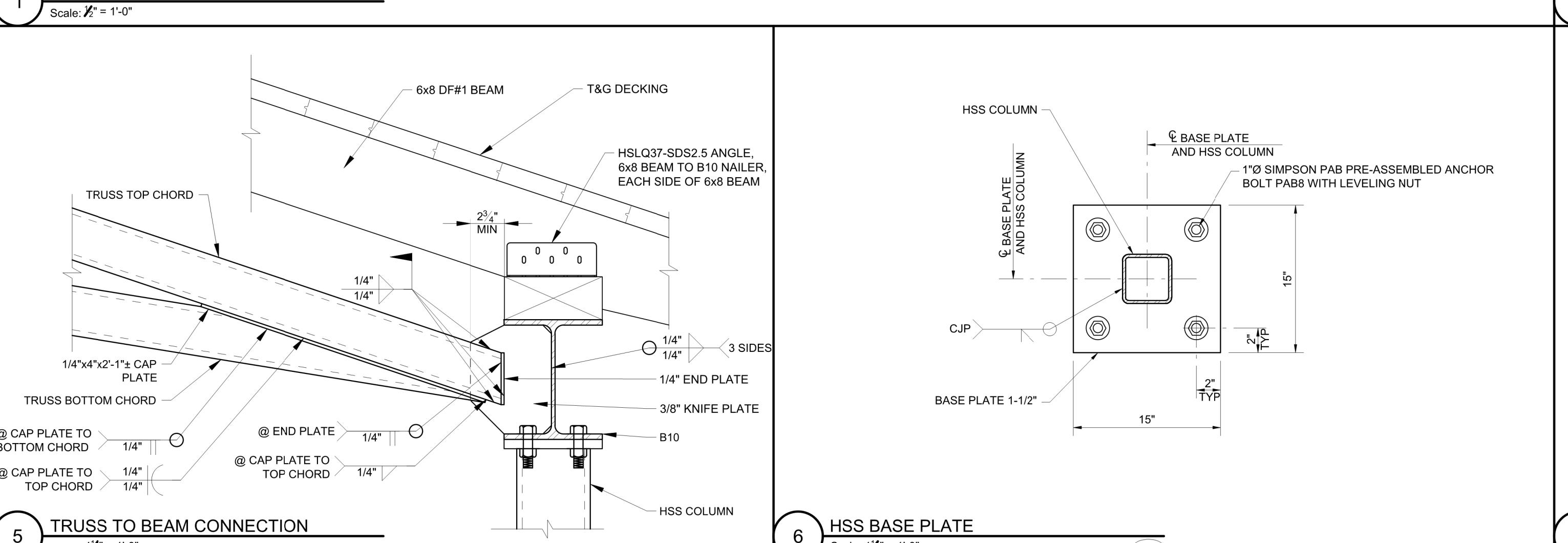
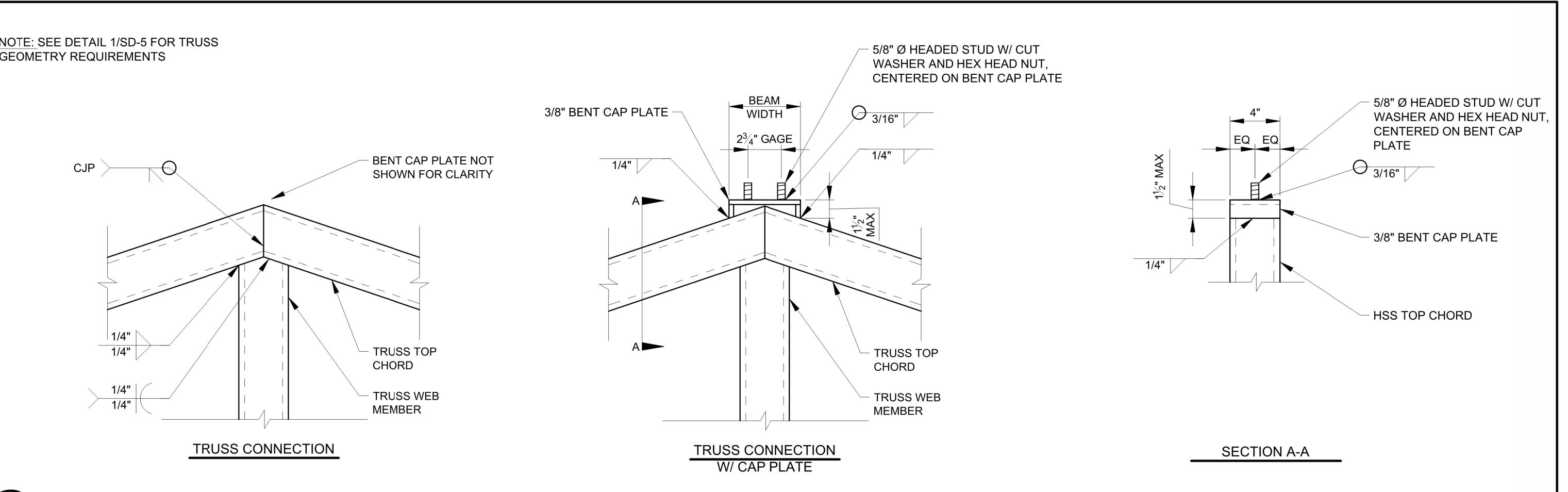
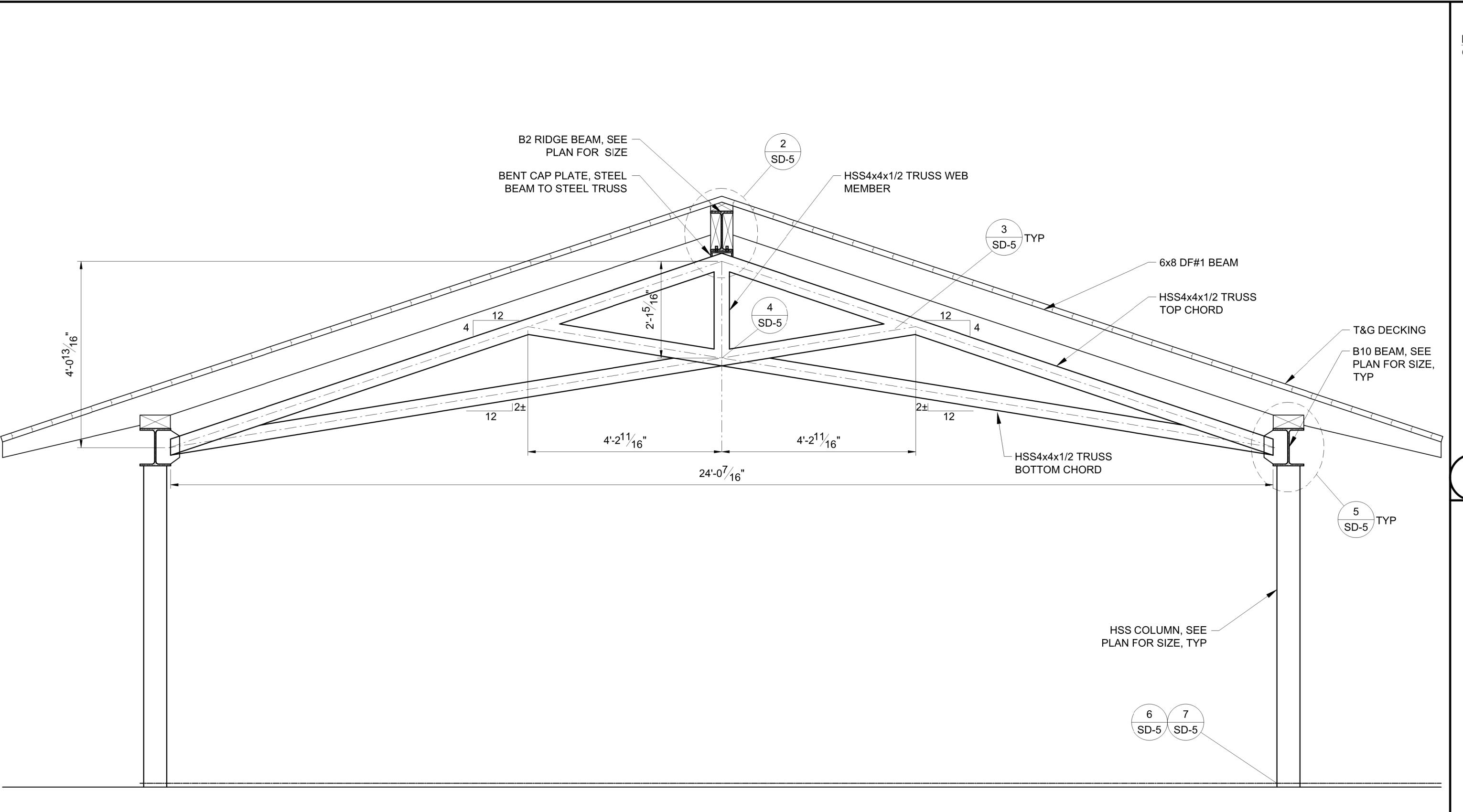
SHEAR WALL PLAN MAIN HOUSE











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AD PROFESSIONAL
KENNETH

A circular metal stamp with a red border. The outer ring contains the text "REGISTERED", "PAUL K. ZACHER", "STRUCTURAL", "ENGINEER", "STATE OF CALIFORNIA", and "APRIL 1927". The inner circle contains "No. S3878" and "Exp. 3-31-27". There are two stars at the bottom.

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FTER:	CA

REVISION DATE

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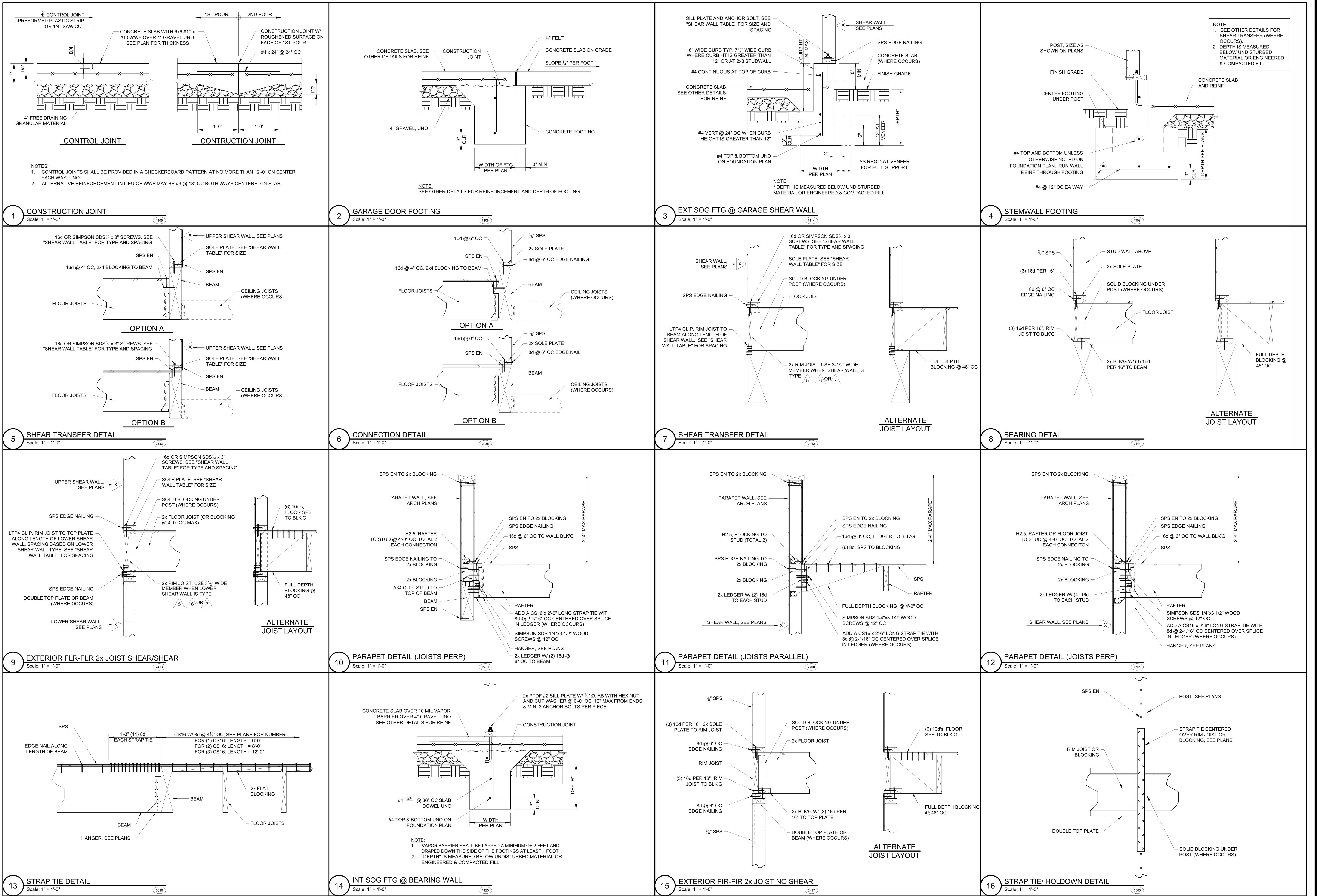
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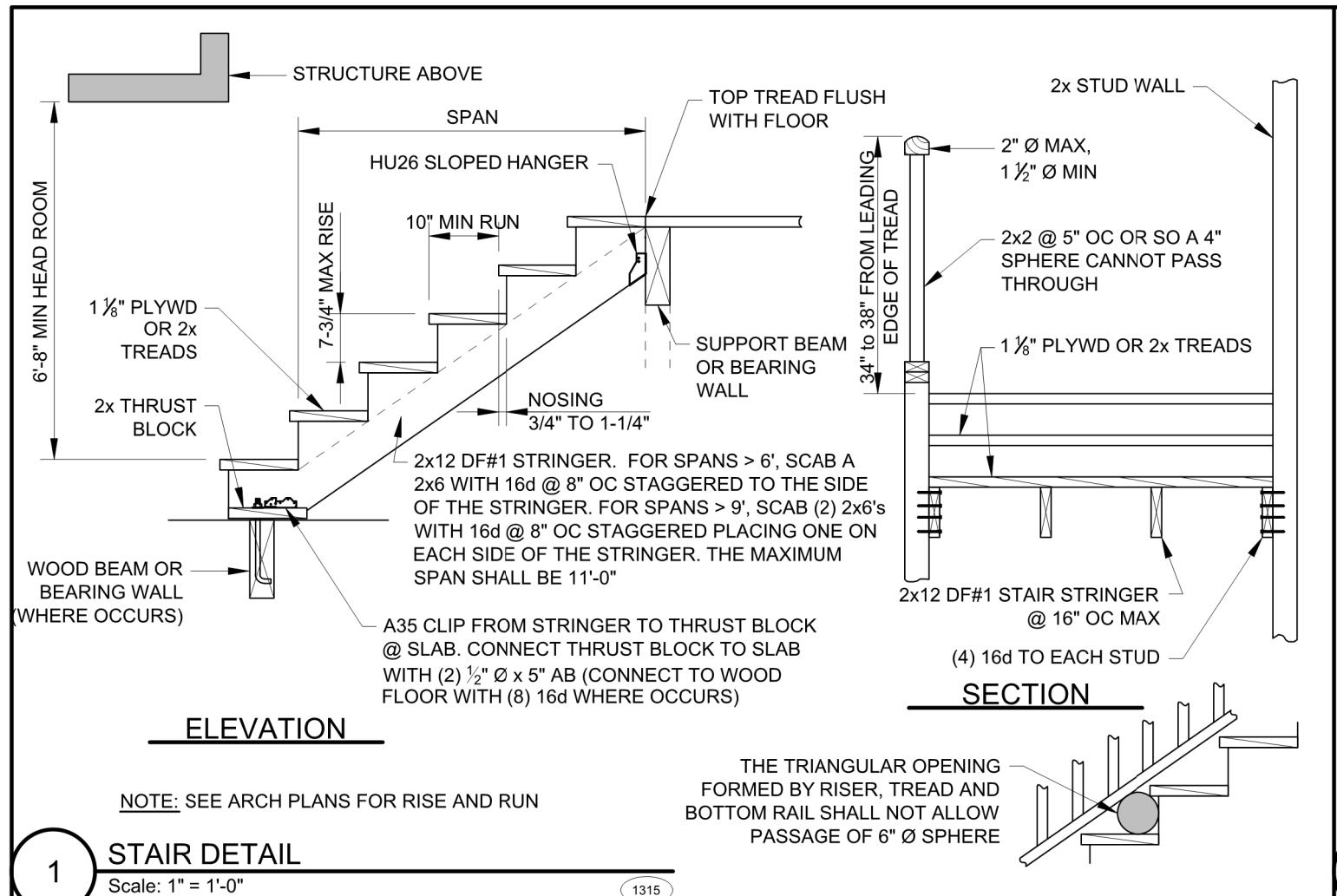
ECT NUMBER:
2024-04738

04-04-2025

STRUCTURAL DETAILS

11 of 11



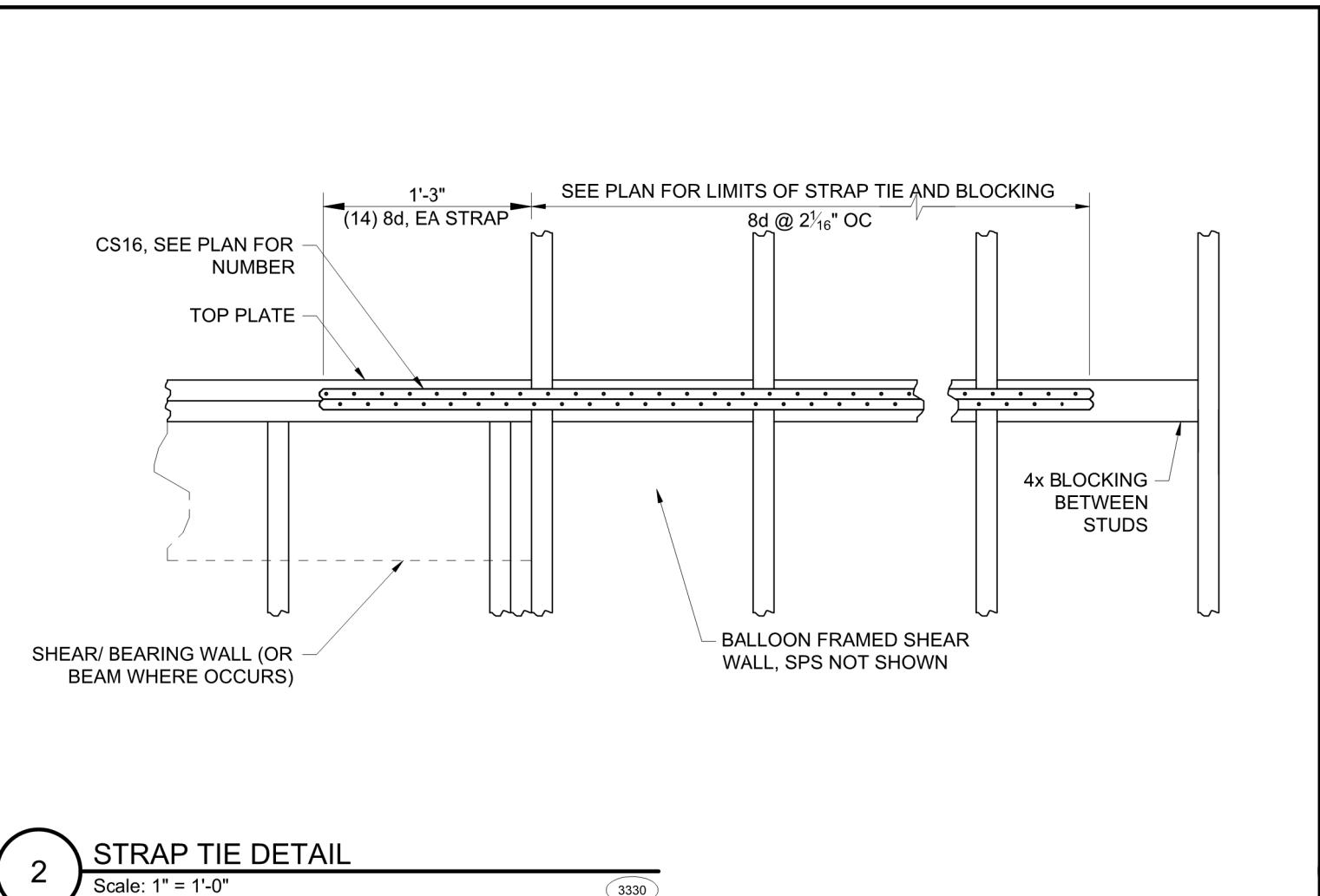


ELEVATION

NOTE: SEE ARCH PLANS FOR RISE AND RUN

STAIR DETAIL

Scale: 1" = 1'-0"



SECTION

STRAP TIE DETAIL

Scale: 1" = 1'-0"

5

6

7

8

9

10

11

12

13

14

15

16

728 Cortlandt addition
728 Cortlandt Dr, Sacramento, CA 95864

T24-1

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD												CF1R-PRF-01E (Page 1 of 17)													
Project Name: 728 Cortlandt addition												Calculation Date/Time: 2023-12-13T10:16:06-08:00													
Calculation Description: Title 24 Analysis												Input File Name: 728_Cortlandt_addition_v30.ribd22													
GENERAL INFORMATION												ENERGY USE SUMMARY													
01	Project Name		728 Cortlandt addition										Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft ² -yr)	Standard Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)						
02	Run Title		Title 24 Analysis										Space Heating	0	81.89	0	86.33	0	-4.44						
03	Project Location		728 Cortlandt Dr										Space Cooling	0	74.08	0	72.93	0	1.15						
04	City		Sacramento, CA		05	Standards Version		2022								IAQ Ventilation	0	0	0	0	0	0			
05	Zip Code		95864		06	Software Version		CBEC-R2022.3.0								Water Heating	0	11.81	0	8.43	0	3.38			
07	Climate Zone		12		08	Front Orientation (deg/ Cardinal)		205								Self Utilization/Flexibility Credit									
09	Building Type		Single family		10	Number of Dwelling Units		1								Efficiency Compliance Total	0	167.78	0	167.69	0	0.09			
11	Project Scope		Addition and/or Alteration		12	Number of Bedrooms		3								Photovoltaics		0		0					
13	Addition Cond. Floor Area (ft ²)		507		14	Number of Stories		1								Battery									
15	Existing Cond. Floor Area (ft ²)		2611		16	Fenestration Average U-factor		0.35								Flexibility									
17	Total Cond. Floor Area (ft ²)		3118		18	Glazing Percentage (%)		27.03%								Indoor Lighting	0	6.86	0	6.86					
19	ADU Bedroom Count		n/a		20	ADU Conditioned Floor Area		n/a								Appl. & Cooking	0	13.16	0	13.11					
21	Fuel Type		Natural gas		22	No Dwelling Unit		No								Plug Loads	0	18.23	0	18.23					
COMPLIANCE RESULTS												OUTDOOR LIGHTING													
01	Building Complies with Computer Performance											02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.												
03	This building incorporates one or more Special Features shown below											04													
Registration Number: 423-P010223891A-000-000-00000-0000												Registration Date/Time: 12/13/2023 11:41													
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Report Generated: 2023-12-13 10:17:11												Schema Version: rev 20220901													
Registration Number: 423-P010223891A-000-000-00000-0000												Registration Date/Time: 12/13/2023 11:41													
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CA Building Energy Efficiency Standards - 2022 Residential Compliance												Report Version: 2023.0.000													
Report Generated: 2023-12-13 10:17:11												Schema Version: rev 20220901													
CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD												CF1R-PRF-01E (Page 4 of 17)													
Project Name: 728 Cortlandt addition												Calculation Date/Time: 2023-12-13T10:16:06-08:00													
Calculation Description: Title 24 Analysis												Input File Name: 728_Cortlandt_addition_v30.ribd22													
ZONE INFORMATION												OPAQUE SURFACES													
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20	21	22				
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Status	Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft ²)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition								
House	Conditioned	HVAC new	2611	10.4	DHW new	Existing	Interior Wall-a to Utility 2	House>>Utility	Wall Int all	n/a	n/a	26	0	n/a		Altered	No								
Addition	Conditioned	HVAC new	507	10.4	DHW new	New	Interior Wall-b to Addition	House>>Addition	Wall Int R0	n/a	n/a	789	0	n/a		Existing	No								
							Interior Wall-n Addition>>Attic-new	Wall Int new	n/a	n/a	n/a	38	0	n/a		New	n/a								
							Ceiling-a	House	Ceiling attic alt	n/a	n/a	690	n/a	n/a		Altered	No								
							Ceiling-n	Addition	Ceiling attic new	n/a	n/a	222	n/a	n/a		New	n/a								
							GWall-ex-65 deg	Utility	Wall Gar	270	n/a	34	0	90	none	Existing	No								
							GWall-ex-b	Utility	Wall Gar	25	Back	42	0	90	none	Existing	No								
CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD												OPAQUE SURFACES - CATHEDRAL CEILINGS													
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20	21	22	23			
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft ²)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition	Name	Zone	Construction	Azimuth	Orientation	Area (ft ²)	Skylight Area (ft ²)	Roof Rise (x in 12)	Roof Emissance	Roof Reflectance	Roof Radiant Barrier	Cool Roof Status	Verified Existing Construction		
Wall-a-f	House	Wall alt	205	Front	158	31.005	90	none	Altered	No	Cathedral-ex 1	House	Ceiling cath ex	n/a	n/a	313	24	4	0.1	0.85	No	Existing	No		
Wall-a-45 deg	House	Wall alt	250	n/a	276	9	90	none	Altered	No	Cathedral-ex 2	House	Ceiling cath ex	160	n/a	370	8	4	0.1	0.85	No	Existing	No		
Wall-a-65 deg	House	Wall alt	270	n/a	229	0	90	none	Altered	No	Cathedral-ex 3	House	Ceiling cath ex	70	n/a	542	0	4	0.1	0.85	No	Existing	No		
Wall-a-L	House	Wall alt	295	Left	145	21	90	none	Altered	No	Cathedral-ex 4	House	Ceiling cath ex	205	Front	237	0	4	0.1	0.85	No	Existing	No		
Wall-a-135 deg	House	Wall alt	340	n/a	342	138.66	90	none	Altered	No	Cathedral-ex 5	House	Ceiling cath ex	25	Back	459	0	4	0.1	0.85	No	Existing	No		
Wall-a-90 deg	House	Wall alt	25	Back	160	53.36	90	none	Altered	No	Cathedral-n 1	House	Ceiling cath ex	205	Front	182	4	4	0.1	0.85	No	New	n/a		
Wall-a-225 deg	House	Wall alt	70	n/a	233	22.5	90	none	Altered	No	Cathedral-n 2	House	Ceiling cath ex	70	n/a	138	0	4	0.1	0.85	No	New	n/a		
Wall-a-315 deg	House	Wall alt	160	n/a	170	109.36	90	none	Altered	No															
Wall-n-F	Addition	Wall new	205	Front	140	109.01	90	none	New	n/a															
Wall-n-65 deg	Addition	Wall new	270	n/a	98	3	90	none	New	n/a															
Wall-n-135 deg	Addition	Wall new	340	n/a	28	0	90	none	New	n/a															
Wall-n-90 deg	Addition	Wall new	25	Back	82	42	90	none	New	n/a															
Wall-n-225 deg	Addition	Wall new	70	n/a	302	111.077	90	none	New	n/a															
Wall-n-R	Addition	Wall new	115	Right	350	148.953	90	none	New	n/a															
Interior Wall-a to Attic	House>>Attic-ex	Wall Int alt	n/a	n/a	218	0	n/a		Altered	No															
Interior Wall-a to Utility 1	House>>Utility	Wall Int alt	n/a	n/a	30	0	n/a		Altered	No															
CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD												FENESTRATION / GLAZING													
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24		
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition										
Wind-a-7	Window	Wall-a-135 deg		340	1.5	6.67	1	-10	0.35	NFRC	0.23	NFRC	Bug Screen	Altered	No										
Wind-a-8	Window	Wall-a-135 deg		340	1.5	6.67	1	10	0.35	NFRC	0.23	NFRC	Bug Screen	Altered	No										
Wind-a-9	Window	Wall-a-135 deg		340	1.83	2	1	3.66	0.35	NFRC															

2022 Low-Rise Residential Mandatory Measures Summary

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<div style="border: 1px solid black; padding: 10px;"> <p style="text-align: center;">2022 Single-Family Residential Mandatory Requirements Summary</p> <p>NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.</p> <p>(04/02/22)</p> <p>Building Envelope:</p> <ul style="list-style-type: none"> § 110.6(a): Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283, or AAMA/WDMA/CSA 1011. S.2/440-2011. * § 110.6(a5): Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a). § 110.6(b): Field Fabricated Exterior Doors and Fenestration. Products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6.A, 110.6.B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped. § 110.7: Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped. § 110.8(a): Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHG). § 110.8(g): Insulation Requirement for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g). § 110.8(j): Roofing Product Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(j) and be labeled per § 10-113 when the installation of a cool roof is specified on the CFI-R. § 110.8(j): Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs. § 110.9: Roof Deck, Ceiling and Rafter Roof Insulation. Roof decks in newly constructed attics in climate zones 4 and 8-16 area-weighted average U-factor not exceeding U-0.184. Ceiling and rafter roofs minimum R-22 insulation in wood-frame ceiling; or area-weighted average U-factor must not exceed 0.043. Rafter roof alterations minimum R-19 or area-weighted average U-factor of 0.05 or less. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a joist or ceiling which is sealed to limit infiltration and exfiltration, as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling. § 110.9(b): Loose-fit Insulation. Loose-fit insulation must meet the manufacturer's required density for the labeled R-value. § 110.9(c): Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.02 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.01 or less. Opague non-framed assemblies must have an overall assembly U-factor not exceeding 0.102. § 110.9(d): Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor. * § 110.9(f): Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate for the insulation material alone without facing, no greater than 0.3 percent, have a water vapor permeance no greater than 2.0 perm/inch, be protected from physical damage and UV light deterioration, and, when installed as part of a heated slab, meet the requirements of § 110.8(g). § 110.9(g): Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to crawl spaces for buildings complying with the exception to § 150.9(d). § 110.9(g2): Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation. § 110.9(g3): Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.45, or area-weighted average U-factor of all fenestration must not exceed 0.45. § 110.9(e): Fireplaces, Decorative Gas Appliances, and Gas Log: <ul style="list-style-type: none"> § 110.9(e): Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces. § 150.0</div>
