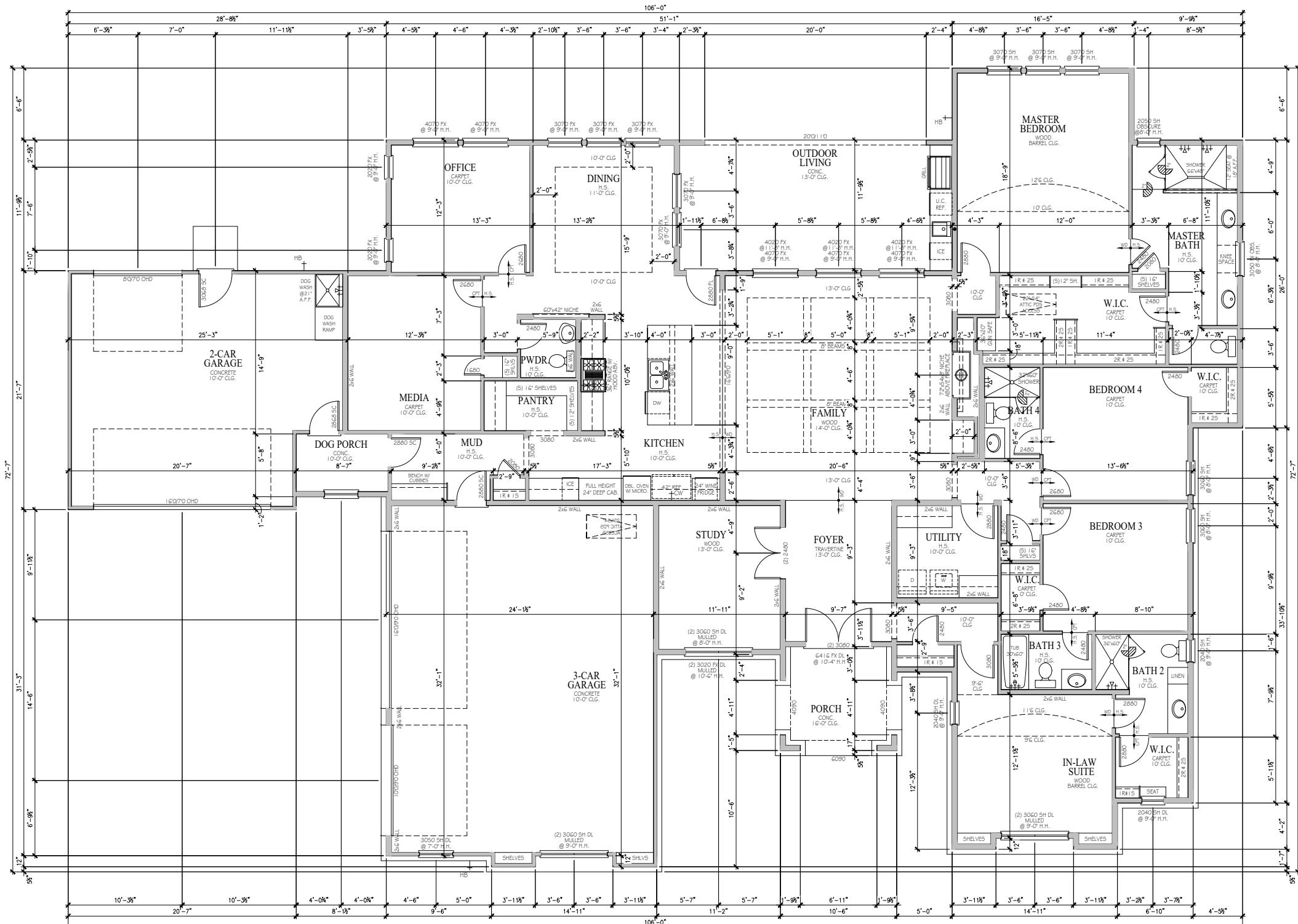


GENERAL NOTES:	
1. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE BUILDER FOR JUSTIFICATION OR CORRECTION PRIOR TO CONTINUING WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED TO THE BUILDER.	
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL STATE AND LOCAL CODES, REGULATIONS AND FHA/VA REQUIREMENTS.	
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED, NEVER SCALED.	
4. CIVIL, STRUCTURAL, MECHANICAL AND LANDSCAPE DRAWINGS ARE TO BE PROVIDED BY OTHERS.	
5. CONTRACTORS ARE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES AND/OR PROCEDURES OF CONSTRUCTION.	

DOOR SCHEDULE		
#	DOOR SIZE	REMARKS
1	1680	INTERIOR
2	2080	INTERIOR
9	2480	INTERIOR
4	2680	INTERIOR
4	2880	INTERIOR
1	3080	INTERIOR
1	(2) 2480	INTERIOR
1	2868	EXTERIOR SOLID CORE
1	3068	EXTERIOR SOLID CORE
2	2880	EXTERIOR SOLID CORE
1	2880	EXTERIOR FULL LITE
1	(2) 3080	EXTERIOR HALF LIGHT
1	80/70	OVERHEAD GARAGE DOOR
1	160/70	OVERHEAD GARAGE DOOR
1	100/90	OVERHEAD GARAGE DOOR
1	160/90	OVERHEAD GARAGE DOOR

WINDOW SCHEDULE		
#	WINDOW SIZE	REMARKS
2	2020 FX	
1	3030 SH	
1	2040 FX	
1	2050 SH	OBSCURE + TEMPERED
1	3050 FX	OBSCURE - TEMPERED
1	3050 SH DL	
6	3060 SH DL	
2	3060 SH	
5	3070 FX	
3	3070 SH	
3	4020 FX	
3	4070 FX	

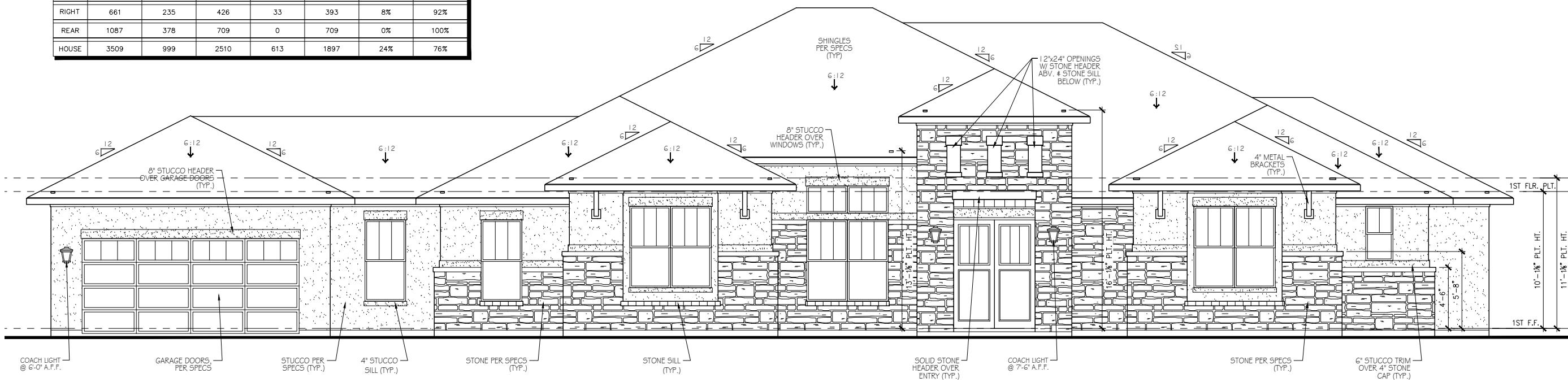
AREAS (HEATED)	
1st FLOOR	3503 SF
<hr/>	
TOTAL	3503 SF
AREAS (UNHEATED)	
GARAGES	1321 SF
PORCH	103 SF
OUTDOOR LIVING	290 SF
	1714 SF



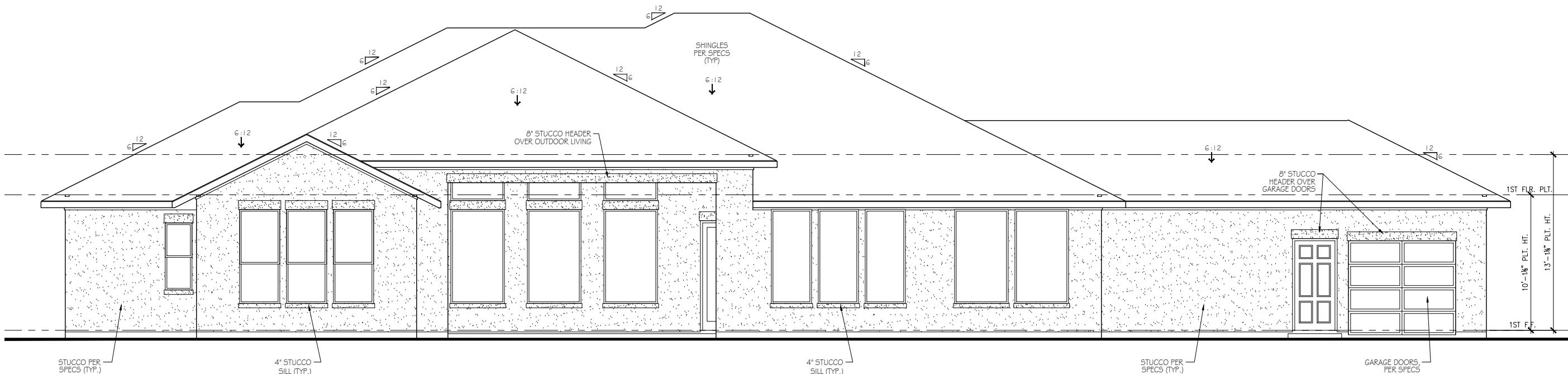
A-1 FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"

REVISIONS	
The Designer assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all local codes, and obtain any required permits. Any changes made to these plans, either by the designer or structural engineer, should be permitted to alter these plans.	
ISSUE DATE 9/8/2023	
DRAWN BY Gwen	
PROJECT NO.	
PLAN NUMBER 0000	
SHEET NUMBER A-1	

BRICK CALCULATIONS							
SIDE	TOTAL S.F.	WDW/DR S.F.	AVAIL. S.F.	MASONRY S.F.	STUCCO S.F.	MASONRY %	STUCCO %
FRONT	1093	327	766	397	369	52%	48%
LEFT	668	59	609	183	426	30%	70%
RIGHT	661	235	426	33	393	8%	92%
REAR	1087	378	709	0	709	0%	100%
HOUSE	3509	999	2510	613	1897	24%	76%

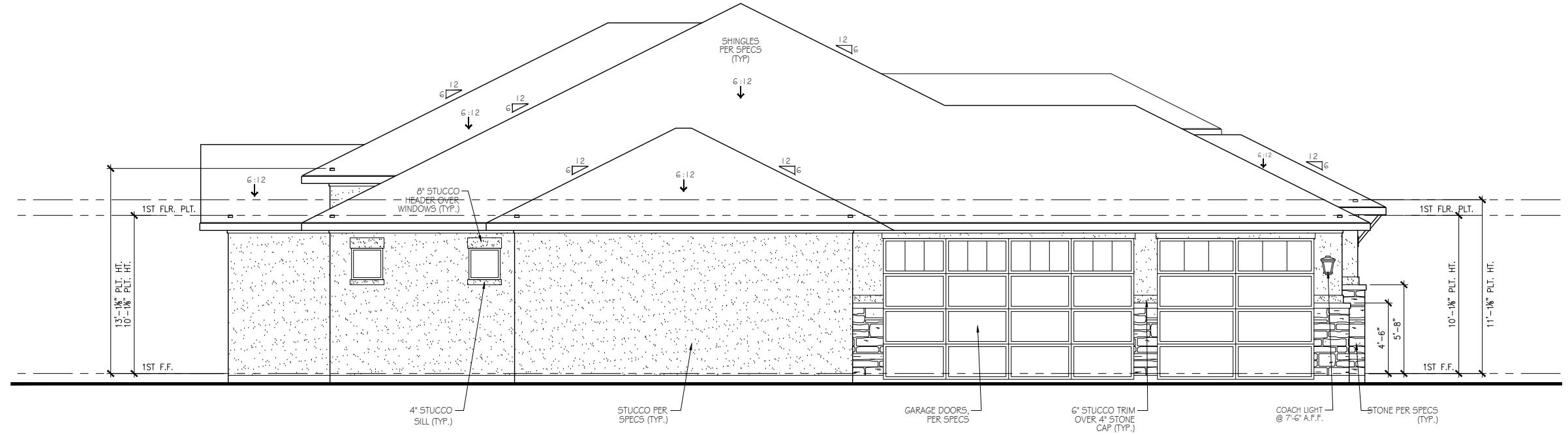


A
A-2 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

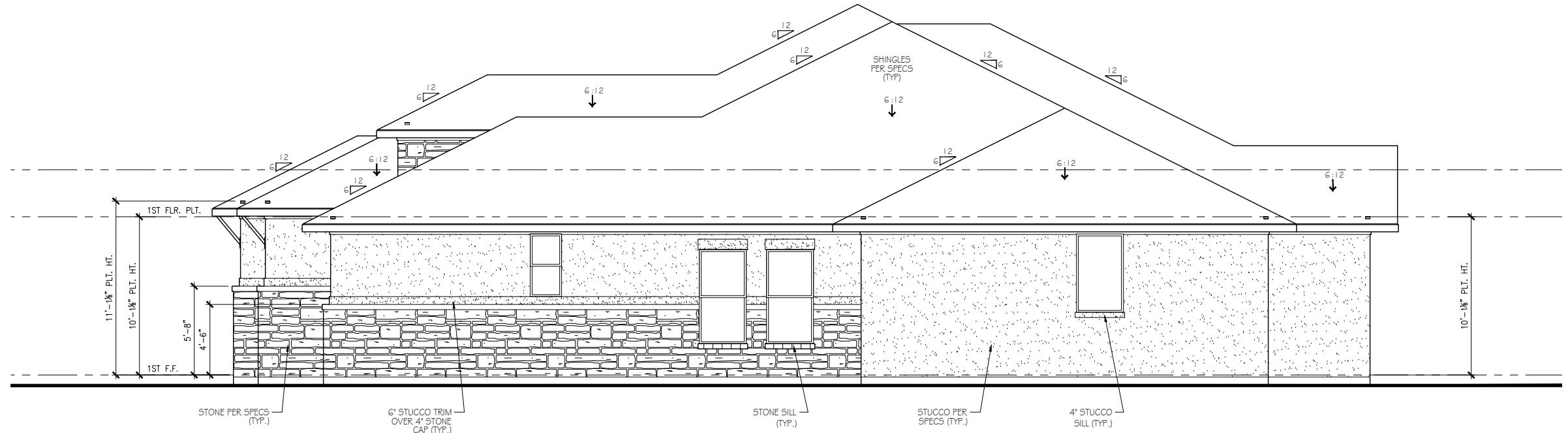


B
B-2 REAR ELEVATION
SCALE: 1/8" = 1'-0"

REVISIONS	
The Designer assumes no liability for any structural errors or omissions in these plans. Before construction, the purchaser or contractor must verify all dimensions and compliance with all building codes and regulations. The architect or structural engineer should be permitted to alter these plans.	
REVISIONS	
RUSSELL MORAN ARCHITECT - RESIDENTIAL DESIGN 3225 PORT ROYAL COURT PLANO, TEXAS 214-770-9662	
DESCRIPTION: TRIGEN HOMES HERNANDEZ RESIDENCE 216 SHELF ROCK ROAD GEORGETOWN, TEXAS	
ISSUE DATE	9/8/2023
DRAWN BY	Gwen
PROJECT NO.	
PLAN NUMBER	0000
SHEET NUMBER	A-2



A
A-3 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

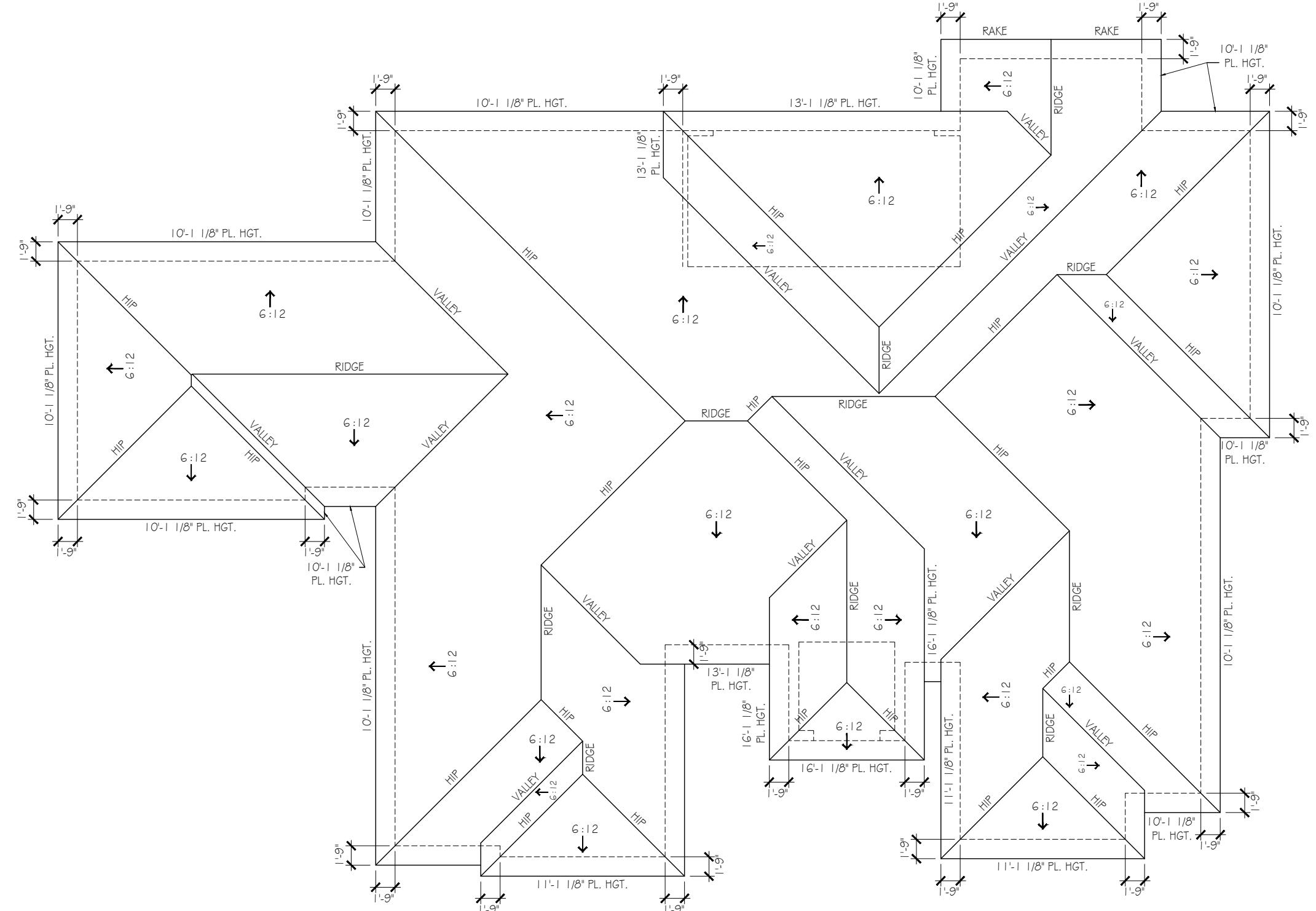


B
A-3 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

ROOF PLAN NOTES:

1. BUILDER TO VERIFY LOCAL CODES AND REQUIREMENTS OF 1 HOUR RATED OVERHANGS
2. ARROWS INDICATE DRAINAGE
3. ATTIC TO VENTILATED AS REQUIRED PER THE FOLLOWING FORMULA:
1 SQUARE INCH OF VENT PER EVERY SQUARE INCH OF BUILDING CEILING. PROVIDE A MINIMUM 50% OF THE REQUIRED VENT AREA IN THE UPPER 1/4 OF THE ROOF.

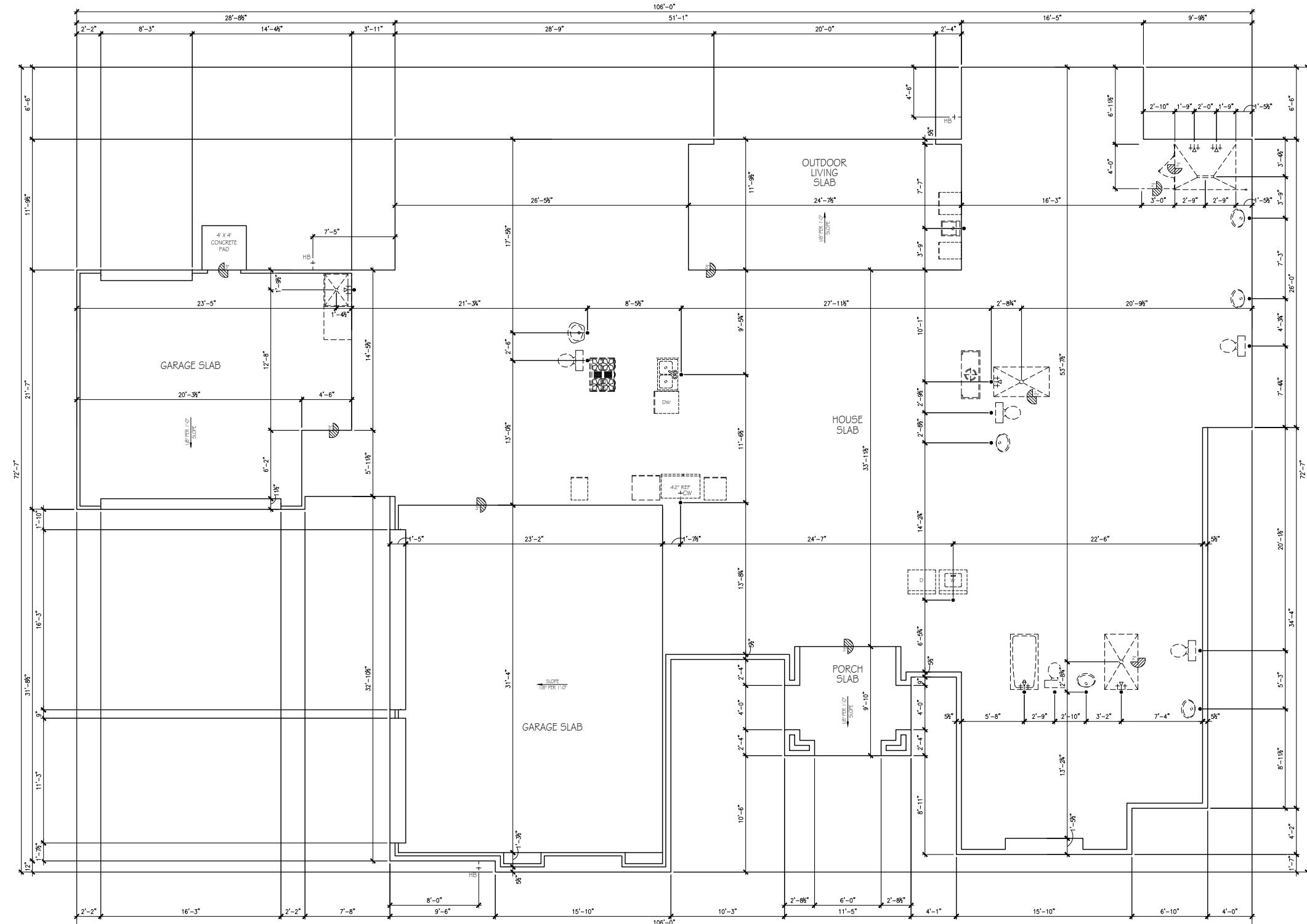
- 1.BUILDER TO VERIFY LOCAL CODES AND REQUIREMENTS OF 1 HOUR RATED OVERHANGS
- 2.ARROWS INDICATE DRAINAGE
- 3.ATTIC TO VENTILATED AS REQUIRED PER THE FOLLOWING FORMULA:
1 SQUARE INCH OF VENT PER EVERY SQUARE INCH OF BUILDING CEILING. PROVIDE A MINIMUM 50% OF THE REQUIRED VENT AREA IN THE UPPER 1/2 OF THE ROOF.



A-4 ROOF PLAN
SCALE: 3/32" = 1'-0"

FOUNDATION NOTES:

1. FOUNDATION CONTRACTOR TO COMPARE FOUNDATION PLANS FROM STRUCTURAL ENGINEER TO THESE ARCHITECTURAL PLANS AND REPORT ANY DISCREPANCIES TO BUILDER

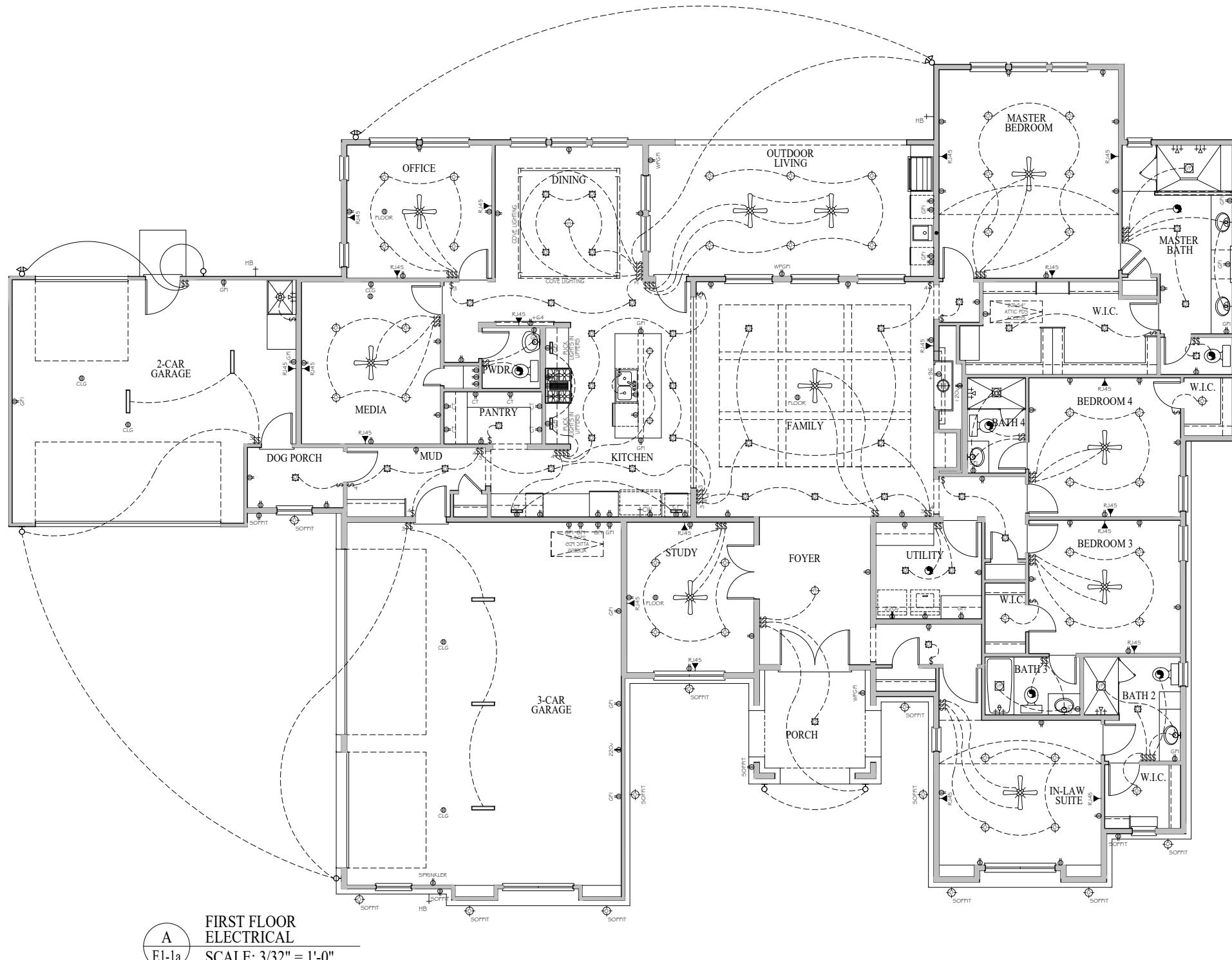


A A-5 FOUNDATION PLAN
SCALE: 3/32" = 1'-0"

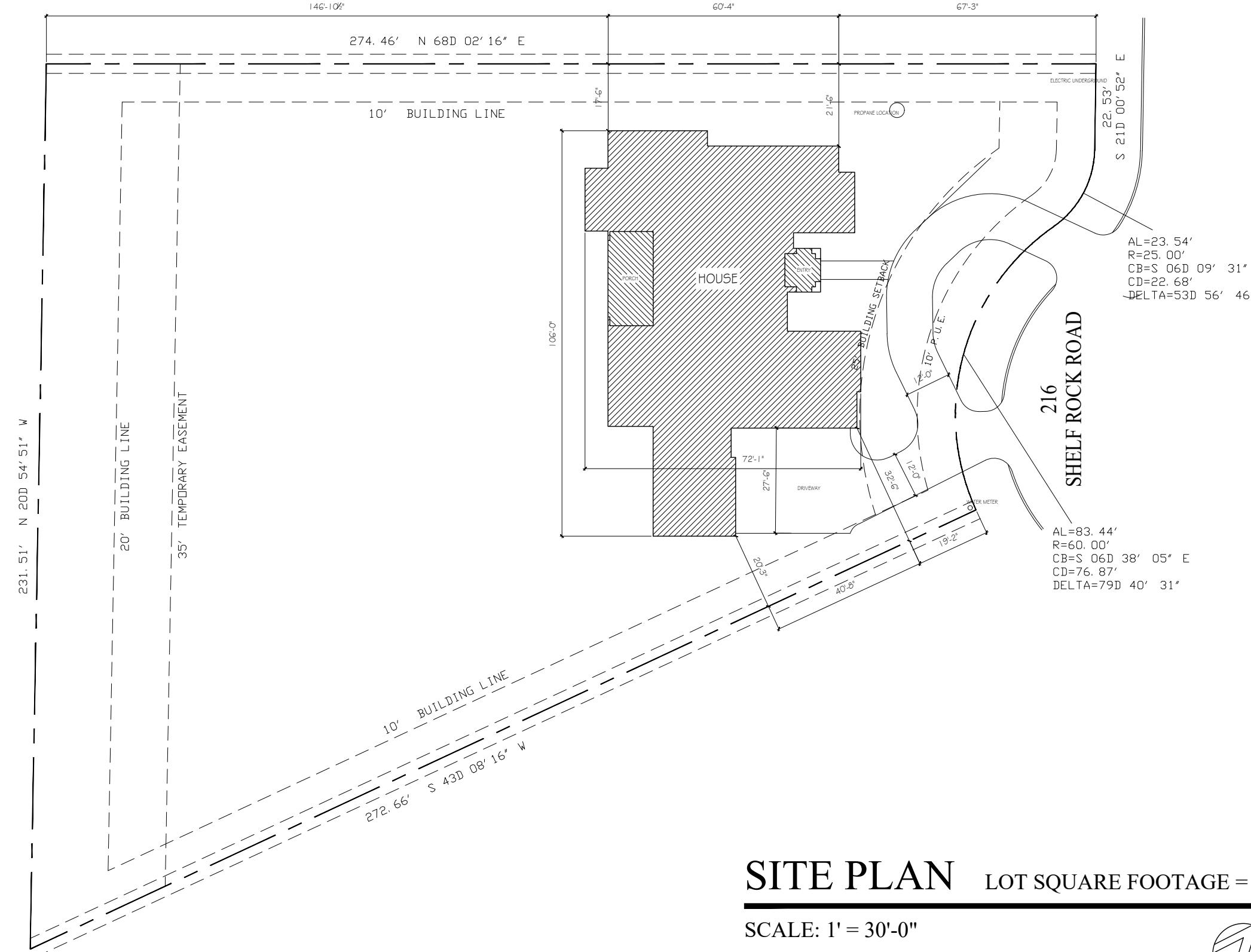
ELECTRICAL PLAN NOTES:

- 1. PROVIDE 110V OUTLET AND LIGHT NEAR HVAC UNIT FOR SERVICE. IF LOCATION REQUIRES PROVIDE TWO LIGHTS, ONE AT UNIT AT ACCESS OPENING ON ONE SWITCH.
- 2. SMOKE ALARMS TO BE INSTALLED WITH BATTERY BACKUP IN ACCORDANCE W/NFPA 72. ALL SMOKE ALARMS SHALL BE INTERCONNECTED.
- 3. PROVIDE AND INSTALL GROUND-FAULT CIRCUIT INTERRUPTERS (GFI) AS REQUIRED BY GOVERNING CODES
- 4. HVAC CONTRACTOR TO VERIFY LOCATIONS OF THERMOSTATS.

ELECTRICAL LEGEND			
→ GAS	GAS LINE		CEILING MOUNTED LED DISC
→ CW	COLD WATER		RECESSED CEILING LED LIGHT
	ELECTRICAL PANEL		WALL MOUNTED LIGHT
	ELECTRICAL METER		WALL SCONCE
	DISCONNECT SWITCH		UNDERCOUNTER FLUORESCENT LIGHT
\$	SWITCH		FLUORESCENT LIGHT w/ 1 BULB
\$ ³	3-WAY SWITCH		FLUORESCENT LIGHT w/ 2 BULBS
\$ ⁴	4-WAY SWITCH		VAPOR PROTECTED LIGHT
\$ ^D	DIMMER SWITCH		EXHAUST FAN
+	BUTTON		EXHAUST FAN w/ LIGHT
	DUPLEX OUTLET		SMOKE DETECTOR
	QUADPLEX OUTLET		CARBON MONOXIDE DETECTOR
	SWITCHED DUPLEX OUTLET		THERMOSTAT
FLOOR	FLOOR OUTLET		DIRECT WIRE
GFI	GFI OUTLET		PHONE JACK
WP/GFI	WATER PROOF GFI OUTLET		MEDIA JACK
CLG	CEILING-MOUNTED OUTLET		CABLE TV OUTLET
220v	220V OUTLET		DOOR CHIMES
	CEILING MOUNTED LIGHT		SECURITY PANEL
	HANGING CEILING MOUNTED LIGHT		FLOOD LIGHT
	CEILING FAN		CEILING FAN w/ LIGHT



**FIRST FLOOR
ELECTRICAL**



216 SHELF ROCK ROAD
BLOCK H, LOT 4
WILLIAMSON COUNTY, TEXAS



NORTH