

CONSTRUCTION NOTES:
COMPLIANCE PACKAGE A1 - OBC 2012 - 2017 ENACTMENT

(UNLESS OTHERWISE NOTED)
-ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE (O.B.C.) AND ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION
-ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC
-THERMAL RESISTANCE VALUES BASED ON ZONE 1

FOOTINGS / SLABS:

O.B.C. 9.1.5.3.
-BASED ON 1/4" (4mm) MIN. EXPOSED JOIST LENGTH AND 1/2" (12.7mm) MAX. CONCRETE JOIST LENGTH
-SHALL REST ON UNDISTurbed SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 10% (15mpa) BEARING CAPACITY
-FIG. TO HAVE CONTINUOUS KEY BEARING
-FIG. TO HAVE CONTINUOUS KEY BEARING
-SOILS W/ GREATER BEARING CAPACITY (AS PER SOILS ENGINEERING REPORT)

TYPICAL STRIP FOOTING: (EXTERIOR WALLS)

O.B.C. 9.1.5.3.
-1" STOREY MASONRY - 16' X 4' (400mm X 100mm)
-1" STOREY MASONRY - 16' X 4' (400mm X 100mm)
-2" STOREY MASONRY - 26' X 6' (760mm X 130mm)
-2" STOREY STUCCO - 18' X 5' (450mm X 130mm)
-3" STOREY MASONRY - 36' X 4' (900mm X 130mm)
-3" STOREY STUCCO - 24' X 8' (600mm X 200mm)

SIDING - 1" STOREY - 10' X 4' (255mm X 100mm)
-2" STOREY - 14' X 4' (360mm X 100mm)
-3" STOREY - 18' X 4' (460mm X 130mm)

TYPICAL STRIP FOOTING: (INTERIOR BEARING WALLS)

O.B.C. 9.1.5.3.
-1" STOREY MASONRY - 16' X 4' (400mm X 100mm)
-1" STOREY MASONRY - 16' X 4' (400mm X 100mm)
-2" STOREY MASONRY - 26' X 6' (760mm X 130mm)
-2" STOREY STUCCO - 18' X 5' (450mm X 130mm)
-3" STOREY MASONRY - 36' X 4' (900mm X 130mm)
-3" STOREY STUCCO - 24' X 8' (600mm X 200mm)

STEP FOOTING:

-23 5/8" (600mm) MAX. VERTICAL RISE & 23 5/8" (600mm) MIN. HORIZONTAL RUN.

DRAINAGE TILE OR PIPE:

O.B.C. 9.1.4.
-4" (100mm) DIA. LAID ON UNDISTurbed OR WELL COMPACTED SOIL W/ TOP OF TILE OR PIPE TO BE BELOW BOTTOM OF FLOOR SLAB.
-COVER TOP & SIDES OF TILE OR PIPE W/ 5/8" (15mm) OF CRUSHED STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL.

-TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL.

5 BASEMENT:

O.B.C. 9.1.4.6.
-3" (75mm) CONCRETE SLAB
-2200psi (15mpa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
-DAMPPROOF BELOW SLAB W/ MIN. 0.005" (0.15mm) POLYETHYLENE OR TYPE I O.C. 9.16.4.5. CONCRETE SLAB TO BE COMPACTED IN CONCRETE HAS MIN. 3600psi (25mpa) COMPRESSIVE STRENGTH AFTER 28 DAYS.

-4" (100mm) OF COURSE GRANULAR MATERIAL
-PROVIDE BREAKING MATERIAL BETWEEN SLAB & FIG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.

-FLOOR DRAIN PER O.B.C. 9.31.4.4.

-R-10 (160mm) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 23-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 23-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL (OBC 38-12-3.1.7 [5]).

-IT CAN NOT BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. 9.8-9).

5a SLAB ON GROUND:

-3" (75mm) CONCRETE SLAB - O.B.C. 9.16.4.3.
-2200psi (15mpa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
-DAMPPROOF BELOW SLAB W/ MIN. 0.005" (0.15mm) POLYETHYLENE OR TYPE I O.C. 9.16.4.5. CONCRETE SLAB TO BE COMPACTED IN CONCRETE HAS MIN. 3600psi (25mpa) COMPRESSIVE STRENGTH AFTER 28 DAYS.

-4" (100mm) OF COURSE GRANULAR MATERIAL
-PROVIDE BREAKING MATERIAL BETWEEN SLAB & FIG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.

-FLOOR DRAIN PER O.B.C. 9.31.4.4.

-UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. 9.8-9).

6a TYPICAL SLAB: EXTERIOR SLAB

O.B.C. 9.16.4.5.
-4400psi (24mpa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREFINED CONC. & W/ 5/8" (14.7mm) AIR ENRAINTMENT - O.B.C. 9.31.6.
-6' X 6' (W2.9 X 2.9) 1/8" MESH LOCATED NAR MID-DEPTH OF SLAB
-4" (100mm) OF COURSE GRANULAR MATERIAL
-ANY TIE PLACED UNDER SLAB, OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED.

7 PILASTERS:

O.B.C. 9.15.5.
-LEAF SISTER
-CONCRETE NIB - 4' X 12" (100mm X 300mm)
-BLOCK NIB - 4' X 12" (100mm X 300mm) BONDED & TIED TO WALL AS PER O.B.C. 9.20.1.2.1. TOP 7 7/8" (200mm) SOLID.
-OR
-BEAM POKETE

-4" (100mm) INTO FDN. WALL W/ WIDTH TO MATCH BEAM SIZE.
-1/2" (13mm) SPACE AROUND WOOD BEAMS (O.B.C. 9.23.2.2).
STRUCTURAL COLUMNS

SIZES BASED ON SUPPORTING BEAMS CARRYING LOADS FROM NOT MORE THAN TWO WOOD FRAME FLOORS. WHERE THE LENGTHS OF JOISTS CARRIED BY SUCH BEAMS DO NOT EXCEED 14'-1" (4.3m) AND THE LIVE LOAD ON ANY FLOOR DOES NOT EXCEED 50psf (2.44psf)

8 STEEL COLUMN:

O.B.C. 9.15.3.4. & 9.17.3.
-FLOOR DECK - 14'0" X 14'0" (4200mm X 4200mm)
-MIN. 10' (305mm) DIA. W/ 3/16" (4.76mm) WALL THICKNESS
-FOR STEEL BEAMS, CUPS & TOP & MIN. 4' X 4" (152mm X 100mm X 6.35mm) STEEL BITM. PLATE
-FOR WOOD BEAMS, MIN. 4XV4" (101mm X 100mm X 3.5pm) STEEL TOP & MIN. 4X4" (100mm X 100mm X 3.5pm) STEEL BOTTOM

-ADJUSTABLE COLUMNS TO CONFORM TO CAN/CSB-S7.2.4 WHERE IMPOSED LOAD DOES NOT EXCEED 36 N (O.B.C. 9.17.3.4).

-COL. SPACING: FIG TIE

-MAX. 9'-10" (2997mm) - 3' X 3' X 16" (860mm X 860mm X 400mm)
-MAX. 16'-0" (4880mm) - 4' X 4' X 21" (112mm X 1200mm X 53mm)
-3 STOREY
-MAX. 9'-10" (2997mm) - 4' X 4' X 19" (1010mm X 1010mm X 480mm)
-MAX. 5' 1" X 21' (1524mm X 610mm)

-WHERE COIL SITS ON FDN. WALL USE 4" X 8' 5/8" (100mm X 200mm X 16mm) STEEL PLATE WITH 2-5/8" (160mm) ANCHOR BOLTS

9 WOOD COLUMN:

O.B.C. 9.17.4.1, 9.17.4.2, & 9.17.4.3.
-5' X 6' (1524mm X 1830mm) BUILT UP COLUMN NAMED TOGETHER
-W/ 3" (76mm) NAILS SPACED NOT MORE THAN 12" (300mm) APART OR BOLTED TOGETHER W/ 3/8" (5.5mm) DIA. BOLTS SPACED AT 18" (450mm) O.C.
-WRAP COLUMN BASE W/ 4 MIL POLY

-COIL SITS ON FDN. CONC. PAD (NOT ON CONC SLAB)

-25' X 20' (640mm X 640mm X 300mm) CONC PAD (1 FLOOR SUPPORTED W/ 9"-10" (2997mm) COIL SPACING)
-COIL SUPPORT PROVIDED TO EXTEND W/ 2" X 6' (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED AT 12" (300mm) O.C.

10 BLOCK PARTY WALL REAM END BEARING: (WOOD FLOOR / GIBER TRUSSES)

O.B.C. 9.15.2.
-FOR WOOD BEARS ON FIRE WALLS USE GENERAL NOTE 11 WHERE REQUIRED TO OBTAIN 5' SEPARATION DISTANCE

11 BLOCK PARTY WALL BEAM END BEARING: (STEEL BEAM)

-12'X1' X 5/8" STL PLATE ON TOP OF SOLID CONCRETE BLOCK WITH 2-1/2" X 25" ANCHOR BOLTS.

WALL ASSEMBLIES:

14 FOUNDATION WALL:

O.B.C. 9.15.2.
-FOR WOOD BEARS EXCEEDING 8'-2" (2500mm) IN LATERALLY SUPPORTED HEIGHT.
-8" (200mm) SOLID 2200psi (15mpa) CONCRETE
-MAX. UNSUPPORTED HEIGHT OF 3'-1" (1000mm) & MAX. SUPPORTED HEIGHT OF 7'-0" (2100mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR. FOR WOOD BEARS NOT EXCEEDING 8'-2" (2500mm) IN LATERALLY SUPPORTED HEIGHT.
-10' (2600mm) SOLID 2200psi (15mpa) CONCRETE
-MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) & MAX. SUPPORTED HEIGHT OF 8'-4" (2600mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR. LATERAL SUPPORT PROVIDED BY ANCHORED SILT PLATE TO JOISTS.

FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN CONFORMANCE TO O.B.C. 17.9.4.2.A. SHALL BE USED OR IT SHALL BE DESIGNED UNDER O.B.C. PART 4.
-WALL SHALL EXTEND A MIN. 5' (150mm) ABOVE GRADE
-INSULATE W/ R20 (R3.2) CONTINUOUS INSULATION FROM UNDERSIDE OF SURFACE EXPOSED TO THE ELEMENTS ABOVE FINISHED FLOOR OF BASEMENT (ZONE 1 OBC 9.12.1.3.1.2.A.)
-ALTERNATE INSULATION METHOD: 2" (51mm) R10 (R3.1) RIGID INSULATION W/ 2" X 38mm X 89mm) WOOD STUD W/ R12 (R3.11) BATT INSULATION -BACK FILL W/ NON-FROST SUSCEPTIBLE SOIL

REDUCTION OF THICKNESS:
O.B.C. 9.15.4.7.
-WHEN THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY TO LACING THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 3'-1" (90mm) THICK.
-TIE TO FACING MATERIAL WITH METAL TIES SPACED MAX. @ 7 7/8" (200mm) VERTICALLY & 10" (250mm) HORIZONTALLY.
-TIE SPAN NOT TO EXCEED 12" (300mm) HORIZONTALLY.
-WHERE WALL IS REDUCED FOR 1" (25mm) THICKNESS, THE REDUCED THICKNESS SHALL BE MAX. 13-3/4" (350mm) HIGH & MIN. 3-1/2" (90mm) THICK.

DAMPROOFING & WATERPROOFING:

-DAMPROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 9.12.2.
-WHERE INSULATION EXTENDS TO MORE THAN 2'-11" (900mm) BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED ON TOP OF THE WALL.

-CONT. WALL TO BTM. PLATE FOR FULL LENGTH OF WALL

-4" X 12" (4mm) WOOD STUDS @ 12" (300mm) O.C. & 12" (300mm) O.C. & 12" (300mm) O.C. & 12" (300mm) O.C.

-POLE SUPPORTS SPACED ABOVE 2' X 6' (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6' (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

-REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. 9.12.2.1.1, 9.12.2.1.2, & 9.12.2.1.3.1.1
-CROSS TIE TO W/ 16" (400mm) O.C. & FIRE = 45 MIN.
-FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:

-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.12.2.1.2 (3) (4)

-FIRE RETARDANT COATING & POLYURETHANE FOAM

-INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.

-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD W/ 12" (300mm) TYPE X GYPSUM BD.

15 FOUNDATIONS & UNSUPPORTED OPENINGS:

O.B.C. 9.12.2.1.1, 9.12.2.1.2, & 9.12.2.1.3.1.1
-1" STOREY MASONRY - 10' X 4' (255mm X 100mm)

-1" STOREY MASONRY - 14' X 4' (360mm X 100mm)

-1" STOREY STUCCO - 18' X 5' (450mm X 130mm)

-3" STOREY MASONRY - 36' X 4' (900mm X 130mm)

-3" STOREY STUCCO - 24' X 8' (600mm X 200mm)

16 FOUNDATIONS & SUPPORTED OPENINGS:

O.B.C. 9.12.2.1.1, 9.12.2.1.2, & 9.12.2.1.3.1.1
-1" STOREY MASONRY - 10' X 4' (255mm X 100mm)

-1" STOREY MASONRY - 14' X 4' (360mm X 100mm)

-1" STOREY STUCCO - 18' X 5' (450mm X 130mm)

-3" STOREY MASONRY - 36' X 4' (900mm X 130mm)

-3" STOREY STUCCO - 24' X 8' (600mm X 200mm)

17 FOUNDATIONS & SUPPORTED OPENINGS:

O.B.C. 9.12.2.1.1, 9.12.2.1.2, & 9.12.2.1.3.1.1
-1" STOREY MASONRY - 10' X 4' (255mm X 100mm)

-1" STOREY MASONRY - 14' X 4' (360mm X 100mm)

-1" STOREY STUCCO - 18' X 5' (450mm X 130mm)

-3" STOREY MASONRY - 36' X 4' (900mm X 130mm)

-3" STOREY STUCCO - 24' X 8' (600mm X 200mm)

18 FOUNDATIONS & SUPPORTED OPENINGS:

O.B.C. 9.12.2.1.1, 9.12.2.1.2, & 9.12.2.1.3.1.1
-1" STOREY MASONRY - 10' X 4' (255mm X 100mm)

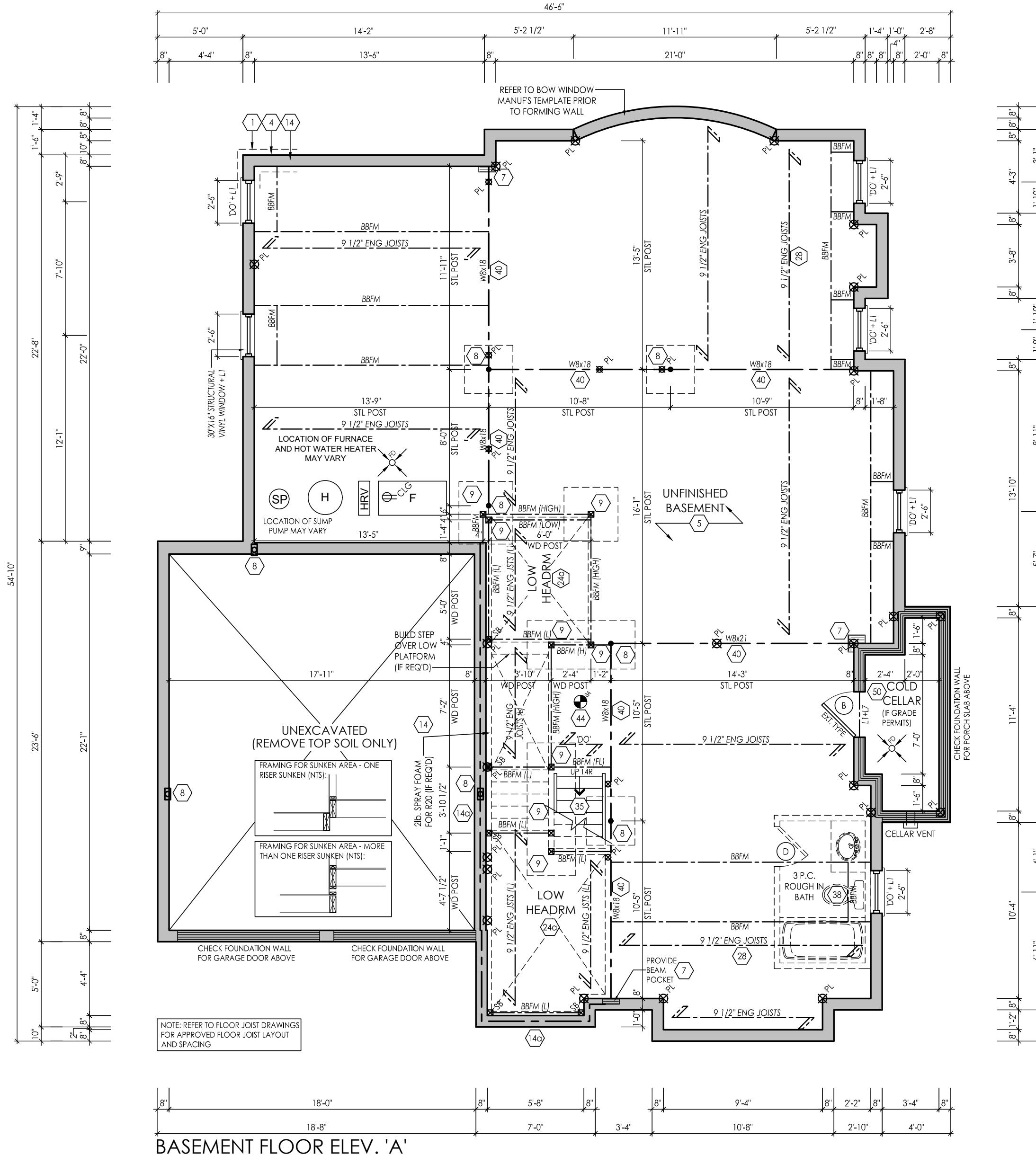
-1" STOREY MASONRY -



, ARTHUR PUI YAN LAW DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.**, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
QUALIFIED DESIGNER BCIN: 41230
FIRM BCIN: 26995
DATE: Sept. 30, 2016

41230
26995
Sept. 30, 2016

SIGNATURE:



PART. BASEMENT FLOOR
W/ OPT. FIN. STAIR ELEV. 'A'

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14084

$$3/16'' = 1'-0''$$

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$3/16" = 1'-0"$

[View Details](#)

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the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for permitting or approving site (lotting) plans or engineering drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
guidelines approved by the Town of
Museil.

Zancor/ Pristine/
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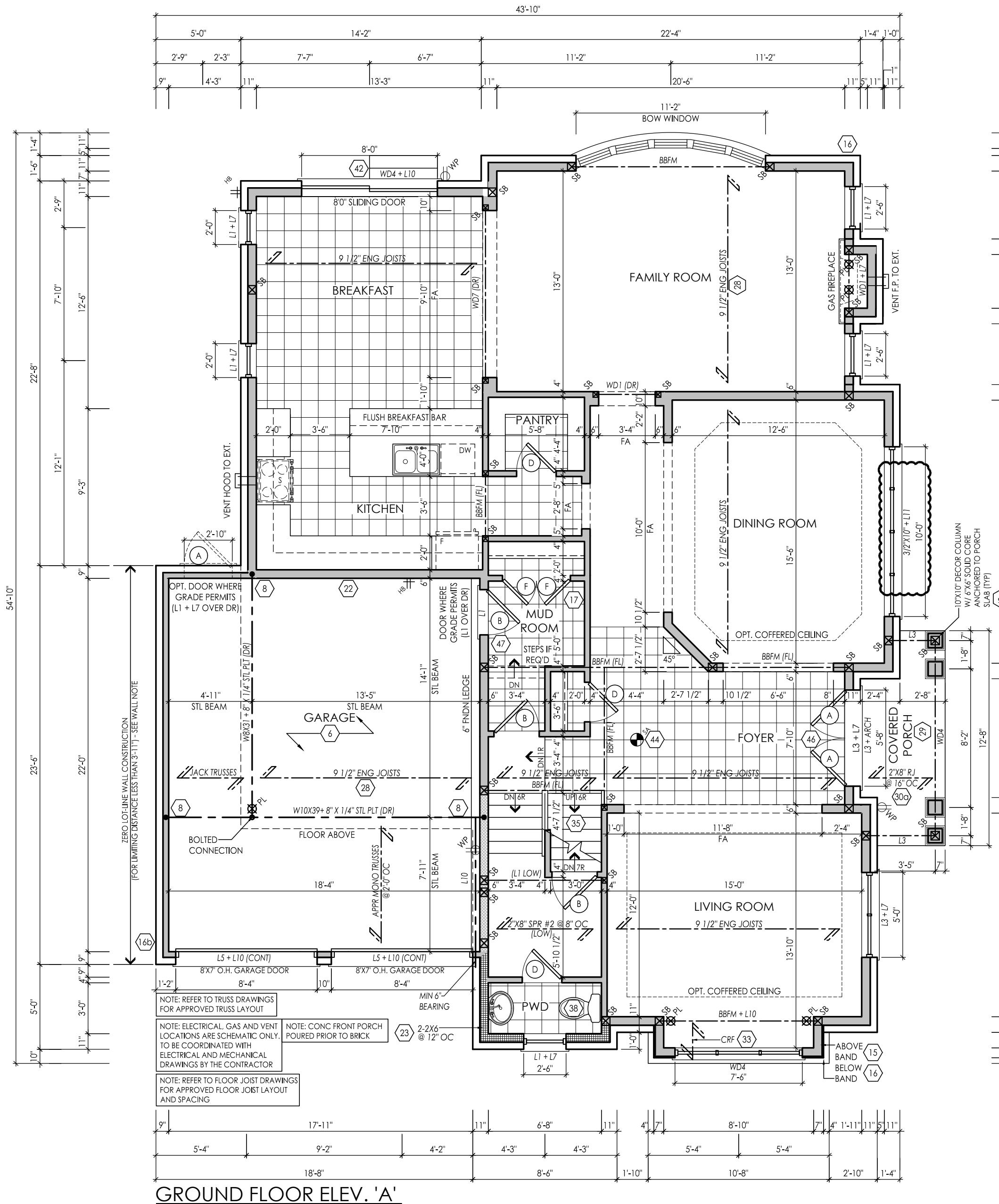
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Belle Aire Shores

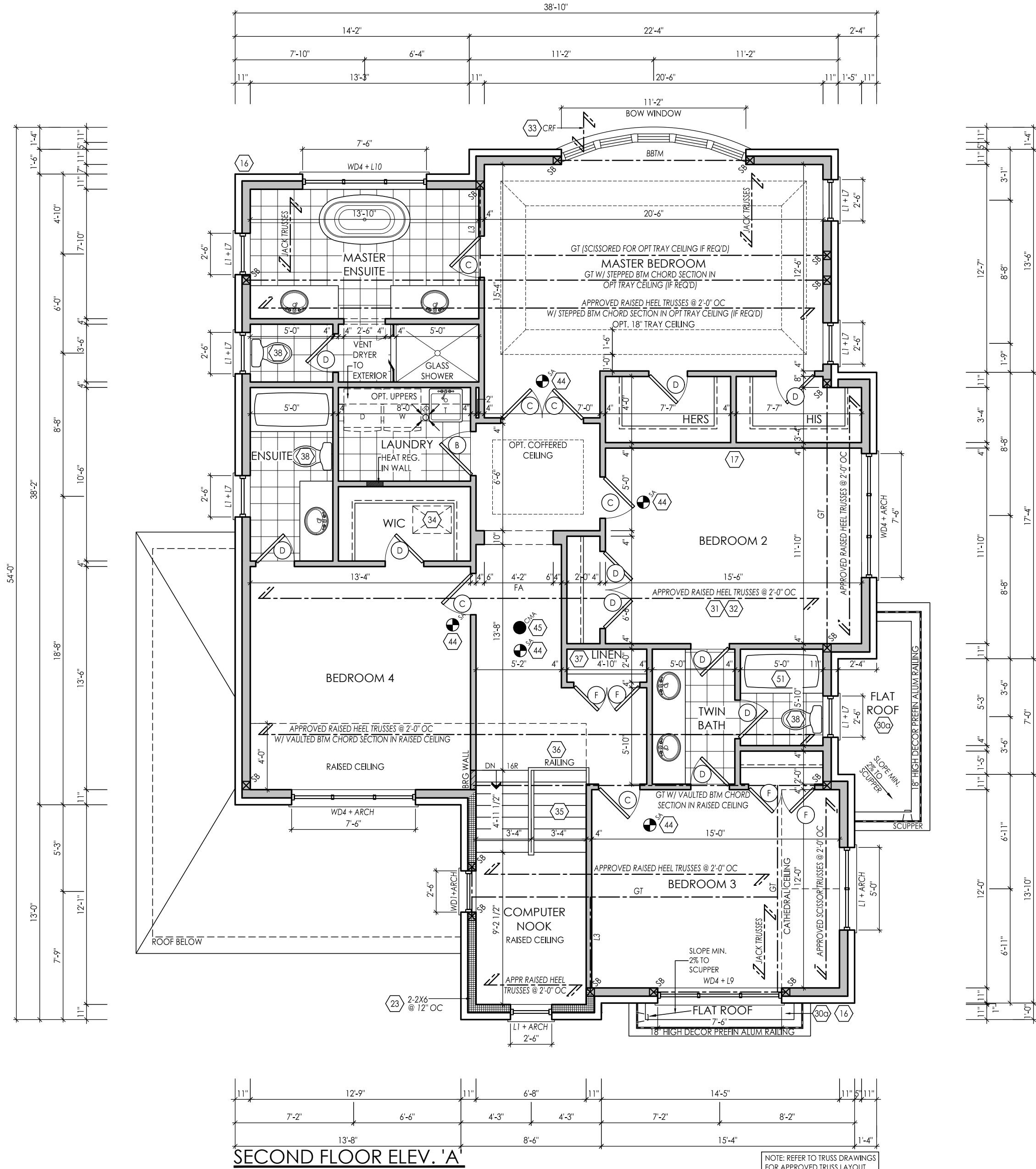
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object # 14084
scale 3/16"=1'-0"
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PART. GROUND FLOOR
W/ OPT. FIN. STAIR ELEV. 'A'





I, ARTHUR PULIYAN, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART 3, SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

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DATE: Sept. 30, 2016

SIGNATURE:

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with all applicable zoning provisions, regulations, and all applicable regulations and requirements including zoning provisions and any provisions including but not limited to the Building Code. The Architect is not responsible in any way for examining or approving site (lot) plans or any other plans or drawings for any building or structure under the building code or permit matter or that any house can be properly built or located on its lot.

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#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	29-May-15	SL	IT
2	REVISED AS PER CLIENT COMMENTS	4-Aug-15	NM	IT
3	REVISED AS PER CLIENT COMMENTS	13-Jan-16	CR	CR
4	REVISED AS PER CLIENT COMMENTS	22-Jun-16	MM	AU
5	REVISED AS PER INTERNAL COMMENTS	22-Sep-16	LO	AL
11	ISSUED FOR PERMIT	30-Sep-16	KH	AL

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Fernbrook

project
Belle Aire Shores

model
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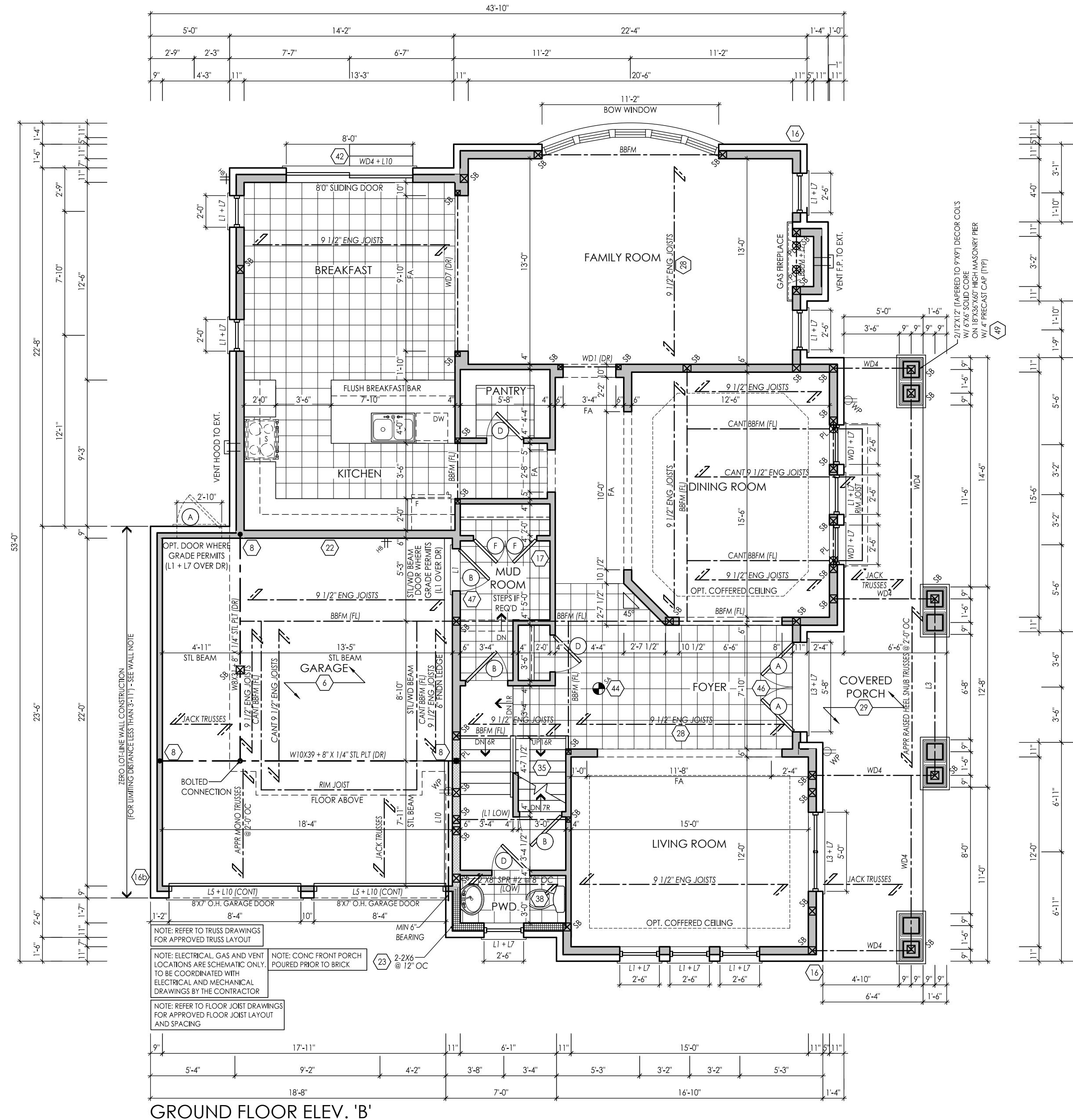
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scale
3/16"=1'-0"

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1	ISSUED FOR CLIENT REVIEW	29-May-15	SL	IT
2	REVISED AS PER CLIENT COMMENTS	4-Aug-15	NM	IT
3	FLOOR COORDINATION	2-Dec-15	HZ	REM
4	REVISED PER ENGINEER COMMENTS	23-Dec-15	NM	REM
5	REVISED AS PER INTERNAL COMMENTS	22-Sep-16	LO	AL
11	ISSUED FOR PERMIT	30-Sep-16	KH	AL

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project #	14084
scale	3/16"=1'-0"

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Fernbrook

project [Bell's Air Showers](#)

model

50-08

project # 14084

scale 0/1.0" 11.0"

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A10

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GROSS GLAZING AREA

TOTAL PERIPHERAL WALL AREA	3389.25 SF	314.86 m ²
FRONT GLAZING AREA	140.28 SF	13.03 m ²
LEFT SIDE GLAZING AREA	58.5 SF	5.43 m ²
RIGHT SIDE GLAZING AREA	170.06 SF	15.80 m ²
REAR GLAZING AREA	192.28 SF	17.86 m ²
TOTAL GLAZING AREA	561.12 SF	52.13 m ²
TOTAL GLAZING PERCENTAGE	16.56 %	

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The diagram illustrates a complex roof framing system. It features multiple gables supported by vertical posts. A central vertical post is connected to several roof rafters. The roof is supported by a series of trusses, with some rafters meeting or crossing over these trusses. A note specifies that rafters meeting or crossing over trusses must be 2x4 SPF at 24" O.C. with a 2x4 SPF vertical post to the truss under at each cross point. Posts longer than 6' must be laterally braced so that the distance between end points and between rows of bracing does not exceed 6'. There are also notes referring to street scapes for possible minor changes due to grading conditions.

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"X4" SPF @ 24" O.C. WITH A 2"X4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

ROOF PLAN 'B



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client
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project

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model

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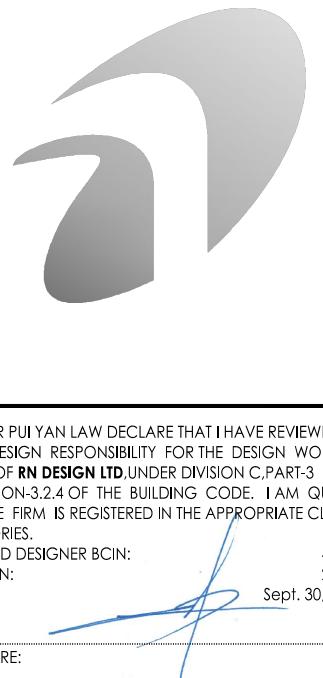
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I, ARTHUR PUI YAN LAW DECLARE THAT I HAVE REVIEWED AND
TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON
BEHALF OF **RN DESIGN LTD.**, UNDER DIVISION C, PART-3
SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED
AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES /
CATEGORIES.
QUALIFIED DESIGNER BCIN: 41230
FIRM BCIN: 26995
DATE: Sept. 30, 2016



client
Zancor/ Pristine/
Fernbrook

project
Belle Aire Shores

Innisfil

model

scale 3/16"-1' 0"

A 10

A12



I, ARTHUR PUI YAN LAW DECLARE THAT I HAVE REVIEWED AND
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DATE: Sept. 30, 2016



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of

Zancor/ Pristine/
Fernbrook

project

Imaging

50/08

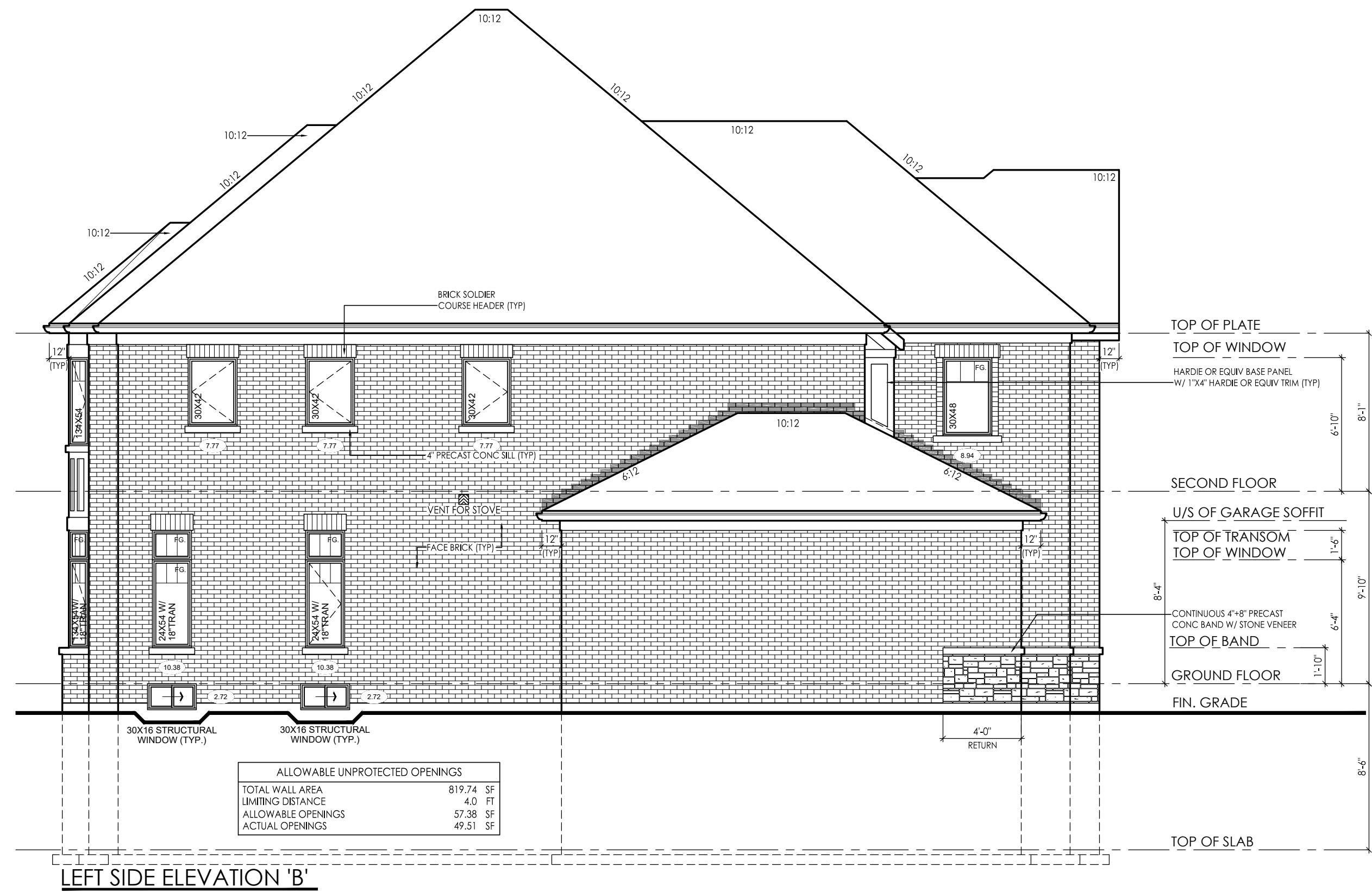
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3/18-1-0

13



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client
Zancor/ Pristine/
Fernbrook

project
Belle Aire Shores

Innisfil

model 50.08

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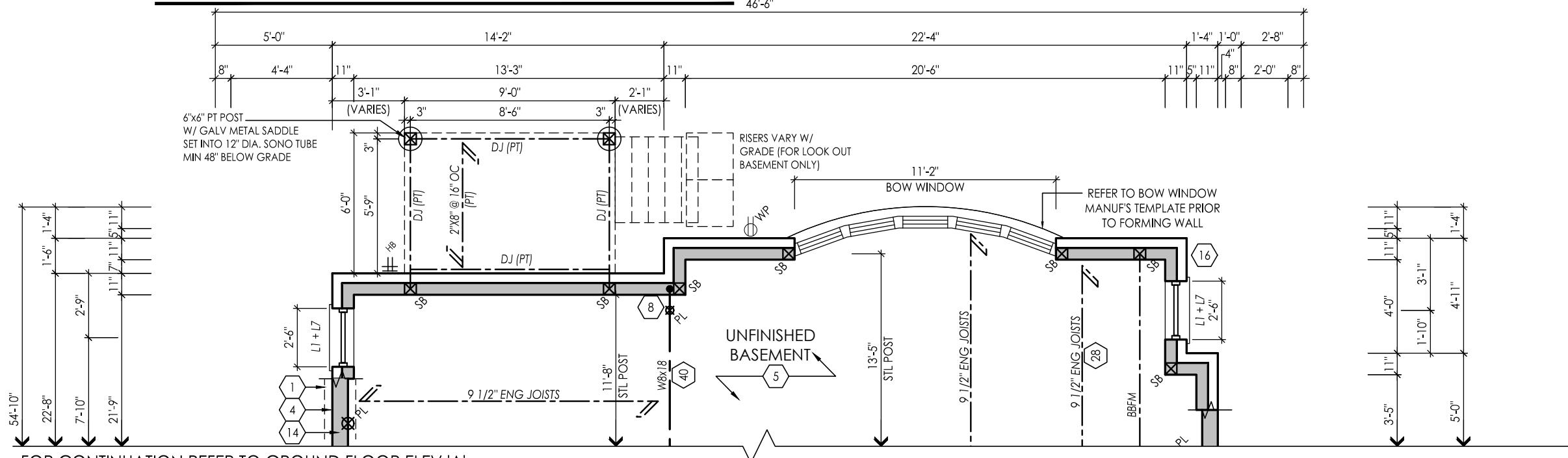
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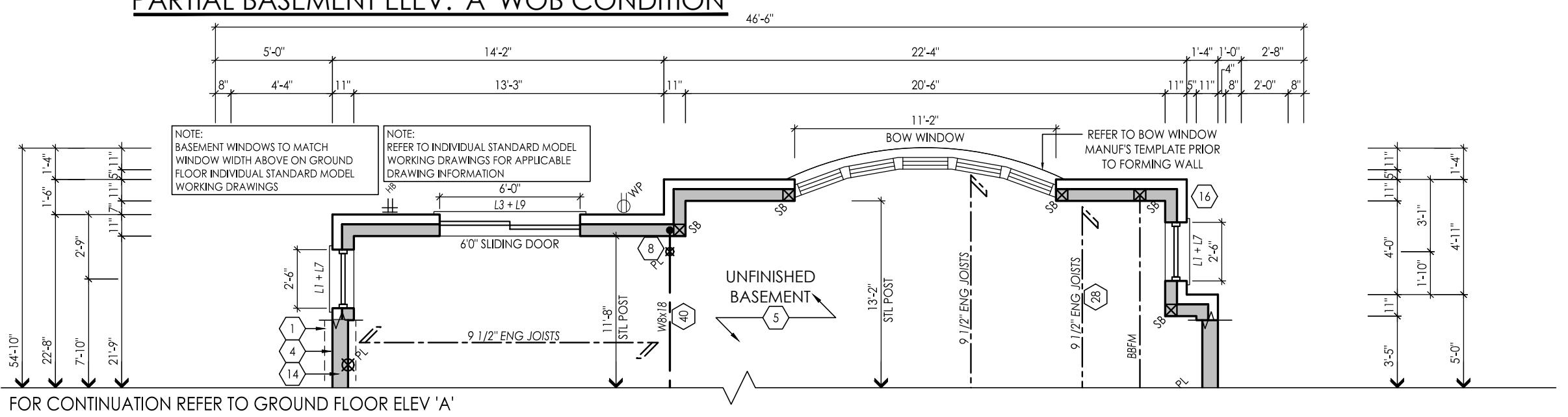
A14

A14

PARTIAL BASEMENT ELEV. 'A' LOB CONDITION

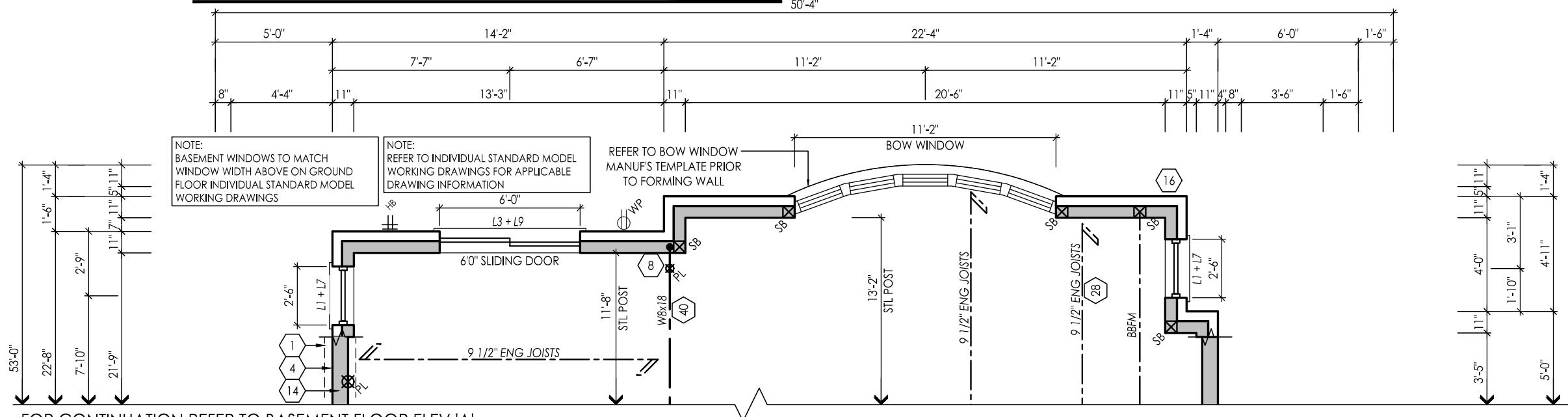


PARTIAL BASEMENT ELEV. 'A' WOB CONDITION



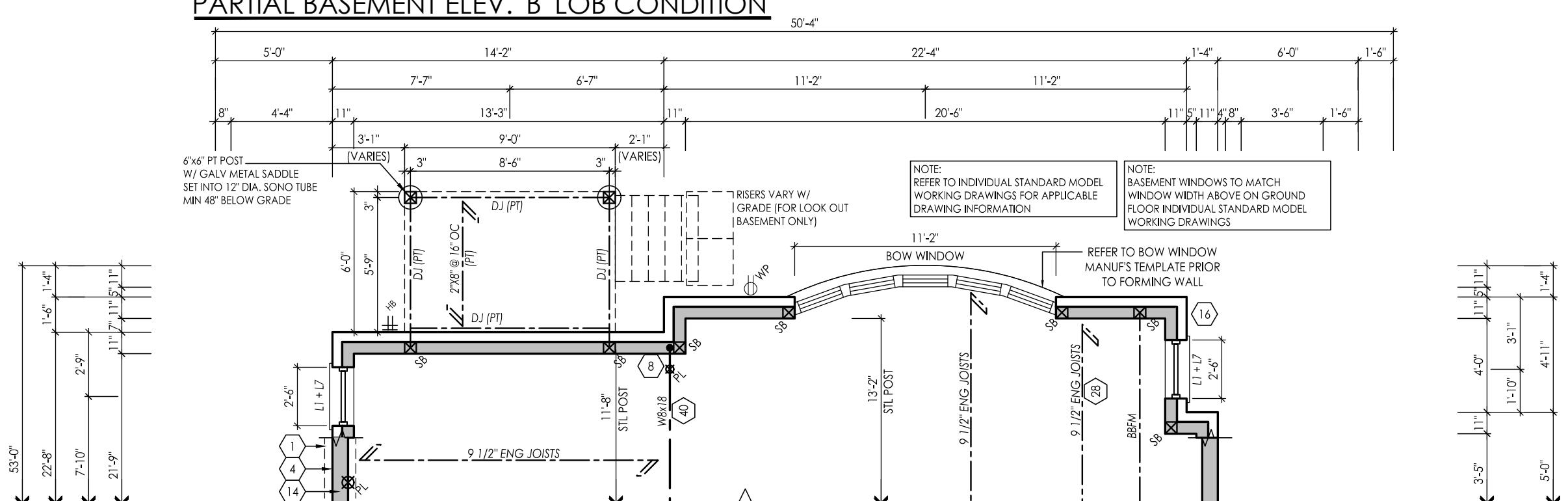
FOR CONTINUATION REFER TO GROUND FLOOR ELEV 'A'

PARTIAL BASEMENT ELEV. 'B' WOB CONDITION



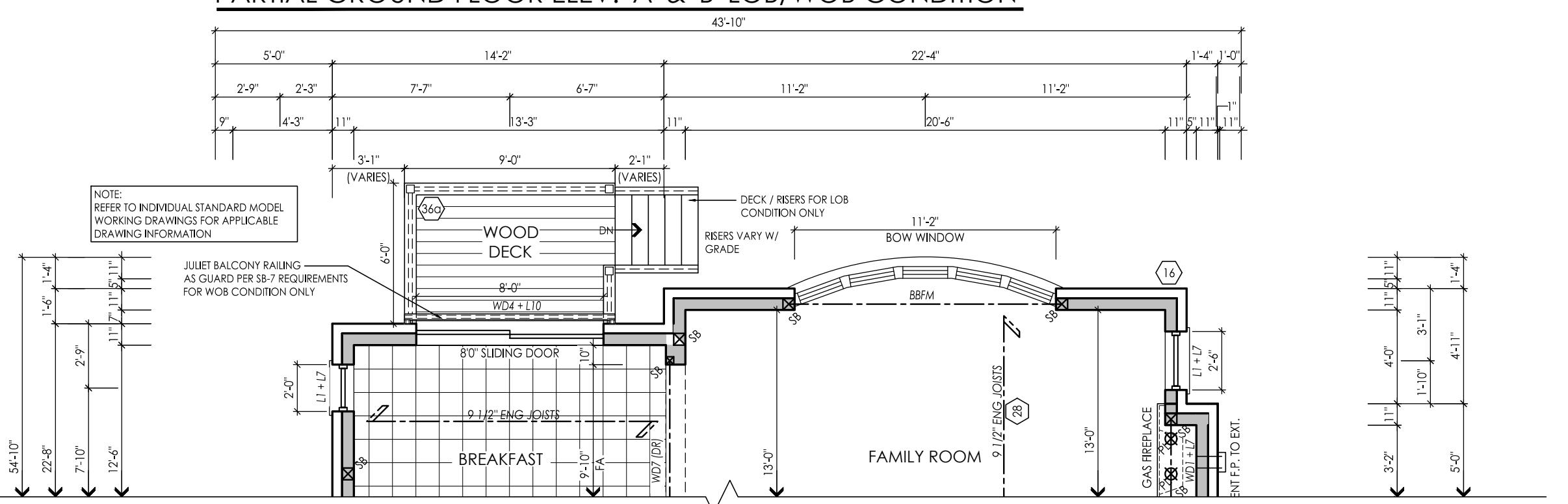
FOR CONTINUATION REFER TO BASEMENT FLOOR ELEVATION

PARTIAL BASEMENT ELEV 'B' LOB CONDITION



FOR CONTINUATION REFER TO BASEMENT FLOOR ELEV 'A'

PARTIAL GROUND FLOOR ELEV. 'A' & 'B' LOB/WOB CONDITION



FOR CONTINUATION REFER TO GROUND FLOOR ELEV 'A'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNSFIL.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including Zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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QUALIFIED DESIGNER BCIN: 41230
HRM BCIN: 26995
DATE: JAN 18, 2017

SIGNATURE: 

RN design
Imagine • Inspire • Create

GROSS GLAZING AREA ELEV. 'A' - WOB

TOTAL PERIPHERAL WALL AREA	4072.08 SF	378.31 m ²
FRONT GLAZING AREA	151.95 SF	14.12 m ²
LEFT SIDE GLAZING AREA	61.93 SF	5.75 m ²
RIGHT SIDE GLAZING AREA	230.37 SF	21.40 m ²
REAR GLAZING AREA	363.60 SF	33.78 m ²
 TOTAL GLAZING AREA	 807.85 SF	 75.05 m ²
TOTAL GLAZING PERCENTAGE	19.84 %	



GROSS GLAZING AREA ELEV. 'A' - LOB

TOTAL PERIPHERAL WALL AREA	3742.35 SF	347.68 m ²
FRONT GLAZING AREA	140.28 SF	13.03 m ²
LEFT SIDE GLAZING AREA	58.5 SF	5.43 m ²
RIGHT SIDE GLAZING AREA	170.06 SF	15.80 m ²
REAR GLAZING AREA	220.20 SF	20.46 m ²
 TOTAL GLAZING AREA	 589.04 SF	 54.72 m ²
TOTAL GLAZING PERCENTAGE	15.74 %	



I, ARTHUR JUAN YAN, DOCKYARD ARCHITECTURE, LLC, AS A REGISTERED DESIGN PROFESSIONAL, DOCKYARD ARCHITECTURE, LLC, SUBSCRIBES TO THE BUILDING CODE, I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES CATEGORIES. QUALIFIED DESIGNER & CIN: 41230 RN BEN: 2695 DATE: JAN. 18, 2017

SIGNATURE:

JAN. 18, 2017

RN design
Imagine • Inspire • Create

client: Zancor/ Pristine/

project: Belle Aire
Shores
Innsbrook

model: 50-08

scale: 3/16" = 1'-0"

GROSS GLAZING AREA ELEV. 'B' - WOB

TOTAL PERIPHERAL WALL AREA	4072.08 SF	378.31 m ²
FRONT GLAZING AREA	151.95 SF	14.12 m ²
LEFT SIDE GLAZING AREA	61.93 SF	5.75 m ²
RIGHT SIDE GLAZING AREA	230.37 SF	21.40 m ²
REAR GLAZING AREA	363.60 SF	33.78 m ²
<hr/>		
TOTAL GLAZING AREA	807.85 SF	75.05 m ²
TOTAL GLAZING PERCENTAGE	19.84 %	



UPGRADED REAR ELEVATION 'B' WOB CONDITION

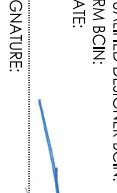
GROSS GLAZING AREA ELEV. 'B' - LOB

TOTAL PERIPHERAL WALL AREA	3742.35 SF	347.68 m ²
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REAR GLAZING AREA	220.20 SF	20.46 m ²
<hr/>		
TOTAL GLAZING AREA	589.04 SF	54.72 m ²
TOTAL GLAZING PERCENTAGE		15.74 %

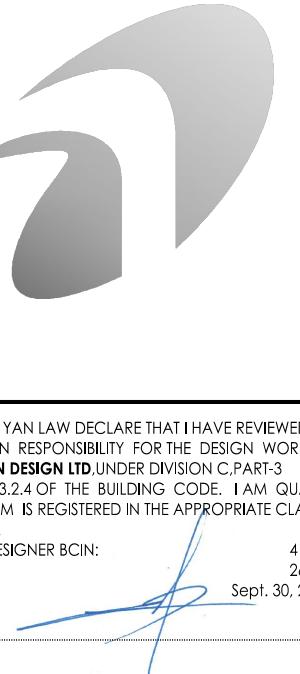


UPGRADED REAR ELEVATION 'B' LOB CONDITION

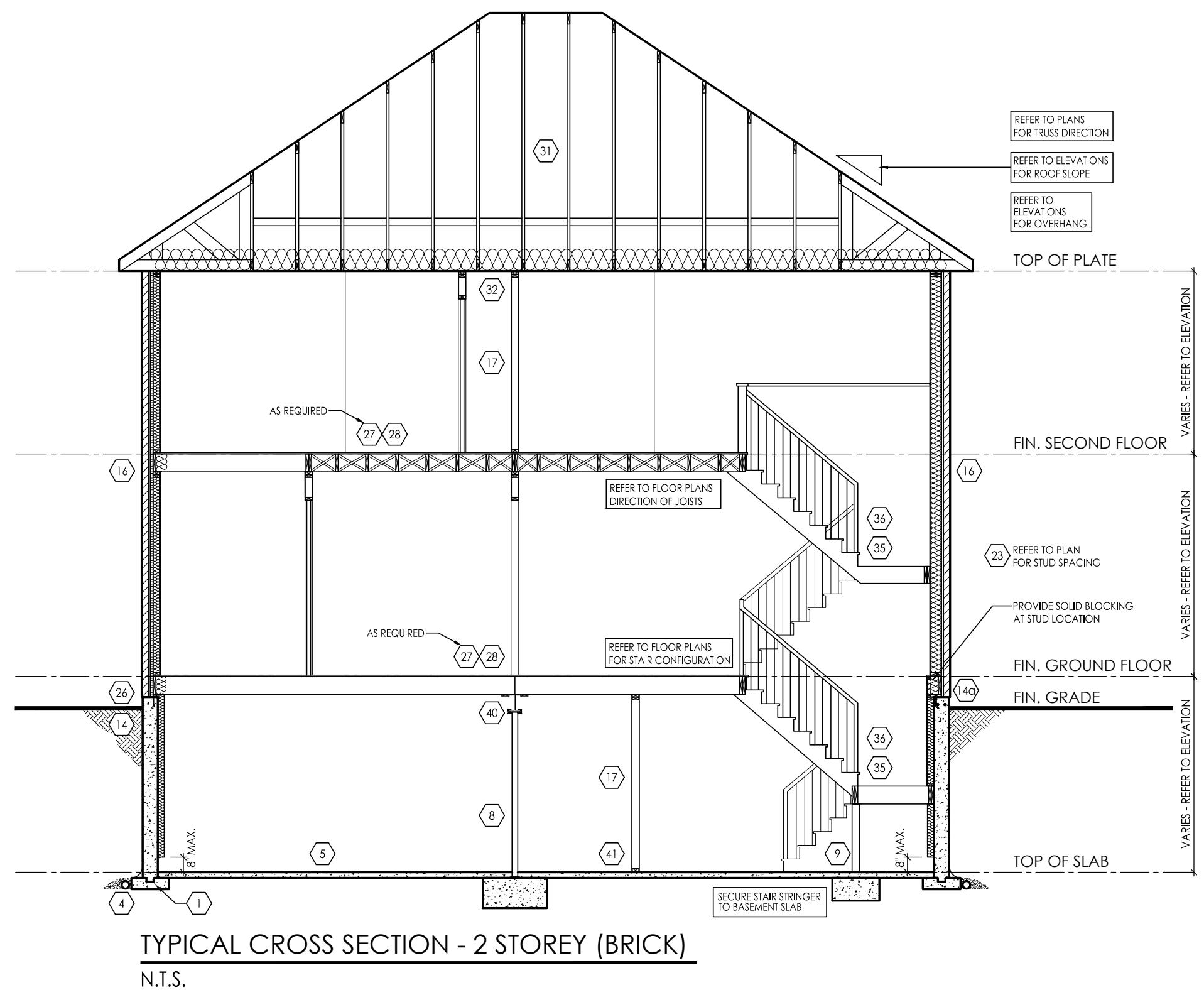
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QUALIFIED DESIGNER BCIN: 41230
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DATE: Sept. 30, 2016



Zancor/ Pristine/
Fernbrook

object

Belle Aire Shores

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50-08

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NOT TO SCALE

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