

**GROUP FOUR
BUILDING
SURVEYORS**

CONTOURS ARE AT 200mm INTERVALS LEVELS ARE
TO AN ASSUMED DATUM

BUILDING PERMIT

CUT (L1-1300) 2012m MINIMUM FROM EDGE OF BUILDING AND
BATTERED BACK 2012086m (m) UNLESS OTHERWISE SHOWN.
CUT OUTSIDE HOUSE LINE TO FALL AWAY FROM HOUSE TO
REFOUND PLATE BY 75mm MINIMUM.

DWELLING & GARAGE: WAFFLE POD CONCRETE SLAB.
SITE FILL TO APPROX AHD 42.325
(AS PER COUNCIL FLOODING REQ')

310mm FREEBOARD

135mm STEP DOWN TO GARAGE
220MM STEP DOWN TO PORCH

DRAINER MUST REFER TO START WORK
NOTICE FOR SEWER POINT LOCATION

TERMITIC TREATMENT TO COMPLY WITH AS 3660.1 2000
SPECIFICATIONS
PART A: PVC COLLARS TO PIPE PENETRATIONS
PART B: CHEMICAL HANDSPRAY TO THE BUILDING PERIMETER

PROPERTY SUBJECT TO HIGH WIND SPEEDS OF N1

NOTE: SURPLUS SPOIL TO BE DISPOSED FROM SITE
INCL - FROM SERVICES TRENCHES
RETAIN FILL ON SITE FOR BACKFILL TO SLAB REBATE AS REQ'D

NOTE:

IF CROSSOVER IS NOT PROVIDED OR
EXISTING CROSSOVER IS NOT IN CORRECT
POSITION TO DRIVEWAY THE FULL COST TO
CONSTRUCT NEW CROSSOVER IS AT THE
OWNER'S EXPENSE

STORMWATER DRAIN NOTES:

PROVIDE 90mm DIAMETER HEAVY DUTY PVC STORMWATER PIPE

WITH MINIMUM FALL OF 1:100

PROVIDE 100mm DIAMETER PVC STORMWATER PIPE UNDER
GARAGE AND FUTURE DRIVEWAYS

STORMWATER DRAIN LAYOUT IS INDICATIVE ONLY AND WILL
BE LAID AT THE DRAINER'S DISCRETION

PROVIDE 100x50 DOWNPIPES AT 12000 MAX. CRS.

SITE SOIL CLASSIFICATION

CLASS 'P' TO AS 2870-1996



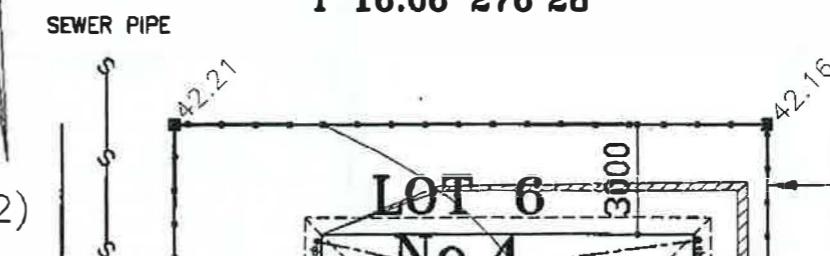
SITE COVERAGE ANALYSIS		
BUILDING AREA:	165.68	sq.m
SITE AREA:	357.00	sq.m
SITE COVERAGE:	46.41	%

FINAL DRAWINGS

VACANT LAND
(AS AT 26/10/2012)

T 16.06 276°28'

LOT 4
VACANT LAND
(AS AT 26/10/2012)



MAX 1.8M HIGH FENCE TO
BOUNDARIES, COMPLY WITH
DEVELOPERS REQUIREMENTS
BY CLIENT AFTER HANOVER

PROVIDE ADDITIONAL SITE
SCRAPE TO GARAGE & PORCH
TO ACCOMMODATE WAFFLEPOD
STEPDOWNS

ANGLE OF REPOSE TO
ENG'S DESIGN

LOT 5
VACANT LAND
(AS AT 26/10/2012)

PARAPET WALL ON ZERO LOT
LINE BOUNDARY L.P.D. AT NORTH-EASTERN
CORNER; TBC ON SITE

SEWER TIE TO BE CHECKED
ON SITE, KEEP AWAY FROM
CONCRETE DRIVEWAY

COLOR ON SEALED CONCRETE
TO DRIVEWAY, PATH & PORCH -
40.0m² APPROX.

SEWER PIPE DETAILS
DEPTH: 2270MM APPROX
OFFSET: 1200MM APPROX
SIZE: 150MM

THIS ALLOTMENT IS NOT IN A DESIGNATED BUSHFIRE
PRONE AREA. NO SPECIAL BUSHFIRE CONSTRUCTION
REQUIREMENTS APPLY.

SITE PLAN

version:
V6

House:
PARKSIDE 3500

Facade:
ALPINE

Drawn:
X00X L.T

Job No:
33837 ACC

Date:
12.06.13

Scale:
1:200@A3

Sheet No:
1.1

Checked:
/

Leary Avenue

Spec:
ALTIMA 2006
(STANDARD)
- DEVELOPMENT DIVISION PURPOSE ONLY -

View:
SITE PLAN
Customer:
Trent Hall
Address:
LOT 6 NO: 4 LEARY AVENUE BENTLEIGH EAST 3165 VICTORIA

ALL GROUP OF FOUR A.S. 3740

**BUILDING
SURVEYORS**

FLOOR
TILING

BUILDING PERMIT

ISSUED 20/07/2013 SARKING 1800MM BELOW THE SPREADER &
NUMBER BS-U 1419 20123500 CONNECTED TO THE GUTTER.
- LIFT OFF HINGES TO W.C.

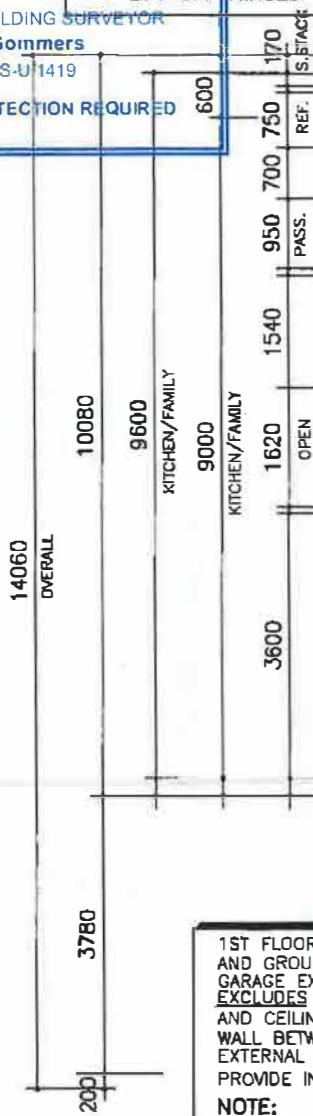
RELEVANT BUILDING SURVEYOR

Gary Gommers

BS-U1419

TERMITE PROTECTION REQUIRED

ELEVATION C



1ST FLOOR OF DOUBLE STOREY HOMES.
AND GROUND FLOOR CEILING UNDER
GARAGE EXTERNAL WALLS
EXCLUDES INSULATION TO GARAGE CEILING SPACE,
AND CEILING DIRECTLY UNDER ROOF SPACE.
WALL BETWEEN GARAGE AND HOUSE
EXTERNAL DWELLING WALLS,
PROVIDE INSULATION TO:
NOTE:

ELEVATION D

FINAL DRAWINGS

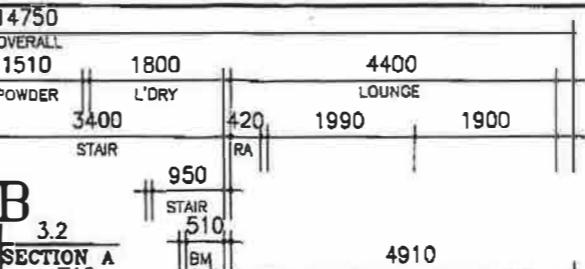
SMOKE DETECTOR TO AS1746

MH MANHOLE

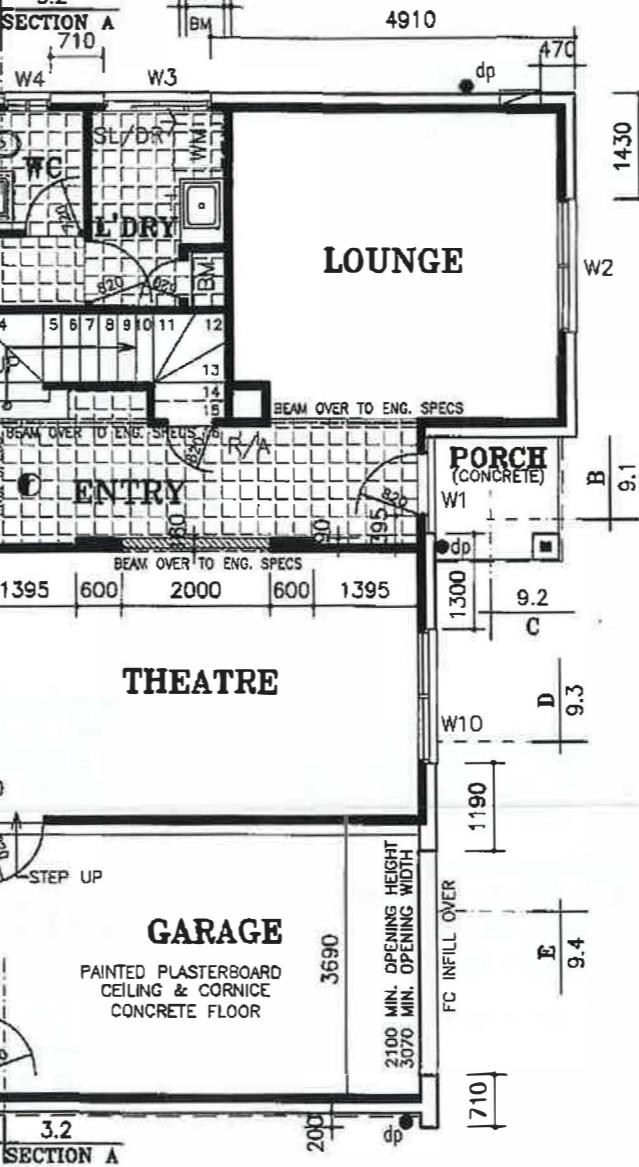
DIMENSIONS LOCATING
WINDOWS ARE NOMINAL

NET FLOOR TILE AREA:
(NOT INCLUDING SKIRTING TILES)
STANDARD AREA.....17.02 m²
ADDITIONAL AREA.....xx.xx m²
(BY VARIATION)

**BUILDERS
ACADEMY**
AUSTRALIA



ELEVATION B



ALL GLASS TO CONFORM WITH AS1288-2006 : GLASS IN BUILDINGS

NOTE: PROVIDE 1No. TEMPERATURE CONTROL
DEVICE TO REGULATE HOT WATER SUPPLY
TO BATHROOM & ENSUITE TO CONFORM
WITH PLUMBING & DRAINAGE CODE.

REF. FRE. WM. CO. DW INDICATE POSITION
ONLY

De Notes 300mm Deep BULKHEAD

BULKHEAD DIMENSIONS

Above Kitchen: 5170mm x 750mm x 300mm

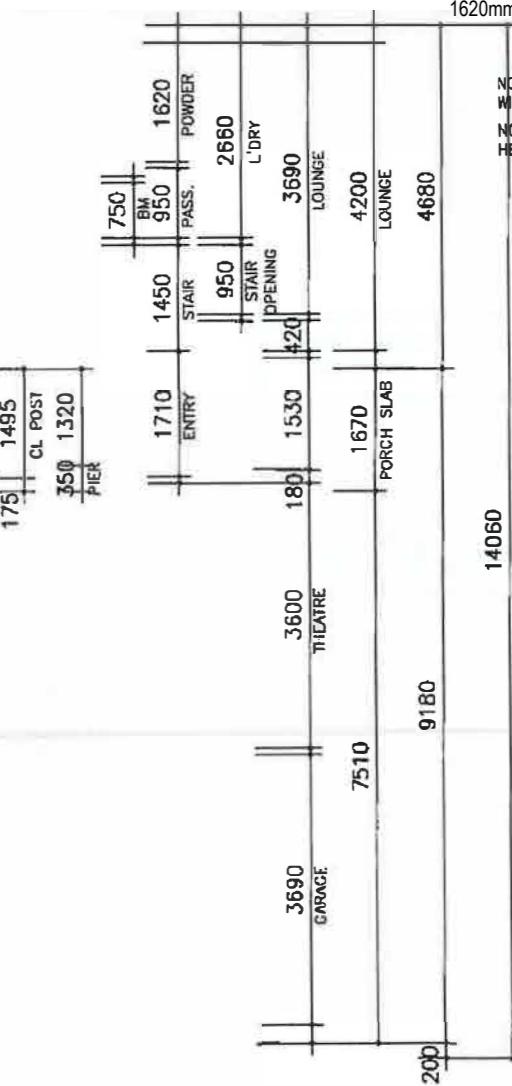
Fridge space: 1030mm x 750mm x 300mm

Entry to Theatre: 2000mm x 180mm x 300mm

Entry to Family room: 1620mm x 180mm x 300mm

NOTE: DIMENSIONS LOCATING
WINDOWS ARE NOMINAL.

NOTE: ALL INTERNAL DOOR
HEIGHTS TO BE 2040mm. HIGH



ELEVATION A

6290	6380	14750	OVERALL
FAMILY			
		1475	CL POST
		175	PIER
THEATRE		1650	
6000	230	1300	250
GARAGE			
6470		1900	PIER
GARAGE			

GROUND FLOOR PLAN

version:
V6

Scale: 1:100@A3

Date: 12.06.13

House: PARKSIDE 3500

Facade: ALPINE

Drawn: XOOX L.T

Job No: 33837 ACC

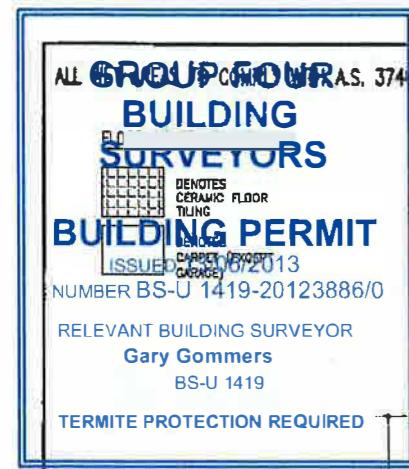
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Sheet No: 2.1

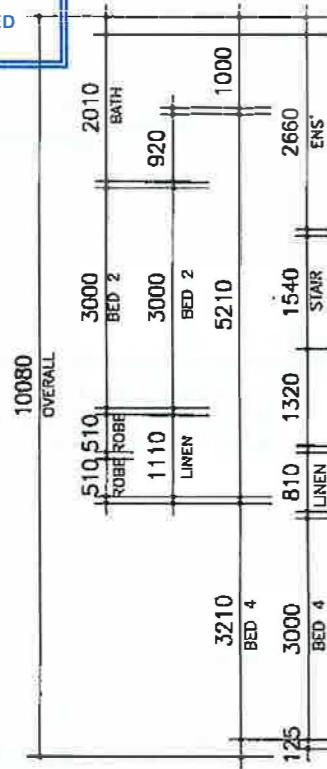
Spec:
ALTIMA 2006
(STANDARD)
- DEVELOPMENT DIVISION PURPOSE ONLY -

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TO BE REPRODUCED IN PART OR WHOLE WITHOUT EXPRESS PERMISSION.

View:
GROUND FLOOR PLAN
Customer: Trent Hall
Address: LOT 6 NO: 4 LEARY AVENUE BENTLEIGH EAST 3165 VICTORIA



ELEVATION C



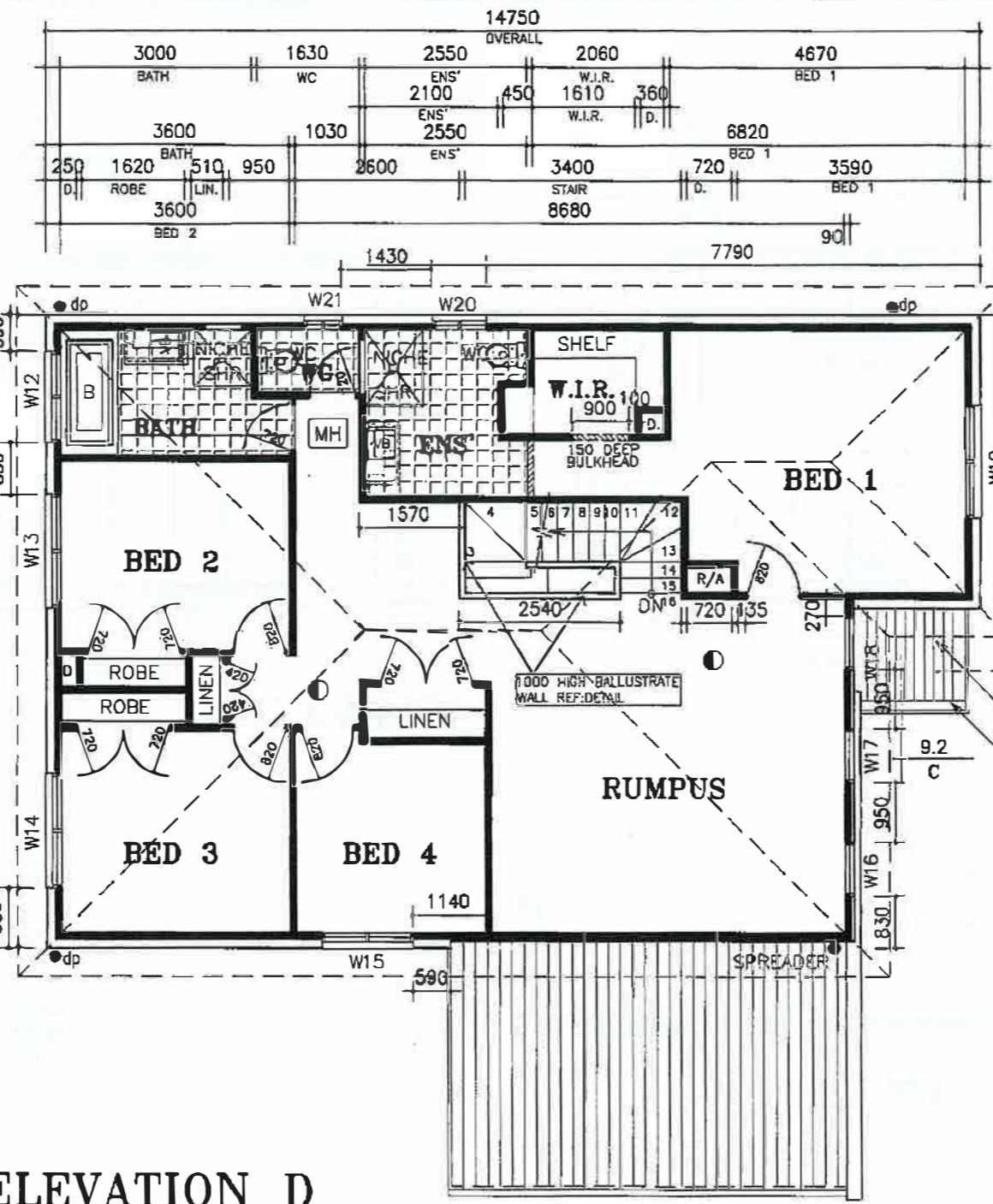
NOTE:
PROVIDE INSULATION TO:
EXTERNAL DWELLING WALLS,
WALL BETWEEN GARAGE AND HOUSE
AND CEILING DIRECTLY UNDER ROOF SPACE.
EXCLUDES INSULATION TO GARAGE CEILING SPACE,
GARAGE EXTERNAL WALLS
AND GROUND FLOOR CEILING UNDER
1ST FLOOR OF DOUBLE STOREY HOMES.

SMOKE DETECTOR TO A.S 3786

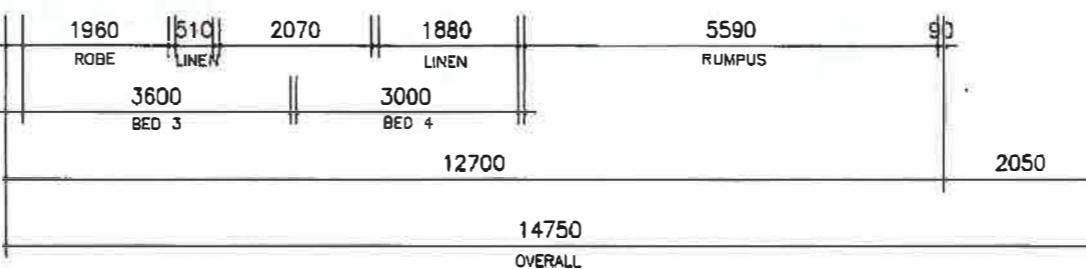
MH : MANHOLE

**DIMENSIONS LOCATING
WINDOWS ARE NOMINAL**

NET FLOOR TILE AREA:
(NOT INCLUDING SKIRTING TILES)
STANDARD AREA..... 17.02 M²
ADDITIONAL AREA..... XX.XX M²
(BY VARIATION)



ELEVATION D



ALL GLASS TO CONFORM WITH AS1288-2006 : GLASS IN BUILDINGS

NOTE: PROVIDE 1NA. TEMPERATURE CONTROL DEVICE TO REGULATE HOT WATER SUPPLY TO BATHROOM & ENSUITE TO CONFORM WITH PLUMBING & DRAINAGE CODE.
REF. FRE. WM. CD. DW INDICATE POSITION ONLY

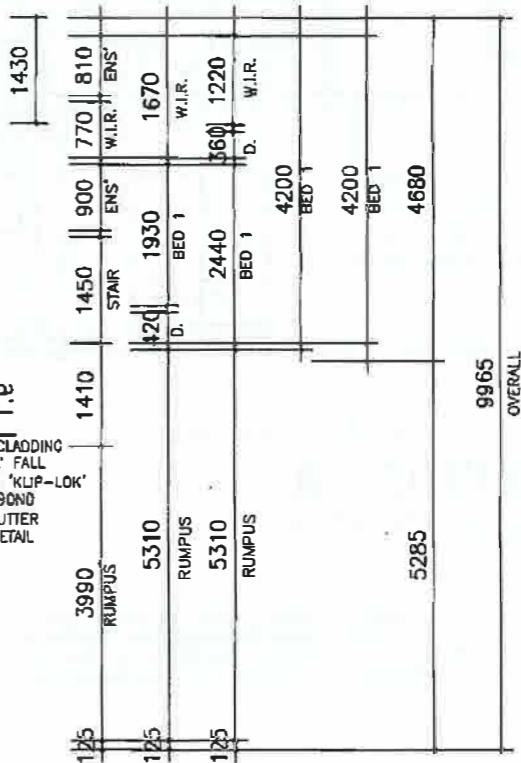


De Notes 300mm Deep BULKHEAD

BULKHEAD DIMENSIONS
Bedroom 1 to WIR:
900mm x 90mm x 150mm
Bedroom 1 Ensuite:
900mm x 90mm x 150mm

NOTE: ALL INTERNAL DOOR
HEIGHTS TO BE 2040mm. HIGH

ELEVATION B



ELEVATION A

FINAL DRAWINGS

 BUILDERS
ACADEMY
AUSTRALIA

Spec: ALTIMA 2006	View: FIRST FLOOR PLAN	version: V6	House: PARKSIDE 3500
(STANDARD)	Customer: Trent Hall		Facade: ALPINE
- DEVELOPMENT DIVISION PURPOSE ONLY -	Address: LOT 6 NO: 4 LEARY AVENUE BENTLEIGH EAST 3165 VICTORIA	Drawn: X00X L.T	Job No: 33837 ACC
© COPYRIGHT 2003 SWONDS IP Pty Ltd (ACN 144 839 805) (ABN 58 144 839 805) NOT TO BE REPRODUCED IN PART OR WHOLE WITHOUT EXPRESS PERMISSION.	Scale: 1:100@A3	Date: 12.06.13	Checked: Sheet No: 2.2

**GROUP FOUR
BUILDING
SURVEYORS**

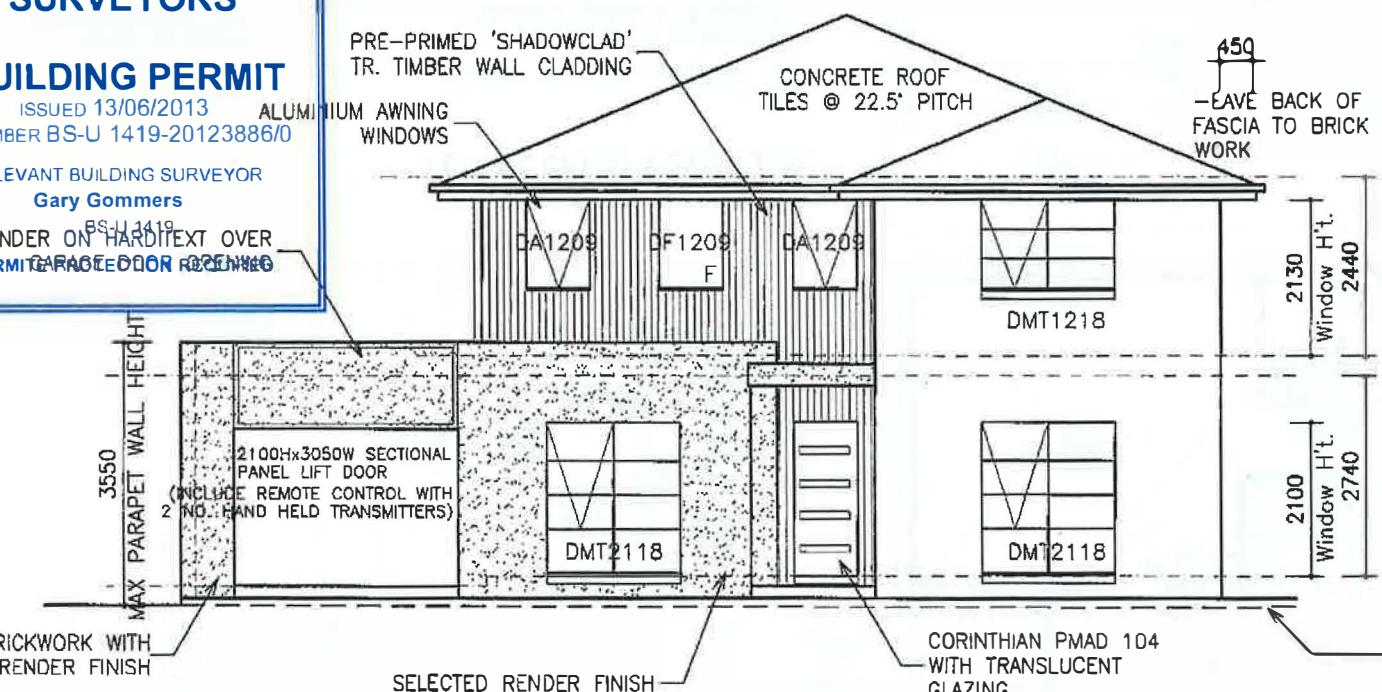
BUILDING PERMIT

ISSUED 13/06/2013
NUMBER BS-U 1419-20123886/0

RELEVANT BUILDING SURVEYOR

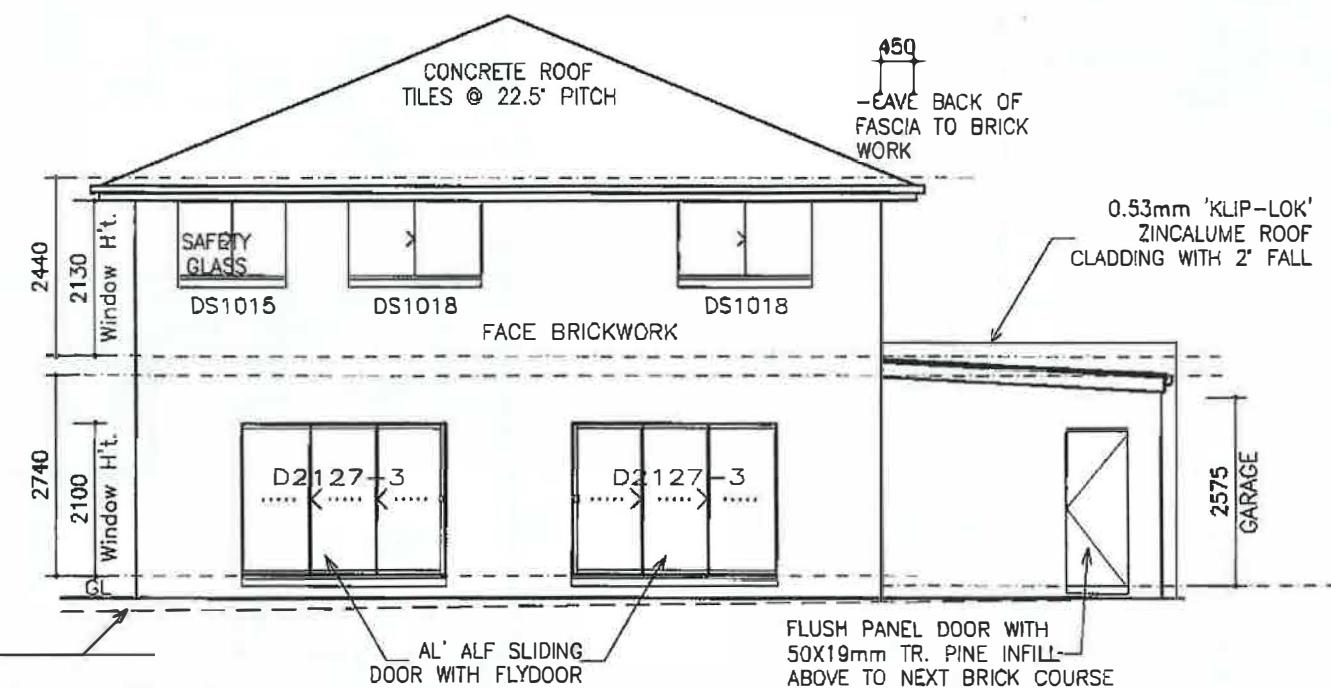
Gary Gommers

RENDER ON HARDI-TEX OVER
TERMITIC GARAGE DOOR FLOORING

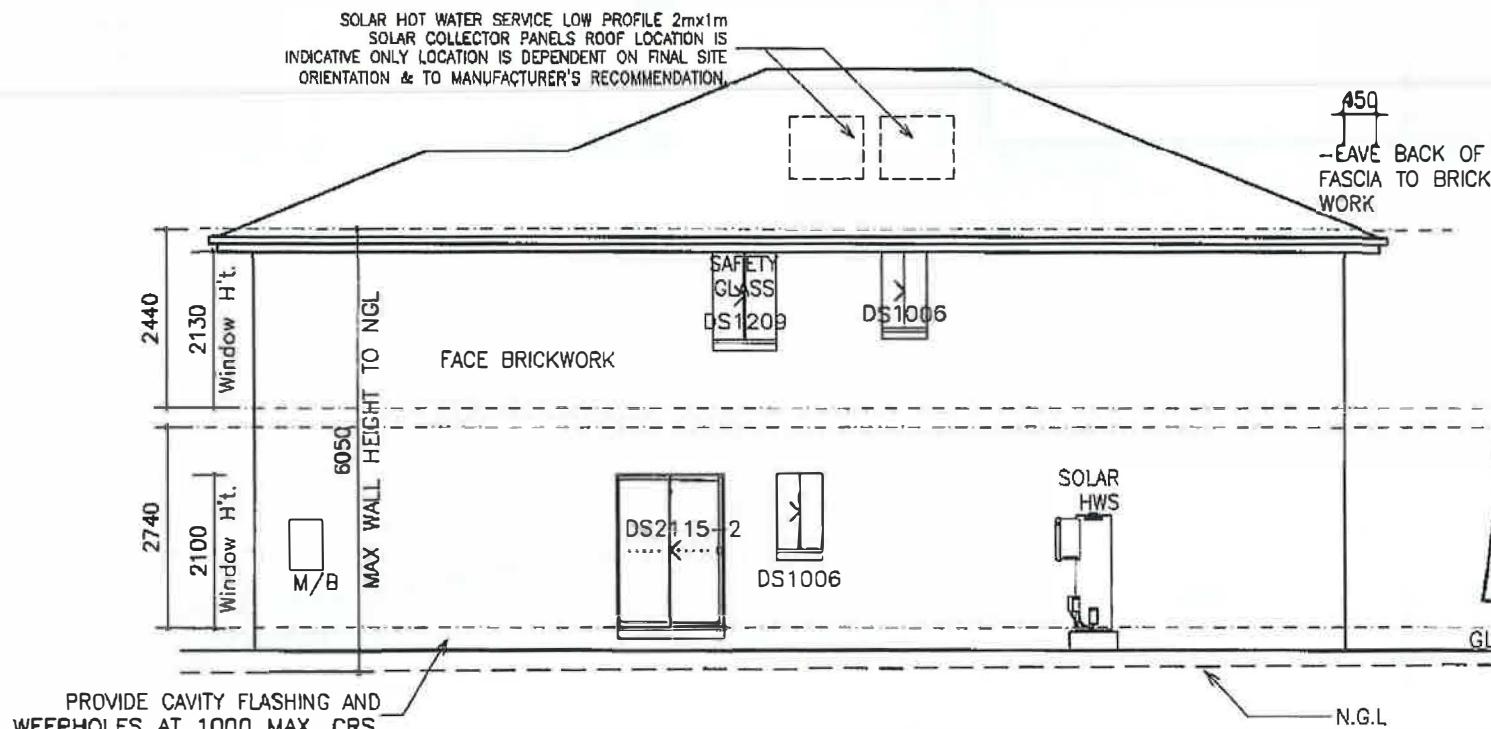


ELEVATION A

MAKE UP GROUND LEVEL AROUND
HOUSE AS REQUIRED.



ELEVATION C



ELEVATION B

ROOF TRUSSES TO MANUFACTURERS
DETAILS

ALL STRUCTURAL TIMBER SIZES TO BE
IN ACCORDANCE WITH AS1684 NATIONAL
TIMBER FRAMING CODE.

IF HEIGHT FROM DWELLING FLOOR TO
GROUND LEVEL EXCEEDS 570mm A
LANDING IS TO BE PROVIDED OUTSIDE
EXTERNAL DOORS.

ALL STEPS AND STAIRS TO HAVE A
250mm MIN. TREAD WIDTH AND A
190mm MAX. RISER HEIGHT.

HANDRAIL TO BE 865MM ABOVE
NOSING OF TREADS AND
1000MM ABOVE LANDING.

MAX. 125MM SPACINGS TO
BALUSTRADE

CONTROL JOINTS TO ENGINEERS
RECOMMENDATIONS

PROVIDE BACKFILL TO ALL EXTERNAL
OPENINGS TO PROVIDE A 190mm MAX. STEP
UP INTO HOUSE AS PER BCA REQUIREMENTS.

FINISHED CEILING HEIGHT IS SUBJECT TO
CEILING BATTENS (WHERE APPLICABLE),
CEILING LINING AND FLOOR FINISH.

SOLAR COLLECTOR PANELS ROOF LOCATION
IS INDICATIVE ONLY, LOCATION & SIZE IS
DEPENDANT ON FINAL SITE ORIENTATION &
TO MANUFACTURER'S RECOMMENDATION.

FINAL DRAWINGS

**GROUP FOUR
BUILDING
SURVEYORS**

BUILDING PERMIT

ISSUED 13/06/2013
NUMBER BS-U 1419-20123886/0

RELEVANT BUILDING SURVEYOR -

Gary Gommers
BS-U 1419

TERMITIC PROTECTION REQUIRED

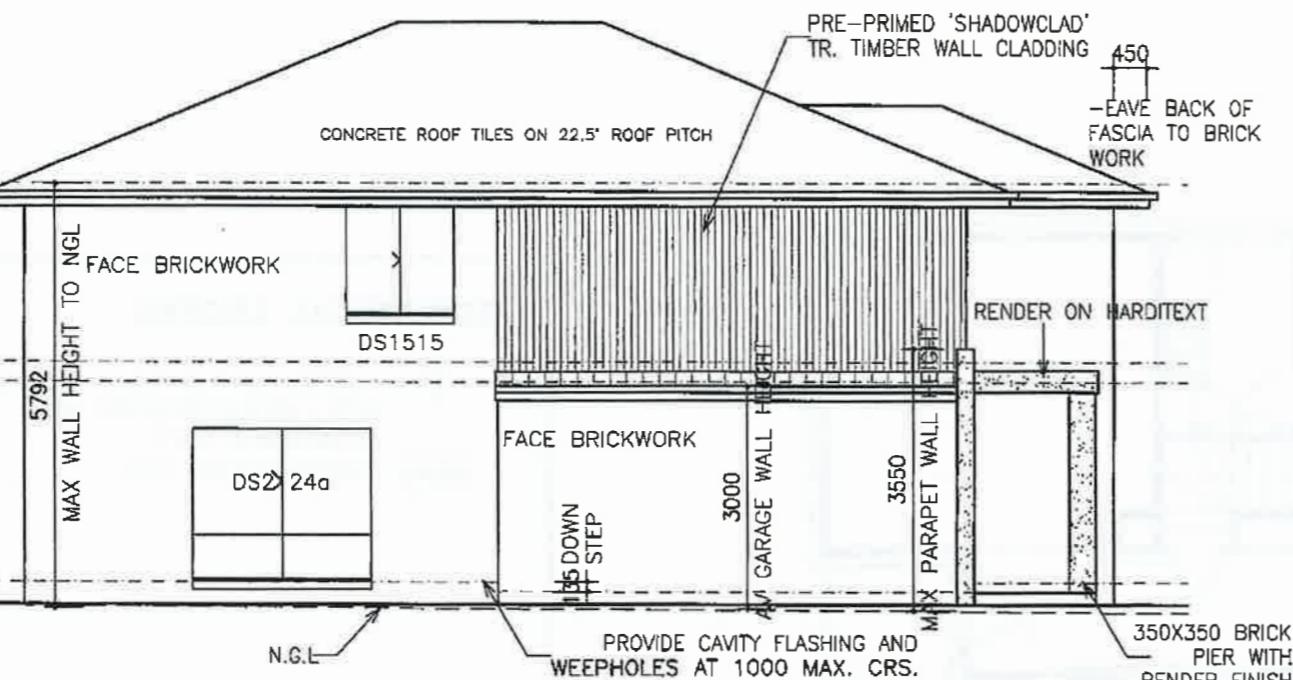
240

Window

Ht.

2740

Window H.t.



ELEVATION D

PROVIDE BACKFILL TO ALL EXTERNAL OPENINGS TO PROVIDE A 190mm MAX. STEP UP INTO HOUSE AS PER BCA REQUIREMENTS.

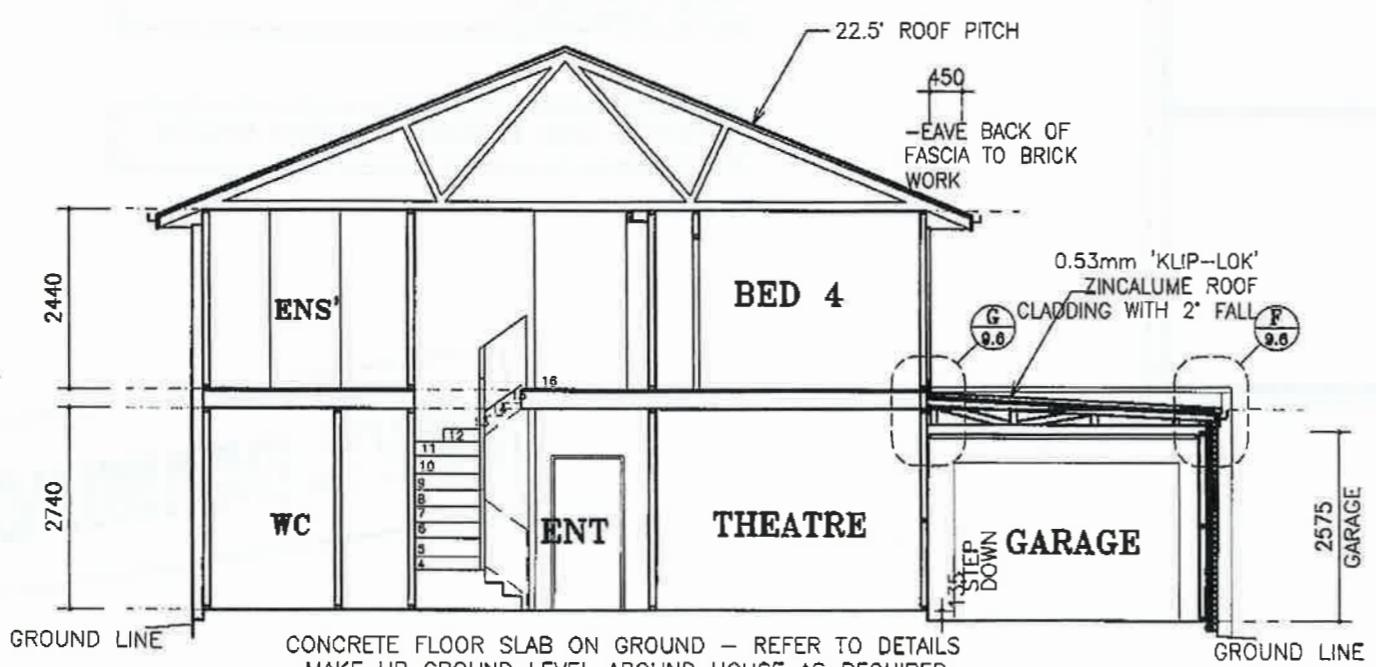
STANDARD INCLUSIONS FOR ENERGY EFFICIENCY REQUIREMENTS :

- AIRFLOW DRAFT STOPPERS TO EXHAUST FANS
- ALUMINIUM IMPROVED WINDOWS THROUGHOUT
- DOOR SEALS TO EXTERNAL AND UTILITY DOORS
- SEALS AROUND ALL EXTERNAL WINDOWS AND DOORS
- R 2.0 GLASSWOOL BATT TO EXT. WALLS OF DWELLING
- R 3.5 GLASSWOOL BATT TO CEILINGS

FURTHER INCLUSIONS REQUIRED TO ACHIEVE 5 STAR ENERGY RATING TO BE CONFIRMED UPON RECEIPT OF APPROVED REPORT FROM ACCREDITED ENERGY RATER

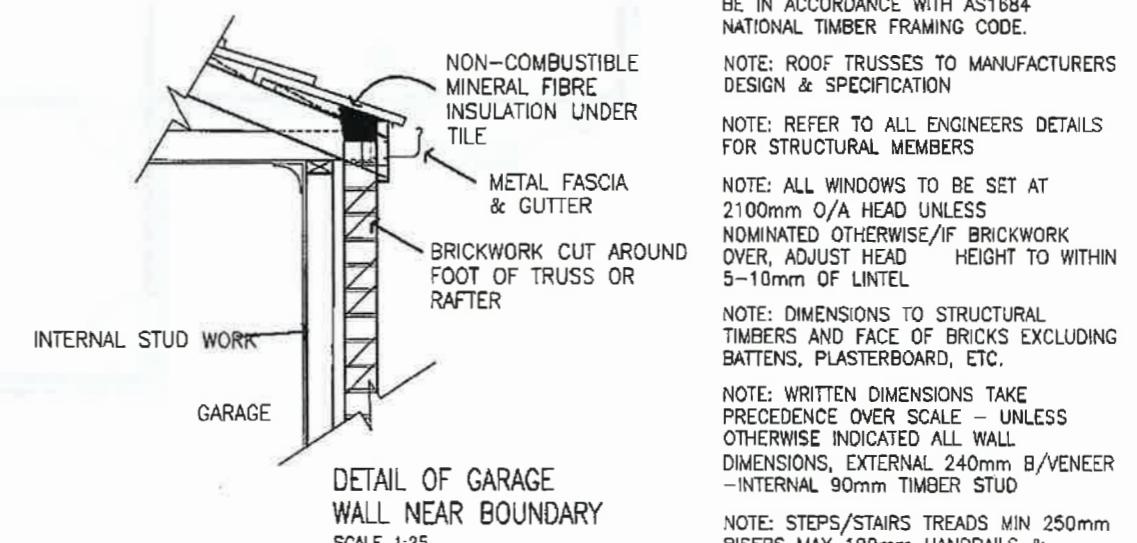
NOTE:
PROVIDE INSULATION TO: EXTERNAL DWELLING WALLS, WALL BETWEEN GARAGE AND HOUSE AND CEILING DIRECTLY UNDER ROOF SPACE. EXCLUDES INSULATION TO GARAGE CEILING SPACE, GARAGE EXTERNAL WALLS AND GROUND FLOOR CEILING UNDER 1ST FLOOR OF DOUBLE STOREY HOMES.

NOTE:
NOMINATED THICKNESS AND SIZE OF MATERIALS IS INDICATIVE ONLY AND MAY BE VARIED – BUT NOT REDUCED – AT THE DISCRETION OF SIMONDS HOMES



SECTION A-A

MAKE UP GROUND LEVEL AROUND
HOUSE AS REQUIRED.



NOTE: ALL STRUCTURAL TIMBER SIZES TO BE IN ACCORDANCE WITH AS1684 NATIONAL TIMBER FRAMING CODE.

NOTE: ROOF TRUSSES TO MANUFACTURERS DESIGN & SPECIFICATION

NOTE: REFER TO ALL ENGINEERS DETAILS FOR STRUCTURAL MEMBERS

NOTE: ALL WINDOWS TO BE SET AT 2100mm O/A HEAD UNLESS NOMINATED OTHERWISE/IF BRICKWORK OVER, ADJUST HEAD HEIGHT TO WITHIN 5-10mm OF LINTEL

NOTE: DIMENSIONS TO STRUCTURAL TIMBERS AND FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD, ETC.

NOTE: WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE – UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS, EXTERNAL 240mm B/VEENEER – INTERNAL 90mm TIMBER STUD

NOTE: STEPS/STAIRS TREADS MIN 250mm RISERS MAX 190mm HANDRAILS & BALUSTRADE 1000mm MIN HIGH BALUSTERS MAX 125mm SPACING

FINAL DRAWINGS

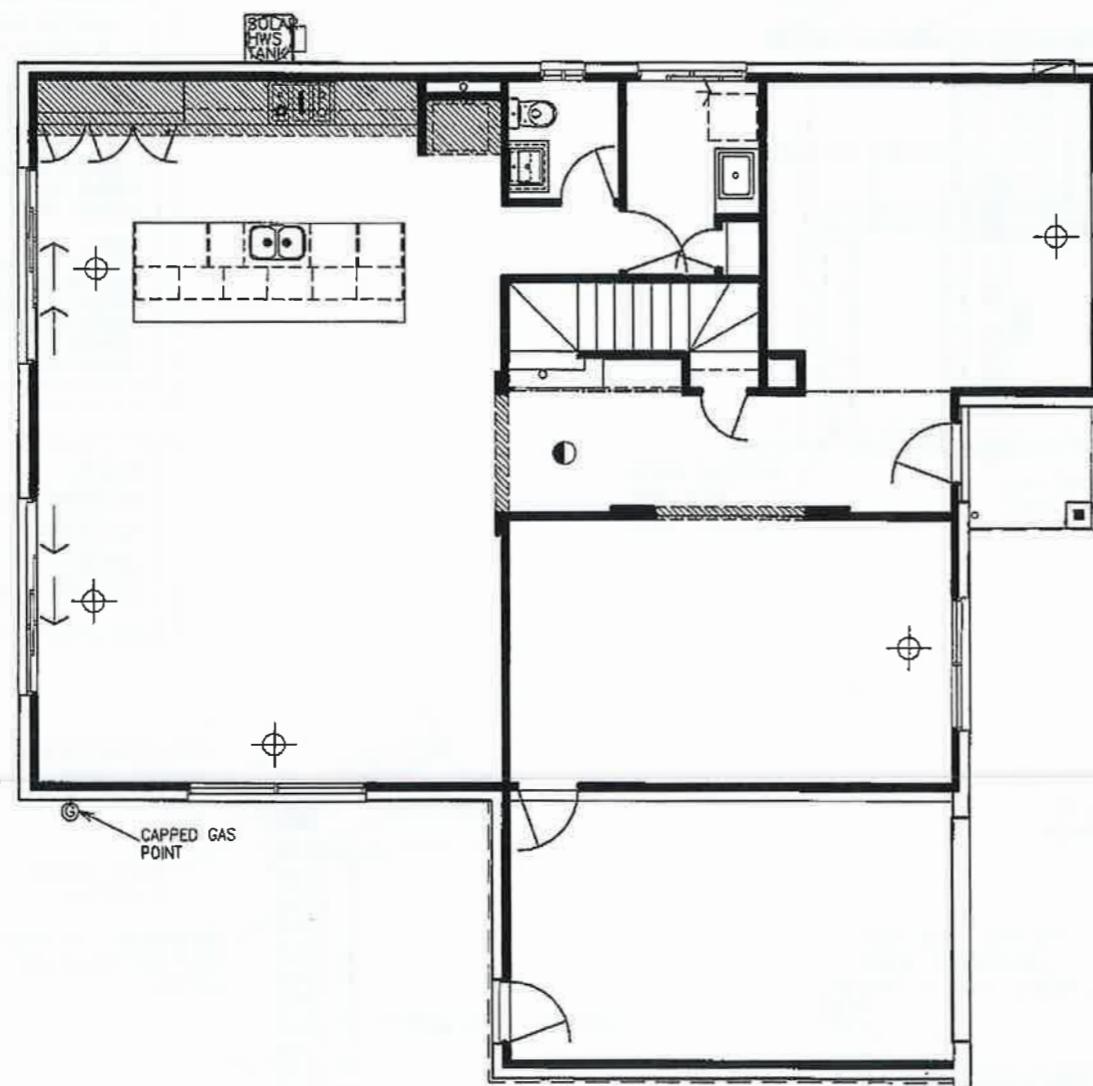
**GROUP FOUR
BUILDING
SURVEYORS**

BUILDING PERMIT

ISSUED 13/06/2013
NUMBER BS-U 1419-20123886/0

RELEVANT BUILDING SURVEYOR
Gary Gommers
BS-U 1419

TERMITE PROTECTION REQUIRED



ELECTRICAL LEGEND

- - DUCTED HEATING ROUND CEILING REGISTER.
NOTE - OUTLET POSITION ARE APPROXIMATE ONLY
- HEAT - DUCTED HEATING UNIT

HEATING/COOLING LAYOUT IS STANDARD ONLY. REFER TO SWITCHED ON PLANS FOR ELECTRICAL.

PROVIDE DSC 6 ZONE SECURITY SYSTEM

FINAL DRAWINGS

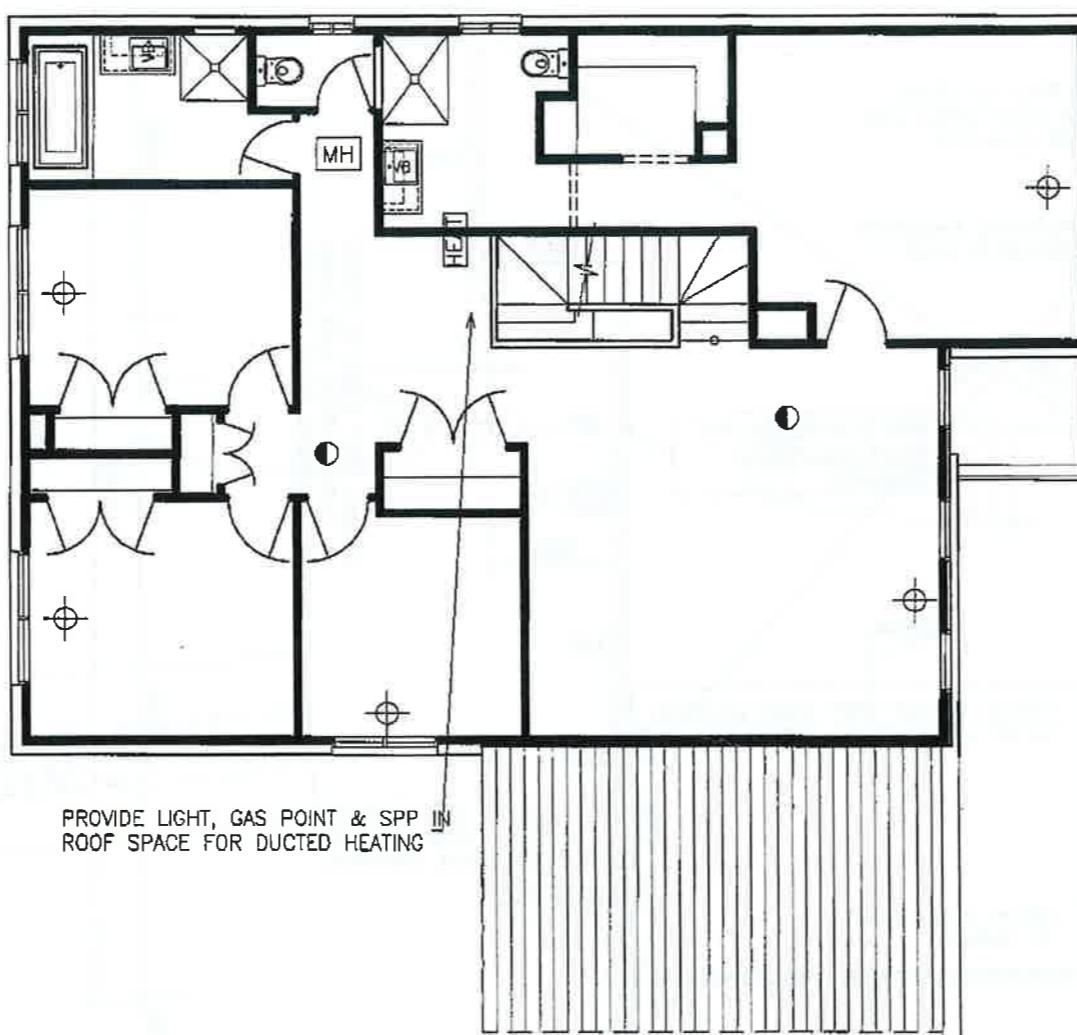
**GROUP FOUR
BUILDING
SURVEYORS**

BUILDING PERMIT

ISSUED 13/06/2013
NUMBER BS-U 1419-20123886/0

RELEVANT BUILDING SURVEYOR
Gary Gommers
BS-U 1419

TERMITE PROTECTION REQUIRED



● SMOKE DETECTOR TO A.S 3786

[MH] MANHOLE

ELECTRICAL LEGEND

○ - DUCTED HEATING ROUND CEILING REGISTER.
NOTE - OUTLET POSITION ARE APPROXIMATE ONLY
HEAT - DUCTED HEATING UNIT

HEATING/COOLING LAYOUT IS STANDARD ONLY. REFER TO SWITCHED ON PLANS FOR ELECTRICAL.

PROVIDE DSC 6 ZONE SECURITY SYSTEM

FINAL DRAWINGS

**GROUP FOUR
BUILDING
SURVEYORS**

BUILDING PERMIT

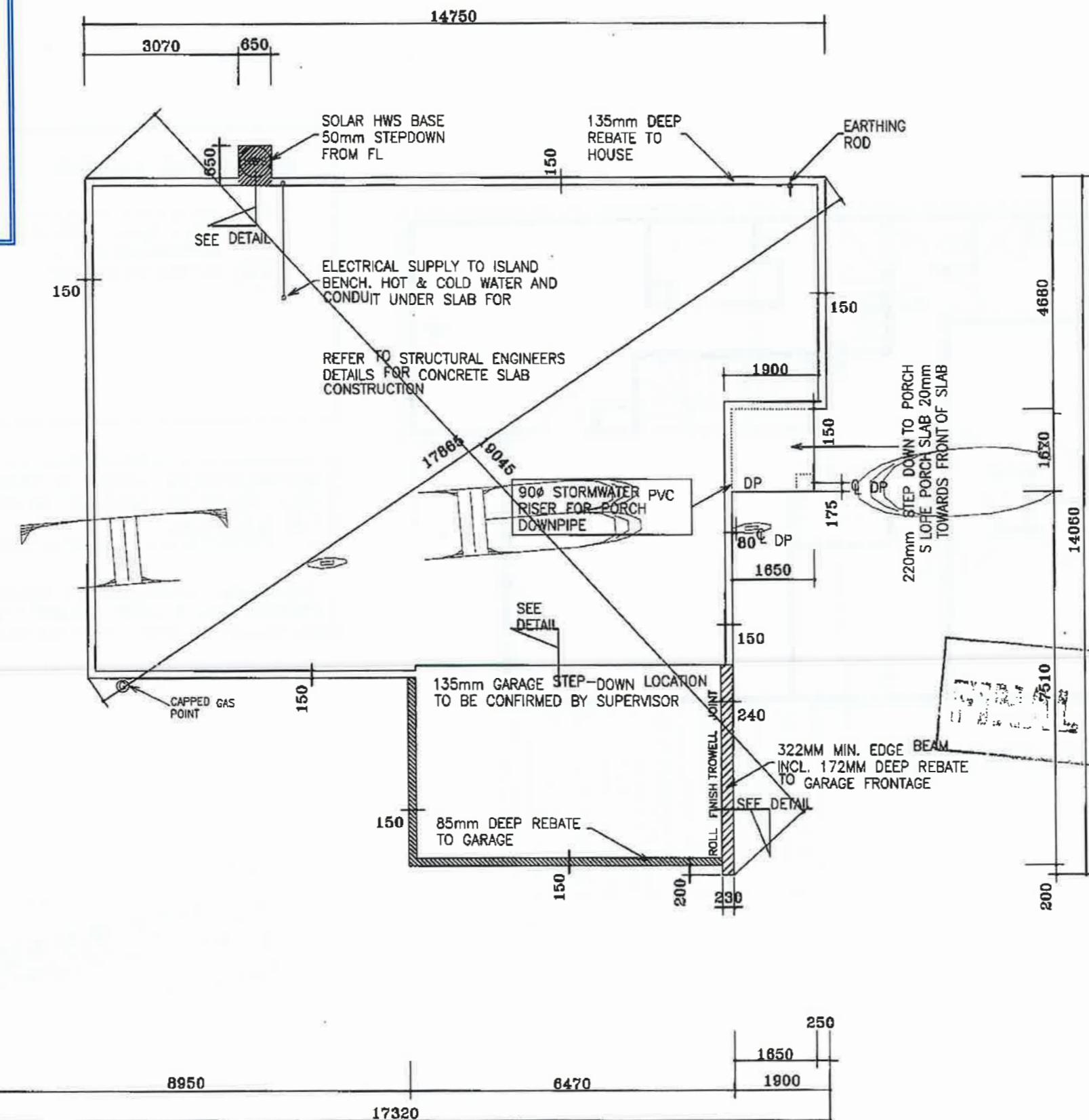
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RELEVANT BUILDING SURVEYOR

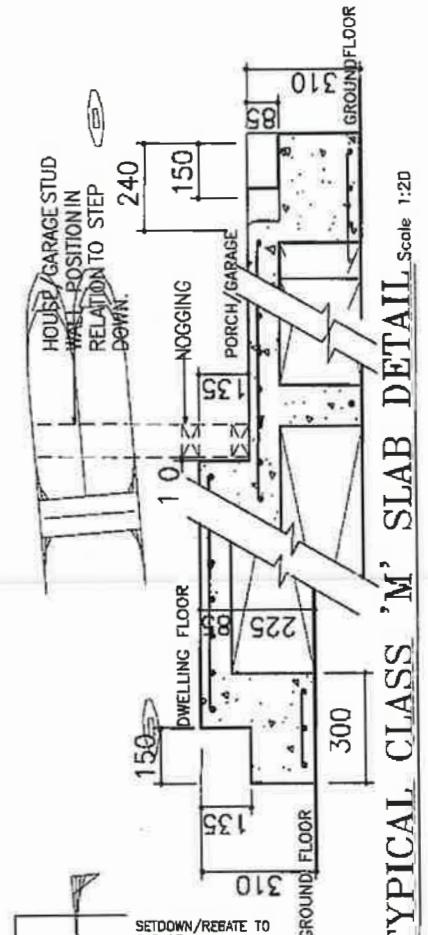
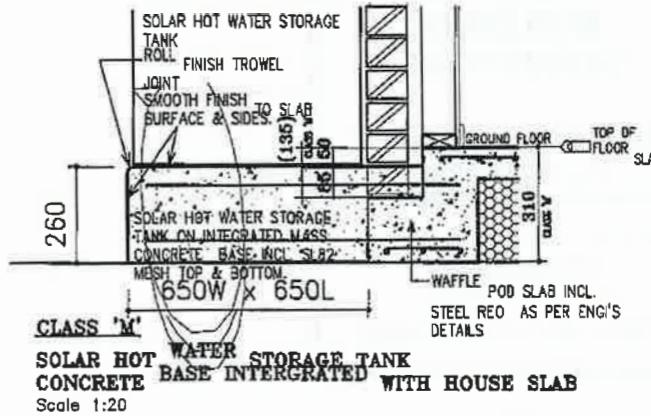
Gary Gommers

BS-U 1419

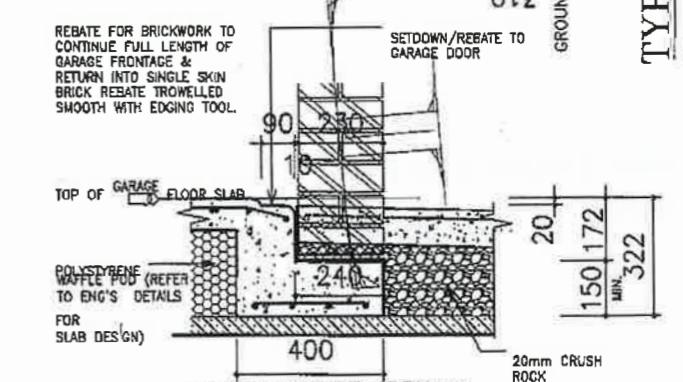
TERMITE PROTECTION REQUIRED



DRAWINGS



TYPICAL CLASS 'M' SLAB DETAIL, Scale 1:20



(DRIVEWAY PAVING TO BACK OF FRONT WALL)
Scale 1:20

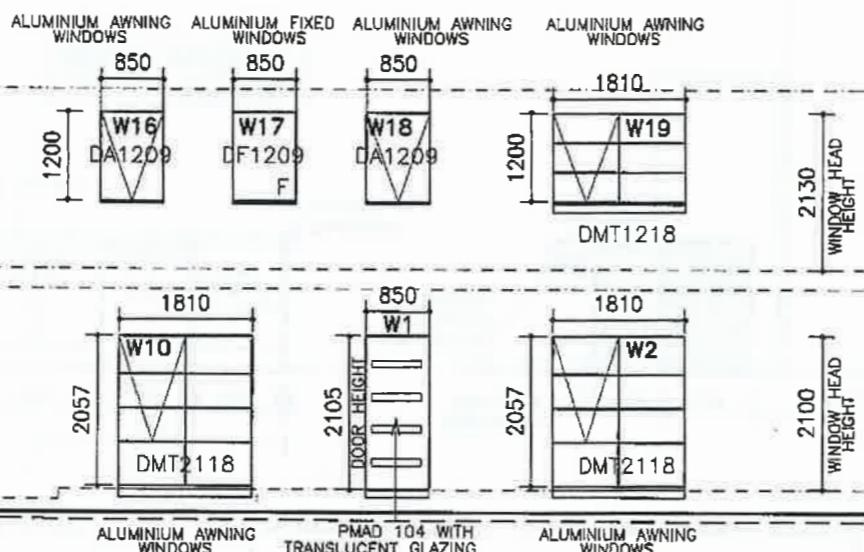
**GROUP FOUR
BUILDING
SURVEYORS**

BUILDING PERMIT

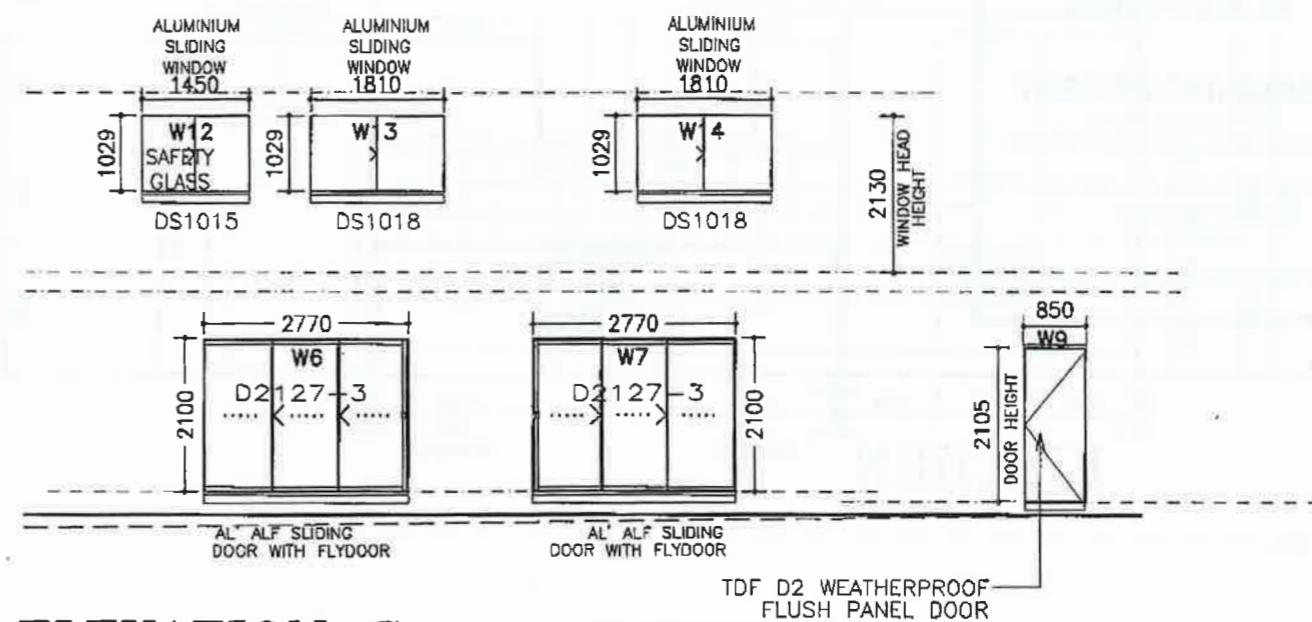
ISSUED 13/06/2013
NUMBER BS-U 1419-20123886/0

RELEVANT BUILDING SURVEYOR
Gary Gommers
BS-U 1419

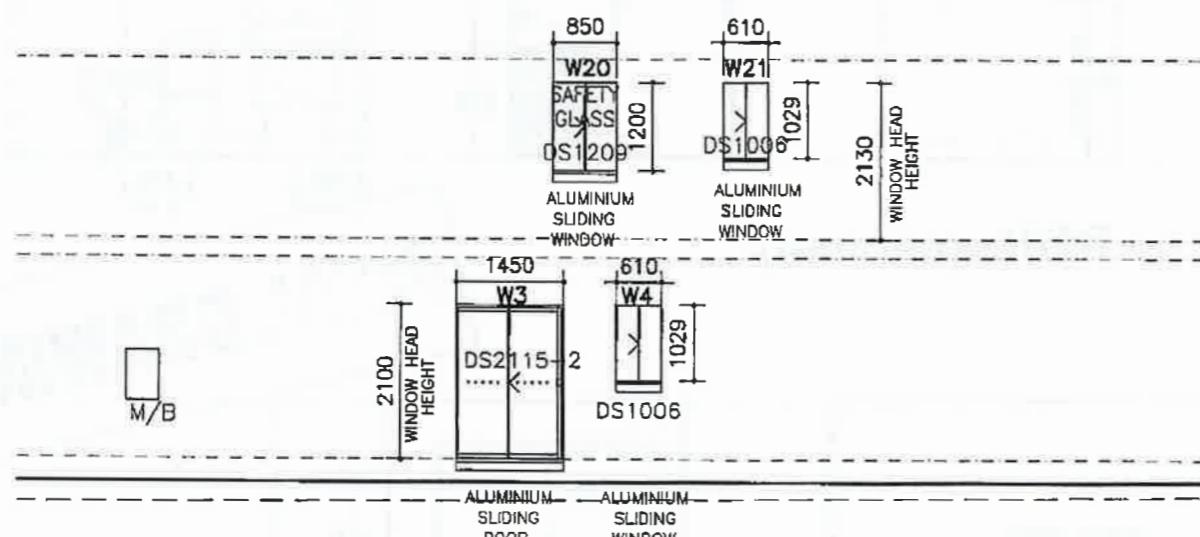
TERMITE PROTECTION REQUIRED



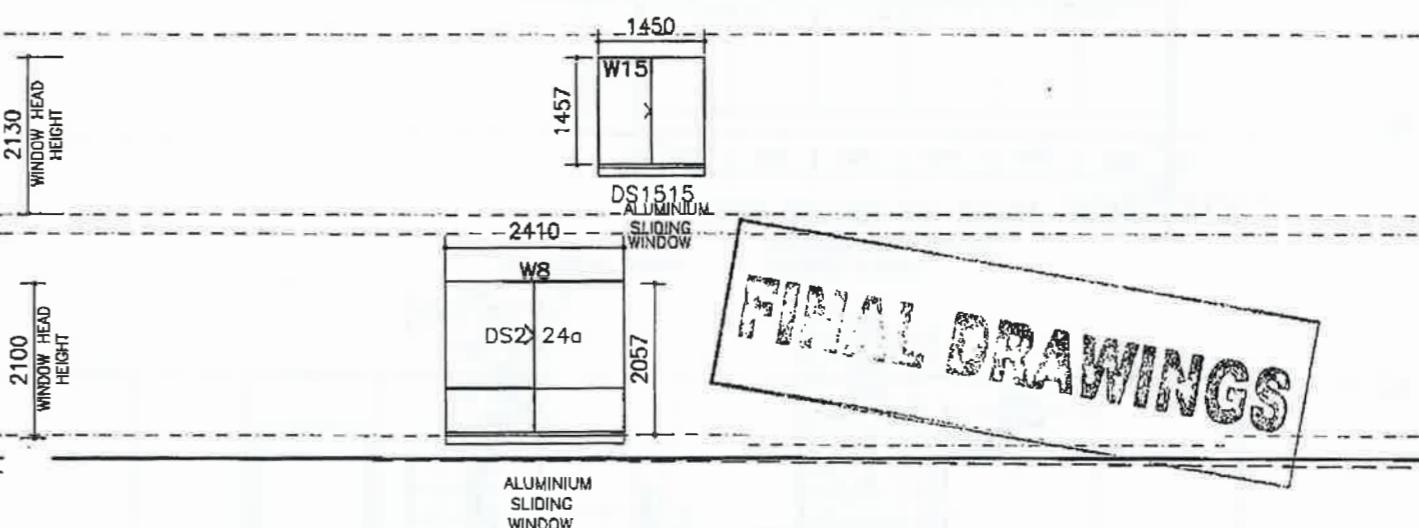
ELEVATION A



ELEVATION C



ELEVATION B



ELEVATION D

ALL GLASS TO CONFORM WITH AS1288-2006 : GLASS IN BUILDINGS

WINDOW SCHEDULE (Nominal Sizes)
DOWELL WINDOW SCHEDULE

FOR STUD (FRAMED) OPENINGS: Window WIDTH PLUS 50mm,
Window HEIGHT PLUS 60mm MIN.

**GROUP FOUR
BUILDING
SURVEYORS**

BUILDING PERMIT

ISSUED 13/06/2013

NUMBER BS-U3419/20123886/0

RELENT BUILDING SURVEYOR

Gary Gommers

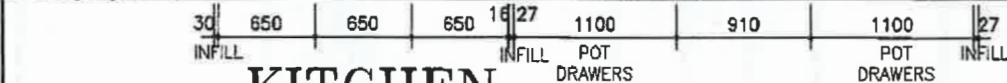
BSI 1418

TERMITE PROTECTION REQUIRED

MELAMINE SHELVING

F.L.

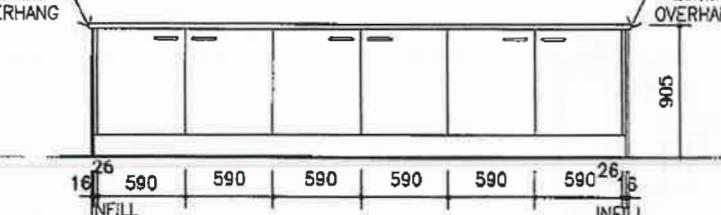
KITCHEN



C.L.

CAESARSTONE BENCHTOP
WITH 20mm ARRIS EDGE
TO KITCHEN

F.L.



KITCHEN (BACK OF ISLAND BENCH)

F.L.

GRANGE SEMI-FRAMELESS
SHOWER SCREENS

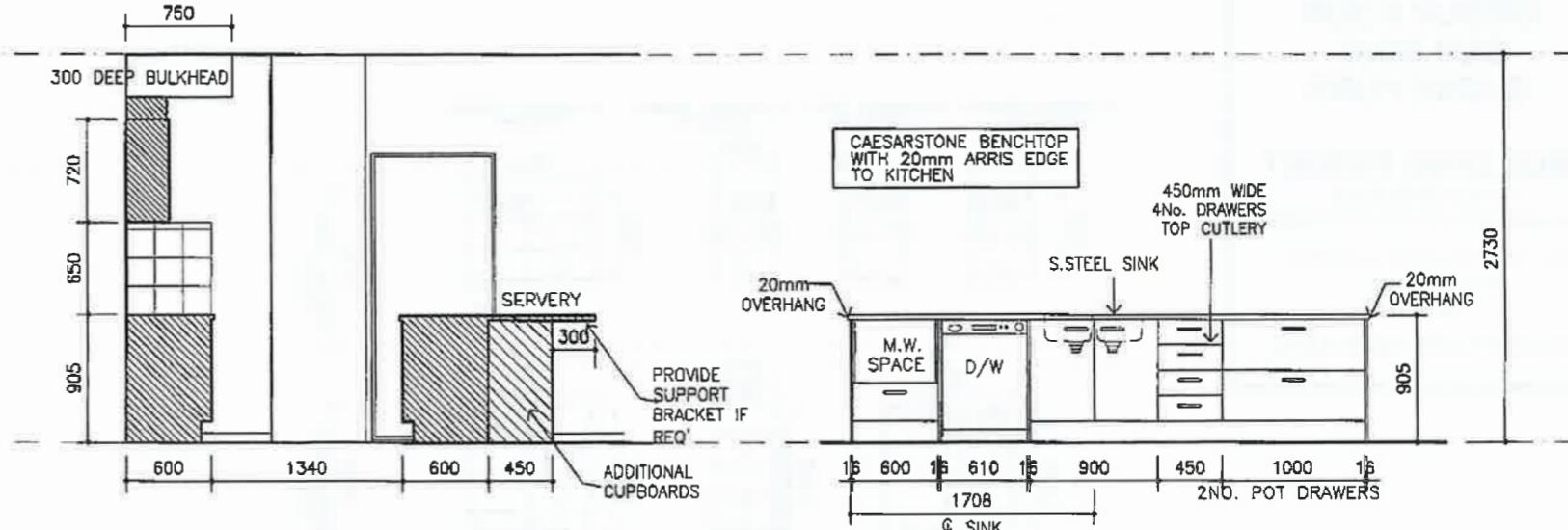
MYSTIC SHOWER RAIL

C.L.

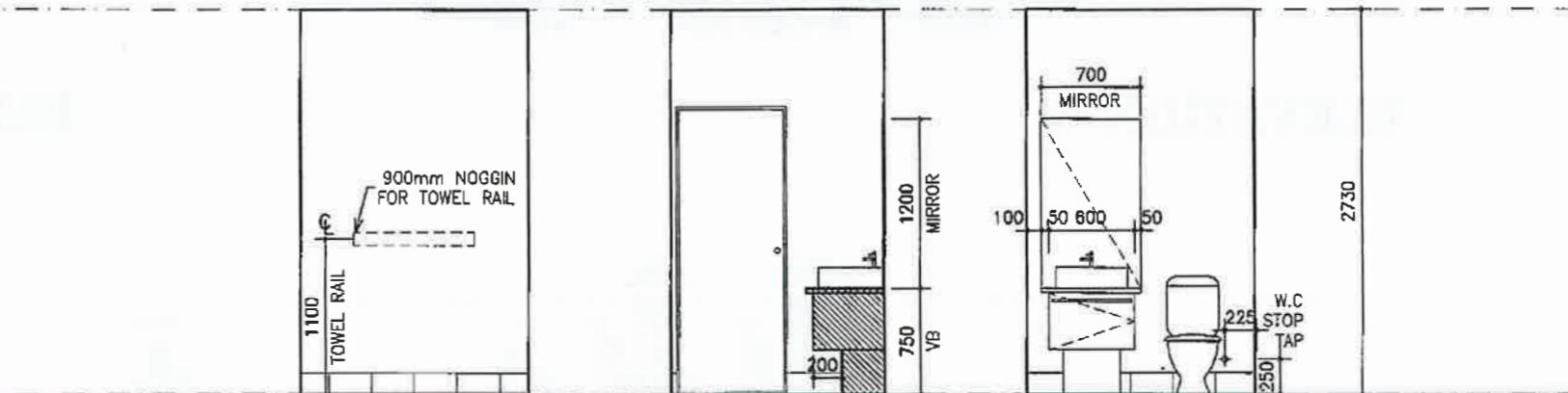


BATHROOM

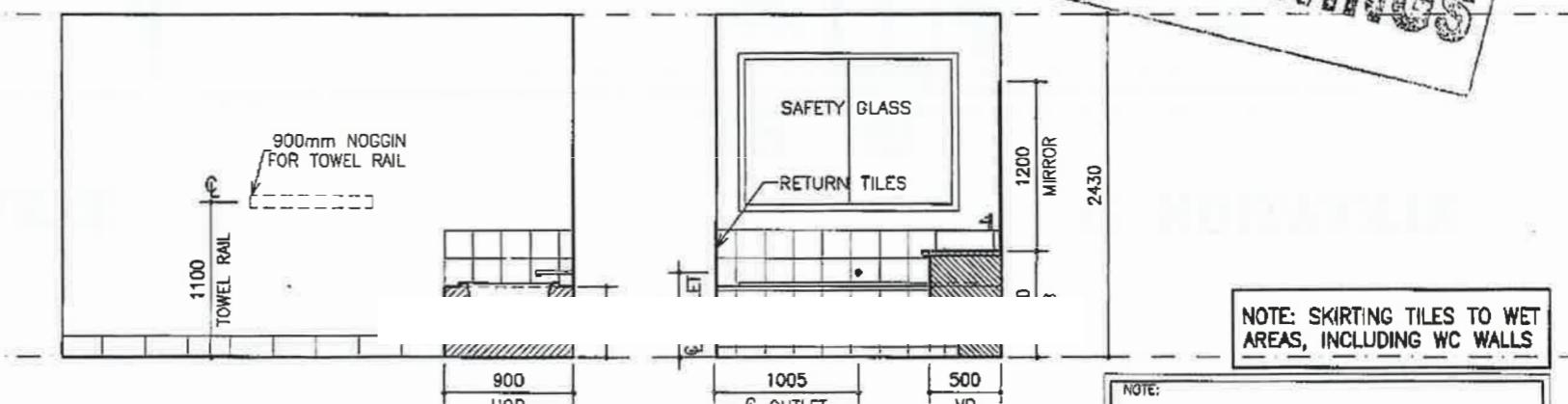
F.L.



PDR (GROUND)



FINAL DRAWINGS



NOTE: SKIRTING TILES TO WET
AREAS, INCLUDING WC WALLS

- 150MM SKIRTING TILES TO WET AREAS, INCL. WC. WALLS
- ALL INTERNAL ELEVATIONS DRAWN TO PLASTER
- ALL TILING HEIGHTS TO BE CONFIRMED ON SITE.
- ALL INTERNAL DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.

Spec:
ALTIMA 2006

(STANDARD)

- DEVELOPMENT DIVISION PURPOSE ONLY -

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TO BE REPRODUCED IN PART OR WHOLE WITHOUT EXPRESS PERMISSION.

View:
INTERNAL ELEVATIONS -1

Customer:
Trent Hall

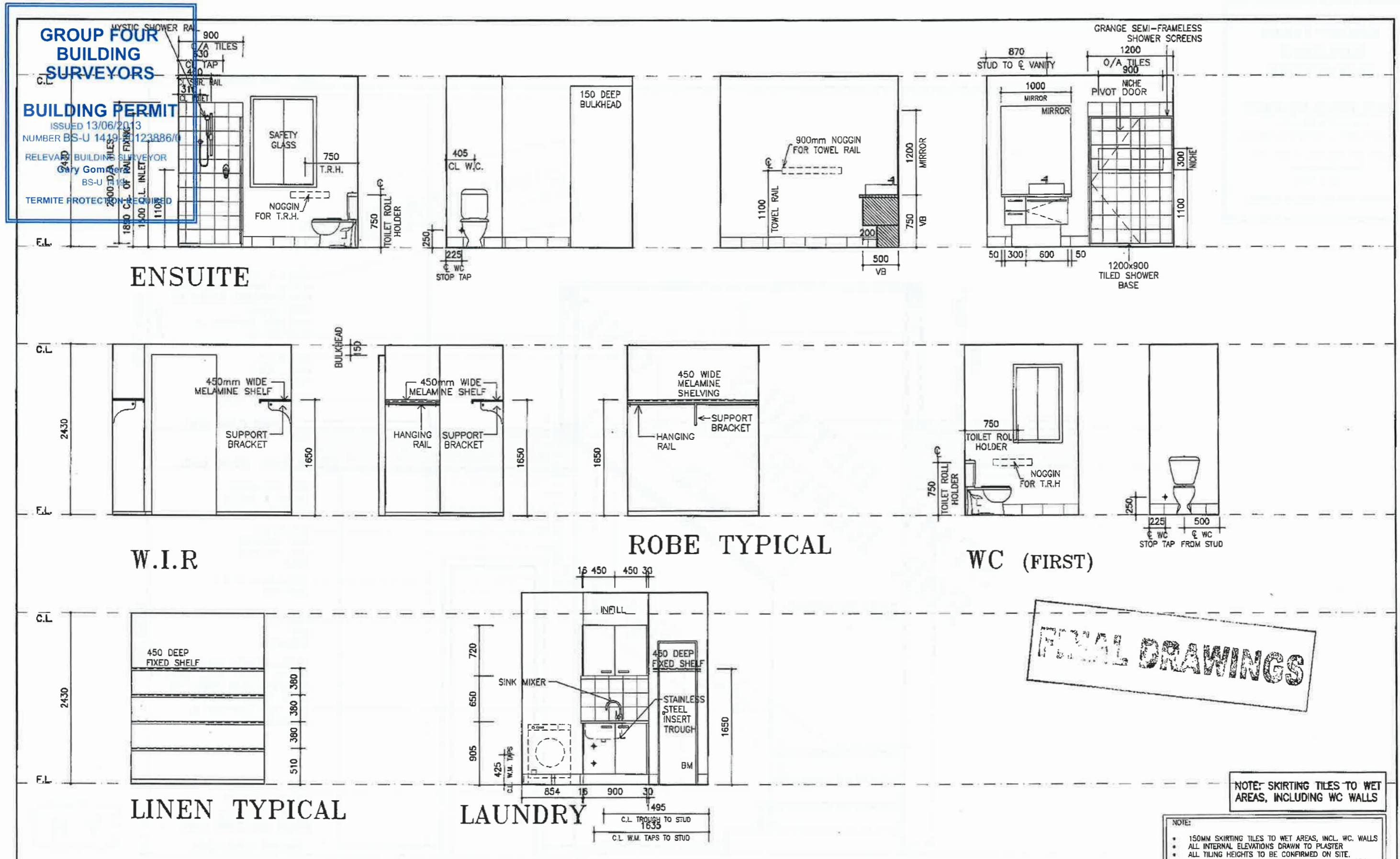
Address:
LOT 6 NO: 4 LEARY AVENUE BENTLEIGH EAST 3165 VICTORIA

version:
V6

Scale: 1:50@A3

Date: 12.06.13

House: PARKSIDE 3500
Facade: ALPINE
Drawn: XOOX L.T Job No: 33837 ACC
Checked: Sheet No: 8.1



GROUP FOUR
BUILDING
SURVEYORS

BUILDING PERMIT

ISSUED 13/06/2013
NUMBER BS-U 1419-20123886/0

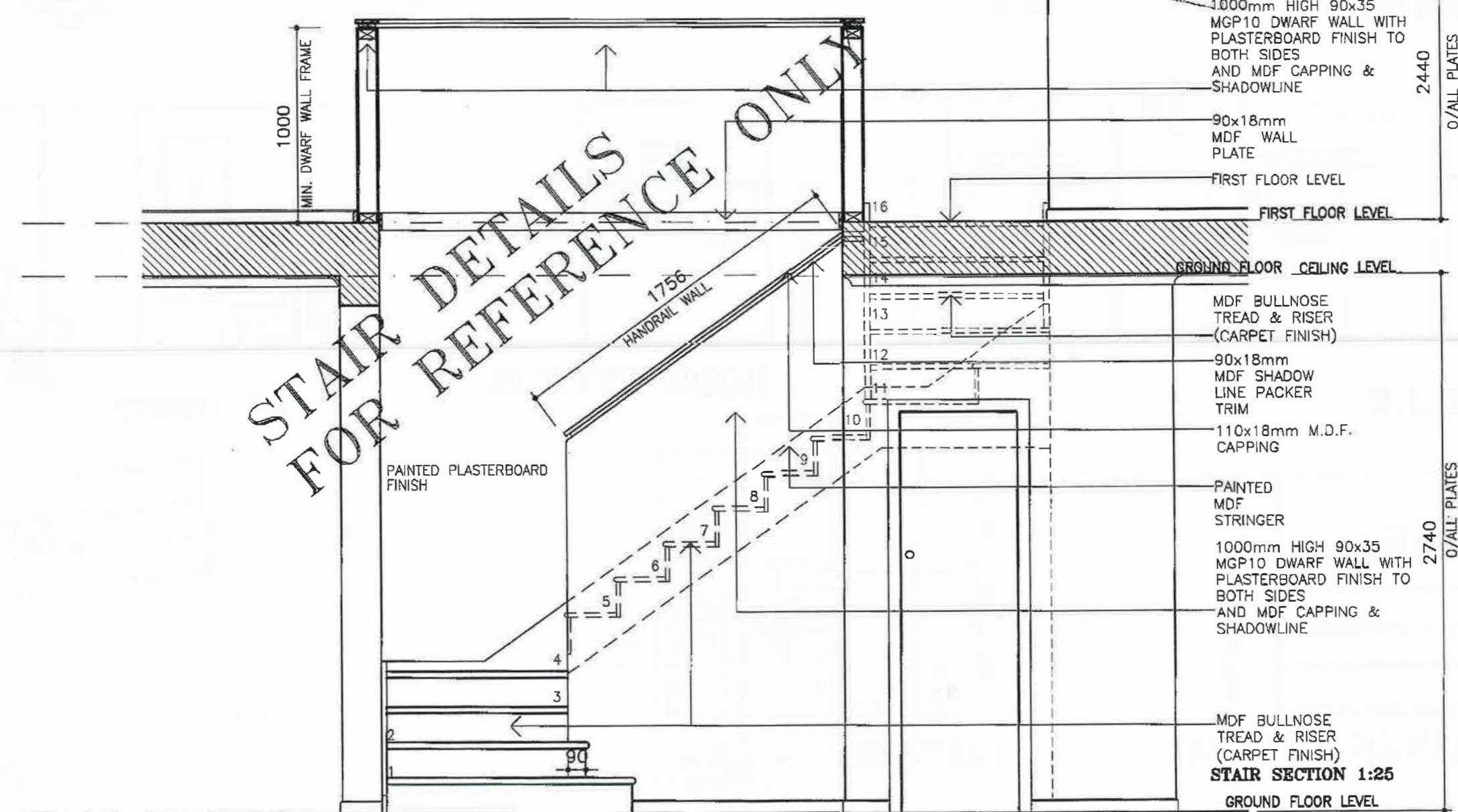
RELEVANT BUILDING SURVEYOR

Gary Gommers
BS-U 1419

TERMITE PROTECTION REQUIRED

FIRST FLOOR CEILING LEVEL

FINAL DRAWINGS



**GROUP FOUR
BUILDING
SURVEYORS**

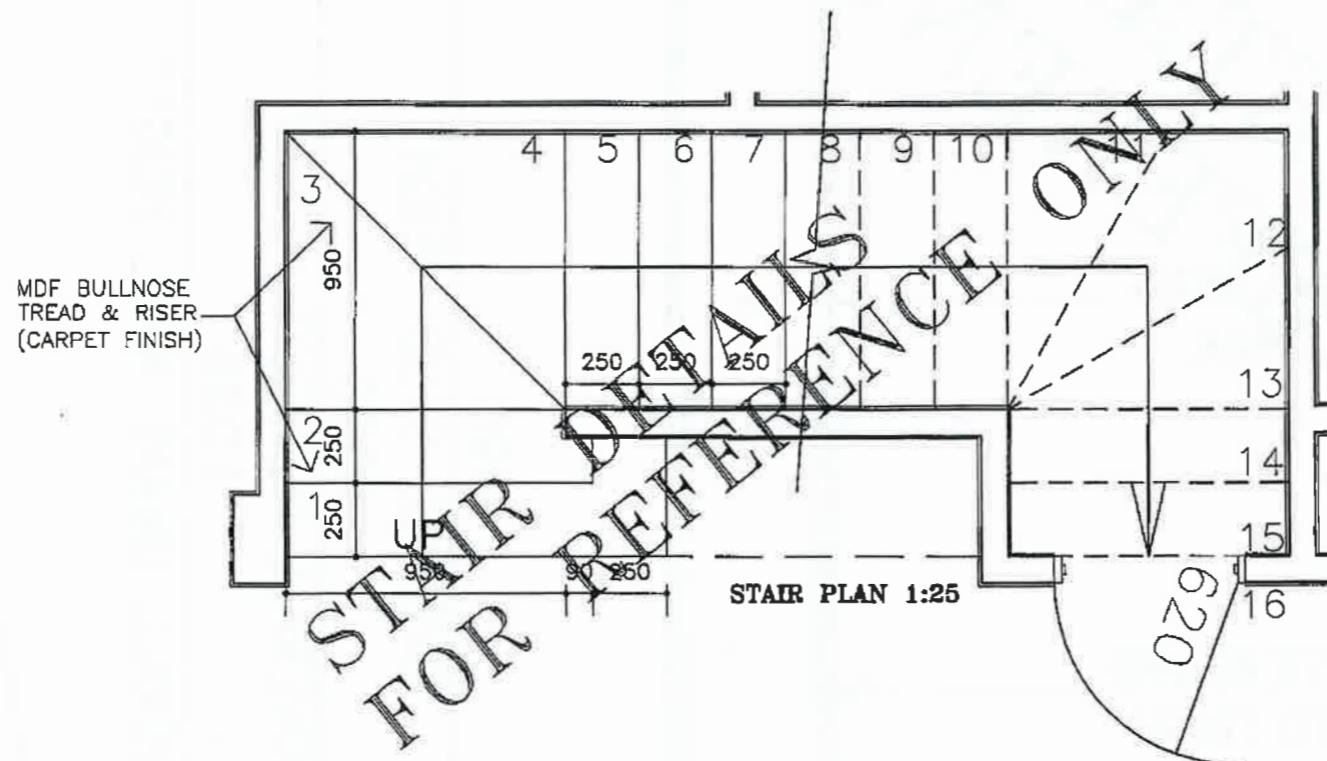
BUILDING PERMIT

ISSUED 13/06/2013
NUMBER BS-U 1419-20123886/0

RELEVANT BUILDING SURVEYOR

Gary Gommers
BS-U 1419

TERMITE PROTECTION REQUIRED



STAIR DETAILS
FOR PREFERENTIAL
SERVICE ONLY

STAIR DETAILS

15	Spec: ALTIMA 2006	View: STAIR DETAILS - 2	version: V6	House: PARKSIDE 3500
	(STANDARD) - DEVELOPMENT DIVISION PURPOSE ONLY -	Customer: Trent Hall		Facade: ALPINE
	© COPYRIGHT 2003 SHANDS IP Pty Ltd (ACN 144 839 805) (ABN 58 144 839 805) NOT TO BE REPRODUCED IN PART OR WHOLE WITHOUT EXPRESS PERMISSION.	Address: LOT 6 NO: 4 LEARY AVENUE BENTLEIGH EAST 3165 VICTORIA	Scale: 1:25@A3	Drawn: X00X L.T
			Date: 12.06.13	Job No: 33837 ACC
			Checked:	Sheet No: 9.2

GROUP FOUR
BUILDING
SURVEYORS

BUILDING PERMIT

ISSUED 13/06/2013
NUMBER BS-U 1419-20123886/0

RELEVANT BUILDING SURVEYOR
Gary Gommers
BS-U 1419

TERMITE PROTECTION REQUIRED

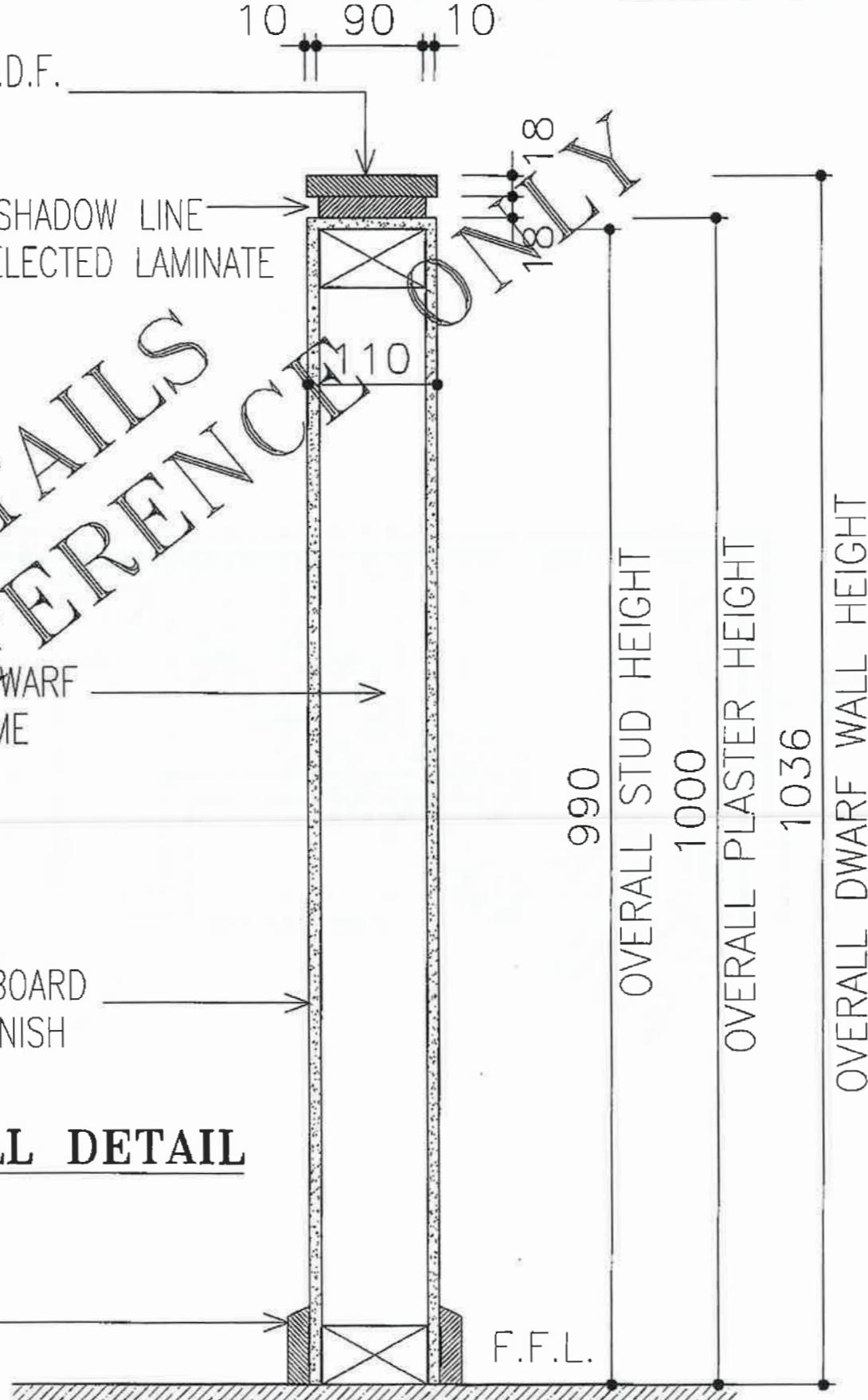
STAIR DETAILS
FOR PREFERENCE

10mm PLASTERBOARD
WITH PAINTED FINISH

DWARF WALL DETAIL

SCALE 1:10

SELECTED MDF
SKIRTING



FINAL DRAWINGS

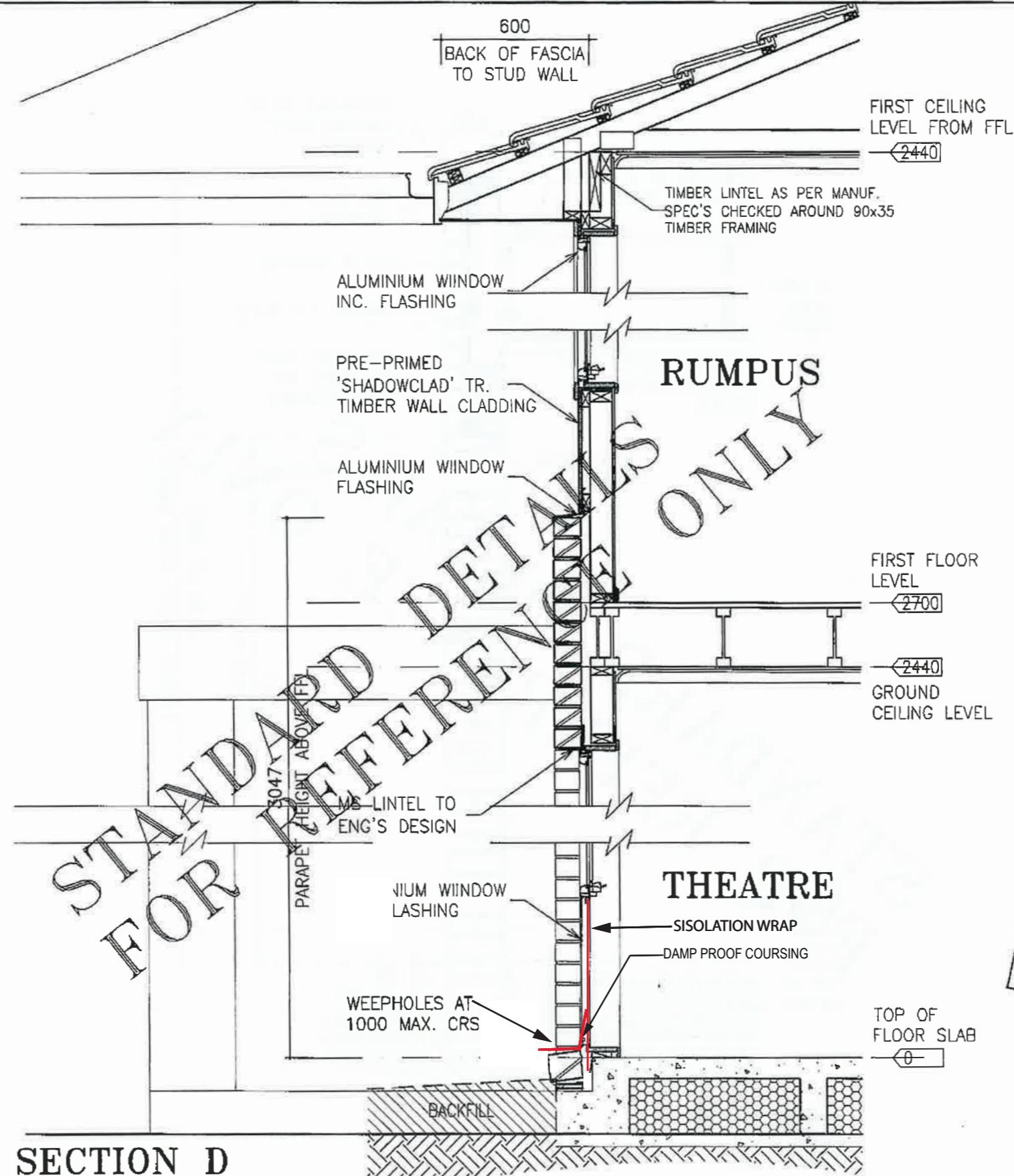
**GROUP FOUR
BUILDING
SURVEYORS**

BUILDING PERMIT

ISSUED 13/06/2013
NUMBER BS-U 1419-20123886/0

RELEVANT BUILDING SURVEYOR
Gary Gommers
BS-U 1419

TERMITE PROTECTION REQUIRED



SECTION D

SCALE 1:20

Spec: ALTIMA 2006	View: DETAILS - 3	version: V6	House: PARKSIDE 3500
(STANDARD)	Customer: Trent Hall		Facade: ALPINE
- DEVELOPMENT DIVISION PURPOSE ONLY -	Address: LOT 6 NO: 4 LEARY AVENUE BENTLEIGH EAST 3165 VICTORIA		Drawn: XOOX L.T Job No: 33837 ACC
© COPYRIGHT 2003 SANDS IP Pty Ltd (ACN 144 639 805) (ABN 58 144 639 805) NOT TO BE REPRODUCED IN PART OR WHOLE WITHOUT EXPRESS PERMISSION.	Scale: 1:20@A3 Date: 12.06.13	Checked:	Sheet No: 9.3

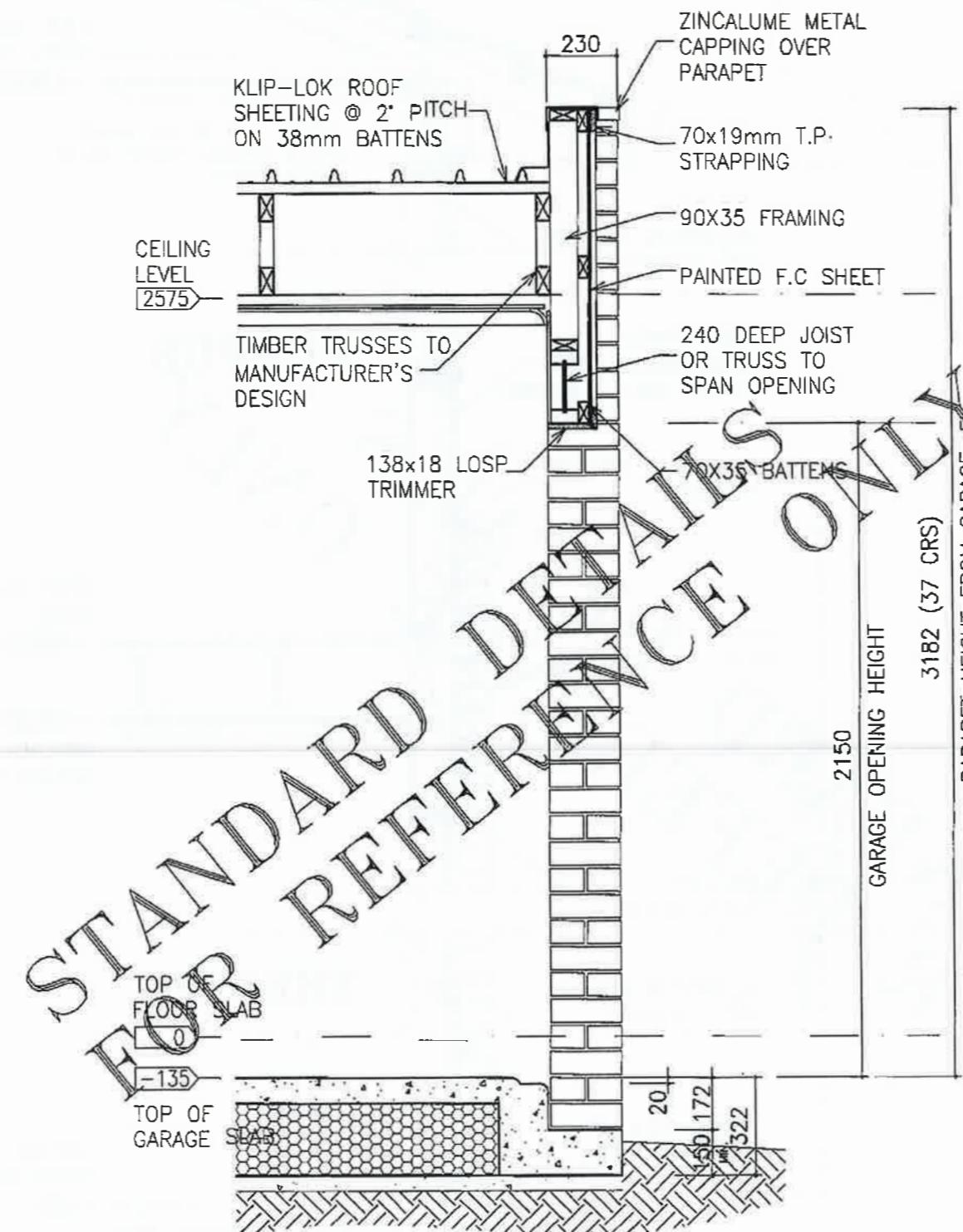
GROUP FOUR
BUILDING
SURVEYORS

BUILDING PERMIT

ISSUED 13/06/2013
NUMBER BS-U 1419-20123886/0

RELEVANT BUILDING SURVEYOR
Gary Gommers
BS-U 1419

TERMITE PROTECTION REQUIRED



Spec:

ALTIMA 2006

(STANDARD)

- DEVELOPMENT DIVISION PURPOSE ONLY -

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View:

DETAILS - 4

Customer:

Trent Hall

Address:

LOT 6 NO: 4 LEARY AVENUE BENTLEIGH EAST 3165 VICTORIA

version:
V6

scale: 1:20 @ A3

Date: 12.06.13

House: PARKSIDE 3500
Facade: ALPINE
Drawn: X00X LT Job No: 33837 ACC
Checked: Sheet No: 9.4

GENERAL NOTES

BURATT ENGINEERING WILL NOT BE LIABLE FOR ANY DISCREPANCIES. DISCREPANCIES MUST BE REFERRED TO THIS OFFICE PRIOR CONSTRUCTION AND QUOTING.

THIS DRAWING IS NOT TO BE SCALED.

REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION & DEPTH OF DEEPENED EDGE REBATES AND SET DOWNS, AND REFER TO ATTACHED DETAILS FOR CONSTRUCTION REQUIREMENTS.

ANY SUBSTITUTION OR CHANGES ARE TO BE APPROVED BY BURATT ENGINEERING P/L AND IS NOT AN AUTHORITY FOR AN EXTRA COST.

THE APPROVAL OF A SUBSTITUTION SHALL BE SOUGHT FROM THE ENGINEER BUT IT IS NOT AN AUTHORITY FOR AN EXTRA COST.

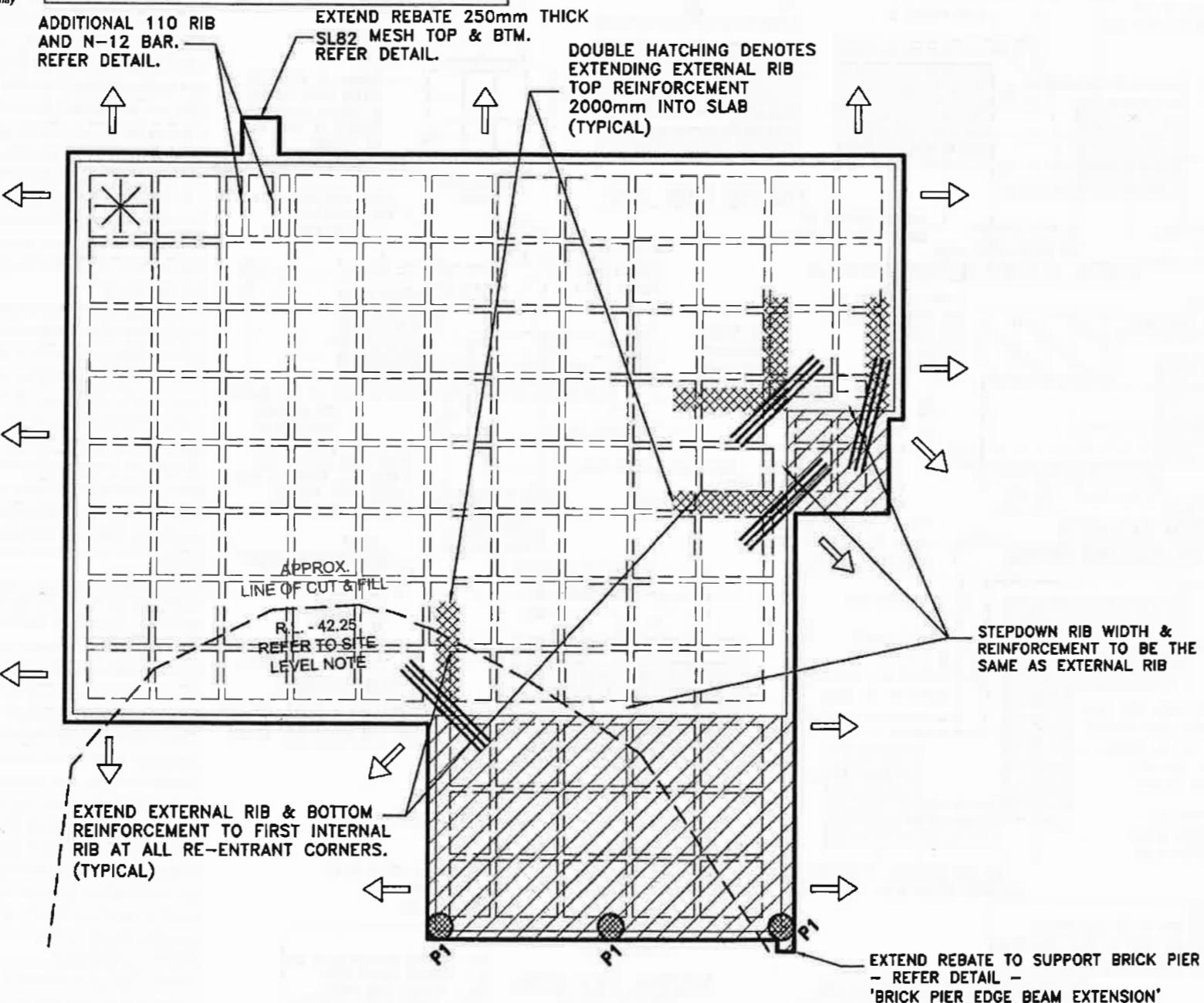
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TREE NOTE 1
THE FOOTING DESIGN HAS TAKEN INTO CONSIDERATION THE EFFECTS OF THE CURRENT TREE(S) SIZE AND LOCATION SO THAT THE FOOTING PERFORMANCE WITH RESPECT TO WALLS WILL BE AS PER AS2870-2011 APPENDIX B, PARAGRAPH B3 AND APPENDIX C. IF THE POTENTIAL DAMAGE TO THE SUPERSTRUCTURE IS NOT ACCEPTABLE TO THE OWNER(S), BUILDER AND/OR ANY OTHER RELEVANT PARTY THEN A FOOTING REDesign WILL BE REQUIRED. IF POSSIBLE, TREE(S) ARE TO BE MAINTAINED (IE. FED & PRUNED) AT THEIR CURRENT PROPORTIONS. IF CURRENT TREE(S) PROPORTIONS INCREASE THEN THE CURRENT OWNER(S) AND SUBSEQUENT OWNER(S) AS REGISTERED ON THE CERTIFICATE OF TITLE MUST ENGAGE A SUITABLE QUALIFIED ENGINEER TO PROVIDE RECOMMENDATIONS FOR FOOTING PROTECTION (E.G. ROOT/MOISTURE BARRIER(S)) AGAINST POTENTIAL DAMAGE TO THE SUPERSTRUCTURE. ALSO THE BUILDER MUST ENSURE THAT CURRENT OWNER(S) CONFIRM (IN WRITING) THAT THE CURRENT OWNER(S) ARE AWARE (AND AGREE TO MAKE THE SUBSEQUENT OWNER(S) AWARE) THAT THEY MUST COMPLY WITH THE FOOTING PROTECTION REQUIREMENTS AS DESCRIBED ABOVE.

FILL NOTE:
ALL LOOSE SURFACE FILL / TOP SOIL, ALL ROOTS AND ALL ORGANIC MATERIAL ARE TO BE REMOVED FROM THE BUILDING PLATFORM. SITE IS TO BE CUT AND/OR FILLED (OR SITE SCRAPED) TO FORM A LEVEL BENCH. ANY EXISTING AND ANY PLACED FILL MATERIAL IS TO CONFORM AND BE PLACED IN ACCORDANCE WITH AS2870-1996 CL.6.4.2 AND IS NOT TO EXCEED 300mm IN TOTAL. ANY IMPORTED PLACED FILL IS TO BE A WELL GRADED COMPATIBLE MATERIAL. PLACED FILL IS TO CONTINUE PAST THE EDGE OF THE BUILDING BY AT LEAST 1m AND IS TO BE PLACED IN ACCORDANCE WITH AS2870-1996 CL.6.4.2. IF THE BUILDING PLATFORM IS SOFT OR SUSPECT OR THE TOTAL DEPTH OF FILL IS GREATER THAN 300mm THEN CONTACT THIS OFFICE FOR REDesign.

SITE LEVEL NOTE:
CUT/FILL LEVEL OR SCRAPE LEVEL TO RL 42.25 AS PER ARCHITECTURAL DRAWINGS AND AS SHOWN ON THIS PLAN.
THE BUILDER & CONTRACTOR ARE TO CONFIRM THE CUT/FILL (OR SCRAPE) LEVEL BEFORE CONSTRUCTION & IF DIFFERENT A REDESIGN WILL BE REQUIRED.



WAFFLE TYPE 5

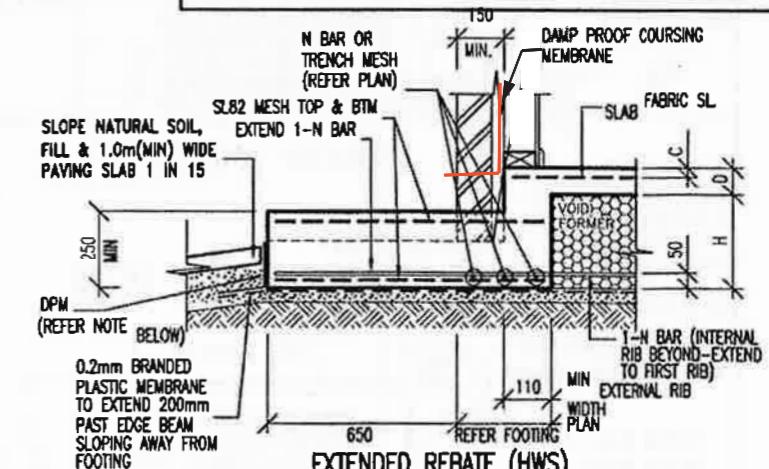
VOID FORMER HEIGHT	- 300mm
SLAB THICKNESS	- 85mm
OVERALL DEPTH	- 385mm
RIB SPACING (MAX)	- 1200mm
INTERNAL RIB WIDTH	- 110mm
EXTERNAL RIB WIDTH	- 400mm

REINFORCEMENT :	
INTERNAL RIB	- 1N12 BOTTOM
EXTERNAL RIB	- 4-L12TM BOTTOM & TOP
SLAB FABRIC	- SLB2 CENTRAL

KEY

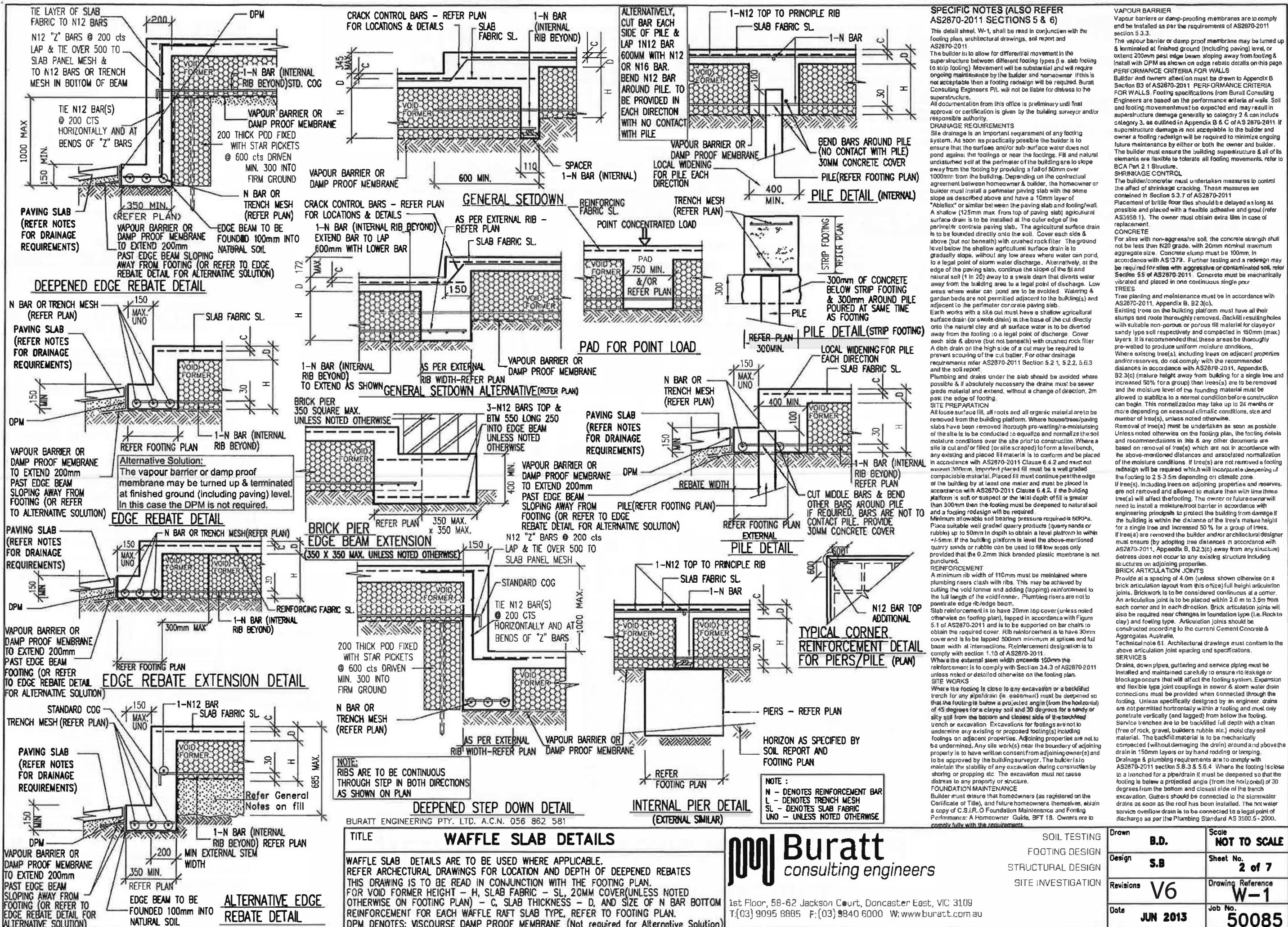
- DENOTES SET DOWN OF WAFFLE PODS
- DENOTES STARTING POINT FOR WAFFLE
- DENOTES 2000mm LONG 3/N12 OR 3-L11TM CRACK CONTROL BARS TIED TO UNDERSIDE (CRANK BARS AT SETDOWN - AS REQUIRED)
REFER TO STANDARD DETAIL W-1 FOR WAFFLE SLAB DETAILS.
- DENOTES SLOPE OF UNDISTURBED NATURAL SOIL & FILL AWAY FROM FOOTING AS PER THE ATTACHED DRAINAGE REQUIREMENTS & DETAILS
- DENOTES 450mm Ø BORED PIERS Founded 800mm(MIN.) INTO UNDISTURBED NATURAL CLAY (AS PER SOIL REPORT) & 2.0m(MIN.) BELOW EXISTING GROUND LEVEL (BEFORE EARTHWORKS) OR FOUND ONTO NATURAL CONTINUOUS ROCK. (USING A ROCK CORING BUCKET OR EQUIVALENT) BASE OF BORED HOLE IS TO BE CLEANED OF ANY LOOSE MATERIAL.

CONSTRUCTION DIFFICULTIES MAY BE ENCOUNTERED WHEN DRILLING FOR BORED PIERS, ESPECIALLY DURING WETTER MONTHS OF THE YEAR AND DURING PERIODS OF PROLONGED RAINFALL. BURATT CONSULTING ENGINEERS WILL NOT BE LIABLE FOR ADDITIONAL COSTS DUE TO CONSTRUCTION DIFFICULTIES. IT IS RECOMMENDED THAT STEEL PILES BE USED. A REDESIGN WILL BE REQUIRED BY THIS OFFICE.



SITE CLASSIFIED "P" AS2870 - 2011
SITE CLASSIFIED "P" AS2870 - 1996
BURATT ENGINEERING PTY. LTD. A.C.N. 056 862 581

Brown	B.D.	NOT TO SCALE
Design	S.B	Sheet No. 1 of 7
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Date	JUN 2013	50085



NOTE:
LVL15 MAY BE USED IN PLACE OF
LVL14/HYSPAN LVL IF REQUIRED (I.E.
300 x 42 LVL15 MAY BE USED IN PLACE
OF 300 x 45 LVL14/HYSPAN LVL), &
VICE VERSA - UNLESS NOTED OTHERWISE.

B1 : 200 x 45 LVL14/HYSPAN LVL
OR 190 x 45 F17 K.D.H.W.
OR BY OTHERS

B2 : 200 x 45 LVL14/HYSPAN LVL
OR 190 x 45 F17 K.D.H.W.
OR BY OTHERS

B3 : 200 x 45 LVL14/HYSPAN LVL
OR 190 x 45 F17 K.D.H.W.
OR BY OTHERS

B4 : 200 x 45 LVL14/HYSPAN LVL
OR 190 x 45 F17 K.D.H.W.
OR BY OTHERS

D.S. : 2/90 x 45 MGP10
T.S. : 3/90 x 45 MGP10
D.S.1 : 2/90 x 45 F17 K.D.H.W.
OR 3/90 x 45 MGP10
T.S.1 : 3/90 x 45 F17 K.D.H.W.

NAIL STUDS SECURELY
TO PREVENT SPREADING
(REFER GENERAL NOTES)

GENERAL NOTES:
- ALL TIMBER FRAMING INCLUDING BRACING IS TO BE IN
ACCORDANCE WITH THE CURRENT AUSTRALIAN STANDARD
AS1684.2 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION. AN
ENGINEERED DESIGN WILL BE REQUIRED IF TIMBER FRAMING
INCLUDING BRACING DOES NOT COMPLY WITH THE CURRENT
AUSTRALIAN STANDARD AS1684.2

- ALL LINTELS/BEAMS OVER WINDOW, FLOOR & DOOR OPENINGS
THAT ARE NOT SPECIFIED BY THIS OFFICE ARE TO BE DESIGNED
BY OTHERS AND ARE TO BE AS PER REQUIREMENTS OF THE
CURRENT AUSTRALIAN STANDARD AS1684.2 RESIDENTIAL
TIMBER-FRAMED CONSTRUCTION.

- PROVIDE D.S. (NAILED/SPiked TOGETHER SECURELY TO
PREVENT SPREADING) UNDER ALL TIMBER BEAMS UNLESS NOTED
OTHERWISE.

- LOCATIONS WHERE T.S., D.S.1 & T.S.1 HAVE BEEN NOMINATED
AT THE END OF A WALL, BESIDE A WINDOW, AT A CORNER OR
AT AN ISOLATED LOCATION, MEMBERS ARE TO BE FIXED
TOGETHER SECURELY (I.E NAILED @ 150 CTRS, BOTH SIDES (OR
EQUIVALENT)) TO PREVENT SPREADING. IN ALL OTHER LOCATIONS
ALL MEMBERS ARE TO BE SPIKED TOGETHER TO FORM A SINGLE
UNIT.

- WHERE D.S., T.S., D.S.1 & T.S.1 HAVE BEEN NOMINATED THEY
ARE TO BE POSITIONED SO THAT ALL THE STUD MEMBERS ARE
ENTIRELY UNDER THE NOMINATED BEAM.

- FOR SHEET ROOFS ALL ROOF MEMBERS ARE TO BE TIED
DOWN AGAINST WIND UPLIFT FORCES AS PER THE CURRENT
AUSTRALIAN STANDARD AS1684.2

- ALL MULTIPLE MEMBERS TO BE NAIL LAMINATED AS PER
REQUIREMENTS OF THE CURRENT AUSTRALIAN STANDARD
AS1684.2 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION.

- ALL STEEL MEMBERS ARE TO BE PROTECTED FROM CORROSION
IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA FOR THE
SPECIFIC SITE ENVIRONMENT.

- ALL EXTERNAL/EXPOSED TIMBER MEMBERS ARE TO BE
PRESERVATIVE/WEATHEREO TREATED TO H3 HAZARD CLASS, IN
ACCORDANCE WITH THE CURRENT AUSTRALIAN STANDARD
AS1684.2, APPENDIX B, TABLE B1.
IF THIS CANNOT BE ACHIEVED, A REDESIGN WILL BE REQUIRED
(CONTACT THIS OFFICE). PROVIDE 2 LAYERS OF MALTHOID
WHERE TIMBER BEAMS ARE IN CONTACT WITH
BRICKWORK/MORTAR.

- TRUSS ROOF CONSTRUCTION UNLESS NOTED OTHERWISE.

- UNLESS SPECIFIED OTHERWISE BY THIS DOCUMENT,
SUPPORT OF GIRDERS TRUSSES MUST BE A MINIMUM OF D.S. &
MUST BE DESIGNED & CONFIRMED TO BE SATISFACTORY BY
TRUSS MANUFACTURER PRIOR TO CONSTRUCTION.

- G.T. : DENOTES APPROXIMATE LOCATION OF GIRDERS TRUSSES
FOR SINGLE STOREY & UPPER FLOOR OF TWO STOREY
CONSTRUCTION. GIRDERS TRUSSES LOCATION(S) CAN VARY FROM
THAT SHOWN ON THIS DRAWING PROVIDED THEY ARE NOT
SUPPORTED BY LINTELS OVER WINDOW/DOOR OPENING(S). A
LINTEL REDESIGN WILL BE REQUIRED. FOR OTHER THAN SINGLE
STOREY CONSTRUCTION A REDESIGN WILL BE REQUIRED IF G.T.
LOCATIONS VARY FROM THAT SHOWN ON THIS DRAWINGS.

- THE TRUSS MANUFACTURER AND BUILDER MUST ENSURE ROOF
TRUSSES & ITS ELEMENTS [INCLUDING ANY ELEMENTS/MATERIALS
CONNECTED TO THE TRUSSES] ARE FLEXIBLE TO TOLERATE ALL
FOOTING MOVEMENTS.

- ROOF TRUSSES ARE TO BE SUPPORTED ON EXTERNAL WALLS
ONLY, UNLESS OTHERWISE NOTED BY THIS DRAWING.

- UNLESS NOTED OTHERWISE FLOOR JOIST LAYOUT,
SPECIFICATIONS & DESIGN ARE TO BE AS PER MANUFACTURERS
SPECIFICATIONS.

- BALUSTRADE(S) ARE TO BE SELF RESTRAINED & ARE NOT TO
BE FIXED TO BRICKWORK UNLESS THE BRICKWORK HAS BEEN
SPECIFICALLY ENGINEERED TO RESTRAIN THE BALUSTRADE

- BEFORE CONSTRUCTION AND QUOTING THE BUILDER &
CONTRACTOR ARE TO CONFIRM THAT THERE ARE NO
DISCREPANCIES BETWEEN DRAWINGS & SPECIFICATIONS FROM
THIS OFFICE AND ARCHITECTURAL, SOIL REPORT AND OTHER
CONSULTANT DRAWINGS & SPECIFICATIONS.

- BURATT CONSULTING ENGINEERS P/L WILL NOT BE LIABLE
FOR ANY DISCREPANCIES. DISCREPANCIES MUST BE REFERRED TO
THIS OFFICE PRIOR TO CONSTRUCTION AND QUOTING.

- BURATT CONSULTING ENGINEERS P/L ACCEPT NO
RESPONSIBILITY & LIABILITY FOR THE WORKS UNLESS THE
WORKS ARE INSPECTED AND APPROVED BY AN ENGINEER DURING
CONSTRUCTION.

- THIS DRAWING IS NOT TO BE SCALED.

- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE
RELEVANT AUSTRALIAN STANDARDS.

- THE APPROVAL OF A SUBSTITUTION SHALL BE SOUGHT FROM
THE ENGINEER BUT IT IS NOT AN AUTHORIZATION FOR AN EXTRA
COST.

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TITLE

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FIRST FLOOR BEAM PLAN

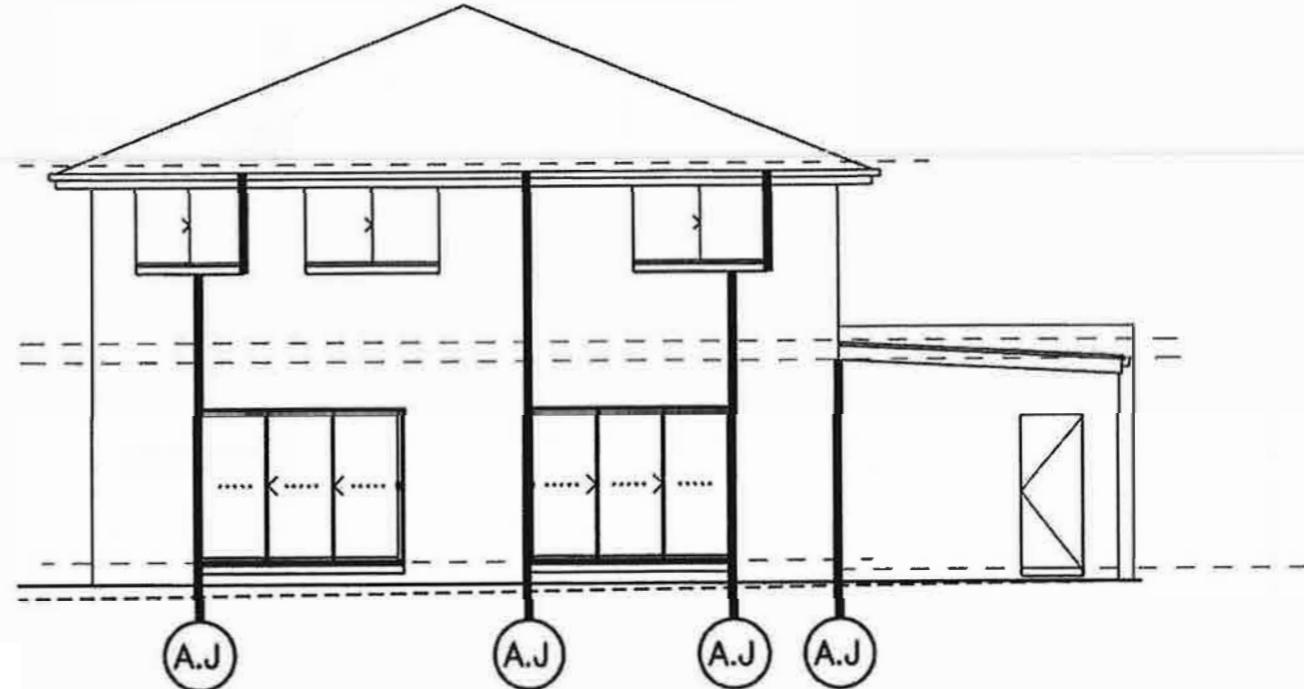
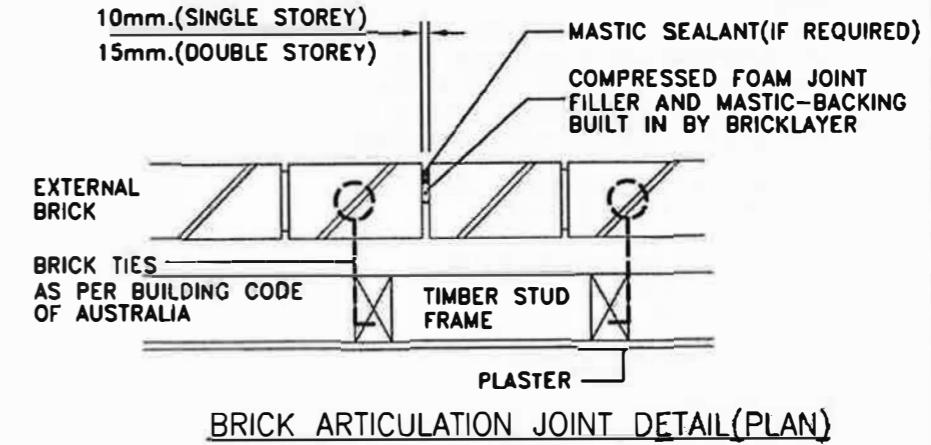
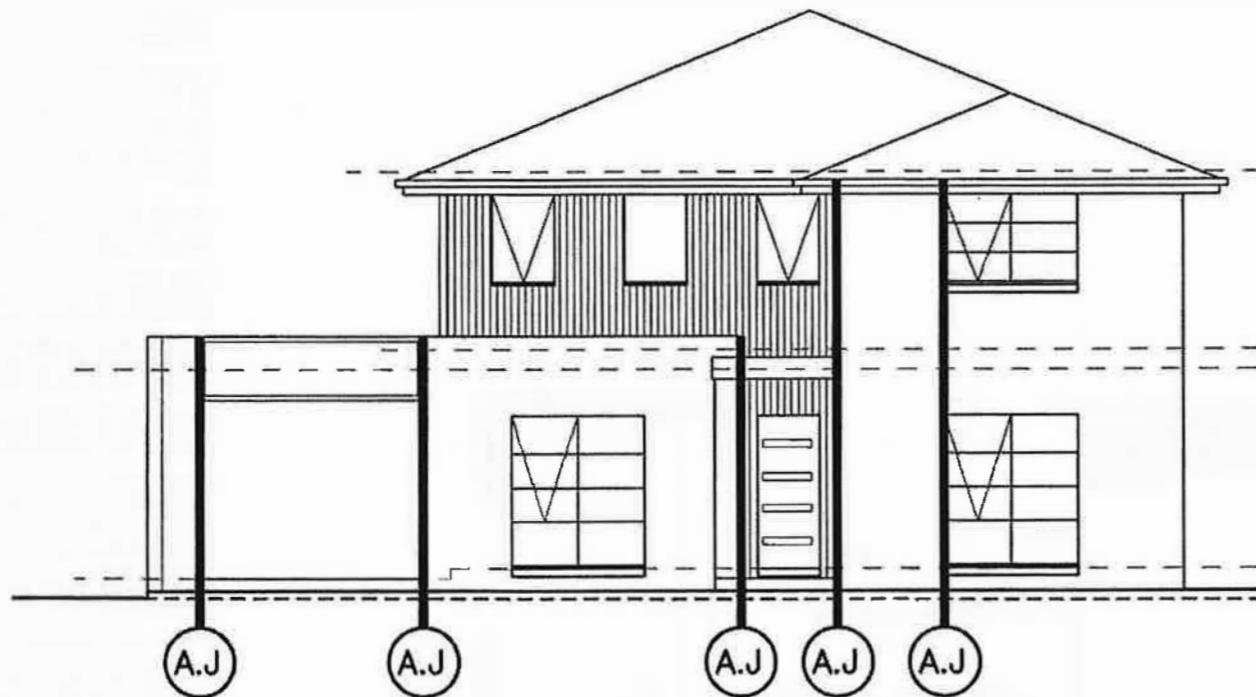
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SOIL TESTING
FOOTING DESIGN
STRUCTURAL DESIGN
SITE INVESTIGATION

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Design	S.B.	Sheet No.	3 of 7
Checked	MLS:	Job No./Drawing No.	JUN 2013
Date	50085		

A.J : DENOTES ARTICULATION JOINT



NOTES:

- AT AN ARTICULATION JOINT BRICK TIES ARE TO BE AS PER THE BUILDING CODE OF AUSTRALIA-PART 3.3
- ARTICULATION JOINTS MUST BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA-PART 3.3 AND/OR WITH THE CEMENT CONCRETE ASSOCIATION OF AUSTRALIA-TECHNICAL NOTE 61 - AUG 2008.
- FOR VENEER CONSTRUCTION EXTENDABLE MASONRY ANCHORS MAY BE OMITTED AS PER CLAUSE 3.3.1.8 OF THE BUILDING CODE OF AUSTRALIA-PART 3.3
- IT IS ESSENTIAL THAT A GAP IS LEFT TO ENSURE THAT MOVEMENT IS POSSIBLE. DO NOT BUILD BRICKWORK HARD AGAINST WINDOW FRAMES WHERE AN ARTICULATION JOINT IS LOCATED. PROVIDE 10mm GAP AS SHOWN ABOVE INCLUDING MASTIC SEALANT & TUBULAR POLYTHENE FOAM-REFER TECHNICAL NOTE 61 - AUG 2008. ENSURE ALL MORTAR IS CLEANED FROM ALL ARTICULATION JOINTS
- PROVIDE ARTICULATION JOINTS THROUGH BOTH SKINS OF DOUBLE MASONRY WALLS(I.E. EXTERNAL & INTERNAL BRICK)
- AT AN ARTICULATION JOINT PROVIDE EXTENDABLE ANCHORS AS PER BUILDING CODE OF AUSTRALIA FOR SINGLE & DOUBLE LEAF MASONRY WALLS
- ALL RENDERED FINISHES ON WALLS OTHER THAN MASONRY ARE TO BE ARTICULATED AT EVERY 4.0m AND/OR AS PER MANUFACTURERS SPECIFICATIONS AND DETAILS. IT IS RECOMMENDED THAT ARTICULATION JOINTS ALIGN WITH BRICK ARTICULATION JOINTS WHERE POSSIBLE.



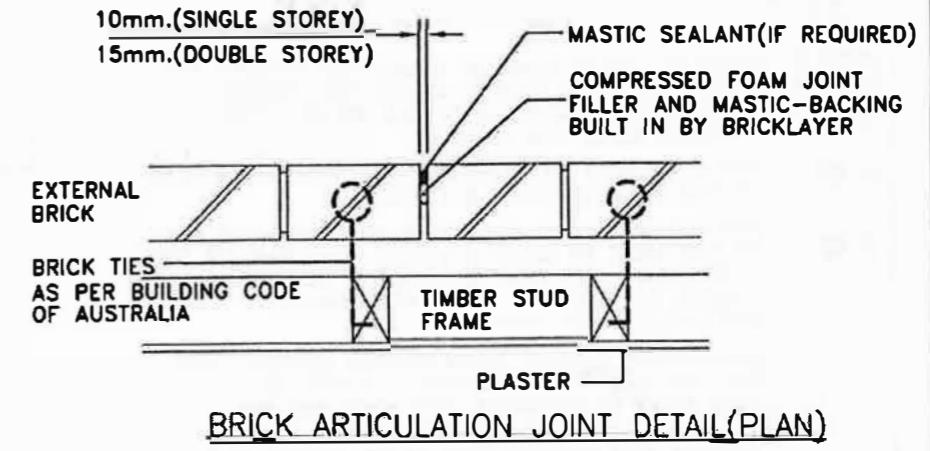
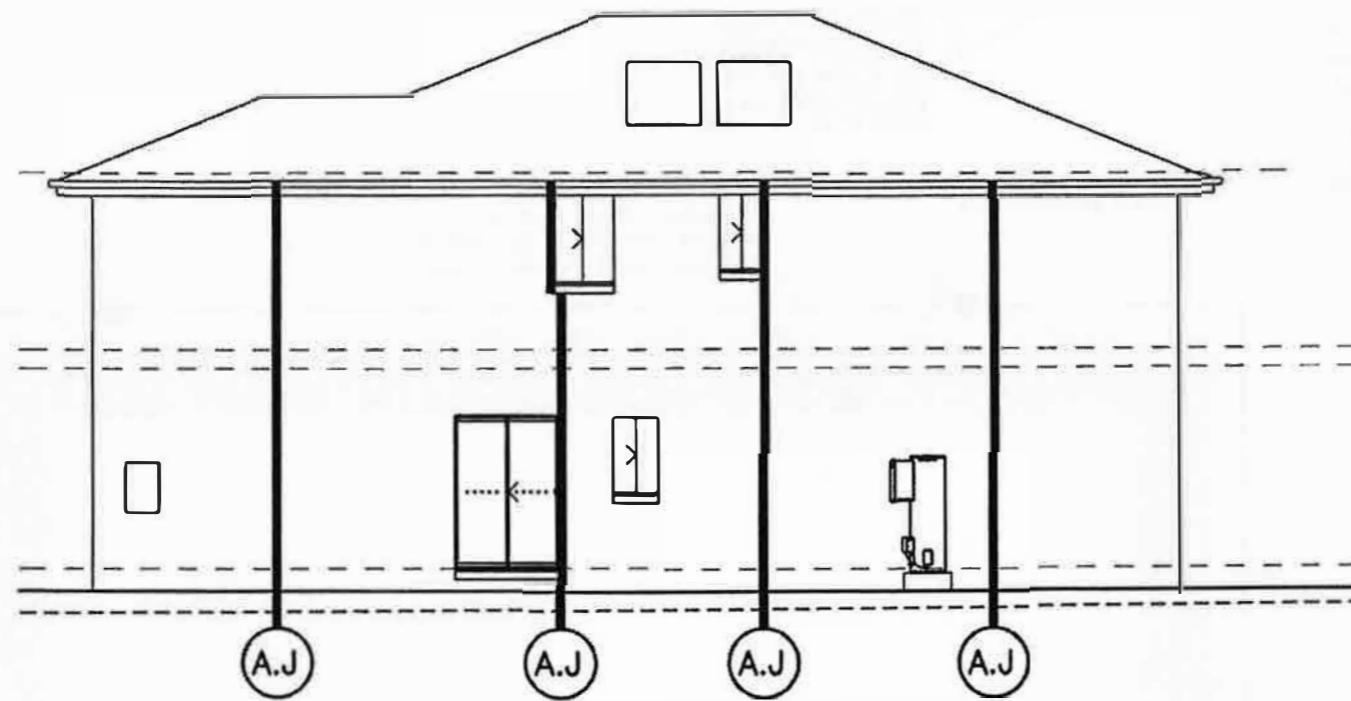
TITLE **PROPOSED RESIDENCE**
LOT 6 NO: 4 LEARY AVENUE BENTLEIGH EAST 3165 VICTORIA
ARTICULATION LAUOUT

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Design	S.B.	Sheet No.	4 of 7
Checked	MLS:	Job No./Drawing No.	
Date	JUN 2013		50085

A.J : DENOTES ARTICULATION JOINT



NOTES:

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- FOR VENEER CONSTRUCTION EXTENDIBLE MASONRY ANCHORS MAY BE OMITTED AS PER CLAUSE 3.3.1.8 OF THE BUILDING CODE OF AUSTRALIA-PART 3.3
- IT IS ESSENTIAL THAT A GAP IS LEFT TO ENSURE THAT MOVEMENT IS POSSIBLE. DO NOT BUILD BRICKWORK HARD AGAINST WINDOW FRAMES WHERE AN ARTICULATION JOINT IS LOCATED. PROVIDE 10mm GAP AS SHOWN ABOVE INCLUDING MASTIC SEALANT & TUBULAR POLYTHENE FOAM-REFER TECHNICAL NOTE 61 - AUG 2008. ENSURE ALL MORTAR IS CLEANED FROM ALL ARTICULATION JOINTS
- PROVIDE ARTICULATION JOINTS THROUGH BOTH SKINS OF DOUBLE MASONRY WALLS(I.E. EXTERNAL & INTERNAL BRICK)
- AT AN ARTICULATION JOINT PROVIDE EXTENDIBLE ANCHORS AS PER BUILDING CODE OF AUSTRALIA FOR SINGLE & DOUBLE LEAF MASONRY WALLS
- ALL RENDERED FINISHES ON WALLS OTHER THAN MASONRY ARE TO BE ARTICULATED AT EVERY 4.0m AND/OR AS PER MANUFACTURERS SPECIFICATIONS AND DETAILS. IT IS RECOMMENDED THAT ARTICULATION JOINTS ALIGN WITH BRICK ARTICULATION JOINTS WHERE POSSIBLE.



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ARTICULATION LAYOUT

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Design	S.B.	Sheet No.
Checked	MLS:	5 of 7
Date	JUN 2013	Job No./Drawing No.
		50085

KEY



DENOTES 1 IN 20 SLOPE OF UNDISTURBED NATURAL SOIL & FILL AWAY FROM FOOTING AS PER THE ATTACHED DRAINAGE REQUIREMENTS & DETAILS. REFER TYPICAL PERIMETER DETAIL FOR DRAINAGE.



DENOTES GRATED PIT. CONNECTION OF STORMWATER PIPES TO PITS SHALL BE GLUED & SEALED.



DENOTES GRATED PIT. CONNECTION OF STORMWATER PIPES TO PITS SHALL BE GLUED & SEALED. DEPENDING ON THE CONTRACTUAL AGREEMENT BETWEEN THE HOMEOWNER AND BUILDER, THE GRATED PIT MUST BE INSTALLED IMMEDIATELY AFTER HANDOVER.



AGRICULTURAL SURFACE DRAIN FOUNDED DIRECTLY ONTO SOIL. THE SOIL IS TO BE DISHED & SLOPED TO A LEGAL POINT OF DISCHARGE. LOW SPOTS ARE NOT PERMITTED. COVER EACH SIDE & ABOVE (BUT NOT BEHIND) WITH CRUSHED ROCK FILTER. EXTEND TO A LEGAL POINT OF DISCHARGE.

OR

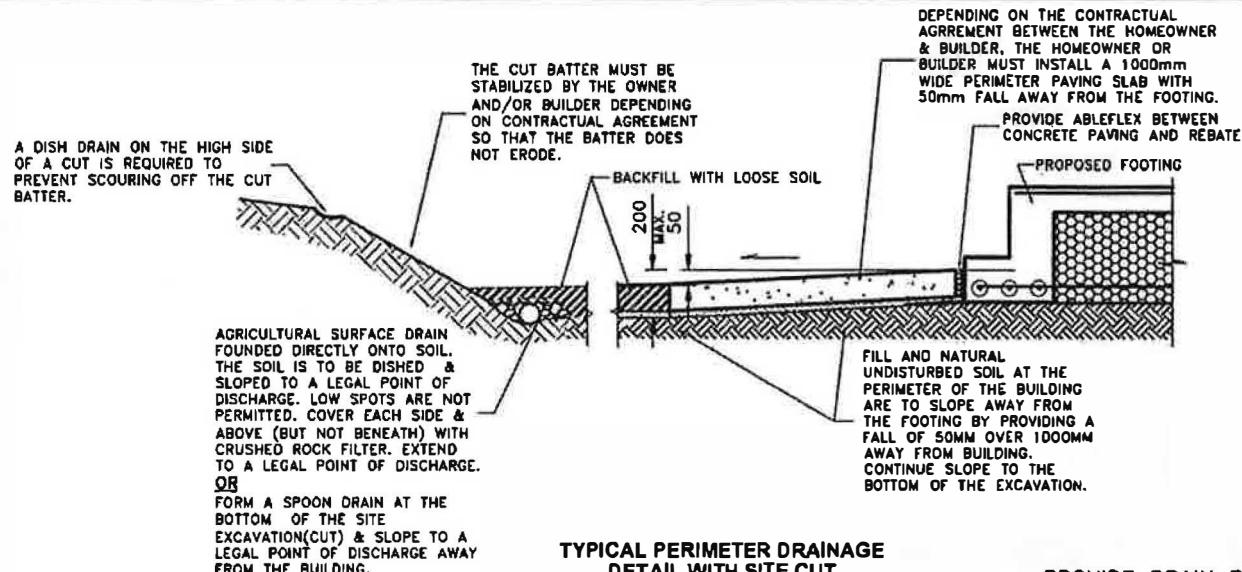
CONTINUE THE SLOPE OF FILL & NATURAL SOIL AWAY & FORM A SWALE DRAIN THAT DIVERTS WATER AWAY FROM THE BUILDING AREA TO A LEGAL POINT OF DISCHARGE AS SHOWN.



DENOTES APPROXIMATE LOCATION AND DIRECTION OF FLOW OF 100mm UPVC STORMWATER PIPE AT A GRADE OF 1:100 TO A LEGAL POINT OF DISCHARGE.



AG—> DENOTES 100mm # AGRICULTURAL SURFACE (UNLESS NOTED OTHERWISE) DRAIN FOUNDED DIRECTLY ONTO SOIL. AGRICULTURAL DRAIN TO BE SHALLOW, DO NOT PLACE INTO DEEP TRENCHES. THE SOIL IS TO BE DISHED & SLOPED TO A LEGAL POINT OF DISCHARGE. LOW SPOTS ARE NOT PERMITTED. COVER EACH SIDE & ABOVE (BUT NOT BEHIND) WITH CRUSHED ROCK FILTER.

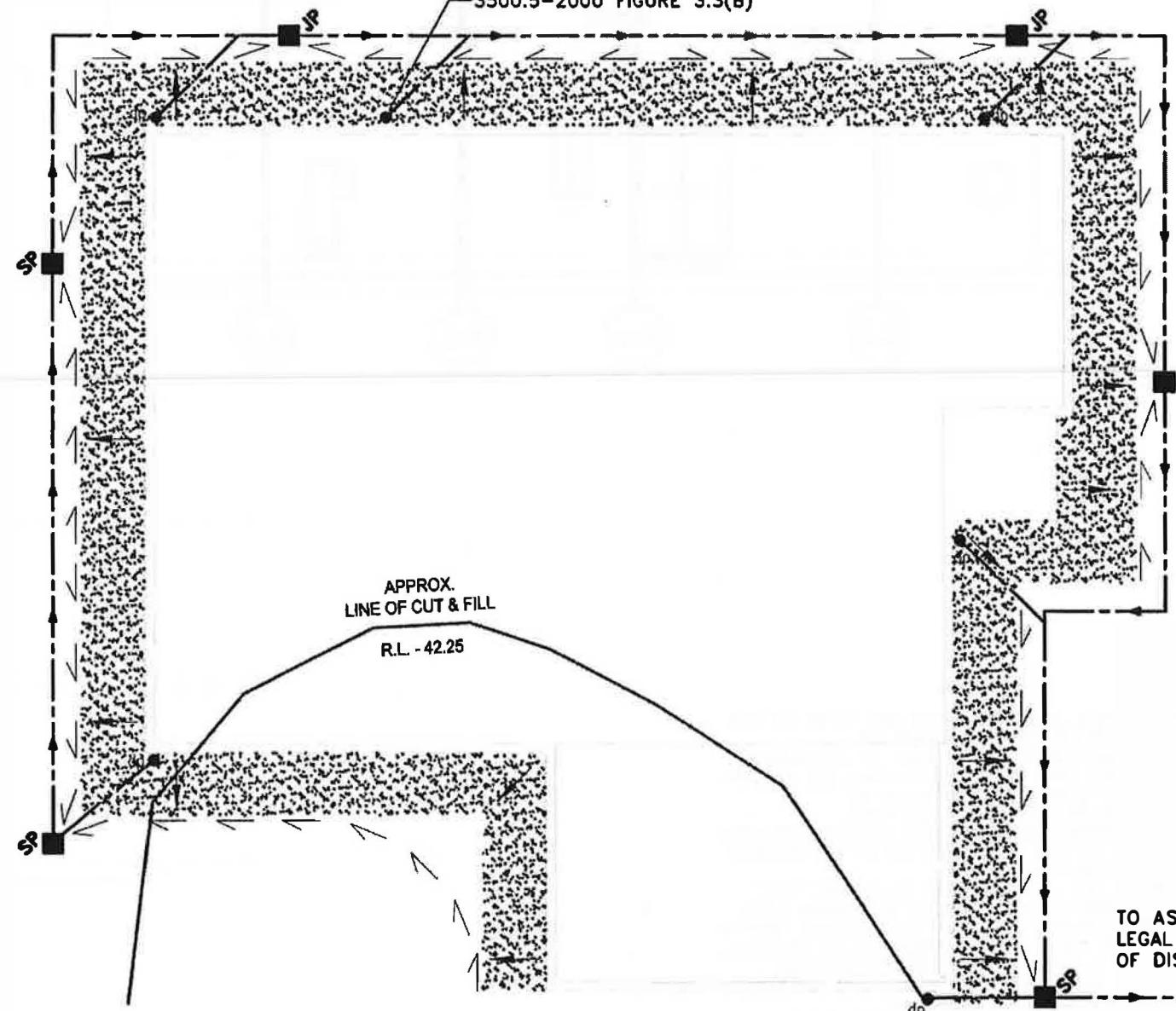


NOTE:

ALL DRAINS MUST BE CONNECTED TO A LEGAL POINT OF DISCHARGE. THE BUILDER/CONTRACTOR MUST CONFIRM THE LOCATION OF THE LEGAL POINT OF DISCHARGE AND THAT IT IS OF SUFFICIENT INVERT, SIZE AND CAPACITY TO CATER FOR THE PROPOSED SITE DRAINAGE PRIOR TO CONSTRUCTION. BURATT CONSULTING ENGINEERS WILL NOT BE LIABLE FOR ANY ADDITIONAL COST IF THE LEGAL POINT OF DISCHARGE IS UNSUITABLE/DIFFERENT TO THAT ASSUMED IN THIS DOCUMENT.

TYPICAL PERIMETER DRAINAGE DETAIL WITH SITE CUT

PROVIDE DRAIN FOR HOT WATER OVERFLOW AS PER AS 3500.5-2000 FIGURE 3.3(B)



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TITLE

PROPOSED RESIDENCE
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DRAINAGE PLAN

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consulting engineers

1st Floor, 58-62 Jackson Court, Doncaster East 3109
T: (03) 9095 8885 F: (03) 9840 6000 W: www.buratt.com.au

SOIL TESTING	Drawn	B.D.	Scale	NOT TO SCALE
FOOTING DESIGN	Design	S.B.	Sheet No.	6 of 7
STRUCTURAL DESIGN				
SITE INVESTIGATION	Checked	MLS:	Job No./Drawing No.	
	Date	JUN 2013	50085	

NOTE:
ANY DRAINAGE/SEWER WORKS (INCLUDING DRAINAGE WORKS FOR PAVING OR LANDSCAPING) UNDERTAKEN AFTER HANDOVER MUST BE COMPLETED BY A LICENSED PLUMBER IN ACCORDANCE WITH THE NOTES & DETAILS ON THIS AND OTHER PAGES AND ANY RELEVANT AUSTRALIAN STANDARDS. BURATT CONSULTING ENGINEERS PTY. LTD. WILL NOT BE LIABLE IF ADDITIONAL WORKS ARE NOT COMPLETED AS DESCRIBED & DETAILED WITHIN THIS AND OTHER RELATED DOCUMENTS.

POSITION PIPE ON BASE OF TRENCH. REFER PLAN FOR TYPE & GRADE OF PIPE. THE UNDISTURBED SOIL AT THE BASE OF TRENCH IS TO SLOPE AT THE SAME GRADE AS THE PIPE & TO A LEGAL POINT OF DISCHARGE.

STORMWATER PIPE TRENCH DETAIL

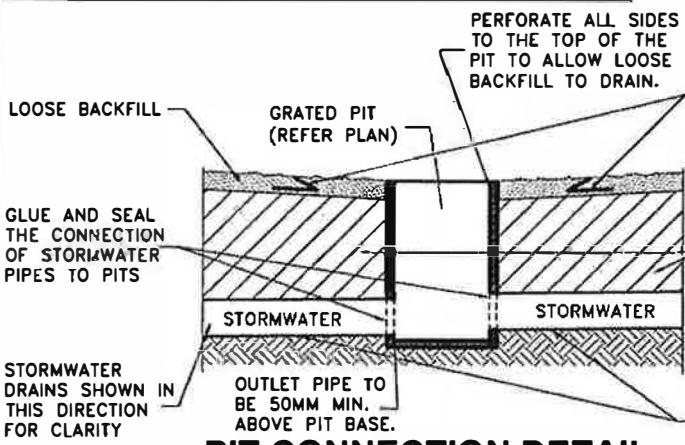
BACKFILL WITH MOIST CLEAN CLAY SOIL (MAY BE DERIVED FROM SITE). MATERIAL IS TO BE FREE OF BUILDERS WASTE, BRICKS, PIECES OF CONCRETE, ROCK OR SIMILAR MATERIAL. COMPACT BACKFILL IN LAYERS NOT MORE 150mm THICK MECHANICALLY WITHOUT DAMAGING PIPE, OR BY HAND RODDING OR TAMPA.

BEDDING MATERIAL (IF REQUIRED) TO BE PLACED UNDER SEWER PIPE ONLY AS PER RELEVANT AUTHORITIES REQUIREMENTS

REFER PLAN FOR TYPE & GRADE OF PIPE.

BEDDING MATERIAL & THE UNDISTURBED SOIL AT THE BASE OF TRENCH IS TO SLOPE AT THE SAME GRADE AS THE PIPE TO A LEGAL POINT OF DISCHARGE.

SEWER PIPE TRENCH DETAIL



PIT CONNECTION DETAIL WITH SWALE DRAIN

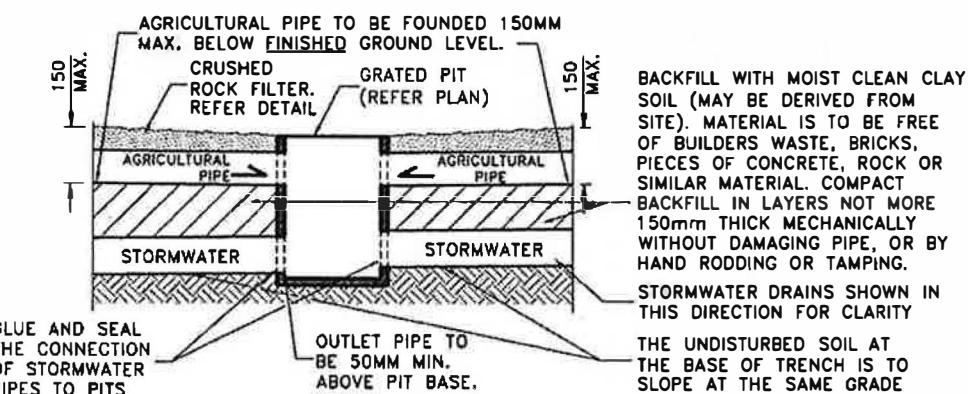
CONTINUE THE SLOPE OF FILL & NATURAL SOIL AWAY & FORM A SWALE DRAIN THAT DIVERTS WATER AWAY FROM THE BUILDING AREA TO A LEGAL POINT OF DISCHARGE AS SHOWN.

BACKFILL WITH MOIST CLEAN CLAY SOIL (MAY BE DERIVED FROM SITE). MATERIAL IS TO BE FREE OF BUILDERS WASTE, BRICKS, PIECES OF CONCRETE, ROCK OR SIMILAR MATERIAL. COMPACT BACKFILL IN LAYERS NOT MORE 150mm THICK MECHANICALLY WITHOUT DAMAGING PIPE, OR BY HAND RODDING OR TAMPA.

THE UNDISTURBED SOIL AT THE BASE OF TRENCH IS TO SLOPE AT THE SAME GRADE AS THE PIPE TO A LEGAL POINT OF DISCHARGE.

STORMWATER DRAINS SHOWN IN THIS DIRECTION FOR CLARITY

OUTLET PIPE TO BE 50MM MIN. ABOVE PIT BASE.



PIT CONNECTION DETAIL WITH AGRICULTURAL PIPES

AGRICULTURAL PIPE TO BE FOUNDED 150MM MAX. BELOW FINISHED GROUND LEVEL. CRUSHED ROCK FILTER. REFER DETAIL. GRATED PIT (REFER PLAN)

BACKFILL WITH MOIST CLEAN CLAY SOIL (MAY BE DERIVED FROM SITE). MATERIAL IS TO BE FREE OF BUILDERS WASTE, BRICKS, PIECES OF CONCRETE, ROCK OR SIMILAR MATERIAL. COMPACT BACKFILL IN LAYERS NOT MORE 150mm THICK MECHANICALLY WITHOUT DAMAGING PIPE, OR BY HAND RODDING OR TAMPA.

STORMWATER DRAINS SHOWN IN THIS DIRECTION FOR CLARITY

THE UNDISTURBED SOIL AT THE BASE OF TRENCH IS TO SLOPE AT THE SAME GRADE AS THE PIPE TO A LEGAL POINT OF DISCHARGE.

AGRICULTURAL SURFACE DRAIN FOUNDED DIRECTLY ONTO SOIL. THE SOIL IS TO BE DISHE & SLOPED TO A LEGAL POINT OF DISCHARGE. LOW SPOTS ARE NOT PERMITTED. COVER EACH SIDE & ABOVE (BUT NOT BENEATH) WITH CRUSHED ROCK FILTER. EXTEND TO A LEGAL POINT OF DISCHARGE. OR CONTINUE THE SLOPE OF FILL & NATURAL SOIL AWAY & FORM A SWALE DRAIN THAT DIVERTS WATER AWAY FROM THE BUILDING AREA TO A LEGAL POINT OF DISCHARGE AS SHOWN.

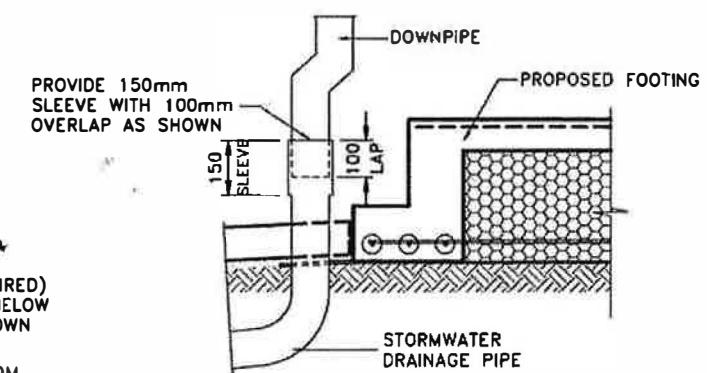
PROVIDE ABLEFLEX BETWEEN CONCRETE PAVING AND REBATE DEPENDING ON THE CONTRACTUAL AGREEMENT BETWEEN THE HOMEOWNER & BUILDER, THE HOMEOWNER OR BUILDER MUST INSTALL A 1000mm WIDE PERIMETER PAVING SLAB WITH 50mm FALL AWAY FROM THE FOOTING.

200 MAX. 50

DAMP PROOF MEMBRANE (DPM) (SEPARATE FROM 0.2mm BRANDED PLASTIC MEMBRANE) PROPOSED FOOTING

0.2mm BRANDED PLASTIC MEMBRANE TO EXTEND 200mm PAST EDGE BEAM SLOPING AWAY FROM FOOTING

TYPICAL PERIMETER DETAIL FOR DRAINAGE



TYPICAL DOWNPipe CONNECTION



ANGLE REPOSE DETAIL

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PROPOSED RESIDENCE
LOT 6 NO: 4 LEARY AVENUE BENTLEIGH EAST 3165 VICTORIA
DRAINAGE DETAILS

Buratt
consulting engineers

1st Floor, 58-62 Jackson Court, Doncaster East 3109
T: (03) 9095 8885 F:(03) 9840 6000 W:www.buratt.com.au

GENERAL NOTES

- THE BUILDER/CONTRACTOR SHALL ADEQUATELY DRAIN THE SITE DURING ALL STAGES OF CONSTRUCTION. WATER MUST NOT POND AGAINST THE FOOTING.
- BUILDER/CONTRACTOR MUST VERIFY ALL LEVELS, DIMENSIONS, SERVICES AND THE LEGAL POINT OF DISCHARGE PRIOR TO CONSTRUCTION.
- ALL APPROPRIATE PERMITS SHALL BE OBTAINED AND FEES PAID FOR BY THE CONTRACTOR/BUILDER.
- ALL WORKS MUST BE COMPLETED IN ACCORDANCE WITH THE CURRENT AUSTRALIAN PLUMBING STANDARD.
- ANY PAVEMENT OR FEATURES DAMAGED DURING CONSTRUCTION SHALL BE REINSTATED TO THEIR FORMER CONDITION.
- STORMWATER DRAINS SHALL BE LAID AT A MINIMUM GRADE OF 1:100, UNLESS NOTED OTHERWISE.

- ALL DRAINS MUST BE CONNECTED TO A LEGAL POINT OF DISCHARGE. THE BUILDER/CONTRACTOR MUST CONFIRM THE LOCATION OF THE LEGAL POINT OF DISCHARGE AND THAT IT IS OF SUFFICIENT INVERT, SIZE AND CAPACITY TO CATER FOR THE PROPOSED SITE DRAINAGE PRIOR TO CONSTRUCTION. BURATT CONSULTING ENGINEERS WILL NOT BE LIABLE FOR ANY ADDITIONAL COST IF THE LEGAL POINT OF DISCHARGE IS UNSUITABLE/DIFFERENT TO THAT ASSUMED IN THIS DOCUMENT.

- PROPOSED 100M & 150M STORMWATER DRAINS SHALL BE FORMED OF UNPLASTICISED POLYVINYL CHLORIDE PIPES AND FITTINGS CLASS SH (SEWER CLASS) MANUFACTURED TO CONFORM TO AS 1280.

- PRIOR TO COMMENCEMENT OF WORK THE BUILDER/CONTRACTOR SHALL LOCATE EXISTING SERVICES TO BE RETAINED WHERE PROPOSED SERVICES CROSS THEM, AND ASCERTAIN THAT NO CLASHES OF SERVICES WILL OCCUR.

- ALL DRAINAGE WORKS MUST START FROM DOWN STREAM POINT (AND BE CONNECTED) TO THE UPSTREAM POINT(S).

- ALL STORMWATER PIPES UNDER CONCRETE AREAS MUST BE UPVC SEWER QUALITY & EXTEND 2.0M (UNLESS NOTED/SHOWN OTHERWISE) PAST PAVEMENT (100mm DIAMETER MIN. UNLESS NOTED OTHERWISE).

- BURATT CONSULTING ENGINEERS PTY. LTD. WILL NOT BE LIABLE FOR ANY DAMAGE CAUSED BY THE WORKS. REINSTATE ALL EXISTING Affected TREES, GRASS ON NATURE STRIPS, FOOTPATHS, CROSSINGS ETC TO LOCAL COUNCIL STANDARD DETAILS, SPECIFICATIONS AND APPROVAL.

- BUILDER TO TAKE ALL RESPONSIBILITIES AND LIABILITIES FOR ANY CHANGES TO BE DONE WITHOUT THE APPROVAL BURATT CONSULTING ENGINEERS AND RESPECTIVE COUNCIL'S INSPECTOR/BUILDER SURVEYOR.

- TRENCHES FOR PROPOSED PIPES ARE NOT TO UNEARTH ANY PROPOSED OR EXISTING STRUCTURES INCLUDING STRUCTURES ON ADJOINING PROPERTIES. FOOTING MUST BE FOUNDED BE BELOW ANGLE OF REPOSE OF 30° FROM THE BASE & CLOSEST SIDE OF EXCAVATED TRENCH TO THE FOOTING.

- ANY DRAINAGE/SEWER WORKS (INCLUDING DRAINAGE WORKS FOR PAVING OR LANDSCAPING) UNDERTAKEN AFTER HANDOVER MUST BE COMPLETED BY A LICENSED PLUMBER IN ACCORDANCE WITH THE NOTES & DETAILS ON THIS AND OTHER PAGES AND ANY RELEVANT AUSTRALIAN STANDARDS. BURATT CONSULTING ENGINEERS PTY. LTD. WILL NOT BE LIABLE IF ADDITIONAL WORKS ARE NOT COMPLETED AS DESCRIBED & DETAILED WITHIN THIS AND OTHER RELATED DOCUMENTS.

- THE BASE OF ALL TRENCHES MUST FOLLOW THE SAME GRADE AS THE PIPE & TO THE LEGAL POINT OF DISCHARGE.

- WHERE DOWNPipes ARE NOT PART OF A SEALED STORM WATER SYSTEM THEY ARE TO BE CONNECTED TO THE STORM WATER RISES WITH ENOUGH OVERLAP TO ALLOW FOR SOIL MOVEMENT (I.E. 150mm SLEEVE WITH 100mm OVERLAP).

- DRAINAGE UNDER THE SLAB SHALL BE AVOIDED WHERE PRACTICABLE BUT WHERE ABSOLUTELY NECESSARY, SEWER GRADE MATERIAL MUST BE USED, PROPERLY GLUED TOGETHER AND EXTEND 2.0M (UNLESS NOTED/SHOWN OTHERWISE) PAST THE FOOTING.

- UNLESS NOTED/SHOWN OTHERWISE, AGRICULTURAL & SWALE DRAINS/TRENCHES ARE TO BE KEPT SEPARATE FROM THE SEWER SYSTEM (INCLUDING SEWER TRENCHES). POSITION AGRICULTURAL DRAINS CLOSE TO THE SURFACE (150mm MAX FROM FINISHED SURFACE LEVEL) AND COVER WITH A CRUSHED ROCK FILTER (DO NOT PLACE ROCK FILTER UNDERNEATH AGRICULTURAL DRAIN).

- BUILDER MUST ENSURE THE HOMEOWNERS AND FUTURE HOMEOWNERS THEMSELVES, OBTAIN A COPY OF C.S.I.R.O. FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE: A HOMEOWNER GUIDE, BTF-18. OWNERS ARE TO FULLY COMPLY WITH THE REQUIREMENTS.

- DRAINS, DOWNPipes, GUTTERING AND SERVICE PIPING MUST BE INSTALLED AND MAINTAINED CAREFULLY TO ENSURE NO LEAKAGE OR BLOCKAGE OCCURS THAT WILL AFFECT THE FOOTING SYSTEM.

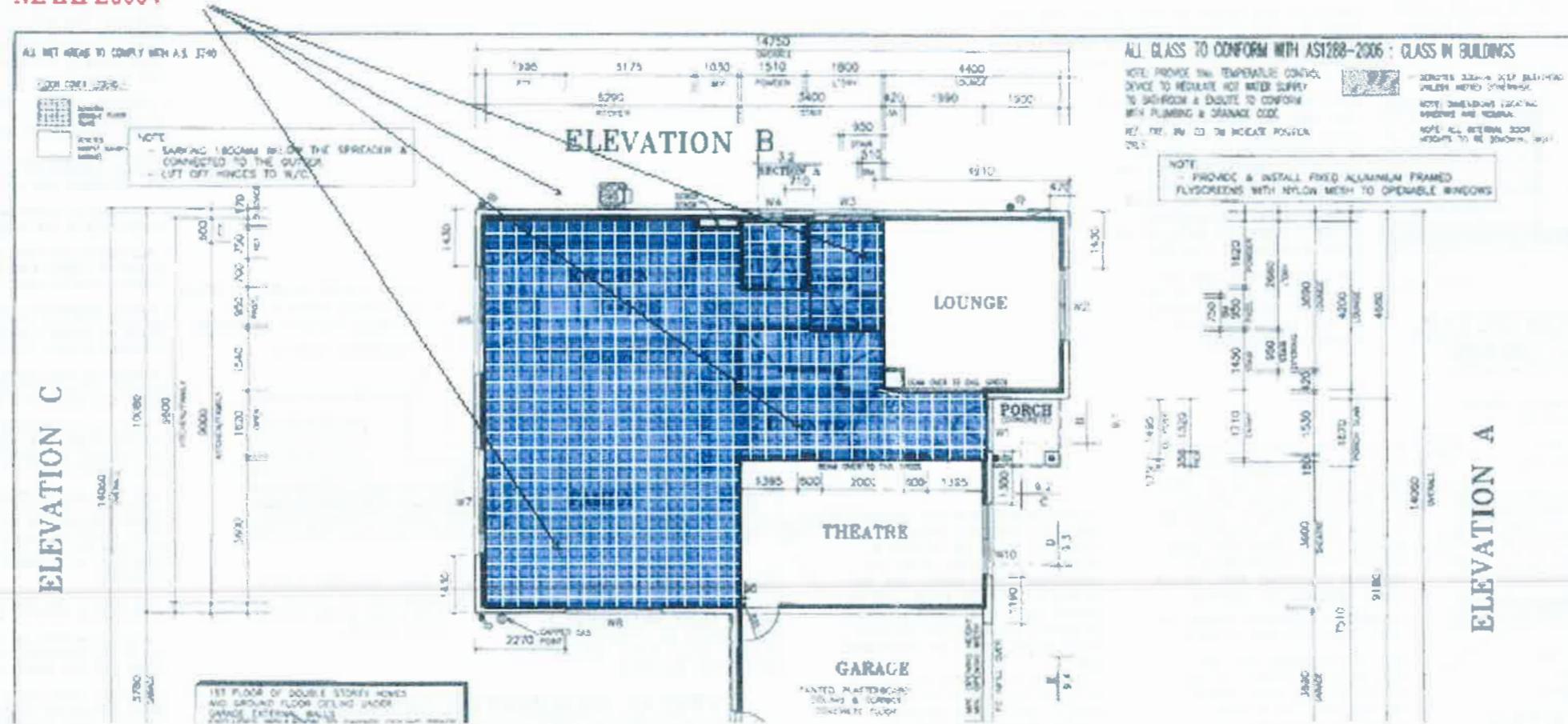
- UNLESS SPECIFICALLY DESIGNED BY AN ENGINEER, DRAINS ARE NOT PERMITTED HORIZONTALLY WITHIN A FOOTING AND MUST ONLY PENETRATE VERTICALLY FROM BELOW THE FOOTING. PROVIDE LAGGING TO VERTICAL PENETRATIONS TO MINIMISE BONDING OF THE DRAIN WITH THE CONCRETE.

- ALL TRENCHES ARE TO BE BACKFILLED FULL DEPTH WITH A CLEAN (FREE OF ROCK, GRAVEL, BUILDERS RUBBLE ETC.) MOIST CLAY SOIL MATERIAL. THE BACKFILL MATERIAL IS TO BE MECHANICALLY COMPAKTED OR BY HAND RODDING OR TAMPA (WITHOUT DAMAGING THE DRAIN) AROUND AND ABOVE THE DRAIN IN 150mm LAYERS.

- THE HOT WATER SERVICE OVERFLOW DRAIN IS TO BE CONNECTED TO A LEGAL POINT OF DISCHARGE AS PER THE PLUMBING STANDARD AS 3500.5 - 2000 FIGURE 3.3(B).

SOIL TESTING	D.T	Scale
FOOTING DESIGN		NOT TO SCALE
STRUCTURAL DESIGN		
SITE INVESTIGATION		
Design	MLS:	Sheet No.
		7 of 7
Revision	V6	Drawing Reference
Date	JUN 2013	Job No.
		50085

ENT, THEATRE, U STAIR, KIT, DIN, FAM, WC & LDRY FLRS
MAXFL8004



Floor Plan & Seam Diagram page 2/4

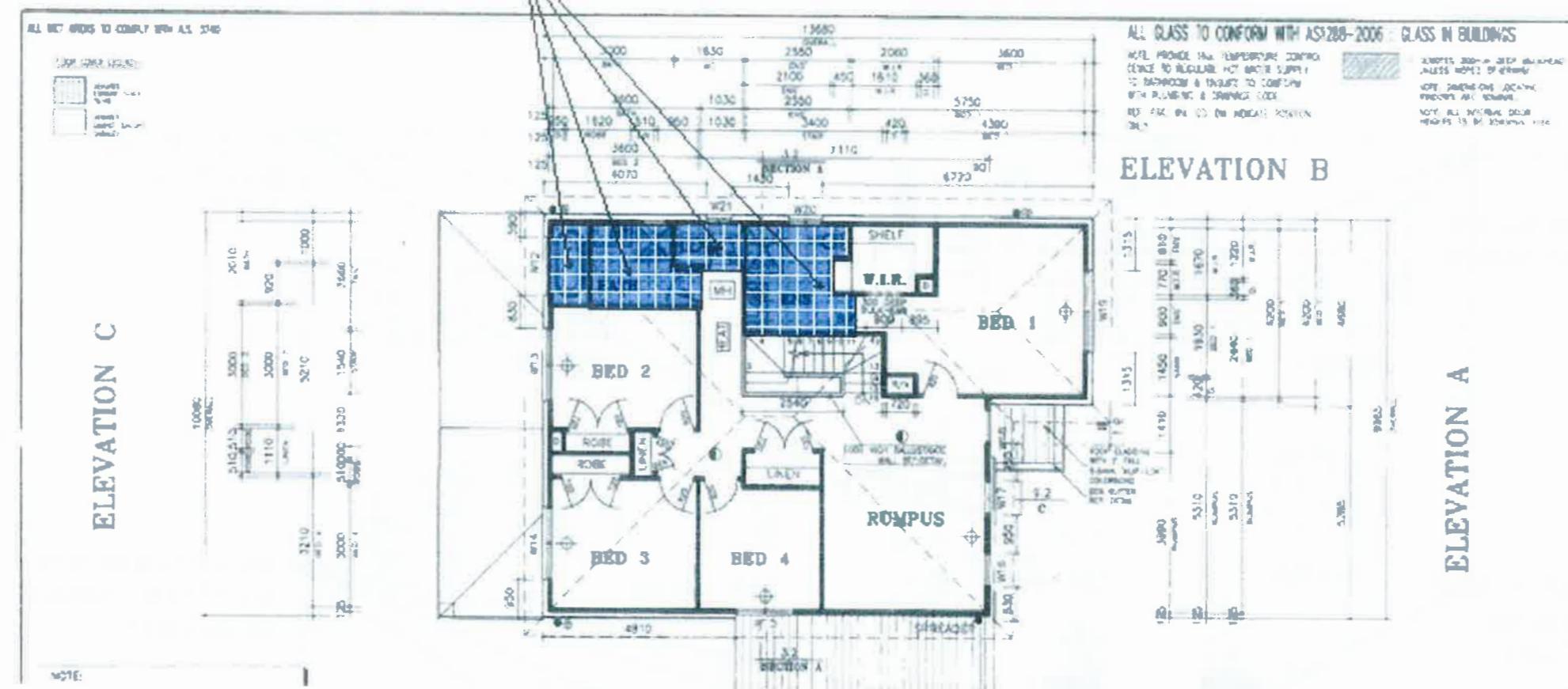
Project: 33837 FEP.fepx

Layer: First Floor

Prepared by:

Print Date: 12:37 PM 06/14/2013

BATHRM, ENS, WC FLRS INC BATH TOP
MAXFL8004



Specs: ALTIMA 2006 STANDARD DEVELOPMENT DEVISION PURPOSE ONLY	View: FLOOR PLAN AND SEAM DIAGRAM	version: 6	House: PARKSIDE 3500
	Customer: Trent Hall		Facade Alpine
	Address: LOT 6 NO: 4 LEARY AVENUE BENTLEIGH EAST 3165 VICTORIA		Job Number: 33837
			Sheet Number- A2

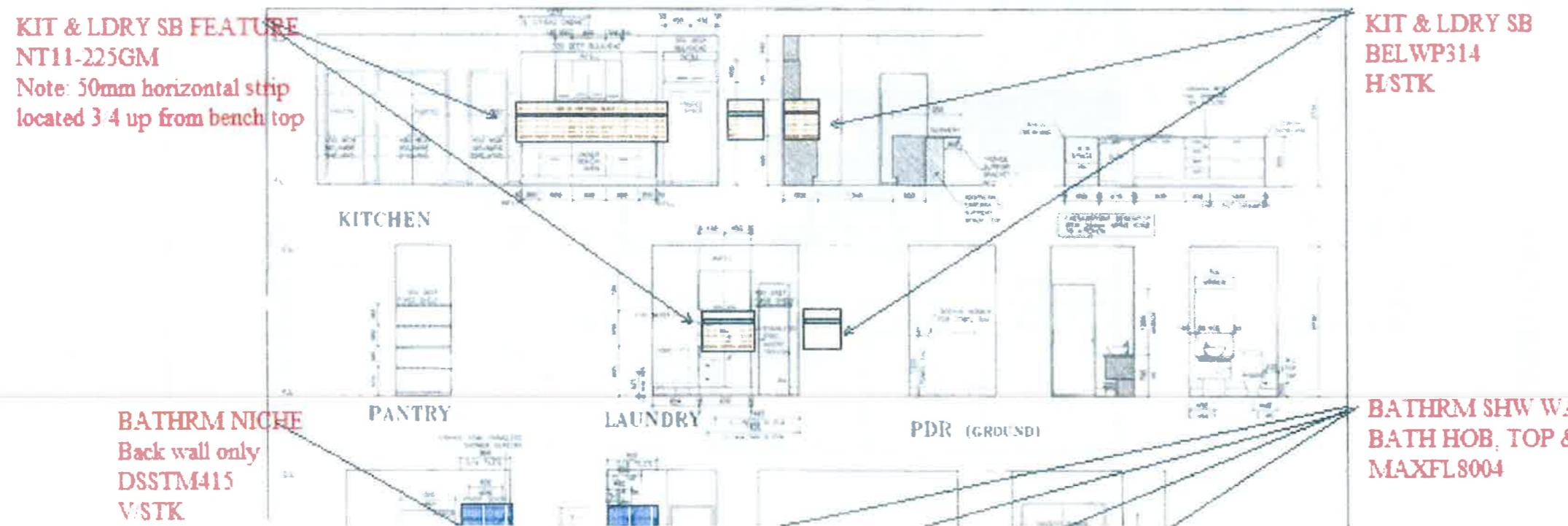
Floor Plan & Seam Diagram page 3/4

Project: 33837 FEP.fepx

Layer: Elev 1

Prepared by:

Print Date: 12:37 PM 06/14/2013



Specs: ALTIMA 2006 STANDARD DEVELOPMENT DEVISION PURPOSE ONLY	View: FLOOR PLAN AND SEAM DIAGRAM Customer: Trent Hall Address: LOT 6 NO: 4 LEARY AVENUE BENTLEIGH EAST 3165 VICTORIA	version:	House: PARKSIDE 3500
		6	Facade Alpine
		Scale: Not to Scale	Date: 01/04/2022
		Job Number: 33837	Sheet Number- A3

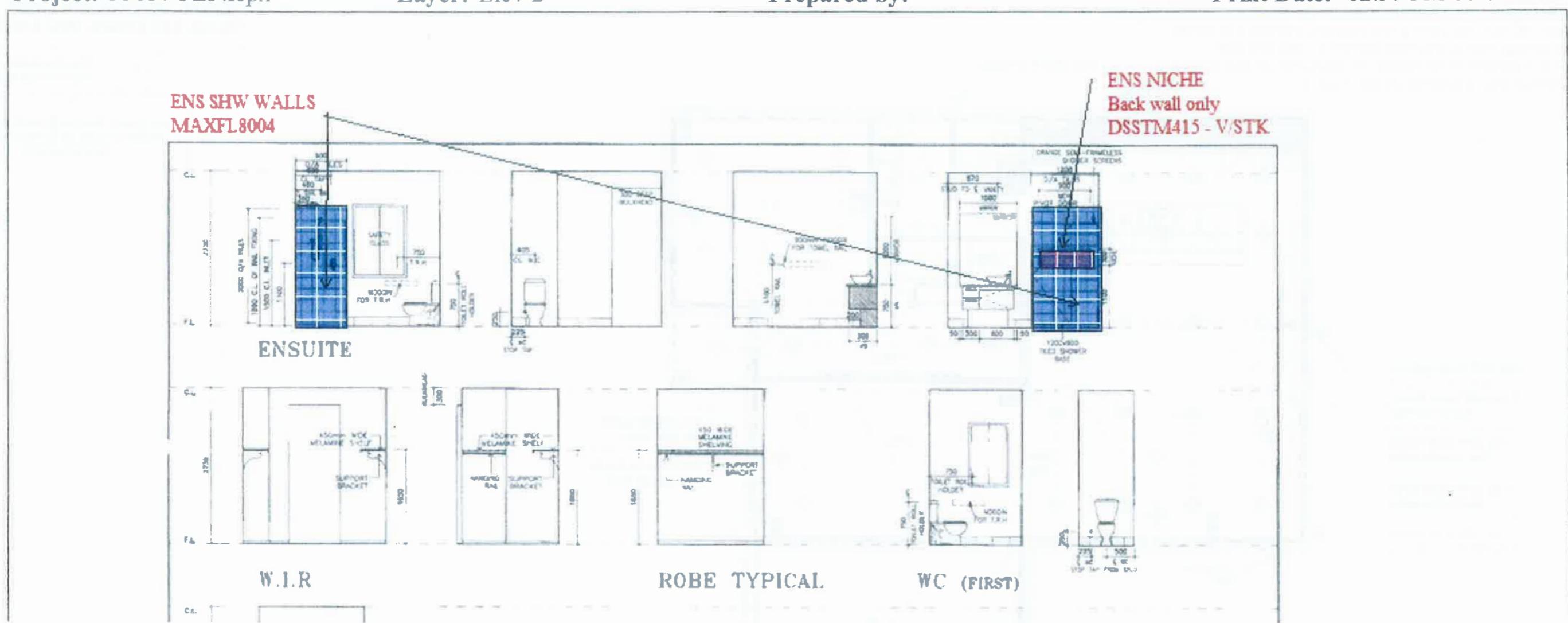
Floor Plan & Seam Diagram page 4/4

Project: 33837 FEP.fepx

Layer: Elev 2

Prepared by:

Print Date: 12:37 PM 06/14/2013



Client Acknowledges that at the time of signing, these plans comply with HIA/BCA Artificial Lighting 2010 Requirements Act. Any additional lighting added to this home after handover is at the responsibility of the owner, with respect to the above act.

IMPORTANT NOTICE: By signing and returning your plans & quotes you are accepting these as your final variations. After this time, permission is required from the builder for any further amendments and an Administration Fee of \$500.00 will be charged.

ELECTRICAL PLAN

Amended 10.09.12 RR

Amended 13.06.13 RR

Extra Light Circuits(s) & Safety Switch(es): 1

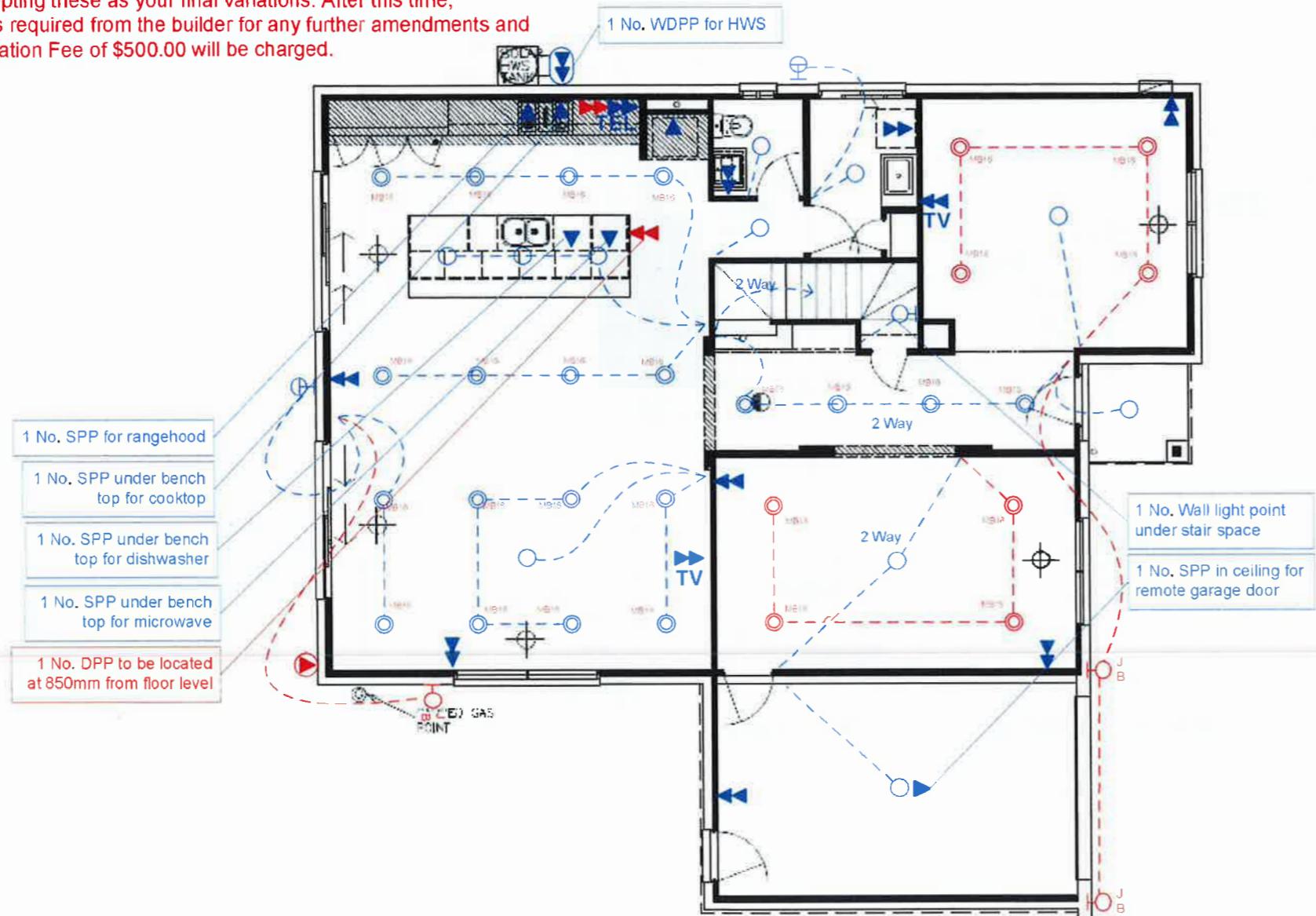
TOTAL INTERNAL WATTAGE: 790

TOTAL GARAGE WATTAGE: 11

TOTAL EXTERNAL WATTAGE: 11

○ Standard Batten Light Point with 11w Fluorescent Globe

ALL LIGHT SWITCHES AND POWER POINTS TO BE IN CLIPSAL C2000 SERIES WHITE



ONLY BUILDERS ELECTRICIAN ALLOWED TO RUN CABLES

POSITION OF ELECTRICAL POINTS SUBJECT TO CONSTRUCTION & WET AREA CONSTRAINTS

MEASUREMENTS ARE APPROXIMATE ONLY. POINTS WILL BE PLACED AS CLOSE AS POSSIBLE TO LOCATION ON PLAN

All Parties to Sign: _____

Name(s): _____

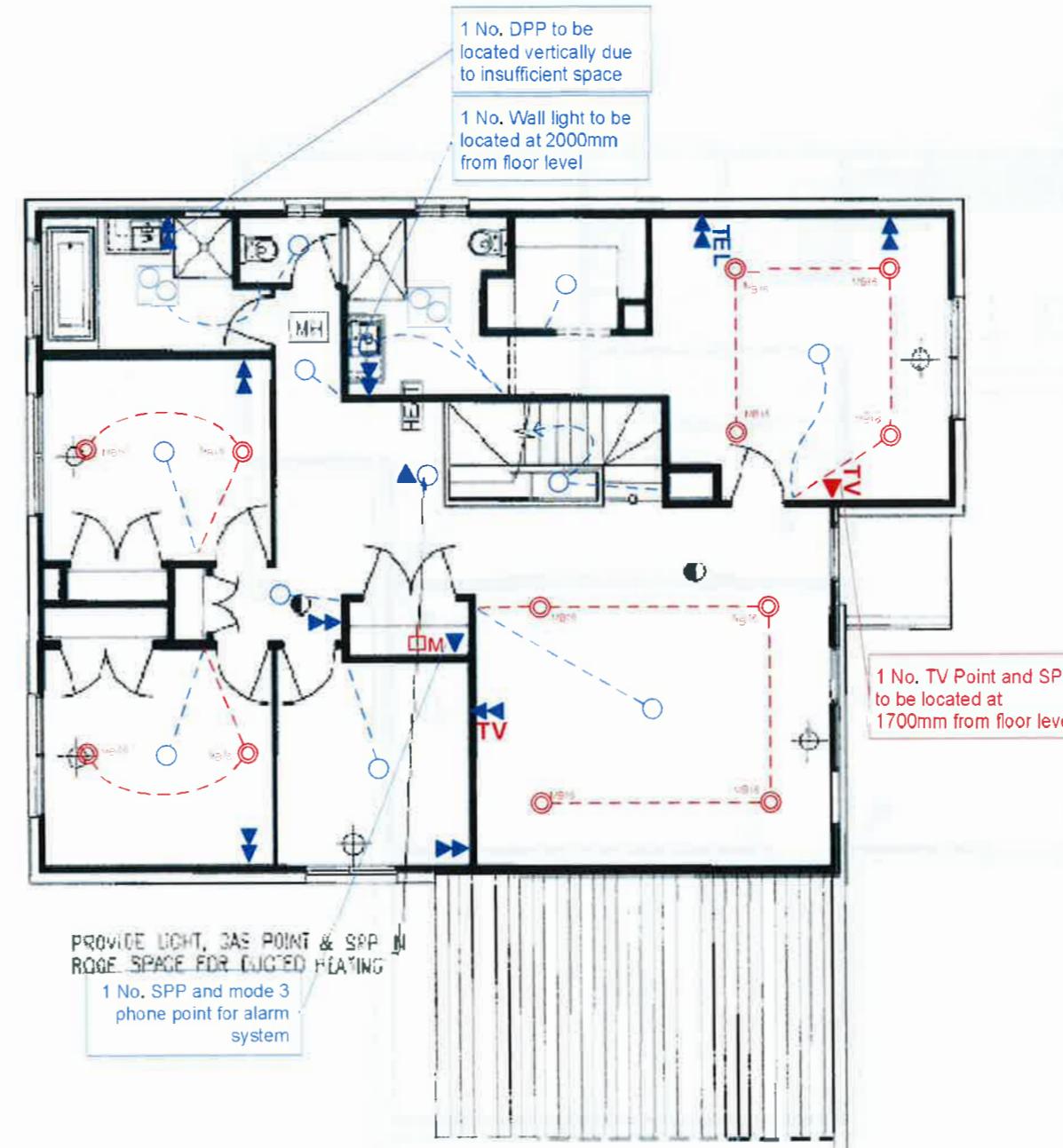
Date: _____

IMPORTANT NOTICE: By signing and returning your plans & quotes you are accepting these as your final variations. After this time, permission is required from the builder for any further amendments and an Administration Fee of \$500.00 will be charged.

ELECTRICAL PLAN

Amended 10.09.12 RR

Amended 13.06.13 RR



ONLY BUILDERS ELECTRICIAN ALLOWED TO RUN CABLES

POSITION OF ELECTRICAL POINTS SUBJECT TO CONSTRUCTION & WET AREA CONSTRAINTS

MEASUREMENTS ARE APPROXIMATE ONLY. POINTS WILL BE PLACED AS CLOSE AS POSSIBLE TO LOCATION ON PLAN

All Parties to Sign: _____

Name(s): _____

Date: _____



Spec: ALTIMA 2006	View: ELECTRICAL FIRST FLOOR PLAN	version: V6	House: PARKSIDE 3500
(STANDARD)	Customer: Trent Hall		Focode: ALPINE
- DEVELOPMENT DIVISION PURPOSE ONLY -	Address: LOT 6 NO: 4 LEARY AVENUE BENTLEIGH EAST 3165 VICTORIA	Date: 05.05.13	Drawn: XOOX L.T Job No: 33837 PQ
© COPYRIGHT 2003 JAMES P. REILLY LTD. JDN: 144 029-0521 TRADE: 54 029 9261 HOT TO BE REPRODUCED IN WHOLE OR PART IS PROHIBITED	Page 2 of 2	Scale: 1:100@A3	Checked: MLS Sheet No: 4.2

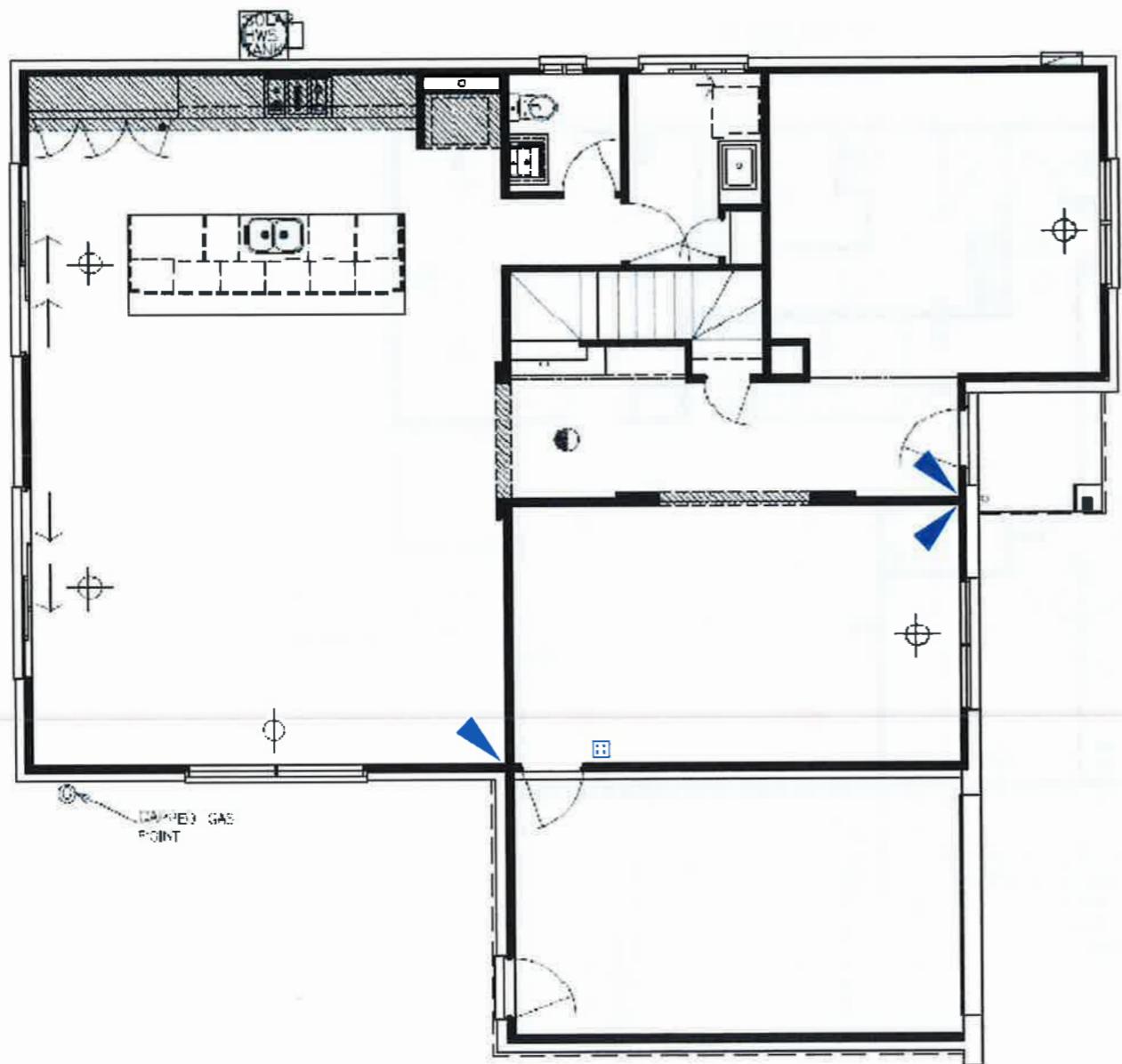
IMPORTANT NOTICE: By signing and returning your plans & quotes you are accepting these as your final variations. After this time, permission is required from the builder for any further amendments and an Administration Fee of \$500.00 will be charged.

ELECTRONICS PLAN

Amended 10.09.12 RR

Amended 13.06.13 RR

Provide DSC 6 Zone Security System with expandable to 16 zones (optional), 48 user codes, back up battery with internal and external sirens, 3 PIR. Sensors and 1 No. LCD Icon Keypad. Note: Telephone point is not included



External Siren/Strobe Light to be Located in Compliance with O.H.& S. Regulations

ONLY BUILDERS ELECTRICIAN ALLOWED TO RUN CABLES

POSITION OF ELECTRICAL POINTS SUBJECT TO CONSTRUCTION & WET AREA CONSTRAINTS

MEASUREMENTS ARE APPROXIMATE ONLY. POINTS WILL BE PLACED AS CLOSE AS POSSIBLE TO LOCATION ON PLAN

All Parties to Sign: _____

Name(s): _____

Date: _____



Edited: 13 Jun 2013 12:00

Spec: **ALTIMA 2006**
(STANDARD)
- DEVELOPMENT DIVISION PURPOSE ONLY -
© COMMERCIALS GROUPS LTD 2004 EAGLE INFORMATION SYSTEMS LTD 2004

Page 1 of 2

View: **ELECTRICAL GROUND FLOOR PLAN**

Customer: Trent Hall

Address: LOT 6 NO: 4 LEARY AVENUE BENTLEIGH EAST 3165 VICTORIA

version: **V6**

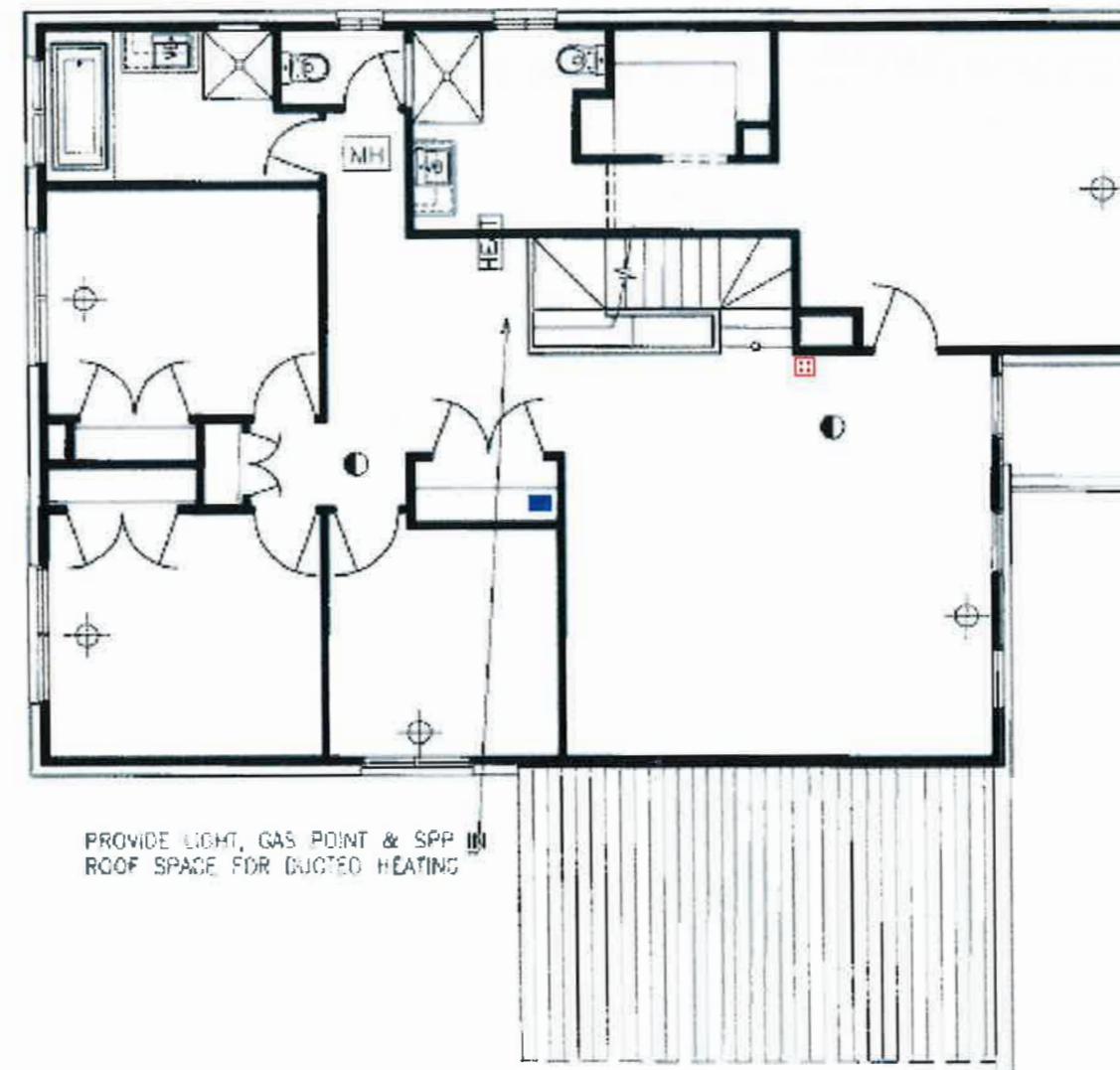
House: 3500
Scale: 1:100@A3
Date: 05.06.13

Facade: ALPINE
Drawn: X00X L.T Job No: 33837 PQ
Checked: MLS Sheet No: 4.1

IMPORTANT NOTICE: By signing and returning your plans & quotes you are accepting these as your final variations. After this time, permission is required from the builder for any further amendments and an Administration Fee of \$500.00 will be charged.

ELECTRONICS PLAN

Amended 10.09.12 RR



External Siren/Strobe Light to be Located in Compliance with O.H.& S. Regulations

ONLY BUILDERS ELECTRICIAN ALLOWED TO RUN CABLES

POSITION OF ELECTRICAL POINTS SUBJECT TO CONSTRUCTION & WET AREA CONSTRAINTS

MEASUREMENTS ARE APPROXIMATE ONLY. POINTS WILL BE PLACED AS CLOSE AS POSSIBLE TO LOCATION ON PLAN

All Parties to Sign: _____

Name(s): _____

Date: _____

LIGHT FITTINGS PLAN

Amended 7.09.12 RR

S & I Round fixed twist face downlight complete with GU10 energy efficient globe. Available in white or satin chrome (MB16) ~ 40 In White trim with 11 watt globes

Light Fittings Schedule

Builder: Simonds Homes

Job No: 33837

Client Name:

Site Address

BENTLEIGH EAST

All Parties to Sign: _____

Name(s): _____

Date: _____