

GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE BUILDER FOR JUSTIFICATION OR CORRECTION PRIOR TO CONTINUING WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED TO THE BUILDER.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, REGULATIONS AND FHA/VA REQUIREMENTS.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED, NEVER SCALED.
4. CIVIL, STRUCTURAL, MECHANICAL AND LANDSCAPE DRAWINGS ARE TO BE PROVIDED BY OTHERS.
5. CONTRACTORS ARE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES AND/OR PROCEDURES OF CONSTRUCTION.

DOOR SCHEDULE

#	DOOR SIZE	REMARKS
1	1680	INTERIOR
2	2080	INTERIOR
9	2480	INTERIOR
4	2680	INTERIOR
4	2880	INTERIOR
1	3080	INTERIOR
1	(2) 2480	INTERIOR
1	2868	EXTERIOR SOLID CORE
1	3068	EXTERIOR SOLID CORE
2	2880	EXTERIOR SOLID CORE
1	2880	EXTERIOR FULL LITE
1	(2) 3080	EXTERIOR HALF LIGHT
1	8'0"7'0	OVERHEAD GARAGE DOOR
1	16'0"7'0	OVERHEAD GARAGE DOOR
1	10'0"9'0	OVERHEAD GARAGE DOOR
1	16'0"9'0	OVERHEAD GARAGE DOOR

WINDOW SCHEDULE

#	WINDOW SIZE	REMARKS
2	2020 FX	
1	3030 SH	
1	2040 FX	
1	2050 SH	OBSCURE - TEMPERED
1	3050 FX	OBSCURE - TEMPERED
1	3050 SH DL	
6	3060 SH DL	
2	3060 SH	
5	3070 FX	
3	3070 SH	
3	4020 FX	
3	4070 FX	

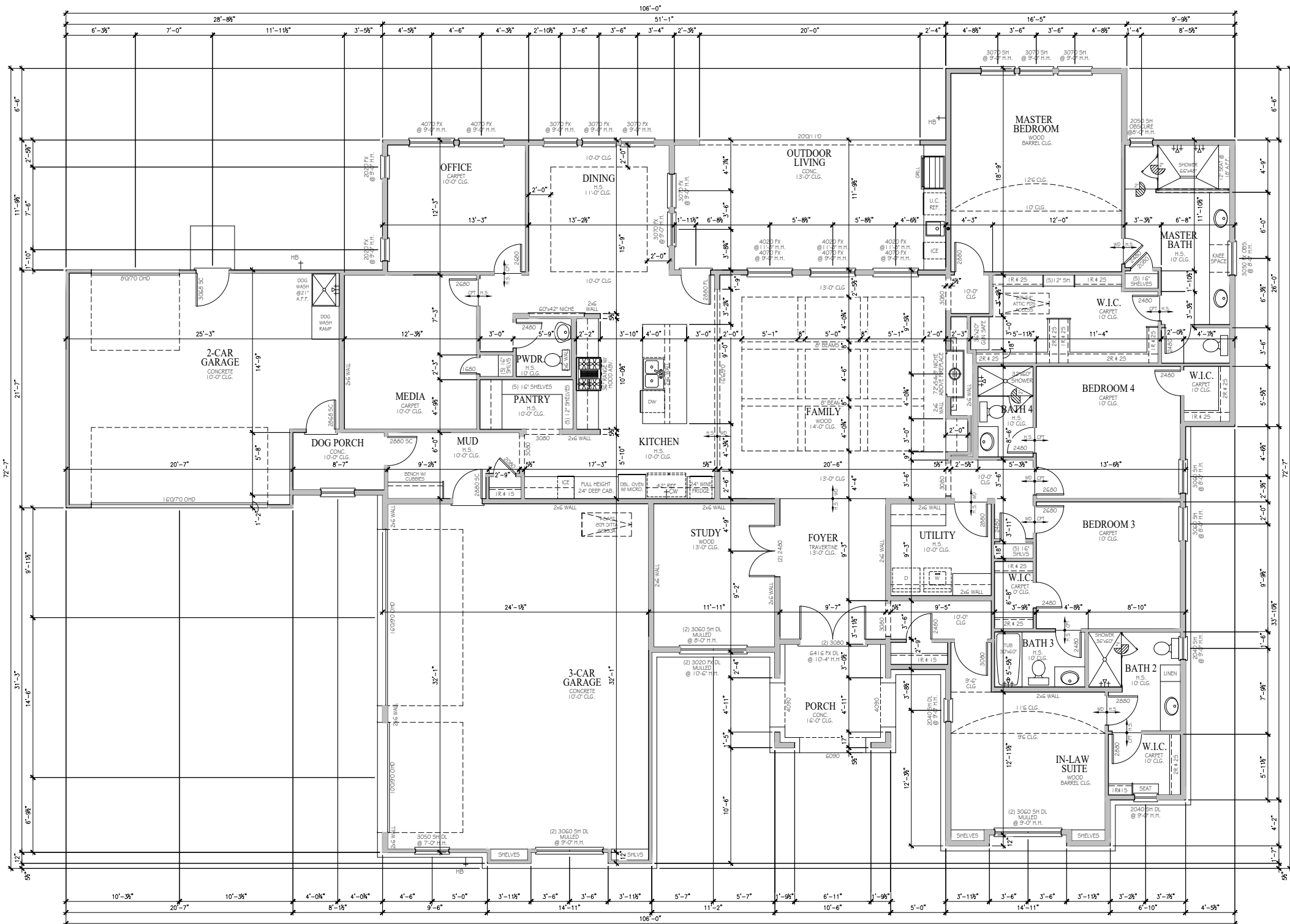
AREAS (HEATED)

1st FLOOR 3503 SF

TOTAL 3503 SF

AREAS (UNHEATED)

GARAGES 1321 SF
PORCH 103 SF
OUTDOOR LIVING 290 SF
1714 SF



A FIRST FLOOR PLAN
A-1 SCALE: 3/32" = 1'-0"

REVISIONS

NO.	DESCRIPTION	DATE

The Designer assumes no liability for errors or omissions in these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all applicable codes and regulations, and obtain all necessary permits. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans.

DESCRIPTION:
TRIGEN HOMES
HERNANDEZ RESIDENCE
216 SHELF ROCK ROAD
GEORGETOWN, TEXAS

RUSSELL MORAN
ARCHITECT - RESIDENTIAL DESIGN
3225 PORT ROYAL COURT
PLANO, TEXAS
214-770-9662

ISSUE DATE

9/8/2023

DRAWN BY

Gwenn

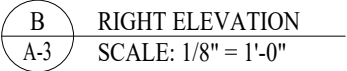
PROJECT NO.

PLAN NUMBER

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SHEET NUMBER

A-1

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The Designer assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans.

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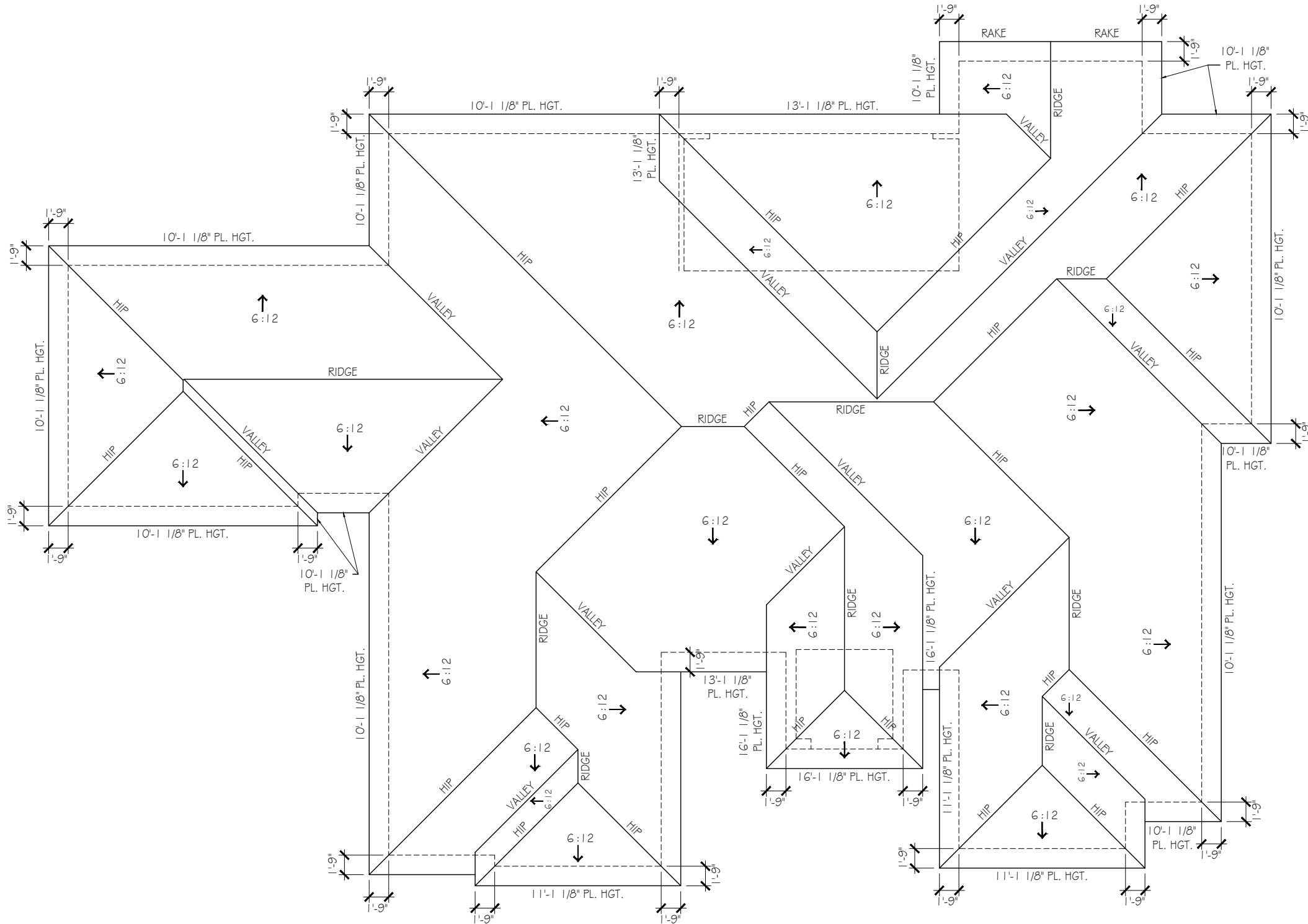
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PLAN NUMBER
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SHEET NUMBER

A-3

ROOF PLAN NOTES:

1. BUILDER TO VERIFY LOCAL CODES AND REQUIREMENTS OF 1 HOUR RATED OVERHANGS
2. ARROWS INDICATED DRAINAGE
3. ATTIC TO VENTILATED AS REQUIRED PER THE FOLLOWING FORMULA:
1 SQUARE INCH OF VENT PER EVERY SQUARE INCH OF BUILDING CEILING. PROVIDE A MINIMUM 50% OF THE REQUIRED VENT AREA IN THE UPPER 1/4 OF THE ROOF.



A ROOF PLAN
A-4 SCALE: 3/32" = 1'-0"

REVISIONS

NO.	DESCRIPTION	DATE

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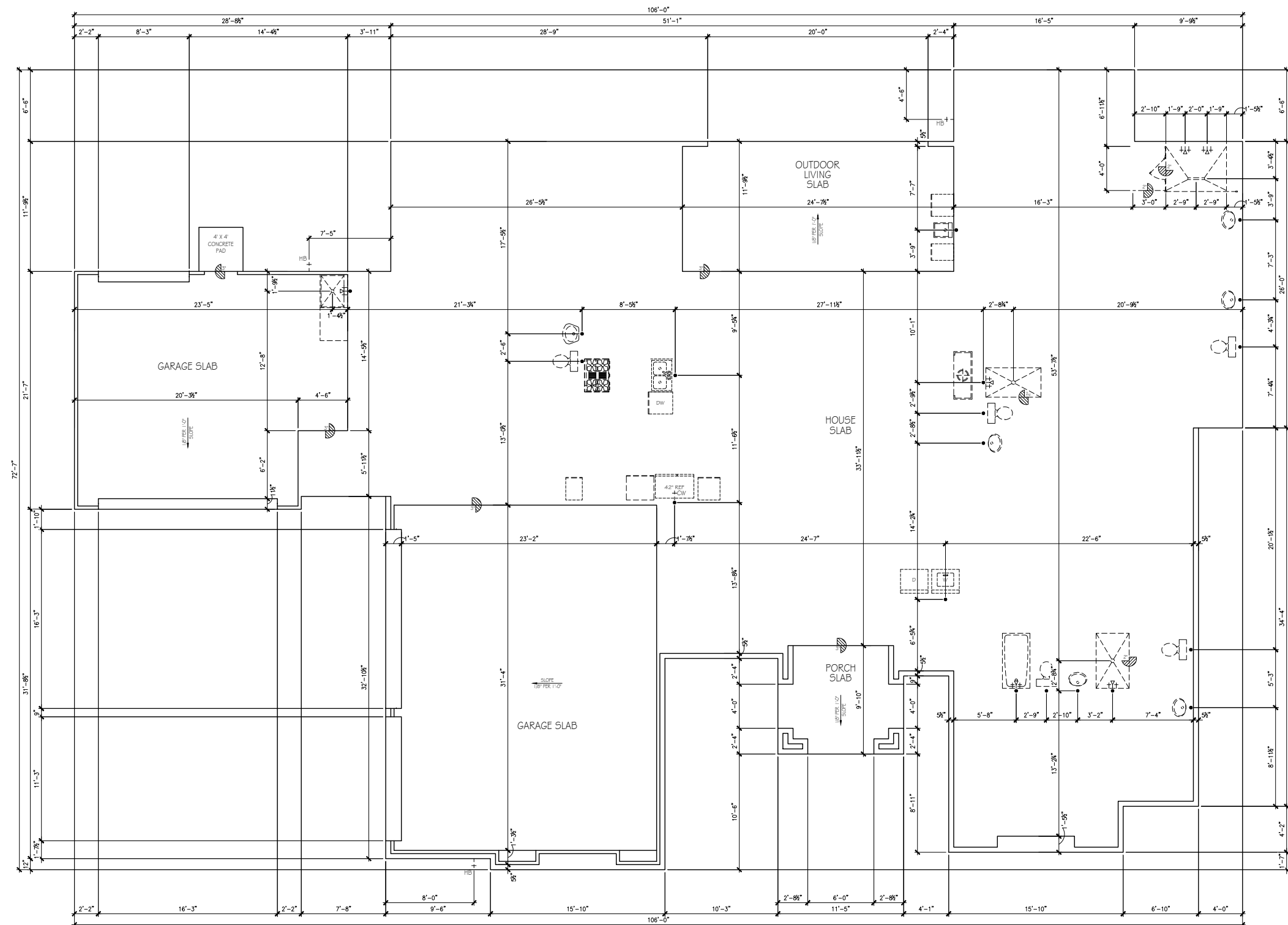
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PROJECT NO.

PLAN NUMBER
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A-4

1. FOUNDATION CONTRACTOR TO COMPARE FOUNDATION PLANS FROM STRUCTURAL ENGINEER TO THESE ARCHITECTURAL PLANS AND REPORT ANY DISCREPANCIES TO BUILDER

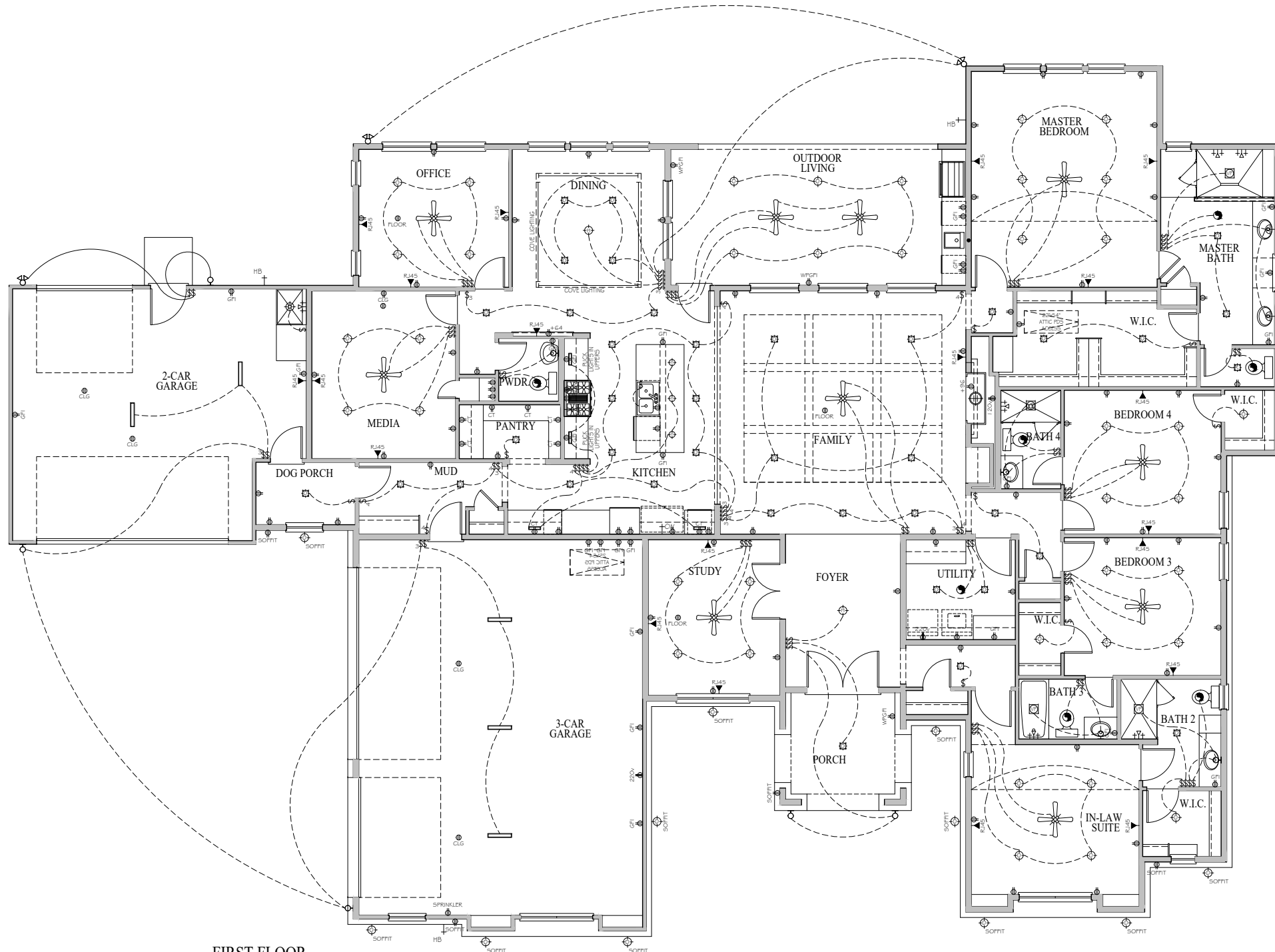
A FOUNDATION PLAN
A-5 SCALE: 3/32" = 1'-0"



RUSSELL MORAN ARCHITECT - RESIDENTIAL DESIGN 3225 PORT ROYAL COURT PLANO, TEXAS 214-770-9862		DESCRIPTION: TRIGEN HOMES HERNANDEZ RESIDENCE 216 SHELF ROCK ROAD GEORGETOWN, TEXAS		The Designer assumes no liability for errors or omissions on this plan. Before construction, the purchaser, builder, or contractor must verify all dimensions and conditions of the building codes, and incorporate site conditions. Only a qualified design professional may alter or modify this plan. No other person shall be permitted to alter these plans.										REVISIONS									
ISSUE DATE 9/8/2023																							
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PROJECT NO.																							
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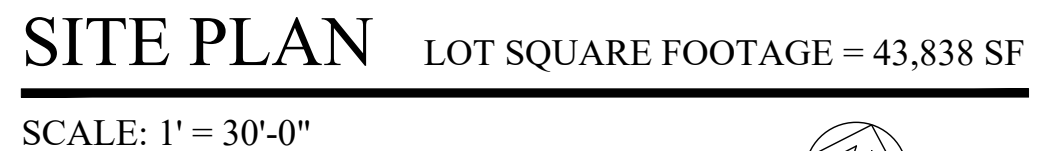
1. PROVIDE 110V OUTLET AND LIGHT NEAR HVAC UNIT FOR SERVICE. IF LOCATION REQUIRES PROVIDE TWO LIGHTS, ONE AT UNIT AT ACCESS OPENING ON ONE SWITCH.
2. SMOKE ALARMS TO BE INSTALLED WITH BATTERY BACKUP IN ACCORDANCE W/NFPA 72. ALL SMOKE ALARMS SHALL BE INTERCONNECTED.
3. PROVIDE AND INSTALL GROUND-FAULT CIRCUIT INTERRUPTERS (GFI) AS REQUIRED BY GOVING CODES
4. HVAC CONTRACTOR TO VERIFY LOCATIONS OF THERMOSTATS.

ELECTRICAL LEGEND			
	GAS LINE		CEILING MOUNTED LED DISC
	COLD WATER		RECESSED CEILING LED LIGHT
	ELECTRICAL PANEL		WALL MOUNTED LIGHT
	ELECTRICAL METER		WALL SCONCE
	DISCONNECT SWITCH		UNDERCOUNTER FLUORESCENT LIGHT
	SWITCH		FLUORESCENT LIGHT w/ 1 BULB
	3-WAY SWITCH		FLUORESCENT LIGHT w/ 2 BULBS
	4-WAY SWITCH		VAPOR PROTECTED LIGHT
	DIMMER SWITCH		EXHAUST FAN
	BUTTON		EXHAUST FAN w/ LIGHT
	DUPLEX OUTLET		SMOKE DETECTOR
	QUADPLEX OUTLET		CARBON MONOXIDE DETECTOR
	SWITCHED DUPLEX OUTLET		THERMOSTAT
	FLOOR OUTLET		DIRECT WIRE
	GFI OUTLET		PHONE JACK
	WATER PROOF GFI OUTLET		MEDIA JACK
	CEILING MOUNTED OUTLET		CABLE TV OUTLET
	220V OUTLET		DOOR CHIMES
	CEILING MOUNTED LIGHT		SECURITY PANEL
	HANGING CEILING MOUNTED LIGHT		FLOOD LIGHT
	CEILING FAN		CEILING FAN w/ LIGHT




FIRST FLOOR ELECTRICAL
 SCALE: 3/32" = 1'-0"

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SHEET NUMBER E1-1a		PLAN NUMBER 0000		PROJECT NO.		DRAWN BY Given	
ISSUE DATE 9/8/2023							



<p>RUSSELL MORAN ARCHITECT - RESIDENTIAL DESIGN 3225 PORT ROYAL COURT PLANO, TEXAS 214-770-9662</p>		<p>DESCRIPTION: TRIGEN HOMES HERNADEZ RESIDENCE 216 SHELF ROCK ROAD GEORGETOWN, TEXAS</p>		<p>The Designer assumes no liability for any structure built from these plans. Before construction, the purchaser, or a qualified professional, shall verify that the dimensions, verify compliance with all building codes, and incorporate site specific conditions. The Designer, architect, or structural engineer should be permitted to alter these plans.</p>		<p>REVISIONS</p>	
<p>ISSUE DATE 9/8/2023</p>		<p>DRAWN BY GIVEN</p>		<p>PROJECT NO.</p>		<p>PLAN NUMBER 0000</p>	
<p>SHEET NUMBER</p>		<p>ite Plan</p>					