

JASON PEIST
ARCHITECT, LLC

171 BROAD ST. MATAWAN, NJ 07747
732-379-0743 | INFO@JASONPEIST.COM

CHANGE OF USE- ADD A LEVEL
172-174 MAIN ST
WEST ORANGE, NJ 07052
BLOCK 89, LOT 6
ESSEX COUNTY

REVISIONS:

| # | DESCRIPTION: | DATE: |
|---|--------------------|-----------|
| 1 | ISSUED FOR PERMITS | 4/10/2024 |
| 2 | ISSUED FOR ZONING | 6/26/2024 |

DRAWING TITLE:

TITLE SHEET

ARCHITECTURAL LICENSE #:
NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

Jason Peist

JASON PEIST, AIA - ARCHITECT

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DATE: 4/10/24
SCALE: AS NOTED
DRAWN BY: J.R.P.
JOB NUMBER: 24-010
SHEET: 1 OF 8

DRAWING NUMBER

T-1

| | |
|--|--|
| PROJECT DESCRIPTION CHANGE OF USE MIXED USE | |
| AUTHORITY HAVING JURISDICTION WEST ORANGE BUILDING DEPARTMENT, WEST ORANGE, NJ | |
| APPLICABLE CODES NEW JERSEY UNIFORM CONSTRUCTION CODE (NJAC 5:23) (NUCC) INTERNATIONAL BUILDING CODE 2021 (IBC) (NEW JERSEY EDITION) INTERNATIONAL MECHANICAL CODE 2021 (IMC) INTERNATIONAL FUEL GAS CODE 2021 (IFGC) NATIONAL STANDARD PLUMBING CODE 2021 (NSPC) NFPA 70: NATIONAL ELECTRIC CODE 2020 (NEC) ENERGY SUBCODE ASHRAE 90.1-2019 BARRIER FREE SUBCODE IBC CHAPTER 11 & ICC A117.1-2017 REHABILITATION SUBCODE (NJAC 5:23-6) ELEVATOR SUBCODE (NJAC 5:23-12) | |
| THIS PROJECT IS AN ADDITION, ALTERATION AND CHANGE IN USE AS DEFINED BY THE NJ REHABILITATION SUBCODE | |
| APPLIES TO CHANGE IN USE OF EXISTING BUILDINGS ONLY THIS PROJECT CONSISTS OF CONVERTING THE SPACE FROM A B OCCUPANCY TO A MIXED USE B-OCCUPANCY AND R-2 APARTMENTS | |
| ACCORDINGLY, THIS PROJECT IS A "CHANGE IN USE" AS DEFINED BY THE NJ REHABILITATION SUBCODE. | |
| BUILDING CLASS | NJAC 5:23-4.3A(D) CLASS 2 |
| BUILDING VOLUME | NJAC 5:23-2.28 111,849 CUBIC FEET |
| AREA OF LARGEST FLOOR (FOR PERMIT FORM) | NJAC 5:23-2.28 3229 SF |
| USE AND OCCUPANCY CLASSIFICATION | IBC SECTION 302 B AND R-2 MIXED SEPARATED PER IBC 508.4 |
| SPECIAL DETAILED OCCUPANCY AND USE REQUIREMENTS | IBC CHAPTER 4 NONE |
| BUILDING AREA | IBC 503.1 EXISTING 6,458 SF ADDITION 3229 SF |
| TOTAL | 9,687 SF |
| ALLOWABLE AREA | IBC SECTION 506 TABULAR AREA (TABLE 506.2) 48,000 SF |
| BUILDING HEIGHT | IBC 503.1 34.5 FEET 3 STORIES |
| ALLOWABLE HEIGHT | SECTION 504 70 FEET (TABLE 504.3) 4 STORIES (TABLE 504.4) |
| INCIDENTAL USES | IBC TABLE 509 NONE FURNACE ROOM >400MBH/ HOUR FIRE RATING OR SPRINKLERS FIRE PUMP ROOMS 1 HOUR FIRE RATING & SPRINKLERS |

| | |
|---|--|
| CONSTRUCTION CLASSIFICATION | IBC SECTION 602 TYPE VA |
| FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS | IBC TABLE 601 PRIMARY STRUCTURAL FRAME 1 HOURS BEARING WALLS - EXTERIOR 1 HOURS BEARING WALLS - INTERIOR 1 HOURS NONBEARING WALLS - EXTERIOR 0 HOURS NONBEARING WALLS - INTERIOR 0 HOURS FLOOR CONSTRUCTION 1 HOURS ROOF CONSTRUCTION 1 HOURS |
| AUTOMATIC SPRINKLER SYSTEM | IBC SECTION 903 THE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM |
| PORTABLE FIRE EXTINGUISHERS | IBC SECTION 906 PORTABLE FIRE EXTINGUISHERS ARE PROVIDED IN LOCATIONS NOTED ON DRAWINGS AND/OR SPECIFICATIONS |
| FIRE ALARM AND DETECTION SYSTEMS | IBC SECTION 907 REQUIRED PROVIDED YES YES |
| OCCUPANT LOAD | IBC 1004.5 FUNCTION AREA AREA PER OCCUPANT OCCUPANCY |
| BUSINESS AREA | NORMAL 2824 SF 150 GROSS SF 19 |
| RESIDENTIAL | STANDING 5,599 SF 200 GROSS SF 28 |
| TOTAL OCCUPANT LOAD | 47 |
| EGRESS WIDTH PER OCCUPANT | SECTION 1005.3 COMPONENT WIDTH REQUIRED WIDTH PROVIDED |
| WITH SPRINKLERS | STAIRS 28 OCCUPANTS X 0.2 = X INCHES 5.6 INCHES OTHER COMPONENTS 28 OCCUPANTS X 0.15 = X INCHES 4.2 INCHES 36" DOOR = 32" CLEAR = 213 OCCUPANTS 44" STAIR = 220 OCCUPANTS EXIT ACCESS TRAVEL DISTANCE OCCUPANCY MAX PERMITTED PROVIDED IBC TABLE 1017.2 |
| CORRIDOR FIRE-RESISTANCE RATING | IBC TABLE 1020.2 .5 HOURS |
| MINIMUM CORRIDOR WIDTH | IBC TABLE 1020.3 36 INCHES |
| SPACES WITH ONE EXIT OR EXIT ACCESS DOOR | IBC TABLE 1006.2.1 R-2 SPACE IS ONLY REQUIRED TO HAVE ONE EXIT PER IBC 1006 |
| STORIES WITH ONE EXIT | IBC TABLE 1006.3.4(2) BUILDING IS ONLY REQUIRED TO HAVE ONE EXIT PER IBC 1006.3.2 |
| MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD | IBC TABLE 1006.3.3 1 EXITS PER STORY REQUIRED FOR R-2 BASEMENT, FIRST, SECOND OR THIRD ABOVE GRADE. PLAN MAX NUMBER OF DWELLING UNITS PER FLOOR 4 WITH A MAX. EXIT TRAVEL DISTANCE OF 125 FEET |
| GROUND SNOW LOAD (NJUCC BULLETIN 94-8) | IBC TABLE 1608.2 15 PSF |
| RISK CATEGORY | IBC TABLE 1604.5 II |

UNIT SIZE INFORMATION

MIN APARTMENT REQ

- EFFICIENCY 600 SF
- 1 BEDROOM 800 SF
- 2 BEDROOM = 1,000 SF

1ST FLOOR
TENANT SPACE 1 OFFICE- 1436 SF
TENANT SPACE 2 OFFICE- 1388 SF

2ND FLOOR
2 BED #1= 1100 SF
2 BED #2= 1034 SF
EFFICIENCY #1 = 600 SF

3RD FLOOR
1 BED #1= 800 SF
1 BED #2= 850 SF
EFFICIENCY #2= 600 SF
EFFICIENCY #3= 615 SF

DEMOLITION LEGEND

| | |
|--|--|
| | EXISTING PARTITION TO REMAIN. PATCH & REFINISH ALL SURFACES DISTURBED OR DAMAGED AS A RESULT OF THIS CONTRACT. |
| | WALL, FINISH MATERIAL OR ITEM TO BE REMOVED. |
| | SEE GENERAL DEMOLITION NOTES BELOW. |

CONSTRUCTION LEGEND

| | |
|--|--|
| | EXISTING WALL TO REMAIN |
| | NEW DOOR. SEE DOOR SCHED. |
| | NEW WINDOW. SEE WINDOW SCHED. |
| | NEW WALL. SEE WALL TYPE. |
| | NEW 1-HOUR FIRE RATED WALL. SEE WALL TYPE S1A. |
| | EXTINGUISHER 10#ABC IN KITCHENS |

ELECTRICAL LEGEND

| | |
|--|---|
| | DUPLEX ELECTRICAL RECEPTACLE |
| | DUPLEX ELECTRICAL RECEPTACLE WITH GROUND FAULT PROTECTION |
| | QUAD ELECTRICAL RECEPTACLE |
| | TELEPHONE WALL RECEPTACLE |
| | DATA WALL RECEPTACLE |
| | HDMI OUTLET |
| | ELECTRICAL PANEL |

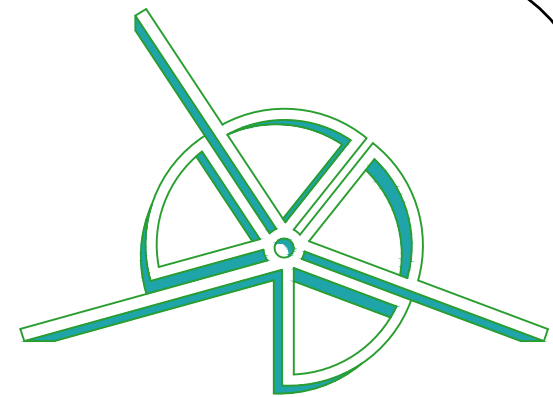
REFLECTED CEILING LEGEND

| | |
|--|---|
| | LIGHT SWITCH |
| | LIGHT SWITCH 3 WAY |
| | CEILING MOUNTED LIGHT FIXTURE |
| | RETURN |
| | SUPPLY |
| | SUSPENDED CEILING GRID AND ACOUSTICAL CEILING TILE. |

FIRE DETECTION & NOTIFICATION

| | |
|--|--------------------------------------|
| | NEW SMOKE DETECTOR |
| | CARBON MONOXIDE DETECTOR. |
| | EXIT SIGN W/ EMERGENCY EGRESS LIGHTS |
| | EMERGENCY PATH OF EGRESS LIGHTS |
| | EXIT SIGN WITH DIRECTIONAL ARROW |

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DRAWING TITLE:

DEMOLITION PLANS
PARTIAL CELLAR PLAN

ARCHITECTURAL LICENSE #:

NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

Jason Peist

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SCALE:

AS NOTED

DRAWN BY:

J.R.P.

JOB NUMBER:

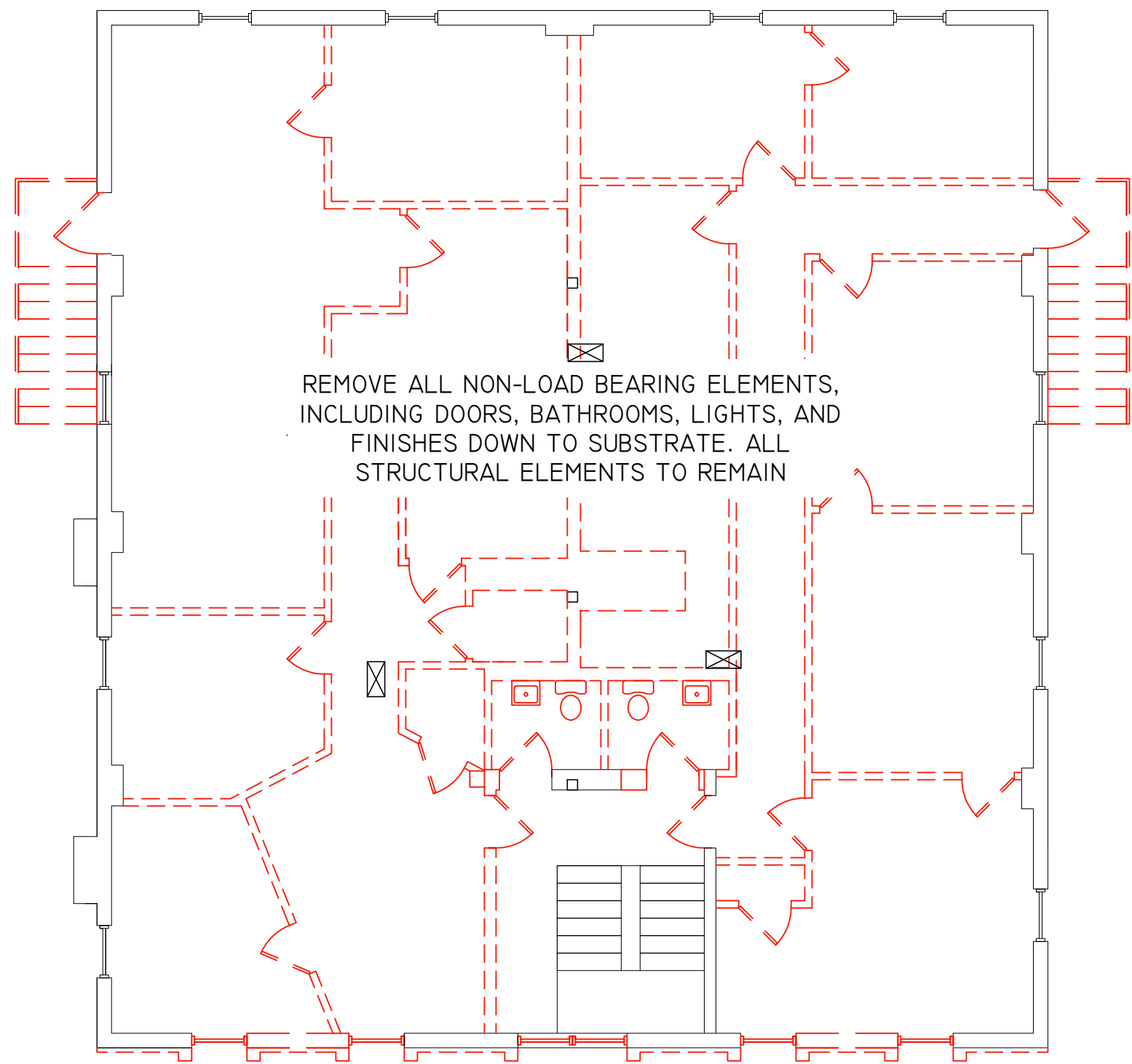
24-010

SHEET:

2 OF 8

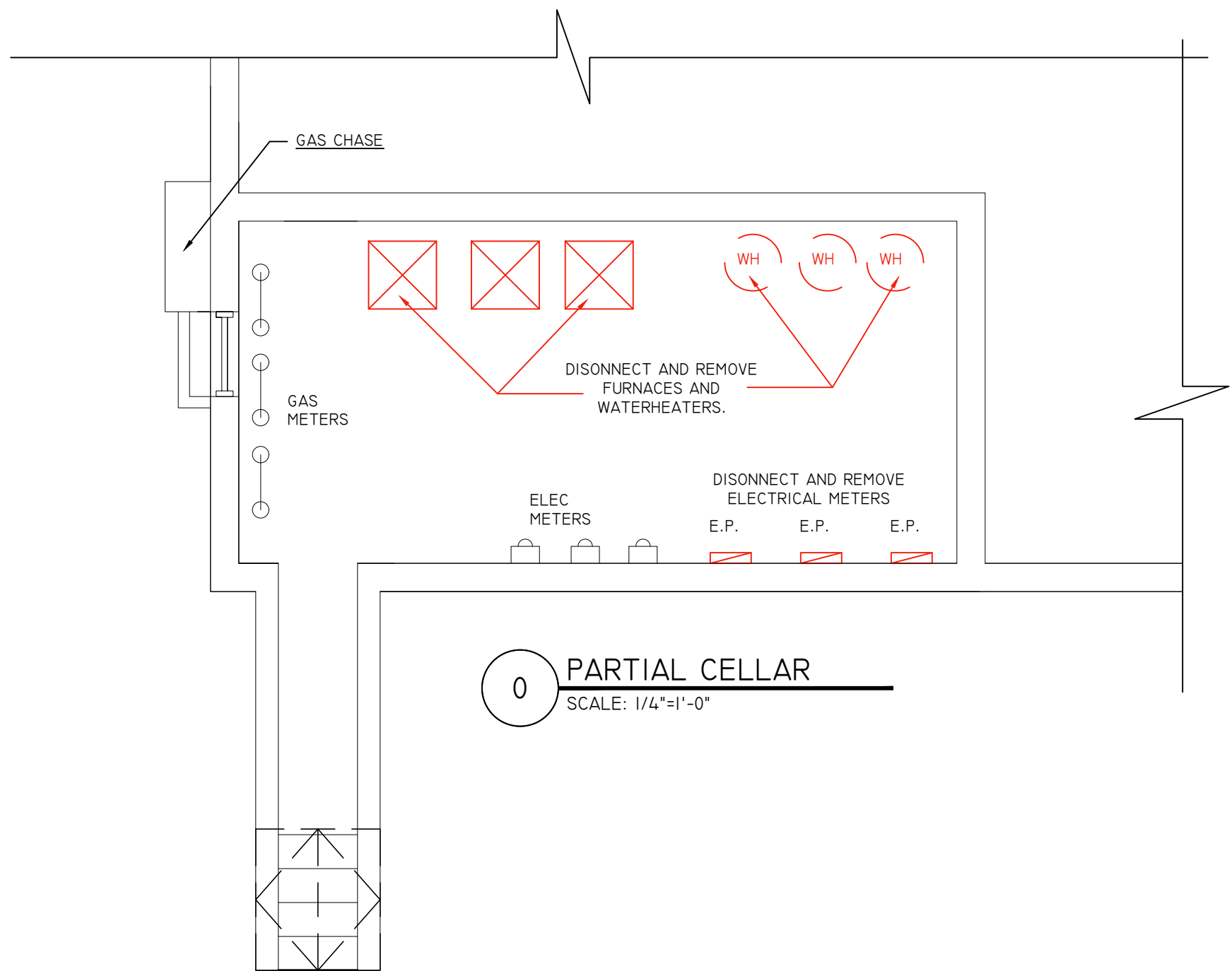
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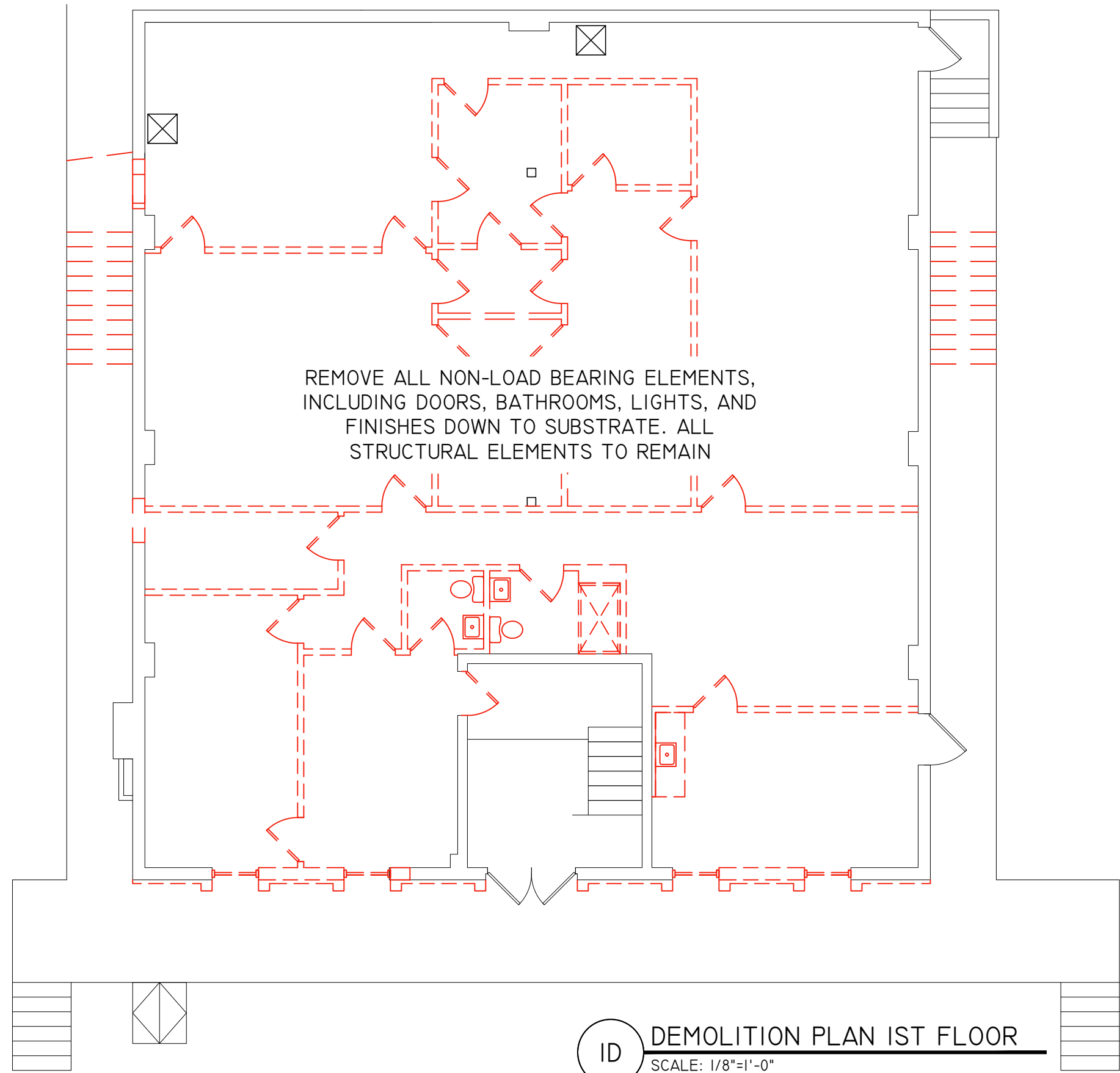
2D DEMOLITION PLAN 2ND FLOOR

SCALE: 1/8"=1'-0"



0 PARTIAL CELLAR

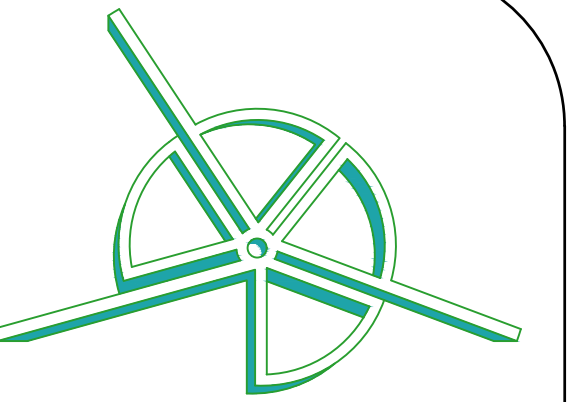
SCALE: 1/4"=1'-0"



1D DEMOLITION PLAN 1ST FLOOR

SCALE: 1/8"=1'-0"

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FIRST FLOOR
CELLAR PLAN
CONSTRUCTION PLAN

ARCHITECTURAL LICENSE #: NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

Jason Peist

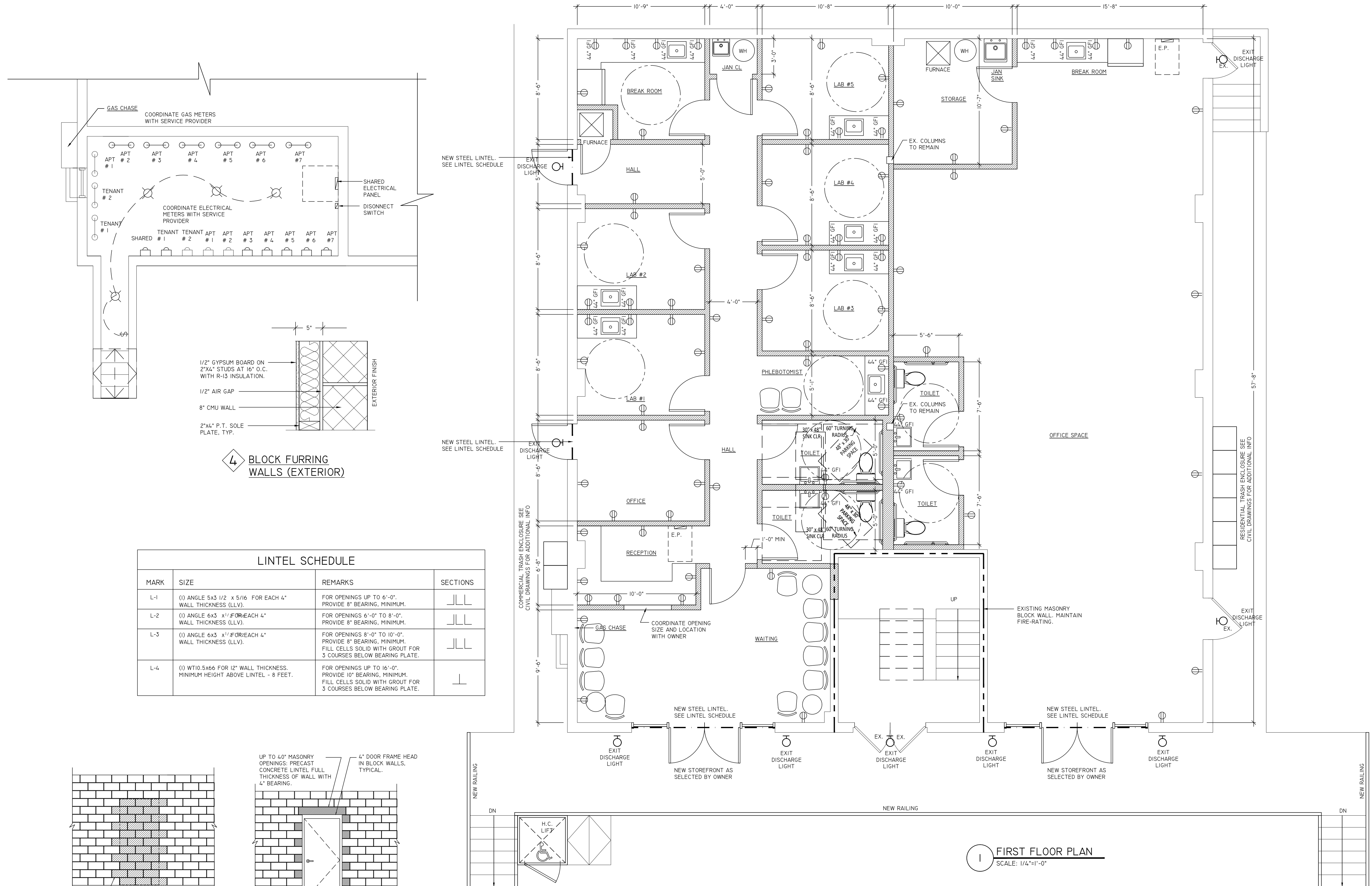
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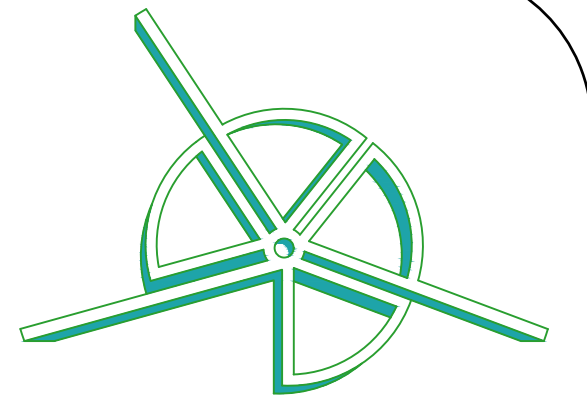
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DRAWN BY: J.R.P.
JOB NUMBER: 24-010
SHEET: 3 OF 8

DRAWING NUMBER

A-101





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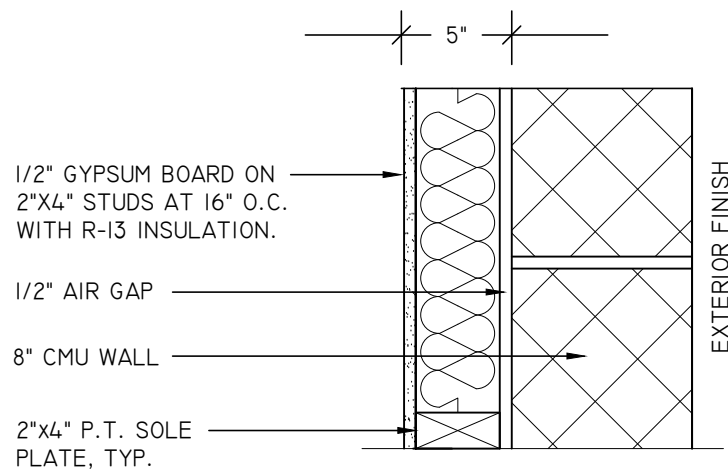
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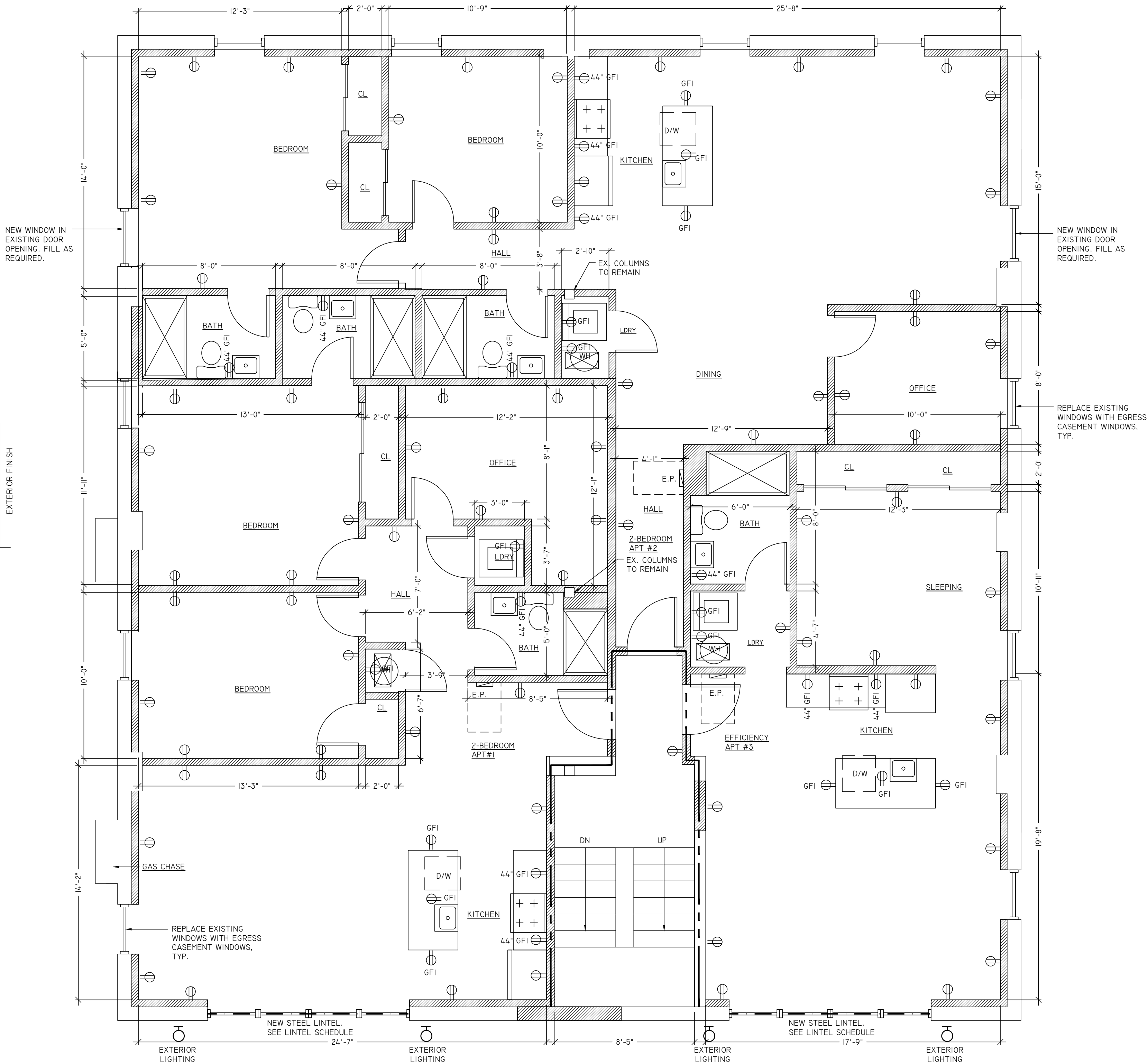
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A-102



4 BLOCK FURRING WALLS (EXTERIOR)

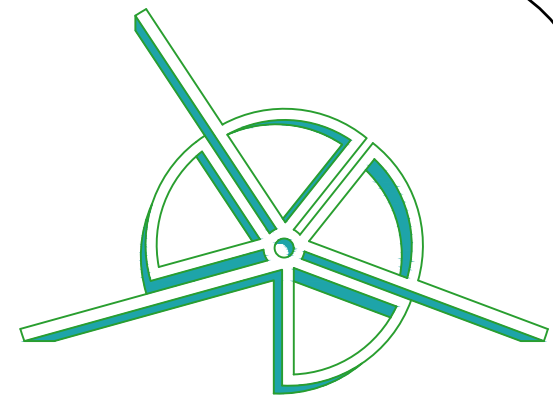


2 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

ALL WINDOWS SHALL HAVE LOW 'E' GLASS, DOUBLE GLAZED. OWNER SHALL CONFIRM STYLE, COLOR AND ACCESSORIES. SUBSTITUTIONS MUST MEET ENERGY CODE REQUIREMENTS.
CONTRACTOR RESPONSIBLE FOR WINDOW COUNT. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
CONTRACTOR SHALL VERIFY ROUGH OPENING DIMENSIONS PRIOR TO FRAMING FOR DOORS AND WINDOWS

1. TEMPERED GLASS TO BE INSTALLED WHERE REQUIRED BY CODE, NOT LIMITED TO:
- 1.1. ANY WINDOW OR SIDELIGHT WITHIN 24 INCHES HORIZONTALLY OF A DOOR MUST BE TEMPERED.
 - 1.2. ANY WINDOW OR SASH THAT IS 9 SQUARE FEET OR MORE AND IS 18 INCHES OR LESS FROM A FLOOR MUST BE TEMPERED.
 - 1.3. ANY WINDOW WITHIN A TUB OR SHOWER AREA THAT IS LESS THAN 60 INCHES FROM THE FLOOR OF THE TUB MUST BE TEMPERED.
 - 1.4. ANY WINDOW ON A STAIRCASE LANDING OR WITHIN 60 INCHES A STAIRCASE TREAD MUST BE TEMPERED.

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DRAWING TITLE:

THIRD FLOOR
CONSTRUCTION PLAN

ARCHITECTURAL LICENSE #:

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NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

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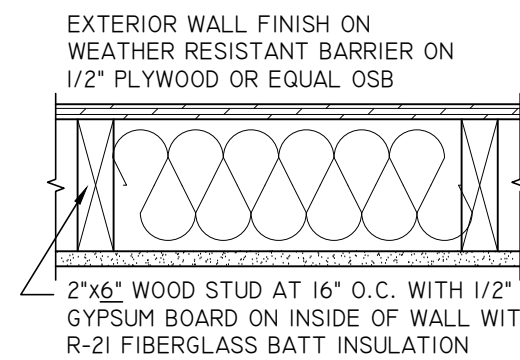
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SHEET:

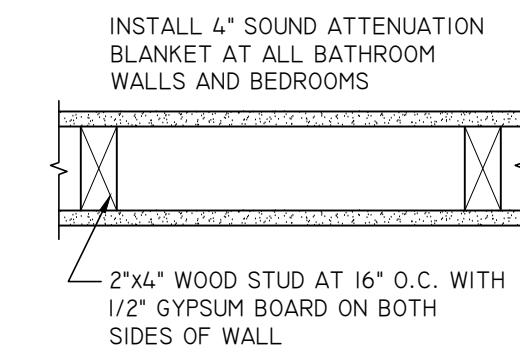
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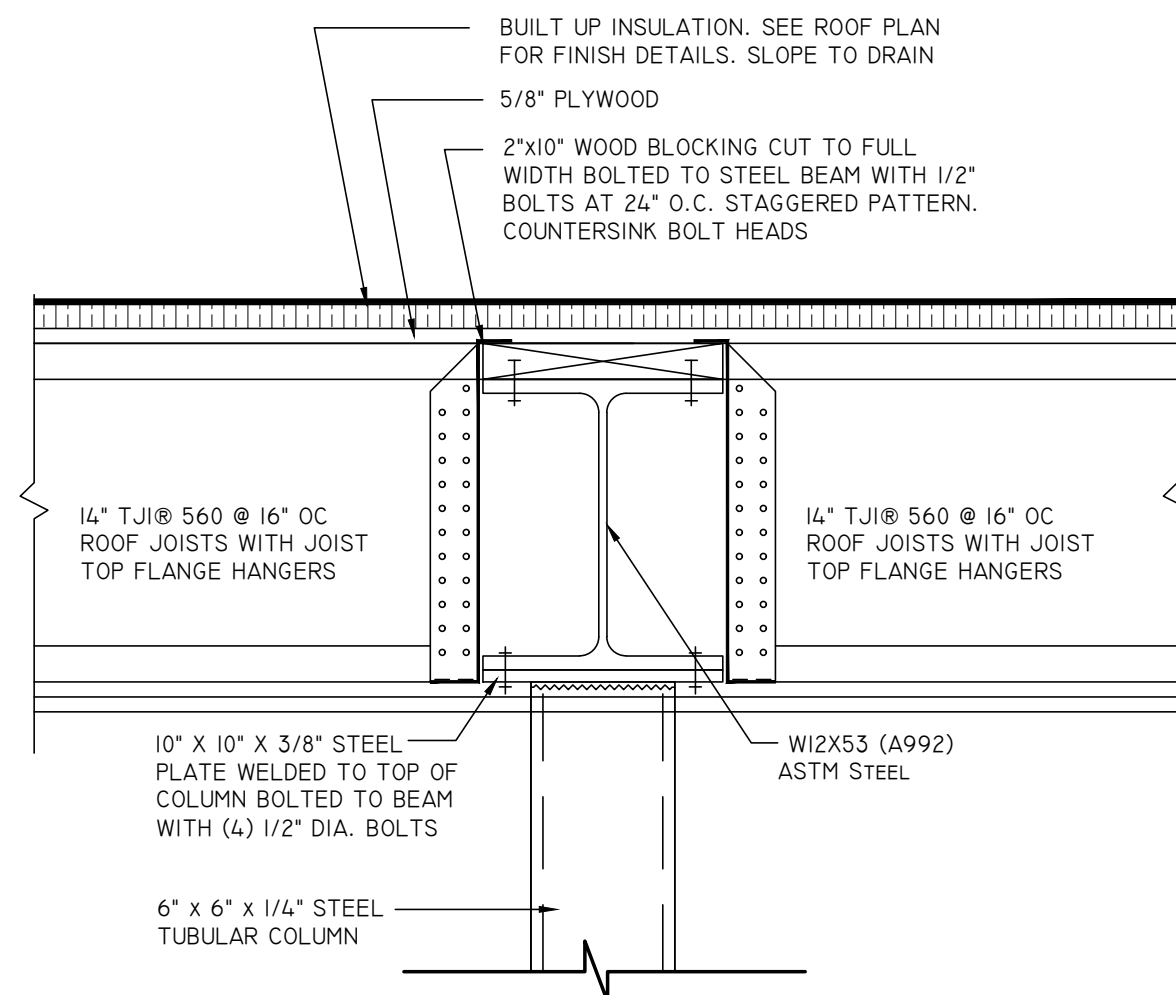
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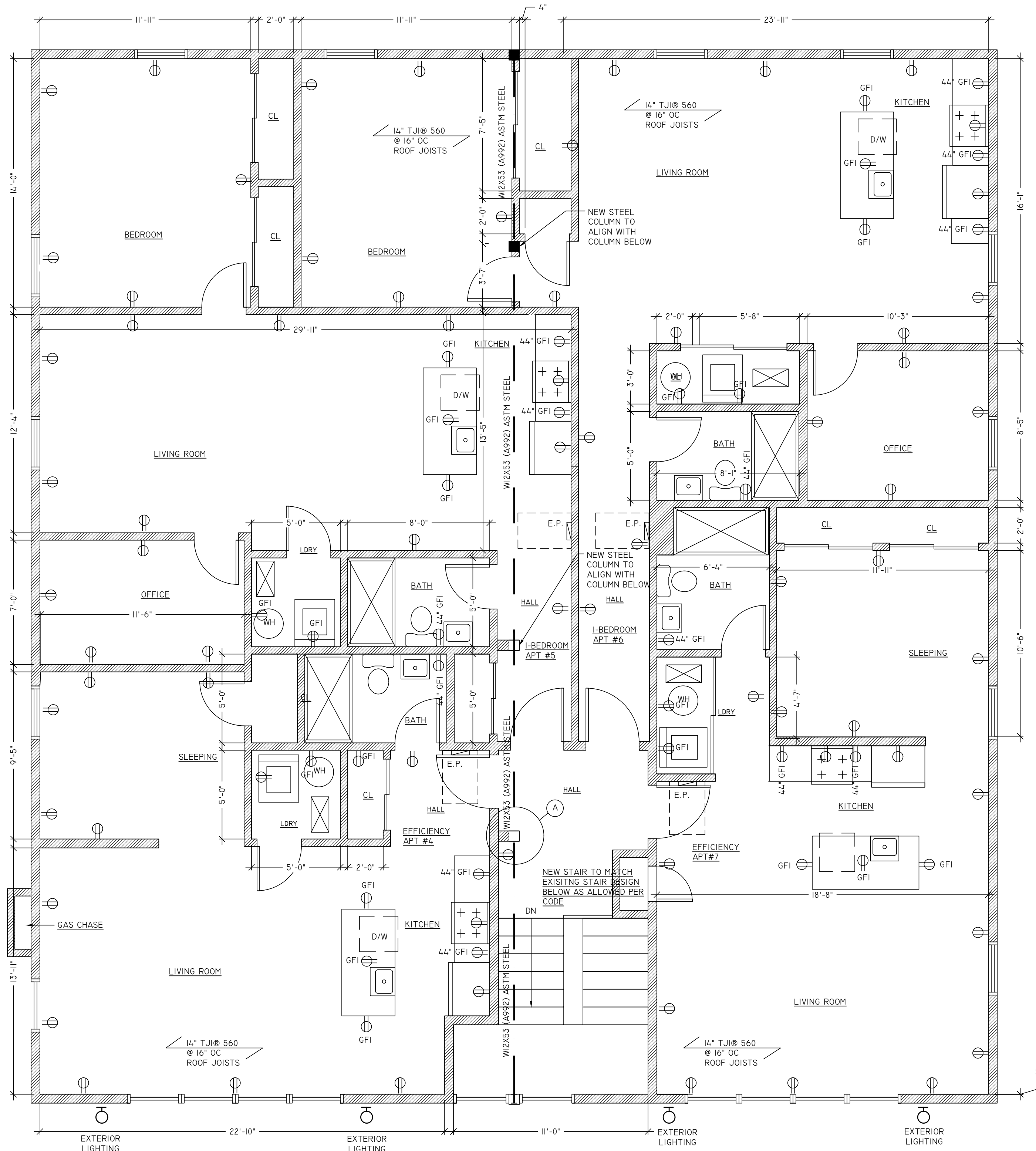
1 EXTERIOR WALL TYPE
TYPICAL



2 INTERIOR WALL TYPE



A ROOF BEAM DETAIL
SCALE: 1/2"=1'-0"



3 THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"

STAIR NOTES

- CONCRETE PAN TREAD STEEL STAIR SHALL BE DESIGNED IN ACCORDANCE WITH IBC NJ EDITION OF THE NJ UNIFORM CONSTRUCTION CODE.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION AND BE SEALED BY AN ENGINEER LICENSED TO PRACTICE IN NEW JERSEY.
- GUARD RAIL HEIGHT SHALL BE 42" ABOVE STAIR NOSING AND LANDING.
- HAND RAIL HEIGHT SHALL BE 36" ABOVE STAIR NOSING.
- GUARD RAIL BALUSTER SPACING SHALL NOT ALLOW THE PASSAGE OF A 4" DIA. SPHERE BETWEEN THE BALUSTERS.
- EXTEND HAND RAILS HORIZONTALLY 12" BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.
- STAIR SHALL SUPPORT A UNIFORM LIVE LOAD OF 100 PSF AND A MINIMUM CONCENTRATED LIVE LOAD ON TREADS OF 300 LBS ON 4 SQUARE INCHES.
- HAND RAILS AND GUARD RAILS SHALL SUPPORT 50 LBS PER LINEAR FOOT IN ANY DIRECTION AT THE TOP.
- HAND RAILS AND GUARD RAILS SHALL SUPPORT A SINGLE CONCENTRATED LOAD OF 200 LBS PER LINEAR FOOT IN ANY DIRECTION AT THE TOP.
- PROVIDE A MINIMUM OF 1 1/2" CLEARANCE BETWEEN THE HAND RAIL AND WALL OR OTHER SURFACE.

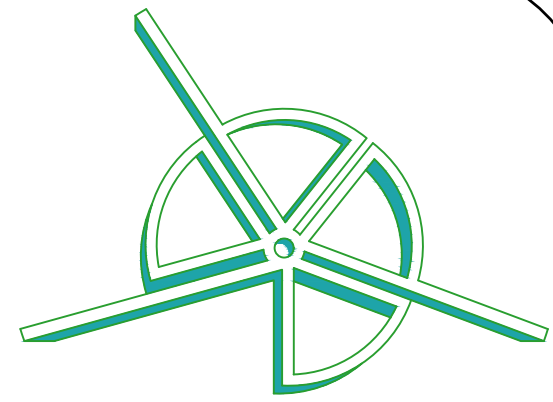
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CONTRACTOR RESPONSIBLE FOR WINDOW COUNT. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

CONTRACTOR SHALL VERIFY ROUGH OPENING DIMENSIONS PRIOR TO FRAMING FOR DOORS AND WINDOWS.

- TEMPERED GLASS TO BE INSTALLED WHERE REQUIRED BY CODE, NOT LIMITED TO:
 - ANY WINDOW OR SIDELIGHT WITHIN 24 INCHES HORIZONTALLY OF A DOOR MUST BE TEMPERED.
 - ANY WINDOW OR SASH THAT IS 9 SQUARE FEET OR MORE AND IS 18 INCHES OR LESS FROM A FLOOR MUST BE TEMPERED.
 - ANY WINDOW WITHIN A TUB OR SHOWER AREA THAT IS LESS THAN 60 INCHES FROM THE FLOOR OF THE TUB MUST BE TEMPERED.
 - ANY WINDOW ON A STAIRCASE LANDING OR WITHIN 60 INCHES A STAIRCASE TREAD MUST BE TEMPERED.

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ROOF PLAN

ARCHITECTURAL LICENSE #:
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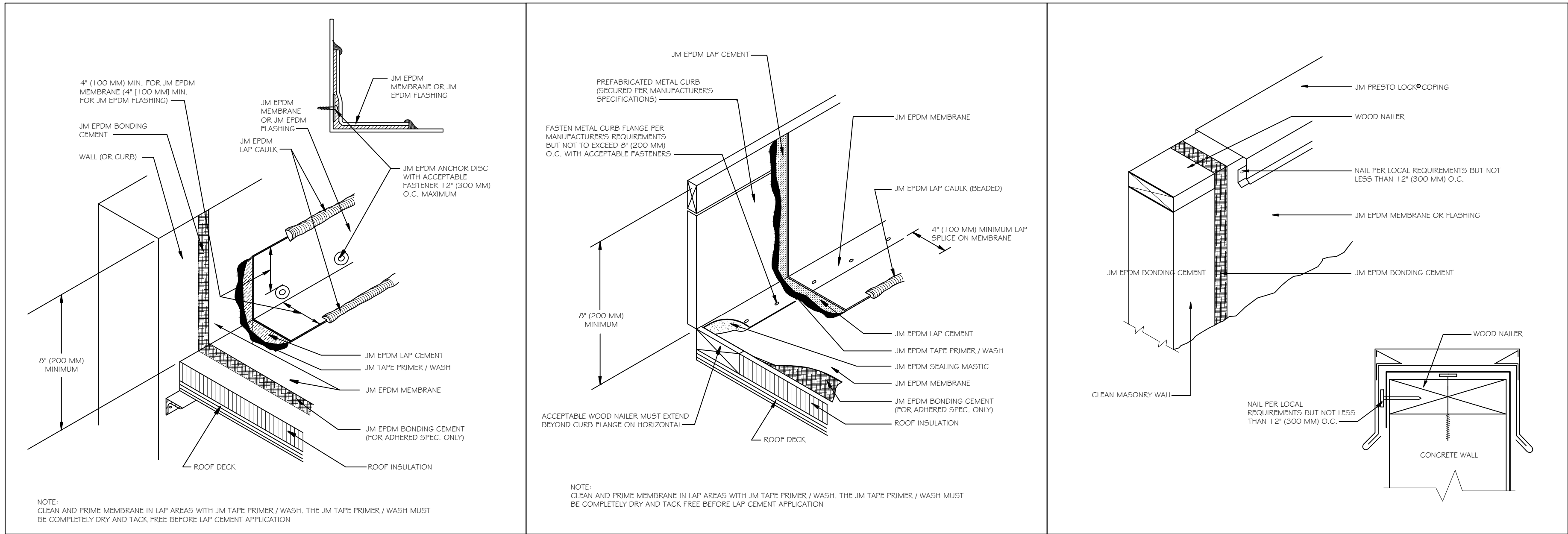
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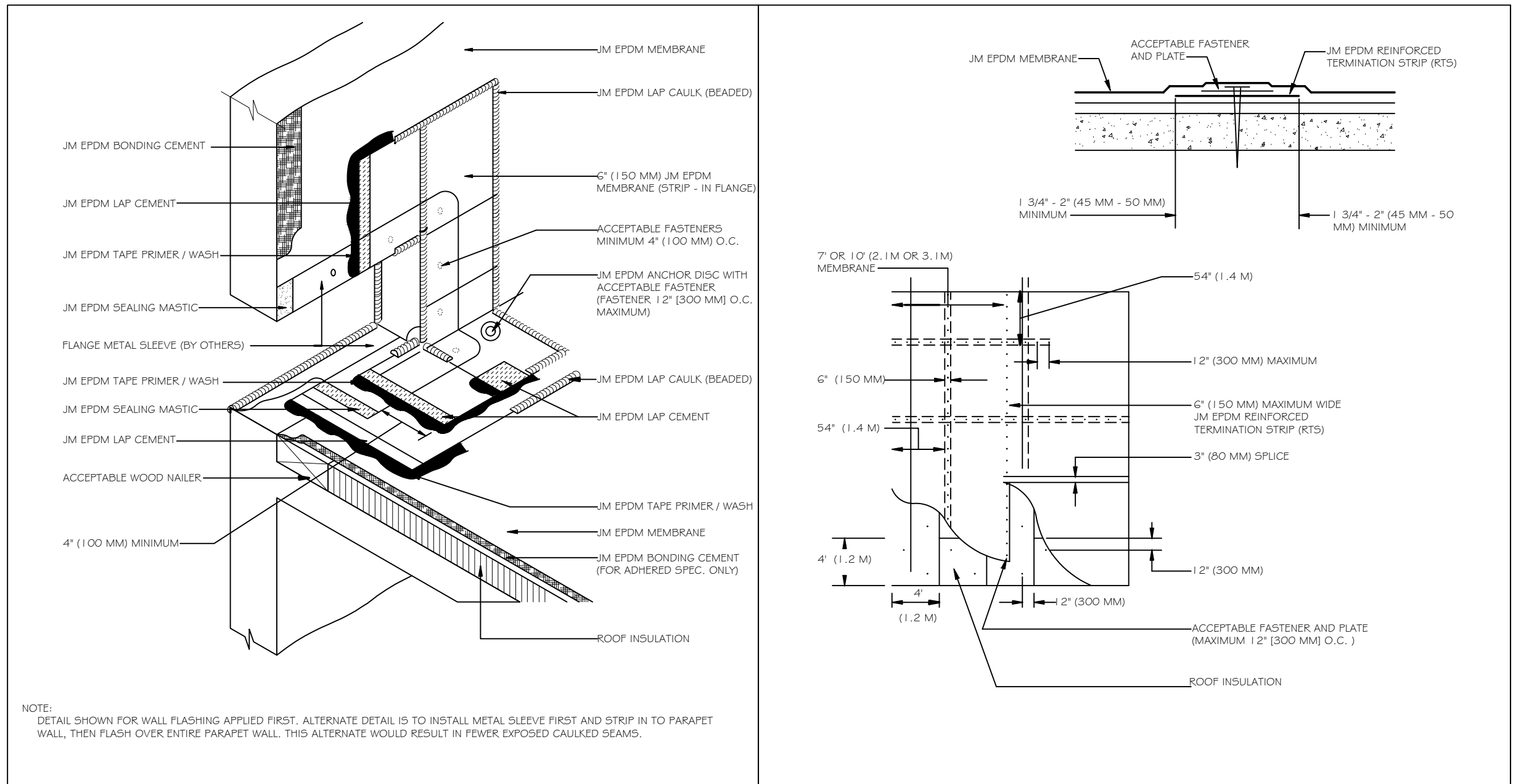
A-104



1 BASE FLASHING WITH JM EPDM MEMBRANE AS FLASHING AND ANCHOR DISCS TO WALL - ADHESIVE

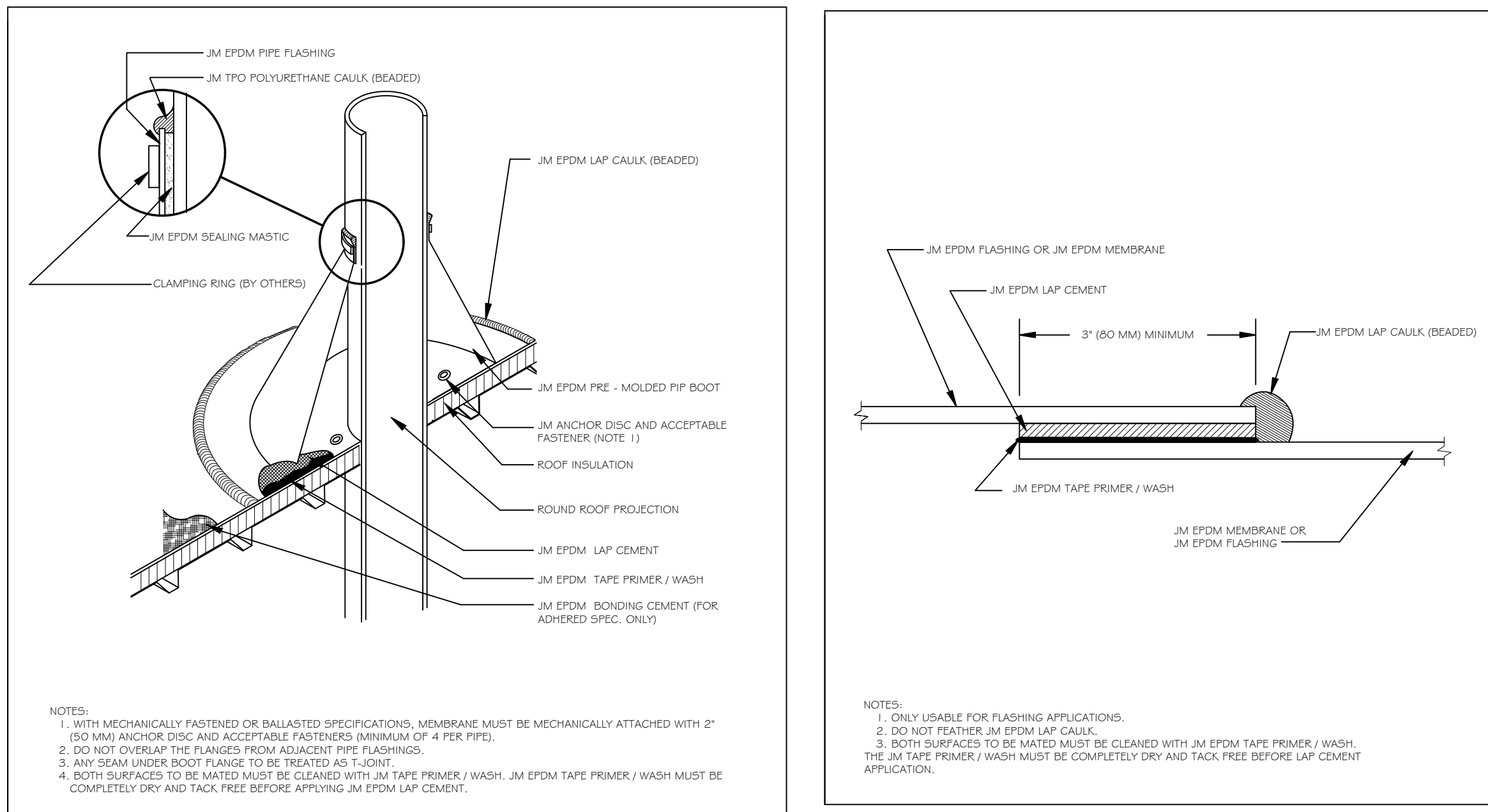
2 BASE FLASHING WITH PREFABRICATED METAL CURB FLASHING

3 WALL CAP FLASHING WITH JM PRESTO LOCK® COPING



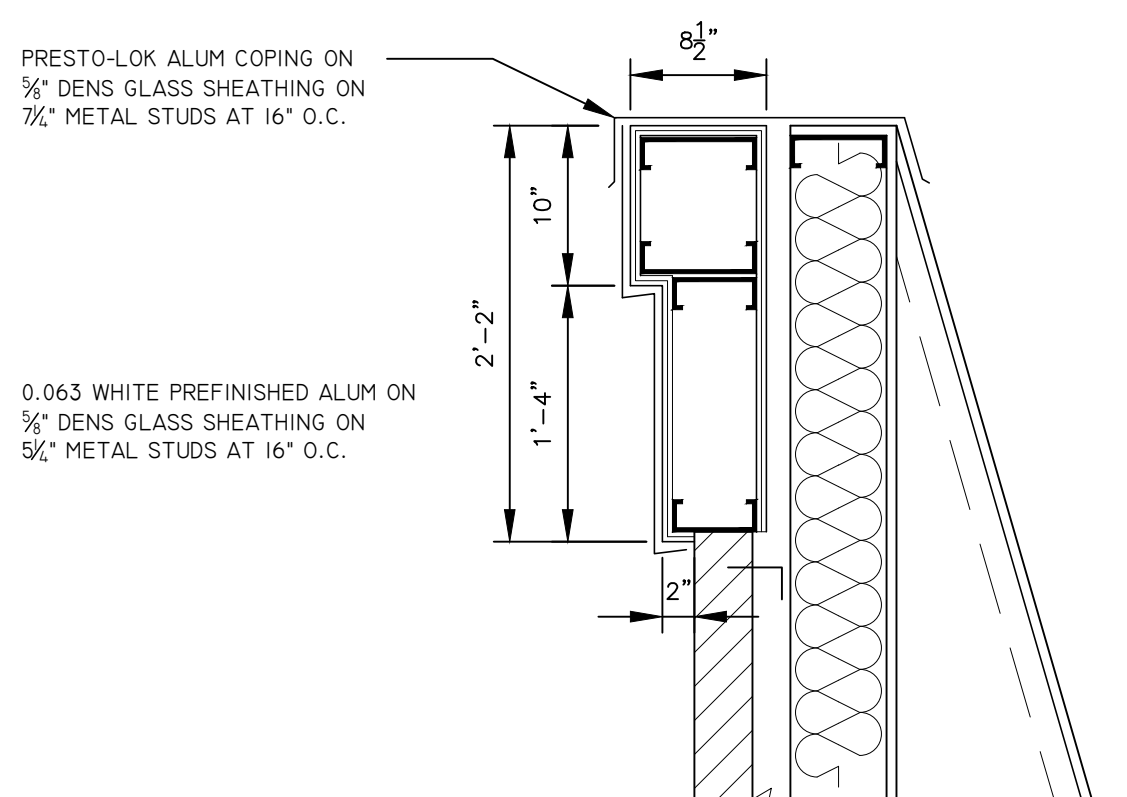
4 PRIMARY DRAIN SCUPPER WITH THROUGH WALL METAL SLEEVE

5 PERIMETER ATTACHMENT FOR MECHANICALLY FASTENED SYSTEMS WITH JM EPDM REINFORCED TERMINATION STRIP (RTS)



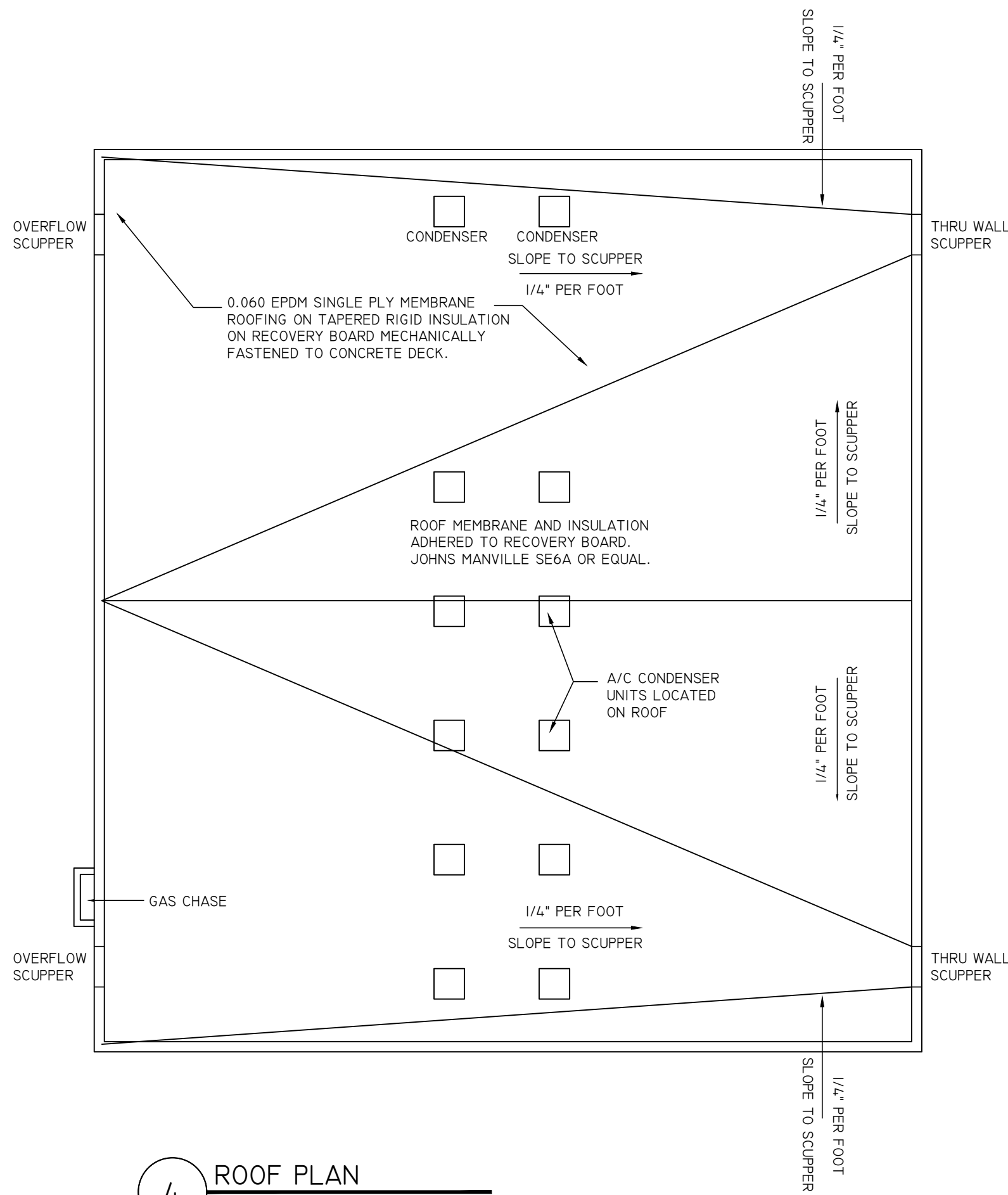
6 JM EPDM PRE-MOLDED PIPE BOOT

7 FLASHING LAP SPLICE



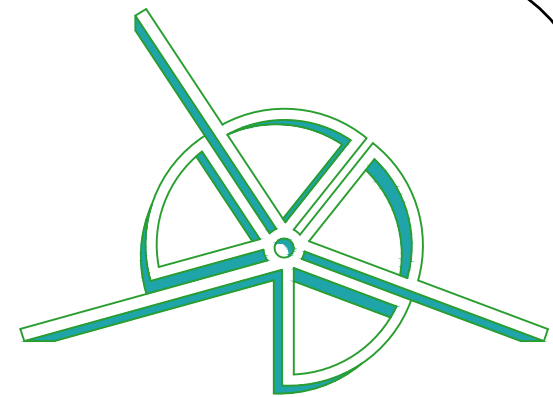
A COPING DETAIL
SCALE: 1"=1'-0"

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4 ROOF PLAN
SCALE: 1/8"=1'-0"

NOTE:
EPDM SINGLE PLY MEMBRANE ROOFING BY JOHNS MANVILLE, OR EQUAL.
CONTRACTOR SHALL PROVIDE A COMPLETE ROOFING SYSTEM MEETING ALL WARRANTY REQUIREMENTS OF THE ROOFING MANUFACTURER.
MANUFACTURER'S APPROVED DETAILS SHALL BE USED FOR EACH ROOFING CONDITION.
CONTRACTOR SHALL SUBMIT ROOFING SPECIFICATIONS AND DETAILS TO ARCHITECT FOR REVIEW AND COMMENT BEFORE ROOFING CAN BEGIN.



JASON PEIST
ARCHITECT, LLC

171 BROAD ST. MATAWAN, NJ 07747
732-379-0743 | INFO@JASONPEIST.COM

CHANGE OF USE- ADD A LEVEL
172-174 MAIN ST
WEST ORANGE, NJ 07052
BLOCK 89, LOT 6
ESSEX COUNTY

| REVISIONS: | | |
|------------|--------------------|-----------|
| # | DESCRIPTION: | DATE: |
| 1 | ISSUED FOR PERMITS | 4/10/2024 |
| 2 | ISSUED FOR ZONING | 6/26/2024 |

DRAWING TITLE:
FRONT AND REAR ELEVATION

ARCHITECTURAL LICENSE #:
NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

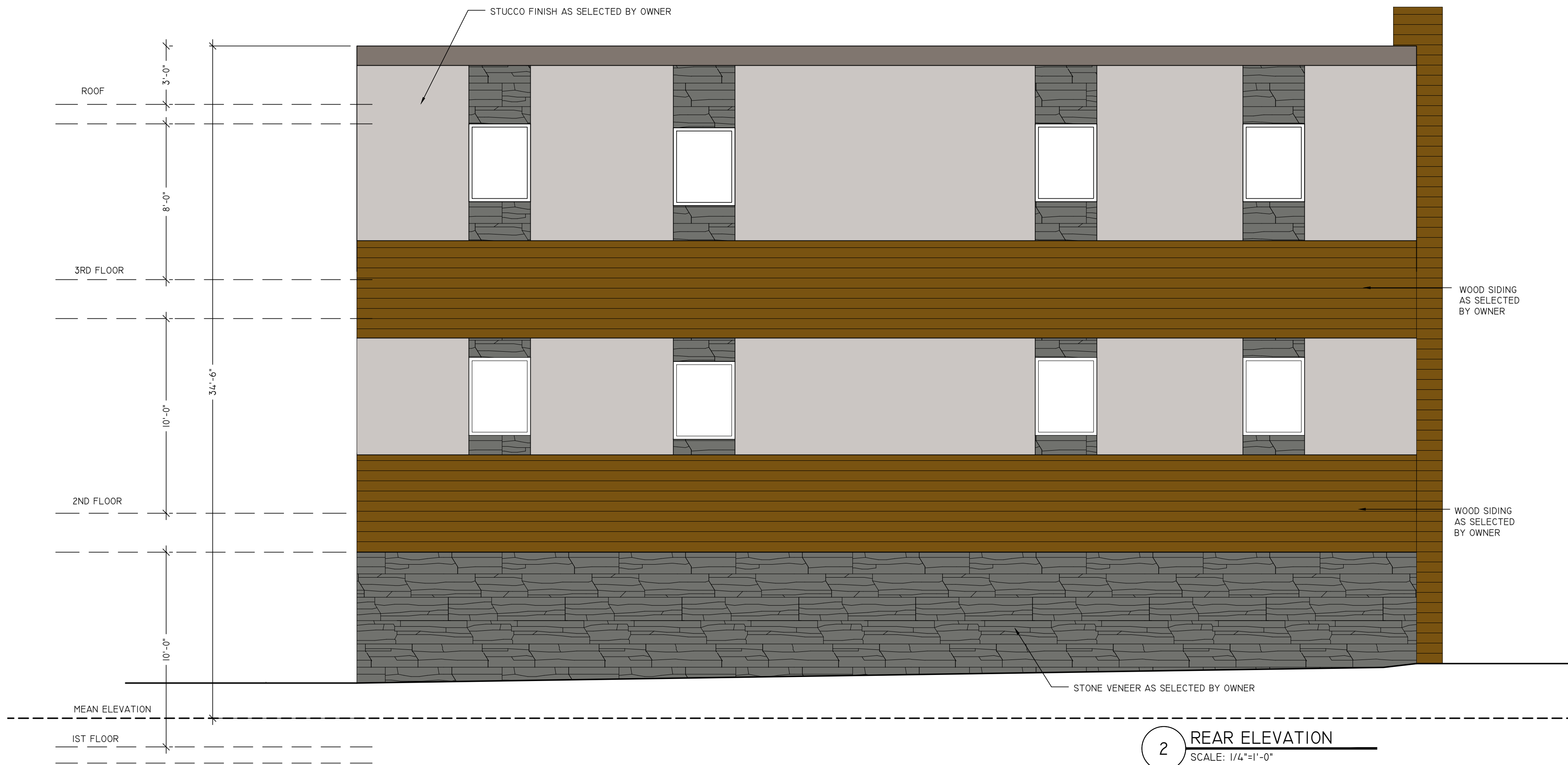
Jason Peist

JASON PEIST, AIA - ARCHITECT

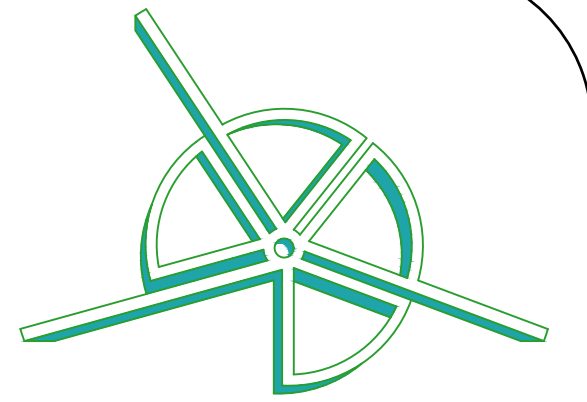
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DATE: 4/10/24
SCALE: AS NOTED
DRAWN BY: J.R.P.
JOB NUMBER: 24-010
SHEET: 7 OF 8

DRAWING NUMBER
A-301



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| # | DESCRIPTION: | DATE: |
| 1 | ISSUED FOR PERMITS | 4/10/2024 |
| 2 | ISSUED FOR ZONING | 6/26/2024 |

DRAWING TITLE:

SIDE ELEVATIONS

ARCHITECTURAL LICENSE #:
NJ# 21A102035200
NY# 039598 CT# ARI.0015695
PA# RA410300 RI# ARC.0005736

Jason Peist

JASON PEIST, AIA - ARCHITECT

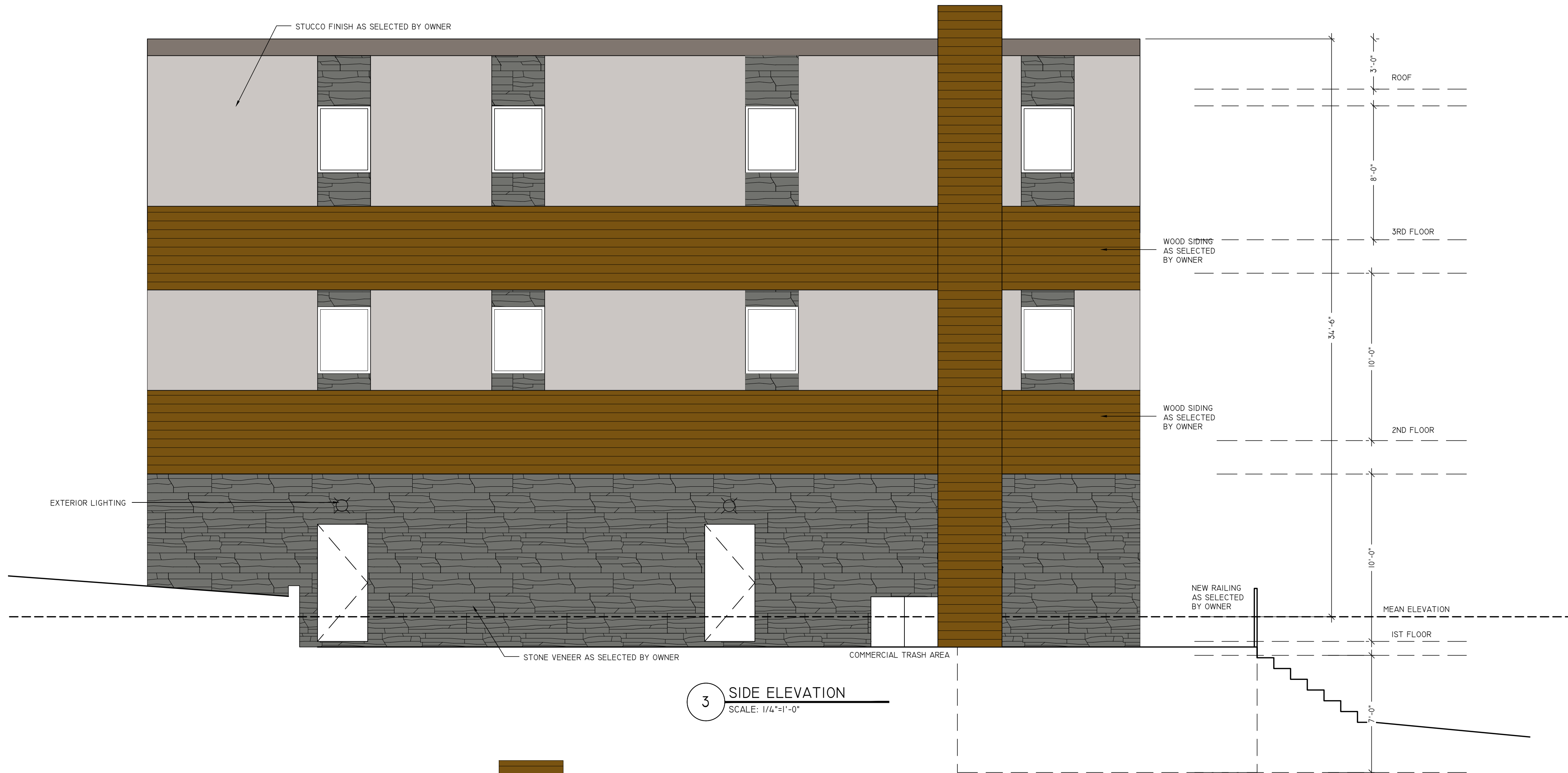
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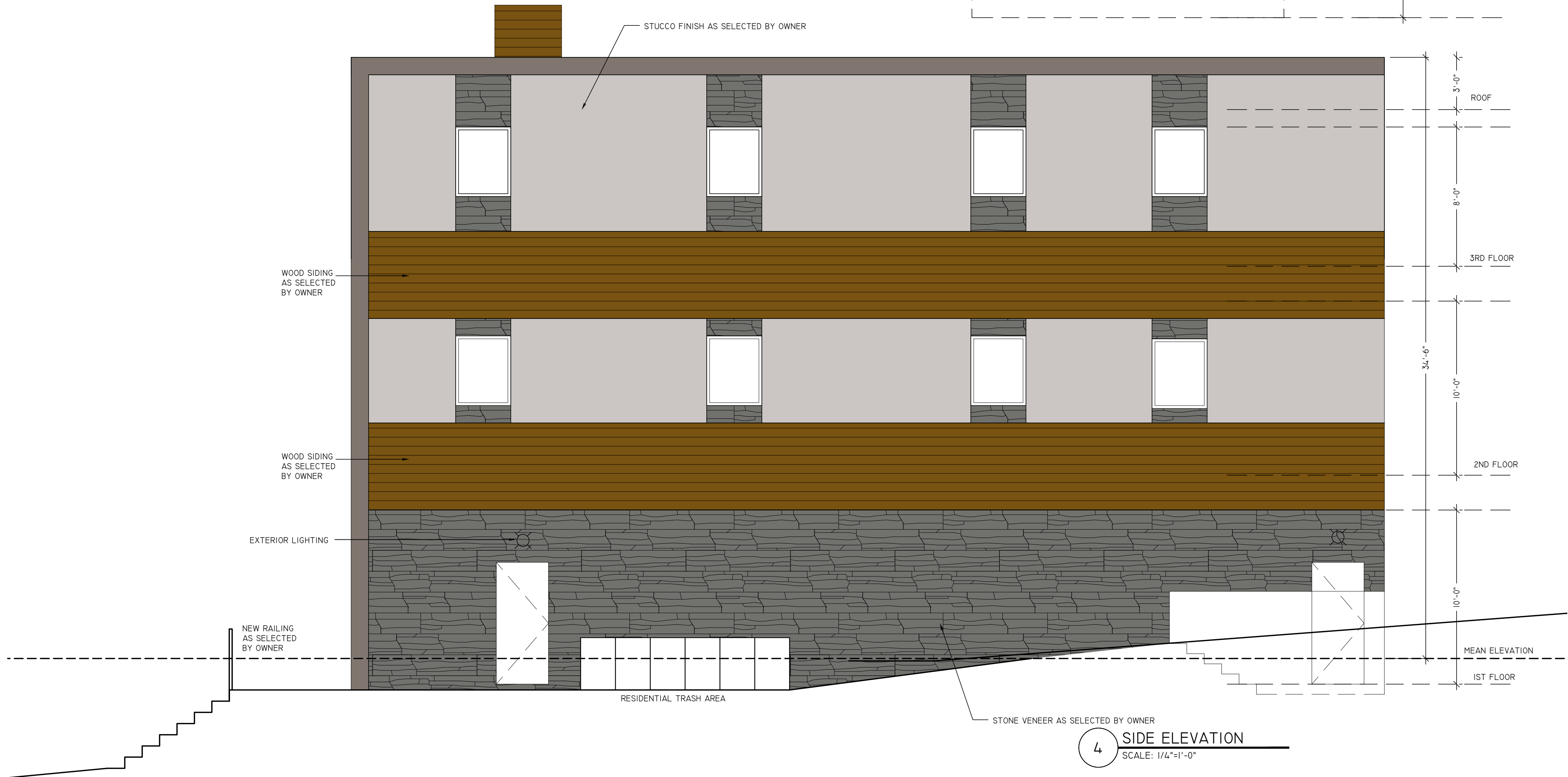
DATE: 4/10/24
SCALE: AS NOTED
DRAWN BY: J.R.P.
JOB NUMBER: 24-010
SHEET: 8 OF 8

DRAWING NUMBER

A-302



3 SIDE ELEVATION
SCALE: 1/4"=1'-0"



4 SIDE ELEVATION
SCALE: 1/4"=1'-0"

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