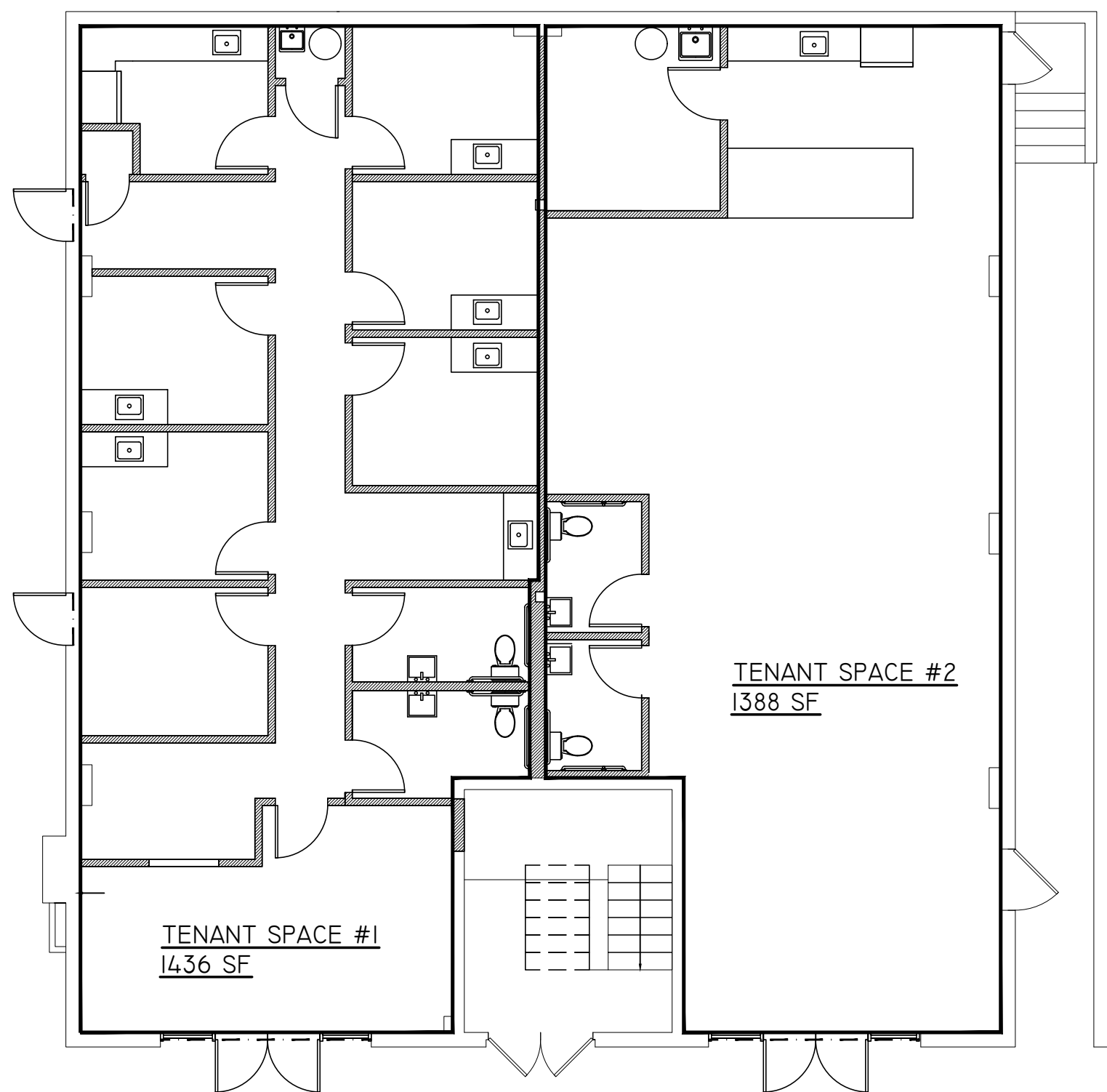
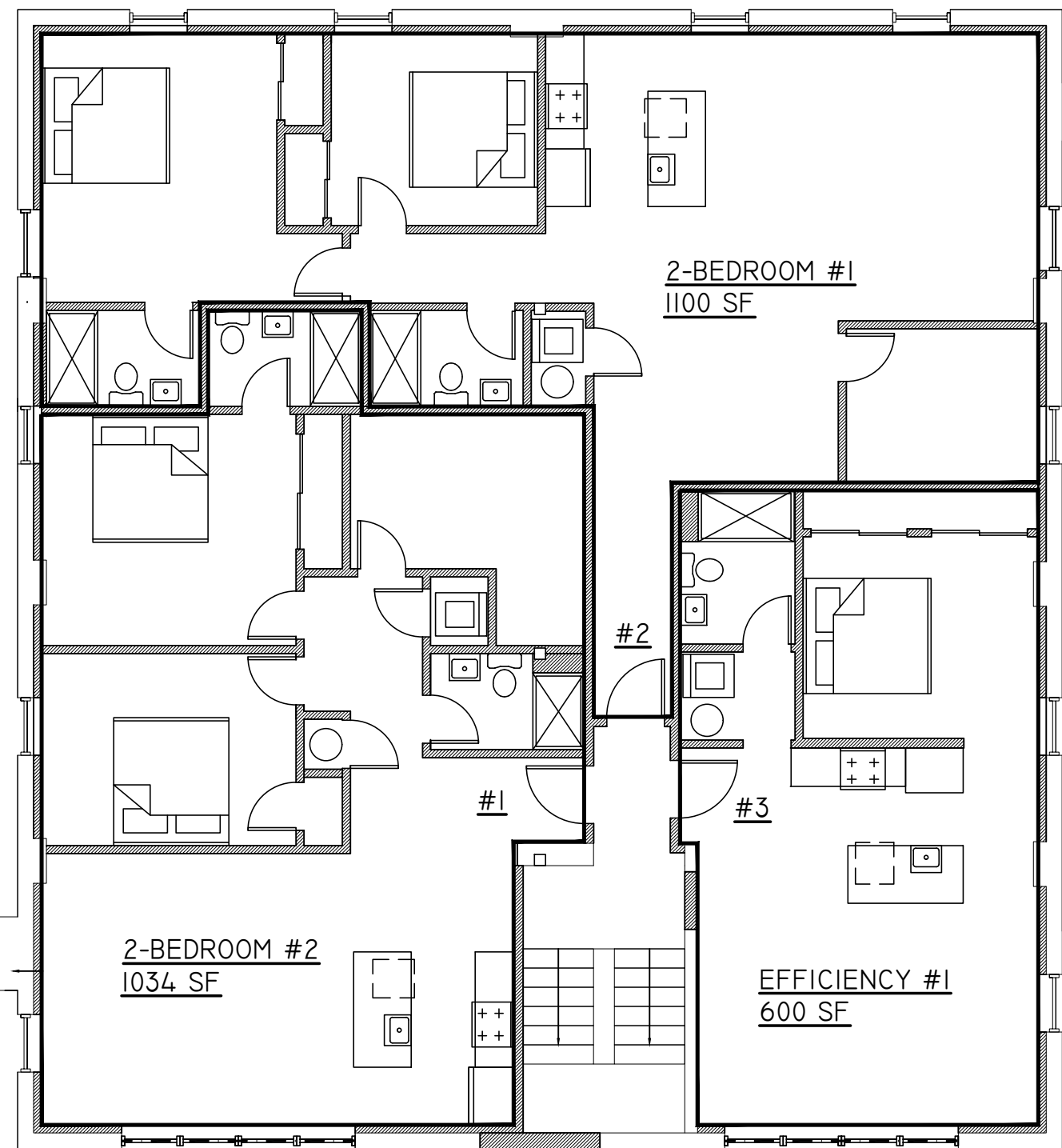


3 KEY PLAN THIRD FLOOR
SCALE: 1/8"=1'-0"



1 KEY PLAN FIRST FLOOR
SCALE: 1/8"=1'-0"



2 KEY PLAN SECOND FLOOR
SCALE: 1/8"=1'-0"

B-1 ZONE (SPECIAL IMPROVEMENT DISTRICT)				
	REQUIRED	EXISTING	PROPOSED	NOTES
MAX HEIGHT	35' (2.5 STORIES)	22'-11" (2 STORIES)	34'-6" (3 STORIES)	DOES NOT CONFORM
MIN LOT AREA	NO MINIMUM	15159 SF	NO CHANGE	CONFORMS
MIN LOT AREA PER UNIT SF	3,740 SF PER TWO FAMILY	N/A	7 UNITS PROPOSED (26,180 SF REQ) 15159 SF EX	DOES NOT CONFORM
LOT WIDTH (MIN)	NO MINIMUM	75 FEET	NO CHANGE	CONFORMS
FRONT SETBACK (FT)	NONE REQUIRED	125.7 FEET	NO CHANGE	CONFORMS
SIDE SETBACK (FT)	NONE OR 6' IF PROVIDED	11.4 FEET	NO CHANGE	CONFORMS
-	-	8.6 FEET	NO CHANGE	CONFORMS
TOTAL TWO SIDES	12'	20 FEET	NO CHANGE	CONFORMS
REAR SETBACK (FT)	30 FEET	6.54 FEET +/-	NO CHANGE	EX. NON-CONFORMANCE
MAX BUILDING COVERAGE	60%	21.3% (3229 SF)	NO CHANGE	CONFORMS
MAX LOT COVERAGE	75%	84.2% (12765 SF)	NO CHANGE	EX. NON-CONFORMANCE
PARKING REQUIREMENTS				
USE	CODE REQ.	PROPOSED SF	SPACES REQ	
OFFICE (1ST FLOOR)	1 PER 250 SF GROSS	2824 SF	12 SPACES	
1 BED/ EFFICIENCY BEDROOM	1.8	5 UNITS	9 SPACES	
2 BEDROOMS	2.0	2 UNITS	4 SPACES	
		TOTAL	25 REQUIRED	26 PROVIDED

90° ANGLE PARKING, TWENTY-FOUR-FOOT AISLE WIDTH, TWO-WAY. ALL DRIVEWAYS FOR TWO-WAY TRAFFIC SHALL BE A MINIMUM OF 24 FEET WIDE AND IN NO CASE SHALL A DRIVEWAY BE LESS THAN 14 FEET WIDE. STANDARD SIZE PARKING SPACES SHALL HAVE MINIMUM DIMENSIONS OF NINE FEET BY 18 FEET.

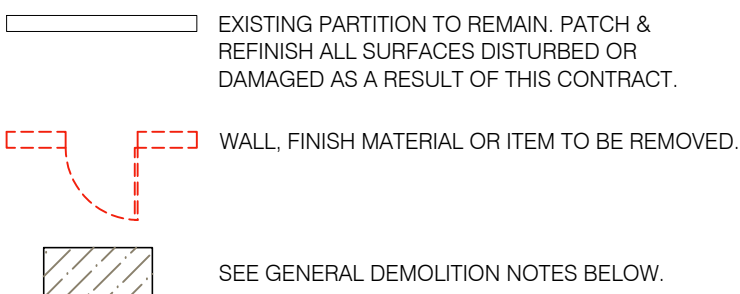
UNIT SIZE INFORMATION
MIN APARTMENT REQ EFFICIENCY 600 SF, 1 BEDROOM 800 SF, 2 BEDROOM = 1,000 SF

1ST FLOOR
TENANT SPACE 1 OFFICE- 1436 SF
TENANT SPACE 2 OFFICE- 1388 SF

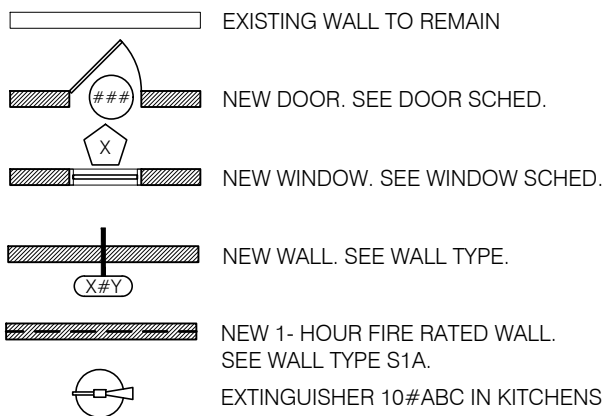
2ND FLOOR
2 BED #1= 1100 SF
2 BED #2= 1034 SF
EFFICIENCY#1 = 600 SF

3RD FLOOR
1 BED #1= 800 SF
1 BED #2= 850 SF
EFFICIENCY #2= 600 SF
EFFICIENCY #3= 615 SF

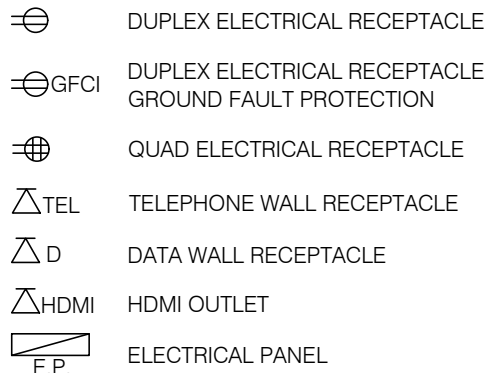
DEMOLITION LEGEND



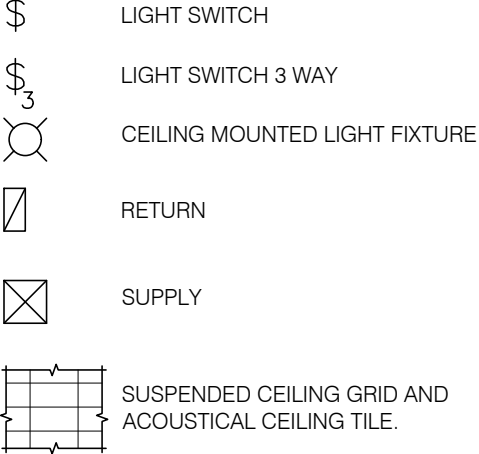
CONSTRUCTION LEGEND



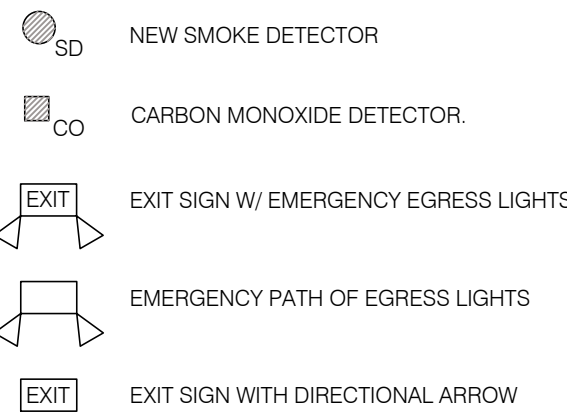
ELECTRICAL LEGEND



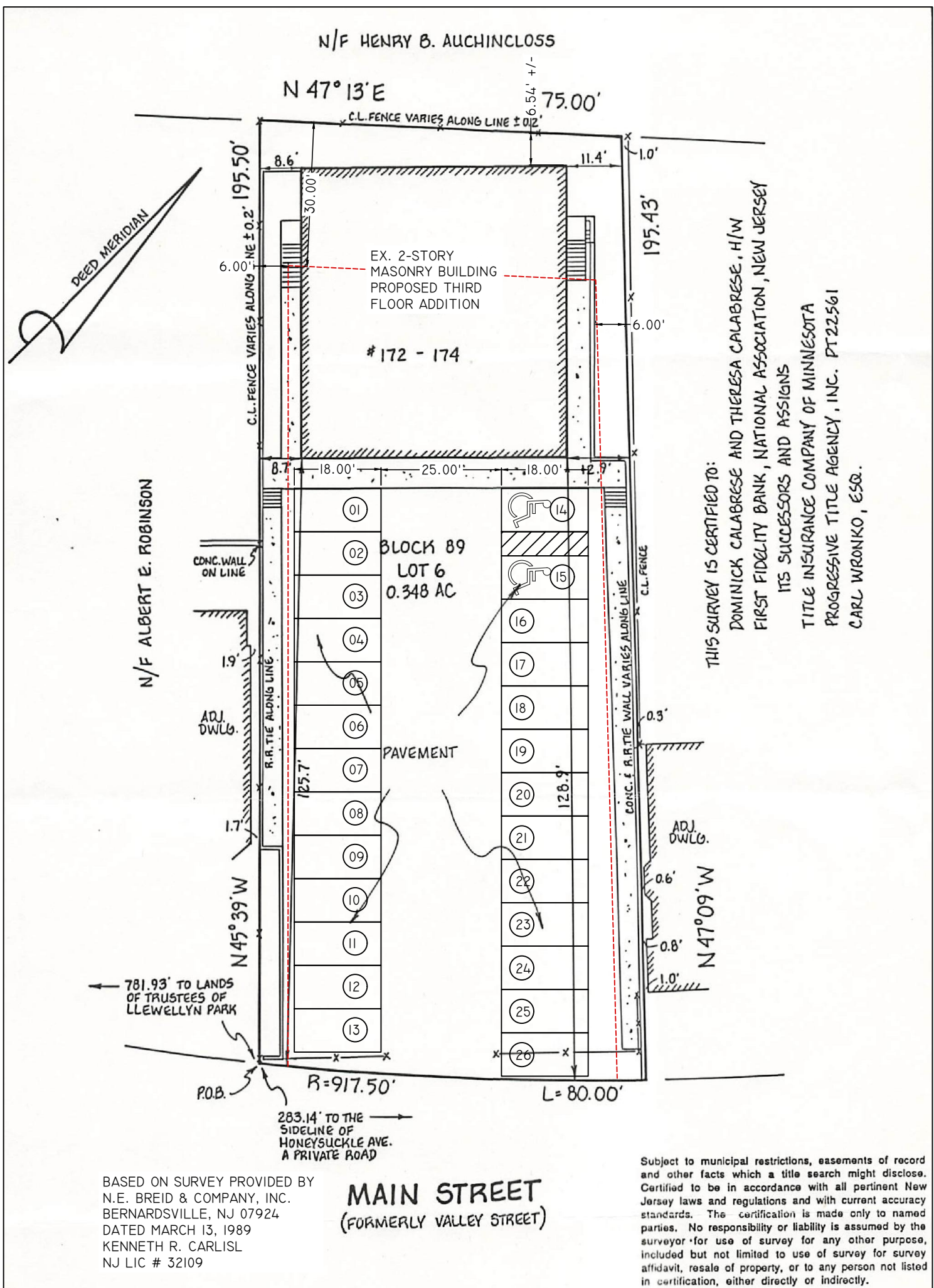
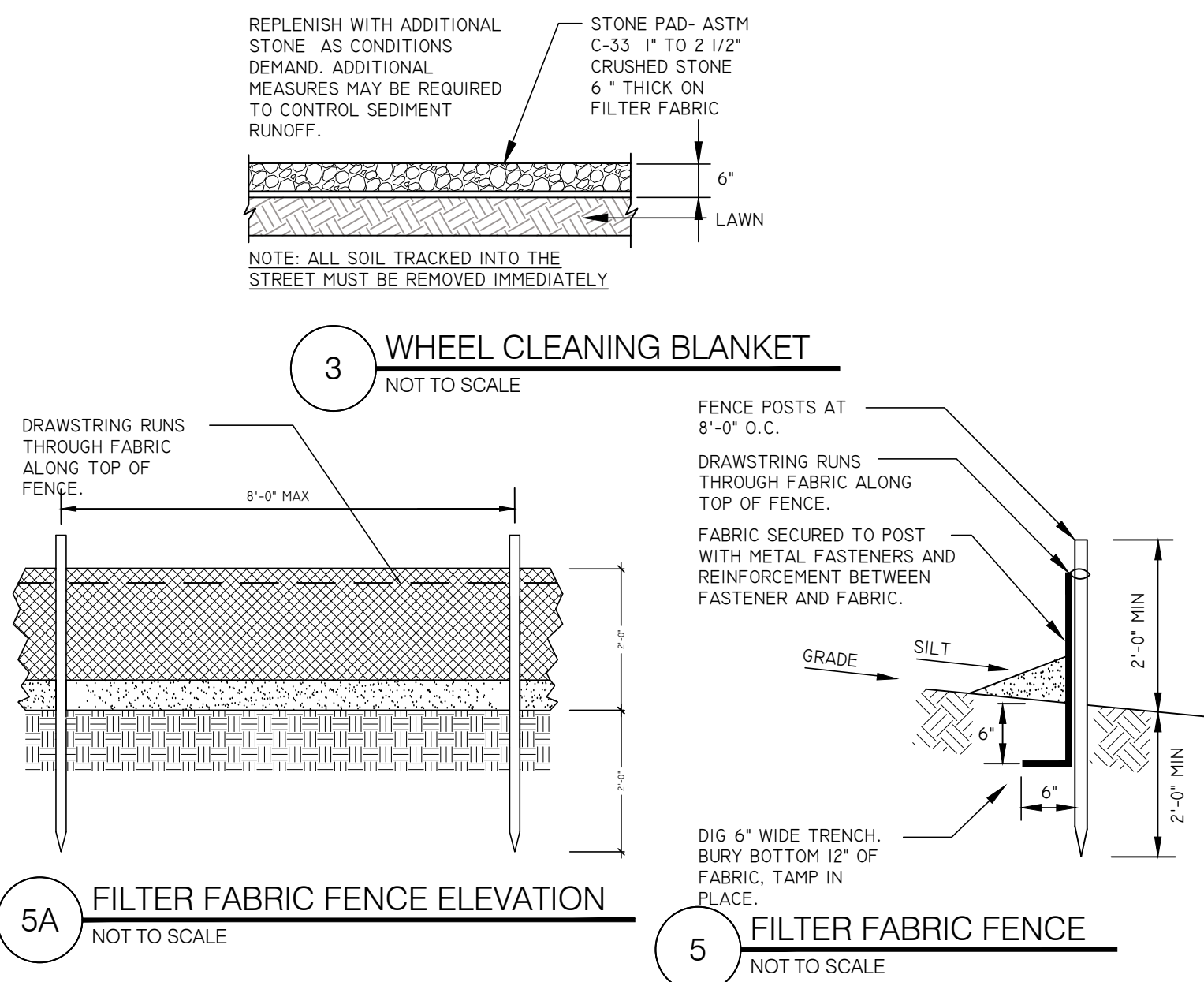
REFLECTED CEILING LEGEND



FIRE DETECTION & NOTIFICATION



NOTE:
THIS DRAWING IS APPROVED ONLY FOR THE SCOPE OF WORK INDICATED ON THE DRAWINGS. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR CONSIDERED AS EITHER BEING APPROVED BY THIS ARCHITECT AND HIS CONSULTANTS OR IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS



0 SITE PLAN
SCALE: 1"=25'

PROJECT DESCRIPTION	
CHANGE OF USE MIXED USE	
AUTHORITY HAVING JURISDICTION	
WEST ORANGE BUILDING DEPARTMENT, WEST ORANGE, NJ	
APPLICABLE CODES	
NEW JERSEY UNIFORM CONSTRUCTION CODE (NJAC 5:23) (NIUCC) INTERNATIONAL BUILDING CODE 2021 (IBC) NEW JERSEY EDITION INTERNATIONAL MECHANICAL CODE 2021 (IMC) INTERNATIONAL FUEL GAS CODE 2021 (IFGC) NATIONAL STANDARD PLUMBING CODE 2021 (NSPC) NFPA 70: NATIONAL ELECTRIC CODE 2020 (NEC) ENERGY SUBCODE ASHRAE 90.1-2019 BARRIER FREE SUBCODE IBC CHAPTER 11 & ICC A117.1-2017 REHABILITATION SUBCODE (NJAC 5:23-6) ELEVATOR SUBCODE (NJAC 5:23-12)	
THIS PROJECT IS AN ADDITION, ALTERATION AND CHANGE IN USE AS DEFINED BY THE NJ REHABILITATION SUBCODE	
APPLIES TO CHANGE IN USE OF EXISTING BUILDINGS ONLY THIS PROJECT CONSISTS OF CONVERTING THE SPACE FROM A B OCCUPANCY TO A MIXED USE B-OCCUPANCY AND R-2 APARTMENTS	
ACCORDINGLY, THIS PROJECT IS A "CHANGE IN USE" AS DEFINED BY THE NJ REHABILITATION SUBCODE.	
BUILDING CLASS	
NIAC 5:23-4.3A(D) CLASS 2	
BUILDING VOLUME	
NIAC 5:23-2.28 111,849 CUBIC FEET	
AREA OF LARGEST FLOOR (FOR PERMIT FORM/NIUCC-F110)	
3229 SF	
USE AND OCCUPANCY CLASSIFICATION/IBC SECTION 302	
B AND R-2 MIXED SEPARATED PER IBC 508.4	
SPECIAL DETAILED OCCUPANCY AND USE REQUIREMENTS	
NONE IBC CHAPTER 4	
BUILDING AREA	
EXISTING 6,458 SF ADDITION 3229 SF	
TOTAL 9,687 SF	
ALLOWABLE AREA	
IBC SECTION 506 TABULAR AREA (TABLE 506.2) 48,000 SF	
BUILDING HEIGHT	
IBC 503.1 34.5 FEET 3 STORIES	
ALLOWABLE HEIGHT	
SECTION 504 70 FEET (TABLE 504.3) 4 STORIES (TABLE 504.4)	
INCIDENTAL USES	
NONE IBC TABLE 509 FURNACE ROOM >400MBH/ HOUR FIRE RATING OR SPRINKLERS FIRE PUMP ROOMS 1 HOUR FIRE RATING & SPRINKLERS	

CONSTRUCTION CLASSIFICATION		IBC SECTION 602	
TYPE VA			
FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS		IBC TABLE 601	
PRIMARY STRUCTURAL FRAME		1 HOURS	
BEARING WALLS - EXTERIOR		1 HOURS	
BEARING WALLS - INTERIOR		1 HOURS	
NONBEARING WALLS - EXTERIOR		0 HOURS	
NONBEARING WALLS - INTERIOR		0 HOURS	
FLOOR CONSTRUCTION		1 HOURS	
ROOF CONSTRUCTION		1 HOURS	
AUTOMATIC SPRINKLER SYSTEM		IBC SECTION 903	
THE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM			
PORTABLE FIRE EXTINGUISHERS		IBC SECTION 906	
PORTABLE FIRE EXTINGUISHERS ARE PROVIDED IN LOCATIONS NOTED ON DRAWINGS AND/OR SPECIFICATIONS			
FIRE ALARM AND DETECTION SYSTEMS		IBC SECTION 907	
REQUIRED		YES	
OCCUPANT LOAD		IBC 1004.5	
FUNCTION		AREA	
BUSINESS AREA		NORMAL 2824 SF 150 GROSS SF 19	
RESIDENTIAL		STANDING 5,599 SF 200 GROSS SF 28	
TOTAL OCCUPANT LOAD		47	
EGRESS WIDTH PER OCCUPANT		SECTION 1005.3	
COMPONENT		WIDTH REQUIRED	
WITH SPRINKLERS			
STAIRS		28 OCCUPANTS X 0.2 = X INCHES 5.6 INCHES	
OTHER COMPONENTS 28 OCCUPANTS X 0.15 = X INCHES 4.2 INCHES			
36" DOOR = 32" CLEAR = 213 OCCUPANTS			
44" STAIR = 220 OCCUPANTS			
EXIT ACCESS TRAVEL DISTANCE		IBC TABLE 1017.2	
OCCUPANCY/MAX PERMITTED		PROVIDED	
CORRIDOR FIRE-RESISTANCE RATING		IBC TABLE 1020.2	
.5 HOURS			
MINIMUM CORRIDOR WIDTH		IBC TABLE 1020.3	
36 INCHES			
SPACES WITH ONE EXIT OR EXIT ACCESS DOOR/IBC TABLE 1006.2.1			
R-2 SPACE IS ONLY REQUIRED TO HAVE ONE EXIT PER IBC 1006			
STORIES WITH ONE EXIT		IBC TABLE 1006.3.4(2)	
BUILDING IS ONLY REQUIRED TO HAVE ONE EXIT PER IBC 1006.3.2			
MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD		IBC TABLE 1006.3.3	
1 EXITS PER STORY REQUIRED FOR R-2 BASEMENT, FIRST, SECOND OR THIRD ABOVE GRADE			
PLAN MAX NUMBER OF DWELLING UNITS PER FLOOR 4 WITH A MAX. EXIT TRAVEL DISTANCE OF 125 FEET			
GROUND SNOW LOAD (NIUCC BULLETIN 94-8)		IBC TABLE 1608.2	
25 PSF			
RISK CATEGORY		IBC TABLE 1604.5	
II			

REVISIONS:		
#	DESCRIPTION:	DATE:
	ISSUED FOR PERMITS	4/10/2024

DRAWING TITLE:

TITLE SHEET

ARCHITECTURAL LICENSE #:
NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

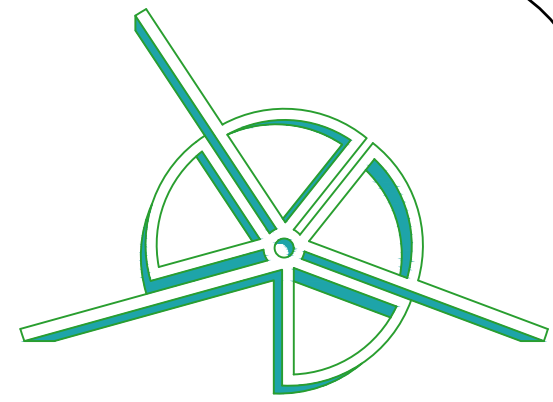
JASON PEIST, AIA - ARCHITECT

© COPYRIGHT 2024
DRAWINGS, SPECIFICATIONS & OTHER DOCUMENTS, BOTH PAPER COPIES AND IN ELECTRONIC FORM, PREPARED BY JASON PEIST AND CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY FOR THIS PROJECT. THEY MAY NOT BE USED FOR ANY PURPOSES BEYOND THE SCOPE OF THIS CONTRACT WITHOUT WRITTEN PERMISSION FROM JASON PEIST. UNLAWFUL USE OF INSTRUMENTS OF SERVICE SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

DATE: 4/10/24
SCALE: AS NOTED
DRAWN BY: J.R.P.
JOB NUMBER: 24-010
SHEET: 1 OF 17

DRAWING NUMBER

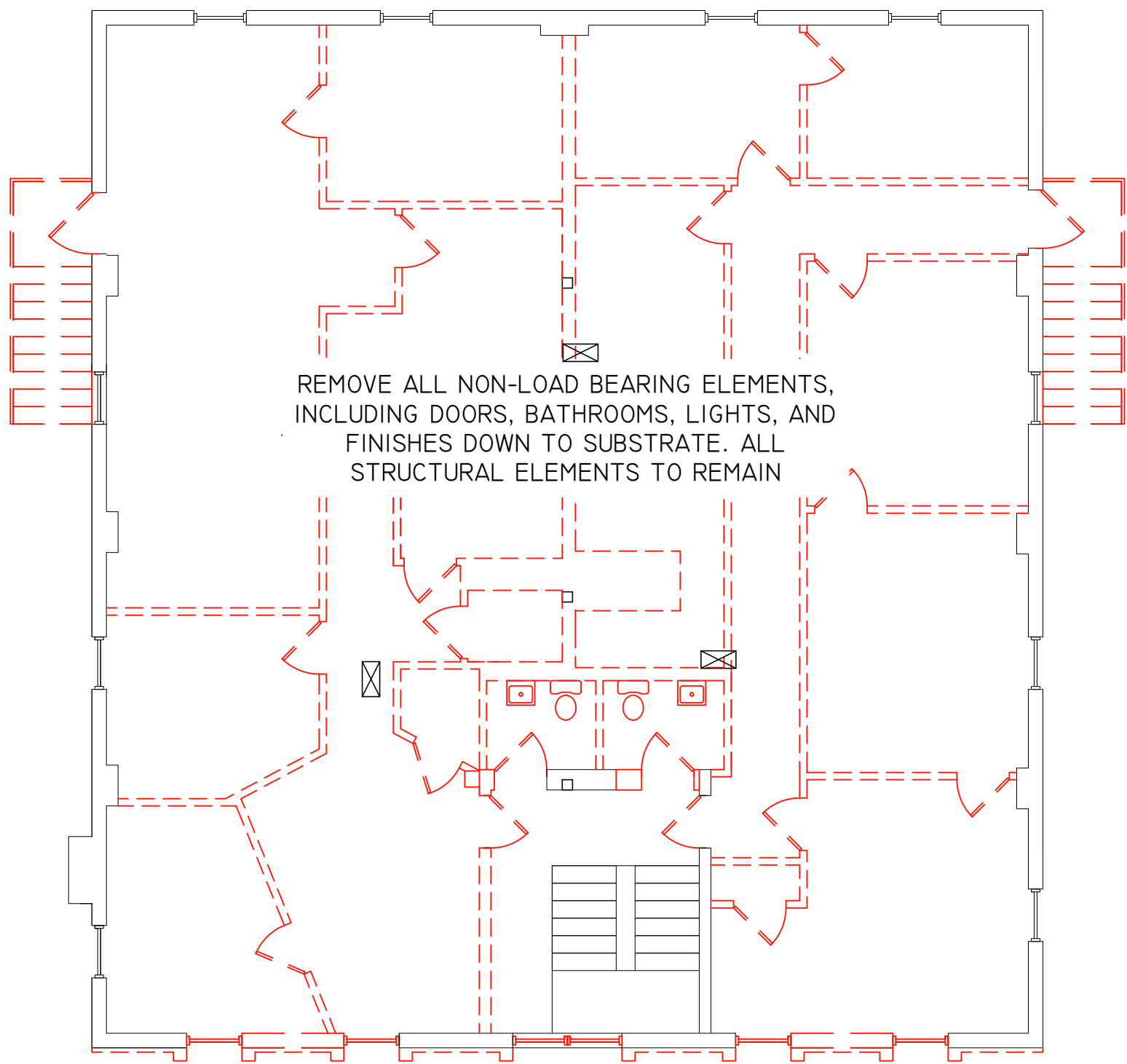
T-1



JASON PEIST
ARCHITECT, LLC

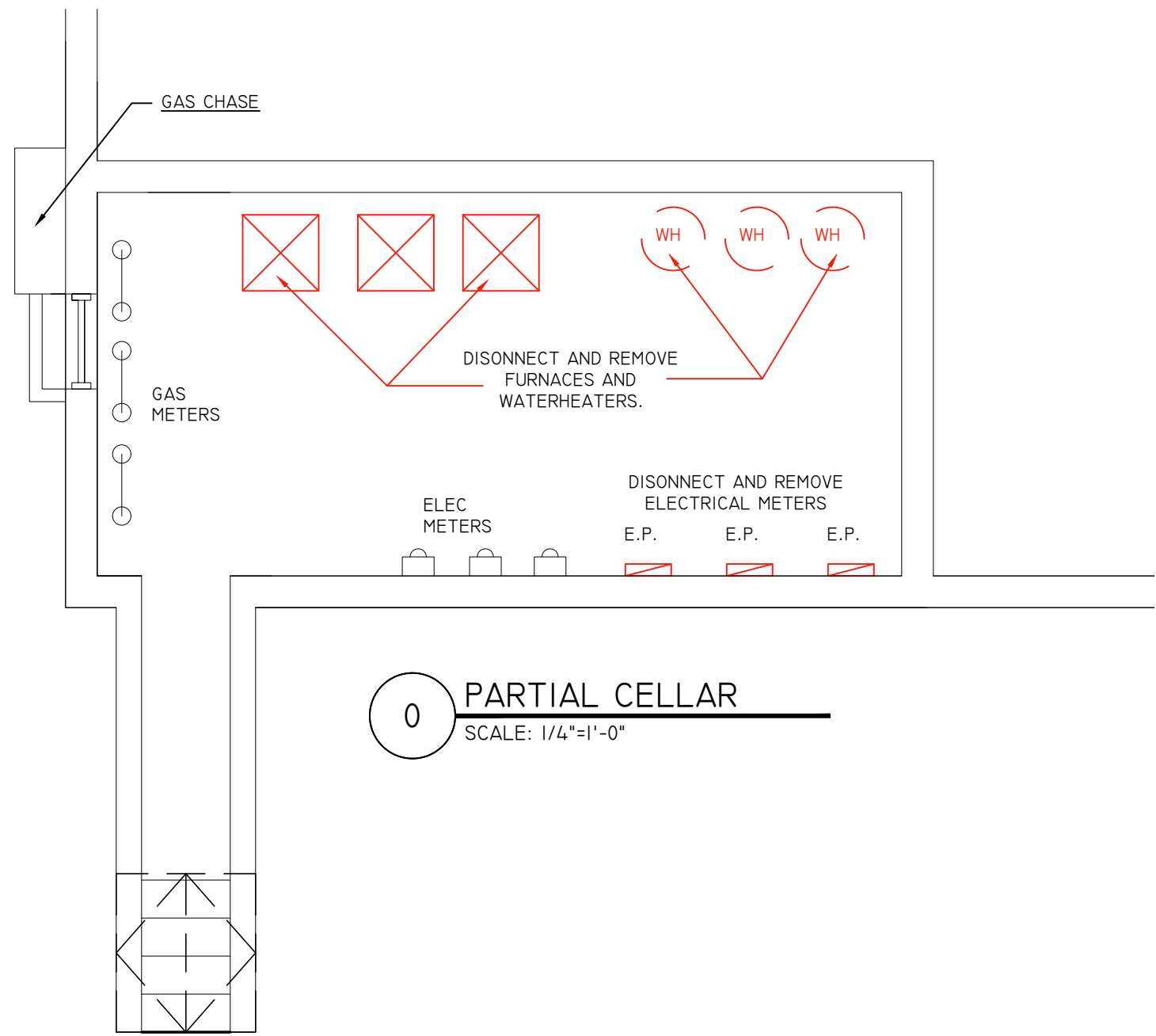
171 BROAD ST. MATAWAN, NJ 07747
732-379-0743 | INFO@JASONPEIST.COM

CHANGE OF USE- ADD A LEVEL
172-174 MAIN ST
WEST ORANGE, NJ 07052
BLOCK 89, LOT 6
ESSEX COUNTY

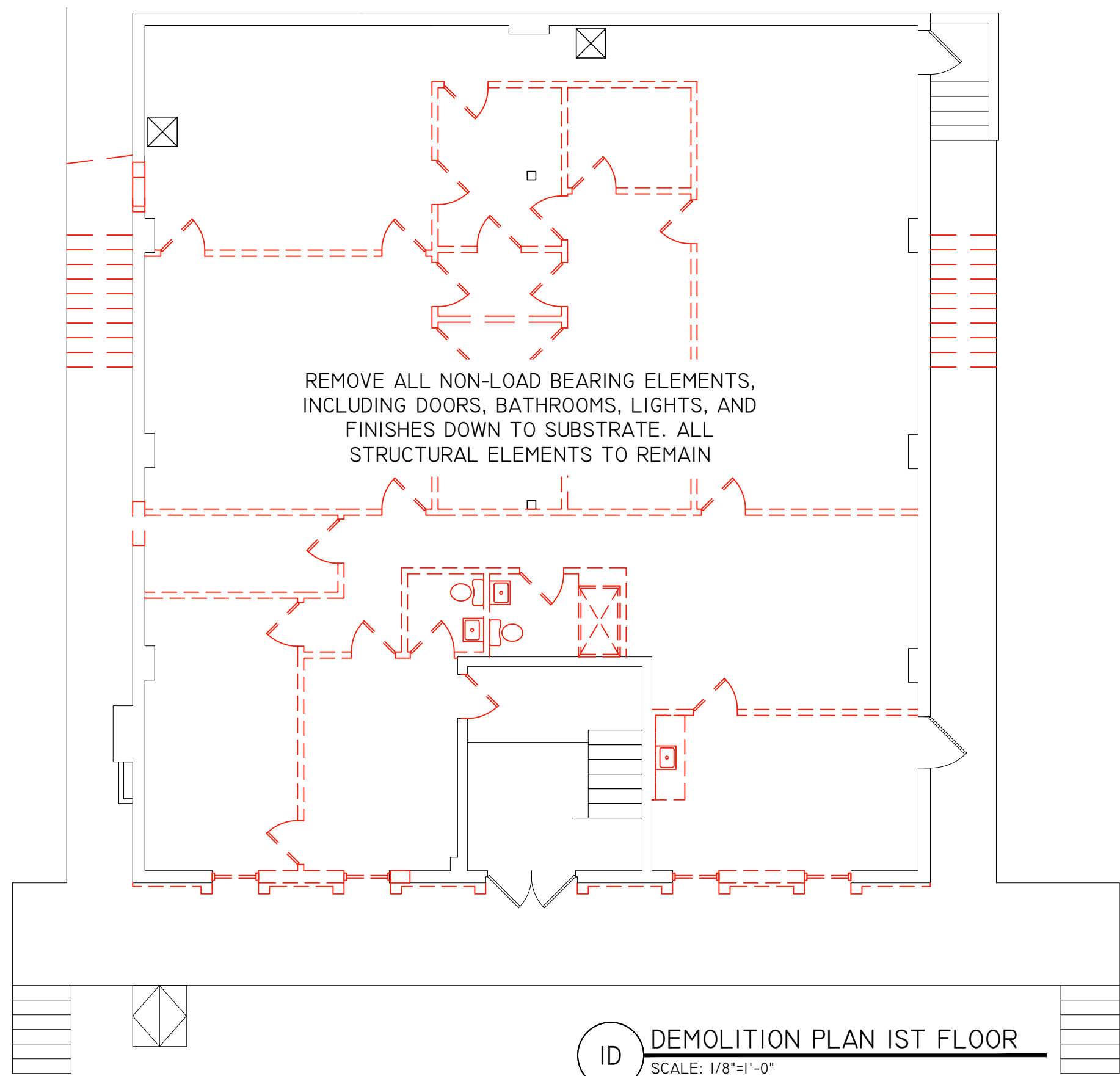


2D DEMOLITION PLAN 2ND FLOOR
SCALE: 1/8"=1'-0"

REVISIONS:		
#	DESCRIPTION:	DATE:
1	ISSUED FOR PERMITS	4/10/2024



0 PARTIAL CELLAR
SCALE: 1/4"=1'-0"



1D DEMOLITION PLAN 1ST FLOOR
SCALE: 1/8"=1'-0"

DRAWING TITLE:
DEMOLITION PLANS
PARTIAL CELLAR PLAN

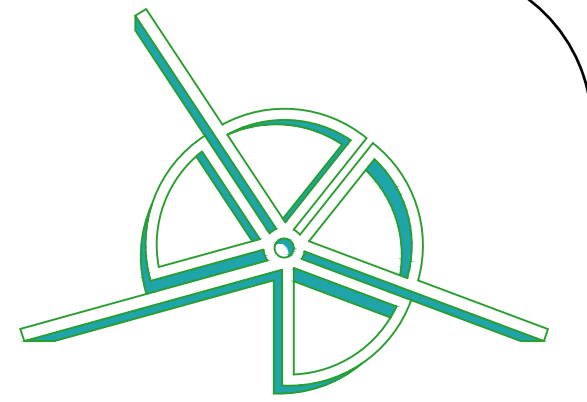
ARCHITECTURAL LICENSE #:
NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

JASON PEIST, AIA - ARCHITECT

© COPYRIGHT 2024
DRAWINGS, SPECIFICATIONS & OTHER DOCUMENTS, BOTH PAPER COPIES AND IN ELECTRONIC FORM, PREPARED BY JASON PEIST AND CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY FOR THIS PROJECT. THEY MAY NOT BE USED FOR ANY PURPOSES BEYOND THE SCOPE OF THIS CONTRACT WITHOUT WRITTEN PERMISSION FROM JASON PEIST. UNLAWFUL USE OF INSTRUMENTS OF SERVICE SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

DATE: 4/10/24
SCALE: AS NOTED
DRAWN BY: J.R.P.
JOB NUMBER: 24-010
SHEET: 2 OF 17

DRAWING NUMBER
D-001



JASON PEIST
ARCHITECT, LLC

171 BROAD ST. MATAWAN, NJ 07747
732-379-0743 | INFO@JASONPEIST.COM

CHANGE OF USE- ADD A LEVEL
172-174 MAIN ST
WEST ORANGE, NJ 07052
BLOCK 89, LOT 6
ESSEX COUNTY

REVISIONS:
DESCRIPTION: DATE:
ISSUED FOR PERMITS 4/10/2024

DRAWING TITLE:

ACCESSIBILITY REQUIREMENTS

ARCHITECTURAL LICENSE #:
NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

Jason Peist

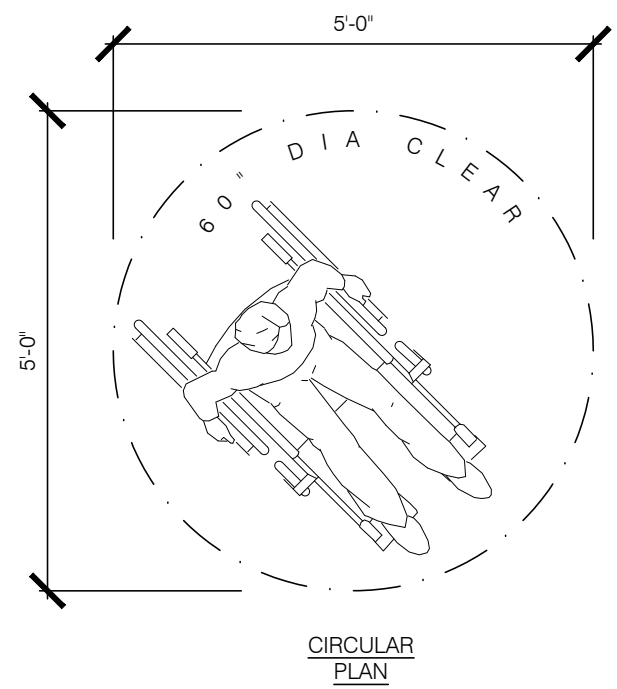
JASON PEIST, AIA - ARCHITECT

© COPYRIGHT 2024
DRAWINGS, SPECIFICATIONS & OTHER DOCUMENTS, BOTH PAPER COPIES AND IN ELECTRONIC FORM, PREPARED BY JASON PEIST AND CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY FOR THIS PROJECT. THEY MAY NOT BE USED FOR ANY PURPOSES BEYOND THE SCOPE OF THIS CONTRACT WITHOUT WRITTEN PERMISSION FROM JASON PEIST. UNLAWFUL USE OF INSTRUMENTS OF SERVICE SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

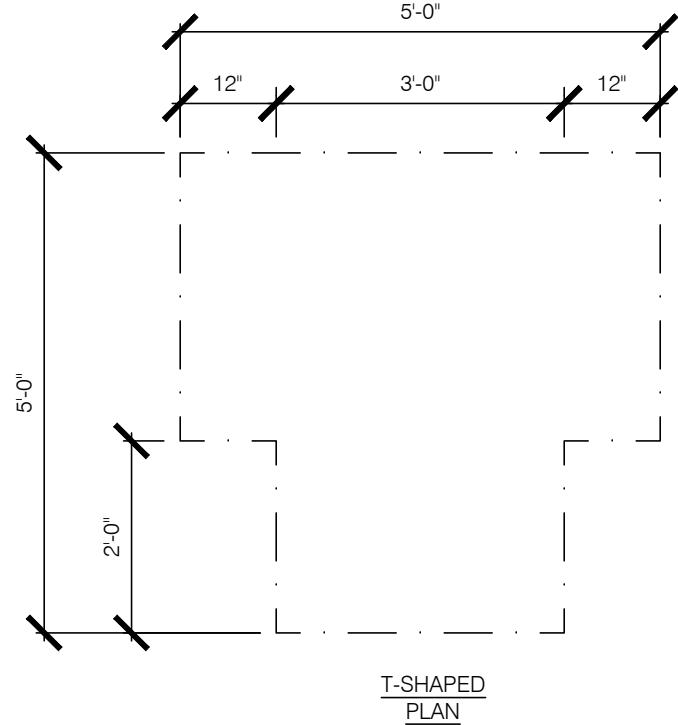
DATE: 4/10/24 JOB NUMBER: 24-010
SCALE: AS NOTED SHEET: 3 OF 17
DRAWN BY: J.R.P.

DRAWING NUMBER

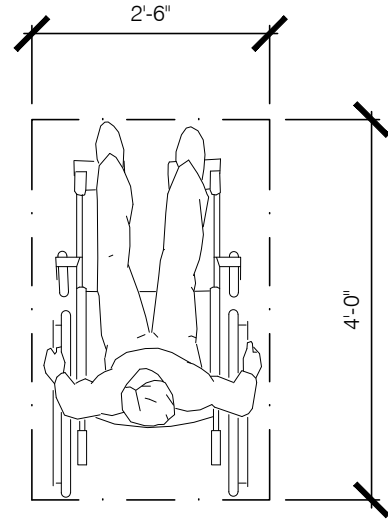
A-001



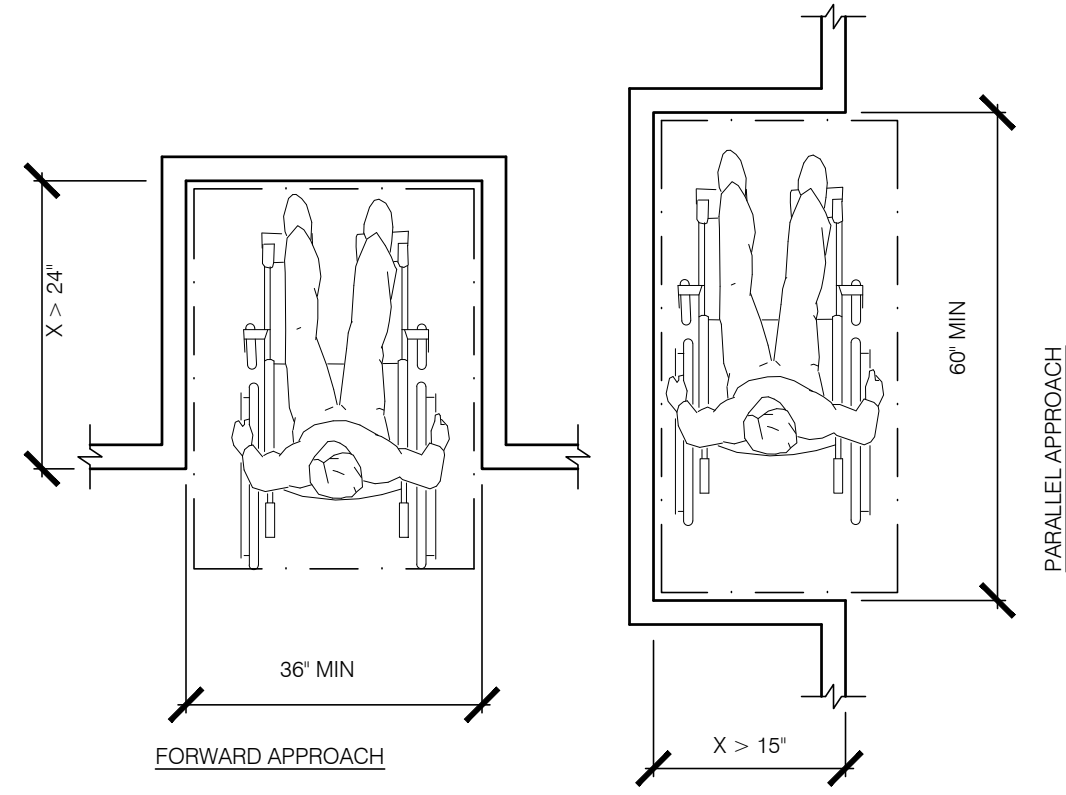
1A 180°/360° TURNING SPACE
SCALE: 1/2" = 1'-0"



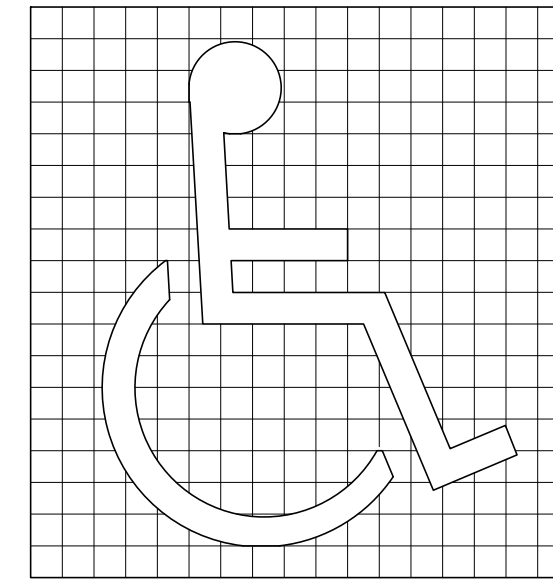
1B ALTERNATE TURNING SPACE
SCALE: 1/2" = 1'-0"



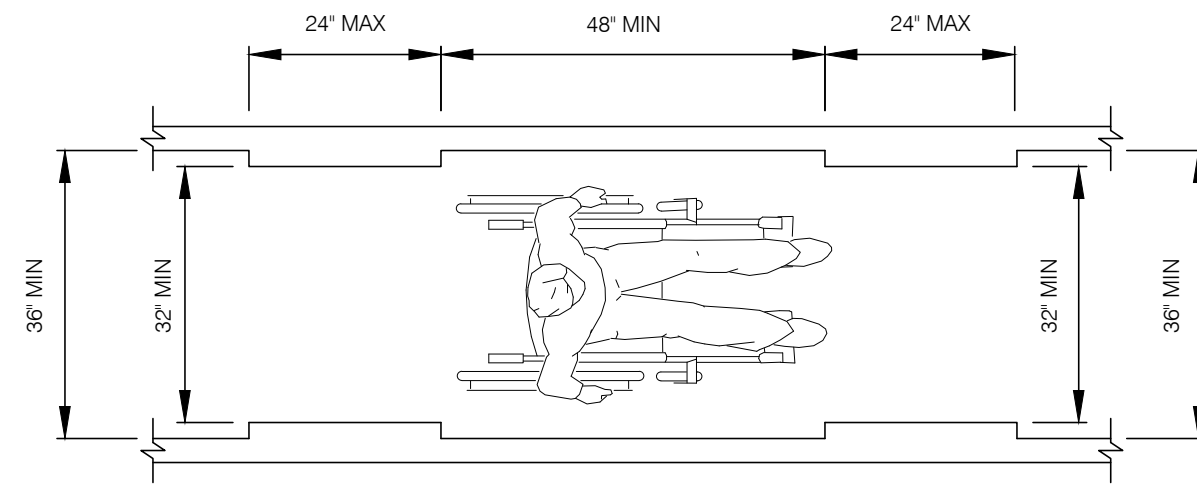
2A CLEAR FLOOR SPACE
SCALE: 1/2" = 1'-0"



2B ALCOVE MANEUVERING CLEARANCES
SCALE: 1/2" = 1'-0"



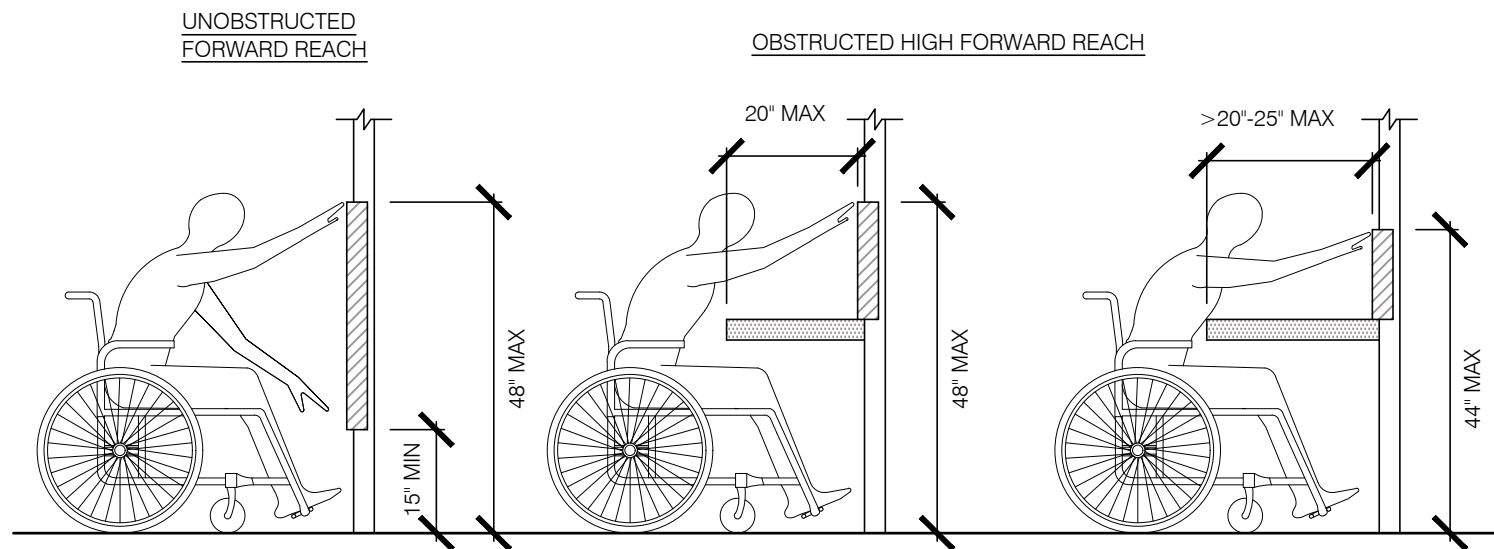
3 INTERNATIONAL SYMBOL
SCALE: 1/2" = 1'-0"



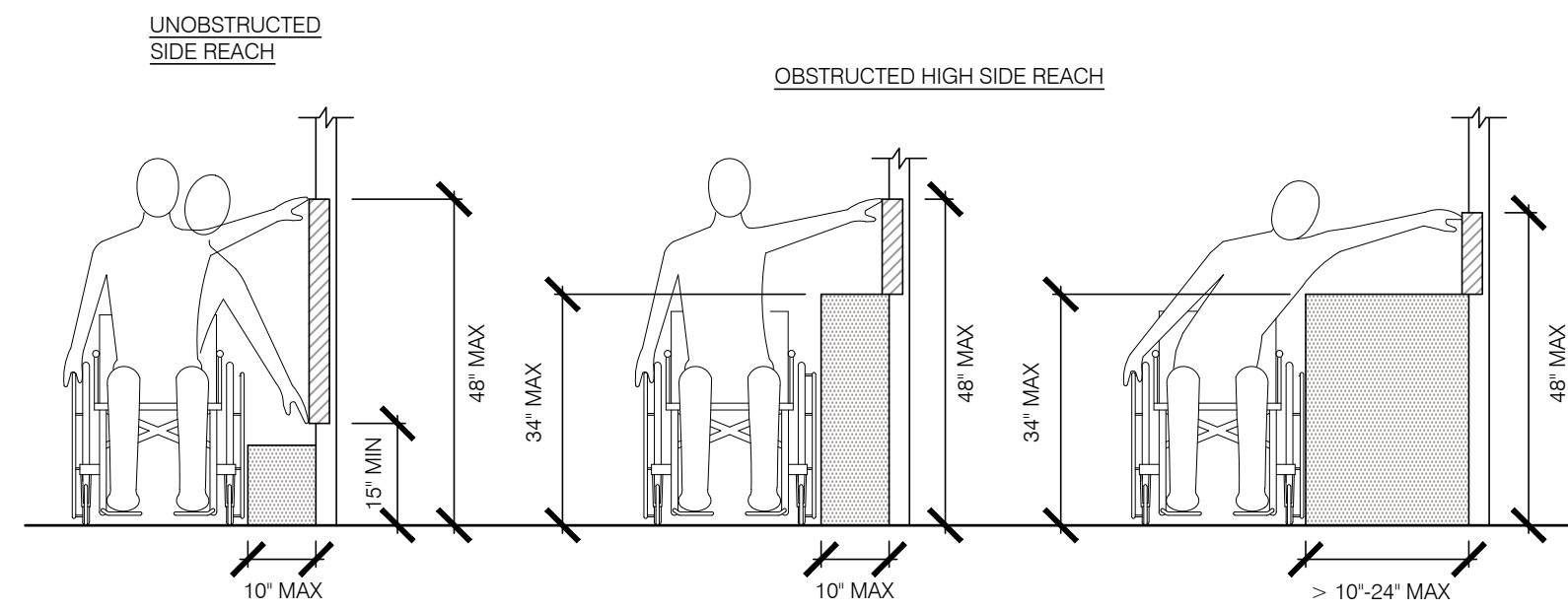
SEGMENT LENGTH	MINIMUM SEGMENT WIDTH
LESS THAN OR EQUAL TO 24'	32" (SEE NOTE)
GREATER THAN 24'	36"

NOTE: CONSECUTIVE SEGMENTS OF 32" WIDE MUST BE SEPARATED BY A ROUTE SEGMENT 48" LONG MINIMUM AND 36" WIDE MINIMUM.

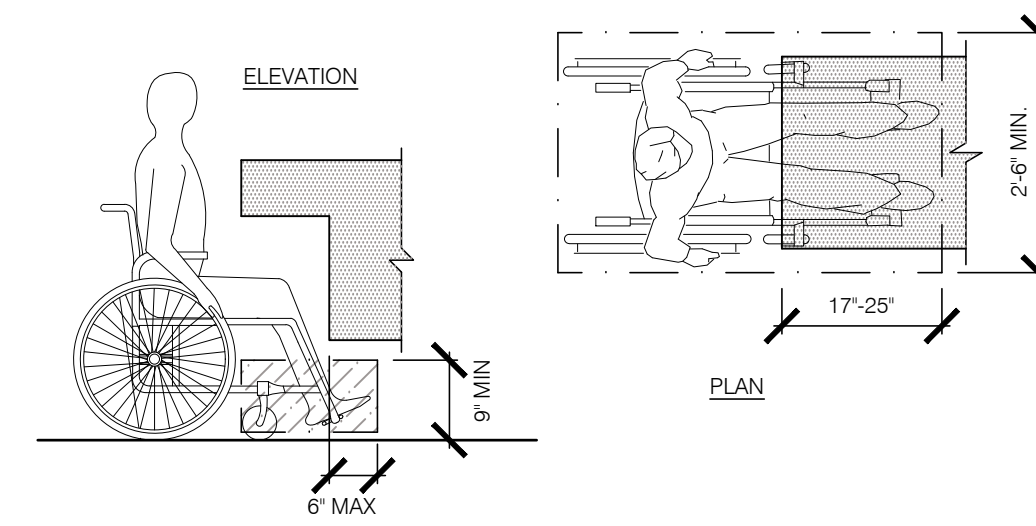
4 CLEAR WIDTH OF ACCESSIBLE ROUTE
SCALE: 1/2" = 1'-0"



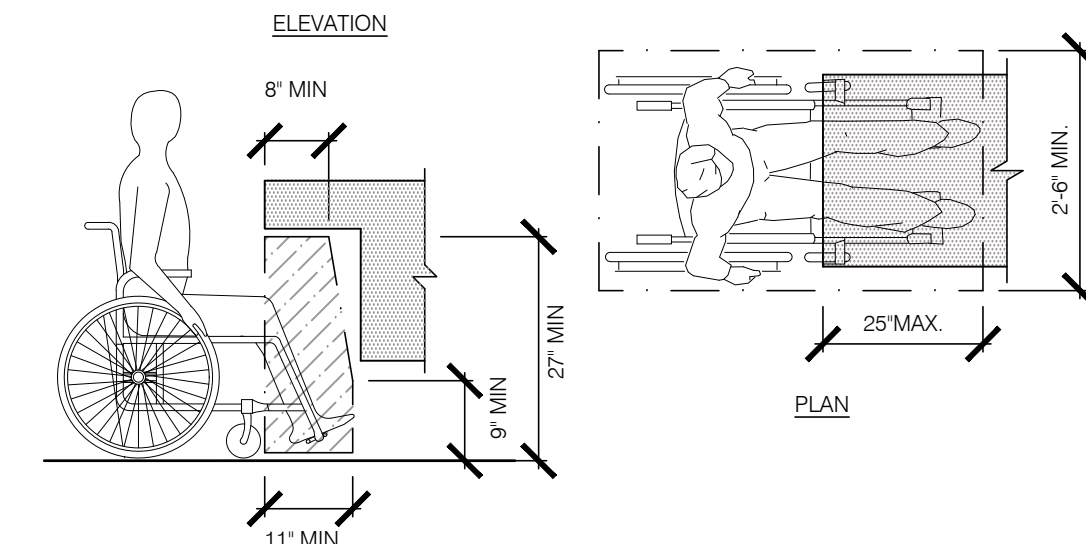
5A FORWARD REACH CLEARANCES
SCALE: 1/2" = 1'-0"



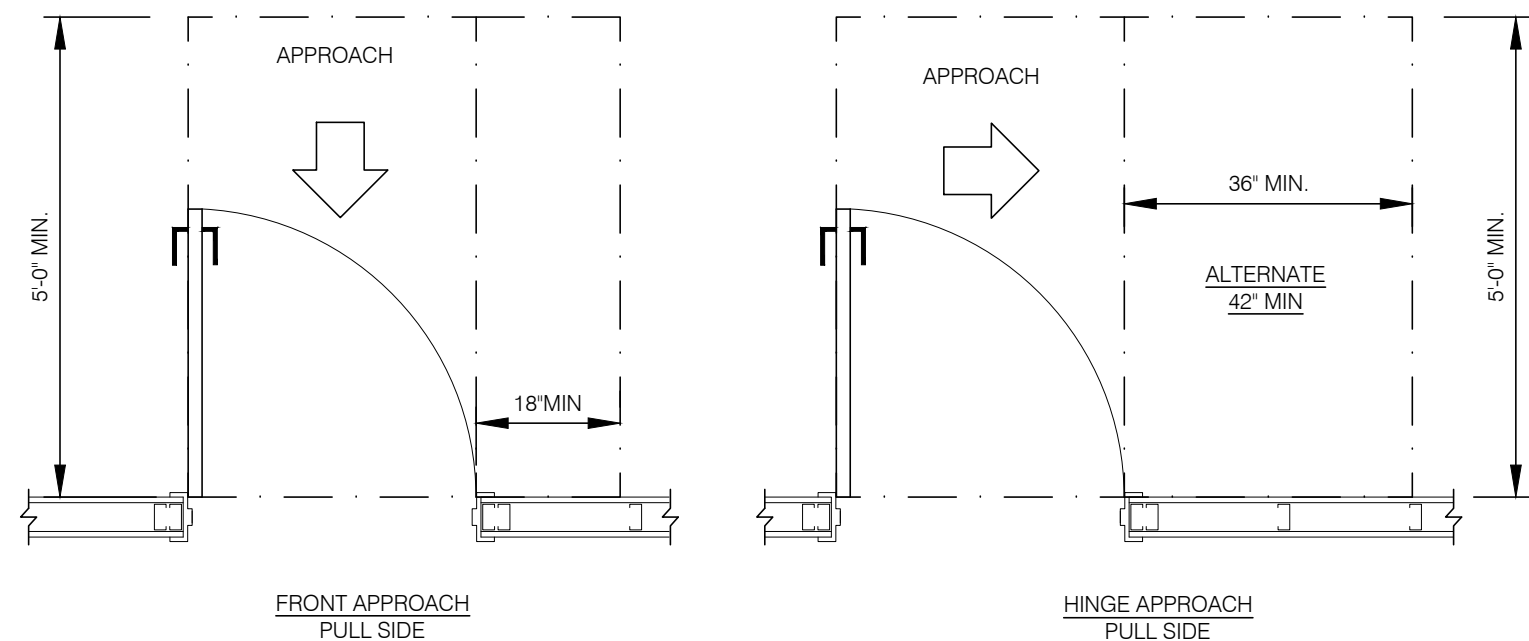
5B SIDE REACH CLEARANCES
SCALE: 1/2" = 1'-0"



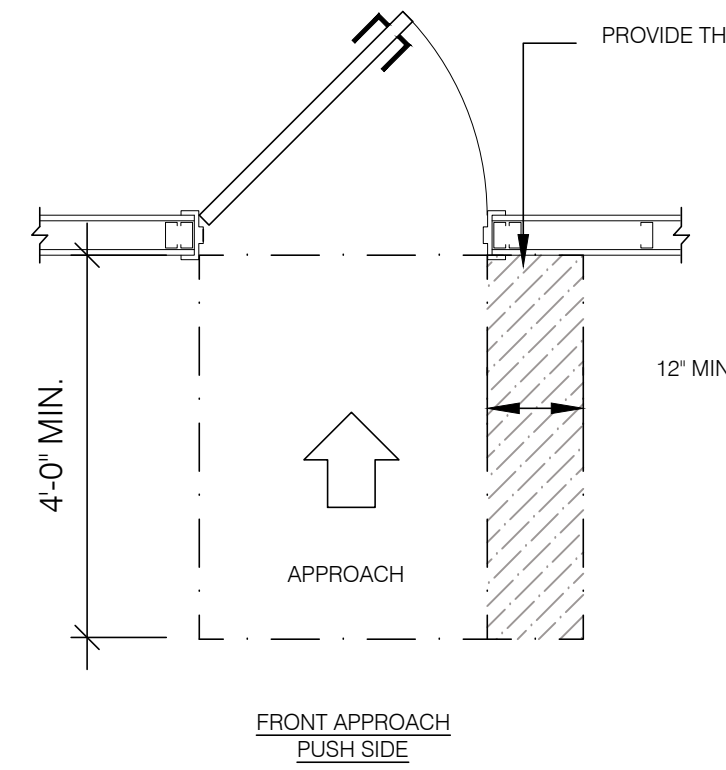
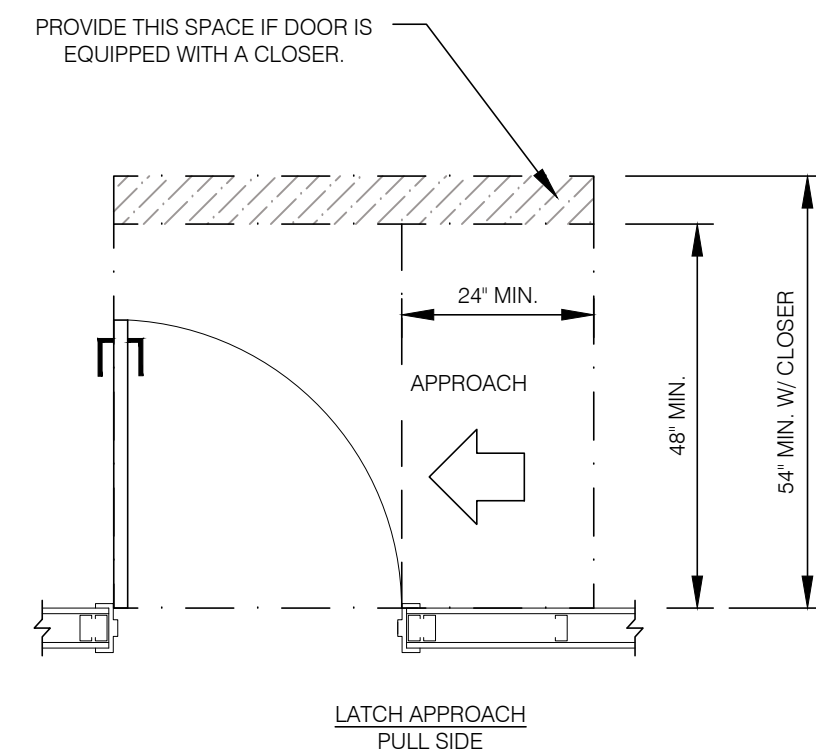
5C TOE CLEARANCES
SCALE: 1/2" = 1'-0"



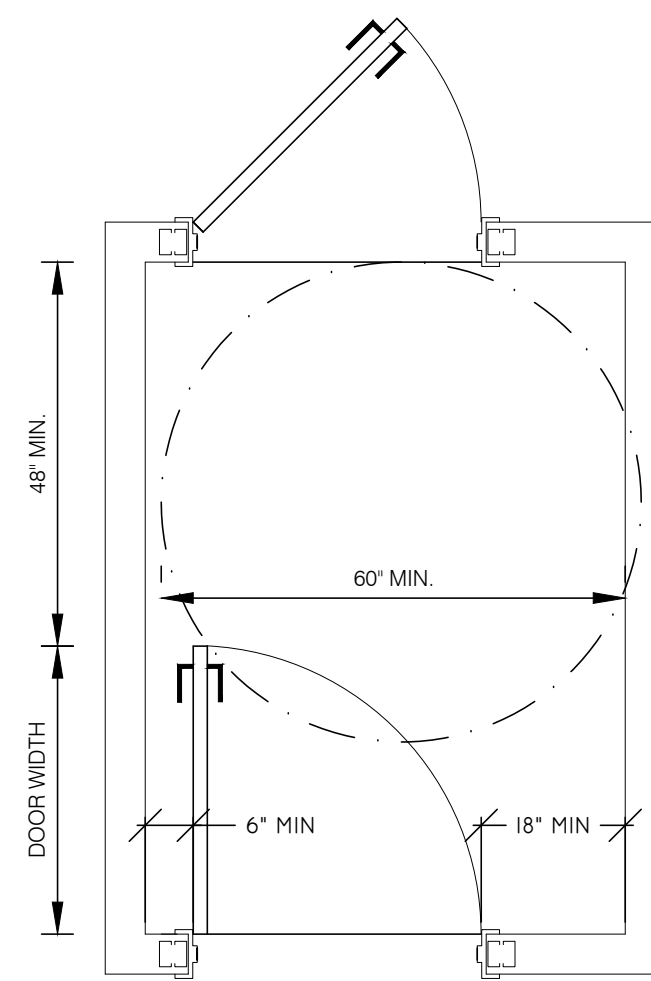
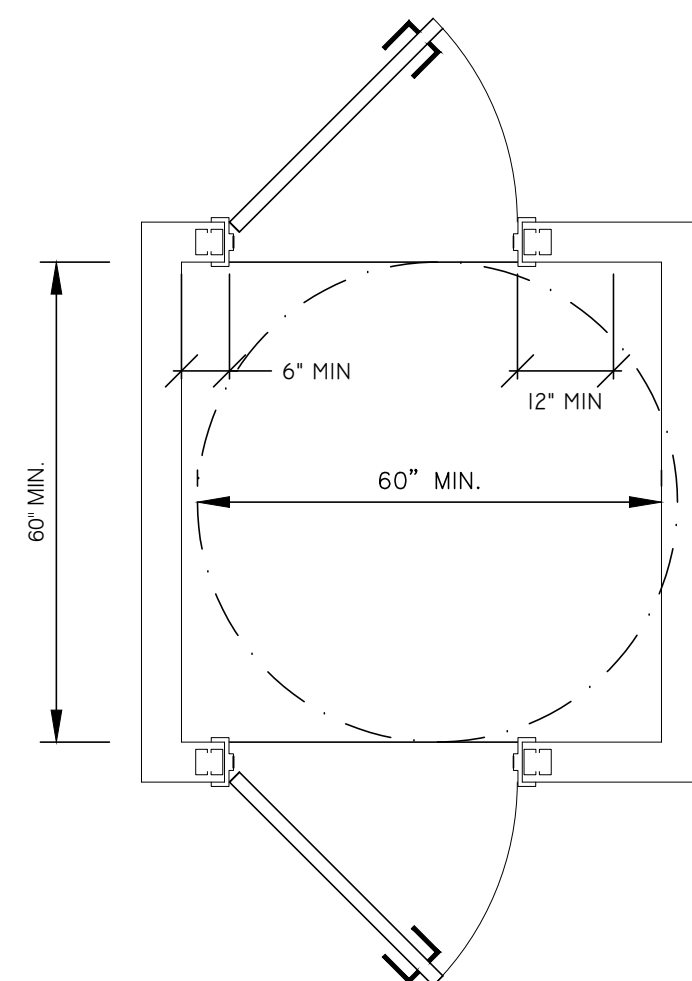
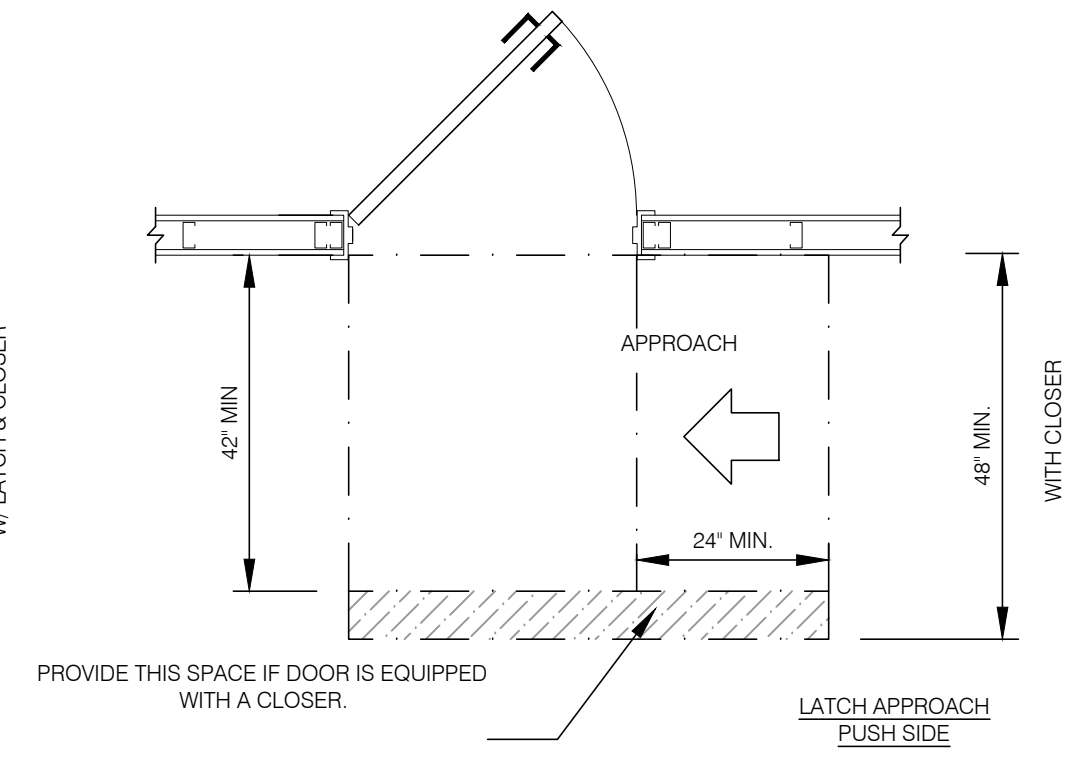
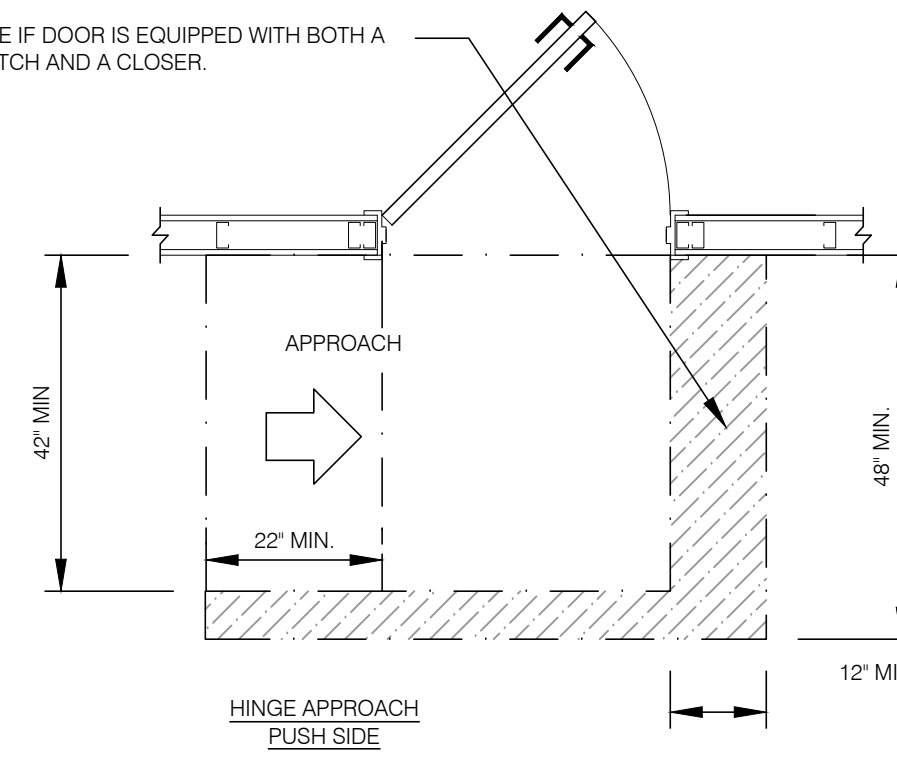
5D KNEE CLEARANCES
SCALE: 1/2" = 1'-0"



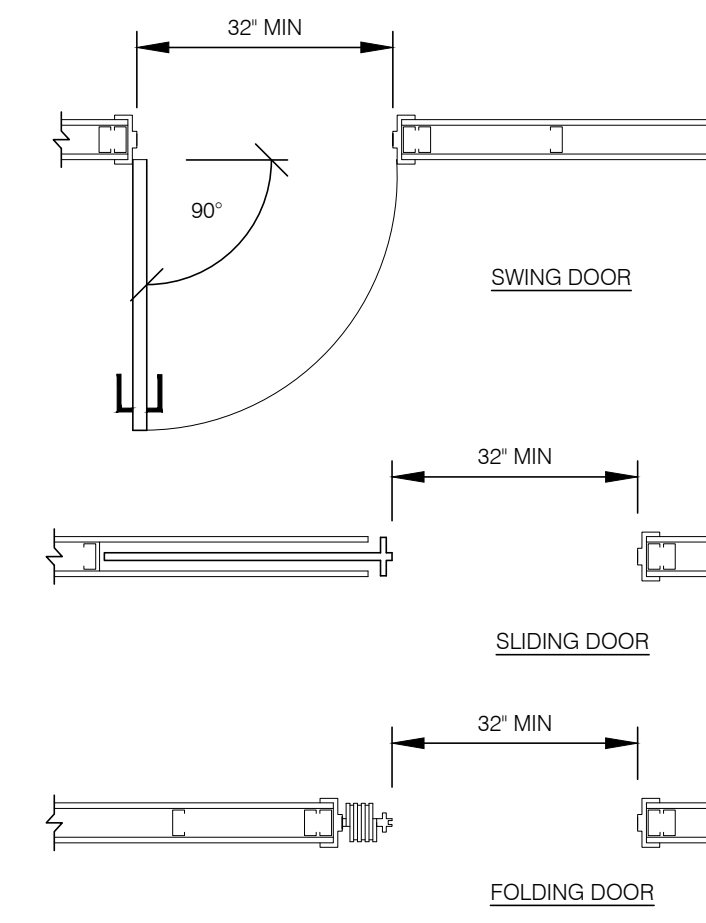
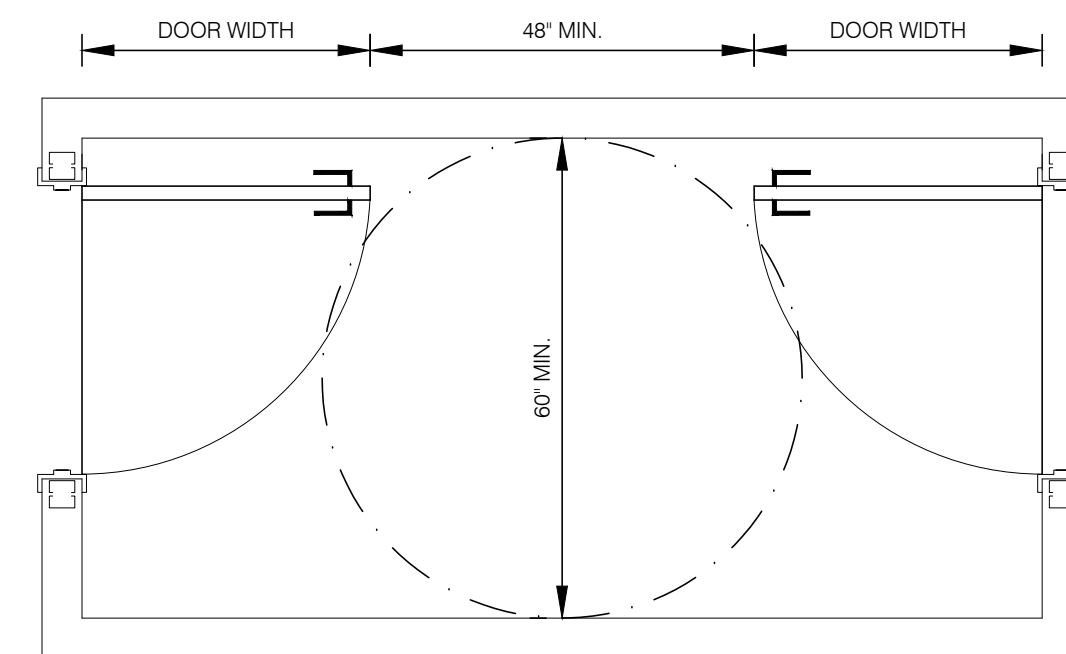
6A MANEUVERING CLEARANCE AT MANUAL SWINGING DOORS- PULL SIDE
SCALE: 1/2" = 1'-0"



6A MANEUVERING CLEARANCE AT MANUAL SWINGING DOORS- PUSH SIDE
SCALE: 1/2" = 1'-0"

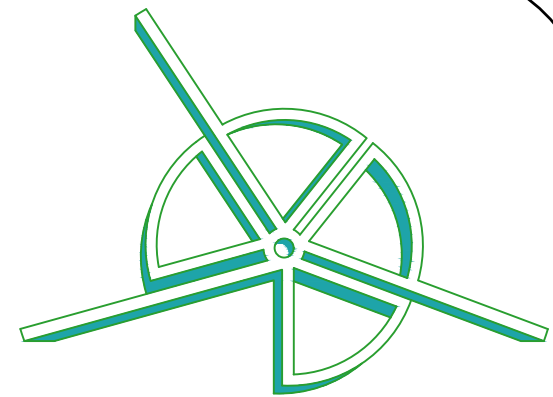


8 DOORS IN A SERIES MANEUVERING CLEARANCES
SCALE: 1/2" = 1'-0"



9 CLEAR WIDTHS- DOORS
SCALE: 1/2" = 1'-0"

NOTE:
THIS DRAWING IS APPROVED ONLY FOR THE SCOPE OF WORK INDICATED ON THE DRAWINGS. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR CONSIDERED AS EITHER BEING APPROVED BY THIS ARCHITECT AND HIS CONSULTANTS OR IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS



JASON PEIST
ARCHITECT, LLC

171 BROAD ST. MATAWAN, NJ 07747
732-379-0743 | INFO@JASONPEIST.COM

CHANGE OF USE- ADD A LEVEL
172-174 MAIN ST
WEST ORANGE, NJ 07052
BLOCK 89, LOT 6
ESSEX COUNTY

REVISIONS:
DESCRIPTION: DATE:
ISSUED FOR PERMITS 4/10/2024

DRAWING TITLE:
ACCESSIBILITY REQUIREMENTS

ARCHITECTURAL LICENSE #:
NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

Jason Peist

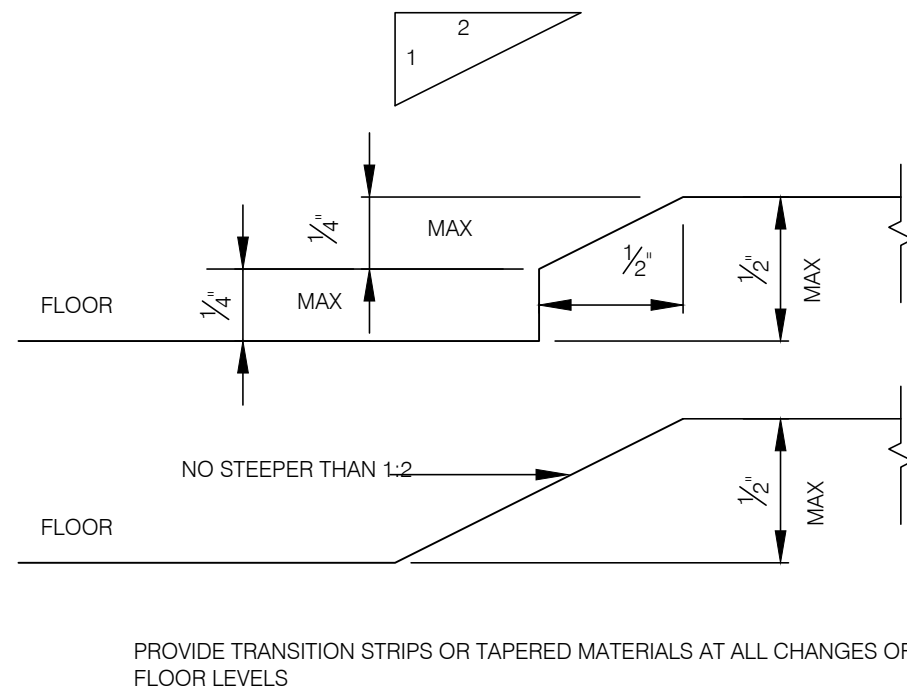
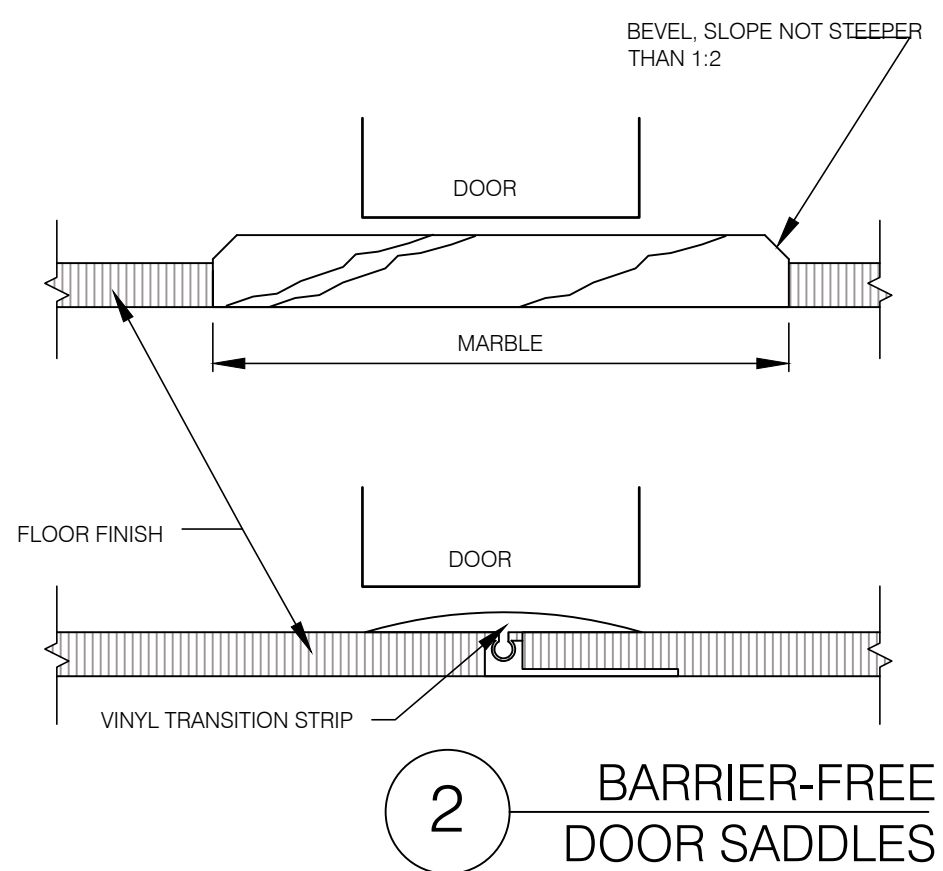
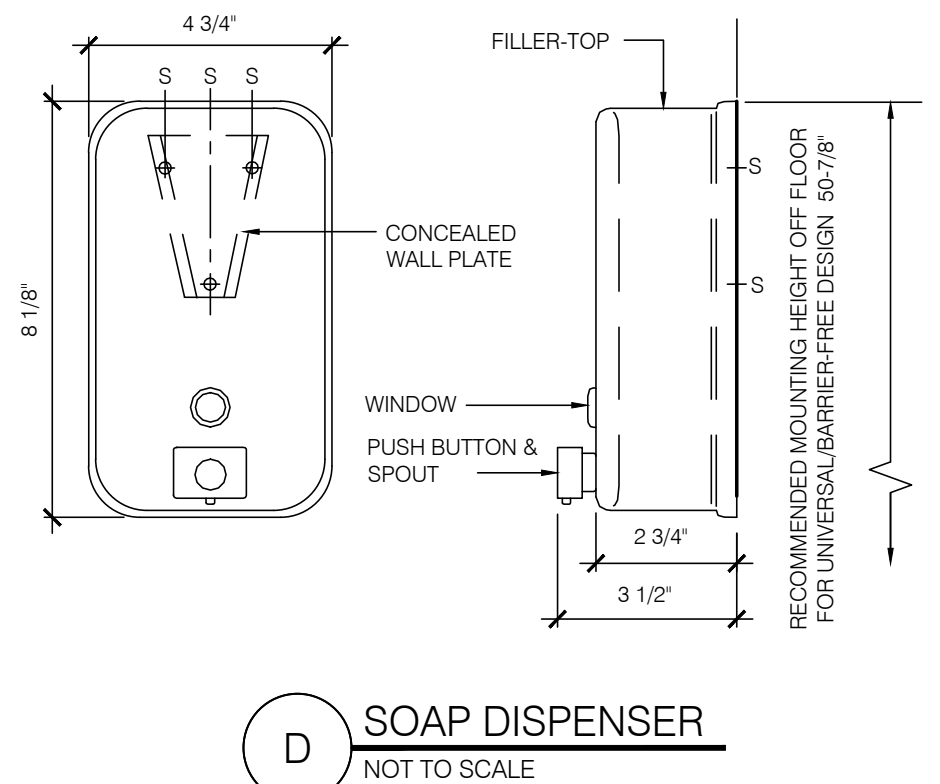
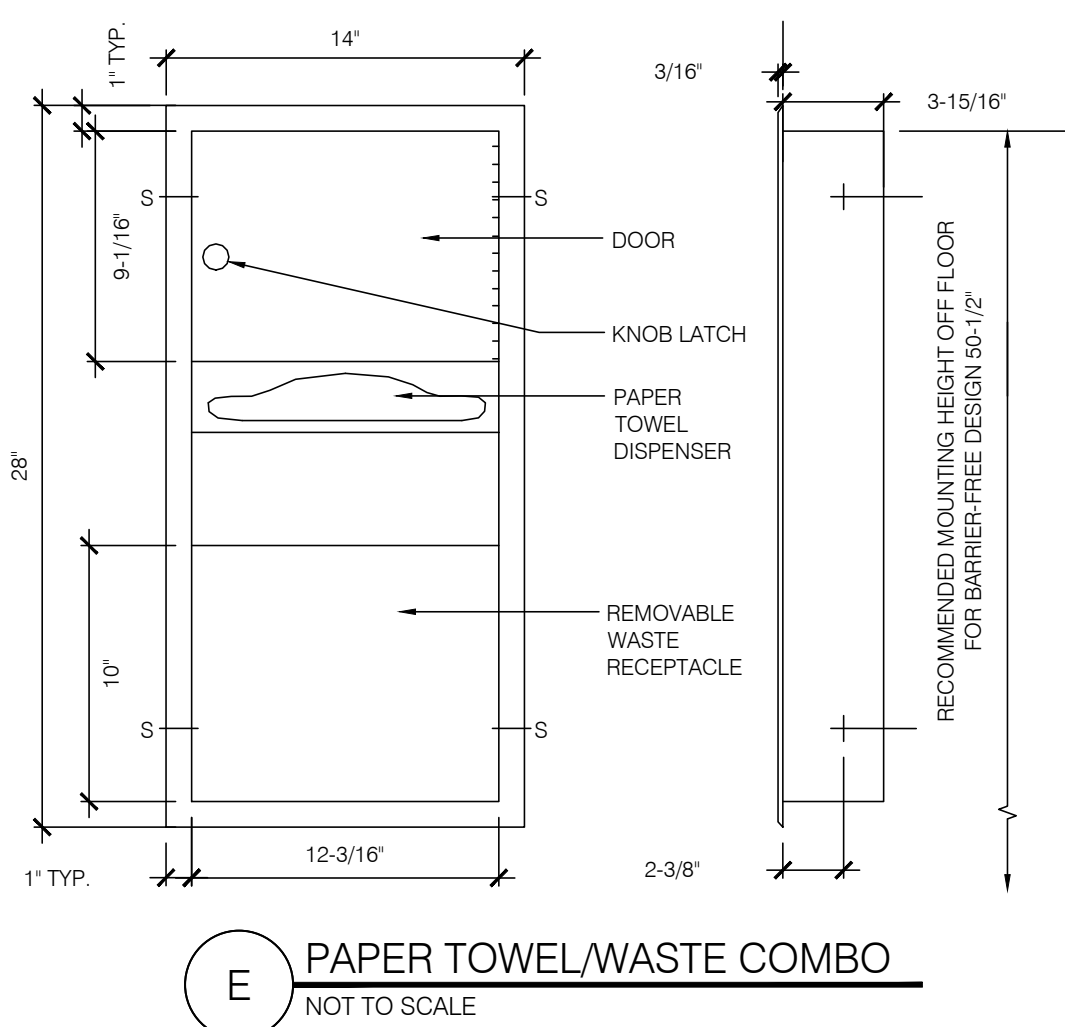
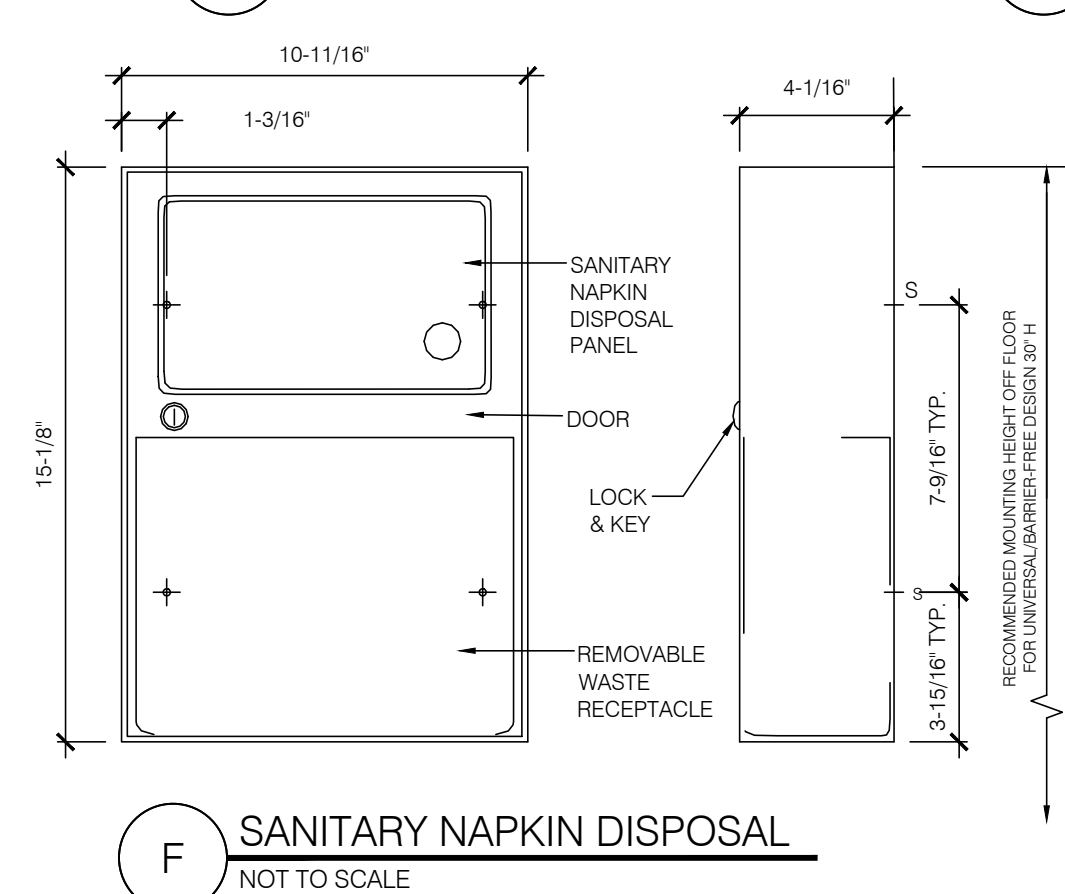
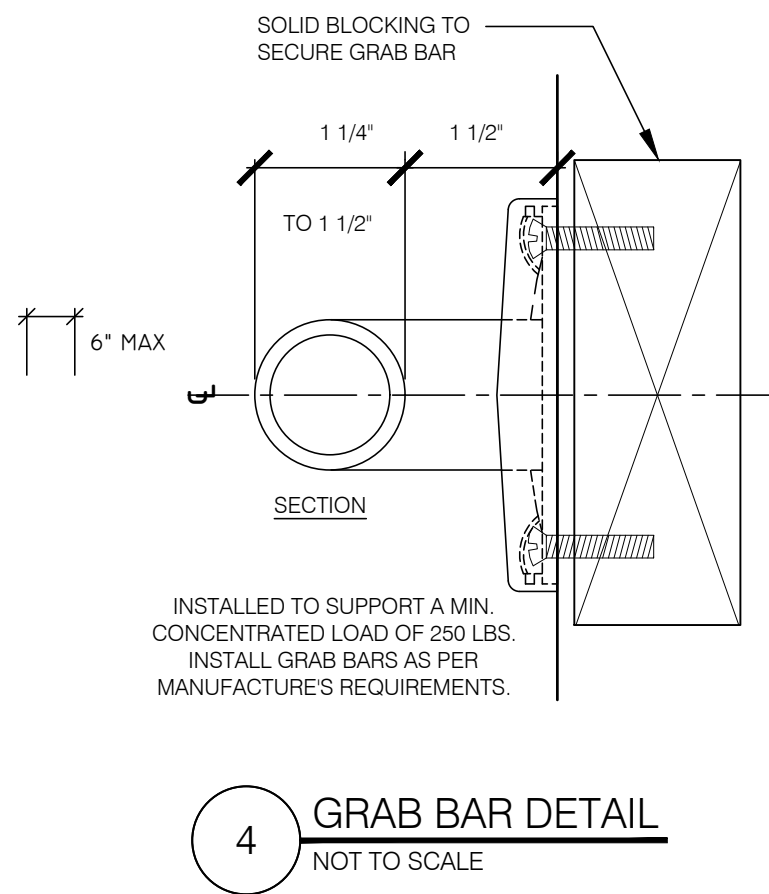
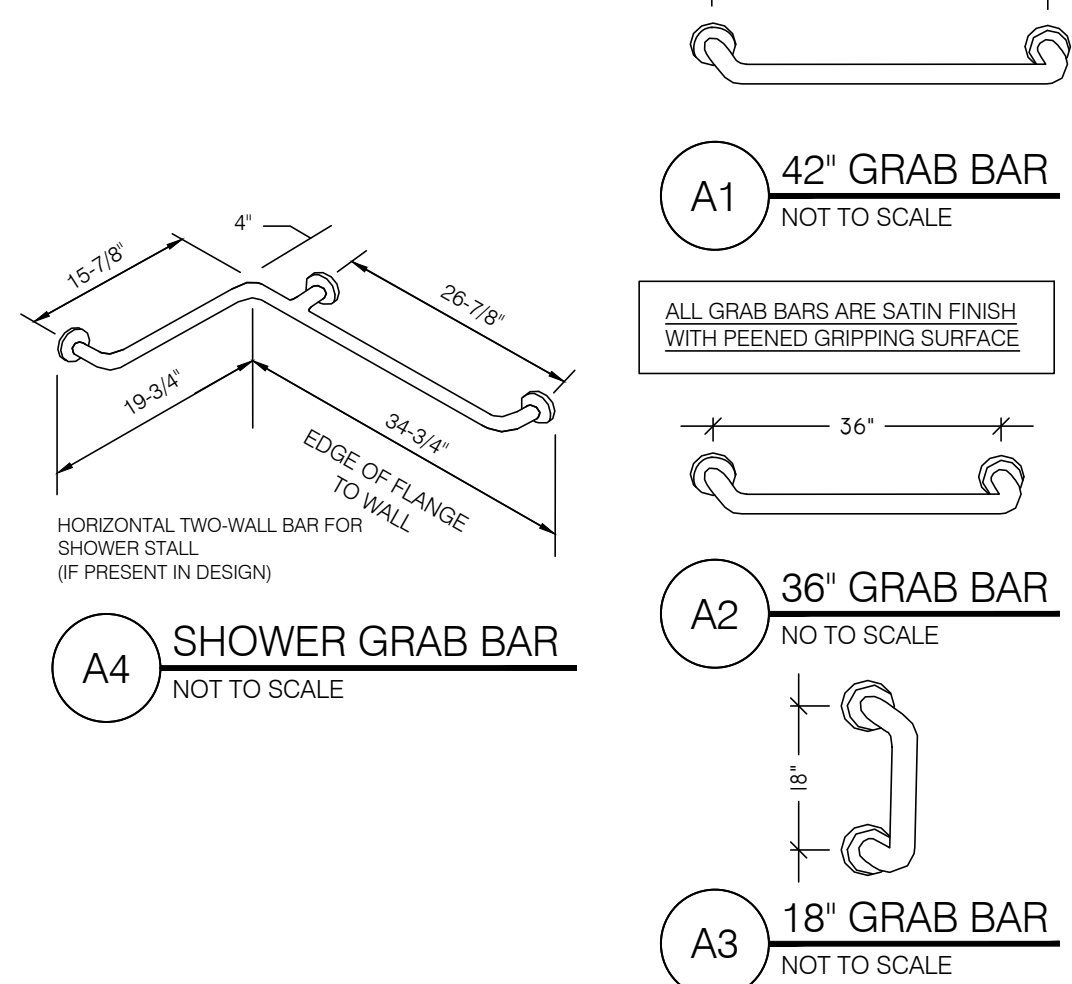
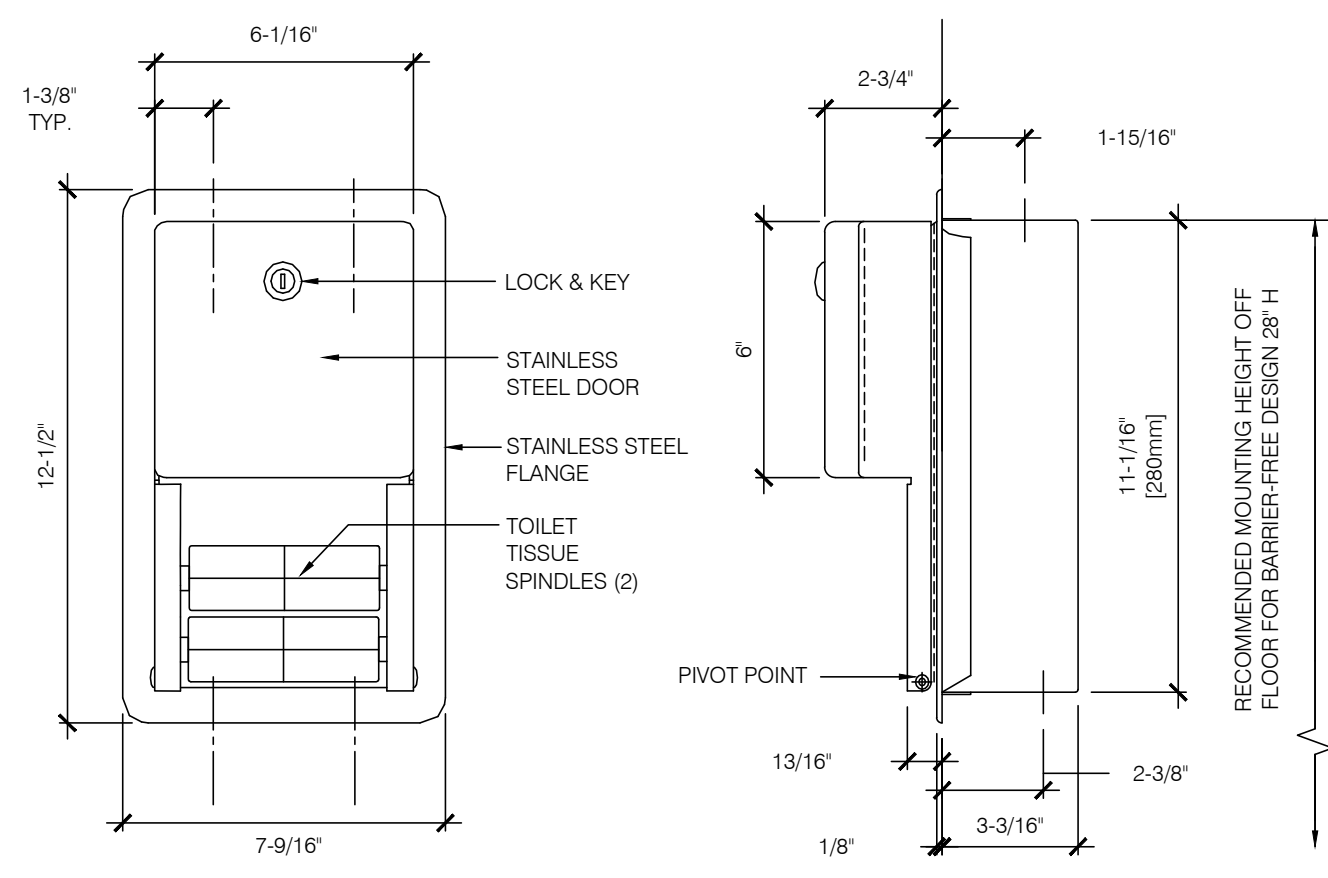
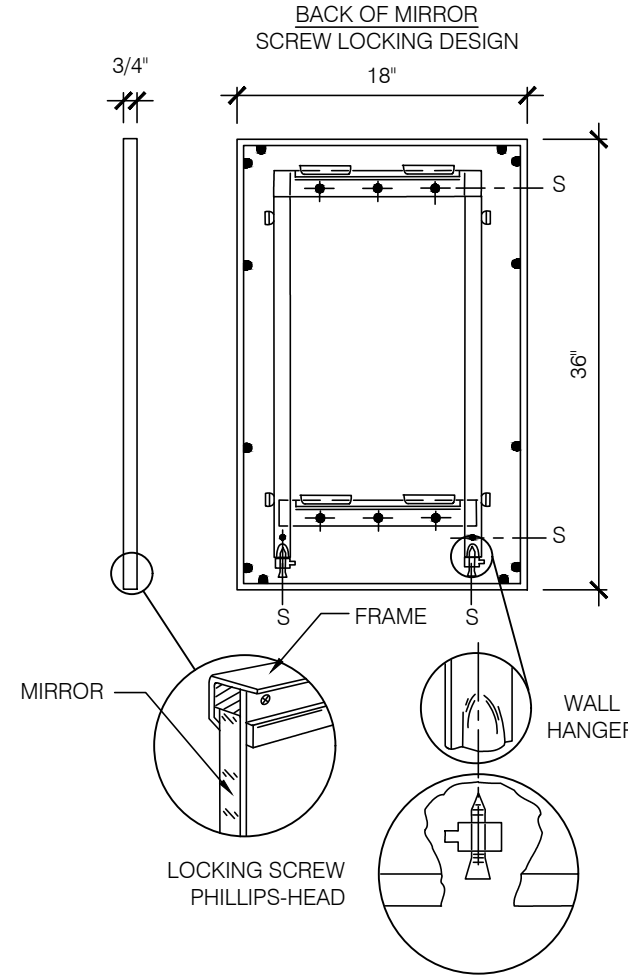
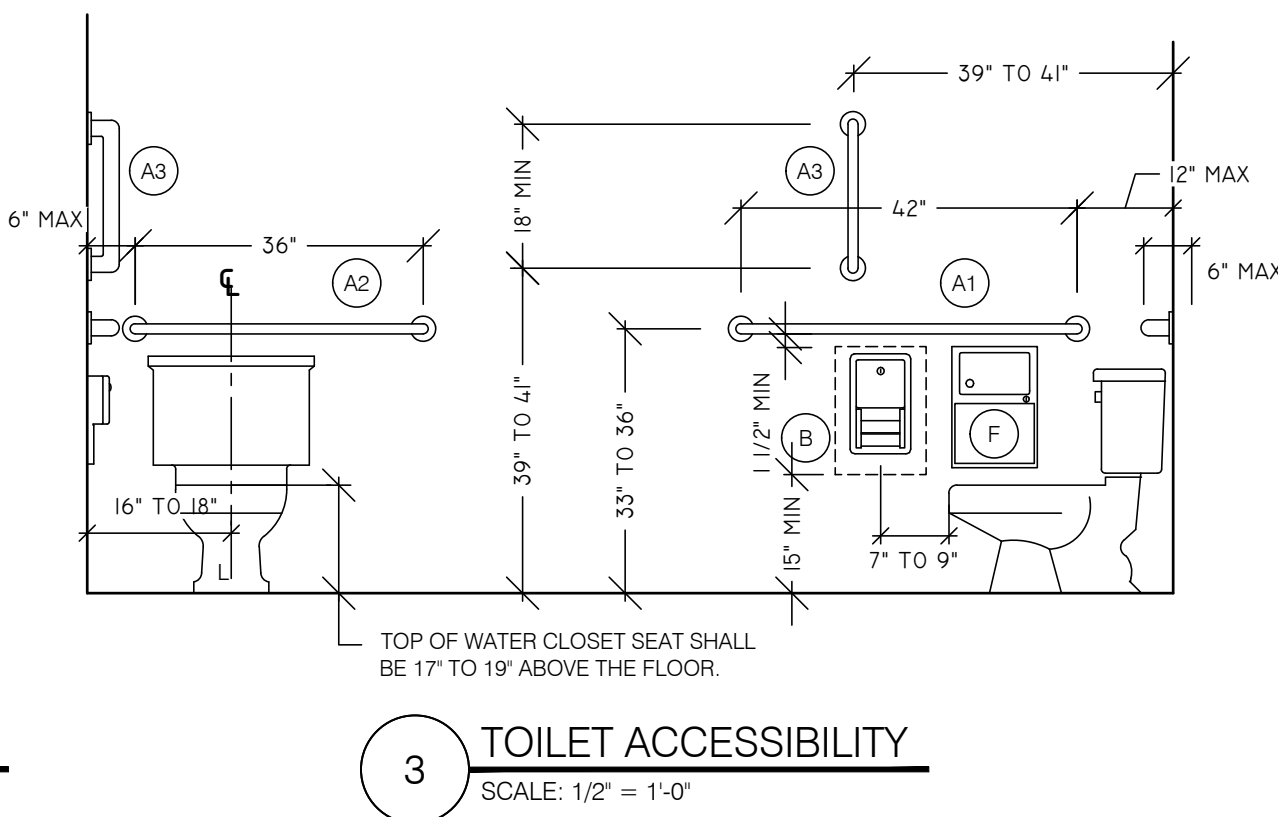
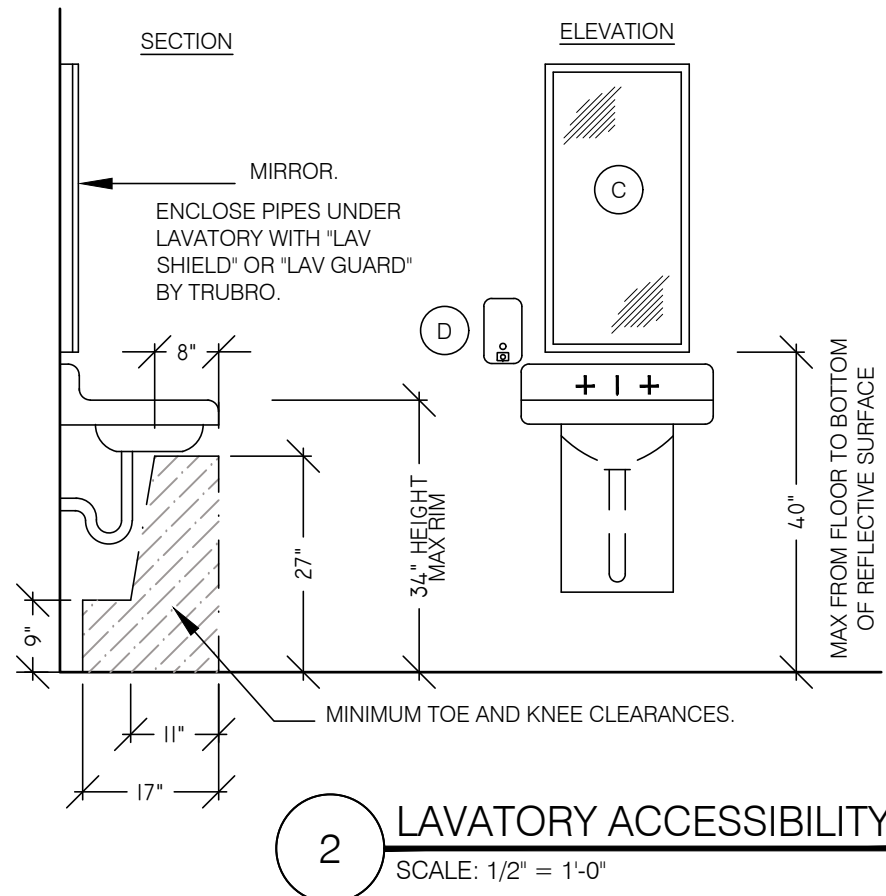
JASON PEIST, AIA - ARCHITECT

© COPYRIGHT 2024
DRAWINGS, SPECIFICATIONS & OTHER DOCUMENTS,
BOTH PAPER COPIES AND IN ELECTRONIC FORM,
PREPARED BY JASON PEIST AND CONSULTANTS ARE
INSTRUMENTS OF SERVICE FOR USE SOLELY FOR THIS
PROJECT. THEY MAY NOT BE USED FOR ANY
PURPOSES BEYOND THE SCOPE OF THIS CONTRACT
WITHOUT WRITTEN PERMISSION FROM JASON PEIST.
UNLAWFUL USE OF INSTRUMENTS OF SERVICE SHALL
BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

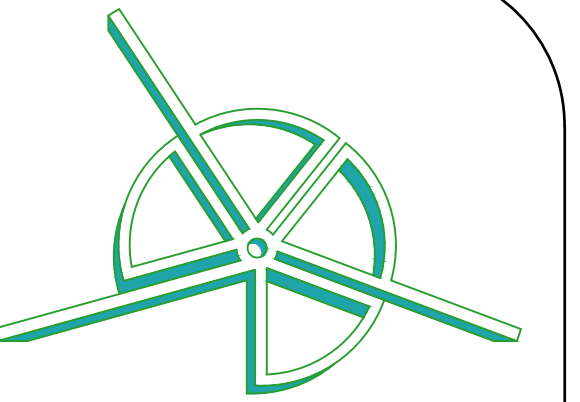
DATE: 4/10/24 JOB NUMBER: 24-010
SCALE: AS NOTED SHEET: 4 OF 17
DRAWN BY: J.R.P.

DRAWING NUMBER

A-002



NOTE:
THIS DRAWING IS APPROVED ONLY FOR THE SCOPE OF WORK
INDICATED ON THE DRAWINGS. ALL OTHER MATTERS SHOWN
ARE NOT TO BE RELIED UPON OR CONSIDERED AS EITHER BEING
APPROVED BY THIS ARCHITECT AND HIS CONSULTANTS OR IN
ACCORDANCE WITH APPLICABLE CODES AND STANDARDS



JASON PEIST
ARCHITECT, LLC

171 BROAD ST. MATAWAN, NJ 07747
732-379-0743 | INFO@JASONPEIST.COM

CHANGE OF USE- ADD A LEVEL
172-174 MAIN ST
WEST ORANGE, NJ 07052
BLOCK 89, LOT 6
ESSEX COUNTY

REVISIONS:		
#	DESCRIPTION:	DATE:
1	ISSUED FOR PERMITS	4/10/2024

DRAWING TITLE:
FIRST FLOOR
CELLAR PLAN
CONSTRUCTION PLAN

ARCHITECTURAL LICENSE #:
NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

Jason Peist

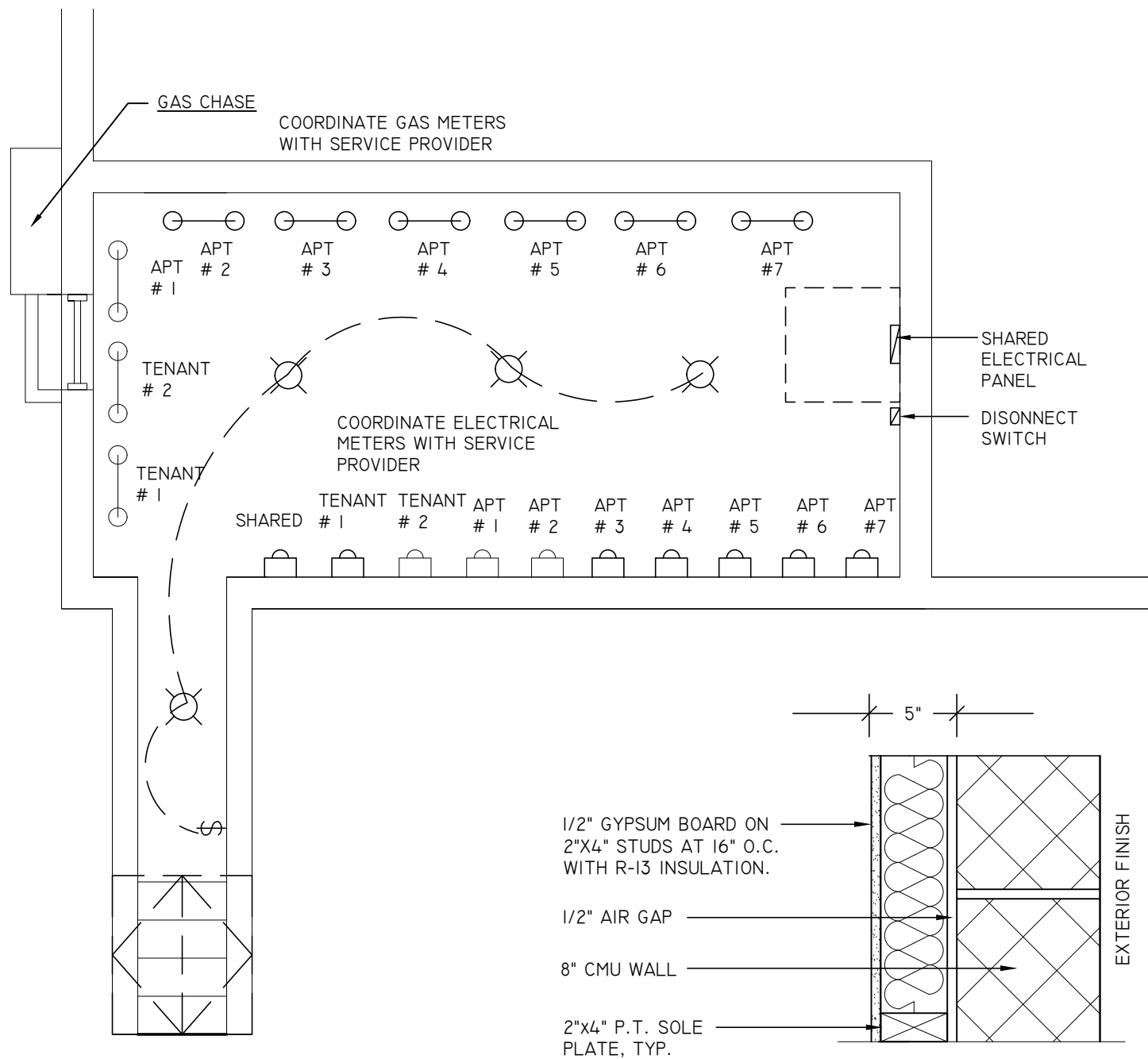
JASON PEIST, AIA - ARCHITECT

© COPYRIGHT 2024
DRAWINGS, SPECIFICATIONS & OTHER DOCUMENTS, BOTH PAPER COPIES AND IN ELECTRONIC FORM, PREPARED BY JASON PEIST AND CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY FOR THIS PROJECT. THEY MAY NOT BE USED FOR ANY PURPOSES BEYOND THE SCOPE OF THIS CONTRACT WITHOUT WRITTEN PERMISSION FROM JASON PEIST. UNLAWFUL USE OF INSTRUMENTS OF SERVICE SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

DATE: 4/10/24
SCALE: AS NOTED
DRAWN BY: J.R.P.
JOB NUMBER: 24-010
SHEET: 5 OF 17

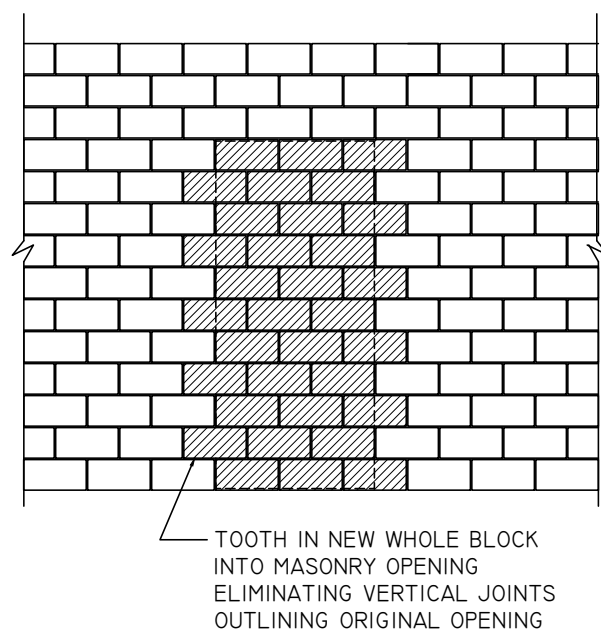
DRAWING NUMBER

A-101

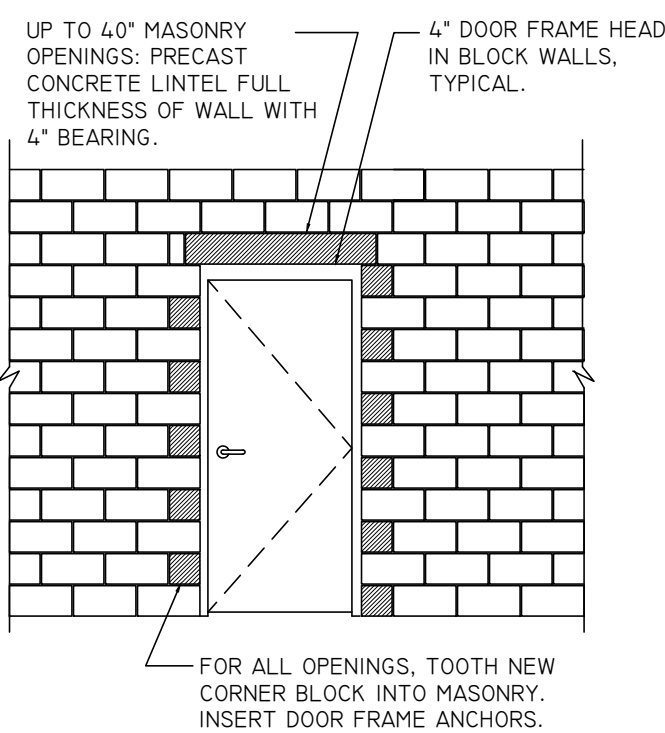


**4 BLOCK FURRING
WALLS (EXTERIOR)**

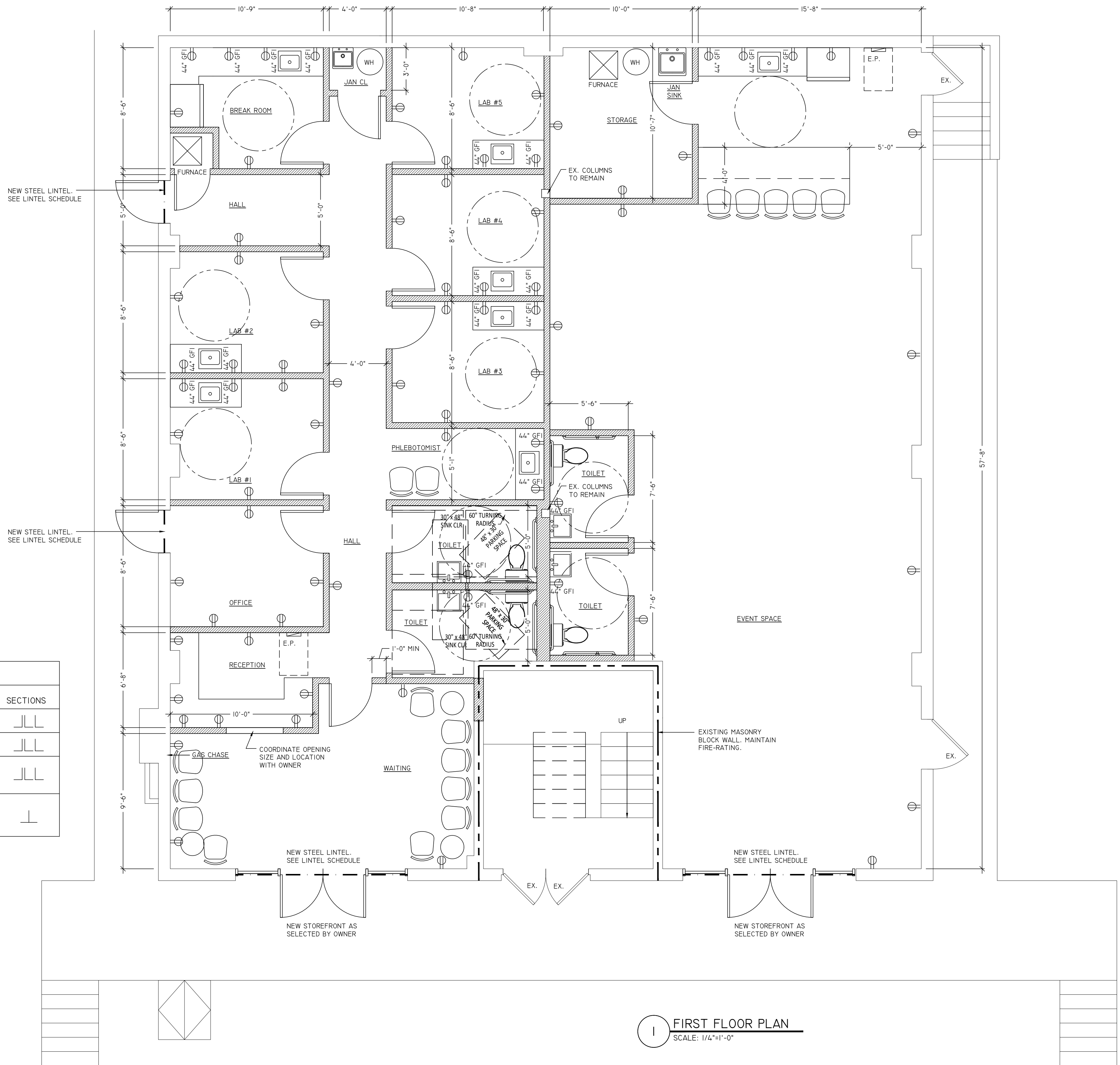
LINTEL SCHEDULE			
MARK	SIZE	REMARKS	SECTIONS
L-1	(1) ANGLE 5x3 1/2 x 5/16 FOR EACH 4\"/>	FOR OPENINGS UP TO 6'-0\"/>	JLL
L-2	(1) ANGLE 6x3 x 1/4\"/>	FOR OPENINGS 6'-0\"/>	JLL
L-3	(1) ANGLE 6x3 x 1/4\"/>	FOR OPENINGS 8'-0\"/>	JLL
L-4	(1) WT10.5x6.6 FOR 12\"/>	FOR OPENINGS UP TO 16'-0\"/>	T



B MASONRY WALL- INFILL
NOT TO SCALE

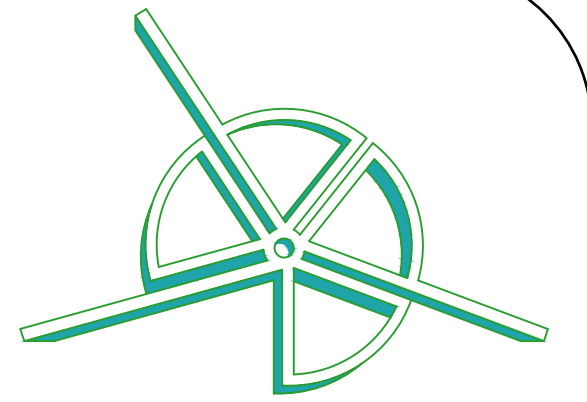


A MASONRY WALL- NEW DOOR
NOT TO SCALE



1 FIRST FLOOR PLAN
SCALE: 1/4\"/>

NOTE:
THIS DRAWING IS APPROVED ONLY FOR THE SCOPE OF WORK INDICATED ON THE DRAWINGS. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR CONSIDERED AS EITHER BEING APPROVED BY THIS ARCHITECT AND HIS CONSULTANTS OR IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS



JASON PEIST
ARCHITECT, LLC

171 BROAD ST. MATAWAN, NJ 07747
732-379-0743 | INFO@JASONPEIST.COM

CHANGE OF USE- ADD A LEVEL
172-174 MAIN ST
WEST ORANGE, NJ 07052
BLOCK 89, LOT 6
ESSEX COUNTY

REVISIONS:		
#	DESCRIPTION:	DATE:
1	ISSUED FOR PERMITS	4/10/2024

DRAWING TITLE:
FIRST FLOOR
CONSTRUCTION PLAN

ARCHITECTURAL LICENSE #:
NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

Jason Peist

JASON PEIST, AIA - ARCHITECT

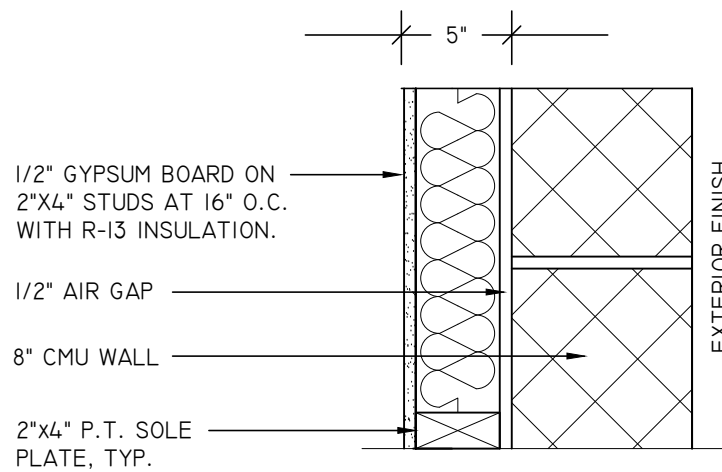
© COPYRIGHT 2024

DRAWINGS, SPECIFICATIONS & OTHER DOCUMENTS, BOTH PAPER COPIES AND IN ELECTRONIC FORM, PREPARED BY JASON PEIST AND CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY FOR THIS PROJECT. THEY MAY NOT BE USED FOR ANY PURPOSES BEYOND THE SCOPE OF THIS CONTRACT WITHOUT WRITTEN PERMISSION FROM JASON PEIST. UNLAWFUL USE OF INSTRUMENTS OF SERVICE SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

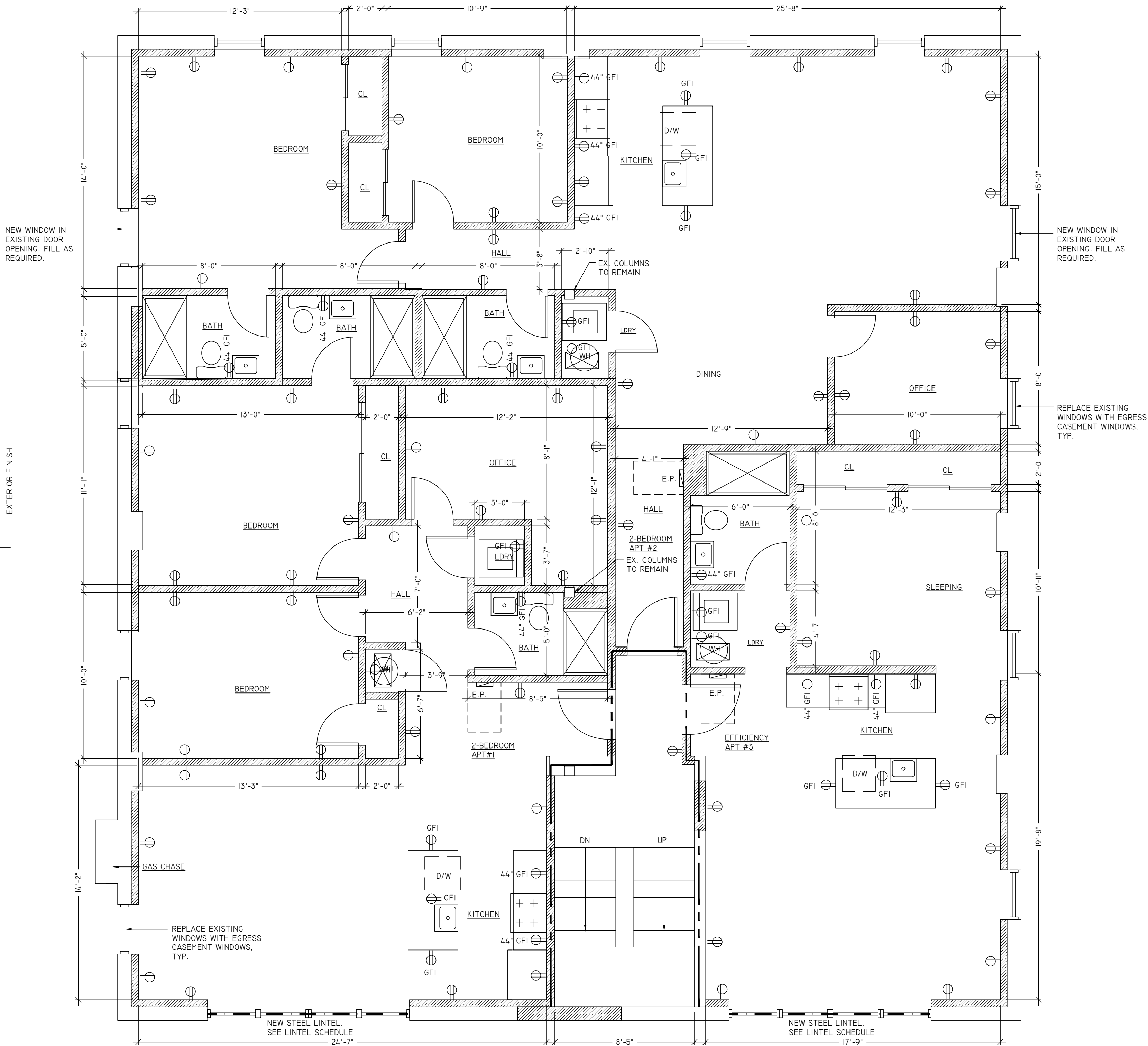
DATE: 4/10/24
SCALE: AS NOTED
DRAWN BY: J.R.P.
JOB NUMBER: 24-010
SHEET: 6 OF 17

DRAWING NUMBER

A-102



4 BLOCK FURRING WALLS (EXTERIOR)

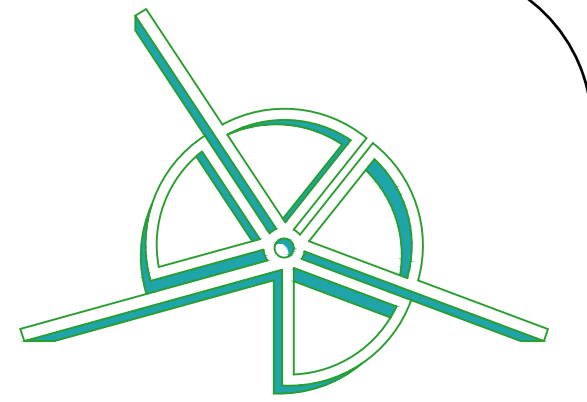


2 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

ALL WINDOWS SHALL HAVE LOW 'E' GLASS, DOUBLE GLAZED. OWNER SHALL CONFIRM STYLE, COLOR AND ACCESSORIES. SUBSTITUTIONS MUST MEET ENERGY CODE REQUIREMENTS.
CONTRACTOR RESPONSIBLE FOR WINDOW COUNT. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
CONTRACTOR SHALL VERIFY ROUGH OPENING DIMENSIONS PRIOR TO FRAMING FOR DOORS AND WINDOWS

1. TEMPERED GLASS TO BE INSTALLED WHERE REQUIRED BY CODE, NOT LIMITED TO:
- 1.1. ANY WINDOW OR SIDELIGHT WITHIN 24 INCHES HORIZONTALLY OF A DOOR MUST BE TEMPERED.
 - 1.2. ANY WINDOW OR SASH THAT IS 9 SQUARE FEET OR MORE AND IS 18 INCHES OR LESS FROM A FLOOR MUST BE TEMPERED.
 - 1.3. ANY WINDOW WITHIN A TUB OR SHOWER AREA THAT IS LESS THAN 60 INCHES FROM THE FLOOR OF THE TUB MUST BE TEMPERED.
 - 1.4. ANY WINDOW ON A STAIRCASE LANDING OR WITHIN 60 INCHES A STAIRCASE TREAD MUST BE TEMPERED.

NOTE:
THIS DRAWING IS APPROVED ONLY FOR THE SCOPE OF WORK INDICATED ON THE DRAWINGS. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR CONSIDERED AS EITHER BEING APPROVED BY THIS ARCHITECT AND HIS CONSULTANTS OR IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS



JASON PEIST
ARCHITECT, LLC

171 BROAD ST. MATAWAN, NJ 07747
732-379-0743 | INFO@JASONPEIST.COM

CHANGE OF USE- ADD A LEVEL
172-174 MAIN ST
WEST ORANGE, NJ 07052
BLOCK 89, LOT 6
ESSEX COUNTY

REVISIONS:		
#	DESCRIPTION:	DATE:
	ISSUED FOR PERMITS	4/10/2024

DRAWING TITLE:
THIRD FLOOR
CONSTRUCTION PLAN

ARCHITECTURAL LICENSE #:
NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

Jason Peist

JASON PEIST, AIA - ARCHITECT

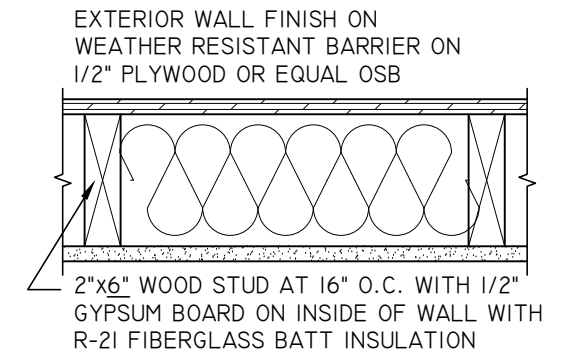
© COPYRIGHT 2024

DRAWINGS, SPECIFICATIONS & OTHER DOCUMENTS, BOTH PAPER COPIES AND IN ELECTRONIC FORM, PREPARED BY JASON PEIST AND CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY FOR THIS PROJECT. THEY MAY NOT BE USED FOR ANY PURPOSES BEYOND THE SCOPE OF THIS CONTRACT WITHOUT WRITTEN PERMISSION FROM JASON PEIST. UNLAWFUL USE OF INSTRUMENTS OF SERVICE SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

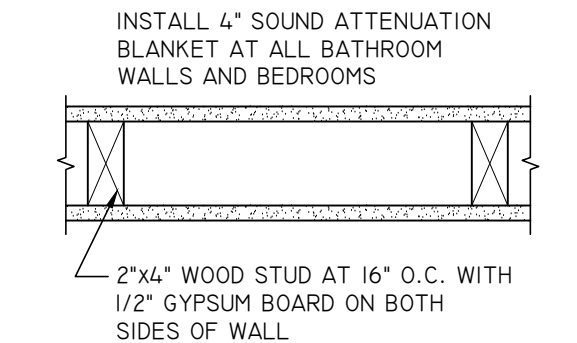
DATE: 4/10/24
SCALE: AS NOTED
DRAWN BY: J.R.P.
JOB NUMBER: 24-010
SHEET: 7 OF 17

DRAWING NUMBER

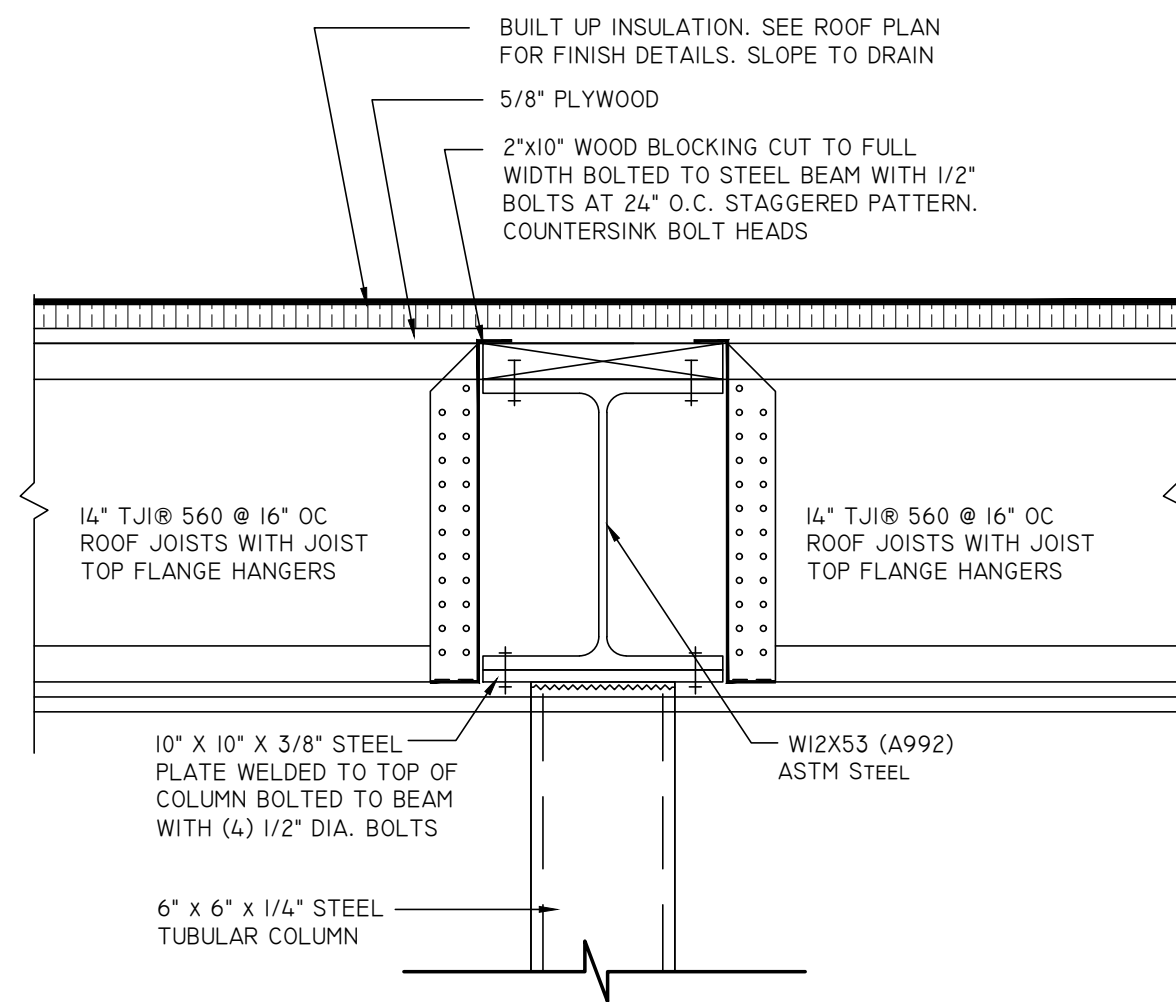
A-103



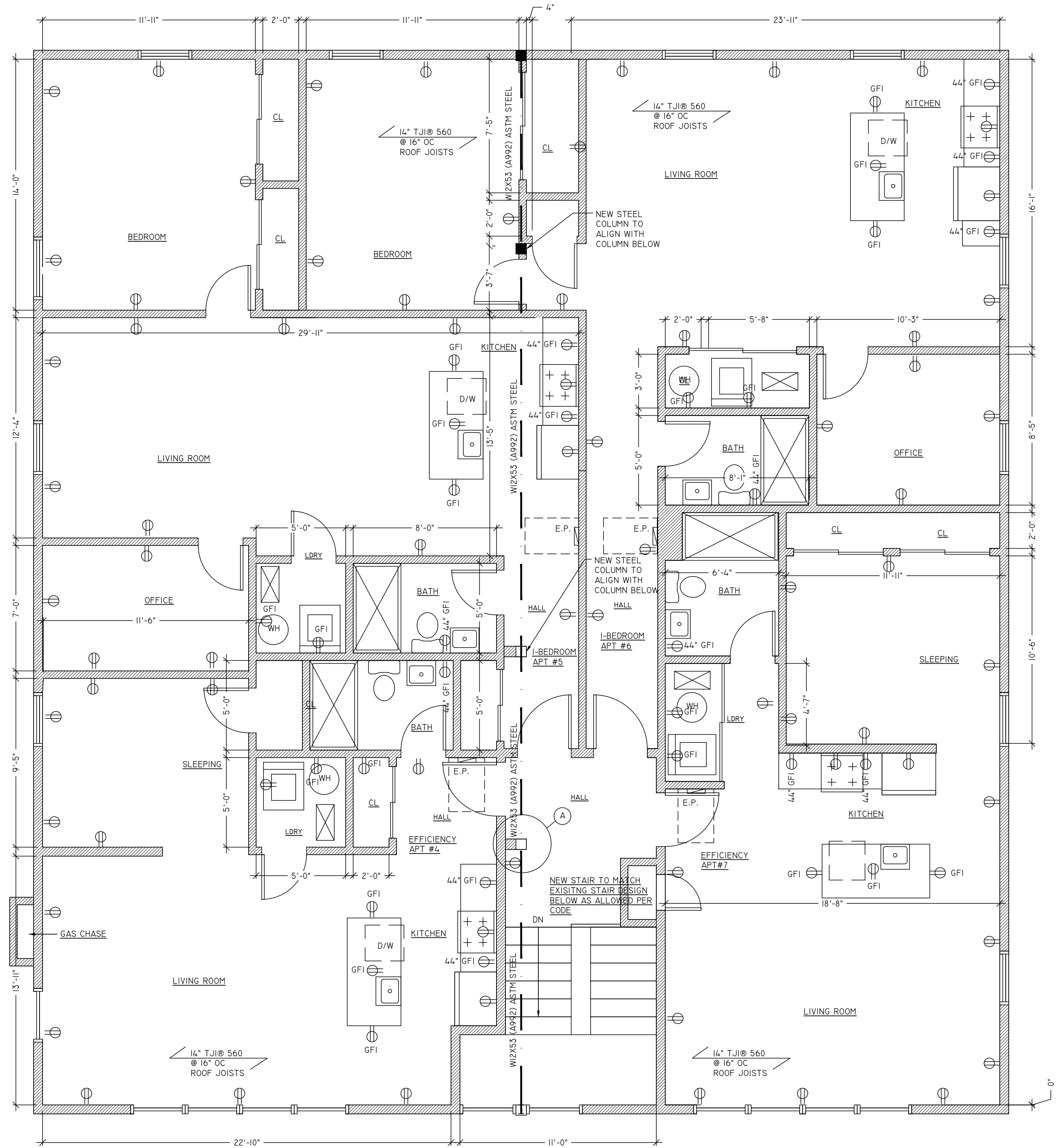
1 EXTERIOR WALL TYPE TYPICAL



2 INTERIOR WALL TYPE



A ROOF BEAM DETAIL
SCALE: 1/2"=1'-0"



3 THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"

STAIR NOTES

- CONCRETE PAN TREAD STEEL STAIR SHALL BE DESIGNED IN ACCORDANCE WITH IBC NJ EDITION OF THE NJ UNIFORM CONSTRUCTION CODE.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION AND BE SEALED BY AN ENGINEER LICENSED TO PRACTICE IN NEW JERSEY.
- GUARD RAIL HEIGHT SHALL BE 42" ABOVE STAIR NOSING AND LANDING.
- HAND RAIL HEIGHT SHALL BE 36" ABOVE STAIR NOSING.
- GUARD RAIL BALUSTER SPACING SHALL NOT ALLOW THE PASSAGE OF A 4" DIA. SPHERE BETWEEN THE BALUSTERS.
- EXTEND HAND RAILS HORIZONTALLY 12" BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.
- STAIR SHALL SUPPORT A UNIFORM LIVE LOAD OF 100 PSF AND A MINIMUM CONCENTRATED LIVE LOAD ON TREADS OF 300 LBS ON 4 SQUARE INCHES.
- HAND RAILS AND GUARD RAILS SHALL SUPPORT 50 LBS PER LINEAR FOOT IN ANY DIRECTION AT THE TOP.
- HAND RAILS AND GUARD RAILS SHALL SUPPORT A SINGLE CONCENTRATED LOAD OF 200 LBS PER LINEAR FOOT IN ANY DIRECTION AT THE TOP.
- PROVIDE A MINIMUM OF 1 1/2" CLEARANCE BETWEEN THE HAND RAIL AND WALL OR OTHER SURFACE.

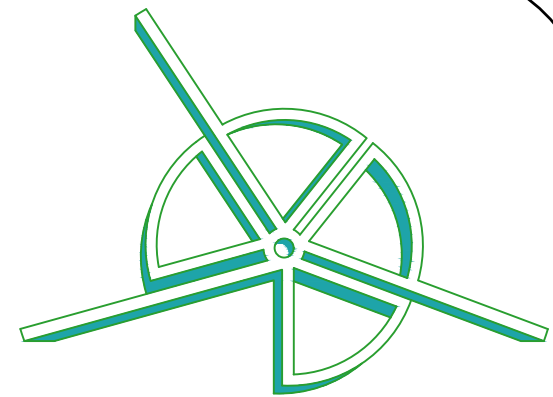
ALL WINDOWS SHALL HAVE LOW 'E' GLASS, DOUBLE GLAZED. OWNER SHALL CONFIRM STYLE, COLOR AND ACCESSORIES. SUBSTITUTIONS MUST MEET ENERGY CODE REQUIREMENTS.

CONTRACTOR RESPONSIBLE FOR WINDOW COUNT. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

CONTRACTOR SHALL VERIFY ROUGH OPENING DIMENSIONS PRIOR TO FRAMING FOR DOORS AND WINDOWS.

- TEMPERED GLASS TO BE INSTALLED WHERE REQUIRED BY CODE, NOT LIMITED TO:
 - ANY WINDOW OR SIDELIGHT WITHIN 24 INCHES HORIZONTALLY OF A DOOR MUST BE TEMPERED.
 - ANY WINDOW OR SASH THAT IS 9 SQUARE FEET OR MORE AND IS 18 INCHES OR LESS FROM A FLOOR MUST BE TEMPERED.
 - ANY WINDOW WITHIN A TUB OR SHOWER AREA THAT IS LESS THAN 60 INCHES FROM THE FLOOR OF THE TUB MUST BE TEMPERED.
 - ANY WINDOW ON A STAIRCASE LANDING OR WITHIN 60 INCHES A STAIRCASE TREAD MUST BE TEMPERED.

NOTE:
THIS DRAWING IS APPROVED ONLY FOR THE SCOPE OF WORK INDICATED ON THE DRAWINGS. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR CONSIDERED AS EITHER BEING APPROVED BY THIS ARCHITECT AND HIS CONSULTANTS OR IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS



JASON PEIST
ARCHITECT, LLC

171 BROAD ST. MATAWAN, NJ 07747
732-379-0743 | INFO@JASONPEIST.COM

CHANGE OF USE- ADD A LEVEL
172-174 MAIN ST
WEST ORANGE, NJ 07052
BLOCK 89, LOT 6
ESSEX COUNTY

REVISIONS:

#	DESCRIPTION:	DATE:
	ISSUED FOR PERMITS	4/10/2024

DRAWING TITLE:

ROOF PLAN

ARCHITECTURAL LICENSE #:
NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

Jason Peist

JASON PEIST, AIA - ARCHITECT

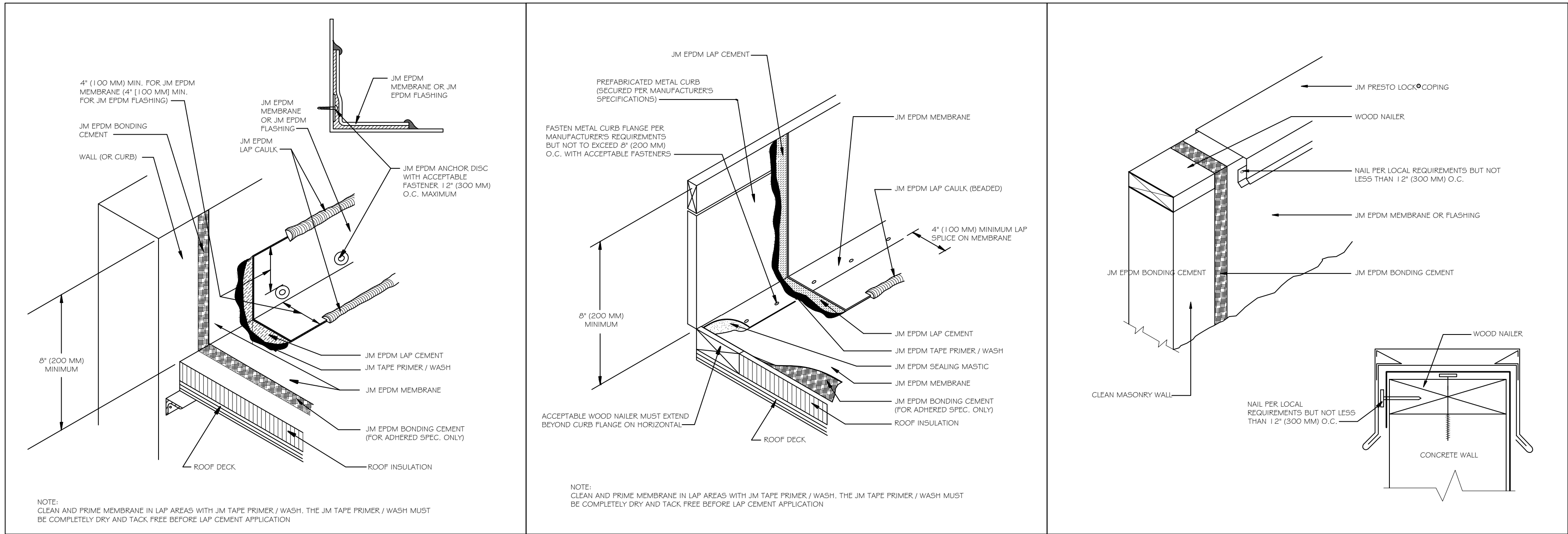
© COPYRIGHT 2024

DRAWINGS, SPECIFICATIONS & OTHER DOCUMENTS, BOTH PAPER COPIES AND IN ELECTRONIC FORM, PREPARED BY JASON PEIST AND CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY FOR THIS PROJECT. THEY MAY NOT BE USED FOR ANY PURPOSES BEYOND THE SCOPE OF THIS CONTRACT WITHOUT WRITTEN PERMISSION FROM JASON PEIST. UNLAWFUL USE OF INSTRUMENTS OF SERVICE SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

DATE: 4/10/24
SCALE: AS NOTED
DRAWN BY: J.R.P.
JOB NUMBER: 24-010
SHEET: 8 OF 17

DRAWING NUMBER

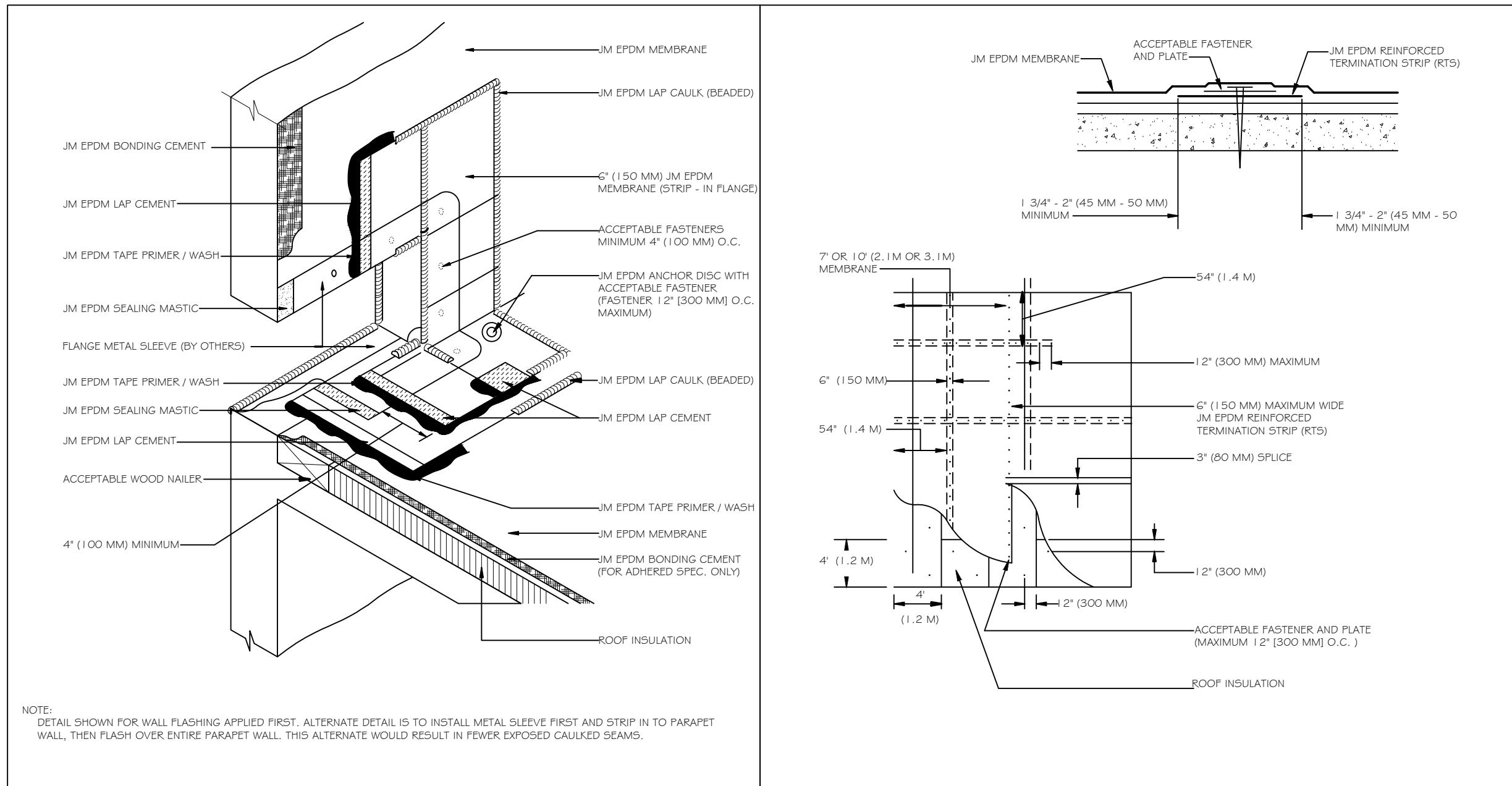
A-104



1 BASE FLASHING WITH JM EPDM MEMBRANE AS FLASHING AND ANCHOR DISCS TO WALL - ADHESIVE

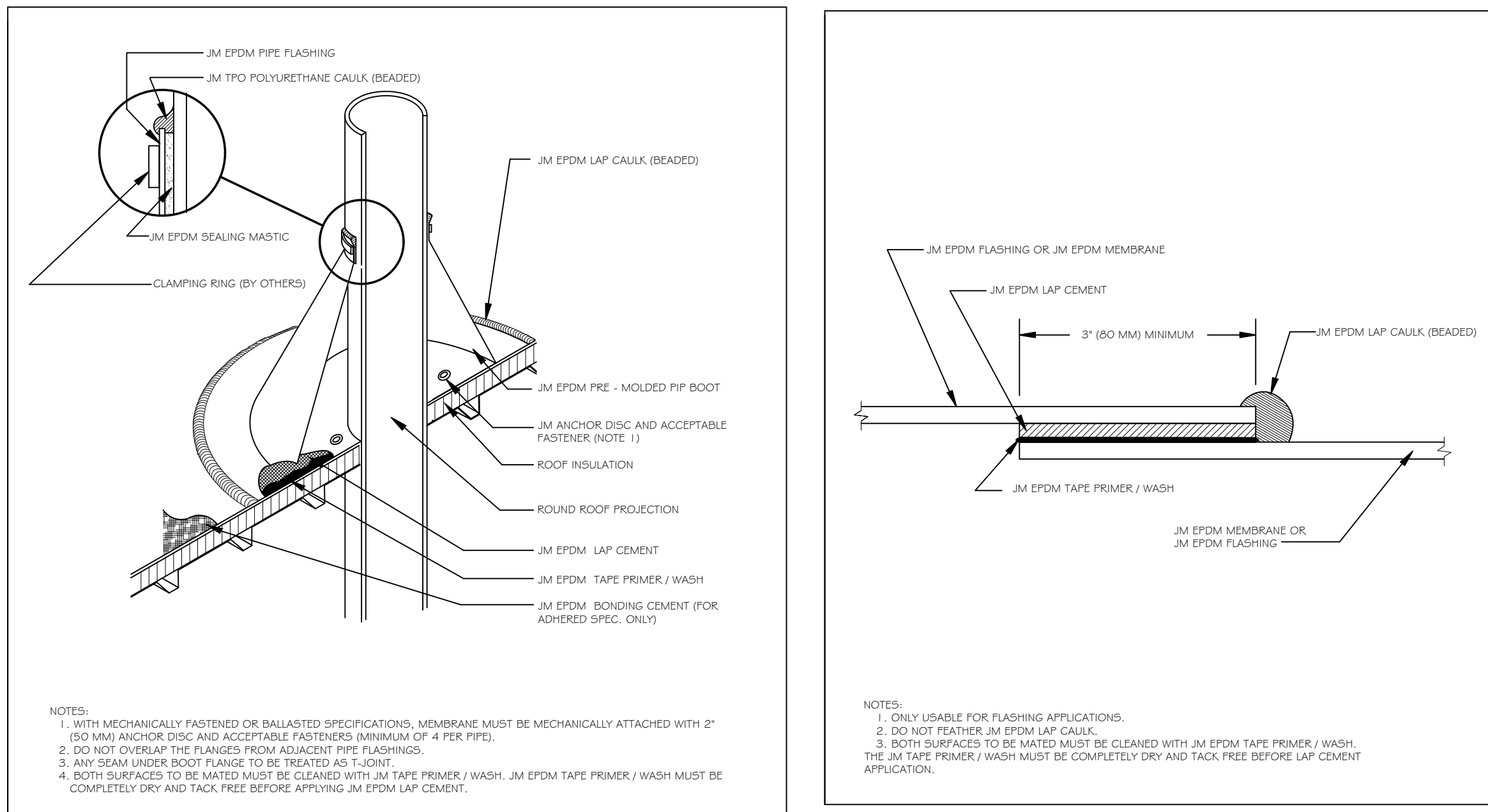
2 BASE FLASHING WITH PREFABRICATED METAL CURB FLASHING

3 WALL CAP FLASHING WITH JM PRESTO LOCK® COPING



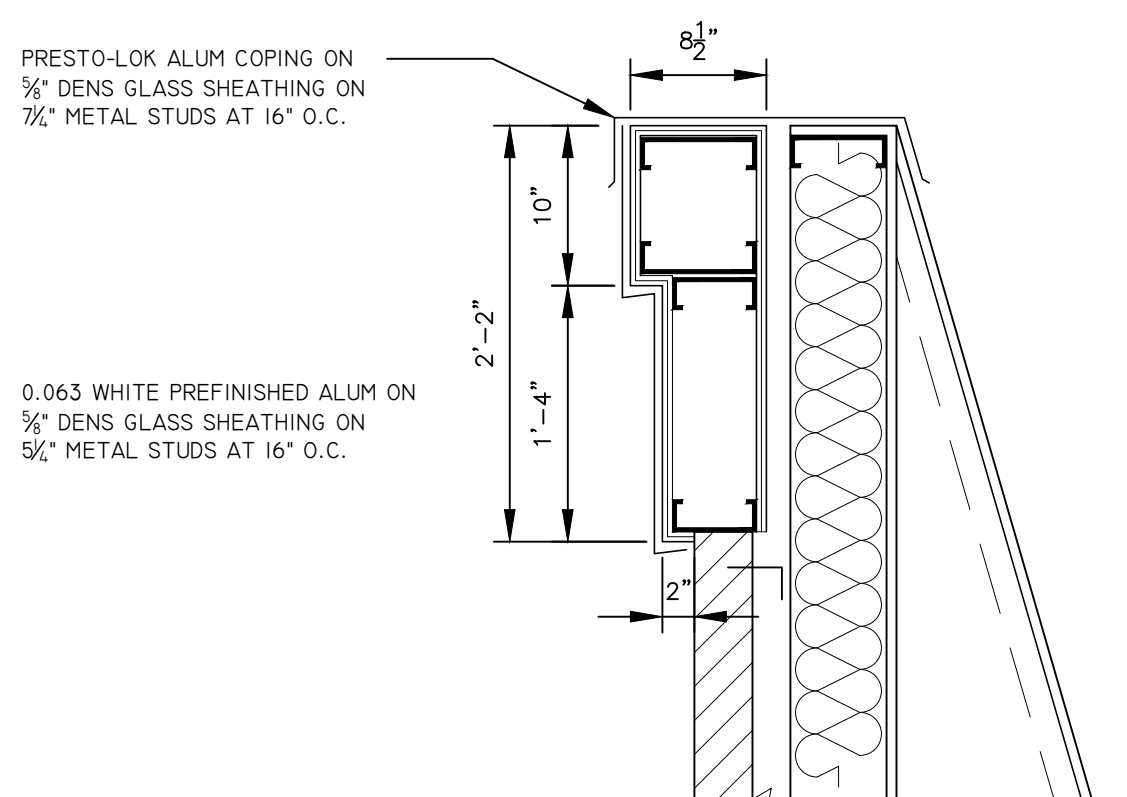
4 PRIMARY DRAIN SCUPPER WITH THROUGH WALL METAL SLEEVE

5 PERIMETER ATTACHMENT FOR MECHANICALLY FASTENED SYSTEMS WITH JM EPDM REINFORCED TERMINATION STRIP (RTS)



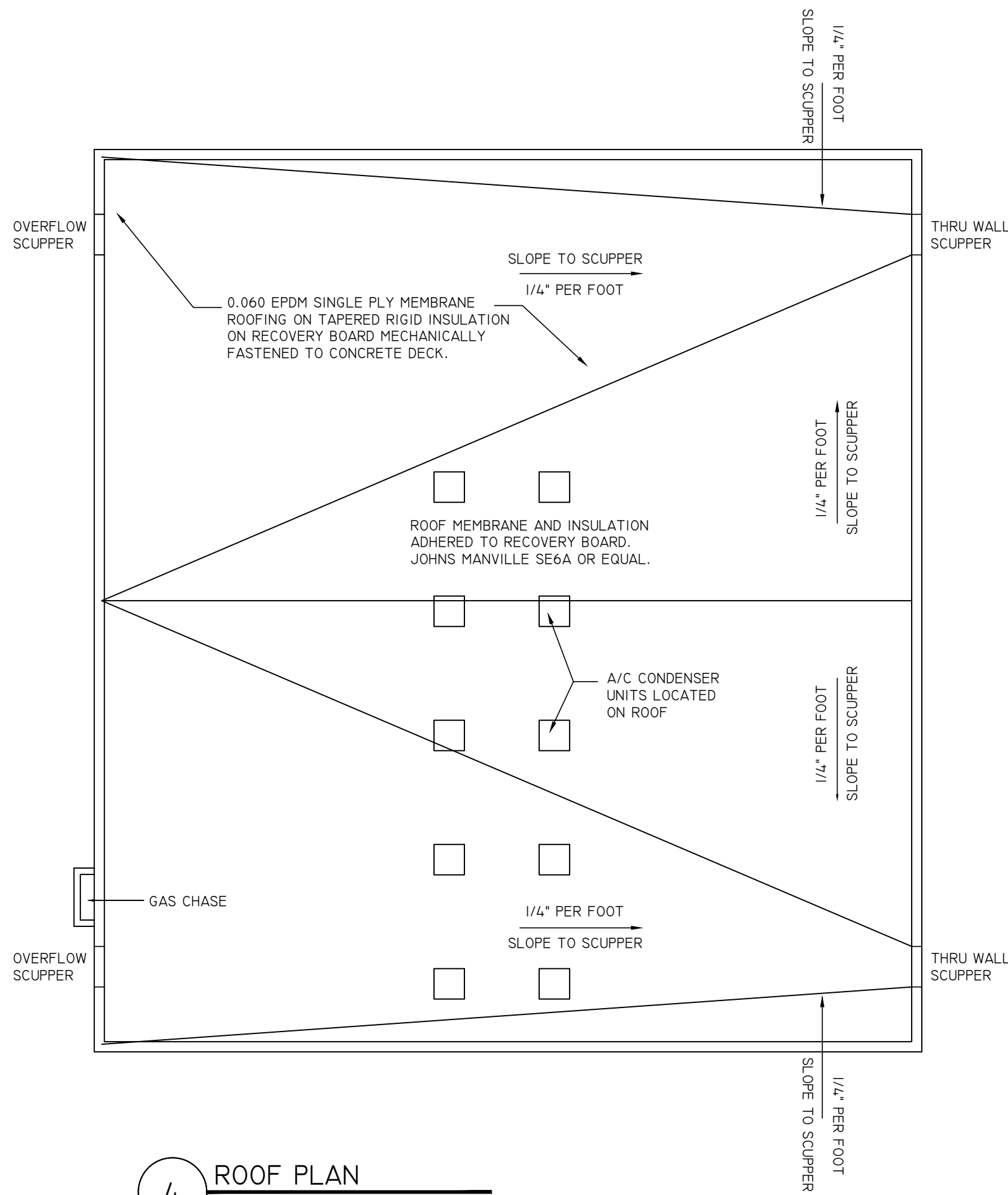
6 JM EPDM PRE-MOLDED PIPE BOOT

7 FLASHING LAP SPLICE



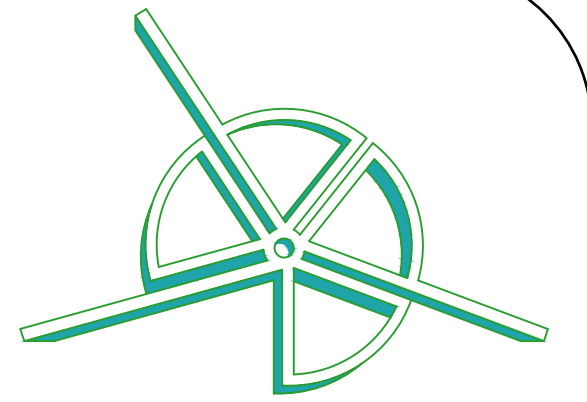
A COPING DETAIL
SCALE: 1"=1'-0"

NOTE:
THIS DRAWING IS APPROVED ONLY FOR THE SCOPE OF WORK INDICATED ON THE DRAWINGS. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR CONSIDERED AS EITHER BEING APPROVED BY THIS ARCHITECT AND HIS CONSULTANTS OR IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS



4 ROOF PLAN
SCALE: 1/8"=1'-0"

NOTE:
EPDM SINGLE PLY MEMBRANE ROOFING BY JOHNS MANVILLE, OR EQUAL.
CONTRACTOR SHALL PROVIDE A COMPLETE ROOFING SYSTEM MEETING ALL WARRANTY REQUIREMENTS OF THE ROOFING MANUFACTURER.
MANUFACTURER'S APPROVED DETAILS SHALL BE USED FOR EACH ROOFING CONDITION.
CONTRACTOR SHALL SUBMIT ROOFING SPECIFICATIONS AND DETAILS TO ARCHITECT FOR REVIEW AND COMMENT BEFORE ROOFING CAN BEGIN.



JASON PEIST
ARCHITECT, LLC

171 BROAD ST. MATAWAN, NJ 07747
732-379-0743 | INFO@JASONPEIST.COM

CHANGE OF USE- ADD A LEVEL
172-174 MAIN ST
WEST ORANGE, NJ 07052
BLOCK 89, LOT 6
ESSEX COUNTY

REVISIONS:		
#	DESCRIPTION:	DATE:
1	ISSUED FOR PERMITS	4/10/2024

DRAWING TITLE:
FIRST FLOOR
REFLECTED CEILING PLAN

ARCHITECTURAL LICENSE #:
NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

Jason Peist

JASON PEIST, AIA - ARCHITECT

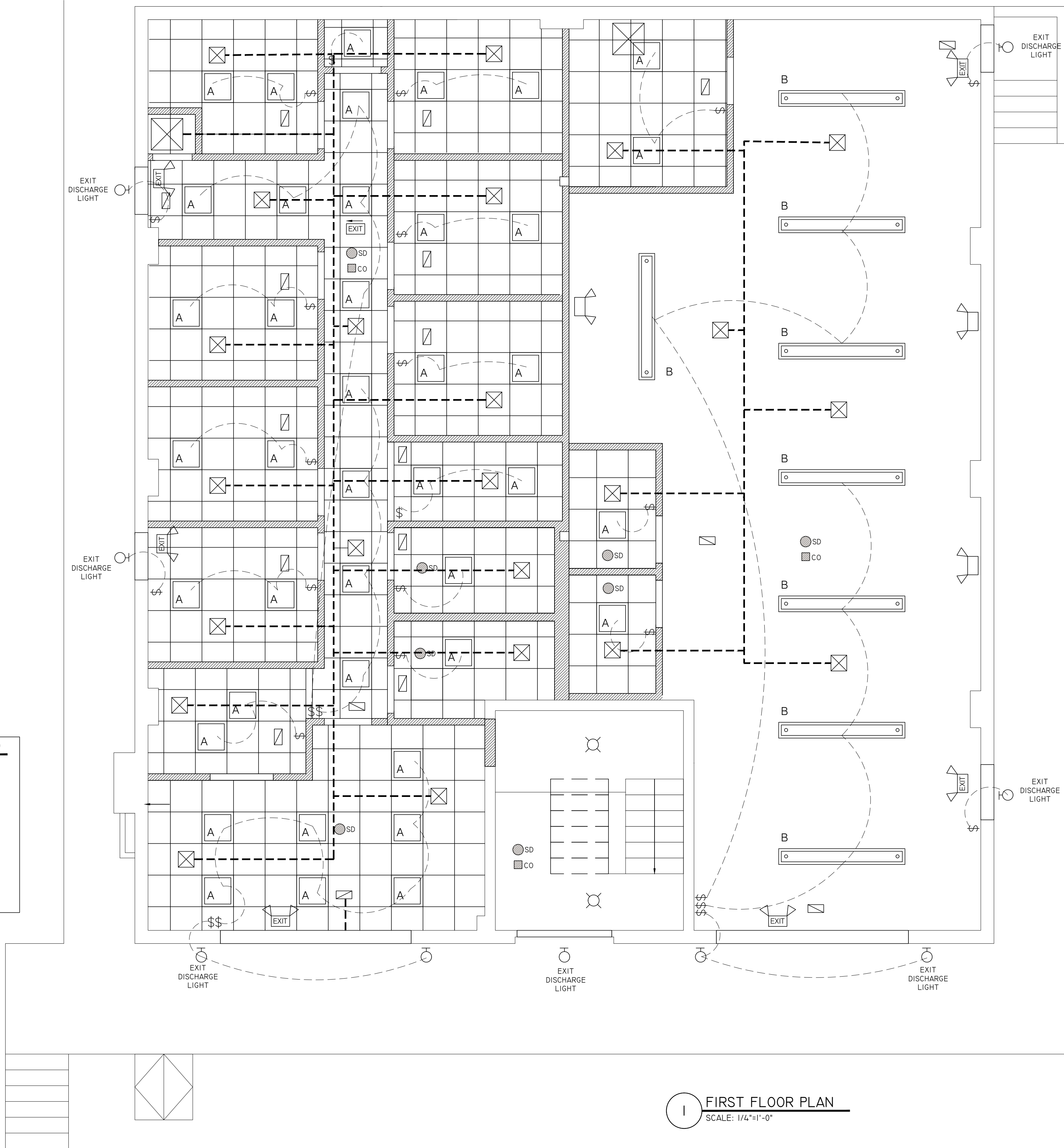
© COPYRIGHT 2024
DRAWINGS, SPECIFICATIONS & OTHER DOCUMENTS,
BOTH PAPER COPIES AND IN ELECTRONIC FORM,
PREPARED BY JASON PEIST AND CONSULTANTS ARE
INSTRUMENTS OF SERVICE FOR USE SOLELY FOR THIS
PROJECT. THEY MAY NOT BE USED FOR ANY
PURPOSES BEYOND THE SCOPE OF THIS CONTRACT
WITHOUT WRITTEN PERMISSION FROM JASON PEIST.
UNLAWFUL USE OF INSTRUMENTS OF SERVICE SHALL
BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

DATE: 4/10/24 JOB NUMBER: 24-010
SCALE: AS NOTED SHEET: 9 OF 17
DRAWN BY: J.R.P.

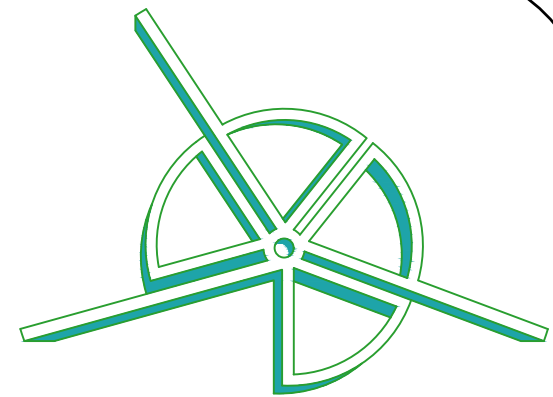
DRAWING NUMBER

A-201

FIRE DETECTION & NOTIFICATION	REFLECTED CEILING LEGEND
NEW SMOKE DETECTOR	LIGHT SWITCH
CARBON MONOXIDE DETECTOR	LIGHT SWITCH 3 WAY
EXIT SIGN W/ EMERGENCY EGRESS LIGHTS	CEILING MOUNTED LIGHT FIXTURE
EMERGENCY PATH OF EGRESS LIGHTS	RETURN
EXIT SIGN WITH DIRECTIONAL ARROW	SUPPLY
	SUSPENDED CEILING GRID AND ACOUSTICAL CEILING TILE



NOTE:
THIS DRAWING IS APPROVED ONLY FOR THE SCOPE OF WORK
INDICATED ON THE DRAWINGS. ALL OTHER MATTERS SHOWN
ARE NOT TO BE RELIED UPON OR CONSIDERED AS EITHER BEING
APPROVED BY THIS ARCHITECT AND HIS CONSULTANTS OR IN
ACCORDANCE WITH APPLICABLE CODES AND STANDARDS



JASON PEIST
ARCHITECT, LLC

171 BROAD ST. MATAWAN, NJ 07747
732-379-0743 | INFO@JASONPEIST.COM

CHANGE OF USE- ADD A LEVEL
172-174 MAIN ST
WEST ORANGE, NJ 07052
BLOCK 89, LOT 6
ESSEX COUNTY

REVISIONS:		
#	DESCRIPTION:	DATE:
1	ISSUED FOR PERMITS	4/10/2024

DRAWING TITLE:
FIRST FLOOR
REFLECTED CEILING PLAN

ARCHITECTURAL LICENSE #:
NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

JASON PEIST, AIA - ARCHITECT

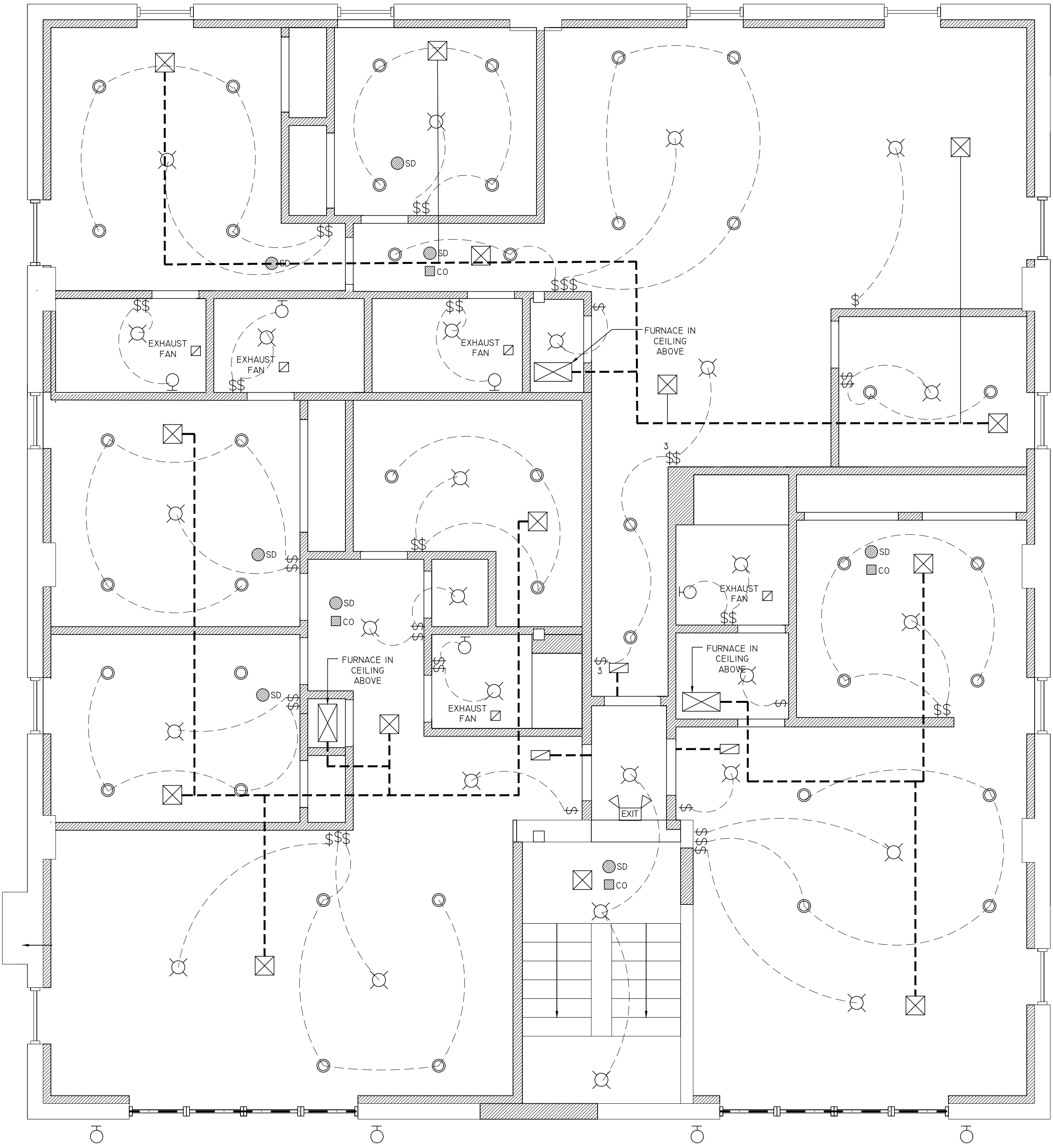
© COPYRIGHT 2024

DRAWINGS, SPECIFICATIONS & OTHER DOCUMENTS, BOTH PAPER COPIES AND IN ELECTRONIC FORM, PREPARED BY JASON PEIST AND CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY FOR THIS PROJECT. THEY MAY NOT BE USED FOR ANY PURPOSES BEYOND THE SCOPE OF THIS CONTRACT WITHOUT WRITTEN PERMISSION FROM JASON PEIST. UNLAWFUL USE OF INSTRUMENTS OF SERVICE SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.












DATE: 4/10/24
SCALE: AS NOTED
DRAWN BY: J.R.P.
JOB NUMBER: 24-010
SHEET: 10 OF 17

DRAWING NUMBER

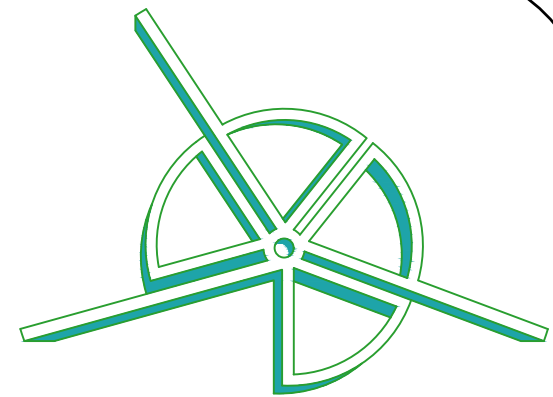
A-202



2 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

FIRE DETECTION & NOTIFICATION		REFLECTED CEILING LEGEND	
	NEW SMOKE DETECTOR		LIGHT SWITCH
	CARBON MONOXIDE DETECTOR		LIGHT SWITCH 3 WAY
	EXIT SIGN W/ EMERGENCY EGRESS LIGHTS		CEILING MOUNTED LIGHT FIXTURE
	EMERGENCY PATH OF EGRESS LIGHTS		RETURN
	EXIT SIGN WITH DIRECTIONAL ARROW		SUPPLY
			SUSPENDED CEILING GRID AND ACOUSTICAL CEILING TILE

NOTE:
THIS DRAWING IS APPROVED ONLY FOR THE SCOPE OF WORK INDICATED ON THE DRAWINGS. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR CONSIDERED AS EITHER BEING APPROVED BY THIS ARCHITECT AND HIS CONSULTANTS OR IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS



JASON PEIST
ARCHITECT, LLC

171 BROAD ST. MATAWAN, NJ 07747
732-379-0743 | INFO@JASONPEIST.COM

CHANGE OF USE- ADD A LEVEL
172-174 MAIN ST
WEST ORANGE, NJ 07052
BLOCK 89, LOT 6
ESSEX COUNTY

REVISIONS:		
#	DESCRIPTION:	DATE:
1	ISSUED FOR PERMITS	4/10/2024

DRAWING TITLE:
THIRD FLOOR
REFLECTED CEILING PLAN

ARCHITECTURAL LICENSE #:
NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

JASON PEIST, AIA - ARCHITECT

© COPYRIGHT 2024

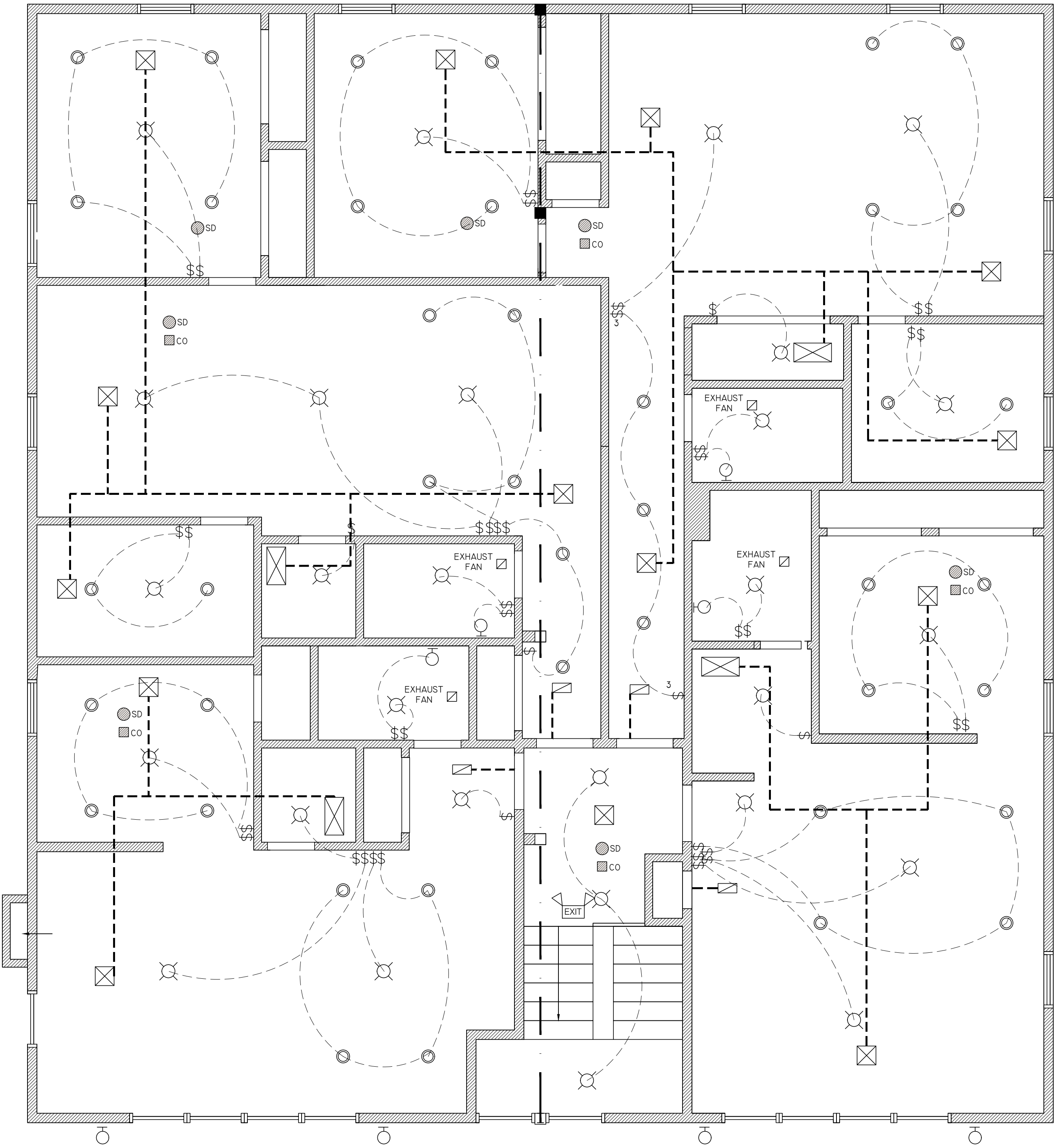
DRAWINGS, SPECIFICATIONS & OTHER DOCUMENTS, BOTH PAPER COPIES AND IN ELECTRONIC FORM, PREPARED BY JASON PEIST AND CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY FOR THIS PROJECT. THEY MAY NOT BE USED FOR ANY PURPOSES BEYOND THE SCOPE OF THIS CONTRACT WITHOUT WRITTEN PERMISSION FROM JASON PEIST. UNLAWFUL USE OF INSTRUMENTS OF SERVICE SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

DATE: 4/10/24
SCALE: AS NOTED
DRAWN BY: J.R.P.
JOB NUMBER: 24-010
SHEET: 11 OF 17

DRAWING NUMBER

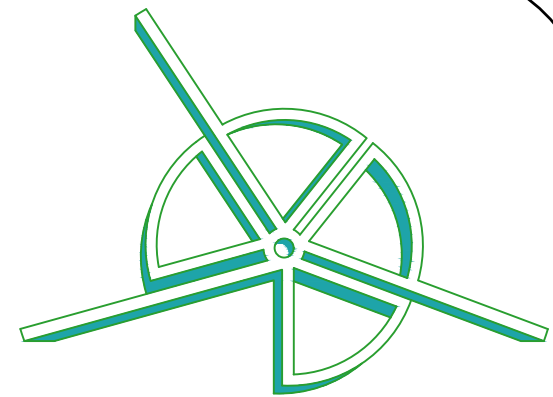
A-203

FIRE DETECTION & NOTIFICATION		REFLECTED CEILING LEGEND	
	NEW SMOKE DETECTOR	\$	LIGHT SWITCH
	CARBON MONOXIDE DETECTOR	\$3	LIGHT SWITCH 3 WAY
	EXIT SIGN W/ EMERGENCY EGRESS LIGHTS		CEILING MOUNTED LIGHT FIXTURE
	EMERGENCY PATH OF EGRESS LIGHTS		RETURN
	EXIT SIGN WITH DIRECTIONAL ARROW		SUPPLY
			SUSPENDED CEILING GRID AND ACOUSTICAL CEILING TILE



3 THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE:
THIS DRAWING IS APPROVED ONLY FOR THE SCOPE OF WORK INDICATED ON THE DRAWINGS. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR CONSIDERED AS EITHER BEING APPROVED BY THIS ARCHITECT AND HIS CONSULTANTS OR IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS



JASON PEIST
ARCHITECT, LLC

171 BROAD ST. MATAWAN, NJ 07747
732-379-0743 | INFO@JASONPEIST.COM

CHANGE OF USE- ADD A LEVEL
172-174 MAIN ST
WEST ORANGE, NJ 07052
BLOCK 89, LOT 6
ESSEX COUNTY

REVISIONS:		
#	DESCRIPTION:	DATE:
1	ISSUED FOR PERMITS	4/10/2024

DRAWING TITLE:
FRONT AND REAR ELEVATION

ARCHITECTURAL LICENSE #:
NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

Jason Peist

JASON PEIST, AIA - ARCHITECT

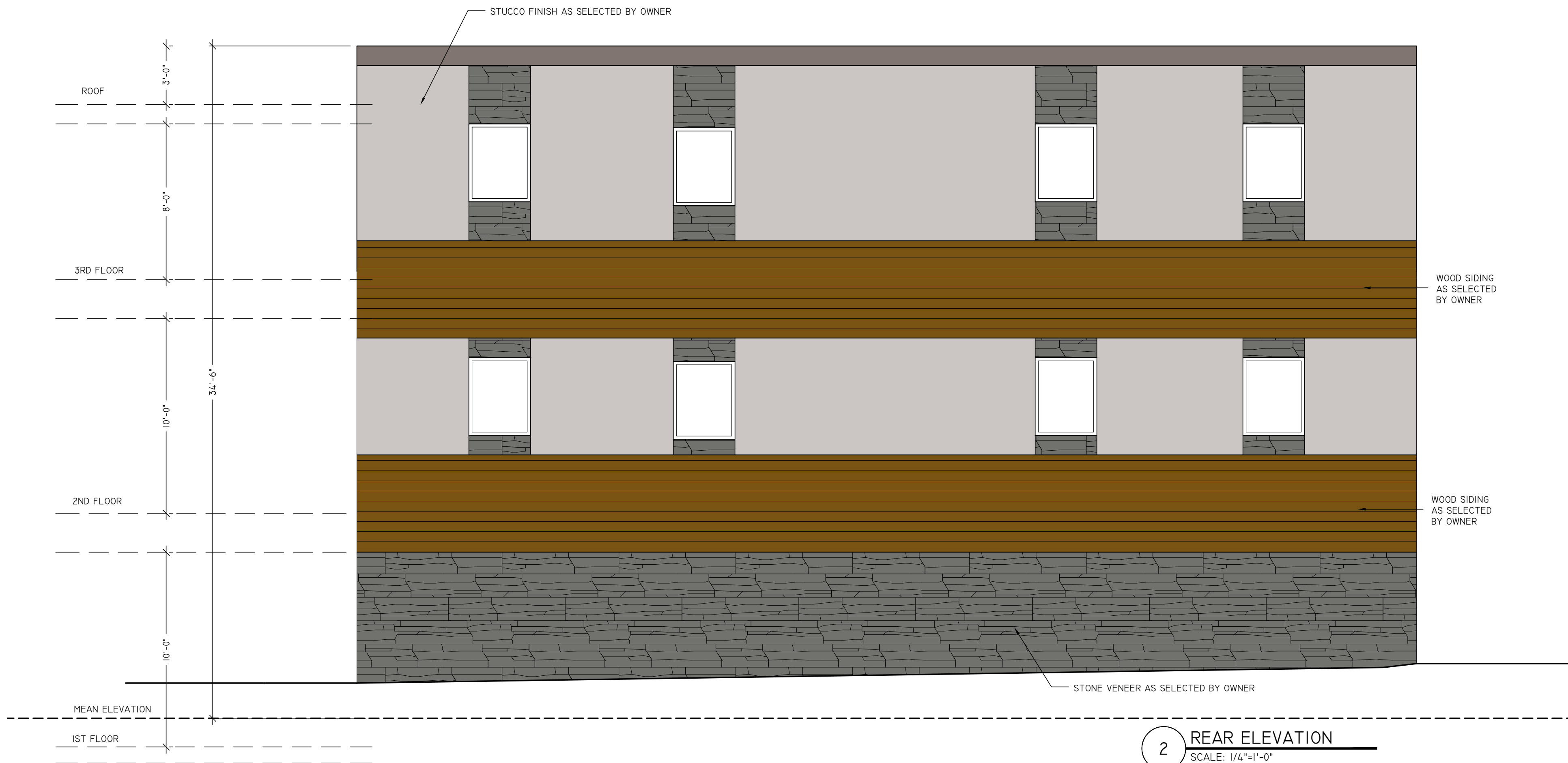
© COPYRIGHT 2024
DRAWINGS, SPECIFICATIONS & OTHER DOCUMENTS,
BOTH PAPER COPIES AND IN ELECTRONIC FORM,
PREPARED BY JASON PEIST AND CONSULTANTS ARE
INSTRUMENTS OF SERVICE FOR USE SOLELY FOR THIS
PROJECT. THEY MAY NOT BE USED FOR ANY
PURPOSES BEYOND THE SCOPE OF THIS CONTRACT
WITHOUT WRITTEN PERMISSION FROM JASON PEIST.
UNLAWFUL USE OF INSTRUMENTS OF SERVICE SHALL
BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

DATE: 4/10/24
SCALE: AS NOTED
DRAWN BY: J.R.P.
JOB NUMBER: 24-010
SHEET: 12 OF 17

DRAWING NUMBER
A-301

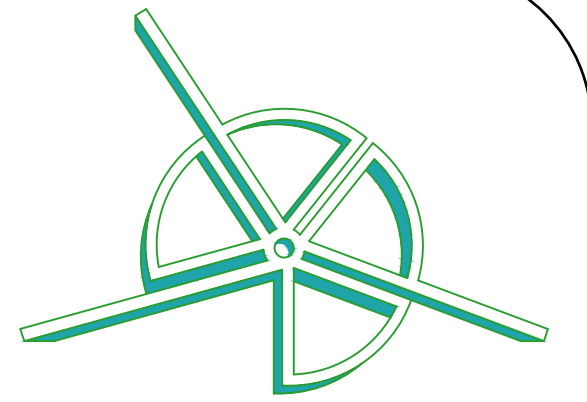


1 FRONT ELEVATION
SCALE: 1/4"=1'-0"



2 REAR ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
THIS DRAWING IS APPROVED ONLY FOR THE SCOPE OF WORK
INDICATED ON THE DRAWINGS. ALL OTHER MATTERS SHOWN
ARE NOT TO BE RELIED UPON OR CONSIDERED AS EITHER BEING
APPROVED BY THIS ARCHITECT AND HIS CONSULTANTS OR IN
ACCORDANCE WITH APPLICABLE CODES AND STANDARDS



JASON PEIST
ARCHITECT, LLC

171 BROAD ST. MATAWAN, NJ 07747
732-379-0743 | INFO@JASONPEIST.COM

CHANGE OF USE- ADD A LEVEL
172-174 MAIN ST
WEST ORANGE, NJ 07052
BLOCK 89, LOT 6
ESSEX COUNTY

REVISIONS:		
#	DESCRIPTION:	DATE:
1	ISSUED FOR PERMITS	4/10/2024

DRAWING TITLE:

SIDE ELEVATIONS

ARCHITECTURAL LICENSE #:
NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

Jason Peist

JASON PEIST, AIA - ARCHITECT

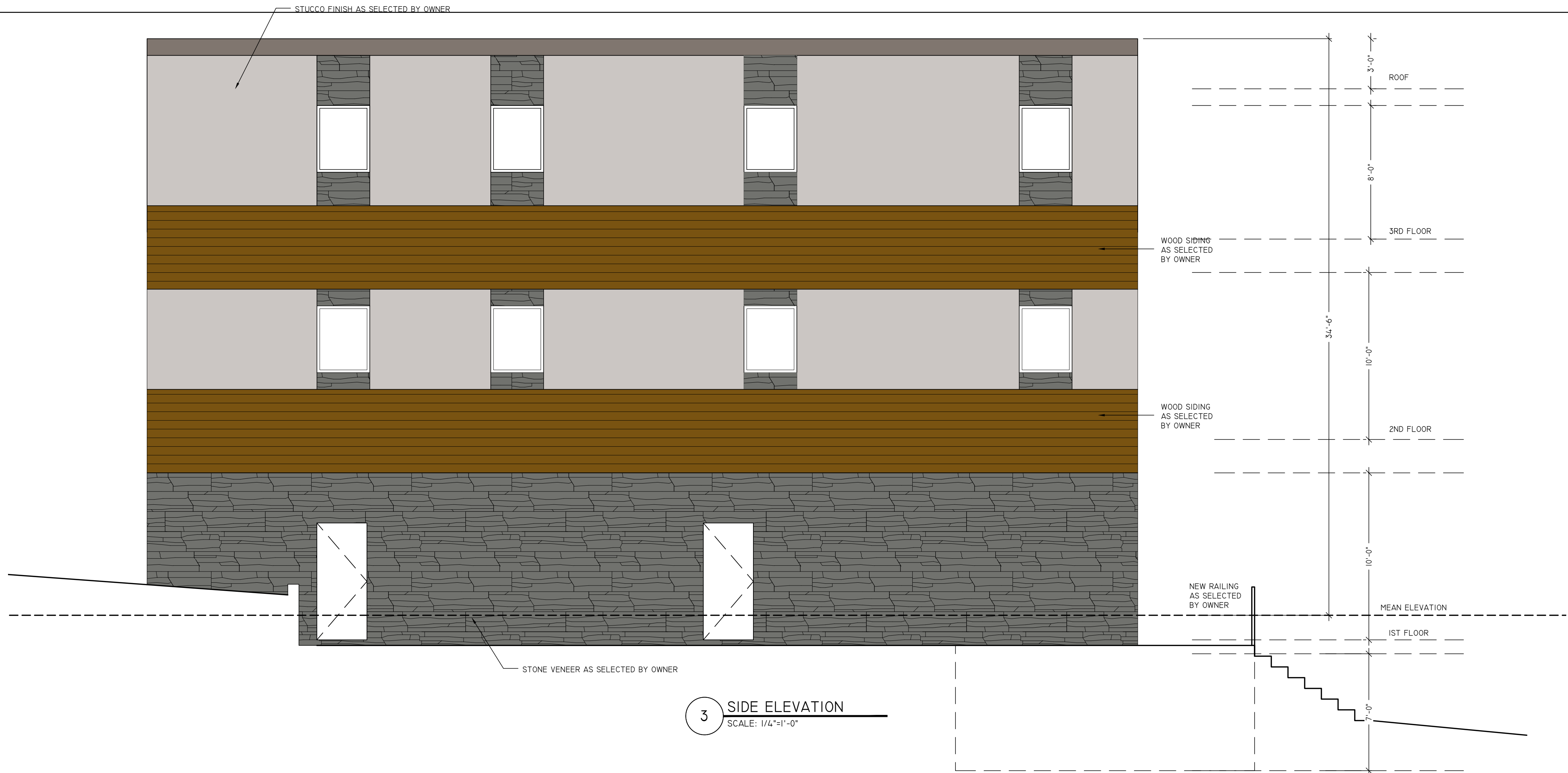
© COPYRIGHT 2024

DRAWINGS, SPECIFICATIONS & OTHER DOCUMENTS, BOTH PAPER COPIES AND IN ELECTRONIC FORM, PREPARED BY JASON PEIST AND CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY FOR THIS PROJECT. THEY MAY NOT BE USED FOR ANY PURPOSES BEYOND THE SCOPE OF THIS CONTRACT WITHOUT WRITTEN PERMISSION FROM JASON PEIST. UNLAWFUL USE OF INSTRUMENTS OF SERVICE SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

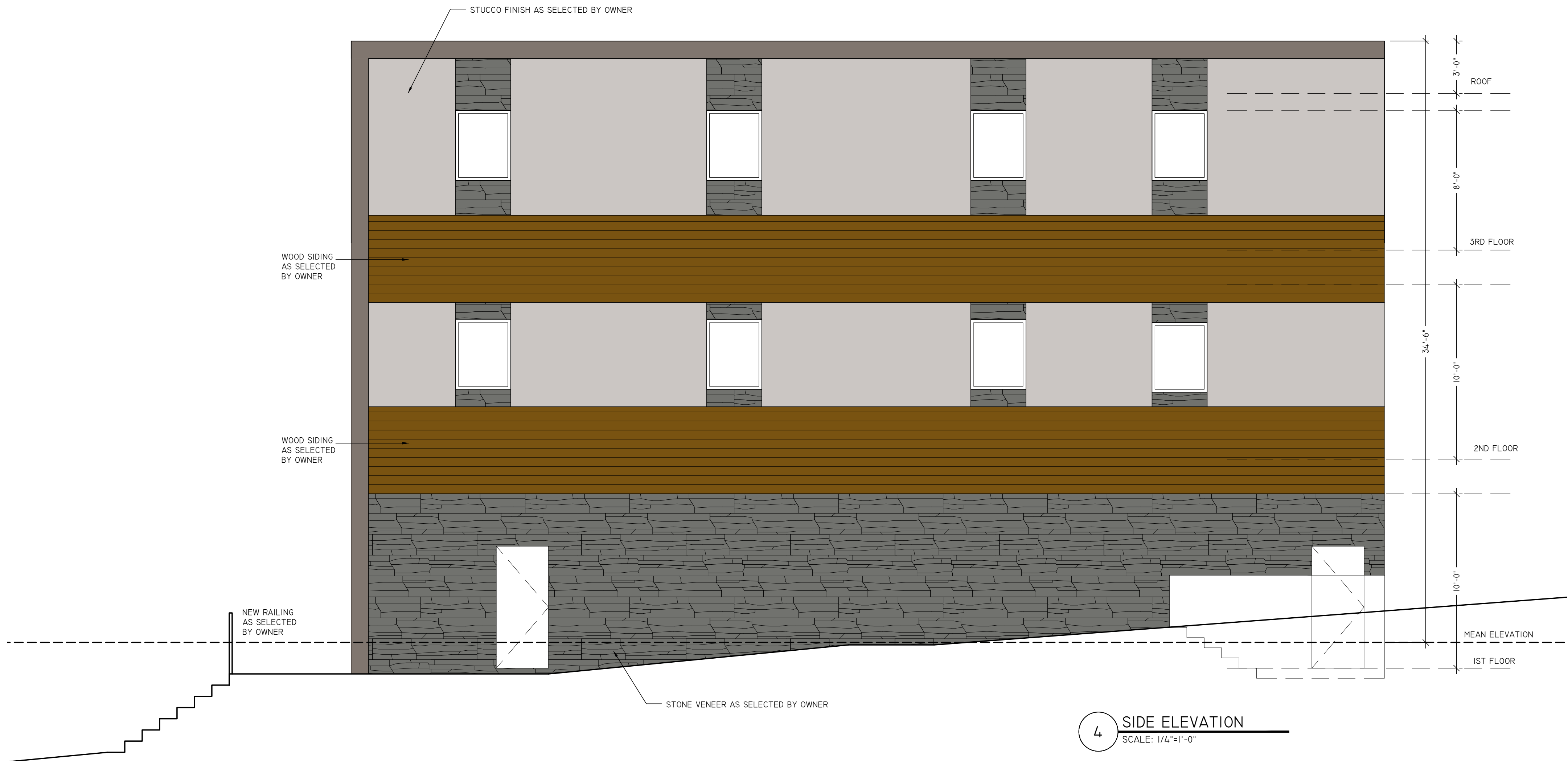
DATE: 4/10/24
SCALE: AS NOTED
DRAWN BY: J.R.P.
JOB NUMBER: 24-010
SHEET: 13 OF 17

DRAWING NUMBER

A-302



3 SIDE ELEVATION
SCALE: 1/4"=1'-0"



4 SIDE ELEVATION
SCALE: 1/4"=1'-0"

PORTLAND CEMENT STUCCO NOTES

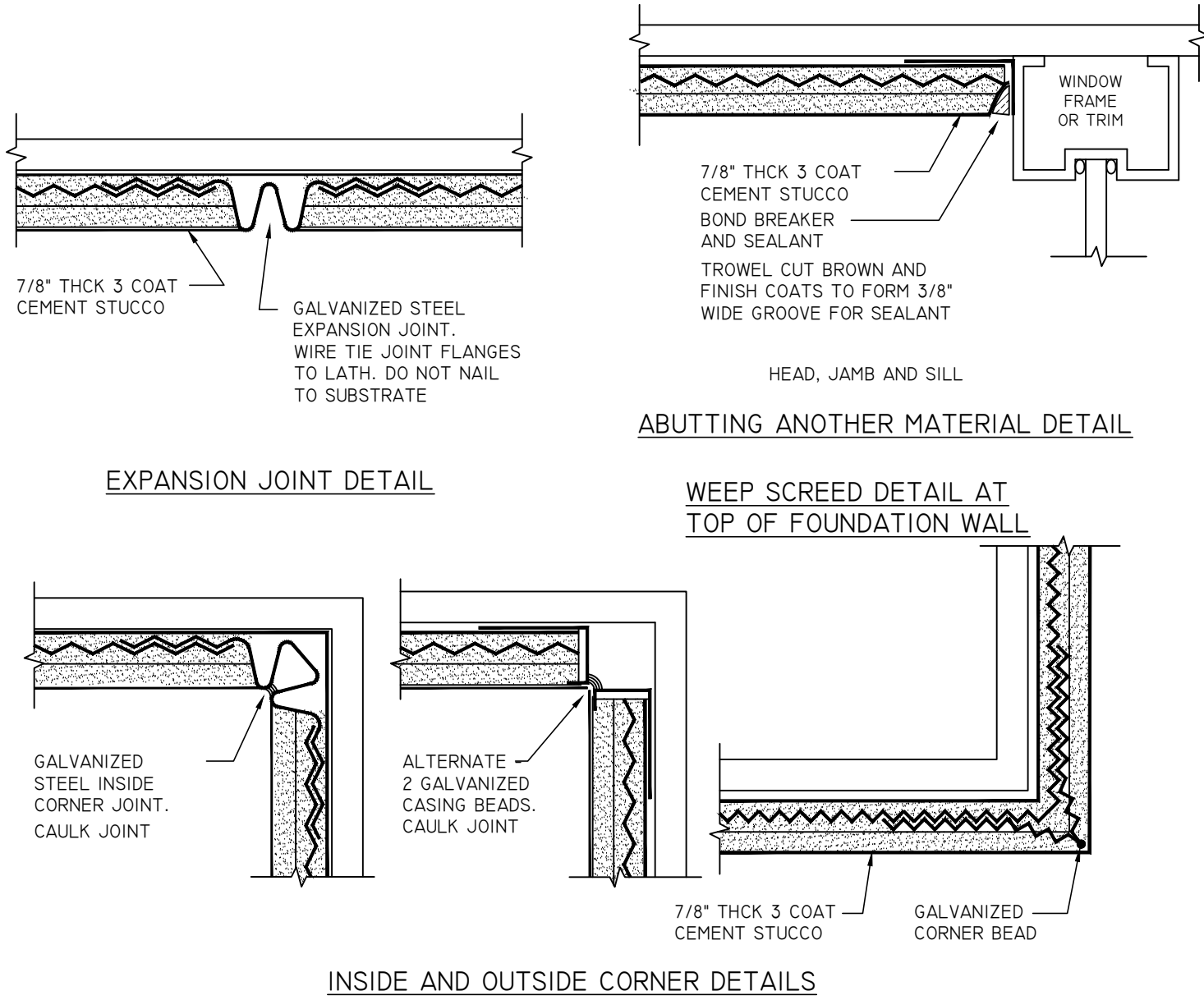
STUCCO IS A 3 COAT SYSTEM CONSISTING OF:
1/8" FINISH COAT ON
3/8" SCRATCH COAT ON
3/8" BROWN COAT ON
GALVANIZED EXPANDED METAL LATH ON
WATER RESISTIVE BARRIER ON
7/8" GALVANIZED 16 GAGE METAL FURRING

INSTALLATION SHALL COMPLY WITH:
ASTM C 926-06 SPECIFICATION FOR
APPLICATION OF PORTLAND CEMENT-BASED
PLASTER
ASTM C 1063-08 STANDARD SPECIFICATION
FOR INSTALLATION OF LATHING AND FURRING
TO RECEIVE INTERIOR AND EXTERIOR
PORTLAND CEMENT-BASED PLASTER

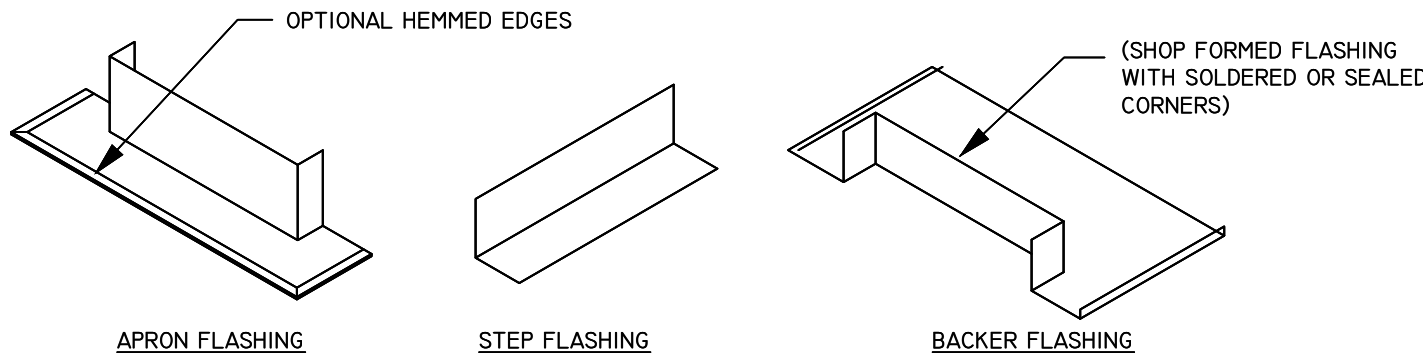
PORTLAND CEMENT SHALL CONTAIN FIBER
CONTENT.
STUCCO COLOR SHALL BE SELECTED BY
ARCHITECT FROM FULL RANGE OF
MANUFACTURER'S COLORS.

CONTROL JOINTS SHALL NOT EXCEED 18 FT
IN EITHER DIRECTION OR A LENGTH TO
WIDTH RATIO OF 2.5 TO 1 IN ANY SINGLE
STUCCO PANEL.

APPROVED PVC ACCESSORIES MAY BE
SUBSTITUTED FOR GALVANIZED STEEL
ACCESSORIES UPON REVIEW BY ARCHITECT.
MATCH EXISTING STUCCO FINISH TEXTURE
AND COLOR.



- NOTES:
- FLASHING DIMENSIONS WILL VARY ACCORDING TO LOCAL WEATHER CONDITIONS, SIZE, LOCATION, SLOPE OF ROOF, AND TRIBUTARY WATER AREA.
 - A SADDLE FLASHING WILL BE ALLOWED FOR PENETRATIONS LESS THAN 30" IN WIDTH. EXTEND A MINIMUM OF 6" OR TO TOP OF CURB AND 14" UP ROOF SLOPE.
 - A CRICKET FLASHING IS RECOMMENDED FOR PENETRATIONS EQUAL TO OR GREATER THAN 30" IN WIDTH TO PROMOTE POSITIVE RUNOFF.
 - ONE LAYER OF NO. 30 ASPHALT-SATURATED FELT COMPLYING WITH ASTM D-226 TYPE II (ASTM D4869 TYPE IV), OR APPROVED EQUAL AS A MINIMUM UNDERLAYMENT ON ALL TILE ROOF APPLICATIONS. OTHER UNDERLAYMENTS AS APPROVED BY LOCAL BUILDING OFFICIALS WILL BE ALLOWED.
 - DIMENSIONS SHOWN ARE MINIMUMS AND ARE INTENDED TO BE APPROXIMATE TO ALLOW FOR REASONABLE TOLERANCES DUE TO FIELD CONDITIONS.
 - MALEABLE METAL OPTIONAL FOR PROFILED TILE.



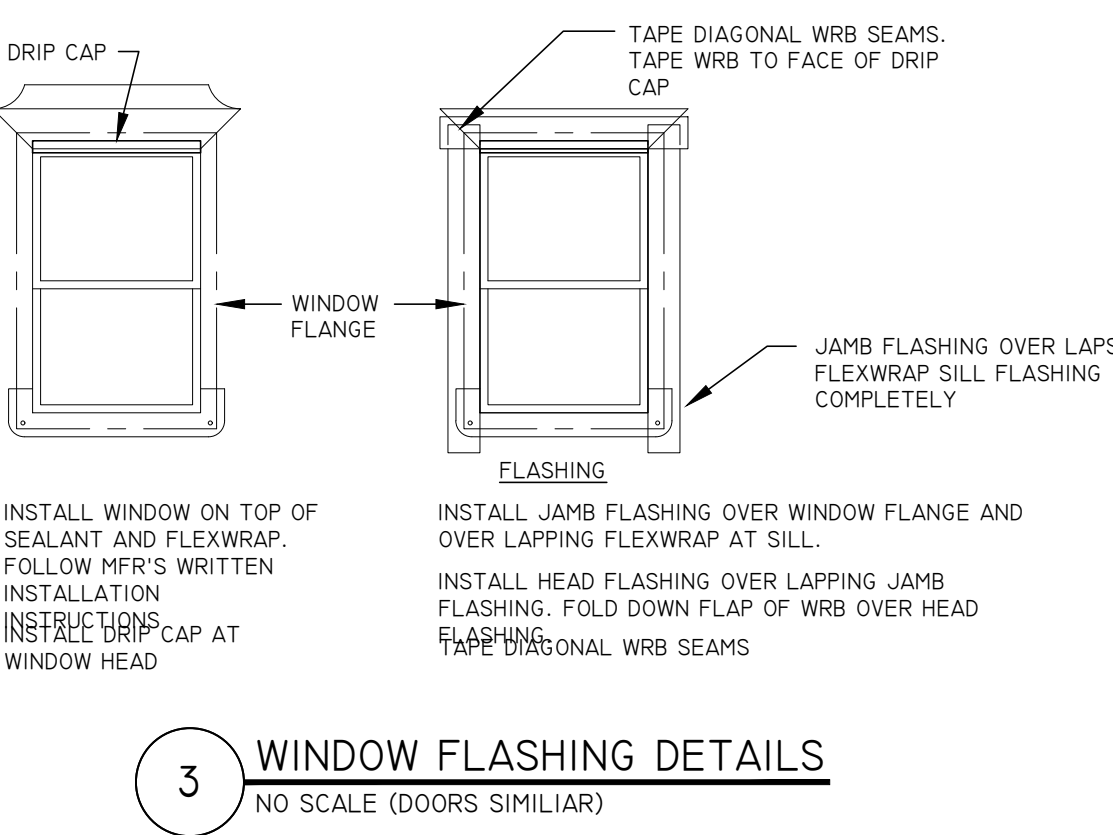
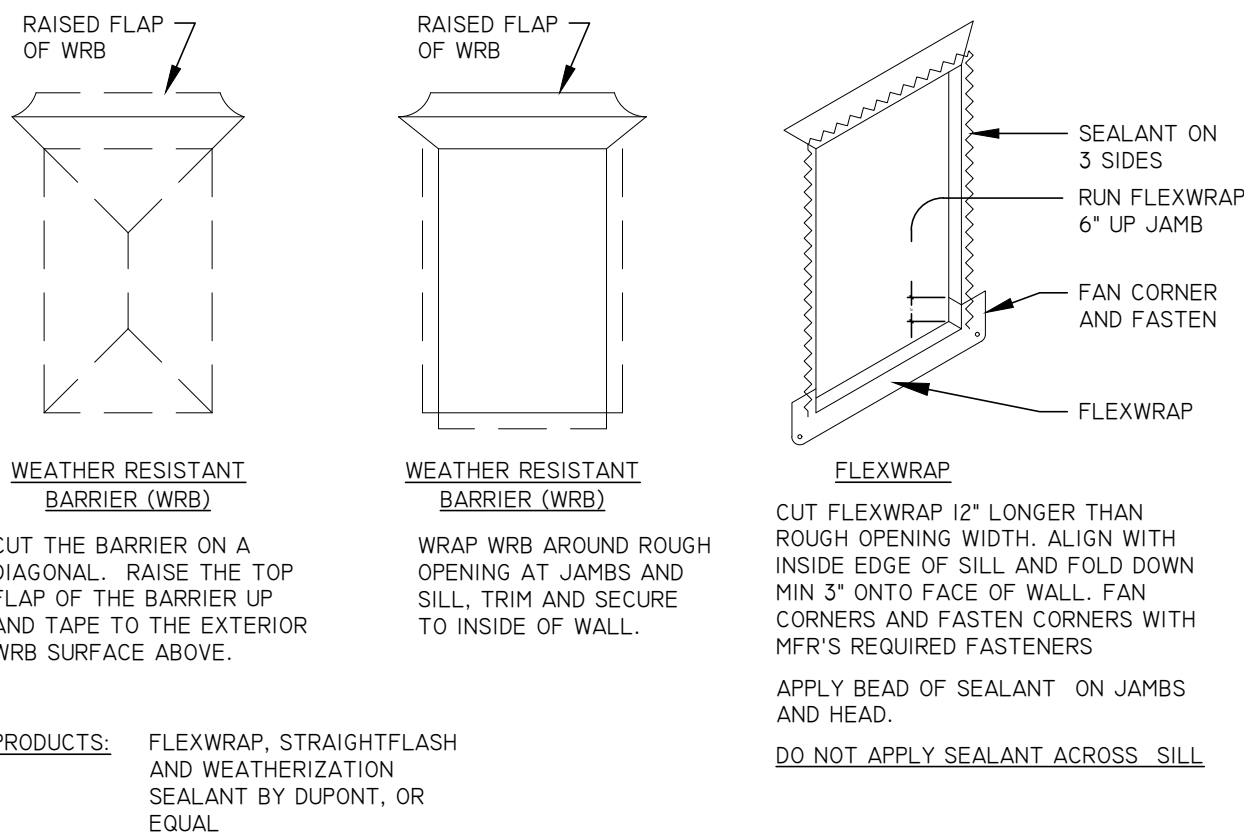
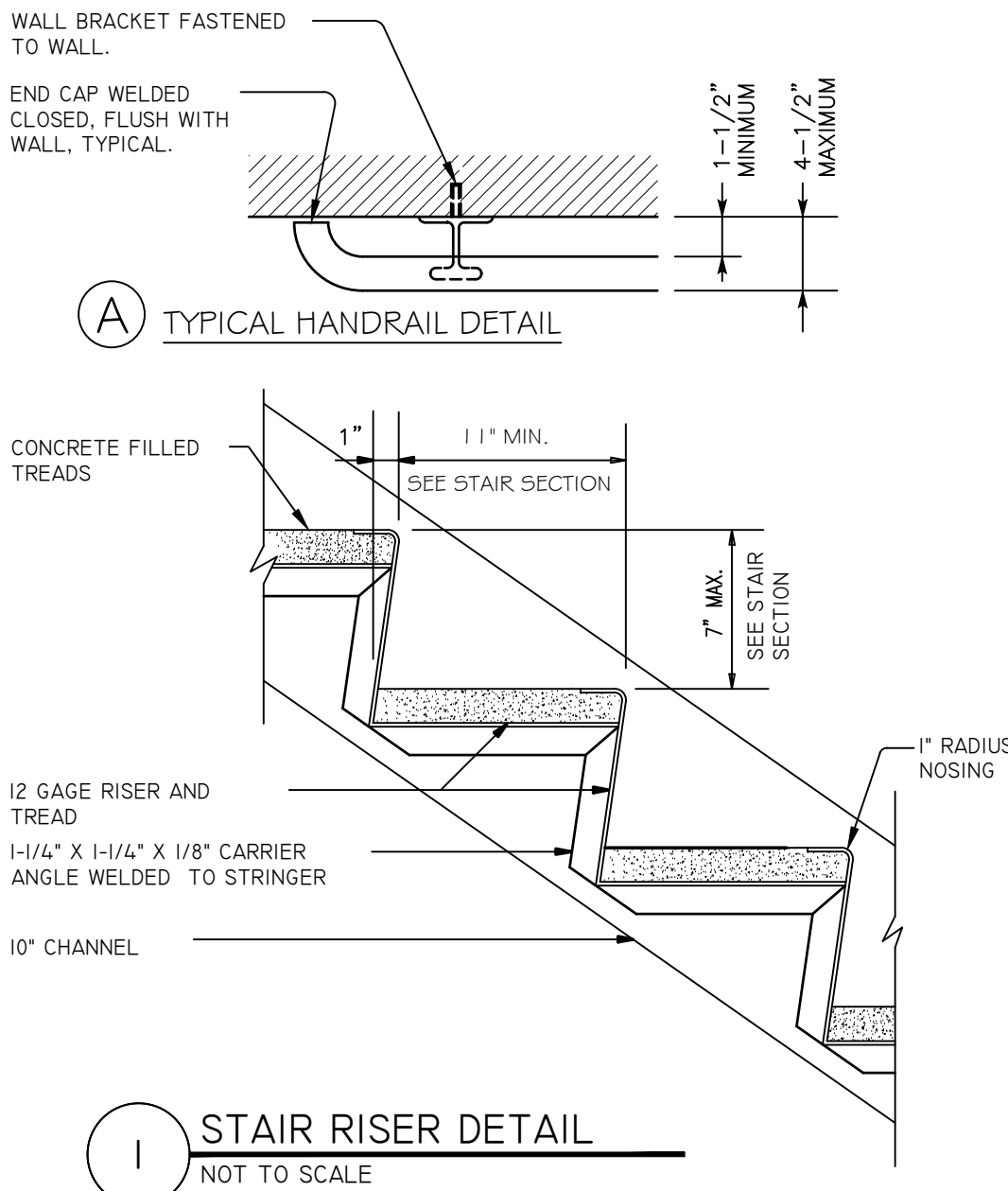
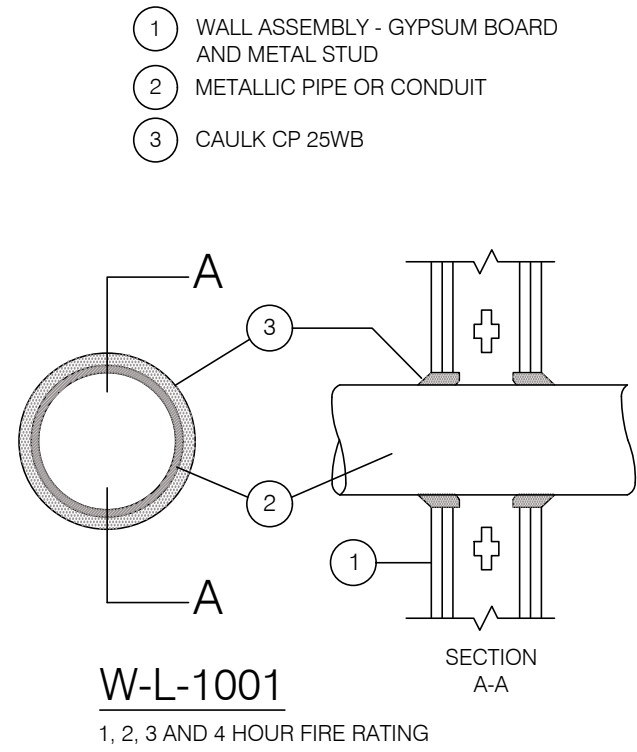
THROUGH PENETRATION FIRESTOPPING

APPLICATION SHALL BE BY A CONTRACTOR CERTIFIED BY THE MANUFACTURER TO PROPERLY PREPARE AND APPLY THEIR PRODUCTS ACCORDING TO THEIR WRITTEN INSTRUCTIONS.

MANUFACTURER'S REPRESENTATIVE SHALL REVIEW THE PROJECT CONDITIONS AND REQUIREMENTS AND SELECT THE MOST APPROPRIATE PRODUCT TO BEST ACHIEVE THE REQUIRED ONE HOUR FIRE PROTECTION.

PRODUCT LITERATURE SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO APPLICATION OF THE FIRE RESISTIVE MATERIAL.

ALL FIRE STOPPING PRODUCT NUMBERS REFER TO 3M FIRE PROTECTION PRODUCTS, OR EQUAL. CONTRACTOR SHALL SUBMIT MFR'S PRODUCT LITERATURE TO ARCHITECT FOR REVIEW.



- TEMPERED GLASS TO BE INSTALLED WHERE REQUIRED BY CODE, NOT LIMITED TO:
 - ANY WINDOW OR SIDELIGHT WITHIN 24 INCHES HORIZONTALLY OF A DOOR MUST BE TEMPERED.
 - ANY WINDOW OR SASH THAT IS 9 SQUARE FEET OR MORE AND IS 18 INCHES OR LESS FROM A FLOOR MUST BE TEMPERED.
 - ANY WINDOW WITHIN A TUB OR SHOWER AREA THAT IS LESS THAN 60 INCHES FROM THE FLOOR OF THE TUB MUST BE TEMPERED.
 - ANY WINDOW ON A STAIRCASE LANDING OR WITHIN 60 INCHES A STAIRCASE TREAD MUST BE TEMPERED.



171 BROAD ST. MATAWAN, NJ 07747
732-379-0743 | INFO@JASONPEIST.COM

CHANGE OF USE- ADD A LEVEL
172-174 MAIN ST
WEST ORANGE, NJ 07052
BLOCK 89, LOT 6
ESSEX COUNTY

REVISIONS:		
#	DESCRIPTION:	DATE:
	ISSUED FOR PERMITS	4/10/2024

DRAWING TITLE:

DETAILS

ARCHITECTURAL LICENSE #:
NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

Jason Peist

JASON PEIST, AIA - ARCHITECT

© COPYRIGHT 2024

DRAWINGS, SPECIFICATIONS & OTHER DOCUMENTS, BOTH PAPER COPIES AND IN ELECTRONIC FORM, PREPARED BY JASON PEIST AND CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY FOR THIS PROJECT. THEY MAY NOT BE USED FOR ANY PURPOSES BEYOND THE SCOPE OF THIS CONTRACT WITHOUT WRITTEN PERMISSION FROM JASON PEIST. UNLAWFUL USE OF INSTRUMENTS OF SERVICE SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

DATE: 4/10/24
SCALE: 24-010
AS NOTED
DRAWN BY: J.R.P.
JOB NUMBER: 24-010
SHEET: 14 OF 17

DRAWING NUMBER

A-401



CHANGE OF USE- ADD A LEVEL
172-174 MAIN ST
WEST ORANGE, NJ 07052
BLOCK 89, LOT 6
ESSEX COUNTY

DRAWING TITLE:

PLUMBING RISER DIAGRAM
GAS RISER DIAGRAM
ELECTRICAL RISER DIAGRAM

for the

© COPYRIGHT 2024

DRAWINGS, SPECIFICATIONS & OTHER DOCUMENTS
BOTH PAPER COPIES AND IN ELECTRONIC FORM
PREPARED BY JASON PEIST AND CONSULTANTS ARE
INSTRUMENTS OF SERVICE FOR USE SOLELY FOR THIS
PROJECT. THEY MAY NOT BE USED FOR ANY
PURPOSES BEYOND THE SCOPE OF THIS CONTRACT
WITHOUT WRITTEN PERMISSION FROM JASON PEIST.
UNLAWFUL USE OF INSTRUMENTS OF SERVICE SHALL
BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

DRAWING NUMBER

A-402



W ELECTRICAL WATER HEATER DETAIL
NOT TO SCALE



STEEL DOORS AND FRAMES

- THIS SECTION INCLUDES THE FOLLOWING:
A. DOORS: FLUSH, HOLLOW OR COMPOSITE CONSTRUCTION STANDARD STEEL DOORS FOR INTERIOR OR EXTERIOR LOCATIONS.
B. FRAMES: PRESSED STEEL FRAMES FOR DOORS, TRANSOMS, SIDELIGHTS, GLAZED PANELS OTHER INTERIOR OR EXTERIOR OPENINGS.
- SUBMIT PRODUCT DATA FOR EACH TYPE OF DOOR AND FRAME, INCLUDING DETAILS OF CORE AND EDGE CONSTRUCTION, TRIM/FORM FINISHING, FIRE RATING WHERE REQUIRED AND SOUND RATINGS, WHERE REQUIRED.
- SUBMIT SHOP DRAWINGS INDICATING LOCATION AND SIZE OF EACH DOOR, ELEVATION OF EACH KIND OF DOOR, DETAILS OF CONSTRUCTION, LOCATION AND EXTENT OF HARDWARE BLOCKING, FIRE RATINGS, REQUIREMENTS OF VENEER MATCHING, FACTORY FINISHING AND ALL OTHER PERTINENT DATA.
- QUALITY STANDARD TO BE STEEL DOOR INSTITUTE "RECOMMENDED SPECIFICATIONS STANDARD STEEL DOOR AND FRAMES" ANSI/SOI-100 AND AS SPECIFIED HEREIN.
- COMPLY WITH NFPA 80 FOR FIRE RATED DOOR ASSEMBLIES AND BE LISTED BY UL, FACTORY MUTUAL OR WARNOCK HERSEY.
- AT STAIR ENCLOSURES, PROVIDE DOORS WHICH HAVE TEMPERATURE RISE RATING OF 450 DEG. MAX. IN 30 MINUTES OF FIRE EXPOSURE.
- DELIVER DOORS AND FRAMES CARDBOARD WRAPPED OR CRATED TO PROVIDE PROTECTION DURING TRANSIT AND JOB STORAGE.
- INSPECT DOORS AND FRAMES UPON DELIVERY FOR DAMAGE. REMOVE AND REPLACE DAMAGED ITEMS.
- STORE DOORS UNDER COVER AT SITE. DO NOT PERMIT DOORS AND FRAMES TO BECOME WET.
- HOT ROLLED STEEL SHEETS: COMMERCIAL QUALITY CARBON STEEL, COMPLYING WITH ASTM A 569 AND ASTM A 568.
- COLD ROLLED STEEL SHEETS: COMMERCIAL QUALITY CARBON STEEL, COMPLYING WITH ASTM A 366 AND ASTM A 568.
- GALVANIZED STEEL SHEETS: ZINC COATED CARBON STEEL SHEETS OF COMMERCIAL QUALITY, COMPLYING WITH ASTM A 526, OR DRAW QUALITY, ASTM A 642, HOT DIPPED GALVANIZED PER ASTM A 525 WITH A60 OR G60 COATING DESIGNATION, MILL PHOSPHATIZED.
- PRIME WITH RUST INHIBITIVE PAINT, SUITABLE FOR SPECIFIED PAINT, COMPLYING WITH ANSI A224 1, "TEST PROCEDURES AND ACCEPTANCE CRITERIA FOR PRIME PAINTED STEEL SURFACES FOR STEEL DOORS AND FRAMES"
- INTERIOR DOORS SHALL MEET ANSI/SOI-100 GRADE I, STANDARD DUTY, 1-3/4 INCH THICK, MODEL 3, SEAMLESS.
- EXTERIOR DOORS SHALL MEET THE SAME STANDARD AS INTERIOR DOORS BUT BE GALVANIZED.
- FRAMES SHALL BE MINIMUM 18 GAGE COLD ROLLED STEEL, FABRICATED WITH MITERED CORNERS FOR KNOCKED DOWN FIELD ASSEMBLY. BE DRILLED FOR 3 SILENCERS ON STRIKE JAMBS. PROVIDE 26 GAGE PLASTER GUARD AT BACK OF HARDWARE CUTOUTS.
- CLEARANCES: NOT MORE THAN 1/8 INCH AT JAMBS AND HEADS AND NOT MORE THAN 3/4 INCH AT BOTTOM.
- SET FRAMES ACCURATELY IN POSITION, PLUMBED, ALIGNED AND BRACED SECURELY.
- INSTALL AT LEAST 3 WALL ANCHORS PER JAMB.
- FIT HOLLOW METAL DOORS ASSEMBLY IN FRAMES WITH CLEARANCES SPECIFIED IN ANSI/SOI-100.
- FINAL ADJUSTMENT: CHECK AND READJUST OPERATING HARDWARE ITEMS, LEAVING STEEL DOORS AND FRAMES UNDAMAGED AND IN COMPLETE AND PROPER OPERATING CONDITION.

FLUSH WOOD DOORS

- THIS SECTION INCLUDES:
A. SOLID CORE DOORS WITH WOOD VENEER FACES.
B. FACTORY FINISHING OF FLUSH WOOD DOORS.
C. FACTORY FITTING FLUSH WOOD DOORS TO FRAMES AND FACTORY MACHINING FOR HARDWARE.
- SUBMIT PRODUCT DATA FOR EACH TYPE OF DOOR, INCLUDING DETAILS OF CORE AND EDGE CONSTRUCTION, TRIM FOR OPENINGS AND LOUVERS AND FACTORY FINISHING SPECIFICATIONS.
- SUBMIT SHOP DRAWINGS INDICATING LOCATION AND SIZE OF EACH DOOR, ELEVATION OF EACH KIND OF DOOR, DETAILS OF CONSTRUCTION, LOCATION AND EXTENT OF HARDWARE BLOCKING, FIRE RATINGS, REQUIREMENTS OF VENEER MATCHING, FACTORY FINISHING AND ALL OTHER PERTINENT DATA.
- SUBMIT SAMPLES OF FACES OF FACTORY FINISHED DOORS WITH TRANS-PARENT FINISHES. SHOW THE FULL RANGE OF COLORS AVAILABLE FOR STAINED FINISHES.
- QUALITY STANDARD TO BE "ARCHITECTURAL WOODWORK QUALITY STANDARDS" OF THE ARCHITECTURAL WOODWORK INSTITUTE (AWI) FOR GRADE OF DOOR, CORE, CONSTRUCTION, FINISH AND ALL OTHER REQUIREMENTS.
- SINGLE SOURCE RESPONSIBILITY: OBTAIN ALL DOORS FROM ONE SOURCE AND BY A SINGLE MANUFACTURE.
- WARRANTY: DOOR MANUFACTURERS WARRANTY SHALL BE IN ADDITION TO AND RUN CONCURRENTLY WITH CONTRACTORS WARRANTY. SUBMIT WRITTEN AGREEMENT SIGNED BY DOOR MANUFACTURER AND CONTRACTOR AGREEING TO REPAIR OR REPLACE DEFECTIVE DOORS THAT HAVE WARPED, (BOW, CUP, OR TWIST) MORE THAN 1/4 INCH IN A 42 BY 84 INCH SECTION OR THAT SHOW TELEGRAPHING OF CORE CONSTRUCTION IN FACE VENEERS EXCEEDING 0.01 INCH IN A 3 INCH SPAN OR DO NOT CONFORM TO TOLERANCE LIMITATIONS OF THE REFERENCED QUALITY STANDARDS.
- A WARRANTY SHALL BE IN EFFECT FOR THE LIFE OF INSTALLATION FOR ALL INTERIOR SOLID CORE DOORS.
- SOLID CORE DOORS SHALL BE AS FOLLOWS:
A. FACE: WHITE OAK, PLAIN SUECED, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
B. GRADE: PREMIUM.
C. CONSTRUCTION: 5 PILES OR 7 PILES.
D. BONDING: STILES AND STILES BONDED TO CORE, THEN ENTIRE UNIT ABRASIVE PLANED BEFORE VENEERING.
- FACTORY MACHINE DOORS FOR HARDWARE THAT IS NOT SURFACE APPLIED. LOCATE HARDWARE TO COMPLY WITH DHI-415-W-3. COMPLY WITH APPROVED HARDWARE SCHEDULE, APPROVED DOOR AND FRAME SHOP DRAWINGS, DHI-A115-W SERIES STANDARDS AND HARDWARE TEMPLATES.
- TRANSOMS AND SIDE PANELS: FABRICATE MATCHING PANELS WITH THE SAME CONSTRUCTION, EXPOSED SURFACES AND FINISH AS SPECIFIED FOR ASSOCIATED DOORS. PROVIDE FACTORY INSTALLED SPRING BOLTS FOR CONCEALED ATTACHMENT INTO JAMBS OF METAL FRAMES.
- REPLACE DOORS WITH DEFECTS. DO NOT PROCEED WITH INSTALLATION UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. REHANG OR REPLACE DOORS THAT DO NOT SWING FREELY. REFINISH OR REPLACE DOORS DAMAGED DURING INSTALLATION.

DOOR HARDWARE

- THIS SECTION INCLUDES ITEMS KNOWN COMMERCIALY AS FINISH OR DOOR HARDWARE THAT ARE REQUIRED FOR SWING, SLIDING AND FOLDING DOORS.
- SUBMIT THROUGH CONTRACTOR REQUIRED PRODUCT DATA, FINAL HARDWARE SCHEDULE, SEPARATE KEYING SCHEDULE AND SAMPLES AS SPECIFIED IN THIS SECTION.
- BASED ON REQUIREMENTS INDICATED IN CONTRACT DRAWINGS, FURNISH TYPES, FINISHES AND QUANTITIES OF DOOR HARDWARE INCLUDING FASTENERS AND OWNERS MAINTENANCE TOOLS REQUIRED TO COMPLY WITH SPECIFIED REQUIREMENTS AND AS NEEDED TO INSTALL AND MAINTAIN HARDWARE. FURNISH OR REPLACE ANY ITEMS OF DOOR HARDWARE RESULTING FROM SHORTAGES AND INCORRECT ITEMS AT NO COST TO THE OWNER.
- SUBMIT PRODUCT DATA INCLUDING MANUFACTURERS TECHNICAL PRODUCT DATA FOR EACH ITEM OF DOOR HARDWARE, INSTALLATION INSTRUCTIONS, MAINTENANCE OF OPERATING PARTS AND FINISH AND OTHER INFORMATION NECESSARY TO SHOW COMPLIANCE WITH REQUIREMENTS.
- SUBMIT FINAL HARDWARE SCHEDULE CONTAINING THE FOLLOWING:
A. TYPE, STYLE, FUNCTION, SIZE AND FINISH OF EACH HARDWARE ITEM.
B. NAME AND MANUFACTURER OF EACH ITEM.
C. FASTENINGS AND OTHER PERTINENT INFORMATION.
D. LOCATION OF EACH HARDWARE SET CROSS REFERENCED TO INDICATIONS ON DRAWINGS.
E. EXPLANATION OF ALL ABBREVIATIONS, SYMBOLS AND CODES THAT ARE CONTAINED IN THE SCHEDULE.
F. MOUNTING LOCATIONS FOR HARDWARE.
G. DOOR AND FRAME SIZES AND MATERIALS.
H. KEYING INFORMATION.
- KEYING: SUBMIT SEPARATE DETAILED SCHEDULE INDICATING CLEARLY HOW OWNERS FINAL INSTRUCTIONS ON KEYING OF LOCKS HAS BEEN FULFILLED.
- SINGLE SOURCE RESPONSIBILITY: OBTAIN EACH TYPE OF HARDWARE (LATCH AND LOCK SETS, HINGES, CLOSERS, ETC.) FROM A SINGLE MANUFACTURER.
- SUPPLIER QUALIFICATIONS: A RECOGNIZED ARCHITECTURAL DOOR HARDWARE SUPPLIER, WITH WAREHOUSING FACILITIES IN THE PROJECTS VICINITY, THAT HAS A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE FOR SUPPLYING DOOR HARDWARE, SIMILAR IN QUANTITY, TYPE AND QUALITY TO THAT INDICATED FOR THIS PROJECT AND THAT EMPLOYS AN EXPERIENCED ARCHITECTURAL HARDWARE CONSULTANT (AHC) WHO IS AVAILABLE TO OWNER, ARCHITECT AND CONTRACTOR AT REASONABLE TIMES DURING THE COURSE OF THE WORK FOR CONSULTATION.
- FIRE RATED OPENINGS: PROVIDE DOOR HARDWARE FOR FIRE RATED OPENINGS THAT COMPLIES WITH NFPA STANDARD NO. 80. PROVIDE ONLY ITEMS OF DOOR HARDWARE THAT ARE LISTED AND ARE IDENTICAL TO PRODUCTS TESTED BY A WARNOCK HERSEY, FM OR OTHER TESTING AND INSPECTING ORGANIZATIONS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- FURNISH A COMPLETE SET OF SPECIALIZED TOOLS AND MAINTENANCE INSTRUCTIONS AS NEEDED FOR OWNERS CONTINUED ADJUSTMENT, MAINTENANCE, REMOVAL AND REPLACEMENT OF DOOR HARDWARE.
- FURNISH SCREWS FOR INSTALLATION WITH EACH HARDWARE ITEM. PROVIDE PHILLIPS FLAT-HEAD SCREWS EXCEPT AS OTHERWISE INDICATED. FINISH EXPOSED SCREWS TO MATCH HARDWARE FINISH.
- PROVIDE CONCEALED FASTENERS FOR HARDWARE UNITS THAT ARE EXPOSED WHEN DOOR IS CLOSED EXCEPT TO THE EXTENT NO STANDARD UNITS OF TYPE SPECIFIED ARE AVAILABLE WITH CONCEALED FASTENERS. DO NOT USE THRU-BOLTS FOR INSTALLATION WHERE BOLT HEAD OR NUT ON OPPOSITE FACE IS EXPOSED IN OTHER WORK UNLESS THEIR USE IS THE ONLY MEANS OF REINFORCING THE WORK ADEQUATELY TO FASTEN THE HARDWARE SECURELY. WHERE THRU-BOLTS ARE USED AS A MEANS OF REINFORCING THE WORK, PROVIDE SLEEVES FOR EACH THRU-BOLT OR USE SEX SCREW FASTENERS.
- PROVIDE PARALLEL ARMS FOR ALL OVER-HEAD CLOSERS.
- BARRIER FREE CLOSERS: PROVIDE ADJUSTABLE UNITS COMPLYING WITH ANSI A117.1 PROVISIONS FOR DOOR OPENING FORCE AND DELAYED ACTION CLOSING FOR ALL CLOSERS.
- MOUNT HARDWARE IN ACCORDANCE WITH RECOMMENDATIONS FOUND IN "RECOMMENDED LOCATIONS FOR BUILDERS HARDWARE FOR STANDARD STEEL DOORS AND FRAMES" BY THE DOOR AND HARDWARE INSTITUTE.
- ADJUST AND CHECK EACH OPERATING ITEM OF HARDWARE AND EACH DOOR TO ENSURE PROPER OPERATION OR FUNCTION OF EVERY UNIT. REPLACE UNITS THAT CANNOT BE ADJUSTED TO OPERATE FREELY AND SMOOTHLY.
- INSTRUCT OWNERS PERSONNEL IN THE PROPER ADJUSTMENT AND MAINTENANCE OF DOOR HARDWARE AND HARDWARE FINISHES.

GYPSUM BOARD ASSEMBLIES

- THIS SECTION INCLUDES THE FOLLOWING:
A. NON-LOAD BEARING STEEL FRAMING MEMBERS FOR GYPSUM BOARD ASSEMBLIES.
B. GYPSUM BOARD ASSEMBLIES ATTACHED TO STEEL FRAMING.
- STORE MATERIALS INSIDE UNDER COVER AND KEEP THEM DRY AND PROTECTED AGAINST DAMAGE FROM WEATHER, DIRECT SUNLIGHT, SURFACE CONTAMINATION, CORROSION, CONSTRUCTION TRAFFIC AND OTHER CAUSES. NEATLY STACK GYPSUM PANELS FLAT TO PREVENT SAGGING.
- ROOM TEMPERATURES: FOR NON-ADHESIVE ATTACHMENT OF GYPSUM BOARD TO FRAMING, MAINTAIN NOT LESS THAN 40 DEGREES F. FOR ADHESIVE ATTACHMENT AND FINISHING OF GYPSUM BOARD, MAINTAIN NOT LESS THAN 50 DEGREES F FOR 48 HOURS PRIOR TO APPLICATION AND CONTINUOUSLY AFTER UNTIL DRY. DO NOT EXCEED 95 DEGREES F WHEN USING TEMPORARY HEAT SOURCES.
- PROVIDE STEEL FRAMING MEMBERS COMPLYING WITH THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE INDICATED ON THE DRAWINGS:
A. STEEL STUDS AND RUNNERS: ASTM C 645 WITH FLANGE EDGES OF STUDS BENT BACK 90 DEGREES AND DOUBLED OVER TO FORM 3/16 INCH WIDE MINIMUM LIP (RETURN) AND COMPLYING WITH THE FOLLOWING REQUIREMENTS FOR MINIMUM THICKNESS OF BASE (UNCOATED) METAL AND FOR DEPTH:
1. THICKNESS: 0.0179 INCH, 25 GAUGE.
2. DEPTH: 3-5/8 INCHES.
B. STEEL RIGID FURRING CHANNELS: ASTM C 645, HAT SHAPED, DEPTH AND MINIMUM THICKNESS OF BASE (UNCOATED) METAL AS FOLLOWS:
1. DEPTH: 1-1/2 INCHES. 2. THICKNESS: 0.0179 INCH, 25 GAUGE, UNLESS OTHERWISE NOTED.
- PROVIDE GYPSUM BOARD OF TYPES INDICATED IN MAXIMUM LENGTHS AVAILABLE TO MINIMIZE END TO END BUTT JOINTS AND AS FOLLOWS:
A. REGULAR FOR VERTICAL SURFACES, UNLESS OTHERWISE INDICATED.
B. TYPE X WHERE REQUIRED FOR FIRE RESISTIVE RATED ASSEMBLIES.
C. L-0-BEAD WITH BOTH FACE AND BACK FLANGES; FACE FLANGE FORMED TO RECEIVE JOINT COMPOUND; USE L-0-BEAD FOR EDGE TRIM.
D. EDGES: TAPERED E. THICKNESS: 5/8 INCH UNLESS OTHERWISE INDICATED.
- PROVIDE TRIM ACCESSORIES COMPLYING WITH ASTM C 1047 AND REQUIREMENTS INDICATED BELOW:
A. CORNERBEAD ON OUTSIDE CORNERS.
B. L-0-BEAD WITH BOTH FACE AND BACK FLANGES; FACE FLANGE FORMED TO RECEIVE JOINT COMPOUND; USE L-0-BEAD FOR EDGE TRIM.
C. ONE PIECE CONTROL JOINT FORMED WITH V-SHAPED SLOT WITH REMOVABLE STRIP COVERING SLOT OPENING.
- LATEX ACOUSTICAL SEALANT:
A. AC-20 FTR ACOUSTICAL AND INSULATION SEALANT, PECORA CORP.
B. SHEETROCK ACOUSTICAL SEALANT, UNITED STATES GYPSUM CO.
- SOUND ATTENUATION BLANKET: UNFACED FIBERGLASS BLANKET INSULATION COMPLYING WITH ASTM C 665 FOR TYPE 1:
A. FLAME SPREAD AND SMOKE DEVELOPED RATINGS OF 75 AND 450, RESPECTIVELY, PER ASTM E 84.
- POLYETHYLENE VAPOR RETARDER: ASTM D 4397, 6.0 MILS, 0.13 PERMS WITH PRESSURE SENSITIVE TAPE TO SEAL EDGES AS RECOMMENDED BY MANUFACTURER OF VAPOR RETARDER.
- EXAMINE SUBSTRATES TO WHICH GYPSUM BOARD ASSEMBLIES WILL BE ATTACHED FOR UNSATISFACTORY CONDITIONS. DO NOT PROCEED WITH INSTALLATION UNTIL ALL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. CONTRACTOR ASSUMES RESPONSIBILITY FOR CONDITION OF SUBSTRATE WHEN HE PROCEEDS WITH GYPSUM BOARD ASSEMBLY INSTALLATION.
- INSTALL SUPPLEMENTARY FRAMING, BLOCKING AND BRACING TO SUPPORT FIXTURES, EQUIPMENT, GRAB BARS, TOILET ACCESSORIES AND ANY ITEM FASTENED TO OR HUNG ON A WALL OR CEILING.
- ISOLATE STEEL FRAMING FROM BUILDING STRUCTURE TO PREVENT TRANSFER OF LOADING IMPOSED BY STRUCTURAL MOVEMENT.
- DO NOT BRIDGE BUILDING EXPANSION JOINTS AND CONTROL JOINTS WITH STEEL FRAMING OR FURRING MEMBERS.
- INSTALLATION TOLERANCES: INSTALL EACH STEEL FRAMING MEMBER SO THAT FASTENING SURFACES DO NOT VARY MORE THAN 1/8 INCH FROM THE PLANE FORMED BY THE FACES OF ADJACENT FRAMING.
- GYPSUM BOARD APPLICATION AND FINISHING STANDARDS: INSTALL AND FINISH GYPSUM PANELS TO COMPLY WITH ASTM C 840 AND G-216.
- INSTALL EDGE TRIM WHERE EDGE OF GYPSUM PANELS WOULD BE OTHERWISE EXPOSED OR SEMI-EXPOSED. PROVIDE EDGE TRIM TYPE WITH FACE FLANGE FORMED TO RECEIVE JOINT COMPOUND.
- FOR ALL LEVELS OF GYPSUM BOARD FINISH, EMBED TAPE IN FINISHING COMPOUND PLUS TWO SEPARATE COATS APPLIED OVER JOINTS, ANGLES, FASTENER HEADS AND TRIM ACCESSORIES (NOT INCLUDING PREFILL), SAND BETWEEN COATS AND AFTER LAST COAT.
- PROMPTLY REMOVE ALL RESIDUAL JOINT COMPOUND FROM ALL ADJACENT SURFACES.

ACOUSTICAL TILE CEILINGS

- THIS SECTION INCLUDES CEILINGS COMPOSED OF ACOUSTICAL TILES AND SUSPENSION SYSTEMS.
- SUBMIT EACH OF THE FOLLOWING:
A. PRODUCT DATA FOR EACH TYPE OF PRODUCT SPECIFIED.
B. COORDINATION DRAWINGS FOR REFLECTED CEILING PLANS DRAWN ACCURATELY TO SCALE AND COORDINATING PENETRATIONS AND CEILING MOUNTED ITEMS. SHOW THE FOLLOWING:
1. CEILING SUSPENSION SYSTEM MEMBERS.
2. METHOD OF ATTACHING SUSPENSION SYSTEM HANGERS TO THE STRUCTURE.
3. INITIAL DIRECT ACCESS OPENINGS.
4. CEILING MOUNTED ITEMS INCLUDING LIGHT FIXTURES, AIR OUTLETS AND INLETS, SPEAKERS, SPRINKLERS, AND SPECIAL MOLDINGS AT WALLS, COLUMN PENETRATIONS AND OTHER JUNCTURES OF ACOUSTICAL CEILINGS WITH ADJOINING CONSTRUCTION.
5. MINIMUM DRAWING SCALE: 3/8 INCH = 1 FOOT.
- SINGLE SOURCE RESPONSIBILITY: OBTAIN CEILING TILE AND GRID FROM A SINGLE SOURCE WITH RESOURCES TO PROVIDE PRODUCTS OF CONSISTENT QUALITY IN APPEARANCE AND PHYSICAL PROPERTIES WITHOUT DELAYING THE WORK.
- COORDINATE LAYOUT AND INSTALLATION OF ACOUSTICAL TILES AND SUSPENSION SYSTEM COMPONENTS WITH OTHER CONSTRUCTION THAT PENETRATES CEILINGS OR IS SUPPORTED BY THEM, INCLUDING LIGHT FIXTURES, HVAC EQUIPMENT, FIRE SUPPRESSION SYSTEM COMPONENTS AND PARTITION ASSEMBLIES.
- FURNISH EXTRA MATERIALS THAT MATCH PRODUCTS INSTALLED, ARE PACKAGED WITH PROTECTIVE COVERING FOR STORAGE AND ARE IDENTIFIED WITH LABELS CLEARLY DESCRIBING CONTENTS IN THE AMOUNT OF TWO (2) PERCENT OF EACH STYLE OR TYPE OF CEILING TILE AND SUSPENSION GRID INSTALLED.
- INSTALL ACOUSTICAL TILE CEILINGS TO COMPLY WITH MANUFACTURERS INSTRUCTIONS, CISCA "CEILING SYSTEMS HANDBOOK", ASTM C 636 FOR STANDARDS FOR CEILING SUSPENSION SYSTEM INSTALLATION AND ASTM E 580 FOR SEISMIC RESTRAINT OF CEILING SUSPENSION SYSTEM.
- FIT TILE TO FORM FLUSH, TIGHT JOINTS. SCRIBE AND CUT TILE FOR ACCURATE FIT AT BORDERS AND AROUND PENETRATIONS THROUGH TILE.
- CLEAN EXPOSED SURFACES OF ACOUSTICAL TILE CEILINGS, INCLUDING TRIM, EDGE MOLDINGS AND SUSPENSION SYSTEM MEMBERS. REMOVE AND REPLACE TILES AND OTHER CEILING COMPONENTS THAT CANNOT BE SUCCESSFULLY CLEANED AND REPAIRED TO PERMANENTLY ELIMINATE EVIDENCE OF DAMAGE.

PAINTING

- THIS SECTION INCLUDES SURFACE PREPARATION, PAINTING AND FINISHING OF EXPOSED INTERIOR ITEMS AND SURFACES.
- PAINT EXPOSED SURFACES WHETHER OR NOT COLORS ARE DESIGNATED IN SCHEDULES, EXCEPT WHERE A SURFACE OR MATERIAL IS SPECIFICALLY INDICATED NOT TO BE PAINTED OR IS TO REMAIN NATURAL. WHERE AN ITEM OR SURFACE IS NOT SPECIFICALLY MENTIONED, PAINT THE SAME AS SIMILAR ADJACENT MATERIALS OR SURFACES. IF COLOR OR FINISH IS NOT DESIGNATED, THE ARCHITECT WILL SELECT FROM STANDARD COLORS OR FINISHES AVAILABLE.
- PAINTING IS NOT REQUIRED ON PREFINISHED ITEMS, FINISHED METAL SURFACES, CONCEALED SURFACES, OPERATING PARTS AND LABELS.
- DO NOT PAINT OVER UNDERWRITERS LABORATORIES, FACTORY MUTUAL OR OTHER CODE REQUIRED LABELS OR EQUIPMENT NAME, IDENTIFICATION PERFORMANCE RATINGS OR NOMENCLATURE PLATES.
- SUBMIT PRODUCT DATA FOR EACH PAINT SYSTEM SPECIFIED, INCLUDING BLOCK FILLERS AND PRIMERS. CERTIFY THAT PRODUCTS COMPLY WITH LOCAL REGULATIONS CONTROLLING USE OF VOLATILE ORGANIC COMPOUNDS (VOCs).
- PAINTING CONTRACTOR SHALL BE AN EXPERIENCED APPLICATOR WHO HAS COMPLETED PAINTING SYSTEM APPLICATIONS SIMILAR IN MATERIAL AND EXTENT TO THOSE INDICATED FOR THE PROJECT THAT HAVE RESULTED IN A CONSTRUCTION RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE.
- ALL PRIMERS, UNDERCOAT AND FINISH COAT PAINTS SHALL BE PRODUCED BY THE SAME MANUFACTURER.
- DELIVER MATERIALS TO THE JOB SITE IN THE MANUFACTURERS ORIGINAL UNOPENED PACKAGES AND CONTAINERS BEARING MFRS. NAME AND LABEL, AND THE FOLLOWING INFORMATION:
A. PRODUCT NAME OR TITLE OF MATERIAL.
B. PRODUCT DESCRIPTION.
C. MFRS. STOCK NUMBER AND DATE OF MANUFACTURE.
D. CONTENTS BY VOLUME, FOR PIGMENT AND VEHICLE CONSTITUENTS.
E. THINNING INSTRUCTIONS.
F. APPLICATION INSTRUCTIONS.
G. COLOR NAME AND NUMBER.
- STORE MATERIALS NOT IN USE IN TIGHTLY COVERED CONTAINERS IN A WELL VENTILATED AREA AT A MINIMUM AMBIENT TEMPERATURE OF 45 DEG. PROTECT FROM FREEZING, REMOVE OILY RAGS AND WASTE DAILY. TAKE NECESSARY MEASURES TO ENSURE THAT WORKERS AND WORK AREAS ARE PROTECTED FROM FIRE AND HEALTH HAZARDS RESULTING FROM HANDLING, MIXING AND APPLICATION.
- APPLY WATER BASED PAINTS ONLY WHEN THE TEMPERATURE OF SURFACES TO BE PAINTED AND SURROUNDING AIR TEMPERATURES ARE BETWEEN 50 DEG. AND 90 DEG.
- APPLY SOLVENT THINNED PAINTS ONLY WHEN THE TEMPERATURES OF SURFACES TO BE PAINTED AND SURROUNDING AIR TEMPERATURES ARE BETWEEN 45 DEG. AND 95 DEG.
- EXAMINE SUBSTRATES AND CONDITIONS UNDER WHICH PAINTING WILL BE PERFORMED FOR COMPLIANCE WITH PAINT APPLICATION REQUIREMENTS. SURFACES RECEIVING PAINT MUST BE THOROUGHLY DRY BEFORE PAINT IS APPLIED. DO NOT BEGIN TO APPLY PAINT UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- START OF PAINTING WILL BE CONSTRUED AS THE APPLICATORS ACCEPTANCE OF SURFACES AND CONDITIONS WITHIN A PARTICULAR AREA.
- CLEAN AND PREPARE SURFACES TO BE PAINTED ACCORDING TO THE MANUFACTURERS INSTRUCTIONS FOR EACH PARTICULAR SUBSTRATE CONDITION AND AS SPECIFIED.
- APPLY MATERIALS NO THINNER THAN THE MANUFACTURERS RECOMMENDED SPREADING RATE. PROVIDE THE TOTAL DRY FILM THICKNESS OF THE ENTIRE SYSTEM AS RECOMMENDED BY THE MANUFACTURER.
- MATCH APPROVED SAMPLES FOR COLOR, TEXTURE AND COVERAGE. REMOVE, REFINISH OR REPAINT WORK NOT COMPLYING WITH SPECIFIED REQUIREMENTS.
- CLEANUP: AT THE END OF EACH WORK DAY, REMOVE EMPTY CANS, RAGS RUBBISH AND OTHER DISCARDED PAINT MATERIALS FROM THE SITE.
- CLEAN PAINT SPATTERED SURFACES. REMOVE PAINT SPATTERED PAINT BY WASHING AND SCRAPPING. BE CAREFUL NOT TO SCRATCH OR DAMAGE ADJACENT FINISHED SURFACES.
- PROTECT WORK OF OTHER TRADES. CORRECT DAMAGE BY CLEANING, REPAIRING OR REPLACING, AND REPAINTING, AS ACCEPTABLE BY THE ARCHITECT.
- PROVIDE "WET PAINT" SIGNS TO PROTECT NEWLY PAINTED FINISHES.
- AT COMPLETION OF CONSTRUCTION ACTIVITIES OF OTHER TRADES, TOUCH UP AND RESTORE DAMAGED OR DEFACED PAINTED SURFACES.

LEAD PAINT ABATEMENT

- IN ADDITION TO REQUIREMENTS GOVERNING THE DISTURBANCE OF LEAD BASED PAINT, THE CONTRACTOR SHALL MEET ALL REQUIREMENTS ADOPTED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (US EPA) FOR LEAD BASED PAINT RENOVATION, REPAIR AND PAINTING (RRP).
- CONTRACTOR SHALL BE CERTIFIED BY US EPA IN THE APPROPRIATE CATEGORY TO PERFORM WORK INVOLVING LEAD BASE PAINT.
- THIS CERTIFICATION SHALL BE SHOWN TO THE HOME OWNER OR OCCUPANT OF THE SPACE IN WHICH WORK IS BEING DONE.
- CONTRACTOR SHALL PROVIDE THE OWNER OR OCCUPANT THE PAMPHLET "RENOVATE RIGHT: IMPORTANT LEAD HAZARD INFORMATION FOR FAMILIES, CHILD CARE PROVIDERS AND SCHOOLS".
- IN ADDITION TO THE ABOVE EPA REQUIREMENTS, THE FOLLOWING PRACTICES SHALL NOT BE USED ON PAINTED SURFACES IN ALL RESIDENTIAL BUILDINGS THAT WERE CONSTRUCTED BEFORE 1979 UNLESS THE PAINTED SURFACE HAS BEEN TESTED AND FOUND TO BE FREE OF LEAD-BASED PAINT:
A. OPEN FLAME BURNING OR THE USE OF HIGH TEMPERATURE (IN EXCESS OF 1100 DEGREES FAHRENHEIT) HEAT GUNS.
B. POWER SANDING OR SANDBLASTING, UNLESS A SPECIAL HEPA (HIGH EFFICIENCY PARTICULATE AIR) FILTER EQUIPPED VACUUM ATTACHMENT IS USED TO CONTAIN DUST.
C. UNCONTAINED WATER BLASTING OR POWER WASHING.
D. DRY SCRAPPING OR SANDING MORE THAN TWO SQUARE FEET PER ROOM (INTERIOR) OR 10 SQUARE FEET PER ROOM (EXTERIOR).
E. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN THE NECESSARY INFORMATION TO DETERMINE THE PRESENCE OF ANY LEAD BASED PAINT.

GENERAL NOTES

- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION AND SCHEDULING OF ALL SUBCONTRACTORS, INCLUDING ALL WORKERS OF OWNERS AND TENANT'S VENDORS.
- GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION PERMITS.
- GENERAL CONTRACTOR AND ALL OF HIS SUBCONTRACTORS SHALL VISIT THE SITE AND EVALUATE THE EXISTING CONDITIONS, AND THE DISCREPANCIES BETWEEN THE EXISTING SITE CONDITIONS AND THE ARCHITECTURAL DRAWINGS AND SPECS SHALL BE SUBMITTED TO THE ARCHITECT IN WRITING PRIOR TO BIDDING. FAILURE TO DO SO SHALL CONSTITUTE ACCEPTANCE BY THE BIDDER OF ALL EXISTING CONDITIONS AND NO CHANGE ORDERS WILL BE ISSUED TO REMEDY PROBLEMS ARISING FROM SUCH DISCREPANCIES.
- GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS AND SHOP DRAWINGS ON SITE DURING ALL PHASES OF THE PROJECT FOR USE BY ALL TRADES AND WILL MARK-UP ALL CHANGES ON THE DRAWINGS TO BE "AS-BUILT".
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL HAVE AND MAINTAIN AT ALL TIMES DURING THE PROJECT THE FOLLOWING INSURANCE COVERAGE AND SHALL SUBMIT TO THE OWNER/TENANT CERTIFICATES OF INSURANCE SHOWING COVERAGE FOR THIS PROJECT:
A. WORKMANS COMPENSATION
GENERAL LIABILITY
AUTOMOBILE LIABILITY
UMBRELLA LIABILITY
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL HOLD THE ARCHITECT HARMLESS AGAINST ALL CLAIMS FOR DAMAGES ARISING FROM THE WORK IN THIS PROJECT.
- WITHIN FIVE (5) WORKING DAYS OF THE EXECUTION OF THE CONTRACT, THE CONTRACTOR SHALL SUBMIT TO THE OWNER/TENANT A SCHEDULE OF CONSTRUCTION SHOWING DATES OF EACH PHASE AND TYPE OF WORK TO BE PERFORMED. UPON OWNER/TENANT REVIEW AND APPROVAL, THIS SCHEDULE SHALL DETERMINE COMPLIANCE WITH CONTRACTUAL DATES COMPLETION.
- SHOP DRAWINGS, MANUFACTURERS BROCHURES, TECHNICAL INFORMATION AND SAMPLES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW IN A TIMELY MANNER TO ALLOW TEN (10) WORKING DAYS FOR SAID REVIEW. LATE SUBMISSION OF REQUIRED INFORMATION AND SHOP DRAWINGS BY THE CONTRACTOR DOES NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO ISSUE CONSTRUCTION ON TIME AND WILL NOT OBLIGATE THE OWNER/TENANT TO FINISH A TIME EXTENSION TO THE CONTRACT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTROLLING ACCESS TO THE WORK AREA. ALL PRECINCTS SHALL BE PROTECTED FROM THE ENCROACHMENTS OF ADJACENT AREAS FROM GAINING ENTRY TO THE WORK AREA. ALL DUST, DEBRIS AND NOISE SHALL BE CONFINED TO THE WORK AREA.
- EXISTING FURNISHINGS SHALL BE REMOVED BY OTHERS PRIOR TO START OF CONSTRUCTION. IF ANY FURNISHINGS ARE IN PLACE AT THE START OF CONSTRUCTION, CONTRACTOR SHALL INQUIRE ABOUT THE STATUS OF SUCH FURNISHINGS WITH THE OWNER/TENANT.
- ANY ITEM SHOWN ON THE CONTRACT DOCUMENTS TO BE REUSED SHALL BE CAREFULLY REMOVED AND STORED UNTIL NEEDED. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED TO SUCH ITEMS.
- CONTRACTOR SHALL NOT SCALE DIMENSIONS OFF THE DRAWINGS.
- ANY IRREGULARITIES OBSERVED DURING THE LAYOUT OF NEW WALLS SHALL BE REPORTED TO THE ATTENTION OF THE OWNER/TENANTS PROJECT MANAGER FOR RESOLUTION. CONTRACTOR SHALL NOT DECIDE WHAT ADJUSTMENTS CAN BE MADE TO ACCOMMODATE FIELD CONDITIONS. LAYOUT REVISIONS SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM WITH ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS HAVING JURISDICTION OVER THIS CONTRACT.
- CONTRACTOR SHALL COORDINATE ALL OPERATIONS WITH BUILDING MANAGER TO INSURE THE OCCUPANTS SAFETY. DELIVERIES, DEBRIS, REMOVAL, USE OF BUILDINGS ELEVATORS AND ACCESS TO THE SITE REQUIRE THE REVIEW AND APPROVAL OF THE BUILDING MANAGER.
- SUBSTITUTIONS FOR SPECIFIED ITEMS AND MATERIALS SHALL NOT BE MADE WITHOUT PRIOR REVIEW AND WRITTEN APPROVAL BY THE ARCHITECT.
- ALL WORK SHALL BE WARRANTED AGAINST DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR, UNLESS NOTED OTHERWISE. FROM THE DATE OF FINAL ACCEPTANCE. FINAL ACCEPTANCE IS MADE AFTER ALL SYSTEMS ARE BALANCED, OPERATIONAL, AND ALL PUNCH LIST ITEMS HAVE BEEN CORRECTED.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR DISTRIBUTION OF DRAWINGS AND INFORMATION NEEDED BY OTHER CONTRACTORS AND SUBCONTRACTORS TO PERFORM ALL CONSTRUCTION IN A COORDINATED MANNER.
- PRIOR TO BIDDING, ALL CONTRACTORS AND SUBCONTRACTORS SHALL INQUIRE ABOUT ALL MATTERS THAT MIGHT EFFECT THEIR ABILITY TO PERFORM WORK IN THIS CONTRACT AND MAKE ALL NECESSARY ALLOWANCES IN THEIR BID. UPON AWARD, NO CHANGE ORDERS SHALL BE ISSUED TO CORRECT A PROBLEM ENCOUNTERED BY THE CONTRACTOR THAT WAS EVIDENT PRIOR TO BIDDING.
- ALL BIDDERS SHALL INQUIRE ABOUT ANY WORK THAT IS REQUIRED TO BE PERFORMED DURING OTHER THAN NORMAL WORKING HOURS PRIOR TO BIDDING AND INCLUDE ALL EXTRA COSTS IN THEIR BID.
- THESE CONSTRUCTION DRAWINGS AND DOCUMENTS DO NOT ASSIGN WORK TO A SPECIFIC TRADE OR SUBCONTRACTOR. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DIVIDE THE WORK AMONG HIS SUPPLIERS AND SUBCONTRACTORS AS HE SEES FIT AND ACCORDING TO HIS CONTRACTUAL AGREEMENT WITH HIS SUPPLIERS AND SUBCONTRACTORS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WORK INDICATED IN THE CONSTRUCTION DRAWINGS AND DOCUMENTS. ANY ITEMS NOT SPECIFICALLY MENTIONED BUT REQUIRED TO MAKE THE WORK COMPLETE SHALL BE INCLUDED AT NO ADDITIONAL COST TO THE OWNER.

ASBESTOS ABATEMENT

- THERE IS NO ASBESTOS RELATED WORK IN THIS CONTRACT.
- THE BUILDING IN WHICH THIS CONTRACT IS TO BE PERFORMED MAY HAVE ASBESTOS CONTAINING MATERIAL. THE OWNER SHALL INFORM THE BIDDERS, IF IT IS KNOWN TO CONTAIN ACM AND SHALL ARRANGE FOR A LICENSED ASBESTOS ABATEMENT CONTRACTOR TO ASSESS AND REMOVE THE ASBESTOS CONTAINING MATERIAL, SEPARATE FROM THIS CONTRACT.
- IF THE CONTRACTOR UNCOVERS OR DISCOVERS A MATERIAL THAT MAY CONTAIN ASBESTOS, WORK SHALL STOP IMMEDIATELY AND THE OWNERS PROJECT MANAGER SHALL BE NOTIFIED. THE OWNER SHALL ARRANGE FOR A TESTING LAB TO CONFIRM THE EXISTENCE OF ASBESTOS AND ARRANGE FOR ITS ABATEMENT OR REMOVAL.

MOLD AND MILDEW

- THERE IS NO MOLD OR MILDEW RELATED WORK IN THIS CONTRACT. IF THE PRESENCE OF MOLD OR MILDEW IS SUSPECTED, INFORMATION AND REMEDIATION SHALL BE UNDERTAKEN BY OTHERS TRAINED, LICENSED AND INSURED FOR THAT TYPE OF WORK.

RADON MITIGATION

- ALL CONSTRUCTION SHALL COMPLY WITH N.J.A.C. 5:23-10 RADON HAZARD SUBCODE, OF THE UNIFORM CONSTRUCTION CODE.

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	J-BOX	JUNCTION BOX
A.F.G.	ABOVE FINISHED GRADE	JCT	JOINT
AC	AIR CONDITIONING	JST	JOIST
ABV	ABOVE	JT	JOINT
ACQU.	ACOUSTIC	L.E.D.	LIGHT EMITTING DIODE
ACT	ACoustical CEILING TILE	L.F.T./LIN. FT.	LINEAR FEET
ADD.	ADDITION or ADDENDUM	LAM	LAMINATE
AG	ABOVE GRADE	LAT	LATERAL
AHU	AIR HANDLER UNIT	LAV	LAVATORY
AL. or ALUM.	ALUMINUM	LD	LEAD
ALT.	ALTERNATE	LN	LINEAR
ANL	ANNEALED	LNO.	LINEOLUM
ASPH.	ASPHALT	LT.	LIGHT
AVG	AVERAGE	LTG.	LIGHTING
BENCH MARK	BENCH MARK	LVL	LAMINATED VENEER LUMBER
B.O.	BOTTOM OF	M.B.	MACHINE BOLT
B.O.F.	BOTTOM OF FOOTING	M.H.	MAN-HOLE
BULT UP	BUILT UP	M.I.	MALLEABLE IRON
BD.	BOARD	M.O.	MASONRY OPENING
BLDG.	BUILDING	M.B.	MASONRY
BLK.	BLOCK	MAS.	MASONRY
BLKG.	BLOCKING	MATL.	MATERIAL
BR	BRASS	MAX.	MAXIMUM
BRG	BEARING	MECH.	MECHANICAL
BRZ	BRONZE	MED.	MEDIUM
C.D.	CONSTRUCTION DOCUMENTS	MFG.	MANUFACTURING
C.I.P.	CAST IN PLACE	MFR.	MANUFACTURER
C.J.	CONTROL JOINT	MNL.	MINIMUM
C.	CLEAN OUT	MISC.	MISCELLANEOUS
C.T.	CERAMIC TILE	MOD.	MODULAR
CAB	CABINET	MTL.	METAL
CAM	CAMBER	MUL.	MULLION
CCTV	CLOSED CIRCUIT TELEVISION	N.I.C.	NOT IN CONTRACT
CEM	CEMENT	N.T.S.	NOT TO SCALE
CEM	CEMENT	NCM	NON-CORROSIVE METAL
CEM	CEMENT	NFC	NOT FOR CONSTRUCTION
CH or C	CHANNEL	NBL	NALKER
CH. BKR.	CIRCUIT BREAKER	NOM.	NUMBER
CL.	CENTERLINE	NOM.	NOMINAL
CLG.	CEILING	O.C.	ON CENTER
CLKG.	CAULKING	CH.	CHANGING
CLQ.CL.	CLOSED	O.H.	OVER HANG
CL	CLEAR	O.R.	OUTSIDE RADIUS
CMU	CONCRETE MASONRY UNIT	OH.	OVER HEAD
CNTRD.	CENTERED	OPN.	OPENING
COL.	COLUMN	OPPO.	OPPOSITE
CONC.	CONCRETE	P.C.	PRECAST CONCRETE
CONC.	CONCRETE	P.LAM.	PLASTIC LAMINATE
CONST.	CONSTRUCTION	P.O.C.	POINT OF CONNECTION
CONT.	CONTINUOUS	PERF.	PERFORATED
CONTR.	CONTRACTOR	PERP. or ⊥	PERPENDICULAR
D.F.	DOWN SPOUT	PH or Ø	PHASE
D.W.	DRAIN WASH	PLUMB.	PLUMBING
D.BL	DOUBLE	P.W.D.	PLYWOOD
DEM.	DEMOLITION	PORC.	PORCELAIN
DIA. or Ø	DIAMETER	PREFAB.	PREFABRICATED
DIA.	DIAGONAL	PSF	POUNDS PER SQUARE FOOT
DIM.	DIMENSION	PSI	POUNDS PER SQUARE INCH
DL	DEAD LOAD	PTN.	PARTITION
DN.	DOWN	PVC	POLYVINYLCHLORIDE
DOOR	DOOR	PWR.	POWER
E.	EXPANSION ANCHOR	QTY.	QUANTITY
E.A.	EXPANSION JOINT	R	RADIUS
E.	EACH	R.O.	ROUGH OPENING
EL.	ELEVATION	R.O.W. or R.W.	RIGHT OF WAY
EL.	ELEVATION	REF.	REFERENCE
ELEV.	ELEVATOR	REINF.	REINFORCED
EQ.	EQUAL	RECO.	REQUIRED
EQUIP.	EQUIPMENT	RET.	RETURN
EST.	ESTIMATE	REV.	REVISION
EXCAVATE	EXCAVATE	RM	ROOM
EXH.	EXHAUST	RMV.	REMOVE
EXIST. or E	EXISTING	S.C.	SOLID CORE
EXT.	EXTERIOR	S.D.	SMOKE DETECTOR
F.A.	FIRE ALARM	S.O.V.	SHUT OFF VALVE
F.C.	FAN COIL	S/L	SKYLIGHT
F.C.O.	FLOOR CLEAN OUT	S/S	STAINLESS STEEL
F.D.	FLOOR DRAIN	SC	SELF CLOSING
F.E.	FIRE EXTINGUISHER	SCHED.	SCHEDULE
F.N.	FIELD NAILING	SECT.	SECTION
F.O.	FACE OF	SH	SHEET
F.S.	FLOOR SINK	SM	SIMILAR
F.G.	FIBERGLASS	SPEC.	SPECIFICATIONS
FAB.	FABRICATE	SPKR	SPEAKER
FACP	FIRE ALARM CONTROL PANEL	SO. FT.	SQUARE FEET
FDC	FIRE DEPARTMENT CONNECTION	SO. IN.	SQUARE INCHES
FND.	FUNDATION	STC	SOUND TRANSMISSION CLASS
PHC	FIRE HOSE CABINET	STD.	STANDARD
FIN.	FINISH	STL.	STEEL
FL.	FLOOR	SUSP.	SUSPENDED
FLG.	FLOORING	SW	SWITCH
FLUOR.	FLUORESCENT	SYM.	SYMMETRICAL
FP	FIRE PROOF	SYS.	SYSTEM
FTG.	FOOTING	T & G	TONGUE AND GROOVE
FURN.	FURNISH	T.B.	THROUGH BOLT
G.I.	GALVANIZED IRON	T.O.	TOP OF
GALV.	GALVANIZED	T.O.B.	TOP OF BEAM
GAR.	GARAGE	T.O.C.	TOP OF CURB
GFI	GROUND FAULT CIRCUIT INTERRUPTER	T.O.F.	TOP OF FOOTING
GL.	GLASS	T.O.J.	TOP OF JOIST
GLB	GLUE LAMINATED BEAM	T.O.M.	TOP OF MASONRY
GM	GRADE MARK	T.O.S.	TOP OF SLAB
GM	GATE VALVE	T.O.W.	TOP OF WALL
GR.	GYPSUM	T.S.	TELEVISION OUTLET
H.C.	HOSE BIBB	TL	TELEPHONE
H.	HOLLOW CORE	TH.	THRESHOLD
H.M.	HOLLOW METAL	THD.	THREADED
HSC	HANDICAPPED	THK.	THICK
HDBD	HARDBOARD	TLT.	TOILET
HDW	HARDWARE	TRANS.	TRANSFORMER
HT or HT.	HIGH TIGHT	TRP.	TYPICAL
HR	HORIZONTAL	UNF.	UNFINISHED
HO.	HOT WATER	UR.	URINAL
HO.	HOT WATER	V.B.	VAPOR BARRIER
HYD.	HYDRAULIC	V.F.	VARIER IN FIELD
ID	INTERCOM OUTLET	VCT	VINYL COMPOSITION TILE
ICD	INSIDE DIAMETER	VERT.	VERTICAL
IF.	INSIDE FACE	W.C.	WATER CLOSURE
ID	IDENTIFICATION	WDW	WINDOW
INCL.	"INCLUDE INCLUSIVE"	WANSO.	WANSOET
INSUL.	INSULATING	WP	WEATHER-PROOF
INT.	INTERIOR	W	WEIGHT
		W/	WITH
		WO.	WITHOUT
		WOOD	WOOD
		YO.	YARD

CARPET

- THIS SECTION INCLUDES THE FOLLOWING:
A. CARPETING
B. INSTALLATION
C. ACCESSORIES
D. CUSHION
(REFER TO FINISH PLAN FOR SCHEDULE OF WHICH ITEMS ABOVE ARE BEING USED IN THIS PROJECT)
- SUBMIT PRODUCT DATA FOR EACH TYPE OF CARPET MATERIAL AND INSTALLATION ACCESSORY REQUIRED. SUBMIT WRITTEN DATA ON PHYSICAL CHARACTERISTICS, DURABILITY, RESISTANCE TO FADING AND FLAME RESISTANCE CHARACTERISTICS
- SUBMIT SHOP DRAWINGS SHOWING LAYOUT AND SEAMING DIAGRAMS. INDICATE FILE OR PATTERN DIRECTIONS AND LOCATION AND TYPE OF EDGE STRIPS. INDICATE COLUMNS, DOORWAYS, ENCLOSING WALLS OR PARTITIONS, BUILT-IN CABINETS AND LOCATIONS WHERE CUTOUTS ARE REQUIRED IN CARPET. SHOW INSTALLATION DETAILS AT SPECIAL CONDITIONS.
- SUBMIT SAMPLES SHOWING FULL RANGE OF COLOR, TEXTURE, AND PATTERN VARIATIONS EXPECTED. PREPARE SAMPLES FROM SAME MATERIAL TO BE USED FOR THE WORK. SUBMIT, AS A MINIMUM:
A. 12 INCH SQUARE SAMPLE OF EACH TYPE OF CARPET MATERIAL REQUIRED.
B. 12 INCH LONG SAMPLE OF EACH TYPE OF EDGE STRIPPING AND ACCESSORY ITEM.
C. 6 INCH SQUARE OF EACH TYPE OF CARPET CUSHION.
- ALL CARPETING SHALL PASS DCO-FF-1-70 TEST.
- ALL CARPET CUSHION SHALL PASS DCO-FF-1-70 TEST AND HAVE A FLAME SPREAD OF 25 OR LESS BY ASTM E 84.
- DELIVER MATERIALS TO PROJECT SITE IN ORIGINAL FACTORY WRAPPINGS AND CONTAINERS, LABELED WITH IDENTIFICATION OF MANUFACTURER, BRAND NAME, AND LOT NUMBER.
- STORE MATERIALS INSIDE WELL VENTILATED AREA PROTECTED FROM WEATHER, MOISTURE, SOLAGE, EXTREME TEMPERATURES AND HUMIDITY. PROJECT SHALL MEET THE FOLLOWING CONDITIONS:
A. NO CONDENSATION WITH 48 HOURS ON UNDERSIDE OF 4 FOOT BY 4 FOOT POLYETHYLENE SHEET, FULLY TAPED AT PERIMETER TO SUBSTRATE.
B. pH OF 9 OR LESS WHEN SUBSTRATE WETTED WITH POTABLE WATER AND pHYDRON PAPER APPLIED.
- FURNISH EXTRA MATERIALS MATCHING PRODUCTS INSTALLED AS CALLED FOR IN THE CONTRACT DRAWINGS, PACKAGED WITH PROTECTIVE COVERING FOR STORAGE AND IDENTIFIED WITH LABELS DESCRIBING CONTENTS, IN THE FOLLOWING AMOUNTS:
A. CARPET: BEFORE INSTALLATION BEGINS, FURNISH QUANTITY OF FULL WIDTH FOR EACH TYPE OF MATERIAL, EQUAL TO 5 PERCENT OF AMOUNT INSTALLED.
- CLEAR AWAY DEBRIS AND SCRAPE UP CEMENTITIOUS DEPOSITS FROM CONCRETE SURFACES TO RECEIVE CARPET. APPLY SEALER TO PREVENT DUSTING.
- PATCH HOLES AND LEVEL TO A SMOOTH SURFACE. IF PREVIOUS FINISH IS CHEMICALLY STRIPPED, RESEAL CONCRETE. SEAL POWDERY OR POROUS SURFACES WITH SEALER RECOMMENDED BY CARPET MFR.
- COMPLY WITH MANUFACTURERS' RECOMMENDATIONS FOR SEAM LOCATIONS AND DIRECTION OF CARPET. MAINTAIN UNIFORMITY OF CARPET DIRECTION AND LAY OF PILE. AT DOORWAYS, CENTER SEAMS UNDER DOOR IN CLOSED POSITION. DO NOT PLACE SEAMS SO AS TO BE PERPENDICULAR TO DOOR FRAMES. DO NO BRIDGE BUILDING EXPANSION JOINTS WITH CONTINUOUS CARPET.
- EXTEND CARPET UNDER REMOVABLE FLANGES AND FURNISHINGS AND INTO ALCOVES AND CLOSETS OF EACH SPACE.
- PROVIDE CUTOUTS WHERE REQUIRED, AND BIND CUT EDGES WHERE NOT CONCEALED BY PROTECTIVE EDGE GUARDS OR OVERLAPPING FLANGES.
- INSTALL CARPET EDGE GUARD WHERE EDGE OF CARPET IS EXPOSED. ANCHOR GUARDS TO SUBSTRATE.
- INSTALL TACKLESS CARPET STRIPPING BY NAILING. LOCATE TO ENSURE CONCEALMENT OF CARPET EDGE BETWEEN STRIPPING AND BASE OF WALL. LAY STRIP AT ENTIRE PERIMETER OF CARPETED SPACE, CUTOUTS AND OBSTRUCTIONS. PROVIDE NARROW STRIPPING WITH 2 ROWS OF PINS WHERE STRETCHED WIDTH OF CARPET IS 20 FEET OR LESS. STRIPPING WITH 3 ROWS OF PINS WHERE CARPET WIDTH EXCEEDS 20 FEET.
- INSTALL CUSHION SEAMS AT 90 DEGREE ANGLE WITH CARPET SEAMS. PLACE CUSHION FACE UP AS RECOMMENDED BY CUSHION MFR. APPLY MINIMUM 2 INCH FABRIC TYPE ADHESIVE TAPE ON CUSHION SEAMS. IN RAMPED FLOOR AREAS, INCREASE ANCHORAGE OR ADHESIVE. BOND CARPET CUSHION TO SUBSTRATE.
- INSTALL WITH PATTERN PARALLEL TO WALLS AND BORDERS.
- STRETCH CARPET TO PROVIDE SMOOTH, RIPLEE FREE, TAUT EDGES. USE POWER STRETCHER WHERE CARPET LENGTH IS GREATER THAN 20 FEET.
- FIT SECTIONS OF CARPET PRIOR TO APPLICATION OF ADHESIVE. TRIM EDGES AND BUTT CUTS WITH SEAMING CEMENT.
- APPLY ADHESIVE UNIFORMLY TO SUBSTRATE IN ACCORDANCE WITH MFR'S INSTRUCTIONS BUTT EDGES TIGHT TO FORM SEAMS WITHOUT GAPS. ROLL ENTIRE AREA LIGHTLY TO ELIMINATE AIR POCKETS AND ENSURE UNIFORM BOND.
- REMOVE ADHESIVE FROM CARPET SURFACE WITH MANUFACTURERS RECOMMENDED CLEANING AGENT.
- REMOVE AND DISPOSE OF DEBRIS AND UNUSABLE SCRAPS. VACUUM WITH COMMERCIAL MACHINE WITH FACE-BEATER ELEMENT. REMOVE SOIL. REPLACE CARPET WHERE SOIL CANNOT BE REMOVED. REMOVE PROTRUDING FACE YARN. VACUUM CARPET.
- PROVIDE FINAL PROTECTION AND MAINTAIN CONDITIONS, IN A MANNER ACCEPTABLE TO MANUFACTURER AND INSTALLER, TO ENSURE CARPET IS NOT DAMAGED OR DETERIORATED AT TIME OF SUBSTANTIAL COMPLETION.

RESILIENT TILE FLOORING

- THIS SECTION INCLUDES THE FOLLOWING:
A. HOMOGENEOUS (SOLID) VINYL FLOOR TILE
B. RUBBER FLOOR TILE
C. VINYL COMPOSITION FLOOR TILE
D. RESILIENT VINYL WALL BASE
(REFER TO FINISH PLAN FOR SCHEDULE OF WHICH ITEMS ABOVE ARE BEING USED IN THIS PROJECT)
- SUBMIT PRODUCT DATA FOR EACH TYPE OF PRODUCT SPECIFIED, INCLUDING CERTIFICATION BY THE MANUFACTURER THAT PRODUCTS SUPPLIED FOR TILE INSTALLATION COMPLY WITH LOCAL REGULATIONS CONTROLLING USE OF VOLATILE ORGANIC COMPOUNDS (VOC'S).
- SUBMIT SAMPLES FOR INITIAL SELECTION PURPOSES IN FORM OF MANUFACTURERS COLOR CHARTS CONSISTING OF ACTUAL TILES OR SECTIONS OF TILES SHOWING FULL RANGE OF COLORS AND PATTERNS AVAILABLE FOR EACH TYPE OF RESILIENT FLOOR TILE. INDICATED.
- SINGLE SOURCE RESPONSIBILITY: OBTAIN EACH TYPE, COLOR AND PATTERN OF TILES FROM A SINGLE SOURCE WITH RESOURCES TO PROVIDE PRODUCTS OF CONSISTENT QUALITY IN APPEARANCE AND PHYSICAL PROPERTIES WITHOUT DELAYING PROGRESS OF THE WORK.
- FIRE PERFORMANCE CHARACTERISTICS: PROVIDE RESILIENT FLOOR TILE AND WALL BASE WITH THE FOLLOWING FIRE PERFORMANCE QUALITIES AS DETERMINED BY TESTING PRODUCTS PER ASTM TEST METHOD INDICATED BELOW BY UL OR ANOTHER TESTING AND INSPECTING AGENCY
A. CRITICAL RADIANT FLUX: 0.45 WATTS PER SQ. CM OR MORE PER ASTM E 648.
B. SMOKE DENSITY: LESS THAN 450 PER ASTM E 662.
- DELIVER TILES AND INSTALLATION ACCESSORIES TO PROJECT SITE IN ORIGINAL MANUFACTURERS UNOPENED CARTONS AND CONTAINERS EACH BEARING NAMES OF PRODUCT AND MANUFACTURER, PROJECT IDENTIFICATION, SHIPPING AND HANDLING INSTRUCTIONS.
- STORE FLOORING MATERIALS IN DRY SPACES PROTECTED FROM THE WEATHER WITH AMBIENT TEMPERATURES MAINTAINED BETWEEN 50 DEGREES F AND 90 DEGREES F.
- MAINTAIN A MINIMUM TEMPERATURE OF 70 DEGREES F IN SPACES TO RECEIVE TILES FOR AT LEAST 48 HOURS PRIOR TO INSTALLATION, DURING INSTALLATION AND FOR NOT LESS THAN 48 HOURS AFTER INSTALLATION. AFTER THIS PERIOD, MAINTAIN A TEMPERATURE OF NOT LESS THAN 55 DEGREES F.
- INSTALL TILES AND ACCESSORIES AFTER OTHER FINISHING OPERATIONS, INCLUDING PAINTING HAVE BEEN COMPLETED.
- DO NOT INSTALL TILES OVER CONCRETE SLABS UNTIL THE SLABS HAVE BEEN CURED AND ARE SUFFICIENTLY DRY TO BOND WITH ADHESIVE AS DETERMINED BY TILE MANUFACTURERS RECOMMENDED BOND AND MOISTURE TEST.
- DELIVER EXTRA MATERIALS TO OWNER. FURNISH EXTRA MATERIALS MATCHING PRODUCTS INSTALLED AS DESCRIBED BELOW, PACKAGED WITH PROTECTIVE COVERING FOR STORAGE AND IDENTIFIED WITH LABELS DESCRIBING CONTENTS. A. FURNISH NOT LESS THAN ONE BOX FOR EACH 50 BOXES OR FRACTION THEREOF. OF EACH CLASS, WEARING SURFACE, COLOR, PATTERN AND SIZE OF RESILIENT FLOOR TILE AND WALL BASE INSTALLED.
- HOMOGENEOUS (SOLID) VINYL TILE: PRODUCTS SHALL COMPLY WITH FF SS-312, TYPE III AND WITH REQUIREMENTS SPECIFIED ON THE DRAWINGS.
- MOLDED PATTER RUBBER FLOOR TILE: PRODUCTS SHALL COMPLY WITH ASTM F 1344 AND REQUIREMENTS SPECIFIED ON DRAWINGS.
- VINYL COMPOSITION FLOOR TILE: PRODUCTS SHALL COMPLY WITH ASTM F 1066, COMPOSITION 1 (NON-ASBESTOS FORMULATED) AND WITH REQUIREMENTS SPECIFIED ON DRAWINGS.
- RESILIENT VINYL WALL BASE: PRODUCTS SHALL COMPLY WITH FF SS-W-40 AND REQUIREMENTS SPECIFIED ON DRAWINGS.
- PROVIDE THE FOLLOWING ACCESSORY MATERIALS FOR INSTALLATION:
A. CONCRETE SLAB PRIMER. NONSTAINING TYPE AS RECOMMENDED BY FLOORING MANUFACTURER
B. TROWELABLE UNDERLAYMENTS AND PATCHING COMPOUNDS: LATEX MODIFIED, PORTLAND CEMENT BASED FORMULATION PROVIDED OR APPROVED BY TILE MANUFACTURER FOR APPLICATIONS INDICATED.
C. ADHESIVES (CEMENTS): WATER RESISTANT TYPE RECOMMENDED BY TILE MANUFACTURER TO SUIT RESILIENT FLOOR TILE PRODUCTS AND SUBSTRATE CONDITIONS INDICATED.
D. METAL EDGE STRIPS: EXTRUDED ALUMINUM WITH MILL FINISH OF WIDTHS AND HEIGHTS REQUIRED TO PROTECT EXPOSED EDGE OF TILES AND IN MAXIMUM AVAILABLE LENGTHS TO MINIMIZE RUNNING JOINTS.
- EXAMINE AREAS WHERE INSTALLATION OF TILES WILL OCCUR, WITH INSTALLER PRESENT TO VERIFY THAT SUBSTRATES AND CONDITIONS ARE SATISFACTORY FOR TILE INSTALLATION AND COMPLY WITH TILE MFRS REQUIREMENTS.
- VERIFY SLAB SUBSTRATES ARE DRY AND FREE OF CURING COMPOUNDS, SEALERS, HARDENERS AND OTHER MATERIALS WHOSE PRESENCE WOULD INTERFERE WITH BONDING OF ADHESIVE. DETERMINE ADHESION AND DRYNESS CHARACTERISTICS BY PERFORMING BOND AND MOISTURE TESTS RECOMMENDED BY TILE MANUFACTURER.
- VERIFY SUBFLOORS ARE FREE OF CRACKS, RIDGES, DEPRESSIONS, SCALE AND FOREIGN DEPOSITS OF ANY KIND.
- DO NOT PROCEED WITH INSTALLATION UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- COMPLY WITH MANUFACTURERS INSTALLATION SPECIFICATIONS TO PREPARE SUBSTRATES INDICATED TO RECEIVE TILE:
A. USE TROWABLE LEVELINGS AND PATCHING COMPOUNDS PER TILE MFRS DIRECTIONS TO FILL CRACKS, HOLES AND DEPRESSIONS.
B. REMOVE COATINGS INCLUDING CURING COMPOUNDS, AND OTHER SUBSTANCES THAT ARE INCOMPATIBLE WITH FLOORING ADHESIVES AND THAT CONTAIN SOAP, WAX, SILICONE, ETC. BY USING A TERRAZZO OR CONCRETE GRINDER, DRUM SANDER OR A POLISHING MACHINE EQUIPPED WITH A HEAVY DUTY WIRE BRUSH.
C. BROOM OR VACUUM CLEAN SUBSTRATE TO BE COVERED BY TILES IMMEDIATELY BEFORE TILE INSTALLATION. FOLLOWING CLEANING, EXAMINE SUBSTRATES FOR MOISTURE, ALKALINE SALTS, CARBONATION OR DUST.
D. APPLY CONCRETE SLAB PRIMER, IF RECOMMENDED BY FLOORING MFR, PRIOR TO APPLYING ADHESIVE. APPLY ACCORDING TO MFRS DIRECTION.
- WHERE DEMOUNTABLE PARTITIONS AND OTHER ITEMS ARE INDICATED FOR INSTALLING ON TOP OF FINISHED FLOOR, INSTALL TILE BEFORE THESE ITEMS ARE INSTALLED.
- SCRIBE, CUT AND FIT TILES TO BUTT TIGHTLY TO VERTICAL SURFACES, PERMANENT FIXTURES, BUILT-IN FURNITURE INCLUDING CABINETS, PIPES, OUTLETS, EDGES, THRESHOLDS AND NOSINGS.
- PERFORM THE FOLLOWING OPERATIONS IMMEDIATELY AFTER COMPLETING TILE INSTALLATION:
A. REMOVE VISIBLE ADHESIVE AND OTHER SURFACE BLEMISHES USING CLEANER RECOMMENDED BY TILE MFR.
B. SWEEP OR VACUUM FLOOR THOROUGHLY.
C. DO NOT WASH FLOOR UNTIL AFTER TIME PERIOD RECOMMENDED BY TILE MFR.
D. DAMP MOP TILE TO REMOVE BLACK MARKS AND SOIL.
- APPLY PROTECTIVE FLOOR POLISH TO TILE SURFACES THAT ARE FREE FROM SOIL, VISIBLE ADHESIVE AND SURFACE BLEMISHES.
- COORDINATE SELECTION OF FLOOR POLISH WITH OWNERS MAINTENANCE SERVICE.

CERAMIC TILE

- ANSI TILE INSTALLATION STANDARDS. COMPLY WITH PARTS OF ANSI A108 SERIES "SPECIFICATIONS FOR INSTALLATION OF CERAMIC TILE" THAT APPLY TO TYPES OF SETTING AND GROUTING MATERIALS AND TO METHODS INDICATED IN CERAMIC TILE INSTALLATION SCHEDULES.
- TCA INSTALLATION GUIDELINES. TCA'S "HANDBOOK FOR CERAMIC TILE INSTALLATION." COMPLY WITH TCA INSTALLATION METHODS INDICATED IN CERAMIC TILE INSTALLATION SCHEDULES.
- EXTEND TILE WORK INTO RECESSES AND UNDER OR BEHIND EQUIPMENT AND FIXTURES TO FORM COMPLETE COVERING WITHOUT INTERRUPTIONS, UNLESS OTHERWISE INDICATED. TERMINATE WORK NEATLY AT OBSTRUCTIONS, EDGES, AND CORNERS WITHOUT DISRUPTING PATTERN OR JOINT ALIGNMENTS.
- ACCURATELY FORM INTERSECTIONS AND RETURNS. PERFORM CUTTING AND DRILLING OF TILE WITHOUT MARKING VISIBLE SURFACES. GRIND CUT EDGES OF TILE ABUTTING TRIM, FINISH, OR BUILT-IN ITEMS. FIT TILE CLOSELY TO ELECTRICAL OUTLETS, PIPING, FIXTURES, AND OTHER PENETRATIONS SO PLATES, COLLARS, OR COVERS OVERLAP TILE.
- JOINTING PATTERN: LAY TILE IN GRID PATTERN, UNLESS OTHERWISE INDICATED. ALIGN JOINTS WHEN ADJOINING TILES ON FLOOR, BASE, WALLS, AND TRIM ARE SAME SIZE. LAY OUT TILE WORK AND CENTER TILE FIELDS IN BOTH DIRECTIONS IN EACH SPACE OR ON EACH WALL AREA. ADJUST TO MINIMIZE TILE CUTTING. PROVIDE UNIFORM JOINT WIDTHS, UNLESS OTHERWISE INDICATED.
- LAY OUT TILE WAINSCOTS TO NEXT FULL TILE BEYOND DIMENSIONS FILLED.
- EXPANSION JOINTS: LOCATE EXPANSION JOINTS AND OTHER SEALANT-FILLED JOINTS DURING INSTALLATION OF SETTING MATERIALS, MORTAR BEDS, AND TILE. DO NOT SAW-CUT JOINTS AFTER INSTALLING TILES.
- LOCATE JOINTS IN TILE SURFACES DIRECTLY ABOVE JOINTS IN CONCRETE SUBSTRATES.
PREPARE JOINTS AND APPLY SEALANTS TO COMPLY WITH REQUIREMENTS IN DIVISION 7 SECTION "JOINT SEALANTS."
- GROUT TILE TO COMPLY WITH REQUIREMENTS OF ANSI A108.10, UNLESS OTHERWISE INDICATED.
FOR CHEMICAL-RESISTANT EPOXY GROUTS, COMPLY WITH ANSI A108.6.
- AT SHOWERS, TUBS, AND WHERE INDICATED, INSTALL CEMENTITIOUS BACKER UNITS AND TREAT JOINTS TO COMPLY WITH ANSI A108.11.
- INSTALL WATERPROOFING TO COMPLY WITH ANSI A108.13 AND WATERPROOFING MANUFACTURERS WRITTEN INSTRUCTIONS TO PRODUCE WATERPROOF MEMBRANE OF UNIFORM THICKNESS BONDED SECURELY TO SUBSTRATE.
DO NOT INSTALL TILE OVER WATERPROOFING UNTIL WATERPROOFING HAS CURED AND BEEN TESTED TO DETERMINE THAT IT IS WATERTIGHT.
- FOR INSTALLATIONS INDICATED BELOW, FOLLOW PROCEDURES IN ANSI A108 SERIES TILE INSTALLATION STANDARDS FOR PROVIDING 95 PERCENT MORTAR COVERAGE:
A. EXTERIOR TILE FLOORS.
B. TILE FLOORS IN WET AREAS.
C. QUARRY TILE: 1/4 INCH (6.35 MM) 3/8 INCH (9.5 MM).
D. TILE FLOORS IN LAUNDRIES.
E. TILE FLOORS COMPOSED OF TILES 8 BY 8 INCHES (200 BY 200 MM) OR LARGER.
F. TILE FLOORS COMPOSED OF RIB-BACKED TILES.
- INSTALL TILE ON FLOORS WITH THE FOLLOWING JOINT WIDTHS:
A. CERAMIC MOSAIC TILE: 1/16 INCH (1.6 MM).
B. QUARRY TILE: 1/4 INCH (6.35 MM) 3/8 INCH (9.5 MM).
C. PAVER TILE: 1/4 INCH (6.35 MM), 3/8 INCH (9.5 MM).
- STONE THRESHOLDS: INSTALL STONE THRESHOLDS AT LOCATIONS INDICATED, SET IN SAME TYPE OF SETTING BED AS ABUTTING FLOOR TILE, UNLESS OTHERWISE INDICATED.
A. SET THRESHOLDS IN LATEX-PORTLAND CEMENT MORTAR FOR LOCATIONS WHERE MORTAR BED WOULD OTHERWISE BE EXPOSED ABOVE ADJACENT NOTFLE FLOOR FINISH.
- METAL EDGE STRIPS: INSTALL AT LOCATIONS INDICATED OR WHERE EXPOSED EDGE OF TILE FLOORING MEETS CARPET, WOOD, OR OTHER FLOORING THAT FINISHES FLUSH WITH TOP OF TILE.
- INSTALL METAL LATH AND SCRATCH COAT FOR WALLS TO COMPLY WITH ANSI A108.1A, SECTION 4.1.
- INSTALL TILE ON WALLS WITH THE FOLLOWING JOINT WIDTHS:
A. CERAMIC MOSAIC TILE: 1/16 INCH (1.6 MM).
B. GLAZED WALL TILE: 1/16 INCH (1.6 MM).
C. QUARRY TILE: 1/4 INCH (6.35 MM).
- APPLY GROUT SEALER TO GROUT JOINTS IN TILE FLOORS ACCORDING TO GROUT SEALER MANUFACTURERS WRITTEN INSTRUCTIONS. AS SOON AS GROUT SEALER HAS PENETRATED GROUT JOINTS, REMOVE EXCESS SEALER AND SEALER THAT HAS GOTTEN ON TILE FACES BY WIPING WITH SOFT CLOTH.

STRUCTURAL STEEL

- THIS SECTION INCLUDES THE FOLLOWING:
A. STRUCTURAL STEEL
- OPEN WEB STEEL JOISTS
- STEEL ROOF DECK
- ROLLED STEEL MATERIAL, FABRICATION AND ERECTION SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, (AISC), DESIGN SPECIFICATIONS.
- OPEN WEB STEEL JOISTS SHALL CONFORM TO STEEL JOIST INSTITUTE'S STANDARD SPECIFICATIONS LOAD TABLES AND WEIGHT TABLES.
- STEEL ROOF DECK SHALL CONFORM TO STEEL DECK INSTITUTE'S SPECIFICATIONS AND COMMENTARY FOR STEEL ROOF DECK.
- SUBMITTALS: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT SHOWING FABRICATION OF ALL STRUCTURAL STEEL COMPONENTS, INDICATING LAYOUT, SPACING, DETAILS OF JOINING AND ANCHORAGE, SPLICE AND CONNECTION LOCATIONS DETAILS AND ATTACHMENT TO OTHER CONSTRUCTION.
- HIGH STRENGTH BOLTS, NUTS AND WASHERS: A325, UNLESS INDICATED OTHERWISE ON DRAWINGS.
- PRIMER: FABRICATORS STANDARD LEAD AND CHROMATE FREE, NONASPHALTIC, RUST-INHIBITING PRIMER.
- GROUT: NONMETALLIC, SHRINKAGE RESISTANT GROUT. ASTM C 1107, FACTORY PACKAGED, NONCORROSIVE, NONSTAINING, MIXED WITH WATER TO CONSISTENCY SUITABLE FOR APPLICATION AND A 30 MINUTE WORK TIME.
- WELDED CONNECTIONS: COMPLY WITH AWS D1.1 FOR WELDING PROCEDURE SPECIFICATIONS.
- ERECTION: VERIFY ELEVATIONS OF ALL BEARING SURFACES AND LOCATIONS OF ANCHOR RODS, BEARING PLATES AND OTHER EMBEDMENTS. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- BASE AND BEARING PLATES: SET PLATES ON WEDGES, SHIMS OR SETTING NUTS AS REQUIRED. TIGHTEN BOLTS AFTER STEEL HAS BEEN POSITIONED AND PLUMBED. PACK GROUT SOLIDLY BETWEEN BEARING SURFACES AND PLATES SO NO VOIDS REMAIN. COMPLY WITH MANUFACTURERS WRITTEN INSTRUCTIONS FOR INSTALLING GROUT.

ARCHITECTURAL WOODWORK (CASEWORK)

- THIS SECTION INCLUDES THE FOLLOWING:
A. WOOD CABINETS
B. PLASTIC LAMINATE CLAD CABINETS
C. COUNTERTOPS
D. MISC. WOOD TRIM AND CAPS
E. WOOD DOOR FRAMES
(REFER TO DRAWINGS TO SEE WHICH OF THE ABOVE ITEMS ARE PART OF THIS CONTRACT)
- ALL WOODWORK SHALL CONFORM TO REQUIREMENTS OF "ARCHITECTURAL WOODWORK QUALITY STANDARDS," PUBLISHED BY THE ARCHITECTURAL WOODWORK INSTITUTE, (AWI), LATEST EDITION.
- SUBMIT SHOP DRAWINGS SHOWING LOCATION OF EACH ITEM, DIMENSIONED PLANS AND ELEVATIONS, LARGE SCALE DETAILS, ATTACHMENT DEVICES AND OTHER COMPONENTS.
- SUBMIT SAMPLES FOR INITIAL SELECTION PURPOSES OF THE FOLLOWING IN FORM OF MANUFACTURERS COLOR CHARTS, SHOWING FULL RANGE OF COLORS, TEXTURES AND PATTERNS AVAILABLE FOR EACH TYPE OF MATERIAL INDICATED.
A. PLASTIC LAMINATE
B. LUMBER WITH TRANSPARENT OR OPAQUE FACTORY APPLIED FINISH.
C. WOOD VENEER PANELS WITH TRANSPARENT OR OPAQUE FACTORY APPLIED FINISH
D. ALL HARDWARE ITEMS.
- ONLY FIRMS EXPERIENCED IN SUCCESSFULLY PRODUCING ARCHITECTURAL WOODWORK SIMILAR TO THAT INDICATED FOR THIS PROJECT, WITH SUFFICIENT PRODUCTION CAPACITY TO PRODUCE REQUIRED UNITS WITH OUT CAUSING DELAY IN THE WORK, SHALL BE AWARDED A CONTRACT FOR THIS PROJECT.
- ALL WOODWORK SHALL BE FROM A SINGLE SOURCE. THIS SHALL INCLUDE ALL FABRICATION, FINISHING AND INSTALLATION.
- DO NOT DELIVER WOODWORK UNTIL PAINTING, WET WORK, GRINDING AND SIMILAR OPERATIONS THAT COULD DAMAGE, SOIL, OR DETERIORATE WOODWORK HAVE BEEN COMPLETED. PROTECT WOODWORK DURING TRANSIT, DELIVERY, STORAGE AND HANDLING.
- WHERE WOODWORK IS INDICATED TO BE FITTED TO OTHER CONSTRUCTION, CHECK ACTUAL DIMENSIONS OF OTHER CONSTRUCTION BY ACCURATE FIELD MEASUREMENTS BEFORE MANUFACTURING WOODWORK. SHOW ALL RECORDED MEASUREMENTS ON FINAL SHOP DRAWINGS. COORDINATE MANUFACTURING SCHEDULE WITH CONSTRUCTION PROGRESS TO AVOID DELAY OF WORK.
- FOR STANDING AND RUNNING TRIM AND RAILS, COMPLY WITH AWI SECTION 300, BACKOUT OR GROOVE BACKS OF FLAT TRIM MEMBERS AND KERF BACKS OF OTHER WIDE, FLAT MEMBERS. DO NOT RUN KERFS AND GROOVES TO THE ENDS OF TRIM PIECES THAT ARE EXPOSED TO VIEW.
- FOR WOOD CABINETS WITH A TRANSPARENT FINISH, COMPLY WITH AWI SECTION 400 AND ITS DIVISION 400A, PREMIUM GRADE. REFER TO THE DRAWINGS FOR DETAILS OF CONSTRUCTION.
- FOR PLASTIC LAMINATE CLAD CABINETS, COMPLY WITH AWI SECTION 400 AND ITS DIVISION 400B, PREMIUM GRADE. REFER TO DRAWINGS FOR DETAILS OF CONSTRUCTION. PLASTIC LAMINATE CLADDING SHALL COMPLY WITH THE FOLLOWING:
A. HORIZONTAL SHELF SURFACES: GP-50 (0.050 INCH)
B. OTHER SURFACES: GP-28 (0.028 INCH) UNLESS NOTED OTHERWISE
C. EDGES, UNLESS NOTED OTHERWISE, PVC 3MM THICK, MATCHING IN COLOR OR PLASTIC LAMINATE.
D. INSIDE OF CABINETS, BACKS OF DOORS AND DRAW FRONTS AND OTHER SURFACES EXPOSED TO VIEW ONLY WHEN THE CABINET IS OPENED, SHALL BE FINISHED WITH PLASTIC LAMINATE. COLOR SHALL BE SELECTED BY ARCHITECT.
- FOR COUNTERTOPS, COMPLY WITH AWI SECTION 400 AND ITS DIVISION 400C, PREMIUM GRADE. REFER TO DRAWINGS FOR DETAILS OF CONSTRUCTION. PLASTIC LAMINATE CLADDING SHALL COMPLY WITH THE FOLLOWING:
A. HORIZONTAL TOP SURFACES, GP-50 (0.050 INCH)
B. OTHER SURFACES, GP-28 (0.028 INCH), UNLESS NOTED OTHERWISE
C. EDGES, SELF EDGED, UNLESS NOTED OTHERWISE.
- FOR INTERIOR WOOD DOOR FRAMES, COMPLY WITH AWI SECTION 900B. REFER TO DRAWINGS FOR DETAILS OF CONSTRUCTION.
- BEFORE INSTALLING ARCHITECTURAL WOODWORK, EXAMINE SHOP FABRICATED WORK FOR COMPLETION AND COMPLETE WORK AS REQUIRED INCLUDING BACK PRIMING AND REMOVAL OF PACKING.
- INSTALL WOODWORK IN COMPLIANCE WITH AWI SECTION 1700 FOR PREMIUM GRADE WOODWORK.
- INSTALL WOODWORK PLUMB, LEVEL, TRUE AND STRAIGHT WITH NO DISTORTIONS. SHIM AS REQUIRED WITH CONCEALED SHIMS. INSTALL TO A TOLERANCE OF 1/8 INCH IN 8'-0" FOR PLUMB AND LEVEL (INCLUDING TOPS) AND WITH NO VARIATIONS IN FLUSHNESS OF ADJOINING SURFACES.
- SCRIBE AND CUT ALL WOODWORK TO FIT ADJOINING WORK AND REFINISH CUT SURFACES OR REPAIR DAMAGED FINISH AT CUTS.
- INSTALL RUNNING AND STANDING TRIM AND RAILS WITH MINIMUM NUMBER OF JOINTS POSSIBLE, USING FULL LENGTH PIECES FROM MAXIMUM LENGTH OF LUMBER AVAILABLE TO THE GREATEST EXTENT POSSIBLE. STAGGER JOINTS IN ADJACENT AND RELATED MEMBERS. COPE AT INSIDE CORNERS AND MITER AT OUTSIDE CORNERS.
- INSTALL CABINETS WITHOUT DISTORTION SO THAT DOORS AND DRAWERS FIT OPENINGS PROPERLY AND ARE ACCURATELY ALIGNED. ADJUST HARDWARE TO CENTER DOORS AND DRAWERS IN OPENINGS AND TO PROVIDE UNENCLUMBERED OPERATION. COMPLETE THE INSTALLATION OF HARDWARE AND ACCESSORY ITEMS AS INDICATED. MAINTAIN VENEER MATCHING IF ANY, OF CABINETS WITH TRANSPARENT FINISH.
- INSTALL COUNTERTOPS SECURELY TO BASE UNITS, FILE CABINETS OR OTHER SUPPORT SYSTEM.
- CLEAN, LUBRICATE AND ADJUST ALL HARDWARE. CLEAN ALL WOODWORK, INCLUDING INSIDES OF ALL DRAWERS AND CABINETS. REPAIR OR REPLACE ALL DAMAGED ITEMS. PROTECT WOODWORK FROM DAMAGE OR DETERIORATION FROM TIME OF INSTALLATION TO TIME OF ACCEPTANCE BY THE OWNER.

ELECTRICAL

- ALL ELECTRICAL WORK SHALL CONFORM TO ALL REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND AUTHORITIES HAVING JURISDICTION
- ALL EQUIPMENT SHALL BE NEW AND U.L. APPROVED.
- ELECTRICAL DRAWINGS ARE DIAGRAMMATIC. SIZE, LOCATION OF EQUIPMENT AND WIRING ARE SHOWN TO SCALE WHERE POSSIBLE, BUT MAY BE DISTORTED FOR CLARITY ON THE DRAWINGS. FINAL LOCATIONS OF OUTLETS AND EQUIPMENT SHALL BE AS SHOWN ON ENLARGED DETAILS OR AS APPROVED BY THE ARCHITECT OR HIS REPRESENTATIVE. IT IS NOT WITHIN THE SCOPE OF DRAWINGS TO SHOW ALL THE NECESSARY BENDS, OFFSETS, PULL BOXES AND OBSTRUCTIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL HIS WORK TO CONFORM TO THE STRUCTURE.
- MAINTAIN HEAD ROOM AND KEEP OPENINGS AND PASSAGEWAYS CLEAR.
- CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND COMPARE THE DRAWINGS WITH THE EXISTING ELECTRICAL INSTALLATION AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS WITHIN THE SCOPE OF HIS WORK. BY THE ACT OF SUBMITTING A BID, THE ELECTRICAL CONTRACTOR WILL HAVE DEEMED TO HAVE MADE SUCH AN EXAMINATION AND THEREBY ACCEPTS SUCH CONDITIONS AND HAS MADE ALLOWANCES FOR SUCH IN HIS BID.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH ALL TRADES AND ALL ELECTRICAL REFERENCES AND NEEDS ON ALL DRAWING THAT MAKE UP THIS CONTRACT SET OF DRAWINGS AND SPECIFICATIONS, NOT JUST THAT WHICH IS SHOWN ON ELECTRICAL DRAWINGS.
- VERIFY LOCATIONS OF ALL ELECTRICAL EQUIPMENT WITH ARCHITECTURAL DRAWINGS AND INTERIOR DETAILS AND FINISHES. ALLOW FOR DIFFERENT THICKNESS OF FINISHES, CORRECT ERRORS IN LOCATIONS AND MOUNTING AT NO COST TO THE OWNER.
- FURNISH AND INSTALL WIRING FOR EQUIPMENT FURNISHED BY OTHERS AS SHOWN ON DRAWINGS. COORDINATE WITH OTHER TRADES FOR THEIR NEEDS. THE TERM, "WIRING," AS DEFINED HEREIN, INCLUDES FURNISHING AND INSTALLING CONDUIT, WIRE, JUNCTION BOXES, DISCONNECTS AND MAKING CONNECTIONS. CHECK ALL ARCHITECTURAL AND MECHANICAL DRAWINGS AND SPECIFICATIONS FOR EQUIPMENT TO BE INSTALLED BY OTHERS. CONTRACTOR IS RESPONSIBLE FOR PROPER WIRING AND NECESSARY ELECTRICAL ADJUSTMENTS TO THE EQUIPMENT TO CONFORM TO SPECIFIED REQUIREMENTS OF THE EQUIPMENT.
- OBTAIN AND PAY FOR ALL PERMITS AND FEES NECESSARY FOR EXECUTION AND COMPLETION OF ELECTRICAL WORK.
- CIRCUITS FOR ELECTRONIC EQUIPMENT, COMPUTERS AND DATA PROCESSING EQUIPMENT SHALL MEET SPECIAL REQUIREMENTS OF NATIONAL ELECTRICAL CODE, ARTICLE 645.
- UNLESS NOTED OTHERWISE, CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING OF EXISTING CONSTRUCTION NECESSARY FOR THE INSTALLATION OF ELECTRICAL WORK. PATCHING SHALL MATCH THE EXISTING IN MATERIAL, COLOR, TEXTURE AND WORKMANSHIP.
- REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL SPECIFICATIONS LISTING MATERIALS, EQUIPMENT AND MANUFACTURERS REQUIRED FOR THIS PROJECT.

PLUMBING

- ALL PLUMBING WORK SHALL COMPLY WITH THE NATIONAL PLUMBING CODE, LATEST EDITION.

CONCRETE

- ALL CONCRETE WORK IS DESIGNED ON THE BASIS OF "STRENGTH DESIGN" IN ACCORDANCE WITH ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE". ALL CONCRETE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 318.
- CONCRETE WORK SHALL BE PROPORTIONED IN ACCORDANCE WITH ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE" AND ACI 211.1, "RECOMMENDED PRACTICES FOR SELECTING PROPORTIONS FOR NORMAL WEIGHT CONCRETE", TO PRODUCE A 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI, UNLESS NOTED OTHERWISE.
- NO WATER SHALL BE ADDED TO THE CONCRETE MIX AT THE JOB SITE WITHOUT THE APPROVAL OF THE ENGINEER.
- ALL AGGREGATE SHALL CONFORM TO ASTM C-33.
- ADMIXTURES MAY BE USED ONLY AFTER THE REVIEW AND APPROVAL BY THE ARCHITECT.
- CONCRETE COVER FOR REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI 318, AND SHALL BE, MINIMALLY, AS LISTED BELOW:
SLABS - 3/4"
UNFORMED CONCRETE BELOW GRADE - 3"
FORMED CONCRETE BELOW GRADE - 2"
- ALL REINFORCING STEEL SHALL COMPLY WITH ASTM A 615 AND/OR ASTM A 617.
- ALL REINFORCING STEEL SHALL:
A. COMPLY WITH ASTM A 615 AND OR ASTM A 617
B. BE GRADE 60
C. BE SPLICED IN ACCORDANCE WITH ACI 318
BE ACCURATELY PLACED, RIGIDLY SUPPORTED AND FIRMLY TIED IN PLACE WITH BAR SUPPORTS AND SPACERS, IN ACCORDANCE WITH ACI 318 AND ACI 301.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 AND BE POSITIONED SO AS TO BE IN THE CENTER OF DEPTH OF THE SLAB.
- CONCRETE SLABS SHALL BE, UNLESS OTHERWISE NOTED, 4" THICK WITH 6X6-W1 4XW1 4 (6X6-10X10) WELDED WIRE FABRIC ON 6 MILL THICK POLYETHYLENE SHEET ON 4" COMPACTED GRAVEL OR CRUSHED STONE.
- JOINTS SHALL OCCUR A MAXIMUM OF 3 TIMES IN FEET THE DEPTH OF THE CONCRETE SLAB IN INCHES. FOR EXAMPLE, 4" SLAB SHALL HAVE JOINTS 12" ON CENTER MAXIMUM.

FIREBLOCKING

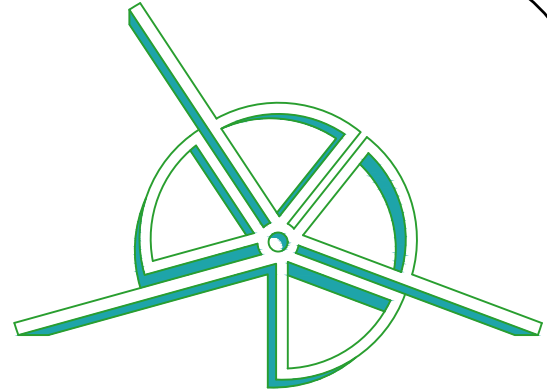
- FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD FRAMED CONSTRUCTION IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS AS FOLLOWS:
A. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
C. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
D. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
E. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
F. AROUND FIREPLACES AND CHIMNEYS.
- FIREBLOCKING MATERIALS SHALL BE ONE OF THE FOLLOWING:
A. NOMINAL 2 INCH THICK LUMBER.
B. 1/2 INCH THICK GYPSUM BOARD.
C. WITHIN WALL CAVITIES, MINERAL WOOL OR GLASS FIBER INSULATION THAT FILLS THE ENTIRE CROSS SECTION OF THE WALL CAVITY AND IS AT LEAST 16 INCHES HIGH SHALL, COMPLY WITH 10 FEET SPACING FOR FIREBLOCKING.

HVAC

- MATERIALS AND WORKMANSHIP, UNLESS NOTED OTHERWISE, SHALL BE IN ACCORDANCE WITH BUILDING STANDARDS. ALL MATERIALS AND EQUIPMENT SHALL BE NEW UNLESS NOTED OTHERWISE.
- ALL APPLICABLE CODES, LAWS AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS PROJECT ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS. THE CONTRACTOR SHALL PRIOR TO SUBMITTING A BID PROPOSAL, INFORM THE OWNER OF ANY WORK OR MATERIALS THAT VIOLATE ANY OF THE LAWS AND REGULATIONS. ANY WORK DONE BY THE CONTRACTOR CAUSING SUCH VIOLATIONS SHALL BE CORRECTED BY THE CONTRACTOR.
- PRIOR TO BIDDING, CONTRACTOR SHALL VISIT AND INSPECT SITE TO BECOME FULLY INFORMED OF EXISTING CONDITIONS. CONTRACTOR SHALL COORDINATE SITE VISIT WITH BUILDING MANAGER TO BE ABLE TO ASK ALL QUESTIONS REGARDING EXISTING SYSTEMS AND BUILDING STANDARDS THAT MAY IMPACT ON THE BIDDING OF THIS PROJECT. FAILURE OF THE CONTRACTOR TO INSPECT EXISTING SYSTEMS AND CONDITIONS SHALL NOT RELIEVE HIM OF ALL OBLIGATIONS TO INCLUDE IN HIS BID, THE COST OF REPAIRING ANY DEFICIENCIES AND VIOLATIONS.
- INSTALL ALL NEW WORK SO AS TO BE READILY ACCESSIBLE FOR REPAIR, OPERATION AND MAINTENANCE.
- PLAN INSTALLATION OF NEW WORK AND CONNECTIONS TO EXISTING WORK TO INSURE MINIMUM INTERFERENCE WITH REGULAR OPERATION OF EXISTING FACILITIES. ALL SYSTEM SHUTDOWNS AFFECTING OTHER AREAS SHALL BE COORDINATED WITH BUILDING OWNER/MANAGEMENT. INSTALL ISOLATION VALVES AT POINTS OF CONNECTION TO THE EXISTING PIPING. PROVIDE VOLUME DAMPERS OR TEMPORARY DUCT CAPS AT DUCT CONNECTIONS TO MINIMIZE SHUTDOWN TIME.
- ALL DUCTWORK AND PIPING ARE SHOWN DIAGRAMMATICALLY AND DO NOT SHOW ALL OFFSETS, DROPS AND RISES OF RUNS. THE CONTRACTOR SHALL ALLOW IN HIS BID FOR ROUTING OF DUCTWORK AND PIPING TO AVOID OBSTRUCTIONS. EXACT LOCATIONS SUBJECT TO APPROVAL.
- DURING HIS INSPECTION, IF THE CONTRACTOR FINDS ANY OBSTRUCTION OR INTERFERENCE THAT MAY PROHIBIT THE PROPER INSTALLATION OF THE WORK, HE SHALL INFORM THE BUILDING MANAGER PRIOR TO THE SUBMISSION OF HIS BID.
- BY SUBMISSION OF A BID, THE CONTRACTOR AGREES TO INCLUDE ALL COSTS TO ACCOMMODATE ALL EXISTING OBSTRUCTIONS AND INTERFERENCES IN HIS BID.
- THIS CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF THIS CONTRACT AND WITH OTHER CONTRACTS.
- CONTRACTOR SHALL ERECT AND MAINTAIN BARRIERS TO PROTECT ALL ADJACENT AREAS FROM DUST AND DEBRIS DURING PERIOD OF DEMOLITION AND CONSTRUCTION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH BUILDING REGULATIONS AND IN A WORKMANLIKE MANNER.
- ALL EXISTING WORK NOT INDICATED TO BE DEMOLISHED SHALL BE PROTECTED FROM DAMAGE. IF EXISTING WORK IS DAMAGED, CONTRACTOR SHALL MAKE REPAIRS AT NO COST TO THE OWNER.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS AGAINST DAMAGING OR DISRUPTING BUILDING SYSTEMS, WIRING OR CONTROL TUBING FOR THE TENANTS ADJACENT TO THE WORK AREA.
- CONTRACTOR SHALL PROVIDE FOR LEGAL REMOVAL AND DISPOSAL OF ALL RUBBISH AND DEBRIS FROM THE BUILDING AND SITE. COORDINATE ALL DEMOLITION AND DEBRIS REMOVAL WITH BUILDING MANAGER.
- UNLESS NOTED OTHERWISE, CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING OF EXISTING CONSTRUCTION NECESSARY FOR THE INSTALLATION OF THIS CONTRACTS WORK. PATCHING SHALL MATCH THE EXISTING IN MATERIAL, COLOR, TEXTURE AND WORKMANSHIP.
- PROVIDE SLEEVES AND ESCUTCHEONS FOR DUCTS AND PIPING. SEAL OPENINGS AROUND DUCTS AND PIPING THROUGH PARTITIONS AND WALLS WITH MINERAL WOOL OR OTHER NON-COMBUSTIBLE MATERIAL. MAINTAIN FIRE RATINGS OF ANY PARTITION THAT IS PENETRATED BY DUCT OR PIPING BY SEALING AROUND OPENING WITH U.L. APPROVED FIRE-STOPPING MATERIAL.
- CONTRACTOR SHALL SECURE ALL PERMITS, LICENSES AND CERTIFICATES, AND PAY ALL FEES AND CHARGES FOR ALL WORK INSTALLED CERTIFYING COMPLIANCE WITH LOCAL CODES AND AUTHORITIES HAVING JURISDICTION. ALL PERMITS AND CERTIFICATES SHALL BE DELIVERED TO THE BUILDING MANAGERS OFFICE PRIOR TO COMMENCEMENT OF WORK.
- REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL SPECIFICATIONS LISTING MATERIALS, EQUIPMENT AND MANUFACTURERS REQUIRED FOR THIS PROJECT.

WOOD

- FURNISH LUMBER MANUFACTURED TO COMPLY WITH PS 20 "AMERICAN SOFTWOOD LUMBER STANDARD" AND WITH APPLICABLE GRADING RULES OF INSPECTION AGENCIES CERTIFIED BY AMERICAN LUMBER STANDARDS COMMITTEE'S BOARD OF REVIEW.
- FURNISH LUMBER WITH EACH PIECE FACTORY MARKED WITH GRADE STAMP, SHOWING GRADE, SPECIES, MOISTURE CONTENT AT TIME OF SURFACING, AND MILL.
- FOR EXPOSED LUMBER, FURNISH PIECES OF LUMBER MARKED ON ENDS OR BACK OF PIECE.
- ALL LUMBER SHALL BE DRESSED, SURFACED 4 SIDES, (S4S), UNLESS NOTED OTHERWISE.
- STRUCTURAL FRAMING LUMBER SHALL BE HEM-FIR, DOUGLAS FIR OR SPRUCE-PINE-FIR, AS DESIGNATED BY WESTERN WOOD PRODUCTS ASSOCIATION, WITH FIBER STRESS IN BENDING, $f_b = 1,100$ PSI, OR GREATER AND A MODULUS OF ELASTICITY OF 1,100,000 PSI OR GREATER.
- WALL FRAMING SHALL BE "STUD" GRADE OR BETTER.
- ALL LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 15%.
- ALL HEADERS SHALL BE DBL 2"x10" WITH 1/2" PLYWOOD IN BETWEEN, UNLESS NOTED OTHERWISE. DOUBLE ALL JOISTS UNDER PARALLEL PARTITIONS AND PROVIDE SOLID BLOCKING UNDER PERPENDICULAR PARTITIONS.
- ALL LUMBER SHEATHING SHALL BE IN ACCORDANCE WITH AMERICAN PLYWOOD ASSOCIATION MANUFACTURING AND PERFORMANCE STANDARDS AND GRADE DESIGNATIONS.
- ROOF PLYWOOD SHEATHING SHALL BE 5/8" EXPOSURE 1 (CDX), UNLESS NOTED OTHERWISE.
- WALL PLYWOOD SHEATHING SHALL BE 1/2" EXPOSURE 1 (CDX), UNLESS NOTED OTHERWISE.
- FLOOR SHEATHING SHALL BE BOTH FASTENED WITH NAILS OR SCREWS AND GLUED TO THE JOISTS.
- ALL FASTENERS THAT ARE EXPOSED TO WEATHER SHALL BE HOT-DIPPED GALVANIZED.
- ALL WOOD IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESSURE PRESERVATIVE TREATED.
- JOISTS FRAMING INTO THE SIDE OF A GIRDER OR BEAM SHALL BE SUPPORTED BY FRAMING ANCHORS SUCH AS SIMPSON STRONG-TIE CONNECTORS, OR EQUAL, GALVANIZED AND BE FASTENED WITH ANCHOR MANUFACTURERS FASTENERS. THE USE OF COMMON NAILS WITH CONNECTORS IS NOT PERMITTED.
- PARTITIONS PARALLEL TO FLOOR FRAMING SHALL BE SUPPORTED BY DOUBLE JOISTS. PARTITIONS PERPENDICULAR TO FLOOR FRAMING SHALL BE SUPPORTED BY BLOCKING AT 48" O.C.



JASON PEIST
ARCHITECT, LLC

171 BROAD ST. MATAWAN, NJ 07747
732-379-0743 | INFO@JASONPEIST.COM

CHANGE OF USE- ADD A LEVEL

172-174 MAIN ST

WEST ORANGE, NJ 07052

BLOCK 89, LOT 6

ESSEX COUNTY

REVISIONS:

#	DESCRIPTION:	DATE:
ISSUED FOR PERMITS		4/10/2024

DRAWING TITLE:

GENERAL NOTES

ARCHITECTURAL LICENSE #: NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

JASON PEIST, AIA - ARCHITECT

© COPYRIGHT 2024

DRAWINGS, SPECIFICATIONS & OTHER DOCUMENTS, BOTH PAPER COPIES AND IN ELECTRONIC FORM, PREPARED BY JASON PEIST AND CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY FOR THIS PROJECT. THEY MAY NOT BE USED FOR ANY PURPOSES BEYOND THE SCOPE OF THIS CONTRACT WITHOUT WRITTEN PERMISSION FROM JASON PEIST. UNLAWFUL USE OF INSTRUMENTS OF SERVICE SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

DATE: 4/10/24
SCALE: AS NOTED
DRAWN BY: J.R.P.

JOB NUMBER: 24-010
SHEET: 17 OF 17

DRAWING NUMBER

A-502