

BUILDERS ACADEMY AUSTRALIA SUPERVISOR FILE		
	Yes	To Follow
A3 Electrical (Colour)		
A3 Permit Stamped Construction Drawings		
A3 Engineering Plan		
A3 Construction Drawings		
Gas Connection Form		
Re-Establishment Survey		
PSI		
6 Star Report		
PIC		
Audit Report (Unpriced)		
POS		
Soil Report		
Window Quote (Unpriced)		
A3 Tile Plan (Colour)		
A4 Electrical (Colour)		
A4 Engineering Plan		
A4 Construction Drawings		
Colour Selection		
PCV's		
Contract		
Pre Planner		
Building Permit		

FILE WRITE UP CHECKLIST		
STAGE ONE  VARIATIONS	<b>Hint:</b> <b>Check that the key number is correct with all documents</b>	<input checked="" type="checkbox"/>
	Check if client's details and job address are correct	<input type="checkbox"/>
	Check plans to see what type of house and façade you are building	
	Check the standard detail plans are correct with final drawings i.e. Overall ceiling heights and eaves widths	
	Check that the Engineering plans reflect architectural plans	
	Note who the Building Inspector is for the job	
	Check Finished floor heights i.e. AHD Levels	
	Glance through 5 star report Waffle pod design, Building permit - look on back of permit for any special conditions	
	Check contract for client supplied items	
	Make sure owner has signed Contract and Colour Selection	
VARIATIONS	Check that all Variations have been actioned on Purchase Orders and have been changed to reflect variations – Check PCVO's are signed by clients	
	<b>Hint:</b> <b>Read Variations from last to first in case VO's have been deleted</b>	
	Mark all Variations on call forward sheet	<input type="checkbox"/>
	<b>Note: 5 star Energy Rating Requirements / check all requirements have Purchase Orders</b>	
	Check if Termite Treatment is required	
	Check site details for spoil removal for stockpile on site	
	Check for slab heating, if requested. Check that power required for slab heating have been included	
	<b>Check each order made out to Suppliers and mark off on your Call Forward Card</b>	
	Check frame hardware order, if job is 41 m/s wind speed	
	Check all types of colour selections in the file correspond with the Purchase Orders, check VO's for alterations	
	Check fascia and gutter colour, and if required - boundary flashing	
	Check roof tile or colourbond colour, profile, pitch of rool and guardrail if required	<input type="checkbox"/>
	Check wall batts and highlight on call forward sheet so you do not miss it	<input type="checkbox"/>
	Check windows for:	
	• Window Frame Colour	
	• Wind rating 41 m/s	<input type="checkbox"/>
	• Window locks required / not required	<input type="checkbox"/>
	• Check window order if job calls for obscure or double glazing	<input type="checkbox"/>

## OFFICE SCHEDULING

### EARTHLIFT-site cut

Job #:	
Called Date:	
Cut Date:	
Booked with (Name):	

## OFFICE SCHEDULING

### EASTERN HOUSE-set out

Job #:	
Called Date:	
Cut Date:	
Booked with (Name):	

### Person scheduling work:

Person scheduling work:	
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# Simonds Homes Pre-Planning Checklist



Date Issued:	9th May 2013	Team:	East	Inspection Date:	13/5
Job Address:	Bentleigh East VIC 3165			Key Number:	33837
Map ref:	68 H12	Permit Administrator:	Kim Monckton	Supervisor:	TONY
Client Name:	Karro	CSO:	Bree	Must be Completed by: PLEASE RETURN TO JANE NO LATER THAN..15th May	

## Checklist Items

<b>Survey Pegs - Are ALL survey pegs OR enough survey pegs existing to adequately site house?</b> <i>Please thoroughly check the block including using a shovel to unearth pegs that may be in ground.</i>		<input checked="" type="radio"/> YES	<input type="radio"/> NO	
<b>If NO, CSO will inform client a <u>re-establishment survey is required</u> and arrange. Please detail what pegs are missing</b>		<input type="radio"/> Back Left	<input type="radio"/> Back Right	
<b>Power to Site - What is the power supply to site? If overhead power, will site access be an issue? Please explain .....</b>		<input type="radio"/> Overhead	<input checked="" type="radio"/> Underground	
<b>Please confirm position of power pole or pit on footpath advice report (p3)</b>				
<b>Is the site cleared, ready for construction? i.e. Trees, grass cut, rubbish etc. if NO, please detail what has been done prior to site start (CSO will confirm with client)</b>		<input checked="" type="radio"/> YES	<input checked="" type="radio"/> NO	
<b>Does client need to provide driveway access prior to site start? i.e. crossover, crushed rock, widening etc. If Yes - explain what the client needs to have done prior to site start (CSO will confirm with client)</b>		<input type="radio"/> YES	<input checked="" type="radio"/> NO	
<b>Is a Fire Hydrant on the nature strip? If yes, does this impede driveway access?</b>		<input type="radio"/> YES	<input checked="" type="radio"/> NO	
<b>Is temporary fencing or ditch liner/site erosion control required for this job? (indicate location on footpath report)</b>		<input checked="" type="radio"/> YES	<input type="radio"/> NO	
<b>Plane Allowance required?</b>		<input checked="" type="radio"/> YES	<input type="radio"/> NO	\$ <b>2000</b>
<b>Overhead Safety Required?</b>		<input type="radio"/> YES	<input checked="" type="radio"/> NO	\$
<b>Traffic Management Required?</b>		<input checked="" type="radio"/> YES	<input type="radio"/> NO	\$
<b>Restricted site/double handling required/site cleans?</b>		<input checked="" type="radio"/> YES	<input type="radio"/> NO	\$
<b>If nearby the seaside, approx distance away?</b>		<input type="radio"/> YES	<input checked="" type="radio"/> NO	
<b>Temp Fencing required in addition to any council requirements?</b>		<input type="radio"/> YES	<input checked="" type="radio"/> NO	
<b>Existing stormwater outlet in kerb? (indicate location on footpath report)</b>		<input type="radio"/> YES	<input checked="" type="radio"/> NO	
<b>2xx Storey Jobs - Shade cloth required on scaffold?</b>		<input checked="" type="radio"/> YES	<input type="radio"/> NO	
<b>Bushfire Zoning required or adjoining shrub lands etc.?</b>		<input checked="" type="radio"/> YES	<input type="radio"/> NO	

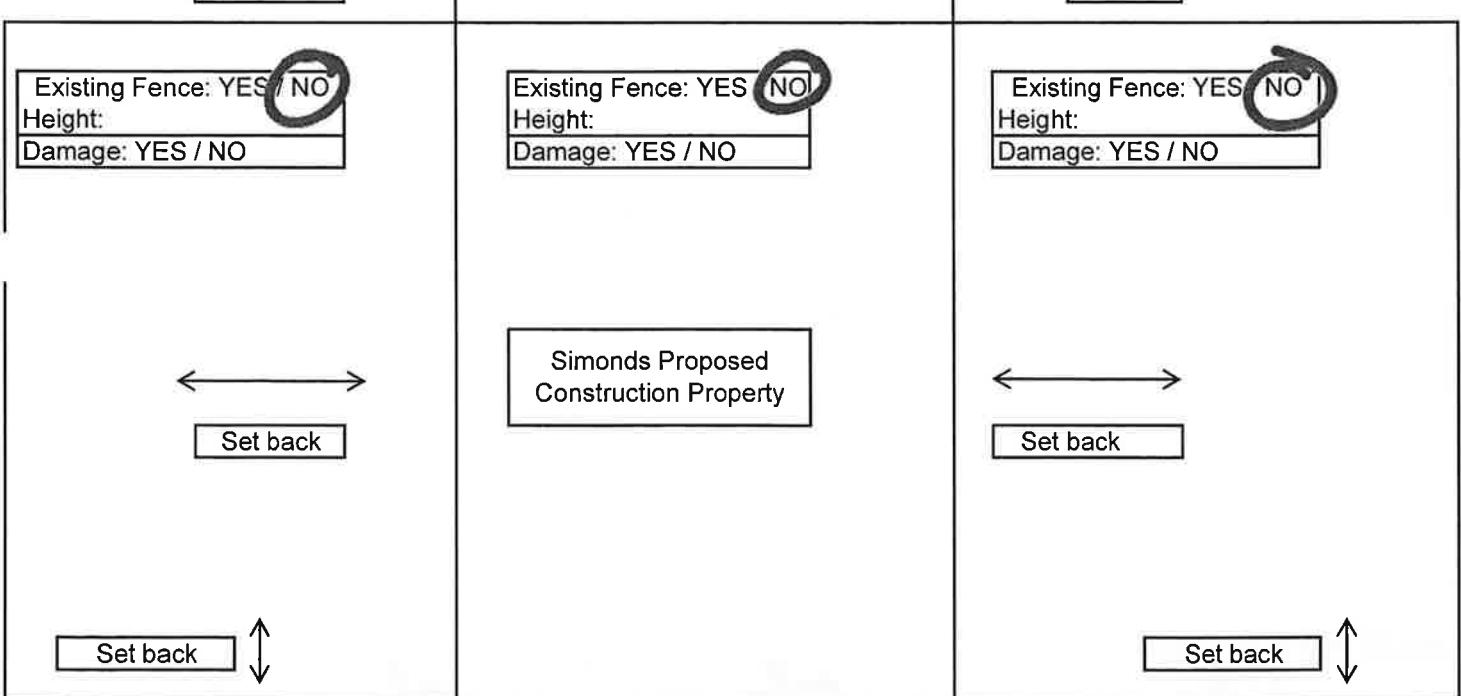
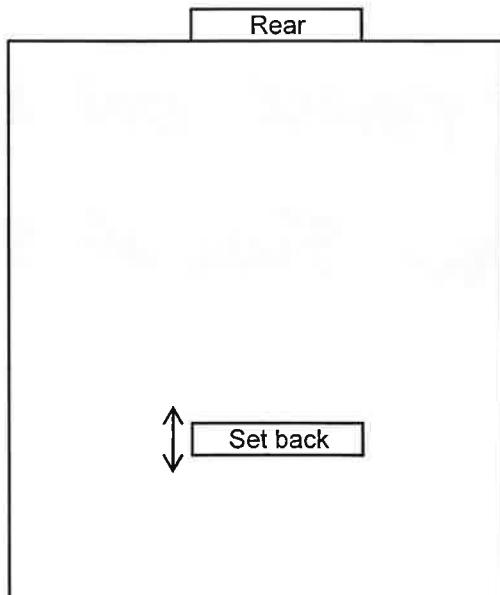
NOTES-

Left Hand Side	
<input checked="" type="checkbox"/> Vacant	
<input checked="" type="checkbox"/> Under Construction	
<input checked="" type="checkbox"/> Slab	<input type="checkbox"/> Frame
<input checked="" type="checkbox"/> Lock Up	<input type="checkbox"/> Fixing
<input type="checkbox"/> Painting	
<input type="checkbox"/> Existing House	

Rear	
<input checked="" type="checkbox"/> Vacant	
<input type="checkbox"/> Under Construction	
<input type="checkbox"/> Slab	<input type="checkbox"/> Frame
<input type="checkbox"/> Lock Up	<input type="checkbox"/> Fixing
<input type="checkbox"/> Painting	
<input type="checkbox"/> Existing House	

Right Hand Side	
<input checked="" type="checkbox"/> Vacant	
<input checked="" type="checkbox"/> Under Construction	
<input checked="" type="checkbox"/> Slab	<input type="checkbox"/> Frame
<input checked="" type="checkbox"/> Lock Up	<input type="checkbox"/> Fixing
<input type="checkbox"/> Painting	
<input type="checkbox"/> Existing House	

Supervisors are required to SKETCH in all adjoining constructions, including distances to boundary, heights of new dwelling & location of all windows on adjoining properties



1. Are there any concerns with items from neighbouring properties overhanging the boundary? (Please indicate on above by drawing specific location)	YES	<input checked="" type="radio"/> NO
2. Are there any large or potential adjoining trees that need to be considered in footing designs? (Please indicate on above by drawing specific location)	YES	<input checked="" type="radio"/> NO

**Please return WITHIN 48 HOURS these 3 pages**

By E-MAIL to: [kim.robbins@simonds.com.au](mailto:kim.robbins@simonds.com.au)

**FOOTPATH & KERBING REPORT  
(To assist with Asset Protection)**

Sketch lot, footpath & kerbing either side, including ALL damage

**PLEASE ALSO EMAIL PHOTOS FROM YOUR IMATE TO PERMITS**

**IF YOU DO NOT COMPLETE THIS SKETCH YOU WILL BE RE-SENT TO RE-DO THE PRE PLANNER**

*Council Requires Site Preparation to be  
INSTALLED  
Builders TEMP FENCE ON 4+ Boundary  
POS & CHANNEL FENCE & SILT*

NO. OF BAYS DAMAGED:

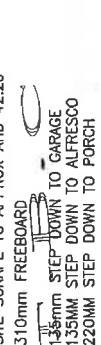
Footpath	<u>OK</u>	Crossover	<u>OK</u>	Kerb/Channel	<u>OK</u>	SW/Sec/Tel	<input checked="" type="checkbox"/>
LHS property footpath	<u>OK</u>		<u>NA</u>			Kerb/Channel	<u>OK</u>
RHS property footpath	<u>OK</u>		<u>OK</u>			Kerb/Channel	<u>OK</u>

Mark with spray paint then take photos and send to Admin staff; make sure to include  
Job number & retain a copy for Pre Planner file

CONTOURS ARE AT 200mm INTERVALS LEVELS ARE  
TO AN ASSUMED DATUM

SITE COVERAGE ANALYSIS	
BUILDING AREA:	178.10 sq.m
SITE AREA:	357.00 sq.m
SITE COVERAGE:	49.89 %

DWELLING & GARAGE: WAFFLE POD CONCRETE SLAB.  
SITE SCRAPES TO APPROX HD 42.20  
310mm FREEBOARD  
135mm STEP DOWN TO GARAGE  
135MM STEP DOWN TO ALFRESCO  
220MM STEP DOWN TO PORCH



- TOWN PLANNING IS CLIENT'S RESPONSIBILITY
- TOWN PLANNING IS REQUIRED FOR REDUCED REAR/FRONT SETBACK
- DISPENSATION IS REQUIRED FOR GARAGE PARAPET WALL HEIGHT
- DWELLING SETBACK SUBJECT TO COUNCIL/DEVELOPER APPROVAL
- DRAINER MUST REFER TO START WORK NOTICE FOR SEWER POINT LOCATION
- 6 STAR ENERGY RATING REQUIRED TO DWELLING
- PROPERTY SUBJECT TO HIGH WIND SPEEDS OF N1

EMERG TREATMENT TO COMPLY WITH AS 3660.1 2000

STRAIGHT & PLUMB COLLARS TO PIPE PENETRATIONS

PART E: CHEMICAL HANDBRAY

NOTE: SURPLUS SPOIL TO BE DISPOSED FROM SITE  
INCL - FROM SERVICES TRENCHES  
RETAIN FILL ON SITE FOR BACKFILL TO SLAB REBATE AS REQ'D

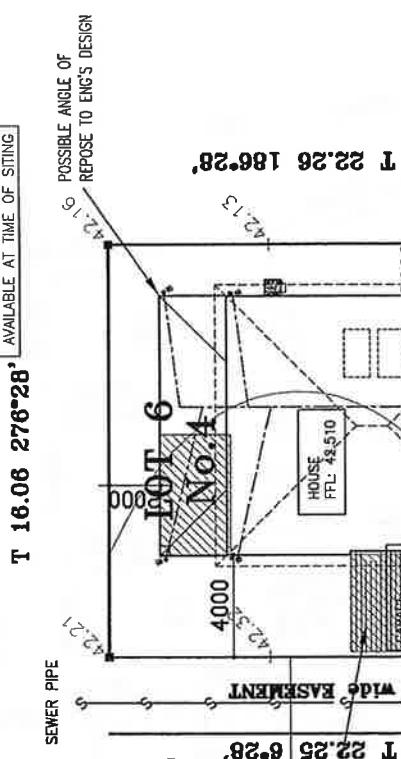
NOTE:  
IF CROSSOVER IS NOT PROVIDED OR  
EXISTING CROSSOVER IS NOT IN CORRECT  
POSITION TO DRIVEWAY THE FULL COST TO  
CONSTRUCT NEW CROSSOVER IS AT THE  
OWNER'S EXPENSE

STORMWATER DRAIN NOTES:  
PROVIDE 90mm DIAMETER HEAVY DUTY PVC STORMWATER PIPE  
WITH MINIMUM FALL OF 1:100  
PROVIDE 100mm DIAMETER PVC STORMWATER PIPE UNDER  
GARAGE AND FUTURE DRIVEWAYS  
STORMWATER DRAIN LAYOUT IS INDICATIVE ONLY AND WILL  
BE LAID AT THE DRAINER'S DISCRETION  
PROVIDE 100x60 DOWNPIPES AT 12000 MAX. CRS.

SITE SOIL CLASSIFICATION  
CLASS 'P' TO AS 2870-1996

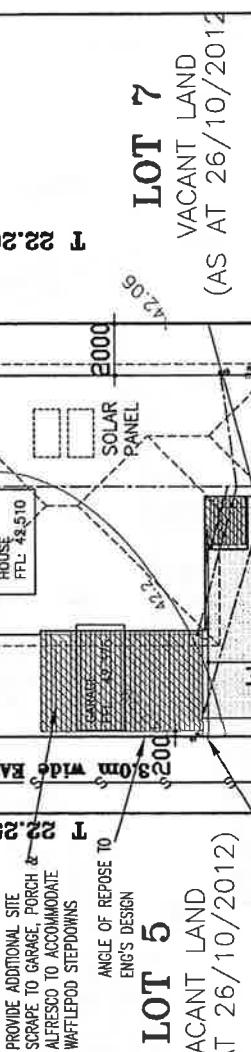
VACANT LAND  
(AS AT 26/10/2012)

EASEMENT INFORMATION NOT  
AVAILABLE AT TIME OF SITTING

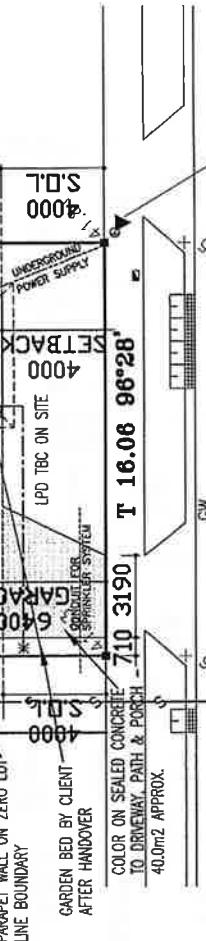


LOT 4  
VACANT LAND  
(AS AT 26/10/2012)

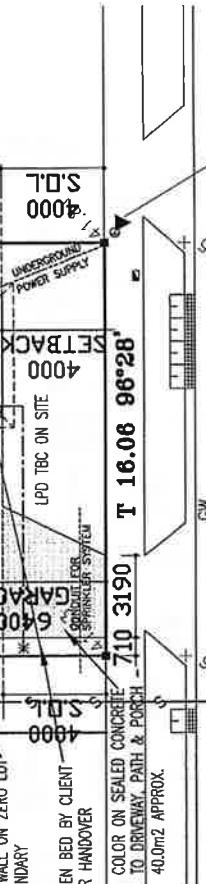
SEWER PIPE DETAILS  
DEPTH: 2270mm APPROX  
OFFSET: 1200mm APPROX  
SIZE: 150mm



LOT 5  
VACANT LAND  
(AS AT 26/10/2012)



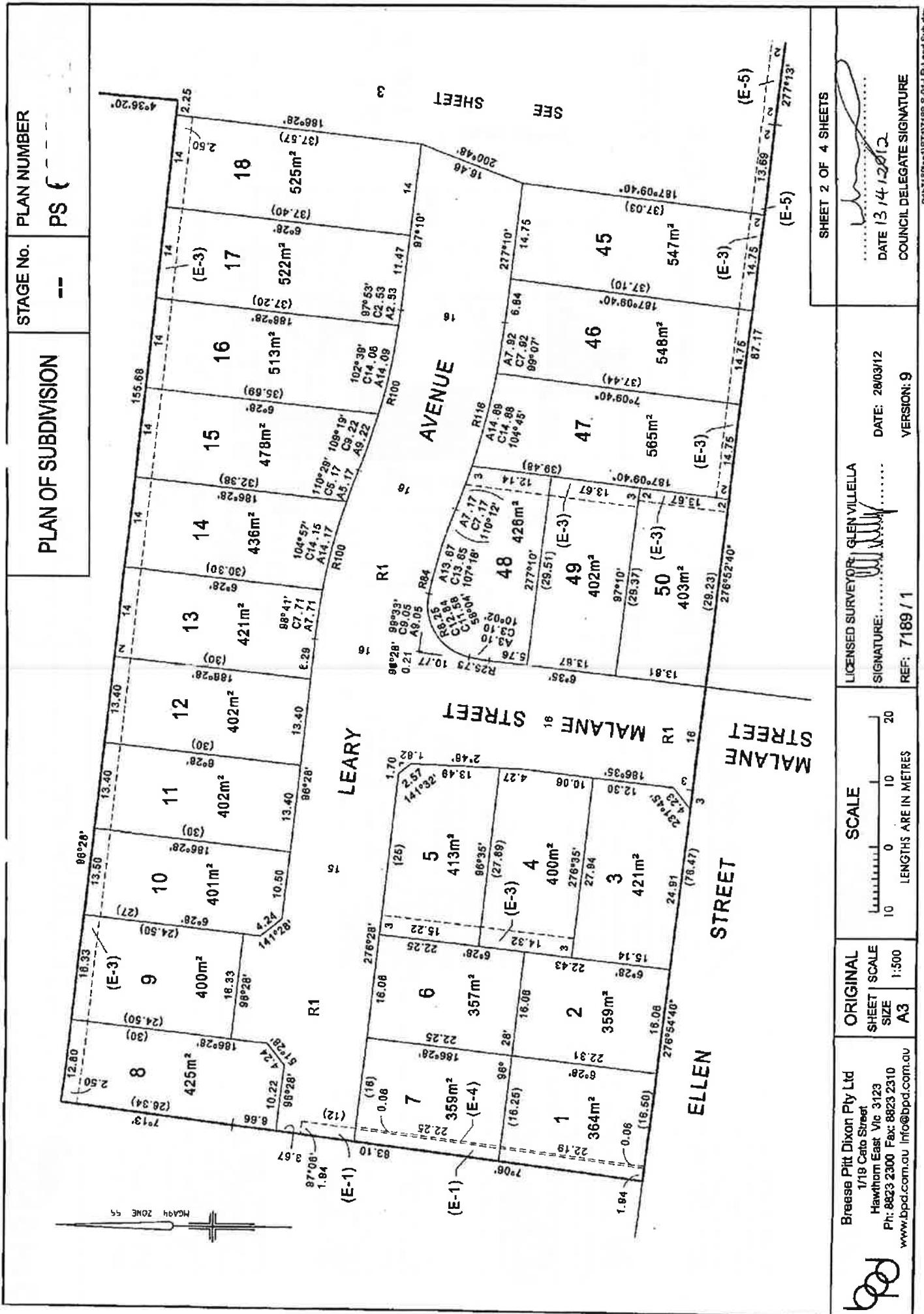
LOT 6  
VACANT LAND  
(AS AT 26/10/2012)



LOT 7  
VACANT LAND  
(AS AT 26/10/2012)

## Leary Avenue

1:2000@A3	V6	View: SITE PLAN
Customer:		Address:
25.10.12	PARKSIDE 3500	House: PARKSIDE 3500
		Facade: ALPINE
XGDX L.T	JG No. 35837 CON	Drawn: Checked:
Date: Scale: 1:2000	Sheet No: 1.1	T.B.M. TOP DF SEC PIT R.L. 41.81 (A.H.)
Copyright 2003 Simonds IP Pty Ltd (241 144 49 86) (ABN 34 114 818 963) Not to be reproduced in part or whole without express permission.		



PRINT189@11ST17188-S-01-LR-Land Subdn

SHEET 2 OF 4 SHEETS  
  
 DATE 13/12/12  
 COUNCIL DELEGATE SIGNATURE

LICENSED SURVEYOR: GLEN VILLELLA  
 SIGNATURE: .....  
 DATE: 28/03/12  
 REF: 7189 / 1  
 VERSION: 9

SCALE  
 1:500  
 LENGTHS ARE IN METRES

Braess Pitt Dixon Pty Ltd  
 1/19 Cato Street  
 Hawthorn East Vic 3123  
 Ph: 8823 2310 Fax: 8823 2310  
 www.bpd.com.au Info@bpdc.com.au

# Simonds Homes Melbourne Pty Ltd

ABN 35 050 197 610  
2nd Floor, 28-32 Albert Rd SOUTH MELBOURNE VIC 3205  
Telephone: 03 9682 0700 Facsimile: 03 9682 0800



## Tax Invoice Post Contract Variation

Date: 30/10/12  
Doc Number: 1  
Our Ref: PCVO 1

1

### Job Details

Job Number: 33837 Customer Service Officer: Breanna Burns  
Raised By: [Not Applicable]

Job Address: L

House Type/Facade: Parkside Fusion / Alpine

Item	Ref	Description	Price
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### Variation Items

1 - 1		Note: Any change to plans due to planning permit requirements will not incur the Simonds standard administration fee. Note: Approved by Bianca Brunetti.	Note Only
1 - 2		Note: Change date in Schedule 4 special condition 3 to 28-02-2013 in lieu of 31-10-2012. Note: Approved by Bianca Brunetti.	Note Only

### Group Total - Variation Items

\$0.00

Document Total	Total Price
	\$0.00

**Notes** Variations are to be paid strictly in accordance with the contract.  
This variation will not be acted upon until signed herewith by builder and client.  
This contract variation is deemed to be an invoice.

### E+OE

**Acceptance** Please sign and date to indicate acceptance of this document, and return it within 7 working days.  
Note: This variation has no affect on the contract duration.

Client (person 1)

5/2/12  
Date

Client (person 2)

5/2/2013  
Date

Builder

Date

# Simonds Homes Melbourne Pty Ltd

ABN 35 050 197 610  
2nd Floor, 28-32 Albert Rd SOUTH MELBOURNE VIC 3205  
Telephone: 03 9682 0700 Facsimile: 03 9682 0800



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## Tax Invoice Post Contract Variation

Date: 13/02/13  
Doc Number: 2  
Our Ref: PCVO 2

t  
-----  
1

### Job Details

Job Number: 33837 Customer Service Officer: Breanna Burns  
Raised By: [Not Applicable]

Job Address:

House Type/Facade: Parkside Fusion / Alpine

Item	Ref	Description	Price
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### Variation Items

1 - 1	Provide the following design changes to Dwelling to comply with town planning requirements: - Reduce Lounge & Bed 1 WIR 500mm towards elevation C NOTE: Lounge becomes 4400mm x 4200mm & WIR becomes 1560mm x 1670mm	-\$1,216
1 - 2	Provide 2no courses of rendered 20mm corbelled brickwork to First floor from Bed 1 elevation A/D corner to bathroom elevation B/C corner. - Provide Smooth Render finish from Bed 1 elevation A/D corner, entire elevation D & 470mm return to Bathroom elevation C.  NOTE: To comply with Town planning requirements.	\$4,493

### Group Total - Variation Items

\$3,277.00

### Document Total

Total Price

\$3,277.00

Notes Variations are to be paid strictly in accordance with the contract.

This variation will not be acted upon until signed herewith by builder and client.

This contract variation is deemed to be an invoice.

E+OE

Acceptance Please sign and date to indicate acceptance of this document, and return it within 7 working days.

Note: This variation has no affect on the contract duration.

Client (person 1)

14/2/13  
Date

Client (person 2)

Date

Item	Ref	Description	Price
Builder		Date	

# Simonds Homes Melbourne Pty Ltd

ABN 35 050 197 610  
2nd Floor, 28-32 Albert Rd SOUTH MELBOURNE VIC 3205  
Telephone: 03 9682 0700 Facsimile: 03 9682 0800



## Tax Invoice Post Contract Variation

1

Date: 5/03/13  
Doc Number: 3  
Our Ref: PCVO 3

### Job Details

Job Number: 33837 Customer Service Officer: Breanna Burns  
Raised By: [Not Applicable]

Job Address:

House Type/Facade: Parkside Fusion / Alpine

Item	Ref	Description	Price
<b>Variation Items</b>			
1 - 1		Delete Contract Item 3-1 "Under 300mm site fall over building area. Provide site scrape to AHD42.20 including removal of excess spoil from site."	Note Only
1 - 2		Under 300mm site fall over building area. Provide site fill to AHD42.325 as required by council due to town planning application. Note: Includes supply & importation of additional clean fill to site as required.	\$2,491
1 - 3		Clarification: Provide standard Garage ceiling height of 2575mm. Note: Refer to Contract Item 15-24. Note: Average Garage wall height to elevation D becomes 3000mm. Note: Facade parapet wall height becomes 3550mm.	Note Only

### Group Total - Variation Items

\$2,491.00

### Document Total

Total Price

\$2,491.00

**Notes** Variations are to be paid strictly in accordance with the contract.

This variation will not be acted upon until signed herewith by builder and client.

This contract variation is deemed to be an invoice.

E+OE

**Acceptance** Please sign and date to indicate acceptance of this document, and return it within 7 working days.

Note: This variation has no affect on the contract duration.

Client (person 2)

Date

Builder

Date

# Simonds Homes Melbourne Pty Ltd

ABN 35 050 197 610  
2nd Floor, 28-32 Albert Rd SOUTH MELBOURNE VIC 3205  
Telephone: 03 9682 0700 Facsimile: 03 9682 0800



## Tax Invoice Post Contract Variation

Date: 17/05/13  
Doc Number: 4  
Our Ref: PCVO 4

### Job Details

Job Number: 33837 Customer Service Officer: Breanna Burns  
Raised By: [Not Applicable]  
Job Address: L  
House Type/Facade: Parkside Fusion / Alpine

Item	Ref	Description	Price
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### Variation Items

1 - 1		Delete Contract Item 7-1 "(Z3 02) Zone 3 Options add alfresco 2 and dining room."  Note: 2127-3 aluminium alfresco sliding door provided to Family elevation C as per Contract Item 15-33.	-\$12,055
1 - 2		Provide the following design changes including: - Provide 4500mm front setback in lieu of 3500mm. - Extend Kitchen / Family 1570mm [approx] towards elevation C. Note: Includes structural beams to support first floor above. Note: Kitchen / Family becomes 9600mm x 6290mm. Note: Pantry to remain 1950mm wide and Kitchen base & overhead cupboards adjusted to suit. - Extend Bed 1 / Rumpus 1570mm [approx] towards elevation C. Note: Rumpus becomes 5590mm x 5310mm, Bed 1 becomes 6820mm x 4200mm. - Provide 2060mm x 1670mm Bed 1 WIR in lieu of 1560mm x 1670mm. Note: Rear setback to remain at 3000mm.	\$23,369

### Group Total - Variation Items

\$11,314.00

Document Total	Total Price
	\$11,314.00

**Notes** Variations are to be paid strictly in accordance with the contract.

This variation will not be acted upon until signed herewith by builder and client.

This contract variation is deemed to be an invoice.

**E+OE**

**Acceptance** Please sign and date to indicate acceptance of this document, and return it within 7 working days.

Note: This variation has no affect on the contract duration.

Item	Ref	Description	Price
	/		
Client (person 1)		23/5/13	
		Date	Date
Builder			
		Date	

# Simonds Homes Melbourne Pty Ltd

ABN 35 050 197 610  
2nd Floor, 28-32 Albert Rd SOUTH MELBOURNE VIC 3205  
Telephone: 03 9682 0700 Facsimile: 03 9682 0800



## Tax Invoice Post Contract Variation

Date: 28/05/13  
Doc Number: 5  
Our Ref: PCVO 5

### Job Details

Job Number: 33837 Customer Service Officer: Breanna Burns  
Raised By: [Not Applicable]  
Job Address:  
House Type/Facade: Parkside Fusion / Alpine

Item	Ref	Description	Price
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### Variation Items

1 - 1		Delete PCV02 Item 1-2 "Provide 2no courses of rendered 20mm corbelled brickwork to First floor from Bed 1 elevation A/D corner to bathroom elevation B/C corner. - Provide Smooth Render finish from Bed 1 elevation A/D corner, entire elevation D & 470mm return to Bathroom elevation C. NOTE: To comply with Town planning requirements."	-\$4,493
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### Group Total - Variation Items

-\$4,493.00

Document Total	Total Price -\$4,493.00
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**Notes** Variations are to be paid strictly in accordance with the contract.  
This variation will not be acted upon until signed herewith by builder and client.  
This contract variation is deemed to be an invoice.  
**E+OE**

**Acceptance** Please sign and date to indicate acceptance of this document, and return it within 7 working days.

Note: This variation has no affect on the contract duration.

28/5/13

Date

Client (person 2)

Date

Date

# Simonds Homes Melbourne Pty Ltd

ABN 35 050 197 610

2nd Floor, 28-32 Albert Rd SOUTH MELBOURNE VIC 3205

Telephone: 03 9682 0700 Facsimile: 03 9682 0800



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## Tax Invoice Post Contract Variation

Date: 13/06/13  
Doc Number: 6  
Our Ref: PCVO 6

### Job Details

Job Number: 33837 Customer Service Officer: Breanna Burns  
Raised By: [Not Applicable]  
Job Address:  
House Type/Facade: Parkside Fusion / Alpine

Item	Ref	Description	Price
<b>Site Cost</b>			
1 - 1		Delete Contract Item 3-2 "Site Classification yet to be determined. Final waffle pod slab & associated costs to be determined upon receipt of final engineering. Provide estimate only for Concrete waffle pod slab. <b>PROVISIONAL SUM.</b> "	-\$13,000
1 - 2		Site Classified P as per engineers site & soil report. Provide Class H concrete waffle pod slab including wider edge beams, additional / upgraded reinforcement & bulk concrete bored piers in lieu of standard as per engineers final waffle pod slab design.	\$10,879

### Group Total - Site Cost

-\$2,121.00

### Variation Items

2 - 1	Provide 2127 - 3 aluminium alfresco door to Kitchen elevation C in lieu of standard. [W6] Note: Flydoor not included. Note: Provided to match W7. Client to confirm.	\$607
2 - 2	Clarification PCV04 Item 1-2: Kitchen Island bench is 1316mm [approx] from elevation C.	Note Only
2 - 3	Provide 6No. 590mm wide base cupboards to kitchen island bench elevation D in lieu of carcass. Note: Kitchen island bench becomes 1350mm wide to suit.	\$1,402
2 - 4	Clarification PCV04 Item 1-2: - W15 moved towards elevation C to suit Rumpus extension. - First Floor stair location to remain in the same location as the Ground Floor.	Note Only
2 - 5	Note: Standard Parkside staircase provided.	Note Only

Item	Ref.	Description	Price
<b>Group Total - Variation Items</b>			
			\$2,009.00
<b>Document Total</b>			<b>Total Price</b>
			<b>-\$112.00</b>

**Notes** Variations are to be paid strictly in accordance with the contract.

This variation will not be acted upon until signed herewith by builder and client.

This contract variation is deemed to be an invoice.

E+OE

**Acceptance** Please sign and date to indicate acceptance of this document, and return it within 7 working days.

Note: This variation has no affect on the contract duration.

\_\_\_\_\_  
TJ Client (person 1)

14/6/13 Date

Client (person 2)

\_\_\_\_\_  
Date

Builder

\_\_\_\_\_  
Date

# Contract

**Document Details**

Document Number: 2 Date: 26/10/12

Sales Consultant: Thomas Hammill

**Client Details**

Client Name: Client Number: 33837

Client Address:

**Job Details**

Job Number: 33837 Initial Deposit: 06/06/12

Job Address: Lot 6, 4 Leary Avenue MELBOURNE VIC 3000

Plan of Sub: Folio: Volume:

Item	Ref	Description	Price
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**House Type**

1 - 1	Parkside Fusion Base Plan	\$217,700
1 - 2	No Sales Consultant Commission	-\$4,500
1 - 3	Provide \$6,000 discount as approved by Mark Simonds	-\$6,000

**Grand Total - House Type** \$207,200.00

**Facade**

2 - 1	Provide Alpine Facade to dwelling and garage in lieu of standard Traditional *450mm wide eaves to first floor of dwelling. *painted Shadow clad ply wall cladding to rumpus room elevation A and D in lieu of standard. *2109 aluminium awning windows to theatre room elevations A (2no.) *2121 aluminium awning window to lounge elevation A * 2No. 1209 aluminium awning windows and 1No. 1209 aluminium fixed window to rumpus room elevation A *1221 aluminium awning window to bed 1 elevation A *parapet wall construction to theatre room elevation A and garage elevation A including 200mm wide nib wall to garage elevation D *zincalume klip lok roof with 2 degree roof pitch to garage in lieu of standard.	\$6,050
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Note: Front porch area is standard with an earth floor.

**Group Total - Facade** \$6,050.00

**Site Cost**

3 - 1	Under 300mm site fall over building area. Provide site scrape to AHD42.20 including removal of excess soil from site.
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Consultant Signature

Client (person1)

Client (person 2)

<b>Item</b>	<b>Ref</b>	<b>Description</b>	<b>Price</b>
3 - 2		Site Classification yet to be determined. Final waffle pod slab & associated costs to be determined upon receipt of final engineering. Provide estimate only for Concrete waffle pod slab. <b>PROVISIONAL SUM</b>	\$13,000 Provisional
3 - 3		Slab or footing design is subjected to receiving information from relevant authorities in regards to services located within easements.	Note Only
3 - 4		A.G. drains and silt pits are not included. If required, to be part of clients landscaping after handover of House.	By Owner
3 - 5		Sleeper retaining walls are not included. If required, to be part of clients landscaping after handover of House.	By Owner
3 - 6		Note: No Rock costs when encountered in earthworks and services runs* *Important Note: Should importation of fill/crushed rock/bulk concrete or any other material is required to fill rock removal area, this cost shall be charged to the client as per clause 12 of the building contract.	Note Only
<b>Group Total - Site Cost</b>			<b>\$13,000.00</b>
<b>Local Council &amp; OH&amp;S Requirements</b>			
4 - 1		Provide Local Council & OH&S Requirements as listed below.	Note Only
4 - 2		Termite treatment to Australian standards Part A - shields to service slab penetrations Part B - perimeter retreatment lines	
4 - 3		Build to comply with N1 wind rating.	
4 - 4		To be used for double handling and/or provide access to building area where access is limited due to wet site conditions or restricted access.	Included
4 - 5		Clarification: Temporary fencing to unfenced boundaries of block for the duration of construction to comply with the local council requirement is now Simonds Standard Inclusion.	Note Only
4 - 6		Provide pollution and silt protection to temporary fencing at front of the allotment to comply with the local council requirements.	Included
4 - 7		To employ licensed surveyor to bring Australian Height Datum (AHD) to property and certify completed slab height with property requirements.	Included
<b>Group Total - Local Council &amp; OH&amp;S Requirements</b>			<b>\$3,185.00</b>
Site Notes			
5 - 1		Note: Slab design on boundaries are based on conditions at time of feature survey. Should adjoining property conditions vary from initial feature survey this may effect design and cost of footing on boundary.	Note Only
5 - 2		Note: To date sewer point depth has not been received from authority. Should the sewer point depth, be greater than 1.5m then this will be an additional cost.	Note Only
5 - 3		Note: Offset of sewer & branch point to be confirmed prior to start of construction, if branch point requires relocation due to dwelling siting then the cost incurred is by client.	Note Only

Consultant Signature

Client (person1)

Client (person 2)

<b>Item</b>	<b>Ref</b>	<b>Description</b>	<b>Price</b>
5 - 4		Note: to date stormwater dispersal point depth has not been received from local authority this will require confirmation of sufficient fall to comply with required standards and this could be at an additional cost.	Note Only
5 - 5		Note: Siting and plans subject to rescode compliance.	Note Only
5 - 6		Note: Simonds Homes to apply for developers approval of house plans. Any alterations and or additional required due to Developer's approval (including any associated costs and delays) will be charged to the client.	Note Only
5 - 7		Note: This contract has been prepared based on visual feature survey and engineers soil test. Local council property information has not been received at this stage. Should any information within the Property Information entail further costings, these costings will be passed on to the client.	Note Only
5 - 8		The builder does not make any representations or provide any express or implied warranty that proposed relocation or installation of the vehicle cross-over shall be allowed or permitted by the responsible authority/municipal council/developer. Client to make own enquiries about this matter and shall obtain and provide to the builder written confirmation that all relevant permits for the relocation or installation of the crossover have been obtained prior to site start.	Note Only
5 - 9		Note: If the water meter and front garden tap are required to be relocated for vehicles to gain access to garage, the client will incur this additional cost.	Note Only
5 - 10		Note: Client to arrange removal of fence adjacent garage (if garage has a zero or 200mm offset) with adjoining neighbour prior to site start (if required).	Note Only
5 - 11		<b>TERMITIC CONTROL</b> <ol style="list-style-type: none"><li>1. The Client agrees to have the house inspected regularly by a competent Pest Control operator &amp; to seek to comply with the advice of the operator.</li><li>2. The Client agrees that they will not build garden beds over weepholes.</li><li>3. If the perimeter barrier is the exposed slab edge the Client will maintain it to allow visual inspection.</li><li>4. If Client builds an extension or renovations they will reinstate any broken barriers.</li><li>5. If any other work breaks a barrier the Client agrees to reinstate the barrier.</li><li>6. The Client agrees not to store firewood close to the house.</li><li>7. The Client will comply with the warranty for the system of termite control installed.</li><li>8. The Client will regularly inspect for infestations.</li><li>9. The Client will regularly inspect the perimeter &amp; underside (if appropriate) to detect any breach of barriers.</li><li>10. The Client acknowledges that if the arrangements is not adhered to both the product warranty &amp; the States statutory warranty may be voided.</li></ol>	Note Only
5 - 12		Note: Client is responsible to ensure all services & connection points are available on the property.	Note Only
5 - 13		Note: Any delays in client nominated works may cause a time extension to the contract or incur additional costs.	Note Only
5 - 14		Note: Town planning approval is the Client's responsibility (if required).	Note Only
<b>Group Total - Site Notes</b>			<b>\$0.00</b>
<b>Zone 1 Options</b>			
6 - 1		(Z1 03) Zone 1 Options add theatre	\$3,889

Consultant Signature

Client (person1)

Client (person 2)

Item	Ref	Description	Price
		<b>Group Total - Zone 1 Options</b>	<b>\$3,889.00</b>
		<b>Zone 3 Options</b>	
7 - 1		(Z3 O2) Zone 3 Options add alfresco 2 and dining room	\$12,055.00
		<b>Group Total - Zone 3 Options</b>	
		<b>Structural</b>	
8 - 1		Provide the following Ground Floor structural design changes including: - Relocate Dining elevation D brick veneer wall 1300mm [approx] towards elevation D into Alfresco area. Note: Structural beam redesigned to suit first floor above. - reduce Alfresco & Dining 520mm [approx] towards elevation A. Note: Alfresco becomes 2570mm x 4700mm & Dining becomes 2570mm x 4900mm.	\$969
8 - 2		Convert Bed 4 Robe into 1880mm wide Lined to First Floor hall including 4No. 450mm wide white melamine shelves in lieu of standard.	\$348
		<b>Group Total - Structural</b>	<b>\$1317.00</b>
		<b>Kitchen</b>	
9 - 1		Provide the following Kitchen design including: - Swap standard Pantry and Fridge space locations. Note: 300mm deep bulkhead provided to Kitchen elevation B. - Provide additional 2390mm wide site build plaster lined Pantry including 3No. 2040mm x 620mm flush panel hinged doors and 4No. melamine shelves to Meals elevation B. Note: Refer to 'Colour Gallery Variations' for Pantry upgrade. - Provide 2No. additional 1000mm wide island pot drawers to Kitchen Island bench in lieu of Promotional pot drawer inclusion. - Increase Kitchen island base cupboards to RHS of dishwasher to 900mm wide. - Provide 1250mm wide Kitchen island bench including 300mm overhang in lieu of standard. Note: Additional carcass provided for support. Note: Additional 20mm Caesarstone provided over the above Promotional inclusion. Note: Panelart finish.	\$3,132
		<b>Group Total Kitchen</b>	<b>\$3,132.00</b>
		<b>External</b>	
10 - 1		Provide fixed aluminium framed flyscreen with aluminium mesh to all openable windows. [15No.]	\$945
10 - 2		Provide brickwork to First Floor elevation C in lieu of light weight cladding.	\$2,978

Consultant Signature

Client (person1)

Client (person 2)

Item	Ref	Description	Price
10 - 3		<p>Provide additional smooth render finish to nominated areas in lieu of face brickwork in addition to Promotional render inclusion.</p> <p>Note: Includes glass protection to rendered elevation windows. (for building purposes only)</p> <p>Note: Client to confirm area.</p>	\$616
<b>Grand Total - External</b>			<b>\$4,539.00</b>
<b>Garage</b>			
11 - 1		<p>Provide double attached garage 6000mm x 5520mm (internally) including-</p> <ul style="list-style-type: none"> <li>- Brick veneer construction</li> <li>- Concrete slab floor</li> <li>- Painted plasterboard ceiling</li> <li>- 2100mm high x 4800mm wide Colorbond roller door with lightweight cladding above.</li> <li>- 820mm wide weatherproof flush panel rear access hinged door and 820mm wide flush panel hinged door to access dwelling.</li> <li>- 1No. Light point</li> <li>- 1No. double power point</li> <li>- Hip roof</li> </ul> <p>Note: Refer below for Garage structural changes.</p>	Included
11 - 2		<p>Provide 6000mm x 3690mm (internally) Single attached garage in lieu of standard Double attached garage 6000mm x 5520mm (internally) including-</p> <ul style="list-style-type: none"> <li>- Brick veneer construction</li> <li>- Concrete slab floor</li> <li>- Painted plasterboard ceiling</li> <li>- 2100mm high x 4800mm wide Colorbond roller door with lightweight cladding above.</li> <li>- 820mm wide weatherproof flush panel rear access hinged door and 820mm wide flush panel hinged door to access dwelling.</li> <li>- 1No. Light point</li> <li>- 1No. double power point</li> <li>- Hip roof.</li> </ul>	-\$2,520
11 - 3		Provide 2040 x 820mm wide flush panel hinged door including keyed lockset from Garage to Theatre in lieu of standard.	\$319
<b>Grand Total - Garage</b>			<b>-\$2201.00</b>
<b>HWS</b>			
12 - 1		Provide an additional Rheem panel plinth solar collector to roof due to orientation of dwelling.	\$1,160
<b>Grand Total - HWS</b>			<b>\$1,160.00</b>
<b>Design</b>			
13 - 1		Note: 6 star energy rating is subject to confirmation for certified, re: orientation of dwelling on site.	Note Only
<b>Grand Total - Design</b>			<b>\$0.00</b>
<b>Miscellaneous</b>			

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Consultant Signature

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Client (person1)

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Client (person 2)

Item	Ref	Description	Price
14 - 1		Simonds Homes to apply for dispensation required for Garage wall height.	\$600

#### Grand Total - Miscellaneous

#### Big Brands Promotion 2011

15 - 1	Client to Pay \$20,000 and receive up to \$48,000 worth of upgrades	\$20,000
15 - 2	Client to Pay \$20,000 and receive up to \$48,000 worth of upgrades	-\$48,000
15 - 3	Provide 1 No. set of 600mm wide 2 No. pot drawers to kitchen Island bench in lieu of standard base cupboard. (Panelart finish)	\$200
15 - 4	Provide up to 1000mm overhead cupboard with doors above refrigerator space including vent, infills and 2No. end panels (if required) to kitchen elevation B wall (Panelart finish).	\$861
15 - 5	Provide 900mm long base cupboard with Everhard Benchtime 45 litre insert trough. Dorf Iwell Pin goose neck sink mixer and 400mm high ceramic tile splashback to laundry in lieu of standard trough (Panelart finish)	\$804
15 - 6	Provide 900mm overhead cupboard with door to laundry elevation A wall. (Panelart finish).	\$583
15 - 7	Provide 1 No. 300mm wide 2 No. drawer unit to vanity joinery cupboard including extension of benchtop and mirror to suit to bathroom. (Panelart finish)  Note: Subject to sufficient space permitted.	\$585
15 - 8	Provide 1 No. 300mm wide 2 No. drawer unit to vanity joinery cupboard including extension of benchtop and mirror to suit to ensuite. (Panelart finish)  Note: Subject to sufficient space permitted.	\$585
15 - 9	Provide engineered stone benchtop with 20mm arris edge detail to standard kitchen (excluding pantry) in lieu of standard.  Note: Engineered stone has individual characteristics, where variances may occur in colour texture. All individual qualitative are not detrimental to the stone's performance.  (Note - Engineered stone Benchtop exceeding 2700mm in length may have a join)  Note: From selected STANDARD RANGE	\$3,500
15 - 10	Provide additional telephone cover point(s) including cable to nominated rooms(s). [1No]  Note: Price is per point.  Note: Not available to Optic Fibre packages.	\$69
15 - 11	Provide additional TV point(s) including co-axial cable to nominated rooms(s) [1No.]  Note: Price is per point.  Note: Not available to Optic Fibre packages.	\$53
15 - 12	Provide additional external light point(s) in nominated location [1No.]  Note: Price is per point.	\$86
15 - 13	Provide up to 40 No. 95mm dia. Mirabella fluorescent white downlights (MB38) including light points.  Note: Includes 1 No. additional light circuit and additional safety switch.  Provide 2 No. Airflow radiant ensuite 6600A 2 heater/fan/lamp to bathroom and ensuite in lieu of standard light point and exhaust fan.	\$5,138 15 - 14 \$264

Consultant Signature

Client (person1)

Client (person 2)

Item	Ref	Description	Price
15 - 15		Provide DSC 6 Zone Security system with expandable to 16 zone (optional), 48 user codes, back up battery with internal and external sirens, 3 No. PIR sensors and 1 No. LCD Icon keypad. Note: Telephone point is not included.	\$1,290
15 - 16		Provide up to 50 M2 of builders range ceramic floor tiles laid on concrete (as per standard range and specification) to nominated rooms. Note: Feature floor tiling not included. Note: Includes flexible caulking at floor/wall junction.	\$4,500
15 - 17		Provide up to 180MC of Carpet Call Cresswell range carpet throughout dwelling excluding floor tiled areas. Note: Double storey homes only.	\$6,500
15 - 18		Note: 1200mm x 900mm shower compartment to Ensuite is standard. Note: Insufficient space for 1200mm x 900mm shower compartment to Bathroom.	Note Only
15 - 19		Provide 900mm x 900mm ceramic tiled shower base in lieu of 900mm x 900mm standard shower base. Note: Price is per shower.	\$654
15 - 20		Provide 1200mm x 900 ceramic tiled shower base in lieu of 1200mm x 900mm standard shower base. Note: Price is per shower.	\$880
15 - 21		Provide Irwell invigra shower on rail assembly (Chrome) to ensuite in lieu of standard shower rose. Note: Standard tapware to remain.	\$123
15 - 22		Provide Irwell invigra shower on rail assembly (Chrome) to bathroom in lieu of standard shower rose. Note: Standard tapware to remain.	\$123
15 - 23		Provide 750mm wide site build plaster lined broom cupboard including 2040mm x 520mm flush panel hinged door and 1 No. melamine shelf to laundry.	\$327
15 - 24		Provide 2740mm ceiling height to ground floor of dwelling only in lieu of standard (Double storey). Note: Garage ceiling height to remain standard. Note: Alter plaster bulkhead to 300mm deep. Note: Includes revised staircase and additional step treads.	\$5,229
15 - 25		Provide Grange semi - frameless 900mm x 900mm shower screen in lieu standard 900mm x 900mm shower screen. Note: Price is per shower screen	\$455
15 - 26		Provide Grange semi - frameless 1200mm x 900mm shower screen in lieu standard 900mm x 900mm shower screen. Note: Price is per shower screen.	\$455
15 - 27		Provide 600mm wide x 300mm high ceramic tiled niche to Ensuite shower wall. Note: Feature wall tiling not included.	\$220
15 - 28		Provide 600mm wide x 300mm high ceramic tiled niche to Bathroom shower wall. Note: Feature wall tiling not included.	\$220
15 - 29		Provide 2100mm high x 3070mm wide sectional lift up Colorbond garage door including remote control unit, 1 No. single power point for power connection and 2 No. hand held remote transmitter in lieu of standard. Note: Altima Range only.	\$1,352

Consultant Signature

Client (person1)

Client (person 2)

<b>Item</b>	<b>Ref</b>	<b>Description</b>	<b>Price</b>
15 - 30		Provide up to 20 M2 smooth render finish to nominated areas in lieu of face brickwork.  Note: Refer to 'External' for additional area. Note: Includes glass protection to rendered elevation windows. (for building purpose only).	\$1,540
15 - 31		Provide Austral Group 2 bricks to dwelling and garage in lieu of standard. Note: Double storey only. Note: Based on 2440mm ceiling height.	\$2,081
15 - 32		Provide up to 40M2 of 100mm reinforced coloured on sealed concrete paving to driveway and path.	\$3,720
15 - 33		Provide 2127 - 3 aluminium alfresco door to Family elevation C in lieu of standard aluminium sliding door. [W7]  Note: Flydoor not included.	\$607
15 - 34		Provide aluminium sliding flydoor with nylon mesh to nominated sliding door. Note: Locks are not available on flydoors. Note: Melbourne Metro Only.	\$290
15 - 35		Provide 4 No. additional 300mm overhead cupboards with doors to kitchen elevation B wall. (Panelart finish)  Note: Subject to sufficient space permitted.	\$900
15 - 36		Provide Technika FHEE26A9S 900mm stainless steel glass top canopy rangehood in lieu of standard slideout rangehood and overhead cupboards or standard canopy rangehood.	\$450
15 - 37		Provide Technika TB90F 900mm wide stainless steel fan forced electric oven in lieu of standard.  Note: Alter base cupboards to suit.	\$1,075
15 - 38		Provide Technika TB95GWSS-3 900mm stainless steel gas cooktop in lieu of standard cooktop.  Note: Altima Range only.	\$284
15 - 39		Provide Clark Riva Plus 5908 double bowl stainless steel undermount kitchen sink in lieu of standard.  Note: Only available with stone benchtops. Note: Includes cut and polish for sink cut out and tap hole.	\$829
15 - 40		Provide Dorf Krysten veggie spray sink mixer to kitchen in lieu of standard.	\$267
15 - 41		Provide capped gas point to nominated external wall.  Note: Point must be within 5.0m of existing service in home.	\$151
15 - 42		Provide 3 No. chrome plated pup-up waste to Powder Room, Bathroom & Ensuite vanity basing in lieu of standard plug and waste.  Note: Price is per basin.	
15 - 43		Provide Gainsborough privacy lever Fiora/Lianna passage set to Powder Room, Master Bedroom, Bathroom and WC in lieu of standard door furniture (Bright Chrome or Satin Chrome).  Note: Price is per unit.	\$88
15 - 44		Provide Gainsborough Omni Trilock Pull handle to front entry door and Villa entrance set to garage access door in lieu of standard.	\$430
15 - 45		Provide Caroma Cosmo chrome toilet roll holder to Powder Room & First floor WC (2 No. Total)	\$104
15 - 46		Provide cost adjustment for Promotion Buffer.  Note: Credit value to be less than \$50,000.	\$37
<b>Group Total - Big Brands Promotion 2011</b>			<b>\$20,000.00</b>

Consultant Signature

Client (person1)

Client (person 2)

Item Ref	Description	Price
<b>Colour Gallery Variations</b>		
16 - 1	Provide the following design changes to WINDOWS including: 1) Provide DMT 2118 to W2 2) Provide DMT 1218 to W19. 3) Provide 1No. DMT 2118 in lieu of 2No. W10 & W11	\$295
16 - 2	Provide Corinthian PMAD 104 with translucent Glazing in lieu of standard.	\$350
16 - 3	Provide the following design changes to KITCHEN including: 1) Provide 6 No. 530mm wide Overhead cupboards in lieu of 4 No. 300mm wide as per Promotion. 2) Provide 4 No. 100mm wide Pot drawers in lieu of 4 No. 600mm wide Pot drawers. 3) Provide 2 No. 600mm wide base cupboards either side of pot drawers. 4) Provide 3 No. 650mm wide Laminate Pantry cupboards in lieu of site built Pantry. 5) Provide additional 20mm Caesarstone in addition to Promotional inclusion. Note: Plaster lined stud walls provided to fridge space elevation A, B & C to suit sewer stack location.	\$4,551
16 - 4	Relocate rear Garage door towards elevation D in lieu of current location.	Note Only
16 - 5	Provide Gainsborough 6207 Wall Stop to Front door only hinged door in lieu of standard.	\$15
16 - 6	Provide Technika TU950TME8 900mm wide stainless steel multi-function dual fuel upright cooker in lieu of Technika TB90F 900mm wide stainless steel fan forced electric oven and Technika TB95GWSS-3 900mm stainless steel gas cooktop as per Promo.	\$520
16 - 7	Provide Carpet call Cat 3 carpet with Gold Rubber underlay in lieu of Cat 2 as per Promotion.	\$1,039
16 - 8	Clients have been given a NO cost Technika Dishwasher. Note: Model TDX7SS has been selected.	Note Only
16 - 9	Provide Caroma Mystic shower rail assembly to bathroom & Ensuite in lieu of standard shower rose. Note: Standard tapware to remain.	\$330
16 - 10	DELETE 2No. Invigra Hand & Shower rails to bathroom & Ensuite in lieu Promotion.	\$330
16 - 11	Provide 6 No. group 3 handles MX47 to Kitchen Pot drawers in lieu of standard.	\$72
<b>Group Total - Colour Gallery Variations</b>		<b>\$6926.00</b>

<b>Switched On Variations</b>		
17 - 1	Provide additional external light point to nominated location (3 No.)	\$258
17 - 2	Provide additional single power point (internal) to nominated location (1 No.)	
17 - 3	Provide additional double power point (internal) to nominated location (1 No.)	\$58
17 - 4	Provide single waterproof power point(s) to nominated location (1 No.)	\$101
17 - 5	Provide additional TV point including co-axial cable to nominated room(s) Note: Client to provide splitter box/antenna after handover (2 No.)	\$106

Consultant Signature	Client (person1)	Client (person 2)
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Item	Ref	Description	Price
17 - 6		Provide quad power point to nominated location in lieu of double power point. (1No).	\$46
17 - 7		Provide Mode 3 telephone point to nominated room. (1 No.)	\$69
17 - 8		Provide an additional LCD Icon keypad to DSC 6 zone security system.	\$204
<b>Group Total - Switched On Variations</b>			<b>\$893.00</b>
<b>Tile Gallery Variation</b>			
18 - 1		Supply and Install floor and wall tiles as per signed and attached Simonds Tiles quotation. Date: 8/10/12 Quote Number: 16834	\$5,633
<b>Grand Total - Tile Gallery Variation</b>			<b>\$5633.00</b>
<b>Document Total</b>			<b>Total Price</b>
			<b>\$287,378.00</b>

**Notes:**

1. This document is not to be altered under any circumstances.
2. All prices are inclusive of GST.
3. Payment (if applicable) is to be made with the next progress payment after the work has been completed.
4. Simonds Homes provide standard size ceramic tiles (300mm x 300mm floor tiles, 200mm x 200mm ceramic wall tiles). Tiles outside the standard size or of different material (eg. marble, porcelain or granite) may require additional preparation to the subfloor and will incur additional cost to client.
5. Client to arrange for property to be cleared prior to commencement of construction, i.e. grass to be mowed / slashed, trees and shrubs to be removed as required.
6. Connection include: Main sewerage and storm water (within property boundaries), Water tapping (same side-short tapping), Gas service line up to 20m, Power connection from front property of boundary, except where work is carried out by client as specified in the document.  
(Note: Excludes statutory body fees, contribution fees and under road bores for water tapping).
7. Renewable Energy Certificate (REC) Government rebate is included in the total cost therefore will be claimed by Simonds Homes. The REC points remain property of Simonds Homes.

**Acceptance**

Please sign and date to indicate acceptance of this document.

Builder	Date	
Client (Person 1)	Date	
Consultant Signature	Client (person1)	Client (person 2)

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Client (Person 2)

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Date

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Consultant Signature

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Client (person1)

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Client (person 2)

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Consultant Signature

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Client (person1)

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Client (person 2)

**STANDARD INCLUSIONS**

Altima Metro Specifications V14

Effective: 21/09/2011 12:00:00 AM

**KITCHEN**

Technika 600mm wide electric underbench oven Model No TB64GW Technika  
 600mm wide gas cooktop Model No. TB64GW Technika 600mm wide slide-out rangehood Model No. SL1/01/60I (with laminated overhead cabinets)  
 OR

Technika 600mm canopy ranged hood Model No. CHEM52C6S (without overhead cabinets) 250mm exhaust fan including self sealing air flow draft stopper over cooktop (specific to Auburn 1600)

Clark Radiant Home R150 1 3/4 bowl Stainless Steel sink including basket waste

Fully lined laminated base with laminate post formed bench top including overhead cupboards (as per working drawings).

Appliances available in stainless steel only Dorf mixer tap - (Selection of styles)

Dishwasher space with single power point and plumbing connection

**BATHROOM AND ENSUITE** Fully lined laminated base cabinet with laminate post formed or square edge benchtop.

Caroma vitreous china above counter hand basins (white) - (Selection of styles)

Caroma acrylic designer bath (white) set in a tiled suite (white) including skirted pan and enclosed trap

Caroma dual flush vitreous china close coupled toilet suite (white) including skirted pan and enclosed trap

Polished edge mirrors - above vanity benchtop

Showers - laminated glass pivot doors and colour matched frames with polymarble base

Dorf Irwell pin lever mixer tapware (selection of styles). Dorf shower rose and 220mm wall bath outlet

250mm exhaust fans including self sealing air flow draft stoppers to bathroom & ensuite

**LAUNDRY** Feature  
 45lt trough with polymer bowl and powder coated steel cabinet (white)

Dorf wall mounted washing machine taps

**CERAMIC TILING (From Builders Standard Range)** to kitchen, bathroom, ensuite and laundry

Floor tiles to bathroom, ensuite, WC and laundry  
 skirting tiles to bathroom, ensuite, powder room, WC and laundry (as per working drawings)

**WINDOWS & EXTERNAL DOORS** aluminium windows including window locks

Corinthian Solidcarve PSC4 entry door

Gainsborough external door furniture including lever handle set, single cylinder deadlock, trim plate with logo & key in knob entry set to garage access door.

**GARAGE**

Colorbond roller door to front

Weatherproof hinged flush panel access door

**INSULATION R3.5** batts to ceiling of roof space only (excludes garage)

R2.0 Glasswood wall batts including insulation to external brick veneer walls (excluding garage) and wall between garage and house.

**CEILINGS**

2440mm (overall plates) standard ceiling height

**STAIRS - 2 Storey**

MDF treads and MDF rises paint finish - (plan specific)

Baluster and handrail - (House specific)

**WATER SERVICE** Rheem 160 litre Lo Line

Gas Booster with 20L Continuous Flow Booster 1No. Solar Collector and the necessary electrical and plumbing connections. Note: Panel and storage tank positioned at the Builders discretion. Additional solar panel may be required at clients expense subject to orientation of dwelling.

**ROOFING** concrete colour on roof tile. Selection from builders range. Monier Colorbond fascia & gutter

**FIXING** 42mm MDF square dressed or pencil round architraves and 67mm MDF square dressed or pencil round skirtings Hinged opening doors to wardrobes (as shown on plans). PLASTER Cornice - 75mm cove

**PAINT - Haymes 2 Coat Application** Low sheen acrylic to external timber work Low sheen acrylic to internal walls acrylic to ceilings (white optional) Gloss finish to internal woodwork finish to front entry and internal doors Note: Walls, woodwork and ceiling to be one colour throughout (White ceilings optional)

**FOUNDATIONS**

Class 'M' concrete slab

**HEATING (NATURAL GAS ONLY)**

Gas ducted heating unit in roof space Wall Heater (specific to Auburn 1600)

**ELECTRICAL** Double power point and batten light points as per standard electrical layout

Safety switches (earth leakage detector) detectors

Telephone point to kitchen 1 No. TV Point

1 No. external light point outside laundry

**CONNECTION COSTS**

Connection of services (water, gas, electricity, sewer, telephone)

conduit & stormwater) based on 650mm<sup>2</sup> blocks with 300mm fall & 5m setback. Does not include electricity and telephone consumer

Account opening fees.

2No. external taps

**STRUCTURAL**

7 Year structural guarantee Pine wall framing and pine truss roof

**NOTES**

NB: Display items such as furniture, light fittings (incl. 12v Halogens).

Fireplaces, air conditioning, landscaping and paving, security system

and floor tiling to areas other than wet areas, carpets, fencing & Driveway are not included. Simonds Homes

reserves the right to substitute the make, model or type of any of the above products to

maintain the quality & product development of its homes.

**CLIENT(S) TO SIGN BELOW**

# Colour Selection

Complete colour, fittings and tile selection document



Job Number:	33837	Contact:	
Client Name:		Administrator:	Breanna Burns
Job Address:		Product Consultant:	[Unk]
Phone (M):	(H):	Colour Consultant:	Rhonda Nicholson
House Package:	Parkside Fusion	Sales Consultant:	Tahjn Hammill
Document:	1	Prepared:	10/09/12
Raised By:	Rhonda Nicholson	Status:	Final
Item			
Selection Level 1	Selection Level 2	Selection Level 3	Selection Level 4
<b>External Materials and Fixtures Selection</b>			
<b>External Materials &amp; Fixtures</b>			
Bricks			
Manufacturer	Austral	Group	Group 2
		Series	[Not Applicable]
		Colour	Homestead Tan
Expansion Joints			Colour
			Redwood
Mortar Joints		Style	Rolled
		Colour	Grey (Natural) Cement
Roof Tiles			
Manufacturer	Monier Concrete	Category	Category 1
		Profile	ELABANA
		Colour	Sambuca
Garage Door			
Make/Style	B&D Sectional Overhead	Model	Panelmasta
		Profile	Contemporary
		Colour	Dune
		NOTE: REMOTE INCLUDED	
Colorbond Roof			Colour
			Monument
			PORCH
Colorbond Fascia			Colour
			Monument
Colorbond Gutter			Colour
			Monument
Aluminium Windows - Front		Manufacturer	Dowell
		Colour	Dune
Aluminium Windows - Sides & Rear		Manufacturer	Dowell
		Colour	Dune
Aluminium Door Frames - Laundry & Meals		Manufacturer	Dowell
		Colour	Dune
Flywire Frames - Front			Colour
			Dune
Flywire Frames - Sides & Rear			Colour
			Dune
Front Door	Manufacturer	Corinthian	Selection
			Madison PMAD 104
		Glazing	Translucent
Window Glazing	Options	Bathroom, Ensuite, WC1, WC2 (If app), Powder (If app)	Colour
			Clear

Builder Initial / .....

Client 1 Initial / .....

Client 2 Initial / .....

## Colour Selection

Job Number:	33837	Document:	1	Contact:			
Client Name:				Administrator:	Breanna Burns		
Job Address:				Product Consultant:	[Unk]		
Phone (M):	G: (H):	(W):		Colour Consultant:	Rhonda Nicholson		
House Package:	Parkside Fusion			Sales Consultant:	Tahjn Hammill		
<b>Item</b>							
	<b>Selection Level 1</b>	<b>Selection Level 2</b>	<b>Selection Level 3</b>	<b>Selection Level 4</b>			
Paving	Finish	Coloured On Concrete	Pattern	[Not Applicable]	Colour Black		
Water Tank				Water Tank	(Not Applicable)		
<b>External Paint Selection</b>							
<b>External Paint</b>							
Front Door (outside of door)	Manufacturer	Haymes Paint	Finish	Ultra Premium Gloss	Colour Other ASMARA NG36 (RED) A DISCLAIMER TO BE SIGNED		
Front Door Frame (timber)	Manufacturer	Haymes Paint	Finish	Ultra Premium Gloss	Colour Other ASMARA NG36 (RED) A DISCLAIMER TO BE SIGNED		
Rear Door (outside of door)	Manufacturer	Haymes Paint	Finish	Ultra Premium Gloss	Colour Match C/B Dune		
Rear Door Frame (timber)	Manufacturer	Haymes Paint	Finish	Ultra Premium Gloss	Colour Match C/B Dune		
Downpipes	Manufacturer	Haymes Paint	Finish	Solarshield Low Sheen	Colour Match C/B Monument (U'coat TU6)		
Meter Box	Manufacturer	Haymes Paint	Finish	Solarshield Low Sheen	Colour Match C/B Monument (U'coat TU6)		
Eaves Lining	Manufacturer	Haymes Paint	Finish	Matt Solarshield	Colour Simonds White		
Weatherboard	Manufacturer	Haymes Paint	Finish	Solarshield Low Sheen	Colour BAKED CLAY 2914T SHADOWCLAD		
Render	Manufacturer	Unitex - Render	Finish	Finish 155	Colour Other RETREAT		
<b>Internal Paint Selection</b>							
<b>Internal Paint</b>							
<b>Entry/Passage</b>							
Wall Finish	Newlife Premium Washable Low Sheen	Wall Colour	MINIMALIST NG12	Ceil/Cornice Finish	Newlife Ceiling Finish	Ceil/Cornice Colour	MINIMALIST NG12
Lounge/Dining							

Builder Initial / .....

Client 1 Initial / .....

Client 2 Initial / .....

## Colour Selection

<b>Job Number:</b>	33837	<b>Document:</b>	1	<b>Contact:</b>	C		
<b>Client Name:</b>				<b>Administrator:</b>	Breanna Burns		
<b>Job Address:</b>				<b>Product Consultant:</b>	[Unk]		
<b>Phone (M):</b>	C	: (H):	(W):	<b>Colour Consultant:</b>	Rhonda Nicholson		
<b>House Package:</b>	Parkside Fusion			<b>Sales Consultant:</b>	Tahjn Hammill		
<b>Item</b>							
<b>Selection Level 1</b>		<b>Selection Level 2</b>		<b>Selection Level 3</b>		<b>Selection Level 4</b>	
<b>Wall Finish</b>	Newlife Premium Washable Low Sheen	<b>Wall Colour</b>	MINIMALIST NG12	<b>Ceil/Cornice Finish</b>	Newlife Ceiling Finish	<b>Ceil/Cornice Colour</b>	MINIMALIST NG12
<b>Rumpus/Leisure</b>							
<b>Wall Finish</b>	Newlife Premium Washable Low Sheen	<b>Wall Colour</b>	MINIMALIST NG12	<b>Ceil/Cornice Finish</b>	Newlife Ceiling Finish	<b>Ceil/Cornice Colour</b>	MINIMALIST NG12
<b>Studio/Gallery</b>							
<b>Wall Finish</b>	Newlife Premium Washable Low Sheen	<b>Wall Colour</b>	MINIMALIST NG12	<b>Ceil/Cornice Finish</b>	Newlife Ceiling Finish	<b>Ceil/Cornice Colour</b>	MINIMALIST NG12
<b>Study</b>							
<b>Wall Finish</b>	Newlife Premium Washable Low Sheen	<b>Wall Colour</b>	MINIMALIST NG12	<b>Ceil/Cornice Finish</b>	Newlife Ceiling Finish	<b>Ceil/Cornice Colour</b>	MINIMALIST NG12
<b>Kitchen</b>							
<b>Wall Finish</b>	Newlife Premium Washable Low Sheen	<b>Wall Colour</b>	MINIMALIST NG12	<b>Ceil/Cornice Finish</b>	Newlife Ceiling Finish	<b>Ceil/Cornice Colour</b>	MINIMALIST NG12
<b>Family/Meals</b>							
<b>Wall Finish</b>	Newlife Premium Washable Low Sheen	<b>Wall Colour</b>	MINIMALIST NG12	<b>Ceil/Cornice Finish</b>	Newlife Ceiling Finish	<b>Ceil/Cornice Colour</b>	MINIMALIST NG12
<b>Laundry</b>							
<b>Wall Finish</b>	Newlife Premium Washable Low Sheen	<b>Wall Colour</b>	MINIMALIST NG12	<b>Ceil/Cornice Finish</b>	Newlife Ceiling Finish	<b>Ceil/Cornice Colour</b>	MINIMALIST NG12
<b>Bedroom 1</b>							
<b>Wall Finish</b>	Newlife Premium Washable Low Sheen	<b>Wall Colour</b>	MINIMALIST NG12	<b>Ceil/Cornice Finish</b>	Newlife Ceiling Finish	<b>Ceil/Cornice Colour</b>	MINIMALIST NG12
<b>Bedroom 2</b>							
<b>Wall Finish</b>	Newlife Premium Washable Low Sheen	<b>Wall Colour</b>	MINIMALIST NG12	<b>Ceil/Cornice Finish</b>	Newlife Ceiling Finish	<b>Ceil/Cornice Colour</b>	MINIMALIST NG12
<b>Bedroom 3</b>							
<b>Wall Finish</b>	Newlife Premium Washable Low Sheen	<b>Wall Colour</b>	MINIMALIST NG12	<b>Ceil/Cornice Finish</b>	Newlife Ceiling Finish	<b>Ceil/Cornice Colour</b>	MINIMALIST NG12
<b>Bedroom 4</b>							
<b>Wall Finish</b>	Newlife Premium Washable Low Sheen	<b>Wall Colour</b>	MINIMALIST NG12	<b>Ceil/Cornice Finish</b>	Newlife Ceiling Finish	<b>Ceil/Cornice Colour</b>	MINIMALIST NG12
<b>Powder Room</b>							
<b>Wall Finish</b>	Newlife Premium Washable Low Sheen	<b>Wall Colour</b>	MINIMALIST NG12	<b>Ceil/Cornice Finish</b>	Newlife Ceiling Finish	<b>Ceil/Cornice Colour</b>	MINIMALIST NG12
<b>Bathroom</b>							
<b>Wall Finish</b>	Newlife Premium Washable Low Sheen	<b>Wall Colour</b>	MINIMALIST NG12	<b>Ceil/Cornice Finish</b>	Newlife Ceiling Finish	<b>Ceil/Cornice Colour</b>	MINIMALIST NG12
<b>WC</b>							
<b>Wall Finish</b>	Newlife Premium Washable Low Sheen	<b>Wall Colour</b>	MINIMALIST NG12	<b>Ceil/Cornice Finish</b>	Newlife Ceiling Finish	<b>Ceil/Cornice Colour</b>	MINIMALIST NG12

Builder Initial / .....

Client 1 Initial / .....

Client 2 Initial / .....

## Colour Selection

Job Number:	33837	Document:	1	Contact:	
Client Name:				Administrator:	Breanna Burns
Job Address:				Product Consultant:	[Unk]
Phone (M):	0422 003 538 G; (H):	(W):		Colour Consultant:	Rhonda Nicholson
House Package:	Parkside Fusion			Sales Consultant:	Tahjn Hammill

Item							
Selection Level 1		Selection Level 2		Selection Level 3		Selection Level 4	
Ensute/WC							
Wall Finish	Newlife Premium Washable Low Sheen	Wall Colour	MINIMALIST NG12	Ceil/Cornice Finish	Newlife Ceiling Finish	Ceil/Cornice Colour	MINIMALIST NG12
<b>Internal Woodwork</b>							
Conices							
Robe Door							
		Manufacturer	Haymes Paint	Finish	Newlife Premium Gloss Enamel	Colour	MINIMALIST NG12
Skirtings/Architraves							
		Manufacturer	Haymes Paint	Finish	Newlife Premium Gloss Enamel	Colour	MINIMALIST NG12
Internal Doors							
		Manufacturer	Haymes Paint	Finish	Newlife Premium Gloss Enamel	Colour	MINIMALIST NG12
<b>Internal Fittings Selection</b>							
<b>Kitchen</b>							
Kitchen Cabinet Benchtops							
		Finish	CaesarStone	Profile	20mm Arris	Colour	Osprey
Kitchen Cabinet Panels							
		Finish	Polytec Melamine - MATT	Profile	S/Edge	Colour	Polar White
Feature Kickboard							
				Finish	Polytec Melamine - MATT	Colour	Other
						ALUMINIUM	
Upright Cooker							
Manufacturer	Technika	Selection	Upright	Model	TU950TME8 900mm	Colour	Stainless Steel
Rangehood							
Manufacturer	Technika	Selection	Canopy	Model	FHEE26A9S	Colour	Stainless Steel
NOTE: EXTERNAL VENTING AS PER STANDARD							
Dishwasher							
Manufacturer	TECHNIKA	Selection	DISHWASHER	Model	TDX7SS	Colour	S/STEEL
NO CHARGE AS PER GARY SIMONDS - SEE SARA CROSS							
Kitchen Sink							
				Manufacturer	Clark	Selection	5908 - Riva Double B Undermount 410 x 330 Bowl
<b>Taps - Kitchen</b>							

Builder Initial / .....

Client 1 Initial / .....

Client 2 Initial / .....

## Colour Selection

Job Number:	33837	Document:	1	Contact:	
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Job Address:				Product Consultant:	[Unk]
Phone (M):	0422 003 538 G (H):	(W):		Colour Consultant:	Rhonda Nicholson
House Package:	Parkside Fusion			Sales Consultant:	Tahjn Hammill

## Item

Selection Level 1		Selection Level 2		Selection Level 3		Selection Level 4	
Manufacturer	Dorf	Range	Krysten Vegy Spray (Note: 36mm cutout req if fitted to stone benchtop)	Selection		Finish	Chrome Finish
				VEGGIE SPRAYER		CHROME	

## Butler's Pantry

Bathroom							
----------	--	--	--	--	--	--	--

## Vanity Benchtops

	Finish	Polytec Laminate - MATT	Profile	D Mould	Colour	Snow Fabrini
--	--------	-------------------------	---------	---------	--------	--------------

## Vanity Cabinet Panels

	Finish	Polytec Melamine - MATT	Profile	S/Edge	Colour	Tessuto Milan
--	--------	-------------------------	---------	--------	--------	---------------

## Shower Base/Screen

Base	Tiled Base	Range	Grange Series - Semi Frameless	Frame	Grange - Silver	Glass	Clear
------	------------	-------	--------------------------------	-------	-----------------	-------	-------

## Shower Door

			Selection	Pivot Door	Handle/Trim	Grange - Silver
--	--	--	-----------	------------	-------------	-----------------

## Bath

Manufacturer	Caroma	Selection	Standard	Style	NEWBURY (Square) 1700	Colour	White
--------------	--------	-----------	----------	-------	-----------------------	--------	-------

## Vanity Basin

	Selection	Standard	Style	CARBONI Above Counter (Square)	Colour	White
POP UP WASTE						

## Mirror

			Selection	Polished Edge
--	--	--	-----------	---------------

## Taps - Vanity Basin

Manufacturer	Irwell	Range	Irwell Pin (Square)	Selection	Basin Single Lever Mixer	Finish	Chrome Finish
--------------	--------	-------	---------------------	-----------	--------------------------	--------	---------------

## Taps - Shower

Manufacturer	Irwell	Range	Irwell Pin (Square)	Selection	Shower Single Lever Mixer & Mystic Shower Rail	Finish	Chrome Finish
--------------	--------	-------	---------------------	-----------	--	--------	---------------

## Taps - Bath

Manufacturer	Irwell	Range	Irwell Pin (Square)	Selection	Single Lever Mixer & 220mm Straight Spout	Finish	Chrome Finish
--------------	--------	-------	---------------------	-----------	---	--------	---------------

## WC

Toilet Suite			Style	Caroma STYLUS VENECIA CLOSE COUPLED	Colour	White
ENSUITE						

## Vanity Benchtops

	Finish	Polytec Laminate - MATT	Profile	D Mould	Colour	Snow Fabrini
--	--------	-------------------------	---------	---------	--------	--------------

Builder Initial / .....

Client 1 Initial / .....

Client 2 Initial / .....

## Colour Selection

Job Number:	33837	Document:	1	Contact:	
Client Name:				Administrator:	Breanna Burns
Job Address:				Product Consultant:	[Unk]
Phone (M):	0422 003 538 G (H):	(W):		Colour Consultant:	Rhonda Nicholson
House Package:	Parkside Fusion			Sales Consultant:	Tahjn Hammill

## Item

Selection Level 1		Selection Level 2		Selection Level 3		Selection Level 4	
Cabinet Panel Style		Finish	Polytec Melamine - MATT	Profile	S/Edge	Colour	Tessuto Milan
Shower Base/Screen							
Base	Tiled Base	Range	Grange Series - Semi Frameless	Frame	Grange - Silver	Glass	Clear
Shower Door				Selection	Pivot Door	Handle/Trim	Grange - Silver
Vanity Basin		Selection	Standard	Style	CARBONI Above Counter (Square)	Colour	White
				POP UP WASTE			
Toilet Suite				Style	Caroma STYLUS VENECIA CLOSE COUPLED	Colour	White
Mirror					Selection	Polished Edge	
Taps - Vanity Basin							
Manufacturer	Irwell	Range	Irwell Pin (Square)	Selection	Basin Single Lever Mixer	Finish	Chrome Finish
Taps - Shower							
Manufacturer	Irwell	Range	Irwell Pin (Square)	Selection	Shower Single Lever Mixer & Mystic Shower Rail	Finish	Chrome Finish
<b>Powder Room</b>							
Vanity Benchtops		Finish	Polytec Laminate - MATT	Profile	D Mould	Colour	Snow Fabrini
Vanity Cabinet Panels		Finish	Polytec Melamine - MATT	Profile	S/Edge	Colour	Tessuto Milan
Vanity Basin		Selection	Standard	Style	CARBONI Above Counter (Square)	Colour	White
				POP UP WASTE			
Toilet Suite				Style	Caroma STYLUS VENECIA CLOSE COUPLED	Colour	White
Mirror					Selection	Polished Edge	
Taps - Vanity Basin							
Manufacturer	Irwell	Range	Irwell Pin (Square)	Selection	Basin Single Lever Mixer	Finish	Chrome Finish

Builder Initial / .....

Client 1 Initial / .....

Client 2 Initial / .....

Colour Selection

Job Number:	33837	Document:	1	Contact:	
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Job Address:				Product Consultant:	[Unk]
Phone (M):	0422 003 538 G: (H):	(W):		Colour Consultant:	Rhonda Nicholson
House Package:	Parkside Fusion			Sales Consultant:	Tahjn Hammill

Item

Selection Level 1	Selection Level 2	Selection Level 3	Selection Level 4
<b>Bathroom 2</b>			
<b>Bathroom 3</b>			
<b>Laundry</b>			
<b>Laundry Benchtops</b>			
	Finish	Polytec Laminate - MATT	Profile D Mould Colour Snow Fabrini
<b>Laundry Cabinet Panels</b>			
	Finish	Polytec Melamine - MATT	Profile S/Edge Colour Tessuto Milan
<b>Laundry Trough</b>			
		Manufacturer Everhard	Colour Benchline 45 litre SS insert trough
<b>Taps - Laundry</b>			
Manufacturer	Irwell	Range	Irwell Pin (Round) Selection Round Gooseneck Mixer (round pin) & WM Set Finish Chrome Finish
<b>Cabinet Handles</b>			
<b>Kitchen Handles - Main</b>			
Manufacturer	Claytons	Selection	Handle Colour MX43 HALE SS Look Fixing Horizontal
<b>Kitchen Handles - Feature 1</b>			
Manufacturer	Claytons	Selection	Handle Colour MX47 Hale SS Look Fixing Horizontal TO 6 NO POT DRAWERS
<b>Bathroom Handles - Main</b>			
Manufacturer	Claytons	Selection	Handle Colour MX47 Hale SS Look Fixing Horizontal
<b>Bathroom Knobs - Main</b>			
Manufacturer	Claytons	Selection	Handle Colour MX43 HALE SS Look Fixing Horizontal TO DRAWERS
<b>Ensuite Handles - Main</b>			
Manufacturer	Claytons	Selection	Handle Colour MX47 Hale SS Look Fixing Horizontal
<b>Ensuite Knobs - Main</b>			
Manufacturer	Claytons	Selection	Handle Colour MX43-HALE SS Look Fixing Horizontal TO DRAWERS
<b>Powder Room Handles - Main</b>			
Manufacturer	Claytons	Selection	Handle Colour MX47 Hale SS Look Fixing Horizontal
<b>Laundry Handles - Main</b>			
Manufacturer	Claytons	Selection	Handle Colour MX43 HALE SS Look Fixing Horizontal TO DRAWERS
<b>Doors - External</b>			
<b>Door Furniture - Front Entry</b>			

Builder Initial / .....

Client 1 Initial / .....

Client 2 Initial / .....

## Colour Selection

<b>Job Number:</b>	33837	<b>Document:</b>	1	<b>Contact:</b>	
<b>Client Name:</b>				<b>Administrator:</b>	Breanna Burns
<b>Job Address:</b>			65	<b>Product Consultant:</b>	[Unk]
<b>Phone (M):</b>	0422 003 538 G; (H):	(W):		<b>Colour Consultant:</b>	Rhonda Nicholson
<b>House Package:</b>	Parkside Fusion			<b>Sales Consultant:</b>	Tahjn Hammill

<b>Item</b>							
<b>Selection Level 1</b>		<b>Selection Level 2</b>		<b>Selection Level 3</b>		<b>Selection Level 4</b>	
<b>Manufacturer</b>	Gainsborough	<b>Range</b>	Gainsborough	<b>Selection</b>	Omni Tri-lock - Allure Lever	<b>Colour</b>	Brushed Satin Chrome
<b>Laundry</b>							
<b>Manufacturer</b>	Dowell	<b>Selection Type</b>	Aluminium Sliding Glass Door	<b>Glazing</b>	Clear	<b>Sidelights</b>	[Not Applicable]
<b>Door Furniture - Laundry</b>							
<b>Manufacturer</b>	Dowell	<b>Range</b>	Dowell	<b>Selection</b>	Sliding Door Lock	<b>Colour</b>	[Not Applicable]
<b>Garage (Hinged Door)</b>							
<b>Manufacturer</b>	Corinthian	<b>Selection Type</b>	Weatherproof Flush Panel	<b>Glazing</b>	[Not Applicable]	<b>Sidelights</b>	[Not Applicable]
<b>Door Furniture - Garage (hinged)</b>							
<b>Manufacturer</b>	Gainsborough	<b>Range</b>	Gainsborough	<b>Selection</b>	Villa entrance	<b>Colour</b>	SC - Satin Chrome
<b>Access from House to Garage</b>							
<b>Manufacturer</b>	Corinthian	<b>Selection Type</b>	Flush Panel	<b>Glazing</b>	[Not Applicable]	<b>Sidelights</b>	[Not Applicable]
<b>Door Furniture - Access to Garage</b>							
<b>Manufacturer</b>	Gainsborough	<b>Range</b>	Gainsborough	<b>Selection</b>	Villa entrance	<b>Colour</b>	SC - Satin Chrome
<b>Doors - Internal</b>							
<b>Internal Doors</b>		<b>Manufacturer</b>	Corinthian	<b>Selection</b>	Flush Panel	<b>Glazing</b>	[Not Applicable]
<b>Door Furniture - Internal</b>							
<b>Manufacturer</b>	Gainsborough	<b>Range</b>	Gainsborough	<b>Selection</b>	Lianna with 12mm Steel Rail 96mm-146mm pull handle (to pantry, linen & robes, where applicable)	<b>Colour</b>	SC - Satin Chrome
					NOTE 6207 DOOR STOP TO FRONT DOOR ONLY	NOTE- PRIVACY LOCK TO POWDER ROOM - MASTER BEDROOM - BATHROOM & WC	
<b>Hinges/Strikeplates</b>						<b>Colour</b>	Chrome
<b>Doors - Wardrobe</b>							
<b>Bedroom 2</b>							
<b>Manufacturer</b>	Corinthian	<b>Type</b>	Flush Panel	<b>Frame/Track</b>	[Not Applicable]	<b>Colour</b>	[Not Applicable]
<b>Bedroom 3</b>							
<b>Manufacturer</b>	Corinthian	<b>Type</b>	Flush Panel	<b>Frame/Track</b>	[Not Applicable]	<b>Colour</b>	[Not Applicable]
<b>Bedroom 4</b>							
<b>Manufacturer</b>	Corinthian	<b>Type</b>	Flush Panel	<b>Frame/Track</b>	[Not Applicable]	<b>Colour</b>	[Not Applicable]
<b>Linen</b>							
<b>Manufacturer</b>	Corinthian	<b>Type</b>	Flush Panel	<b>Frame/Track</b>	[Not Applicable]	<b>Colour</b>	[Not Applicable]
<b>Carpet</b>							
<b>Carpet</b>							

Builder Initial / .....

Client 1 Initial / .....

Client 2 Initial / .....

## Colour Selection

Job Number:	33837	Document:	1	Contact:	
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Job Address:				Product Consultant:	[Unk]
Phone (M):	0422 003 538 G: (H):	(W):		Colour Consultant:	Rhonda Nicholson
House Package:	Parkside Fusion			Sales Consultant:	Tahjn Hammill

## Item

Selection Level 1	Selection Level 2	Selection Level 3	Selection Level 4
CARPET CALL	CAT 3 WITH GOLD RUBBER UNDERLAY	Range	ROMANCE
LOCATED TO LONGE ROOM - ENTIRE STAIRCASE - ALL OF FIRST FLOOR EXCLUDING WET ARES			

## Miscellaneous

Heating Duct Covers	Location	Ceiling	Colour	White
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## Skirting &amp; Architraves

	Skirting & Architraves	67mm MDF SQUARE DRESSED Skirting & 42mm MDF SQUARE DRESSED Architraves(12m m)
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## Rumpus Room

## Theatre

**Thank-you for choosing Simonds Homes to build your home.**

Please read this document carefully with the understanding that once signed it will be placed into Final Status.

"Any further changes to this document after this appointment may incur an administrative fee of up to \$500."

Please sign and date to indicate that the information is correct and that you have read and understood this document.

Client 1 Signature \_\_\_\_\_ Date \_\_\_\_\_

Client 2 Signature \_\_\_\_\_ Date \_\_\_\_\_

Builder Signature \_\_\_\_\_ Date \_\_\_\_\_

Checked By \_\_\_\_\_ Date \_\_\_\_\_

(Amendments permitted by authorised Simonds Homes Melbourne Pty Ltd decorators only)

# CUSTOMER QUOTATION

Quote Number: 449568

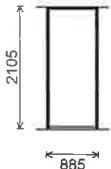
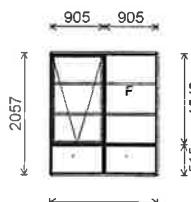
Version: 2

Page 1

Customer Details	Quote Details
<b>SIMONDS HOMES</b> <b>LOCKED BAG 4002</b> <b>SOUTH MELBOURNE VIC 3205</b> <b>VIC</b> Phone: 03 9682 0800 Fax 9993 8153      Client Code: D23020	Quote No : 449568 Quote Date: 12/06/2013 Sales Rep: SIMONDS HOMES - V058 Sales Rep Phone: 9721 0774 Sales Rep Fax: 9721 0720 Quote Valid Until : 12/07/2013 Estimated Delivery Date:
<b>Delivery Address</b>	
Comments : AC - 33837 - BAL LOW - POLY THROUGHOUT	

ALL FRAMES ARE VIEWED FROM OUTSIDE

SIZES SHOWN ARE ALUMINIUM FRAME SIZES. PLEASE MAKE CORRECT ADJUSTMENTS FOR STUD OPENING SIZES

Item 1: CONTACT	QTY: 1																																																							
Comments : TBA																																																								
Item 2: SWIND RATING	QTY: 1																																																							
Comments : N2																																																								
Item 3: BAL RATING	QTY: 1																																																							
Comments : BAL LOW																																																								
Item 4: Timber Door Frame	QTY: 1																																																							
Comments : W1 - ENTRY - O/IN - SILL COVER - FIT FLASHING & BEAD	<p>Stud Opening Height Add 20mm            Stud Opening Width Add 10mm</p>																																																							
 <table> <tbody> <tr> <td>Code:</td> <td>TDF</td> <td>Colour:</td> <td>MERANTI</td> </tr> <tr> <td>Height</td> <td>2105</td> <td>Reveal:</td> <td>No Reveals</td> </tr> <tr> <td>Width</td> <td>885</td> <td>PA:</td> <td>N2</td> </tr> <tr> <td>Door Width</td> <td>820</td> <td>Glass A:</td> <td></td> </tr> <tr> <td>Sill</td> <td>OPEN IN (OPEN IN)</td> <td>Glass B:</td> <td></td> </tr> <tr> <td>Sill Cover</td> <td>YES (Yes Cover)</td> <td>Glass C:</td> <td></td> </tr> <tr> <td>Extended Head</td> <td>NO (NO)</td> <td></td> <td></td> </tr> <tr> <td>Extended Sill</td> <td>NO (NO)</td> <td></td> <td></td> </tr> <tr> <td>Poly Wrap</td> <td>NO (No)</td> <td></td> <td></td> </tr> <tr> <td>Combination</td> <td>NO (No)</td> <td></td> <td></td> </tr> <tr> <td>Weight</td> <td>9.83 kg</td> <td></td> <td></td> </tr> <tr> <td>Bushfire Attack Level</td> <td>BAL-LOW (BAL-LOW)</td> <td></td> <td></td> </tr> </tbody> </table>	Code:	TDF	Colour:	MERANTI	Height	2105	Reveal:	No Reveals	Width	885	PA:	N2	Door Width	820	Glass A:		Sill	OPEN IN (OPEN IN)	Glass B:		Sill Cover	YES (Yes Cover)	Glass C:		Extended Head	NO (NO)			Extended Sill	NO (NO)			Poly Wrap	NO (No)			Combination	NO (No)			Weight	9.83 kg			Bushfire Attack Level	BAL-LOW (BAL-LOW)										
Code:	TDF	Colour:	MERANTI																																																					
Height	2105	Reveal:	No Reveals																																																					
Width	885	PA:	N2																																																					
Door Width	820	Glass A:																																																						
Sill	OPEN IN (OPEN IN)	Glass B:																																																						
Sill Cover	YES (Yes Cover)	Glass C:																																																						
Extended Head	NO (NO)																																																							
Extended Sill	NO (NO)																																																							
Poly Wrap	NO (No)																																																							
Combination	NO (No)																																																							
Weight	9.83 kg																																																							
Bushfire Attack Level	BAL-LOW (BAL-LOW)																																																							
Item 5: Elite Awning with Transom	QTY: 1																																																							
Comments : W2 - LOUNGE - 2H MANOR BARS	<p>Stud Opening Height Add 60mm            Stud Opening Width Add 50mm</p>																																																							
 <table> <tbody> <tr> <td>Code:</td> <td>EA-2T</td> <td>Colour:</td> <td>DUNE</td> </tr> <tr> <td>Height</td> <td>2057</td> <td>Reveal:</td> <td>135mm MDF Reveals</td> </tr> <tr> <td>Width</td> <td>1810</td> <td>PA:</td> <td>N2</td> </tr> <tr> <td>Handle</td> <td>LCW STD (Standard Keyed Cha</td> <td>Glass A:</td> <td>4mm Clear</td> </tr> <tr> <td>Restricted Opening</td> <td>NO (No)</td> <td>Glass B:</td> <td>5mm Clear</td> </tr> <tr> <td>Row 1</td> <td>XO (Sash/Fixed)</td> <td>Glass C:</td> <td></td> </tr> <tr> <td>Row 2</td> <td>OO (Fixed/Fixed)</td> <td></td> <td></td> </tr> <tr> <td>Sash Seal</td> <td>STD (Standard Bubble Seal)</td> <td></td> <td></td> </tr> <tr> <td>Poly Wrap</td> <td>YES (Yes)</td> <td></td> <td></td> </tr> <tr> <td>Frame Attachments</td> <td>NONE (None)</td> <td></td> <td></td> </tr> <tr> <td>Reveal</td> <td>STANDARD (Standard)</td> <td></td> <td></td> </tr> <tr> <td>Combination</td> <td>NO (No)</td> <td></td> <td></td> </tr> <tr> <td>Weight</td> <td>61.325 kg</td> <td></td> <td></td> </tr> <tr> <td>Bushfire Attack Level</td> <td>BAL-LOW (BAL-LOW)</td> <td></td> <td></td> </tr> </tbody> </table>	Code:	EA-2T	Colour:	DUNE	Height	2057	Reveal:	135mm MDF Reveals	Width	1810	PA:	N2	Handle	LCW STD (Standard Keyed Cha	Glass A:	4mm Clear	Restricted Opening	NO (No)	Glass B:	5mm Clear	Row 1	XO (Sash/Fixed)	Glass C:		Row 2	OO (Fixed/Fixed)			Sash Seal	STD (Standard Bubble Seal)			Poly Wrap	YES (Yes)			Frame Attachments	NONE (None)			Reveal	STANDARD (Standard)			Combination	NO (No)			Weight	61.325 kg			Bushfire Attack Level	BAL-LOW (BAL-LOW)		
Code:	EA-2T	Colour:	DUNE																																																					
Height	2057	Reveal:	135mm MDF Reveals																																																					
Width	1810	PA:	N2																																																					
Handle	LCW STD (Standard Keyed Cha	Glass A:	4mm Clear																																																					
Restricted Opening	NO (No)	Glass B:	5mm Clear																																																					
Row 1	XO (Sash/Fixed)	Glass C:																																																						
Row 2	OO (Fixed/Fixed)																																																							
Sash Seal	STD (Standard Bubble Seal)																																																							
Poly Wrap	YES (Yes)																																																							
Frame Attachments	NONE (None)																																																							
Reveal	STANDARD (Standard)																																																							
Combination	NO (No)																																																							
Weight	61.325 kg																																																							
Bushfire Attack Level	BAL-LOW (BAL-LOW)																																																							

THIS QUOTATION IS ISSUED SUBJECT TO THE TERMS AND CONDITIONS ATTACHED

## CUSTOMER QUOTATION

Quote Number: 449568

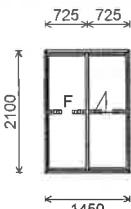
Version: 2

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## Item 6: Dowell Sliding Door [CD2115-2]

QTY: 1

Comments : W3 - LDRY - RHO

Stud Opening Height Add 60mm  
Stud Opening Width Add 50mm

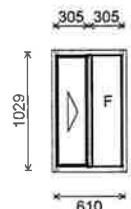
Code:	CD2115-2
Height	2100
Width	1450
Type	OX (Fixed/Open)
Bars	NONE (No Bars)
Lock Height	1020
Key No	0
Handle	DSD4 BLACK (Black DS970 Deadlock Water Barrel)
Poly Wrap	YES (Yes)
Frame Attachments	NONE (None)
Reveal	NO SILL (No Sill)
Combination	NO (No)
Site Assemble	NONE
Weight	50.603 kg
Bushfire Attack Level	BAL-LOW (BAL-LOW)

Colour:	DUNE
Reveal:	135mm MDF Reveals
PA:	N2
Glass A:	
Glass B:	
Glass C:	4mm Clear TDP Motif

## Item 7: Dowell Sliding Window [DSW1006]

QTY: 1

Comments : W4 - WC

Stud Opening Height Add 60mm  
Stud Opening Width Add 50mm

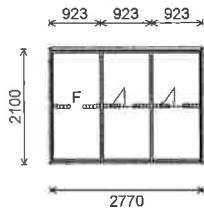
Code:	DSW1006
Height	1029
Width	610
Handle	KEYED (Latch Handle Keyed)
Restricted Opening	NO (No)
Handle Type	MULLION (Mullion)
Plastic Wrap	POLY (Poly Wrap)
Frame Attachments	NONE (None)
Combination	NO (No)
Revealing	STD (Standard)
Frame Weight	13.801 kg
Bushfire Attack Level	BAL-LOW (BAL-LOW)

Colour:	DUNE
Reveal:	135mm MDF Reveals
PA:	N2
Glass A:	4mm Clear
Glass B:	
Glass C:	

## Item 8: Alfresco Sliding Door - 3 Panel Doors

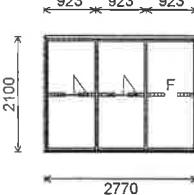
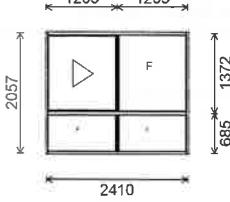
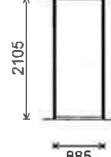
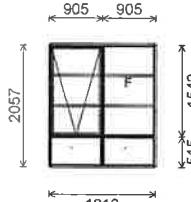
QTY: 1

Comments : W6 - KITCH - RHO

Stud Opening Height Add 60mm  
Stud Opening Width Add 50mm

Code:	ADD-3
Height	2100
Width	2770
Type	OXX (Fixed/Slide/Slide)
FD_Track	YES FLYDOOR TRACK (YES F)
Lock Height	1020
Key No	0
Handle	DSD4 BLACK (Black DS970 Deadlock Water Barrel)
Poly Wrap	YES (Yes)
Reveal	NO SILL (No Sill)
Site Assemble	SITE FIT 2 PANELS
Weight	94.217 kg
Bushfire Attack Level	BAL-LOW (BAL-LOW)

Colour:	DUNE
Reveal:	135mm MDF Reveals
PA:	N2
Glass A:	RACK
Glass B:	
Glass C:	4mm Clear Tgh Motif

<b>Item 9: Alfresco Sliding Door - 3 Panel Doors</b>		<b>QTY: 1</b>
Comments : W7 - FAMILY		<b>Stud Opening Height Add 60mm</b> <b>Stud Opening Width Add 50mm</b>
	Code: ADD-3 Height 2100 Width 2770 Type XXO (Slide/Slide/Fixed) FD_Track YES FLYDOOR TRACK (YES F) Lock Height 1020 Key No 0 Handle DSD4 BLACK (Black DS970 Deadlock Water Barrel) Poly Wrap YES (Yes) Reveal NO SILL (No Sill) Site Assemble SITE FIT 2 PANELS Weight 94.217 kg Bushfire Attack Level BAL-LOW (BAL-LOW)	Colour: DUNE Reveal: 135mm MDF Reveals PA: N2 Glass A: RACK) Glass B: Glass C: 4mm Clear Tgh Motif DSD4 BLACK (Black DS970 Deadlock Water Barrel)
<b>Item 10: Dowell Sliding Window [DSW2124A]</b>		<b>QTY: 1</b>
Comments : W8 - FAMILY		<b>Stud Opening Height Add 60mm</b> <b>Stud Opening Width Add 50mm</b>
	Code: DSW2124A Height 2057 Width 2410 Handle KEYED (Latch Handle Keyed) Restricted Opening NO (No) Handle Type MULLION (Mullion) Plastic Wrap POLY (Poly Wrap) Frame Attachments NONE (None) Combination NO (No) Revealing STD (Standard) Frame Weight 75.391 kg Bushfire Attack Level BAL-LOW (BAL-LOW)	Colour: DUNE Reveal: 135mm MDF Reveals PA: N2 Glass A: 4mm Clear Glass B: 5mm Clear Glass C:
<b>Item 11: Timber Door Frame</b>		<b>QTY: 1</b>
Comments : W9 - GARAGE - O/IN - SILL COVER - FIT FLASHING & BEAD		<b>Stud Opening Height Add 20mm</b> <b>Stud Opening Width Add 10mm</b>
	Code: TDF Height 2105 Width 885 Door Width 820 Sill OPEN IN (OPEN IN) Sill Cover YES (Yes Cover) Extended Head NO (NO) Extended Sill NO (NO) Poly Wrap NO (No) Combination NO (No) Weight 9.83 kg Bushfire Attack Level BAL-LOW (BAL-LOW)	Colour: MERANTI Reveal: No Reveals PA: N2 Glass A: Glass B: Glass C:
<b>Item 12: Elite Awning with Transom</b>		<b>QTY: 1</b>
Comments : W10 - THEATRE - 2H MANOR BARS		<b>Stud Opening Height Add 60mm</b> <b>Stud Opening Width Add 50mm</b>
	Code: EA-2T Height 2057 Width 1810 Handle LCW STD (Standard Keyed Cha Restricted Opening NO (No) Row 1 XO (Sash/Fixed) Row 2 OO (Fixed/Fixed) Sash Seal STD (Standard Bubble Seal) Poly Wrap YES (Yes) Frame Attachments NONE (None) Reveal STANDARD (Standard) Combination NO (No) Weight 61.325 kg Bushfire Attack Level BAL-LOW (BAL-LOW)	Colour: DUNE Reveal: 135mm MDF Reveals PA: N2 Glass A: 4mm Clear Glass B: 5mm Clear Glass C:



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BORAL WINDOWS SYSTEMS LTD  
ACN 004 069 523

## CUSTOMER QUOTATION

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Item 13: FLASHING & BEAD	QTY: 2
Comments : FIT FLASHING & BEAD TO W1 & W9	
Item 14: FREIGHT	QTY: 1
Comments :	



A BORAL Company

BORAL WINDOWS SYSTEMS LTD  
ACN 004 069 523

## CUSTOMER QUOTATION

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### SPECIAL NOTES

ALL WINDOWS SUPPLIED NEED TO BE INSTALLED CAREFULLY - NO LIABILITY ACCEPTED FOR  
"OUT OF SQUARE" INSTALLATION OR OTHERWISE FAULTY INSTALLATION

Payments made by credit card will incur an additional surcharge of 1.5%  
(for Visa and MasterCard) and 3% (for AMEX and Diners) on the GST  
inclusive value of the transaction.

I accept this quote and have checked that all the details are correct.  
Any variations after signature will incur a minimum \$100.00 surcharge.

Signature: .....

Frame colour selection:.....

Specified windrating (N) category:..... (To be specified by Customer as required under AS2047 Window Code)

Specified Bushfire Attack Level (BAL): ..... (To be specified by Customer as required under AS3959 Bushfire Code)

Email my Confirmation of order to:.....

**RESPONSIBILITY WILL NOT BE ACCEPTED BY DOWELL FOR FRAMES MANUFACTURED IF SIZES OR DETAILS  
ARE INCORRECT.**

Boral Window Systems

188 Canterbury Road  
Bayswater Victoria 3153

Phone : (03) 9721 0700

FAX : (03) 9721 0720

Email DowellVic@boral.com.au

Quote Total \$	4,231.99
GST at 10% \$	423.20
<b>Grand Total \$</b>	<b>4,655.19</b>

# CUSTOMER QUOTATION

Quote Number: 449571

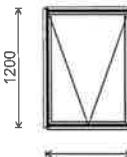
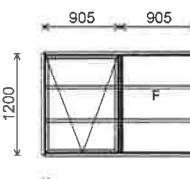
Version: 2

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Customer Details	Quote Details
<b>SIMONDS HOMES</b> <b>LOCKED BAG 4002</b> <b>SOUTH MELBOURNE VIC 3205</b> <b>VIC</b> <b>Phone:</b> 03 9682 0800 <b>Fax</b> 9993 8153 <b>Client Code:</b> D23020	<b>Quote No :</b> 449571 <b>Quote Date:</b> 12/06/2013 <b>Sales Rep:</b> SIMONDS HOMES - V058 <b>Sales Rep Phone:</b> 9721 0774 <b>Sales Rep Fax:</b> 9721 0720 <b>Quote Valid Until :</b> 12/07/2013 <b>Estimated Delivery Date:</b>
<b>Delivery Address</b>	
Comments : AC - 33837 - BAL LOW	

ALL FRAMES ARE VIEWED FROM OUTSIDE

SIZES SHOWN ARE ALUMINIUM FRAME SIZES. PLEASE MAKE CORRECT ADJUSTMENTS FOR STUD OPENING SIZES

Item 1: CONTACT	QTY: 1
Comments : TBA	
Item 2: SWIND RATING	QTY: 1
Comments : N2	
Item 3: BAL RATING	QTY: 1
Comments : BAL LOW	
Item 4: Elite Awning [EA1209]	QTY: 1
Comments : W18 - RUMPUS - NO BARS	<b>Stud Opening Height Add</b> 60mm <b>Stud Opening Width Add</b> 50mm
 Code: EA1209 Height 1200 Width 850 Handle LCW STD (Standard Keyed Cha Restricted Opening NO (No) Sash Seal STD (Standard Bubble Seal) Poly Wrap NO (No) Frame Attachments NONE (None) Reveal STANDARD (Standard) Combination NO (No) Weight 20.319 kg Bushfire Attack Level BAL-LOW (BAL-LOW)	Colour: DUNE Reveal: 135mm MDF Reveals PA: N2 Glass A: 4mm Clear Glass B: Glass C:
Item 5: Elite Awning	QTY: 1
Comments : W19 - BED 1 - 2H MANOR BARS - REST OPENING	<b>Stud Opening Height Add</b> 60mm <b>Stud Opening Width Add</b> 50mm
 Code: EA-2 Height 1200 Width 1810 Handle LCW STD (Standard Keyed Cha Restricted Opening YES (Yes) Row 1 XO (Sash/Fixed) Sash Seal STD (Standard Bubble Seal) Poly Wrap NO (No) Frame Attachments NONE (None) Reveal STANDARD (Standard) Combination NO (No) Weight 37.837 kg Bushfire Attack Level BAL-LOW (BAL-LOW)	Colour: DUNE Reveal: 135mm MDF Reveals PA: N2 Glass A: 4mm Clear Glass B: Glass C:

**CUSTOMER QUOTATION**

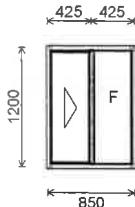
Quote Number: 449571

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**Item 6: Dowell Sliding Window [DSW1209]****QTY: 1**

Comments : W20 - ENS - TGH

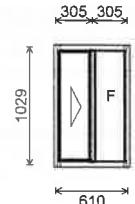
**Stud Opening Height Add 60mm**  
**Stud Opening Width Add 50mm**


Code:	DSW1209
Height	1200
Width	850
Handle	KEYED (Latch Handle Keyed)
Restricted Opening	NO (No)
Handle Type	MULLION (Mullion)
Plastic Wrap	NONE (None)
Frame Attachments	NONE (None)
Combination	NO (No)
Revealing	STD (Standard)
Frame Weight	19.55 kg
Bushfire Attack Level	BAL-LOW (BAL-LOW)

Colour:	DUNE
Reveal:	135mm MDF Reveals
PA:	N2
Glass A:	4mm Clear Tgh
Glass B:	
Glass C:	

**Item 7: Dowell Sliding Window [DSW1006]****QTY: 1**

Comments : W21 - WC

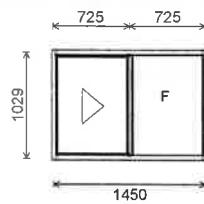
**Stud Opening Height Add 60mm**  
**Stud Opening Width Add 50mm**


Code:	DSW1006
Height	1029
Width	610
Handle	KEYED (Latch Handle Keyed)
Restricted Opening	NO (No)
Handle Type	MULLION (Mullion)
Plastic Wrap	NONE (None)
Frame Attachments	NONE (None)
Combination	NO (No)
Revealing	STD (Standard)
Frame Weight	13.801 kg
Bushfire Attack Level	BAL-LOW (BAL-LOW)

Colour:	DUNE
Reveal:	135mm MDF Reveals
PA:	N2
Glass A:	4mm Clear
Glass B:	
Glass C:	

**Item 8: Dowell Sliding Window [DSW1015]****QTY: 1**

Comments : W12 - BATH - TGH - REST OPENING

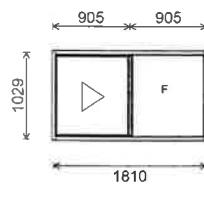
**Stud Opening Height Add 60mm**  
**Stud Opening Width Add 50mm**


Code:	DSW1015
Height	1029
Width	1450
Handle	KEYED (Latch Handle Keyed)
Restricted Opening	YES (Yes)
Handle Type	MULLION (Mullion)
Plastic Wrap	NONE (None)
Frame Attachments	NONE (None)
Combination	NO (No)
Revealing	STD (Standard)
Frame Weight	26.44 kg
Bushfire Attack Level	BAL-LOW (BAL-LOW)

Colour:	DUNE
Reveal:	135mm MDF Reveals
PA:	N2
Glass A:	4mm Clear Tgh
Glass B:	
Glass C:	

**Item 9: Dowell Sliding Window [DSW1018]****QTY: 1**

Comments : W13 - BED 2 - REST OPENING

**Stud Opening Height Add 60mm**  
**Stud Opening Width Add 50mm**


Code:	DSW1018
Height	1029
Width	1810
Handle	KEYED (Latch Handle Keyed)
Restricted Opening	YES (Yes)
Handle Type	MULLION (Mullion)
Plastic Wrap	NONE (None)
Frame Attachments	NONE (None)
Combination	NO (No)
Revealing	STD (Standard)
Frame Weight	31.81 kg
Bushfire Attack Level	BAL-LOW (BAL-LOW)

Colour:	DUNE
Reveal:	135mm MDF Reveals
PA:	N2
Glass A:	4mm Clear
Glass B:	
Glass C:	

## CUSTOMER QUOTATION

Quote Number: 449571

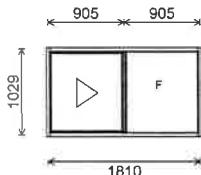
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## Item 10: Dowell Sliding Window [DSW1018]

QTY: 1

Comments : W14 - BED 3 - REST OPENING

Stud Opening Height Add 60mm  
Stud Opening Width Add 50mm

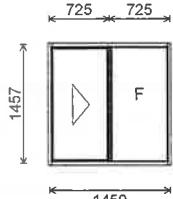
Code: DSW1018  
 Height 1029  
 Width 1810  
 Handle KEYED (Latch Handle Keyed)  
 Restricted Opening YES (Yes)  
 Handle Type MULLION (Mullion)  
 Plastic Wrap NONE (None)  
 Frame Attachments NONE (None)  
 Combination NO (No)  
 Revealing STD (Standard)  
 Frame Weight 31.81 kg  
 Bushfire Attack Level BAL-LOW (BAL-LOW)

Colour: DUNE  
 Reveal: 135mm MDF Reveals  
 PA: N2  
 Glass A: 4mm Clear  
 Glass B:  
 Glass C:

## Item 11: Dowell Sliding Window [DSW1515]

QTY: 1

Comments : W15 - BED 4 - REST OPENING

Stud Opening Height Add 60mm  
Stud Opening Width Add 50mm

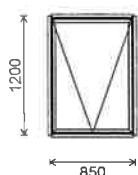
Code: DSW1515  
 Height 1457  
 Width 1450  
 Handle KEYED (Latch Handle Keyed)  
 Restricted Opening YES (Yes)  
 Handle Type MULLION (Mullion)  
 Plastic Wrap NONE (None)  
 Frame Attachments NONE (None)  
 Combination NO (No)  
 Revealing STD (Standard)  
 Frame Weight 34.743 kg  
 Bushfire Attack Level BAL-LOW (BAL-LOW)

Colour: DUNE  
 Reveal: 135mm MDF Reveals  
 PA: N2  
 Glass A: 4mm Clear  
 Glass B:  
 Glass C:

## Item 12: Elite Awning [EA1209]

QTY: 1

Comments : W16 - RUMPUS - NO BARS

Stud Opening Height Add 60mm  
Stud Opening Width Add 50mm

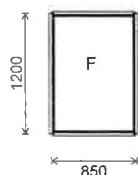
Code: EA1209  
 Height 1200  
 Width 850  
 Handle LCW STD (Standard Keyed Cha  
 Restricted Opening NO (No)  
 Sash Seal STD (Standard Bubble Seal)  
 Poly Wrap NO (No)  
 Frame Attachments NONE (None)  
 Revealing STANDARD (Standard)  
 Combination NO (No)  
 Weight 20.319 kg  
 Bushfire Attack Level BAL-LOW (BAL-LOW)

Colour: DUNE  
 Reveal: 135mm MDF Reveals  
 PA: N2  
 Glass A: 4mm Clear  
 Glass B:  
 Glass C:

## Item 13: Elite Awning Fixed [EAF1209]

QTY: 1

Comments : W17 - RUMPUS - NO BARS

Stud Opening Height Add 60mm  
Stud Opening Width Add 50mm

Code: EAF1209  
 Height 1200  
 Width 850  
 Poly Wrap NO (No)  
 Revealing STANDARD (Standard)  
 Frame Attachments NONE (None)  
 Combination NO (No)  
 Weight 18.62 kg  
 Bushfire Attack Level BAL-LOW (BAL-LOW)

Colour: DUNE  
 Reveal: 135mm MDF Reveals  
 PA: N2  
 Glass A: 4mm Clear  
 Glass B:  
 Glass C:

**CUSTOMER QUOTATION**

Quote Number: 449571

Version: 2

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<b>Item 14:</b> Ply Bracing 1600mm	QTY: 2
Comments :	<b>Stud Opening Height Add 0mm</b> <b>Stud Opening Width Add 0;mm</b>
	Code: PLY1600 Height 1600 Width 200  Colour: DUNE Reveal: 135mm MDF Reveals PA: N2 Glass A: Glass B: Glass C:
<b>Item 15:</b> Ply Bracing 1950mm	QTY: 3
Comments :	<b>Stud Opening Height Add 0mm</b> <b>Stud Opening Width Add 0;mm</b>
	Code: PLY1950 Height 1950 Width 200  Colour: DUNE Reveal: 135mm MDF Reveals PA: N2 Glass A: Glass B: Glass C:
<b>Item 16:</b> FREIGHT	QTY: 1
Comments :	

**CUSTOMER QUOTATION**

Quote Number: 449571

Version: 2

Page 5

**SPECIAL NOTES**

ALL WINDOWS SUPPLIED NEED TO BE INSTALLED CAREFULLY - NO LIABILITY ACCEPTED FOR  
"OUT OF SQUARE" INSTALLATION OR OTHERWISE FAULTY INSTALLATION

Payments made by credit card will incur an additional surcharge of 1.5%  
(for Visa and MasterCard) and 3% (for AMEX and Diners) on the GST  
inclusive value of the transaction.

I accept this quote and have checked that all the details are correct.  
Any variations after signature will incur a minimum \$100.00 surcharge.

Quote Total \$	1,861.30
GST at 10% \$	186.13
<b>Grand Total \$</b>	<b>2,047.43</b>

Signature: .....

Frame colour selection:.....

Specified windrating (N) category:..... (To be specified by Customer as required under AS2047 Window Code)

Specified Bushfire Attack Level (BAL): ..... (To be specified by Customer as required under AS3959 Bushfire Code)

Email my Confirmation of order to:.....

**RESPONSIBILITY WILL NOT BE ACCEPTED BY DOWELL FOR FRAMES MANUFACTURED IF SIZES OR DETAILS ARE INCORRECT.**

**Boral Window Systems**

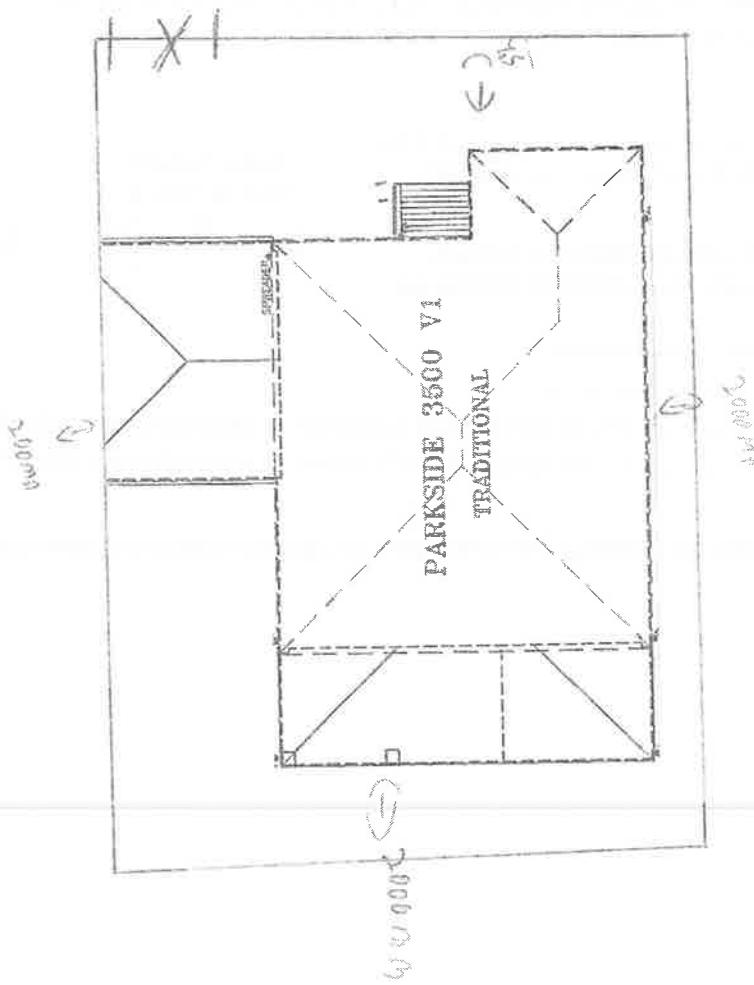
188 Canterbury Road  
Bayswater Victoria 3153

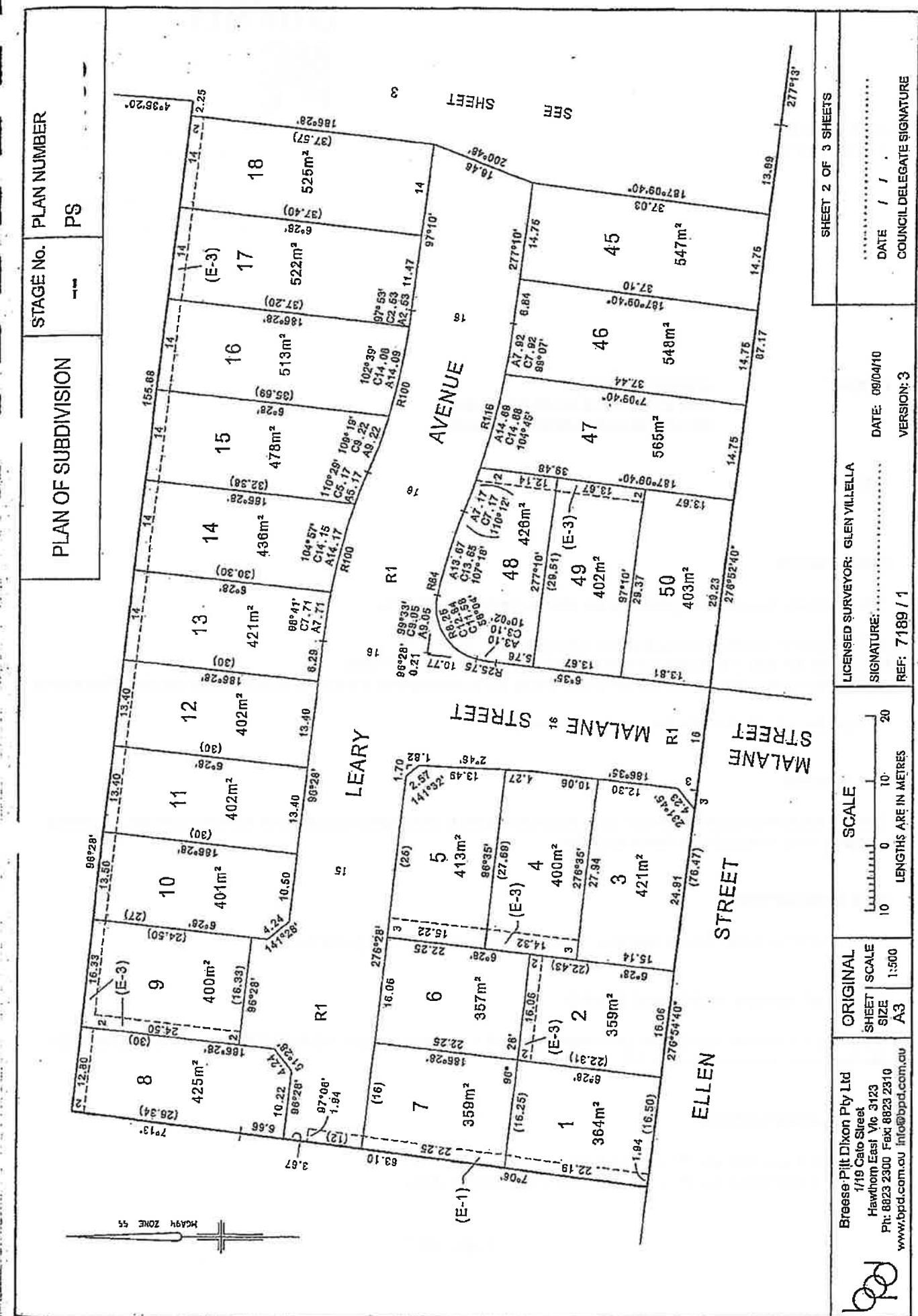
Phone : (03) 9721 0700

FAX : (03) 9721 0720

Email DowellVic@boral.com.au

L07 -6





Breese Pitt Dixon Pty Ltd  
1/19 Gato Street  
Hawthorn East Vic 3123  
Ph: 8823 2300 Fax: 8823 2310  
www.bpd.com.au info@bpd.com.au

ORIGINAL  
SCALE  
SHEET SIZE  
A3 1:500

10 0 10 20  
LENGTHS ARE IN METRES

DATE: 09/04/10  
VERSION: 3

LICENSED SURVEYOR: GLEN VILLELLA  
SIGNATURE: .....  
REF: 7189 / 1

DATE / /  
COUNCIL DELEGATE SIGNATURE  
SHEET 2 OF 3 SHEETS

Job No: 50085  
3 August, 2012

1st Floor  
58-62 Jackson Court  
Doncaster East 3109  
PO Box 4255  
Doncaster Heights 3109  
T: [03] 9095 8865  
F: [03] 9840 6000  
W: [www.buratt.com.au](http://www.buratt.com.au)

**CLIENT :** SIMONDS HOMES  
2ND FLOOR, 28 ALBERT ROAD  
SOUTH MELBOURNE DC 3205

**SITE :**

#### **COMMISSION**

This company has been engaged by the above-mentioned client to:

- a) Conduct the limited investigation as outlined in FIELD WORK
  - b) Classify the site in accordance with AS2870-2011 and AS2870-1996.
  - c) Provide Footing Recommendations which may be considered for the site by a Registered Building Practitioner.
- for a proposed articulated brick veneer residence.

#### **FIELD WORK**

Two (2) boreholes were drilled with a rig mounted auger to the depths specified on the soil borelogs. Disturbed samples were collected and hand classified.

#### **SITE DESCRIPTION**

Refer to attached plan for site features regarding trees, slope, existing structures etc.

#### **MAXIMUM DESIGN GUST WIND SPEED**

Based on the recently conducted site inspection and in accordance with AS4055-2006, the Wind Rating for the site has been determined to be N1.

#### **SITE CLASSIFICATION**

The site is **classified as "P"** in accordance with AS2870-2011.  
The site is **classified as "P"** in accordance with AS2870-1996.

## **IMPORTANT NOTES CONCERNING THIS SITE**

**NOTE:** Immature trees exist/may exist on the site, adjacent sites, in nature strips and reserves. Although these trees do not currently pose a threat to the footing system, they may cause future abnormal moisture conditions. Abnormal moisture conditions as defined in AS2870-2011 Cl.1.3.3. may result in non "acceptable probabilities of serviceability . . . of the building during its design life" or, in simpler terms, the "footings will have a higher probability of damage". If this higher probability of damage is not acceptable to the owner/builder or any other relevant parties then the removal of the trees or the provision of an engineer designed moisture and root barrier should be considered in the future.

**NOTE:** The presence of perched water table on top of the sandy clay/clayey sand layer will lead to construction difficulties during the wetter months of the year and during periods of prolonged rainfall. The silt/sand layer overlying the sandy clay/clayey sand will become saturated. It may be necessary to dig an open drain and sump holes to remove water from the proposed building envelope. It may be necessary to adopt screw-piles in lieu of piers. Please contact this office for further advice.

## **FOOTING RECOMMENDATIONS**

**NOTE:** Buratt Consulting Engineers must be retained to provide engineering designs based on this document/report. No other third party/engineer is permitted to use this document/report.

### Waffle Pod Footing System

**NOTE:** The following recommendation is only to be used where certification that the fill has been placed under controlled conditions is provided to this office. The placed fill is to be "controlled fill" in accordance with AS3798.

Loose surface fill, roots and vegetation are to be removed from the building platform to a depth of not less than 100mm. Any existing and any additional fill material to be placed is to conform and be placed in accordance with AS2870-2011 Clause 6.4.2 and is not to exceed 300mm. Placed fill (in accordance with AS2870-2011 Clause 6.4.2) is to continue past the edge of the building by at least 1m. If the building platform is soft or suspect then contact this office for additional requirements.

The building platform is level after site works to within +/- 5mm and suitable well graded quarry material is to only be used in the low areas for levelling.

The waffle pod footing system is to be founded onto the existing controlled fill or placed fill (as above in accordance with AS2870-2011 Clause 6.4.2). The slab is to be of minimum class "H" AS270-1996 or "H1" AS270-2011 dimension and reinforcement. The Waffle Rigid Slab design approach should be used with caution by a Structural Engineer familiar with the performance of residential slabs-on-fill and with reference to the relevant requirements of A.S. 2870-2011. The Yield Line Analysis method is not to be used.

The steel in the slab and beams must be designed to withstand long term differential settlement of the filling equivalent to a hypothetical loss of support of 2000mm in diameter occurring anywhere under the slab.

Based on the observed condition of both the filling and the underlying soils, as specified in the soil borelogs, and allowing for wetting under the slab, an allowable bearing of 60KPa may be adopted for design purposes.

Provide movement tolerant plumbing connections.

## **Alternatively,**

A class "MD" AS270-1996 or "MD" AS270-2011 waffle raft supported by piers/screw piles is considered suitable for both single storey and two storey construction. The waffle raft is to be designed by an engineer in accordance with AS2870-1996. The location of piers/screw piles and reinforcement is to be in accordance with AS2870-2011 Clause 3.2. for one-storey construction. The location and spacing of piers/screw piles and external rib reinforcement is to be determined during design by an engineer familiar with the waffle pod footing system for two-storey construction.

Piers are to be founded as specified on the soil borelogs. Further penetrometer testing will be required to determine the founding depths of the screw piles in the natural soils. The piling company should be engaged to carry out this testing prior to actual construction.

Place suitable quarry product up to a depth of 50mm to obtain a level platform to within +/- 5mm. If the building platform is level after site works, quarry material may not be required and only used in low areas.

## **FOOTING PERFORMANCE**

The site classification assumes an overall characteristic seasonal surface movement( $Y_s$ ) based on a normal site as defined in AS2870-2011 Clause. 1.3.1. and Clause. 1.3.2. Shallow residential footings will consequently also be subjected to a similar potential differential movement( $Y_s$ ) and possible damage to the superstructure. Superstructures damage is outlined in Appendix B, Clause B3 and Appendix C of AS2870-2011. If the potential damage to the superstructure is not acceptable and ongoing maintenance is undesirable to the owner, builder or any relevant party then a revised footing recommendations will be required.

## **LIMITATIONS OF THIS REPORT**

1. This report is based on the conditions of the site at the time of limited testing conducted by this office. The soil borelogs form the basis of recommendation in this report. However it should be noted that actual sub-surface conditions over the site and building area may vary from those said to exist in the soil bore logs. It is economically not practical to reveal all the sub-surface features on the site. As such, it is recommended the information given on the soil borelogs be used as an "approximate guide only" in determining costs associated with footing construction. A check should be made with all relevant authorities to locate possible former dams, cellars, creeks, easements etc. In the event that an amendment to the report is required, Buratt Consulting Engineers will not accept any liability/financial loss consequential or otherwise. If footing excavations reveal any variations or discrepancies in soil type, colour or horizon to those stated in the soil borelogs Buratt Consulting Engineers must be consulted immediately and excavations stopped immediately. Buratt Consulting Engineers reserves the right to alter the recommendations contained in this report. All foundation excavations and site works should be inspected by the classifier to ensure sub-surface conditions and founding material are in accordance with this report.
2. This report is valid for two years from the date of the report. If the site is altered in any way within this two year period, this report cannot be used and another report must be commissioned.
3. It is expected that all relevant information regarding this site(e.g. previous land uses, previously placed fill material, removal of trees, natural springs, former well, dams, creeks, gullies, etc.) has been investigated by the client and the information supplied to Buratt Consulting Engineers prior to the report being written. All reports(geotechnical or otherwise) relevant to the site must be supplied to Buratt Consulting Engineers prior to this report being written. If information is supplied to Buratt Consulting Engineers after the report has been written, Buratt Consulting Engineers reserves the right to amend the initial report. In the event of an amended report, Buratt Consulting Engineers will not accept any liability/financial loss consequential or otherwise.
4. This report is based on limited testing as outlined the section headed Field Work. This report is not to be used in negotiations for buying or selling of this property. A full investigation is required for this purpose.
5. This report is a geotechnical report and whilst it contains footing recommendations it does not in any way constitute a footing design and/or footing specification, but rather a general guideline to satisfy the requirements of AS2870-2011. It is the responsibility of the designing building practitioner (designer) to nominate a footing specification which will perform satisfactorily for the given site. Buratt Consulting Engineers will not be liable for a footing design conducted by a third party.
6. Unless stated otherwise any dimensions, slope, direction and magnitude shown on the attached site plan considered to be approximate and should only be used as a guide. Site features such as tree locations, pits, vehicle crossings etc., should not be relied upon by any party as being correct in location. These features must be confirmed by the owner/builder prior to construction. Buratt Consulting Engineers will not be liable for any discrepancies.

7. It is beyond the scope of this report to investigate or comment any possible contamination of the site.
8. It is beyond the scope of this report to investigate or comment on slope stability of the site.
9. The user of the report must take into account the following limitations. Soil and drilling depths are given to a tolerance of +/- 500mm.
10. Buratt Consulting Engineers will not be liable for any field work which is conducted on the wrong site. The information given must be clear and correct. It is the builders/owners responsibility to ensure that the correct site is tested and to confirm that the field work has been conducted on the subject site.
11. This classification is based only on the soil profile as observed during limited testing as described in fieldwork (unless noted otherwise). This report does not take into account any past, present or future abnormal moisture conditions as defined in AS2870-2011, Clause 1.3.3.
12. To avoid misinterpretation by other parties using this report and costly problems which may occur due to these misinterpretations, Buratt Consulting Engineers must be retained to provide engineering designs based on this report. Buratt Consulting Engineers will not be liable for a footing design conducted by a third party.

#### **GENERAL NOTES ON BUILDING CONSTRUCTION**

These notes are to be read in conjunction with

- a) AS2870-2011
- b) C.S.I.R.O. - Foundation Maintenance and Footing Performance: A Homeowner's Guide, BTF 18
- c) C.S.I.R.O. - A Builders' Guide to Preventing Damage to Dwellings, Part 1 - Site investigation and preparation BTF 19, February 2003

Builders must ensure that home-owners (as registered on the Certificate of Title), or future home-owners themselves, obtain a copy the C.S.I.R.O. publication Foundation Maintenance and Footing Performance: A Homeowner's Guide, BTF 18.

1. Sub-surface water in the form of perched water table may occur where silty clays and sands overly impermeable clay. If construction difficulties occur an agricultural drain will need to be provided to divert the flow of water away from the footing system. This drain should be embedded into the impermeable clay. Special attention should be made not to undermine the footing.

Earthworks with a site cut must have an agricultural or surface drain (swale drain) at the base of the cut and embedded into the clay so that water is diverted from the footings to a legal point of discharge. A dish drain on the high side of a cut may be required if batter face is likely to scour. These recommendations do not constitute a stormwater drainage design.

For other site drainage requirements refer AS2870-2011 Clause 5.2 and Clause 5.6.3.

2. Ground water within the surface soils may lead to construction problem in the wetter months.
3. Site drainage is an important requirement of any footing system. As soon as practically possible the builder is to ensure that the surface and/or sub-surface water does not pond against the footings or near the footings. Fill and natural undisturbed soil at the perimeter of the building are to slope away from the footing by providing a fall of 50mm over 1000mm from the building. Depending on the contractual agreement between homeowner & builder, a perimeter paving slab must also be installed with the same slope and have a 10mm layer of "Ableflex" or similar between the paving slab and footing/wall. A shallow (125mm max. from top of paving slab) agricultural drain is to be installed at the outer edge of the perimeter concrete paving slab and is to be diverted to a legal point of discharge. Alternatively, at the edge of the paving slab continue the slope of the fill and natural soil (1 in 20) away to a swale drain that diverts water away from the building area to a legal point of discharge.
4. Drains, down pipes, guttering and service piping must be installed and maintained carefully to ensure no leakage or blockage occurs that will affect the footing system. Expansion and flexible type joint couplings in sewer & storm water drain connections must be provided when connected through the slab. Service trenches are to be backfilled and compacted with the same soil material as that excavated. Drainage & plumbing requirements are to comply with AS2870-2011 section 5.6.3 & 5.6.4. Where the footing is close to a trench for a pipe/drain it must be deepened so

that the footing is below a projected angle (from the horizontal) of 45 degrees for a clayey soil and 30 degrees for a sandy and silty soil from the bottom and closest side of the trench excavation.  
It is good practice to connect gutters to the stormwater drains as soon as the roof has been installed. The hot water service drain is to be connected to a legal point of discharge as per the Plumbing Standard AS 3500.5 - 2000

5. Ducted heating in sub-floor areas is to be maintained by the owner to ensure sub-soil does not dry. Sub-floor areas are to be adequately ventilated.
6. The flexibility of the structure is important and full height articulation joints should be provided by the builder at a recommended spacing as recommended in the Cement Concrete and Aggregates Australia Technical Note 61 – Articulated Walling. Brickwork is considered to be continuous around corners. Contact this office for further consultation. Articulation joints will be required near changes in foundation type (eg. rock to clay), masonry arches, wing walls and brick over windows. Provide wall articulation between existing and proposed structures. Articulation joints should be constructed according to Technical Note 61.
7. There are many factors which affect the performance of a building. Visible cracking may be caused by shrinkage of plaster and roof timbers and expansion of brickwork. Shrinkage cracks in concrete floors should be expected (Refer AS2870-2011 Clause 5.3.7). Placement of brittle floor tiles should be delayed as long as possible and placed with a flexible adhesive and grout and in accordance with AS3958.1.
8. Tree planting and maintenance should be in accordance with AS2870-2011, Appendix B, B2.3(c). Existing trees on the building platform must have all their stumps and roots thoroughly removed. Backfill resulting holes with suitable non-porous or porous fill material for clayey or sandy type soil respectively and compact in 150mm (max.) layers. It is recommended that these areas be thoroughly pre-wetted to produce uniform moisture conditions. The builder and/or designer is to ensure existing trees or large shrubs which may also be located on adjacent properties and that do not comply with the recommended distance (the mature height away from the building for a single tree and increased 50% for a group) as outlined AS2870-2011, Appendix B, B2.3(c), then the moisture difference of the founding material must remain the same (or change uniformly over the building platform) for the life of the structure as during construction. Since this will be difficult to achieve tree(s) are to be removed and the moisture level of the founding material must be allowed to stabilise before construction can begin. This stabilisation may take up to 24 months depending on seasonal conditions, size and number of existing tree(s). Please contact this office for alternative methods. Removal of tree(s) must be undertaken as soon as possible (unless noted otherwise). The footing recommendations in this report are and any footing design must be based on removal of tree(s) which are not in accordance to the above-mentioned distances. If tree(s) are not removed the builder and/or designer must commission an engineer for an appropriate footing design which may also include moisture barriers. If trees have been removed prior to testing and this office is not informed, Buratt Consulting Engineers will not be liable for the footing design conducted by this office or any other party. If trees are removed the builder and/or designer must ensure (by adopting the above-mentioned recommended distances away from any structure for all tree(s) growing to or at mature height) distress does not occur to any existing structure including structures on adjoining properties.
9. The species and mature height of any tree(s) planted in nature strips and/or reserves should be obtained from the relevant local council. If the mature height of these trees exceeds the recommended distances outlined in AS2870-2011 and in Item 8 of General Notes on Building Construction within this report, then moisture barriers must be installed by the owner or underpinning of the structure must be undertaken. Alternatively the owner may petition the local council to remove the tree(s) and replace the tree with a suitable low growing shrub.
10. The presence of any existing buildings or structures on site may have significantly modified the soil moisture conditions. Prior to construction and upon removal of these buildings or structures, the soil moisture level of the founding material must be allowed to stabilize (similar to Item 8. of General Notes on Building Construction within this report). If construction is required to be undertaken prior to the soil reaching a new point of moisture equilibrium, the builder and/or designer must commission an engineer for an appropriate footing design. If buildings or structures have been removed prior to testing and this office is not informed, Buratt Consulting Engineers will not be liable for the footing design conducted by this office or any other party.
11. Garden beds are not to be located directly adjacent to the residence. Gardens beds are to be kept well away from the residence and installed in a manner which does not compromise site drainage. Garden beds are not to be overwatered. Drought tolerant plants are recommended to reduce water requirements.
12. Where footings are close to any excavation, easement or service trenches they should be deepened so that the footing is below a projected angle (from the horizontal) of 45 degrees for a clayey soil and 30 degrees for a sandy soil from the base of the excavation. These projected angles are not to be exceeded unless appropriate testing is conducted or unless footings are founded in rock.

**BORELOG SHEET FOR JOB NO: 50085**

BURATT CONSULTING ENGINEERS

SITE LOCATION :

DATE : 3 August, 2012

SAMPLING METHOD : Rig Mounted Auger

BOREHOLE LOCATION : Refer Site Plan

DRAINAGE : Fair

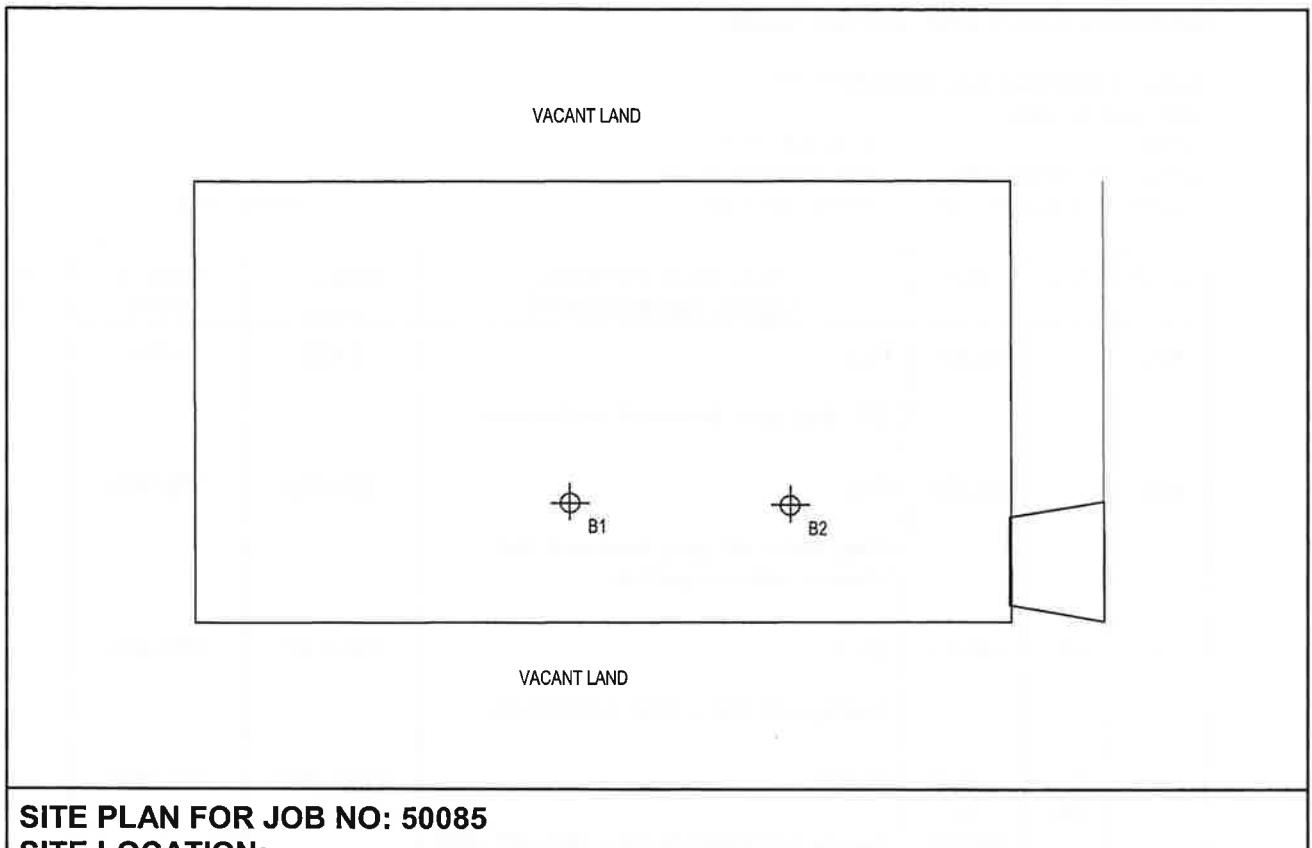
HOR	U.S	M.C	SOIL DESCRIPTION VISUAL ASSESSMENT	HOLE 1 (mm)	HOLE 2 (mm)	HOLE 3 (mm)
FILL	-	MOIST	FILL  Silt, clay, grey browns & red browns.	0-100	0-100	
FILL	-	MOIST	FILL  Clay, sand, silt, grey browns & red browns, well compacted.	100-700	100-500	
A	ML	MOIST	SILT  Sandy to SAND – Silty, light brown.	700-1100	500-900	
B	CL-CH	DAMP to MOIST	CLAY  Sandy, red brown & grey, very stiff, end of test no rejection holes 1 & 2.	1100-2500	900-2500	
Piers/pads founded 800mm into the "B" horizon silty clay may be proportioned for an allowable bearing capacity of 250KPa.						

HOR. - HORIZON

M.C - MOISTURE CONTENT

U.S - UNIFIED SYMBOL

NOTE : All boreholes were backfilled.



**SITE PLAN FOR JOB NO: 50085**  
**SITE LOCATION:**

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For and on behalf of  
Buratt Consulting Engineers

Steve Buratto B.Eng. (Civil)  
Ennio Buratto B.App. Geology

**PIC NUMBER: 07000032136**

10 MAY 2013

SIMONDS HOMES MELBOURNE PTY LTD  
E-mail: kim.monckton@simonds.com.au

Dear Customer,

**CONSENT TO CONNECT**

**Property Address:**

**Property Reference**

**Our Reference:** :

**Your Reference:**

The application made by you, or on your behalf, to connect to South East Water's potable water asset is approved, subject to the following conditions.

Please note that these conditions are binding on successor-in-title of the owner or occupier, under section 145 of the *Water Act 1989*. If you are not the owner of the property, please give a copy of this letter to the owner.

The applicant/owner is to ensure that the responsible Licensed Plumber is in receipt of these 'Conditions of Connection' prior to work commencing.

The Plumbing Industry Commission (PIC) is the regulating authority for plumbing. These plumbing works must comply with the relevant regulations and standards. All enquiries relating to plumbing regulations and standards should be directed to the PIC on telephone 1300 815 127.

**CONDITIONS OF CONNECTION - SEWERAGE**

The licensed plumber/property owner is required to submit an updated Property Sewerage Plan to South East Water within five days of the below ground drainage/sanitary plumbing work being completed. (Property Sewerage Plan enclosed)

**CONDITIONS OF CONNECTION - WATER SUPPLY**

**Dry Tappings, Potable Water**

New connections in dry tapping areas are carried out by South East Water. The connection will include the ball valve, meter, dual check backflow prevention device, tap riser, timber stake, bib tap and hose connection vacuum breaker. If a 'connection required date' was not provided with your application please notify South East Water to allow scheduling of the connection. Please allow four full working days after the day of notification. In the event that the dry tapping cannot be located delays may result.

**Water Service Plugging/Disconnections**

Where required, any existing water service to be disconnected must be exposed at the tapping location for South East Water to undertake the required plugging. The water meter associated with the disconnected service is to be returned to South East Water's contractor.

Where an existing water main to meter water service is to be utilised which is of Galvanised Wrought Iron Pipe (GWIP) this service is to be replaced with approved Polyethylene pipe material and all costs are to be borne by the owner.

Note: Existing water services are to remain metered at all times and have an appropriate backflow prevention device fitted.

Attached is a water supply plan detailing the water main location (wet tappings only).

#### **DRIVEWAYS / PAVING**

**Sewer Assets:** where driveways/paving is proposed to be constructed over easements for water supply/sewerage purposes, or within 1 metre of a South East Water asset, the owner will be responsible for all costs associated with any demolition and or re-instatement works, necessary to allow maintenance and or repair of the asset effected.

Where changes to surface levels require maintenance shafts/holes to be altered, all works must be carried out by South East Water. All costs to be borne by the property owner.

For all other works, prior consent is required from South East Water for any construction over easements for water supply/sewerage purposes, or within 1 metre of a South East Water asset.

#### **Report of Stolen Meter**

In the instance where the meter is reported stolen from the property a replacement meter is required to be fitted by South East Water. The meter replacement cost will be directly charged to the applicant. It is also the applicant's responsibility to report this matter to Victoria Police.

**Water Services:** Where the proposed location of a driveway/paving, conflicts with the existing potable water dry tapping location, a plug and re-tap will be required with the costs to be borne by the owner.

#### **GENERAL**

- Any copyright or similar interest (if any) arising out of any alteration made to the Property Sewerage Plan will become the property of South East Water. All work is to be carried out by a Licensed Plumber in accordance with AS/NZS3500, National Plumbing and Drainage Code and the PIC's Recycled Water Plumbing Guide.
- Due to wide variation in pressures within South East Water's water supply system a Licensed Plumber must check available pressures specific to each site and install a 500 KPA pressure limiting valve in accordance with the Plumbing (Water and Energy Savings) Regulations 2004.
- Agents acting on behalf of the owner/s for the property where works are being carried out are required to disclose these 'Conditions of Connection' to the owner/s.
- This consent is valid for twelve months and will lapse if the work has not been completed by 11 May 2014. Until this consent is finalised, it may be disclosed on an Information Statement pursuant to the Water Act 1989.
- Prior to any excavation work being undertaken within the road reserve, a Road Opening Permit is required from the relevant Authority. All traffic management requirements are to be complied with.

#### **HOW TO ARRANGE YOUR CONNECTION**

To schedule the required wet tapping, dry tappings, recycled water and pluggings please phone 9552 3770. Please allow a minimum of two working days. The time of the wet tapping/plugging will be sent to the licensed Plumber's mobile telephone via SMS.

If you have any other general enquiries please contact Property Development on 9552 3770.

Yours sincerely



Michael Shanahan  
**MANAGER PROPERTY INFORMATION**

The plan/s accompanying this letter are solely issued for identification purposes through further investigation. They are not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. You are put on notice that the map base is not created by South East Water and South East Water cannot guarantee the accuracy, adequacy or completeness of any information in or forming part of the plan, including the location of its assets and property sewerage drains. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any works and you should make your own independent inquiries as to the location of all assets and property boundaries and dimensions. All liability at law (including under statute), and all conditions and warranties implied by law (including under statute), are expressly excluded except that liability and those conditions and warranties, which cannot be excluded. In respect of liability and conditions and warranties, which cannot be excluded, South East Water's liability to you is limited, as far as law (including statute) permits, to resupplying the plan or paying the cost of resupplying the plan. Please note that the information contained within the plan may have altered before or after the issue of the plan. Alteration to South East Water's assets including property connection points requires separate consent.



PROPERTY SEWERAGE PLAN - PS: 40090824

### Property:

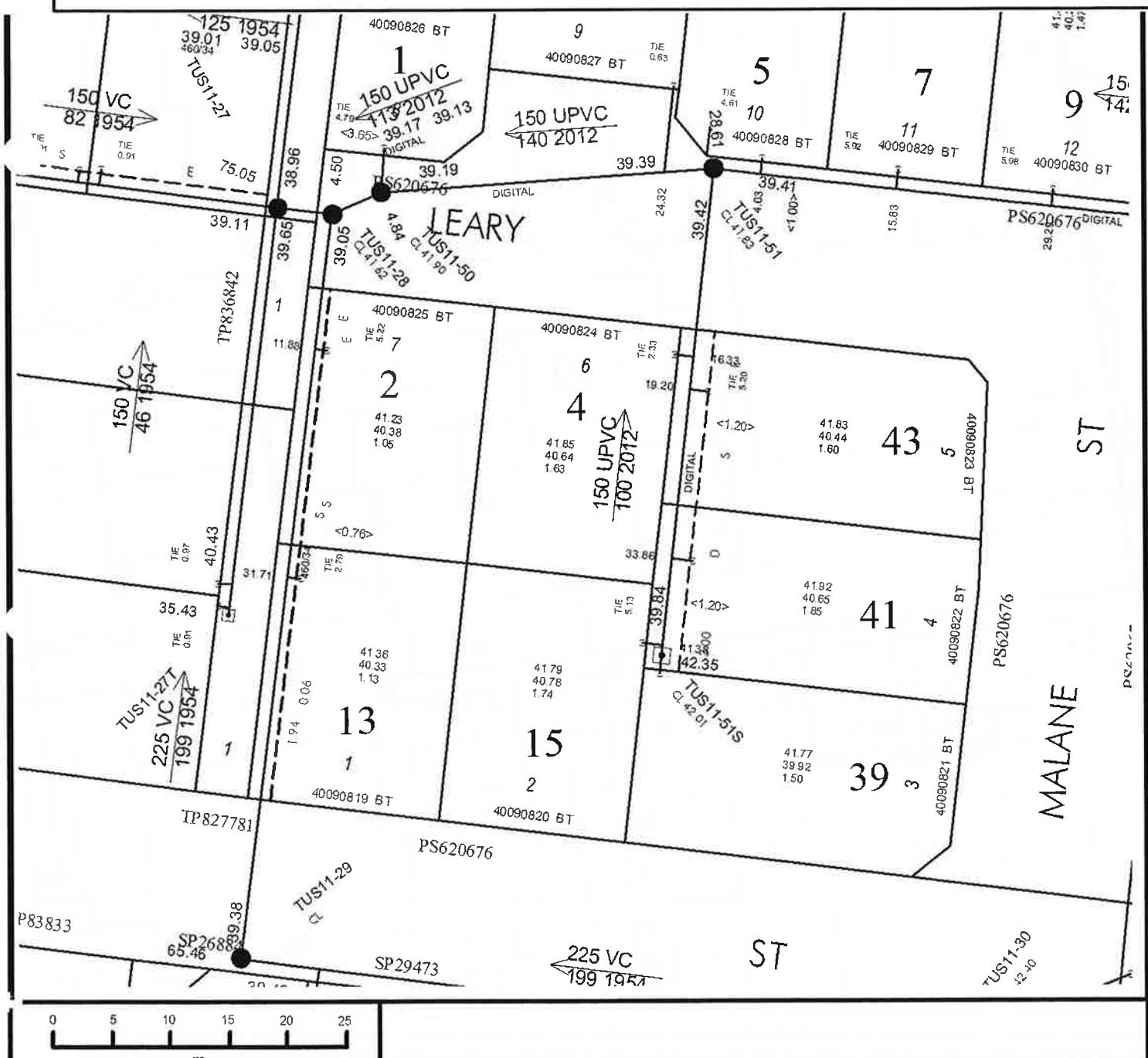
— Title/Road Boundary    BT Boundary Trap    — Easement    < 1.0 > Offset from Boundary

**WARNING:** This plan is issued solely for the purpose of assisting you in identifying property service drainage information only and may not show all sewer mains on the property. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details).

FOLLOWING THE COMPLETION OF WORK, THIS PLAN SHOWING UPDATED "AS CONSTRUCTED" BELOW GROUND DRAINS & FIXTURES MUST BE RETUNED TO SOUTH EAST WATER, MAIL - Locked Bag1, HEATHERTON 3202, FAX - 96552 3571, OR EMAIL - updatepsp@sew.com.au

All installations to be in accordance with the Plumbing Standards Regulations 1998

PIC NO: 07000032136	Issued Date: 10 MAY 2013	Completed Date:
..... Closet	..... Sink	..... DW/Machine
..... Trough	..... Swim/Pool	..... Shower
..... W/Disp Unit	..... Basin	..... CW/Machine



Branch Material	UPVC - THIN WALLED NON-PRESSURE				
Branch Diameter	100	N.S.L.	41.853	Chainage from D/S M/H to :-	
Branch Type	BT	I.L.	40.640	Branch	16.329
End of Pipe	1.632	Depth	1.213	U/S Manhole	42.347
	Scale 1 : 500		Sewer Diameter	150	

# ASSET INFORMATION - WATER

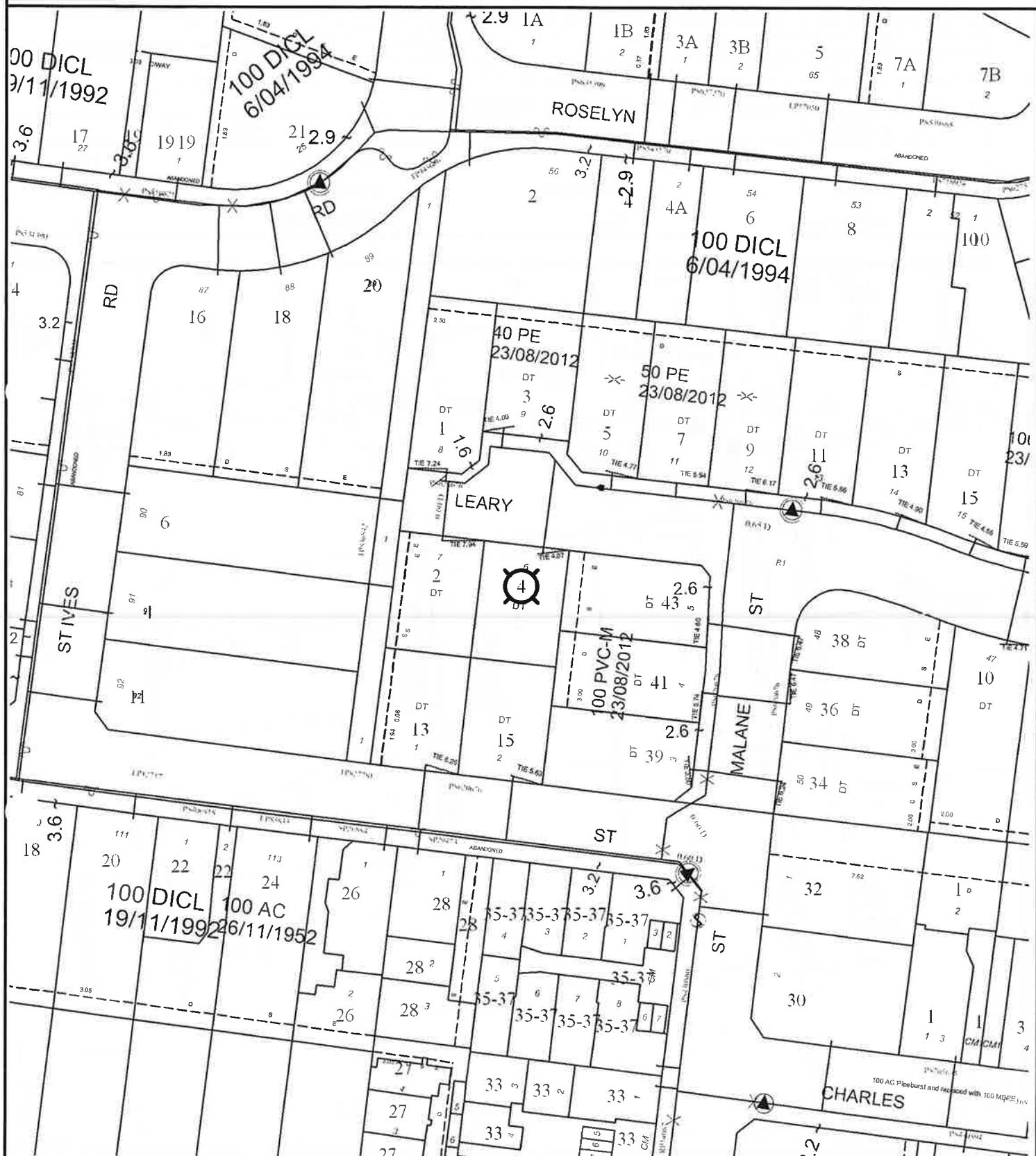


Property: 1

20 0 20 40  
Scale in Metres

Case Number: 20759308

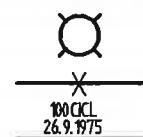
Date: 10 MAY 2013



**WARNING:** This plan is issued solely for the purpose of assisting you in identifying South East Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details).

## LEGEND

- Title/Road Boundary
- - - Proposed Title/Road
- - - Easement



Subject Property

Water Main Valve

Water Main

Hydrant

Fireplug/Washout

~ 1.0 Offset from Boundary

# NatHERS Certificate

## New Dwelling

### 6.5 Stars

#### Simulation Software

Software Name BERS Pro 4.2  
Software Version Release 110811/A  
Engine Version CHENATH V2.13

#### Simulation Details

Project Name -  
Date 6/06/2013  
Location -  
Climate file climat62.TXT  
Adjusted Star Rating 6.5 Stars  
Conditioned Area 234.38 m<sup>2</sup>  
Unconditioned Area 39.24 m<sup>2</sup>  
Adjusted Cooling 17.4 MJ/m<sup>2</sup>  
Adjusted Heating 82.5 MJ/m<sup>2</sup>  
Adjusted Total 99.9 MJ/m<sup>2</sup>

#### Building Address

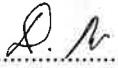
Door Number  
Unit Number  
Lot Number  
House Number  
Street Name  
Development Name  
Suburb

#### Client Details

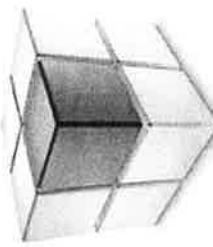
Name Simonds Homes  
Phone 9682 0700 Fax 9682 0800  
Email  
Postal Address  
Street Details 2nd Floor, 28-32 Albert Rd, South Melbourne VIC 3205

#### Assessor Details

Name Daniel Mueller  
Phone 02 60241022 Fax 02 60247450  
Email dan@energyraters.com.au  
Postal Address PO Box 1334 Wodonga Vic 3689  
Street Details Suite 2, Floor 3, 111-113 Hume Street, Wodonga VIC 3690

Signed by the Assessor.....  Date 06/06/13.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.  
All windows are modelled with Holland Blinds for regulatory purposes.*



**energyraters**  
com.au

## Compliance Report

The table on the following pages lists those features of house design and construction which have been identified by the software as critical to the achievement of the rating. If there has been any change to these features proposed, or during construction, the house should be re-rated to ensure that the required star rating has been maintained.

These pages should be checked and signed by the builder and owner and presented to the Building Surveyor as evidence that the house has been constructed in accordance with the star rating prior to the issuing of an Occupancy Permit. If the house has not been constructed to the standards listed in this table, further proof must be provided to show that the required rating has been achieved.

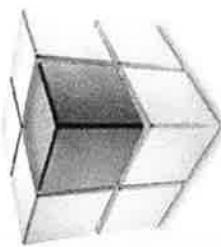
**Lot 6, No 4, Leary Avenue, Bentleigh East VIC 3165**

Owner \_\_\_\_\_

Builder \_\_\_\_\_

Date \_\_\_\_ / \_\_\_\_ / \_\_\_\_

Thursday, 6 June 2013



**energyraters**  
.com.au

Site address:

Job number:	14100
Net conditioned floor area:	234.4 m <sup>2</sup>
Net unconditioned floor area:	(incl garage)
<b>External Walls</b>	
type & insulation - garage	Brick (framed internal partition R 2.0)
type & insulation	Brick Veneer R 2.0 + foil
type & insulation	Other as per plan R 2.0 + foil

Thursday, 6 June 2013

Floors
type & insulation - garage
type & insulation
type & insulation

Roof/Ceilings
type & insulation - garage
type & insulation
type & insulation

Windows
Type
Aluminum
Timber (entry door)

U-value
6.44
4.37

SHGC
0.75
0.51

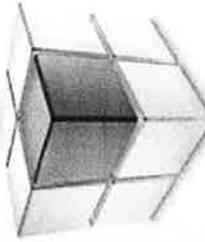
m <sup>2</sup>
41.9
1.7

\* Please note, under current protocols, installed total window U-values must be equal to or less than those stated above & total window SHGC values must be within 10% of those stated above.

**Air Leakage Details**

Chimneys	N/A
Exhaust fans (self-sealing)	ALL
Exhaust fans (not sealed)	N/A

N/A  
N/A  
All (excluding garage)



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.com.au

### The below sections of the BCA have been considered

Thursday, 6 June 2013

**BCA 3.12.1.1** Insulation installation requirements

**Refer to plan**

**BCA 3.12.1.2(c)** Thermal breaks steel roof framing

**NA**

**BCA 3.12.1.4(b)** Thermal breaks steel wall framing

**NA**

**BCA 3.12.1.2(e)** This report has taken into consideration Part 3.12.1.2(e) of the BCA 2011, stating that compensation for ceiling insulation is taken into account for areas around exhaust fans, recessed down lights and flues.

- ♦ **Area of ceiling insulated**

**127.0 m<sup>2</sup>**

- ♦ **Percentage of insulation loss**

**0.413 %**

- ♦ **Actual installed ceiling insulation R-value**

**R 3.5**

- ♦ **Percentage of insulation loss is below 0.5% no compensation in simulation is required**

**BCA 3.12.1.5(c)** Slab insulation zone 8 and in slab heating

**NA**

**BCA 3.12.1.5(d)** Slab on ground insulation specifications

**NA**

**BCA 3.12.3** Building sealing and penetration sealing

**RBS to check**

**BCA 3.12.5.5** The total wattage allowance for this dwelling, taking into account BCA 3.12.5.5 including all relevant tables for all internal & external lighting;

- ♦ **Total design wattage allowed for this dwelling**  
(Refer to plans/builder for actual)

**1332.6 watts**

Printed - 6 June 2013

## LIGHTING & PENETRATION REPORT FOR .

THIS LIGHTING REPORT SHOWS THAT THIS ASSESSMENT COMPLIES WITH BCA VOL 2, NOTE 3.12.5.5 (these areas are taken from the simulation except outdoor areas which are taken from plans)

CLASS 1 BUILDING TOTAL AREA = 250.40 m2 at a maximum of 5 W/m<sup>2</sup> = 1252.0 Watts MAXIMUM ALLOWED LIGHTING WATTS FOR THIS DWELLING (refer to plans for actual) - **1332.6 Watts**

CLASS 10A BUILDING TOTAL AREA = 23.20 m2 at a maximum of 3 W/m<sup>2</sup> = 69.6 Watts

OUTDOOR AREA ATTACHED TO CLASS 1 BUILDING = 2.75 m2 at a maximum of 4 W/m<sup>2</sup> = 11.0 Watts

THIS PENETRATION REPORT SHOWS THAT THIS ASSESSMENT COMPLIES WITH natHERS TECHNICAL NOTE 2, V1.0 & BCA VOL 2, TABLE 3.12.1.1b

PENETRATION SIZES (m <sup>2</sup> ) -	0.109	0.026
PENETRATION AMOUNTS -	x	x
TOTAL INSULATED CEILING AREA FOR THIS DWELLING (this area taken from the simulation) -	2	12
TOTAL CEILING PENETRATION AREA -	127.00	m <sup>2</sup>
PERCENTAGE OF INSULATION LOSS -	0.525	m <sup>2</sup>
PERCENTAGE OF LOSS -	0.413	% Loss

Ceiling penetrations for this dwelling are below 0.5% & this dwelling reaches the natHERS required star rating. As a result no insulation loss compensation is required.

Email: cdnini@energyraters.com.au Phone: 02 6024 1022, PO Box 1334 Wodonga Vic 3690

Important notice & disclaimer with regard to this lighting & ceiling penetration calculator

This calculator has been developed by Greensalt Pty Ltd to assist thermal comfort assessors to comply with current regulation regarding lighting & ceiling penetrations. This calculator is the result of Greensalt Pty Ltd best efforts to interpret the current BCA & NATHERS technical notes. While we believe that this calculator if used correctly achieves compliance with these protocols, the use of this calculator is at your own discretion & Greensalt Pty Ltd accepts no liability of any kind.



File:  
Enquiries: Iqbal Samsudeen  
Telephone: 9524-3393  
Facsimile No.: 9524 3424

Glen Eira City Council

80 MCGs of parklands  
enough footpaths to reach Sydney  
enough drains to reach Mildura  
enough roads to reach South Australia  
\$170m of town planning projects  
2,000 food safety inspections  
3,400 off-street car spaces  
11,000 tonnes of recycling  
40,000 tonnes of waste  
one million library loans  
care for 4,800 elderly  
services for 5,000 children  
6,200 immunisations  
44 school crossings  
46,000 street trees  
8,500 street lights  
45 sportsgrounds  
45 playgrounds  
and much more

29 October 2012

PSI (Vic) Pty Ltd  
Ground Floor  
12 Hardner Road  
Mount Waverley  
VIC 3149

**RE: INFORMATION REGARDING COUNCIL PERMITS AND CONSENTS**  
**BENTLEIGH EAST**

Thank you for your application for Point of Discharge report. Please find the attached report. I understand that you will be commencing building works on site soon and please note that it is important to understand the following.

**Point of Discharge Report:**

A property inlet has been provided for each property as the Point of Connection. The property inlet for this property is at north-eastern corner of the property. The property inlet and the pipe connecting property inlet to Council drain are considered as private assets therefore these should be maintained by property owner.

**Minimum Floor Levels:**

The minimum nominated flow level for the dwelling on Plan of subdivision for Lot 6 is 42.50 AHD.

Please note that the following permits may be applicable to be obtained prior final design and or commencement of development work on this site.

**Stormwater Connection**

If you plan to make a new connection to Council's stormwater system other than connecting to already provided property inlet you will need an Asset Consent Permit. The permit will provide you with information about how and where you may connect. Approval is not necessary if use an existing connection point and no works are required to be done.

The application form for stormwater connections is available from Council website (Asset Consent Permit)

**Asset Protection Permit:**

Asset Protection Permit must obtained prior commencement of any works on site.

An Asset Protection Permit is required for all Building and Demolition works where Council deems it necessary for the protection of public assets and infrastructure during the building works. The Permit is required in order to protect Council assets such as footpaths, kerb & channel, trees, pits/drains, and nature strip from damage during the transportation of equipment, machinery and building materials across the Road Reserve and or working over or near Council drainage onsite.

Asset Protection Permit Application form and related general information is available from Council's website at [www.gleneira.vic.gov.au](http://www.gleneira.vic.gov.au).

**Building Over Easements and or Council drain Permit:**

If you plan to build over an easement or within 1 m horizontal distance from Council stormwater drainage pipes and pits, you may need a separate permit, as Council approval is necessary to construct any building or structure over an easement or close to Council drain.

**Glen Eira City Council**

Corner Glen Eira and Hawthorn Roads,

Caulfield, Victoria

PO Box 42 Caulfield South 3162

ABN 65 952 882 314

Telephone 03 9524 3333

TTY 03 9524 3496

Facsimile 03 9523 0339

Email [mail@gleneira.vic.gov.au](mailto:mail@gleneira.vic.gov.au)

Website [www.gleneira.vic.gov.au](http://www.gleneira.vic.gov.au)

Bentleigh • Bentleigh East • Carnegie  
Caulfield • Elsternwick • Gardenvale • Glen Huntly  
McKinnon • Marumbeena • Ormond • St Kilda East

To protect Council and utilities assets in easements and stormwater overland flow paths, Council only approves building over easement or close to Council drains in limited circumstances and usually with conditions.

If you are considering constructing over an easement or close to Council assets, you will need to lodge An Application for Consent to Erect a Building or Structure Over Easements with Council prior to works commencing. To avoid delays and rework I suggest that you do this before finalising your design.

Additional information on building over easements is available from Council's website at [www.gleneira.vic.gov.au](http://www.gleneira.vic.gov.au).

**Building next to an easement:**

If you plan to build close to an easement be aware the easement may contain Council and utilities assets. You must design and construct your works so as not to damage these assets. Protection measures must be in place to Council satisfaction when building next to easement.

Details of our existing drainage network are shown on our Point of Discharge Report. If you need more information please contact Council's Engineering Services Department prior to finalising your design.

**Vehicle Crossing Permit:**

Vehicle Crossing has already been provided for each property during the subdivision works. Please note that vehicle crossings are private assets owned by the beneficiaries/property owners in a Council Road Reserve. Maintenance and upkeep of Vehicle Crossing, Footpath and Channel within vehicle crossing is the responsibility of property owners not Council.

**Temporary vehicle crossings:**

We expect that any vehicle accessing a property will use an existing crossing. If this is not possible, or you wish to protect your vehicle crossing from damage during construction. Council requires that you install a temporary vehicle crossing before commencing any works. Temporary crossings ensure the safety of the public and protect Council's assets in the street from damage. An application form for a temporary crossing (Asset Consent Permit) is available on Council's website.

You should report any existing damage to Council's assets immediately. The builder and property owner are liable for damage to Council assets. Fines may apply if Council's assets or the public are not looked after in an appropriate manner.

**Openings to footpaths, naturestrips and roads:**

Any opening in the footpath, naturestrip or road requires consent. The Application for Asset Consent Permit form can be used for this purpose. Consent is required for VicRoads when the opening is in an arterial road.

More information on underground assets is available from Dial Before You Dig (Ph.1100).

Please contact Council on 9524-3333, during business hours, should you require further advice on any of these issues.

Yours sincerely,



Salim Murtaza  
ENGINEERING SERVICES COORDINATOR

V.JUN08-1



# Point Of Discharge Report

Building Act  
Building Regulations 2006  
Regulation 610(2)

Report Date : 29/10/2012  
Printed : 29/10/2012

GLEN EIRA CITY COUNCIL  
PO BOX 42  
CAULFIELD SOUTH 3162  
Ph: (03) 9524 3333  
Fx: (03) 9524 0339

Address :

File No : SUB2011/000004  
Report Prepared By : Salim Murtaza

**Point Of Discharge** (within allotment or at boundary, Reg 610(2)):

North-eastern corner of the property, (as indicated by arrow)

**Point of Connection to Council Asset (Sections 200 of the Local Government Act 1989):**

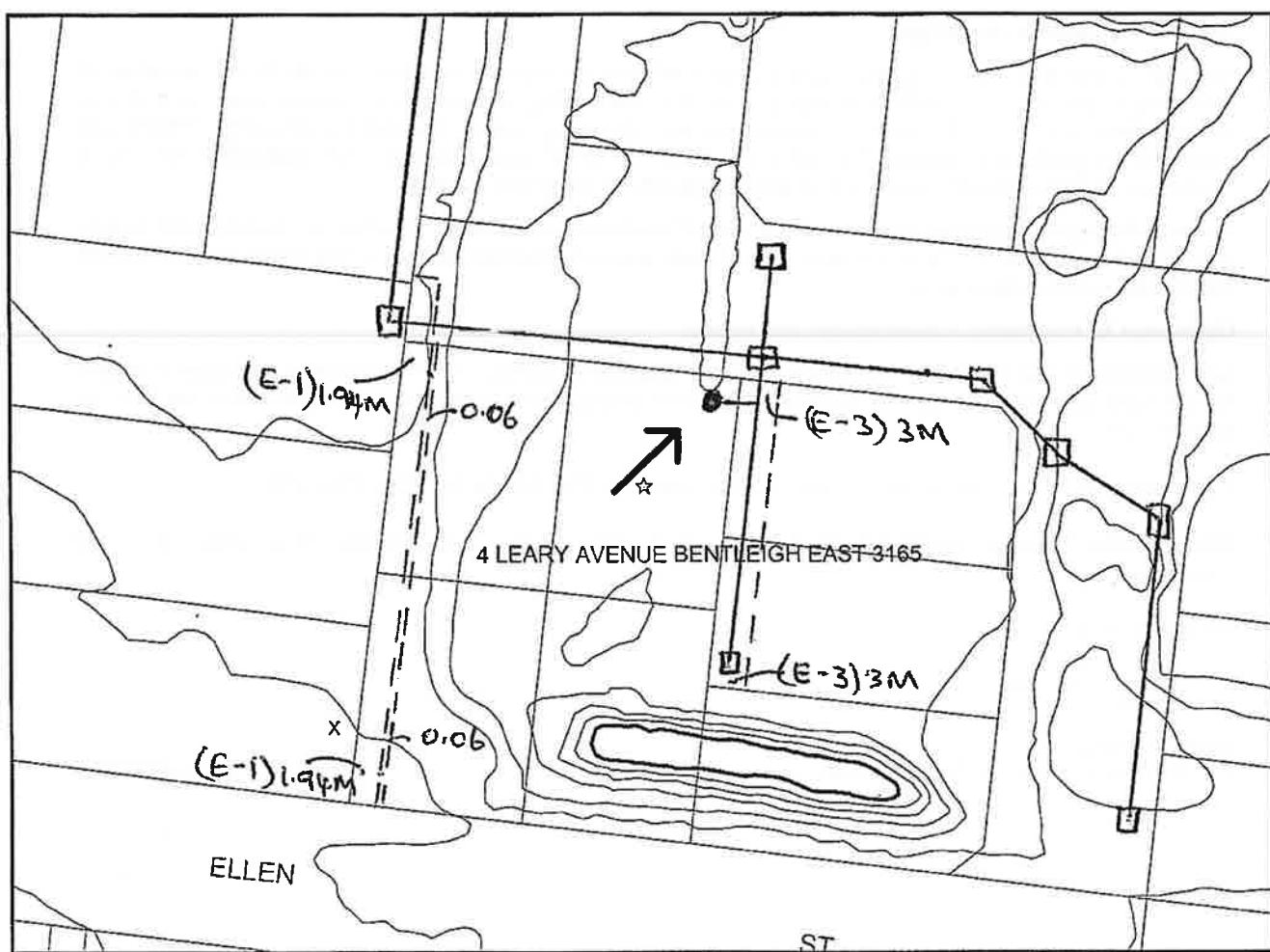
The property inlet at north-eastern corner of the property that is connected to Council stormwater easement drain along western boundary of 43 Malane Street as shown on the plan below is to be used for the Point of Connection.

**Please note:**

\* The plan showing Council pipes/pits below is indicative only. Applicant is responsible to prove onsite the existence, offset and depth of Council's pipes/pits prior to any design or works.

\* A PERMIT must be obtained from the Engineering Assets Department prior to any works for the connection to Council's drainage assets or for any work within Council's road reserve. Drainage assets include pits, pipes and kerb & channel.

\* For any works within the easement please contact South East Water as well as Council's Engineering Department (9524-3333).



Approved by: \_\_\_\_\_ *[Signature]* (Manager Engineering Assets / Engineering Services Co-ordinator).

**Disclaimer:**

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12 OCTOBER 2012

Property Information  
E-mail: [propertyinfo@psivc.com.au](mailto:propertyinfo@psivc.com.au)

Dear Customer,

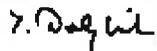
Please find attached information regarding your application.

**Our Reference:** Case Number 19499770  
**Applicant Reference:** 69307  
**Property:** BENTLEIGH EAST 3165  
**Service Requested:** Size Depth Offset Information  
**Order Number:** 18908175

**Receipt Number and Amount Paid:**  
215908242                    \$18.00                    Billed  
215908233                    \$18.00                    Billed

If you have any enquiries please contact Property Development on 9552 3770.

Yours sincerely



Terry Dingley  
**MANAGER DEVELOPMENT**

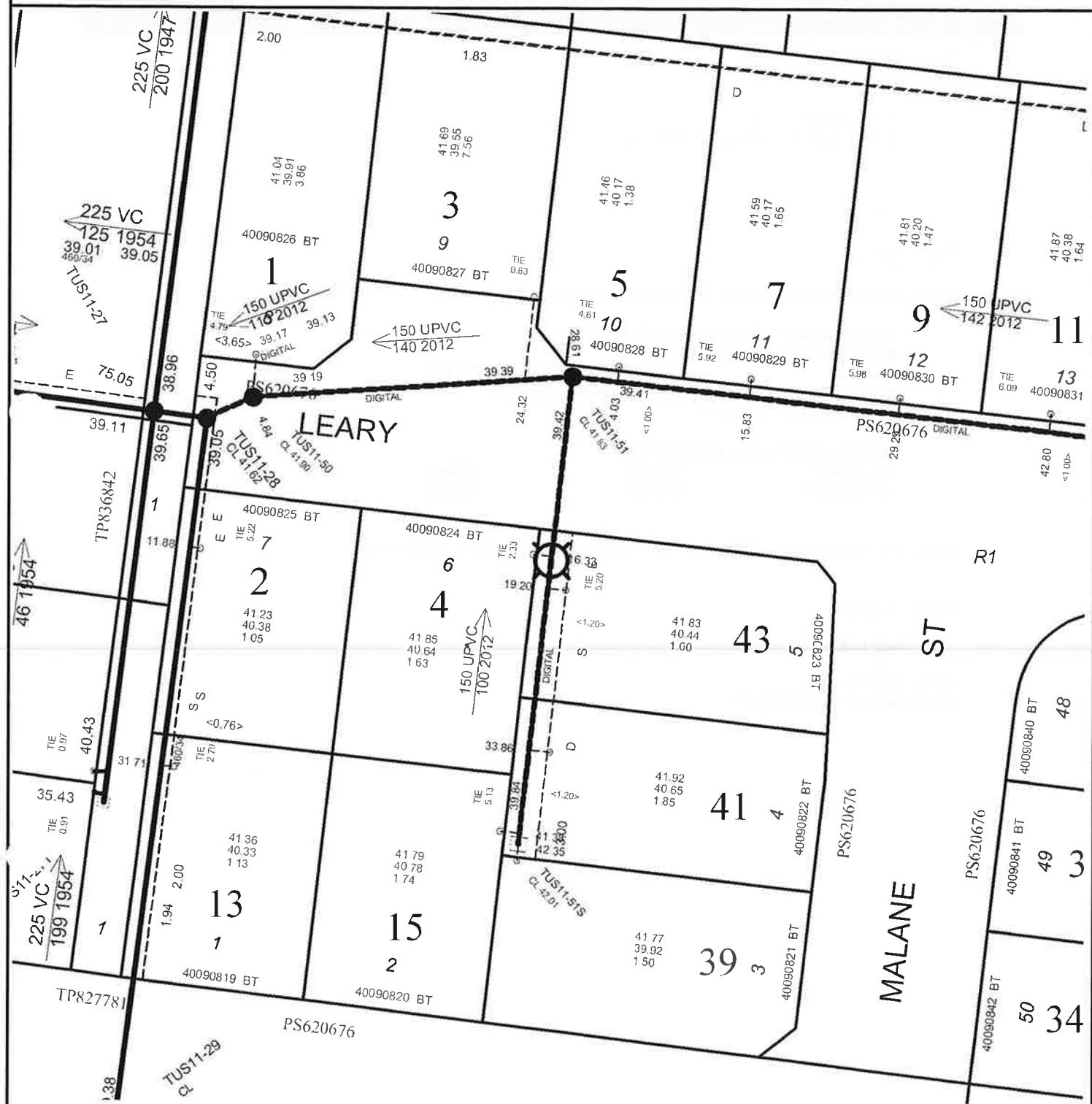


Property:

Case Number: 19499770

10 0 10 20  
Scale in Metres

Date: 11 OCTOBER 2012



#### Approximate Size, Depth and Offset Details

Property Sewerage Plan No: 40090824

Sewer Main Depth (to invert): 2.270m

Sewer Main Size and Type: 150mm UPVC

Calculated distance between boundary and centreline of sewer (Offset): 1.2m

Approximate sewer depth is based on information available at the time of construction of the asset and does not allow for fluctuations in surface levels. The connection point may not be at the same depth as the sewer main.

**WARNING:** This plan is issued solely for the purpose of assisting you in identifying South East Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Note: As-constructed offset may be more accurate than calculated offset.

#### LEGEND

- Title/Road Boundary
- - - Proposed Title/Road
- - - Easement

- SDO Location
- Sewer Main
- ← 225 VC  
280 MOR Direction of Flow

- Maintenance Hole
- Inspection Shaft
- < > As-Constructed Offset

# NATURAL GAS CONNECTION REQUEST



TO: ORIGIN

FAX: 1800 351 237

EMAIL: gasconnectionrequests@originenergy.com.au

## 1 APPLICANT DETAILS (PLEASE TICK WHERE APPLICABLE)

Builder  Plumber  Owner  Consultant  Planner  Body Corp rep  Other:

Title

First Name (no initials)

Last name

Company Name (if Applicable)

Simonds Homes

ABN No 35 050 197 610

Site contact details

Daytime contact no.

Mobile

## 2 PROPERTY DETAILS (PLEASE TICK WHERE APPLICABLE)

New:  House  Units  Commercial

Existing:  House  Units  Commercial

Lot No.

Unit/Flat No.

Street No.  
(If Available)

Street name

Suburb

State

Post Code

Single dwelling sites?

Yes  No

Site plan included?  Yes  No

## 3 CUSTOMER DETAILS (IF DIFFERENT TO APPLICANT DETAILS ABOVE)

Title	First Name (no initials)	Last name	
Lot No.	Unit/Flat No.	Street No. (If Available)	Street name
Suburb		State	Post Code
Daytime contact number		Mobile	

## 4 SITE CONNECTION DETAILS (PLEASE INDICATE DATES OR TICK WHERE APPLICABLE)

Date of lock-up: / /

Date of completion: (Handover) / /

Meter pressure required

1.125KPa

2.75KPa

Other - Please specify:

Gas appliance load

Hot Plate

Cooker      Oven

Central Heater

Space Heater

HWS Storage

HWS Continuous

PLEASE INDICATE NUMBER

HWS Instant

Pool Heater: (MJ)

Spa-Heater: (MJ)

Other & Load:

Note: If there are any charges associated with this connection we will notify the Applicant before we process your request.

## 5 SIGNATURES

I have obtained consent from the Customer (as noted above) to provide their details to Origin for the purpose of establishing connection to supply.

Applicant's Signature

Date / /

Please contact Origin on 1300 132 480 if you have any questions about this form.

# BUILDING PERMIT

Form 2 Building Act 1993 Building Regulations 2006 - Regulation 313

Permit No: 1419 20123886/0



GROUP FOUR  
BUILDING SURVEYORS

**Issued To:**

Simonds Homes  
Unit 1, 810 Princes Highway  
SPRINGVALE, VIC 3171  
Phone: (03) 8558-9700

**Builder:**

Simonds Homes Melb Pty Ltd  
2/28-32 Albert Road  
SOUTH MELBOURNE, VIC 3205

**City/Shire:**

Glen Eira

**Ownership:**

**Property Address:**

**Project Description:**

**Construction of Detached dwelling (1ai) - Double storey dwelling & garage**

Title Details: LP/PS: 620676G, Vol: 11381, Folio: 404

**Building Classification:** 1ai

Stage of work permitted:	As shown on the approved plans		
Existing dwellings:	0	Demolished dwellings:	0
Total new floor area (m <sup>2</sup> ):	300.7	Cost of building work:	\$287,378.00
		Constructed dwellings:	1

**Practitioners:**

Steve Buratto	EC 1478	Engaged to prepare documents	Engineer - Civil
Vallence Gary Simonds	DB-U 5403	Engaged in the building work	Builder - Domestic - Unlimited

**Domestic Building Work Insurance:**

Insured by: QBE residential builders warranty insurance	Policy Number: 410049373BWI-20	Policy Issued: 31-Oct-2012
	5	

**Required Inspections: (For Building Inspections phone (03) 9544-0544)**

- Pre Slab
- Steel
- Frame - Dom/Res
- Frame - Garage
- Final - Dom/Res
- Piers

Building work is to commence by:

13-Jun-2014

and is to be completed by:

13-Jun-2015

An Occupancy Permit is required prior to the occupation or use of this building.

# BUILDING PERMIT

Form 2 Building Act 1993 Building Regulations 2006 - Regulation 313

Permit No: 1419 20123886/0



**Property Address:**

**Project Description:**

**Construction of Detached dwelling (1ai) - Double storey dwelling & garage**

**Documents Supporting Application:**

Document Name

Prepared By

- BAL Assessment
- Planning information
- Planning.pdf
- Builders Warranty Insurance
- Building Specifications
- Certificate of Title & PS pg 6
- Energy Rating Report
- Plan of Subdivision
- Property Information
- Site Survey Plan
- Soil Report
- Application Form
- Architectural Drawings
- Structural Computations & Form 1507
- Structural Drawings
- Energy Rating Report
- Energy Rating Report
- Energy Rating Report
- Fill Certificate

**Permit Conditions:**

- All relevant Planning Conditions and covenants on title must be complied with.
- The work must be carried out strictly in conformity with the endorsed plans and specifications, one copy of which must be kept on site and made available for inspection while the work is in progress.
- There must be no unauthorized encroachment of any part of the work beyond the building alignment.
- Truss computations, certification and layouts to be submitted for approval prior to the frame inspection.
- Floor joist design & layouts to be submitted for approval prior to the frame inspection.
- Bracing layout and computations to be submitted for approval prior to the frame inspection.
- Energy rating certificates to be submitted prior to the occupancy permit. Please supply a plumbing certificate for the installation of the solar hot water system.
- The dwelling is to be protected from Termites in accordance with AS3660.1 2000.
- A report & consent has been issued by Council to allow the proposal to be within a flood prone area. Therefore the minimum FFL allowed is 42.50m AHD. Please provide a copy of the floor levels prior to the frame inspection.

Signed:

A handwritten signature of 'Gary Gommers'.

Building Surveyor:

Gary Gommers

Date permit issued:

13-Jun-2013

Registration No:

BS-U 1419

Assessing Officer:

David Madeira

Authorised:

42826

**Group Four Building Surveyors**

ABN 96158953425

[www.groupfour.com.au](http://www.groupfour.com.au)

1st Floor, 12 Hardner Road MOUNT WAVERLEY VIC 3149

TEL (03) 9544-0544

FAX (03) 9544-0244

EMAIL [reception@groupfour.com.au](mailto:reception@groupfour.com.au)

# BUILDING PERMIT

Form 2 Building Act 1993 Building Regulations 2006 - Regulation 313

Permit No: 1419 20123886/0



Property Address:

Project Description:

Construction of Detached dwelling (1ai) - Double storey dwelling & garage

## Terms and Conditions

### 1. Role of Group Four

#### 1.1 Professional Standard of Care

In performing the Services, Group Four shall:

- (a) exercise the degree of reasonable skill, care and diligence;
- (b) and maintain the ethical standards; normally expected of the profession of building surveyors.

1.2 Notice of Matters Likely to Change Scope or Timing of Services If Group Four becomes aware of anything which may change the scope or timing or cost of the Services, then it shall as soon as practicable give written notice to the Client. The notice shall as far as practicable contain particulars of the change.

#### 2. Payment to Group Four for Services

##### 2.1 Client to Make Payment

In consideration of the promise by Group Four to perform the Services, the Client promises to pay to Group Four the fees and the expenses as set out in Group Four's Letters.

##### 2.2 Timing of Payment

At or after the time that any part of the Services are performed by Group Four, Group Four may give the Client an account for that part of the Services performed and for any expenses incurred. The Client shall pay the full amount owing in respect of each account within fourteen (14) days of issue of the account.

##### 2.3 Interest on Overdue Payment

In addition to all other rights and remedies of Group Four, if the Client fails to pay all monies as and when due, Group Four shall be entitled to recover interest at the higher of 15% per annum and the rate that is 2% higher than the rate for the time being fixed under Section 2 of the Penalty Interest Rates Act 1983.

##### 2.4 Disputed Claims

If the Client disputes the whole or any portion of the amount claimed in an account submitted by Group Four, then it shall pay that portion of the amount stated in the account which is not in dispute, and it shall notify Group Four in writing of the reasons for disputing the account. If it is established that some or all of the amount in dispute ought properly to have been paid at the time it was first claimed, then the Client shall pay the amount finally established together with interest on that amount in accordance with clause 3.

##### 2.5 Payment of Costs if Building Works Delayed

If the performance of the Services is delayed beyond a reasonable period for any reason other than a breach of the Agreement by Group Four, then the Client shall pay to Group Four a reasonable sum of money to cover the consequential costs and expenses suffered by Group Four as a result of the delay.

##### 2.6 Effect of Termination on Right to Payment

If the engagement of Group Four is terminated for any reason other than for breach of these Terms of Engagement by Group Four, then Group Four shall be entitled to pro rata payment for the Services carried out and consequential costs and expenses incurred as a result of the termination, for the period up to and including the date of termination.

##### 2.7 Changes in Laws

If after the date of these Terms of Engagement there is any change to the laws by-laws, regulations or ordinances of the Commonwealth of Australia or a State or Territory of Australia or any statutory authority and that change directly or indirectly increases or decreases the costs or expenses incurred by Group Four in performing the Services, then the fees and expenses otherwise payable to Group Four under these Terms of Engagement shall be increased or decreased accordingly.

##### 3. Scope of Liability

###### 3.1 Direct and Indirect Loss

The liability of Group Four to the Client arising out of the performance or non-performance of the Services, whether under the law of contract, tort or otherwise shall be limited to the direct cost of rectifying the Building Works.

###### 3.2 Maximum Amount of Liability

The maximum liability of Group Four to the Client arising out of the performance or non-performance of the Services, whether under the law of contract, tort or otherwise, shall be the amount of \$50,000.00.

###### 3.3 Release

The Client releases Group Four from, and agrees that Group Four is not liable for, any liability or loss arising from or any costs incurred in connection with the Services in excess of the Group Four's liability determined in accordance with clause 4.2.

###### 3.4 Duration of Liability

Group Four shall be deemed to have been discharged from all liability in respect of the Services, whether under the law of contract, tort or otherwise, at the expiration of one (1) year from the completion of the Services, and the Client (and persons claiming through or under the Client) shall not be entitled to commence any action or claim whatsoever against Group Four (or any employee of Group Four) in respect of the Services after that date.

###### 3.5 Extent of Warranty

Except to the extent imposed by law or specifically provided for in these Terms of Engagement, Group Four does not give any warranty nor accept any liability in relation to the performance or non-performance of the Services. If, apart from this clause, any warranty would be implied whether by law, custom or otherwise, that warranty is to the full extent permitted by law hereby excluded. Nothing herein contained shall be read or applied so as to purport to exclude, restrict or modify or have the effect of excluding, restricting or modifying the application in relation to the supply of any goods or services pursuant to these Terms of Engagement of all or any of the provisions of Part V of the Trade Practices Act 1974 (as amended) or any relevant State Act or Territorial Ordinance which by law cannot be excluded, restricted or modified.

### 3.6 Indemnity

The Client shall indemnify and keep indemnified Group Four from and against all suits, actions, claims or demands by any person for any loss, damages, expense or costs as a result of any negligence or default by the Client.

### 4.0 Termination of Services

#### 4.1 Termination by Client

Subject always to the provisions of the Building Act 1983 (as amended), the Client may by notice in writing served on Group Four terminate the Group Four's engagement under these Terms of Engagement.

(a) If Group Four is in breach of the provisions of these Terms of Engagement and the breach has not been remedied within twenty-eight (28) days (or such longer period as the Client may allow) of the service by the Client on Group Four of a notice requiring the breach to be remedied; or

(b) If the Client serves on Group Four a notice requiring that these Terms of Engagement be terminated on a date specified in the notice being not less than sixty (60) days after the date of issue of the notice.

4.2 Termination by Group Four Subject always to the provisions of the Building Act 1983 (as amended), Group Four may by notice in writing served on the Client terminate Group Four's obligations under these Terms of Engagement:

(a) If the Client is in breach of the conditions of any part of clause 3 hereof and the breach has not been remedied within seven (7) days (or such longer period as Group Four may allow) of the service by Group Four on the Client of a notice requiring the breach to be remedied; or

(b) If the Client is in breach of the provisions of any other clause hereof and the breach has not been remedied within twenty-eight (28) days (or such longer period as Group Four may allow) of the service by Group Four on the Client of a notice requiring the breach to be remedied; or

(c) If Group Four serves Group Four on the Client a notice requiring that these Terms of Engagement be terminated on a date specified in the notice being not less than sixty (60) days after the date of the notice.

#### 4.3 Termination Not to Affect Rights in Respect of Prior Breaches

Termination shall be without prejudice to any claim which either party may have against the other in respect of any breach of the provisions of these Terms of Engagement which occurred prior to the date of termination.

#### 4.4 Work-in-Progress

If Group Four's obligations are terminated, then the Client shall pay for all work-in-progress performed by Group Four up until the date of termination.

### 5. General Matters

#### 5.1 Transfer and Assignment

(a) Group Four and the Client each binds itself and its partners (if any), successors, executors, administrators, permitted assigns and legal representatives to the other party to these Terms of Engagement and to the partners (if any), successors, executors, administrators, permitted assigns and legal representatives of the other party in respect to all covenants and obligations of these Terms of Engagement.

(b) Neither Group Four nor the Client shall assign, sublet or transfer any right or obligation under the Agreement without the written consent of the other party. Unless specifically stated to the contrary in any written consent to an assignment, no assignment shall release or discharge the assignor from any obligation under these Terms of Engagement

(c) Nothing contained in this Clause shall prevent Group Four from employing such persons or companies as it may deem appropriate to assist it in the performance of these Terms of Engagement.

#### 5.2 Consultants

If circumstances arise which require the services of a specialist or expertise outside the field of Group Four, then Group Four may with the prior approval of the Client engage the appropriate consultant. The consultant shall be engaged at the Client's expense and on its behalf. The Client's approval shall not be unreasonably withheld.

### 6. Definitions and Interpretation

#### 6.1 Definitions

Except where the context requires otherwise: "the Client" means the owner of the Property and to the extent appropriate includes the agents (including the builder), officers and employees of the owner; "fees", "expenses" and "Services" means the fees, expenses and Services referred to in Group Four's Letters to the Client; "Group Four's Letters" means Group Four's correspondence setting out its proposal to the Client and its confirmation of its engagement by the Client; "Building Works", "owner" and "Property" mean the Building Works, owner and Property described on the Application for the Building Permit.

**Severability** The parties agree that a construction of these Terms of Engagement that results in all the provisions being enforceable is to be preferred to a construction that does not so result. If, however, a provision of these Terms of Engagement is illegal or unenforceable, then:

(a) if the provision would not be illegal or unenforceable if a word or words were omitted, that word or words are severed; and

(b) in any other case, the whole provision is severed, and the remainder of these Terms of Engagement continue in force.

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**Group Four Building Surveyors**

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## PURCHASE ORDER AUDIT REPORT - SUMMARY - All Orders

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Order No.	PO Description	Supplier	Order Date	Status
Job Number : 33837	Lot 6			
OWNER:	HOUSE TYPE: Parkside (Modified) Alpine			
33837/001	0030 Level Contours	OFFICE ORDER	20/06/2012	Issued
33837/002	0040 Soil Report	OFFICE ORDER	20/06/2012	Issued
33837/003	0050 Site Report	OFFICE ORDER	20/06/2012	Issued
33837/004	0060 Engineer Comp	OFFICE ORDER	20/06/2012	Issued
33837/005	0063 5 Star Energy	SUMMARY SUPPLIER	20/06/2012	Issued
33837/013	0070 Water Fees	OFFICE ORDER	9/05/2013	Issued
33837/008	0080 Insure Bld Stat	IBM INSURANCE BROKERS P/L	29/10/2012	Issued
33837/007	0090 Permit & Fees	OFFICE ORDER	20/06/2012	Issued
33837/010	0135 Council Fees	OFFICE ORDER	7/11/2012	Issued
33837/015	0190 Hire Items	AIM HIRE	12/06/2013	Printed
33837/017	0205 Waste Manage	SITA AUSTRALIA PTY LIMITED	14/06/2013	Issued
33837/018	0210 UG Power & Temp	POWER BORING P/L	14/06/2013	Issued
33837/019	0212 Communications	ASTROTEC COMMUNICATIONS P/L	14/06/2013	Issued
33837/020	0250 Power Stat Conn	ORIGIN ENERGY ELECTRICITY	14/06/2013	Issued
33837/016	0270 Temp Fen & Sil	SITETECH SOLUTIONS P/L	12/06/2013	Printed
33837/021	0290 Set Out	EASTERN HOUSE SETOUTS	14/06/2013	Issued
33837/022	0300 Site Prep	EARTHLIFT EXCAVATIONS	14/06/2013	Issued
33837/023	0330 Site Clean SLAB	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/024	0335 Crush Rock	CRANBOURNE SAND & SOIL	14/06/2013	Issued
33837/025	0345 Termite Syst- A	TERMGUARD MELBOURNE	14/06/2013	Issued
33837/026	0370 Concrete Pumping	EAST END SLABS PTY LTD	14/06/2013	Issued
33837/027	0375 Conc Pump Piers	OFFICE ORDER	14/06/2013	Issued
33837/028	0380 Concretor-Lab	EAST END SLABS PTY LTD	14/06/2013	Issued
33837/029	0390 Concrete Supply	HANSON CONSTRUCTION MATERIALS	14/06/2013	Issued
33837/030	0400 Concretor-Mat	EAST END SLABS PTY LTD	14/06/2013	Issued
33837/031	0410 Bulk Conc Allow	OFFICE ORDER	14/06/2013	Issued
33837/032	0490 Frame Hardware	HARDINGS HARDWARE P/L	14/06/2013	Issued
33837/033	0510 Fr Carp GARAGE	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/034	0510a Frame Carpenter	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/035	0585 Fallguard Sys	BUILDSAFE AUSTRALIA PTY LTD	14/06/2013	Issued
33837/036	0615 Prefab F&T New	TIMBERTRUSS GEELONG	14/06/2013	Issued

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Order No.	PO Description	Supplier	Order Date	Status
33837/037	0621 Acrov Props	OFFICE ORDER	14/06/2013	Issued
33837/038	0630 Crane Hire Allo	OFFICE ORDER	14/06/2013	Issued
33837/039	0640 Fasc/Spout/BoxG	ZONE ROOFING P/L	14/06/2013	Issued
33837/040	0650 Conc Roof Tiles	CSR MONIER	14/06/2013	Issued
33837/041	0651 Perim Guardrail	CSR MONIER	14/06/2013	Issued
33837/042	0655 Walk Platform	BUILDSAFE AUSTRALIA PTY LTD	14/06/2013	Issued
33837/043	0670 Roof Metal Prod	ZONE ROOFING P/L	14/06/2013	Issued
33837/044	0700 Water Supply	PRENTICE PLUMBING	14/06/2013	Issued
33837/045	0750 Plumber R/In	PRENTICE PLUMBING	14/06/2013	Issued
33837/046	0770 Duct Heat Final	STAYCOOL HEATING & AIR CONDI	14/06/2013	Issued
33837/047	0780 Sewer Drains	W.W PLUMBING & DRAINAGE	14/06/2013	Issued
33837/048	0781 Rock Allowance	OFFICE ORDER	14/06/2013	Issued
33837/049	0800 Stormwater Drn	W.W PLUMBING & DRAINAGE	14/06/2013	Issued
33837/050	0820 Plumber Fin Fit	PRENTICE PLUMBING	14/06/2013	Issued
33837/051	0835 Wall Sisalation	CON-STRUCT RAMSAY INSULATION	14/06/2013	Issued
33837/052	0840 Wall Insulation	CON-STRUCT RAMSAY INSULATION	14/06/2013	Issued
33837/126	0850b Alum Wind Glaz	BORAL WINDOW SYSTEMS	14/06/2013	Issued
33837/053	0910 Steel Lintels	MCKERN STEEL	14/06/2013	Issued
33837/054	0940 Clay Brick	AUSTRAL BRICKS	14/06/2013	Issued
33837/055	0970 Brick Sand-Pt 1	CRANBOURNE SAND & SOIL	14/06/2013	Issued
33837/056	0985 Brk H/ware	HARDINGS HARDWARE P/L	14/06/2013	Issued
33837/057	1030 B/Layer House	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/058	1035 B/Layer Prog DS	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/059	1052 B/Layer Allow	OFFICE ORDER	14/06/2013	Issued
33837/060	1060 Scaffold Allow	ACROW FORMWORK & SCAFFOLDING	14/06/2013	Issued
33837/061	1061 E/O Scaf Allow	OFFICE ORDER	14/06/2013	Issued
33837/062	1070 Solar Collector	RHEEM AUSTRALIA PTY LTD	14/06/2013	Issued
33837/063	1080 Brick Cut Allow	OFFICE ORDER	14/06/2013	Issued
33837/064	1090 Brick Cleaner	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/065	1100 Electrician	GDM ELECTRICS PTY LTD	14/06/2013	Issued
33837/066	1101 Mirabella	MIRABELLA INTERNATIONAL P/L	14/06/2013	Issued
33837/067	1110 Electrician P1	GDM ELECTRICS PTY LTD	14/06/2013	Issued
33837/068	1130 Intercom/Alarm	CRIMEWATCH SECURITY PTY LTD	14/06/2013	Issued
33837/069	1140 RCD Testing	BUILDSAFE AUSTRALIA PTY LTD	14/06/2013	Issued

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Order No.	PO Description	Supplier	Order Date	Status
33837/070	1150 L/Up Carp Int	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/071	1160 LockUp Carp Ext	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/072	1170 Int Lk/up Mat	DAHLSENS BUILDING CENTRES P/L	14/06/2013	Issued
33837/073	1180 Ext L/up Mat 1	DAHLSENS BUILDING CENTRES P/L	14/06/2013	Issued
33837/074	1190 Lk/up Hardware	HARDINGS HARDWARE P/L	14/06/2013	Issued
33837/075	1200 Entrance Locks	HARDINGS HARDWARE P/L	14/06/2013	Issued
33837/076	1225 Flexiduct R/In	CAPITAL PLUMBING	14/06/2013	Issued
33837/077	1240 SiteCln BRWK	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/078	1340 Baths	HARDINGS HARDWARE P/L	14/06/2013	Issued
33837/079	1422 Plaster Recyc	BROOKLYN COVE PTY LTD	14/06/2013	Issued
33837/080	1423 Plaster Mat	LAFARGE PLASTAMASTA HALLAM	14/06/2013	Issued
33837/125	1424 Plaster Install	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/081	1430 Ceiling Insul	CON-STRUCT RAMSAY INSULATION	14/06/2013	Issued
33837/082	1440 Site Cln FIXING	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/083	1470 External Finish	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/084	1510 Fix Carpenter	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/085	1515 Fix Material	DAHLSENS BUILDING CENTRES P/L	14/06/2013	Issued
33837/086	1520 Skirt/Arch/Door	DAHLSENS BUILDING CENTRES P/L	14/06/2013	Issued
33837/087	1530 Fixing Hardware	HARDINGS HARDWARE P/L	14/06/2013	Issued
33837/088	1570 Int Staircase	SLATTERY & ACQUORFF	14/06/2013	Issued
33837/089	1580 Sink/Basin/Trgh	HARDINGS HARDWARE P/L	14/06/2013	Issued
33837/090	1605 Cabinetry	CLAYTONS KITCHENS	14/06/2013	Issued
33837/091	1620 Waterproofing	FLEXITRAY AUSTRALIA PTY LTD	14/06/2013	Issued
33837/092	1630 CeramicTile Lab	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/093	1640 CeramicTile Mat	NATIONAL TILES PTY LTD	14/06/2013	Issued
33837/094	1655 Plaster Complet	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/095	1670 Painter	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/096	1670a Painter Final	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/097	1670b Painter Progr	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/098	1685 Final Fit Hware	HARDINGS HARDWARE P/L	14/06/2013	Issued
33837/099	1687 Carpenter Fin Fit	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/100	1700 Garage Doors	B & D AUSTRALIA PTY.LTD.	14/06/2013	Issued
33837/101	1720 Sealant	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/102	1730 Appliances	HARDINGS HARDWARE P/L	14/06/2013	Issued



## PURCHASE ORDER AUDIT REPORT - SUMMARY - All Orders

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Order No.	PO Description	Supplier	Order Date	Status
33837/103	1742 Canopy Install.	CAPITAL PLUMBING	14/06/2013	Issued
33837/104	1745 HWS	HARDINGS HARDWARE P/L	14/06/2013	Issued
33837/105	1750 Dishwasher & WD	HARDINGS HARDWARE P/L	14/06/2013	Issued
33837/106	1800 Shwr/Mirr/Robes	STEGBAR PTY LTD	14/06/2013	Issued
33837/107	1805 Toil/Basin/Sink	HARDINGS HARDWARE P/L	14/06/2013	Issued
33837/108	1810 Taps by Plumber	HARDINGS HARDWARE P/L	14/06/2013	Issued
33837/109	1830 Floor Sanding	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/110	1840 Flr Cov Carpet	CARPET CALL	14/06/2013	Issued
33837/111	1850 Site Cln Final	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/112	1865 Termite Syst- B	TERMGUARD MELBOURNE	14/06/2013	Issued
33837/113	1870 Ext PavingConc	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/114	1930 House Cleaner	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/115	1935 H/Over Clean	OFFICE ORDER	14/06/2013	Issued
33837/116	1945 Plumber Complet	PRENTICE PLUMBING	14/06/2013	Issued
33837/117	1960 Maint Allowance	OFFICE ORDER	14/06/2013	Issued
33837/118	1975 Warranty Allow	OFFICE ORDER	14/06/2013	Issued
33837/119	1978 Client Insuranc	OFFICE ORDER	14/06/2013	Issued
33837/120	2011 Super Allow N01	RECIPIENT CREATED TAX INVOICE	14/06/2013	Issued
33837/121	2031 Rebates	OFFICE ORDER	14/06/2013	Issued
33837/122	3520a Crane Hire	OFFICE ORDER	14/06/2013	Issued
33837/123	3520c Double Handlin	OFFICE ORDER	14/06/2013	Issued
33837/014	3610 Misc Allow	OFFICE ORDER	13/05/2013	Issued