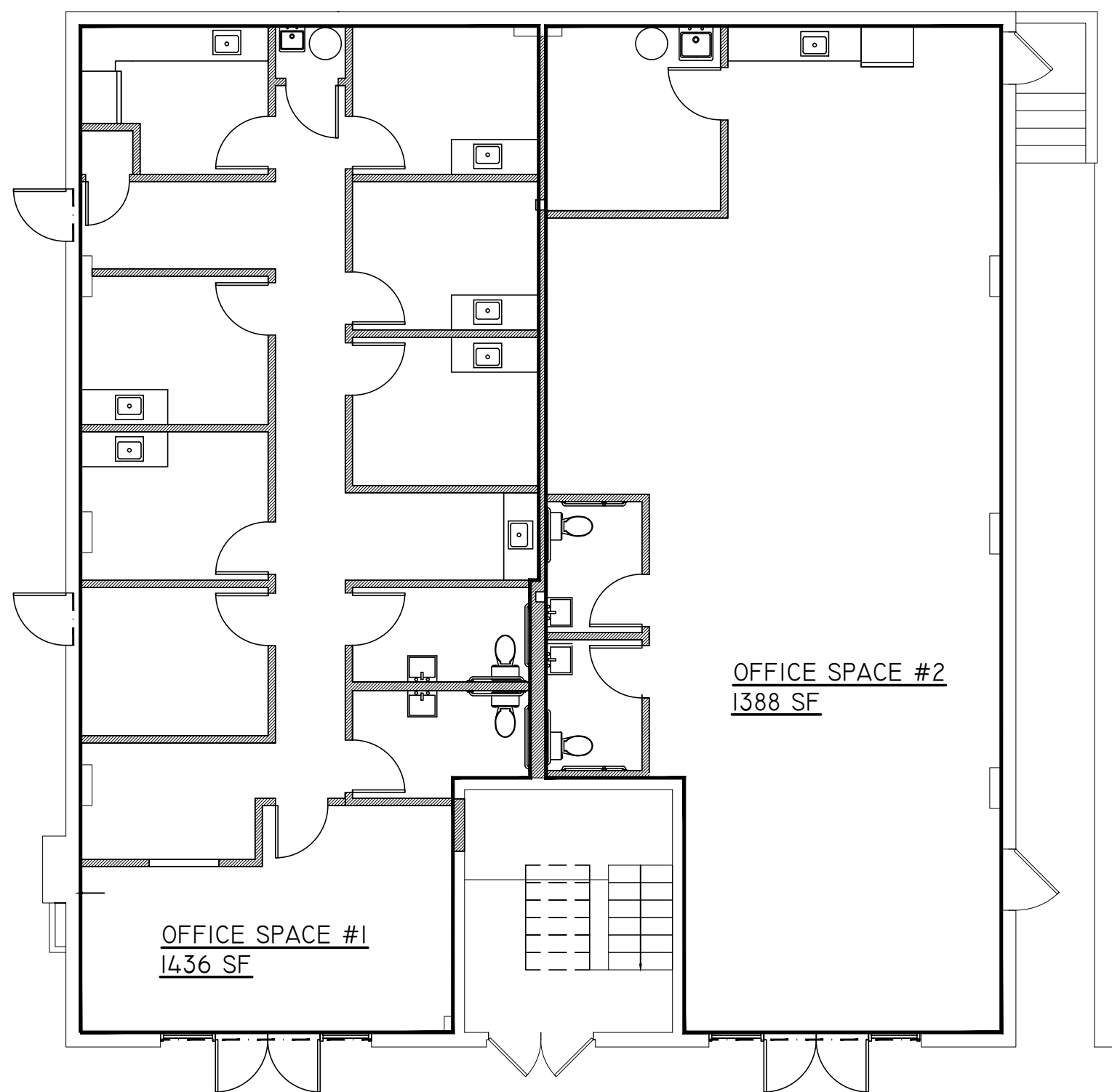
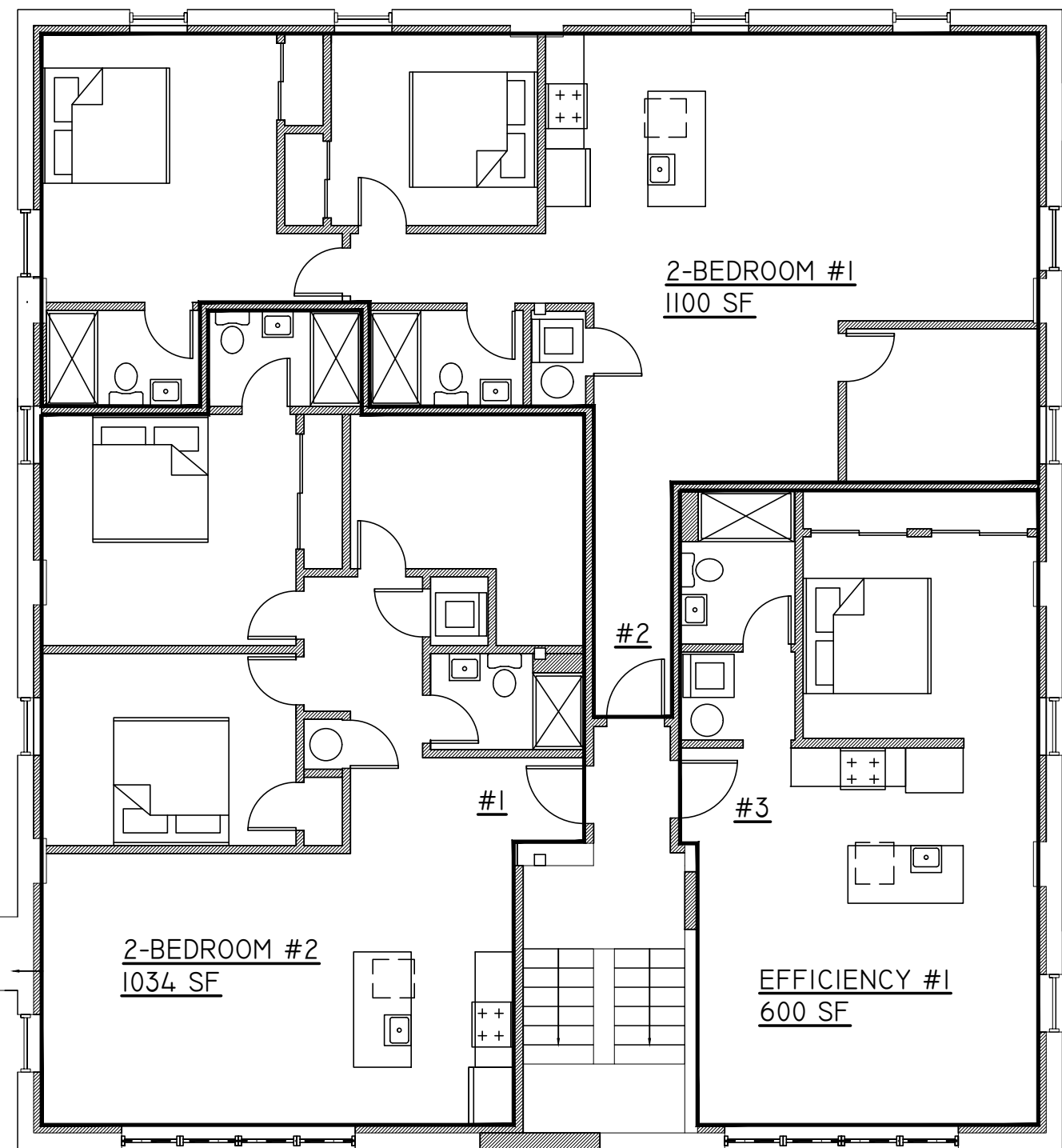


3 KEY PLAN THIRD FLOOR  
SCALE: 1/8"=1'-0"



1 KEY PLAN FIRST FLOOR  
SCALE: 1/8"=1'-0"



2 KEY PLAN SECOND FLOOR  
SCALE: 1/8"=1'-0"

B-1 ZONE (SPECIAL IMPROVEMENT DISTRICT)				
	REQUIRED	EXISTING	PROPOSED	NOTES
MAX HEIGHT	35' (2.5 STORIES)	22'-11" (2 STORIES)	34'-6" (3 STORIES)	DOES NOT CONFORM
MIN LOT AREA	NO MINIMUM	15159 SF	NO CHANGE	CONFORMS
MIN LOT AREA PER UNIT SF	N/A	N/A	7 UNITS	CONFORMS
LOT WIDTH (MIN)	NO MINIMUM	75 FEET	NO CHANGE	CONFORMS
FRONT SETBACK (FT)	NONE REQUIRED	125.7 FEET	NO CHANGE	CONFORMS
SIDE SETBACK (FT)	NONE OR 6' IF PROVIDED	11.4 FEET	NO CHANGE	CONFORMS
REAR SETBACK (FT)	30 FEET	6.54 FEET +/-	NO CHANGE	EX. NON-CONFORMANCE
MAX BUILDING COVERAGE	60%	21.3% (3229 SF)	NO CHANGE	CONFORMS
MAX LOT COVERAGE	75%	84.2% (12765 SF)	NO CHANGE	EX. NON-CONFORMANCE
PARKING REQUIREMENTS				
USE	CODE REQ.	PROPOSED SF	SPACES REQ	
OFFICE (1ST FLOOR)	1 PER 250 SF GROSS	2824 SF	12 SPACES	
1 BED/ EFFICIENCY BEDROOM	1.8	5 UNITS	9 SPACES	
2 BEDROOMS	2.0	2 UNITS	4 SPACES	
		TOTAL	25 REQUIRED	26 PROVIDED

UNIT SIZE INFORMATION  
MIN APARTMENT REQ EFFICIENCY 600 SF, 1 BEDROOM 800 SF, 2 BEDROOM = 1,000 SF

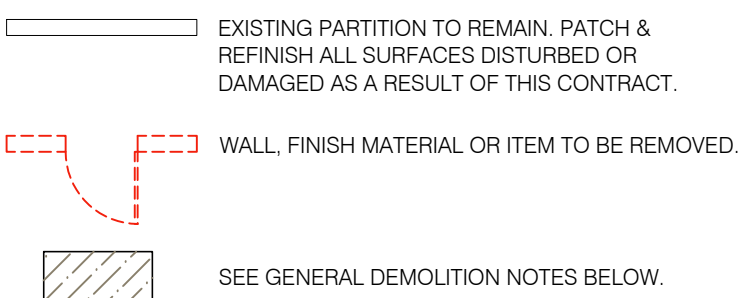
1ST FLOOR  
TENANT SPACE 1 OFFICE- 1436 SF  
TENANT SPACE 2 OFFICE- 1388 SF

2ND FLOOR  
2 BED #1= 1100 SF  
2 BED #2= 1034 SF  
EFFICIENCY#1 = 600 SF

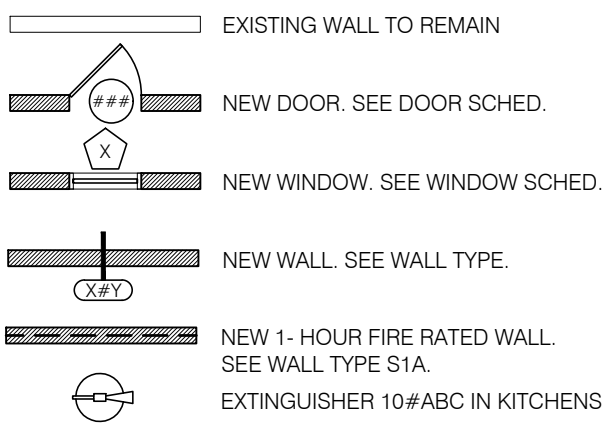
3RD FLOOR  
1 BED #1= 800 SF  
1 BED #2= 850 SF  
EFFICIENCY #2= 600 SF  
EFFICIENCY #3= 615 SF

NOTE:  
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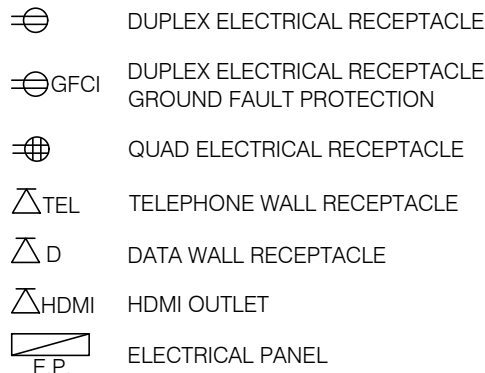
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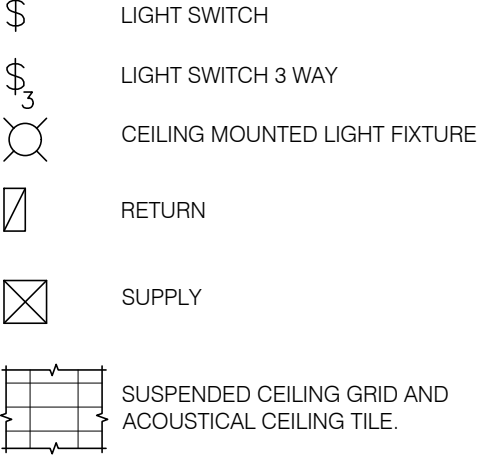
#### CONSTRUCTION LEGEND



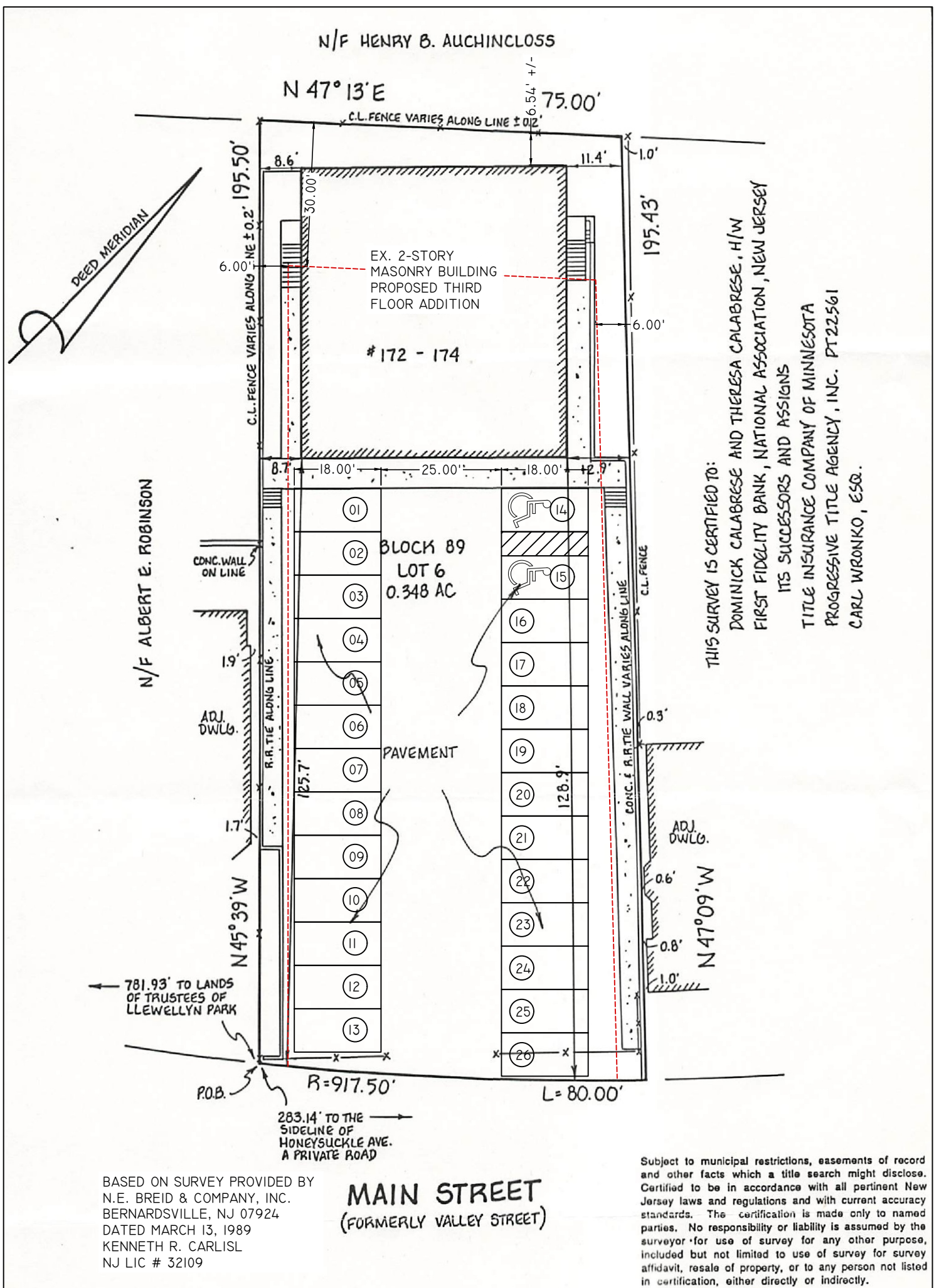
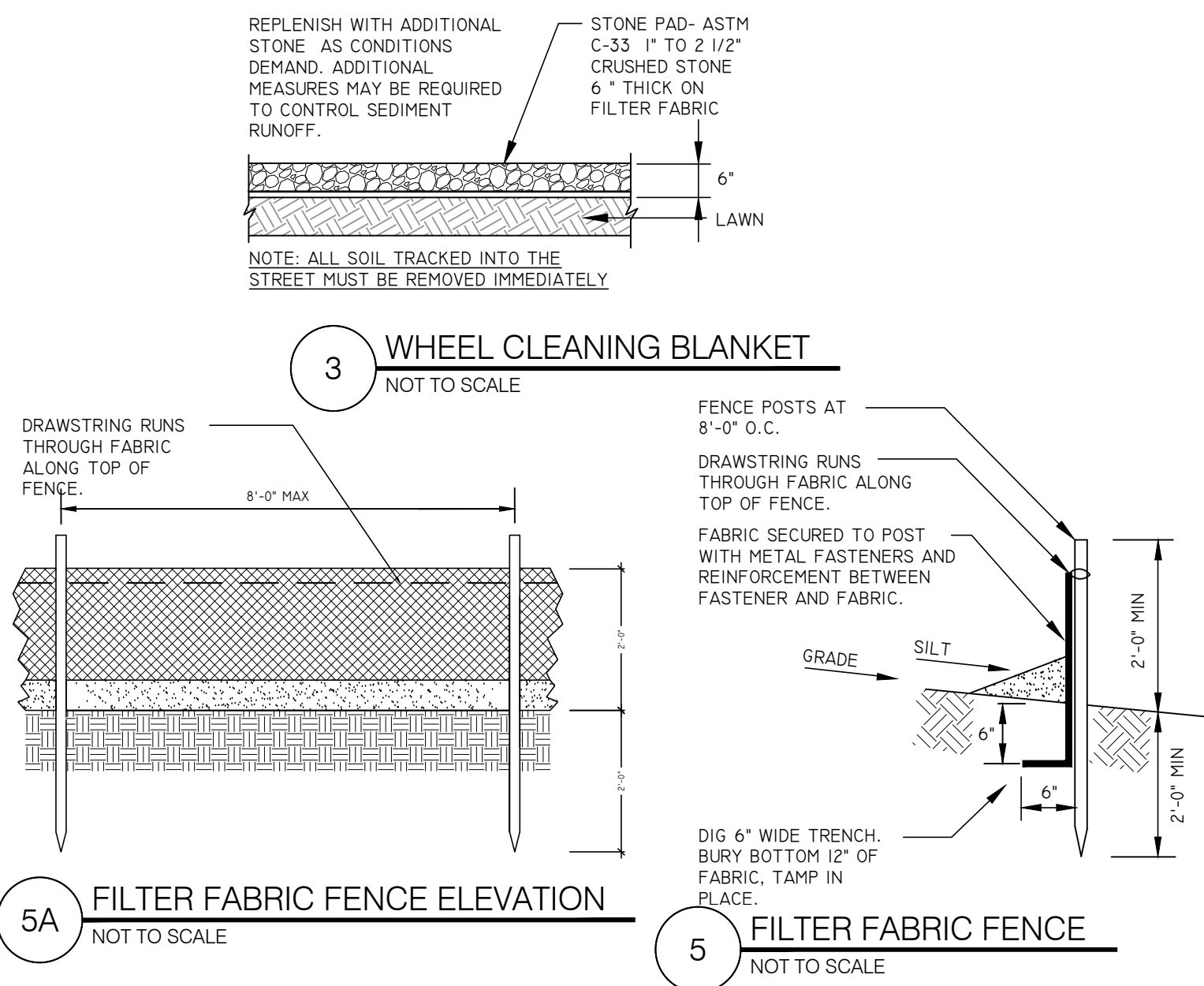
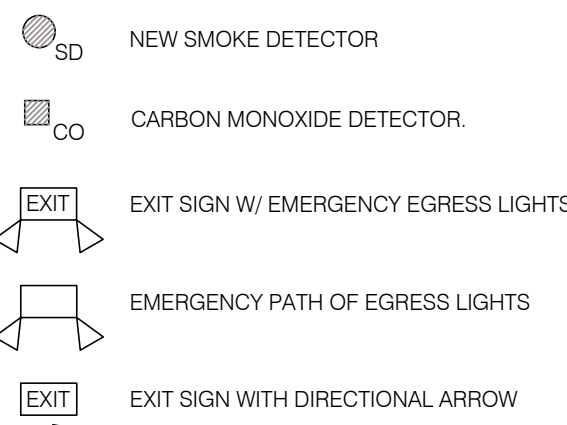
#### ELECTRICAL LEGEND



#### REFLECTED CEILING LEGEND



#### FIRE DETECTION & NOTIFICATION



0 SITE PLAN  
SCALE: 1"=25'

**PROJECT DESCRIPTION**  
CHANGE OF USE  
MIXED USE

**AUTHORITY HAVING JURISDICTION**  
WEST ORANGE BUILDING DEPARTMENT, WEST ORANGE, NJ

**APPLICABLE CODES**  
NEW JERSEY UNIFORM CONSTRUCTION CODE (NJAC 5:23) (NIUCC)  
INTERNATIONAL BUILDING CODE 2021 (IBC) NEW JERSEY EDITION  
INTERNATIONAL MECHANICAL CODE 2021 (IMC)  
INTERNATIONAL FUEL GAS CODE 2021 (IFGC)  
NATIONAL STANDARD PLUMBING CODE 2021 (NSPC)  
NFPA 70: NATIONAL ELECTRIC CODE 2020 (NEC)  
ENERGY SUBCODE ASHRAE 90.1-2019  
BARRIER FREE SUBCODE IBC CHAPTER 11 & ICC A117.1-2017  
REHABILITATION SUBCODE (NJAC 5:23-6)  
ELEVATOR SUBCODE (NJAC 5:23-12)

THIS PROJECT IS AN ADDITION, ALTERATION AND CHANGE IN USE AS DEFINED BY THE NJ REHABILITATION SUBCODE

**APPLIES TO CHANGE IN USE OF EXISTING BUILDINGS ONLY**  
THIS PROJECT CONSISTS OF CONVERTING THE SPACE FROM A B OCCUPANCY TO A MIXED USE B-OCCUPANCY AND R-2 APARTMENTS

ACCORDINGLY, THIS PROJECT IS A "CHANGE IN USE" AS DEFINED BY THE NJ REHABILITATION SUBCODE.

**BUILDING CLASS** NJAC 5:23-4.3A(D)  
CLASS 2

**BUILDING VOLUME** NJAC 5:23-2.28  
111,849 CUBIC FEET

**AREA OF LARGEST FLOOR (FOR PERMIT FORM/NIUCC-F110)**  
3229 SF

**USE AND OCCUPANCY CLASSIFICATION/IBC SECTION 302**  
B AND R-2  
MIXED SEPARATED PER IBC 508.4

**SPECIAL DETAILED OCCUPANCY AND USE REQUIREMENTS** IBC CHAPTER 4  
NONE

**BUILDING AREA** IBC 503.1  
EXISTING 6,458 SF  
ADDITION 3229 SF

TOTAL 9,687 SF

**ALLOWABLE AREA** IBC SECTION 506  
TABULAR AREA (TABLE 506.2) 48,000 SF

**BUILDING HEIGHT** IBC 503.1  
34.5 FEET  
3 STORIES

**ALLOWABLE HEIGHT** SECTION 504  
70 FEET (TABLE 504.3)  
4 STORIES (TABLE 504.4)

**INCIDENTAL USES** IBC TABLE 509  
NONE  
FURNACE ROOM >400MBH/HOUR FIRE RATING OR SPRINKLERS  
FIRE PUMP ROOMS 1 HOUR FIRE RATING & SPRINKLERS

**CONSTRUCTION CLASSIFICATION** IBC SECTION 602  
TYPE VA

**FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS** IBC TABLE 601  
PRIMARY STRUCTURAL FRAME 1 HOURS  
BEARING WALLS - EXTERIOR 1 HOURS  
BEARING WALLS - INTERIOR 1 HOURS  
NONBEARING WALLS - EXTERIOR 0 HOURS  
NONBEARING WALLS - INTERIOR 0 HOURS  
FLOOR CONSTRUCTION 1 HOURS  
ROOF CONSTRUCTION 1 HOURS

**AUTOMATIC SPRINKLER SYSTEM** IBC SECTION 903  
THE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM

**PORTABLE FIRE EXTINGUISHERS** IBC SECTION 906  
PORTABLE FIRE EXTINGUISHERS ARE PROVIDED IN LOCATIONS NOTED ON DRAWINGS AND/OR SPECIFICATIONS

**FIRE ALARM AND DETECTION SYSTEMS** IBC SECTION 907  
REQUIRED PROVIDED  
YES

**OCCUPANT LOAD** IBC 1004.5  
FUNCTION AREA AREA PER OCCUPANT/OCCUPANCY

**BUSINESS AREA**  
NORMAL 2824 SF 150 GROSS SF 19  
RESIDENTIAL  
STANDING 5,599 SF 200 GROSS SF 28

TOTAL OCCUPANT LOAD 47

**EGRESS WIDTH PER OCCUPANT** SECTION 1005.3  
COMPONENT WIDTH REQUIRED WIDTH PROVIDED

**WITH SPRINKLERS**  
STAIRS 28 OCCUPANTS X 0.2 = X INCHES 5.6 INCHES  
OTHER COMPONENTS 28 OCCUPANTS X 0.15 = X INCHES 4.2 INCHES  
36" DOOR = 32" CLEAR = 213 OCCUPANTS  
44" STAIR = 220 OCCUPANTS  
EXIT ACCESS TRAVEL DISTANCE  
OCCUPANCY/MAX PERMITTED PROVIDED IBC TABLE 1017.2

**R** 250 FEET X FEET  
**B** 300 FEET X FEET

**CORRIDOR FIRE-RESISTANCE RATING** IBC TABLE 1020.2  
1.5 HOURS

**MINIMUM CORRIDOR WIDTH** IBC TABLE 1020.3  
36 INCHES

**SPACES WITH ONE EXIT OR EXIT ACCESS DOOR/IBC TABLE 1006.2.1**  
R-2 SPACE IS ONLY REQUIRED TO HAVE ONE EXIT PER IBC 1006

**STORIES WITH ONE EXIT** IBC TABLE 1006.3.4(2)  
BUILDING IS ONLY REQUIRED TO HAVE ONE EXIT PER IBC 1006.3.2

**MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD** IBC TABLE 1006.3.3  
1 EXITS PER STORY REQUIRED FOR R-2 BASEMENT, FIRST, SECOND OR THIRD ABOVE GRADE  
PLAN MAX NUMBER OF DWELLING UNITS PER FLOOR 4 WITH A MAX. EXIT TRAVEL DISTANCE OF 125 FEET

**GROUND SNOW LOAD (NIUCC BULLETIN 94-8)** IBC TABLE 1608.2  
25 PSF

**RISK CATEGORY** IBC TABLE 1604.5  
II



**JASON PEIST**  
ARCHITECT, LLC

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CHANGE OF USE- ADD A LEVEL  
172-174 MAIN ST  
WEST ORANGE, NJ 07052  
BLOCK 89, LOT 6  
ESSEX COUNTY

REVISIONS:

#	DESCRIPTION:	DATE:
1	ISSUED FOR PERMITS	4/10/2024
2	ISSUED FOR ZONING	6/26/2024

DRAWING TITLE:

TITLE SHEET

ARCHITECTURAL LICENSE #:  
NJ# 21A102035200  
NY# 039598 CT# ARI.0015695  
PA# RA410300 RI# ARC.0005736

*Jason Peist*

JASON PEIST, AIA - ARCHITECT

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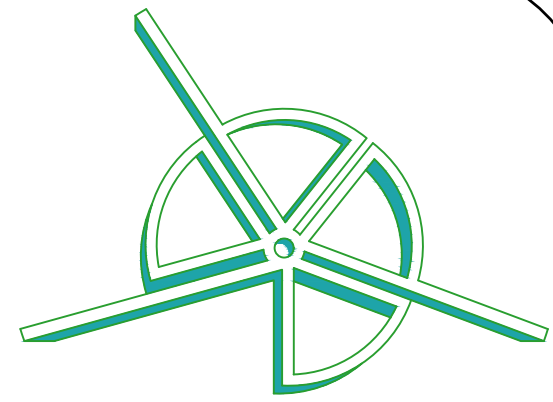
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DATE: 4/10/24  
SCALE: AS NOTED  
DRAWN BY: J.R.P.  
JOB NUMBER: 24-010  
SHEET: 1 OF 8

DRAWING NUMBER

T-1

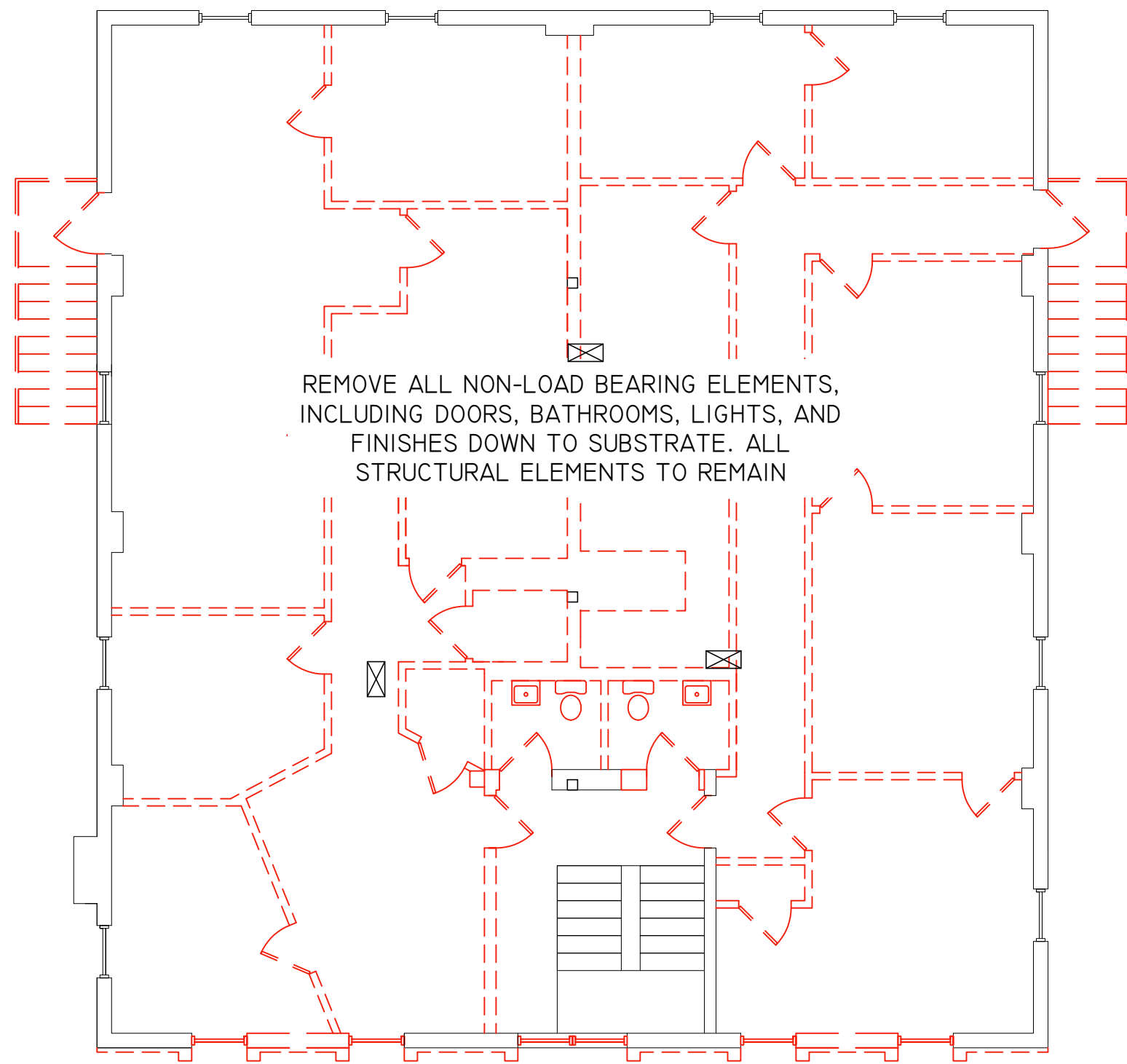




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CHANGE OF USE- ADD A LEVEL  
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WEST ORANGE, NJ 07052  
BLOCK 89, LOT 6  
ESSEX COUNTY



2D DEMOLITION PLAN 2ND FLOOR  
SCALE: 1/8"=1'-0"

REVISIONS:

#	DESCRIPTION:	DATE:
1	ISSUED FOR PERMITS	4/10/2024
2	ISSUED FOR ZONING	6/26/2024

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DEMOLITION PLANS  
PARTIAL CELLAR PLAN

ARCHITECTURAL LICENSE #:  
NJ# 21A102035200  
NY# 039598 CT# ARI.0015695  
PA# RA410300 RI# ARC.0005736

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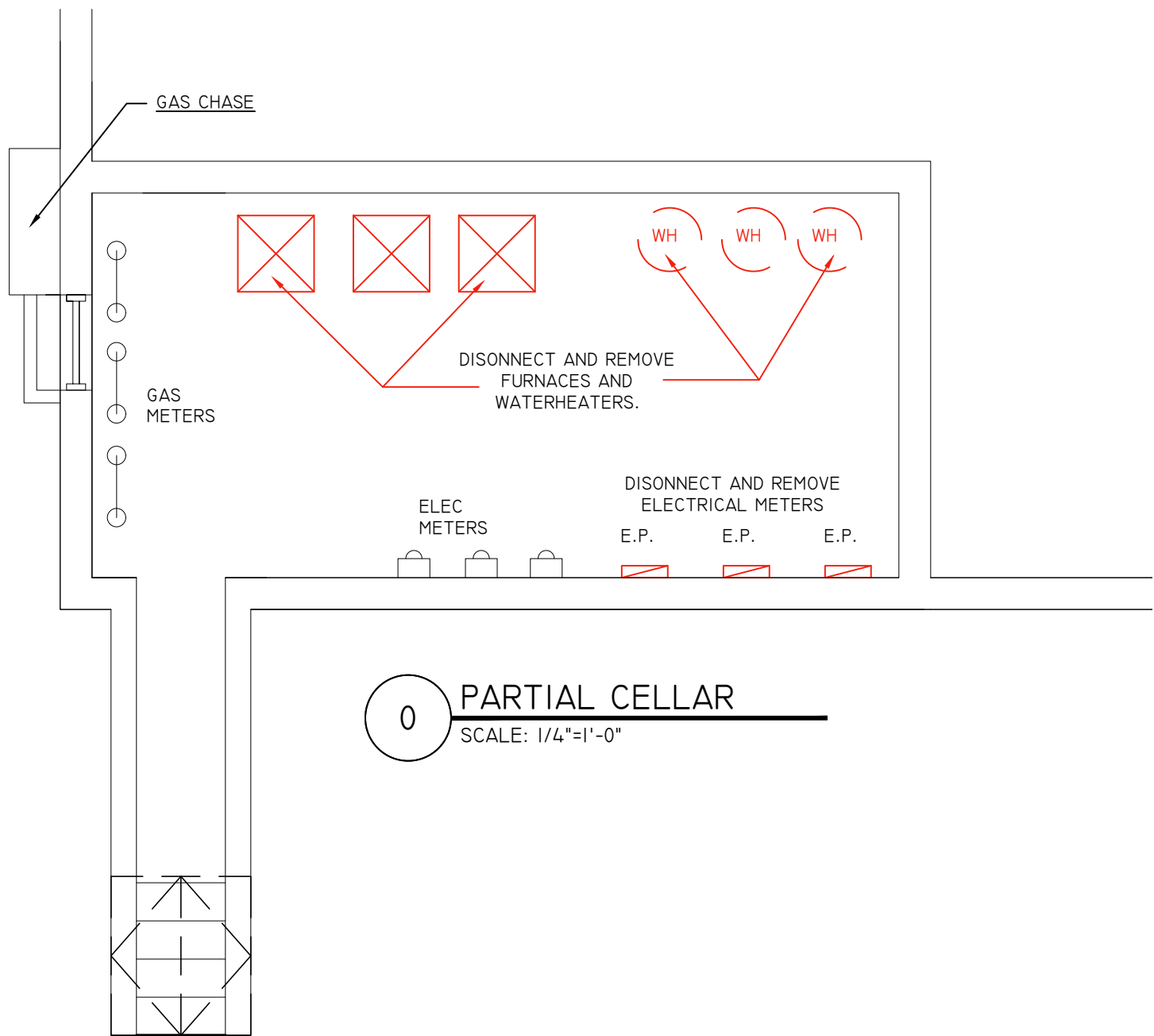
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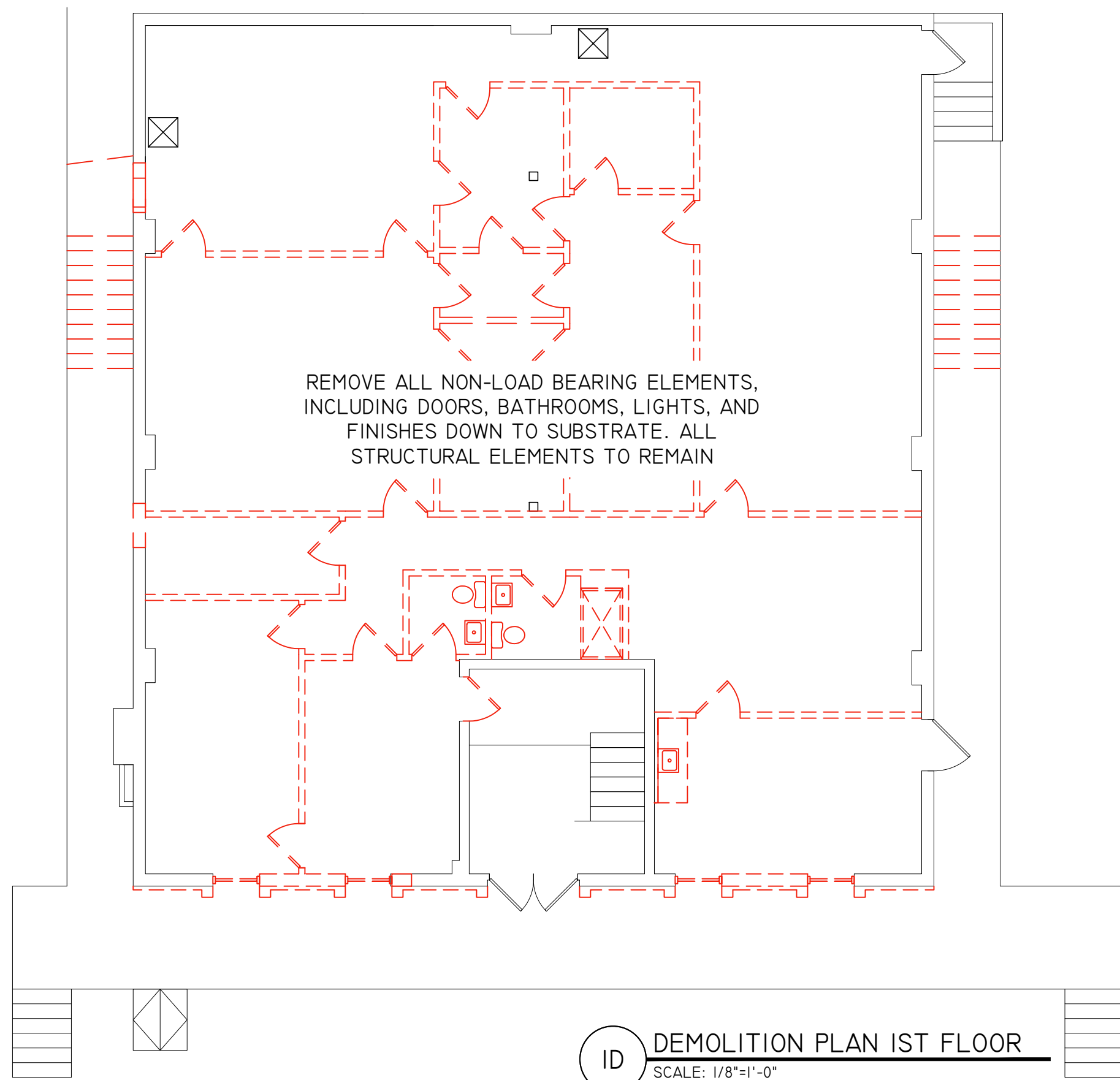
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JOB NUMBER: 24-010  
SHEET: 2 OF 8

DRAWING NUMBER

D-001

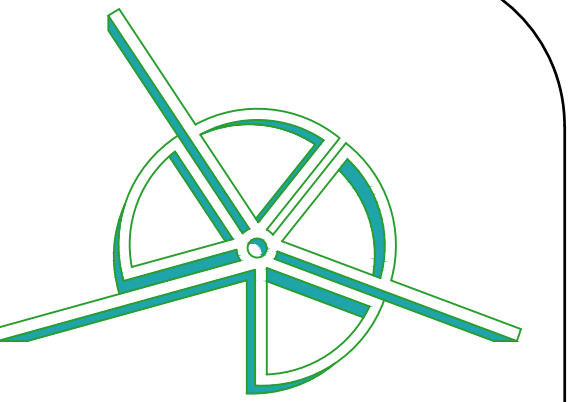


0 PARTIAL CELLAR  
SCALE: 1/4"=1'-0"



1D DEMOLITION PLAN 1ST FLOOR  
SCALE: 1/8"=1'-0"

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2	ISSUED FOR ZONING	6/26/2024

DRAWING TITLE:  
FIRST FLOOR  
CELLAR PLAN  
CONSTRUCTION PLAN

ARCHITECTURAL LICENSE #:  
NJ# 21A102035200  
NY# 039598 CT# ARI.0015695  
PA# RA410300 RI# ARC.0005736

*Jason Peist*

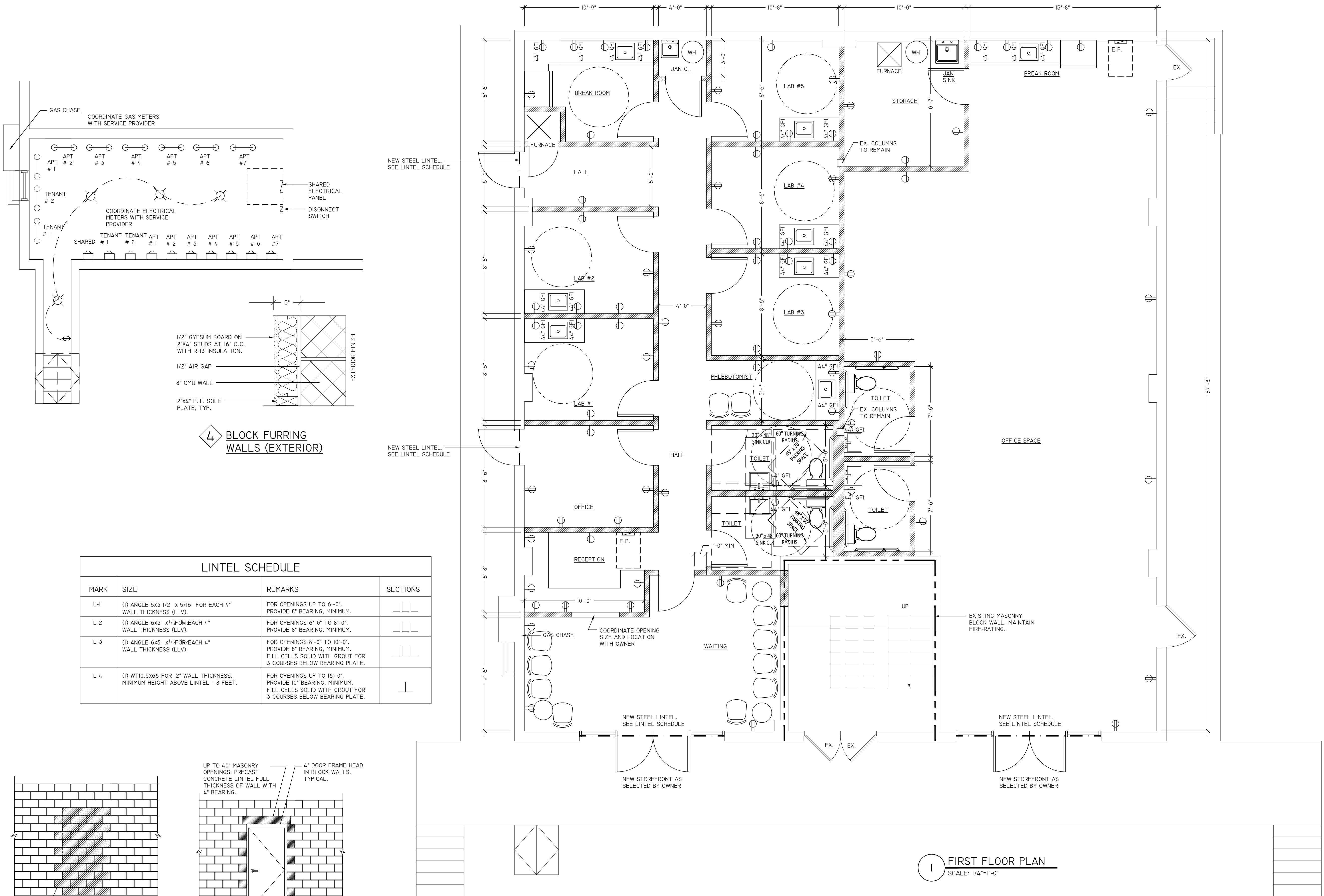
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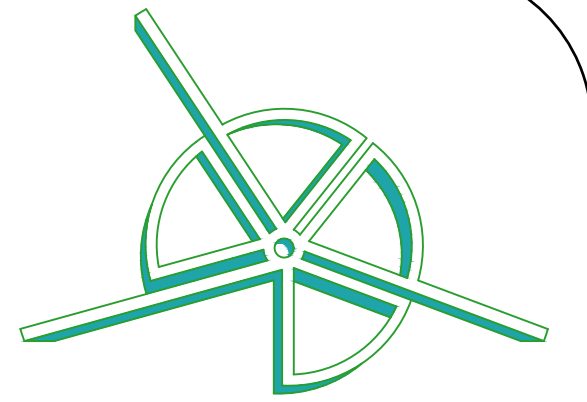
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JOB NUMBER: 24-010  
SHEET: 3 OF 8

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**A-101**







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BLOCK 89, LOT 6  
ESSEX COUNTY

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1	ISSUED FOR PERMITS	4/10/2024
2	ISSUED FOR ZONING	6/26/2024

DRAWING TITLE:  
FIRST FLOOR  
CONSTRUCTION PLAN

ARCHITECTURAL LICENSE #:  
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NY# 039598 CT# ARI.0015695  
PA# RA410300 RI# ARC.0005736

*Jason Peist*

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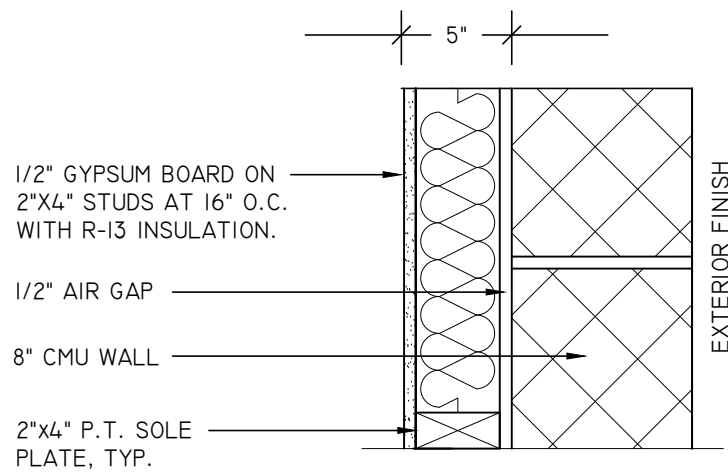
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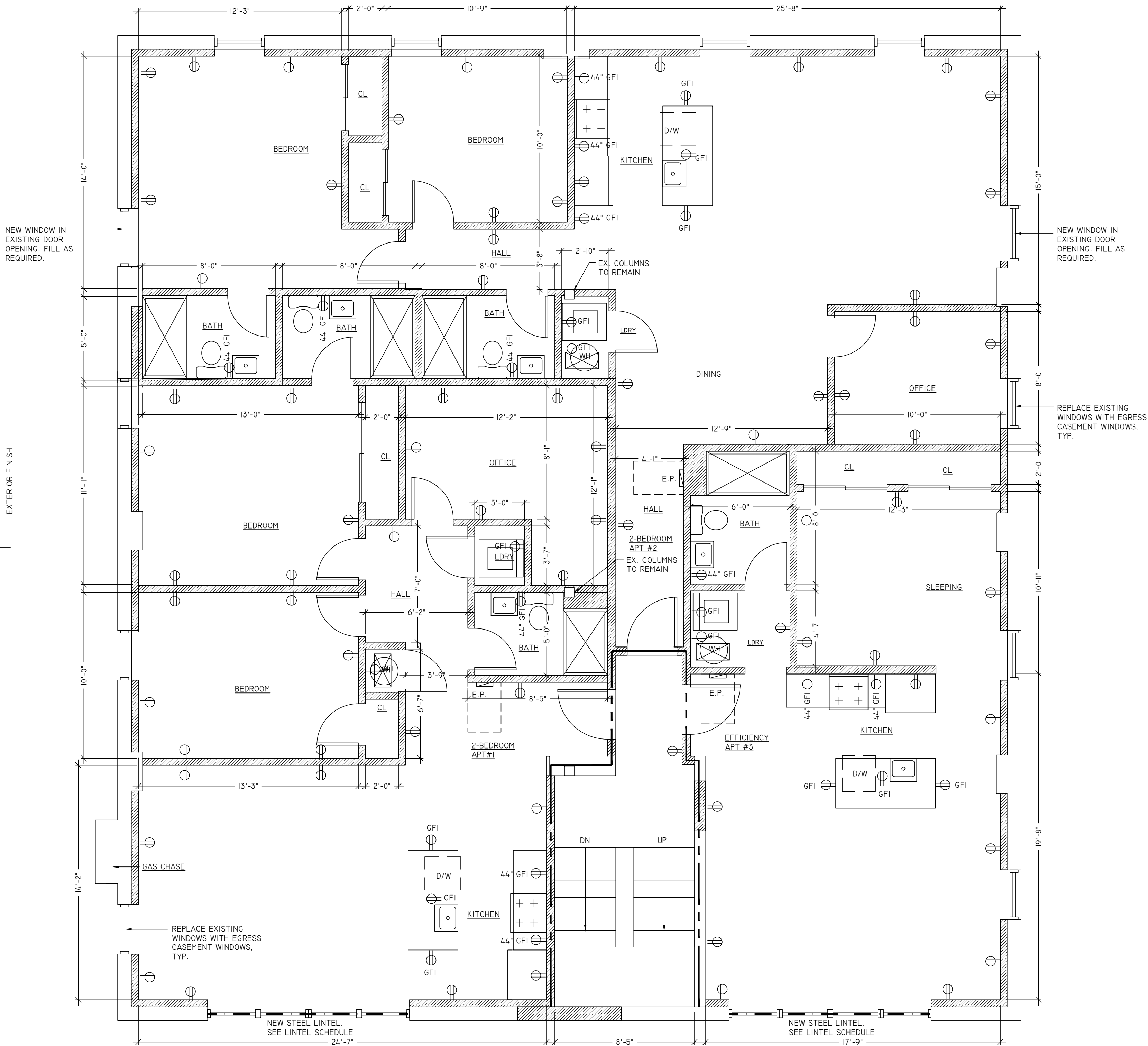
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SHEET: 4 OF 8

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**A-102**



**4 BLOCK FURRING WALLS (EXTERIOR)**

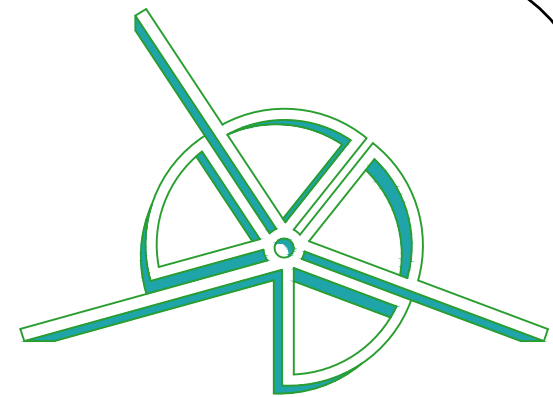


**2 SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

ALL WINDOWS SHALL HAVE LOW 'E' GLASS, DOUBLE GLAZED. OWNER SHALL CONFIRM STYLE, COLOR AND ACCESSORIES. SUBSTITUTIONS MUST MEET ENERGY CODE REQUIREMENTS.  
CONTRACTOR RESPONSIBLE FOR WINDOW COUNT. NOTIFY ARCHITECT OF ANY DISCREPANCIES.  
CONTRACTOR SHALL VERIFY ROUGH OPENING DIMENSIONS PRIOR TO FRAMING FOR DOORS AND WINDOWS

1. TEMPERED GLASS TO BE INSTALLED WHERE REQUIRED BY CODE, NOT LIMITED TO:
- 1.1. ANY WINDOW OR SIDELIGHT WITHIN 24 INCHES HORIZONTALLY OF A DOOR MUST BE TEMPERED.
  - 1.2. ANY WINDOW OR SASH THAT IS 9 SQUARE FEET OR MORE AND IS 18 INCHES OR LESS FROM A FLOOR MUST BE TEMPERED.
  - 1.3. ANY WINDOW WITHIN A TUB OR SHOWER AREA THAT IS LESS THAN 60 INCHES FROM THE FLOOR OF THE TUB MUST BE TEMPERED.
  - 1.4. ANY WINDOW ON A STAIRCASE LANDING OR WITHIN 60 INCHES A STAIRCASE TREAD MUST BE TEMPERED.

NOTE:  
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CHANGE OF USE- ADD A LEVEL  
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WEST ORANGE, NJ 07052  
BLOCK 89, LOT 6  
ESSEX COUNTY

REVISIONS:		
#	DESCRIPTION:	DATE:
	ISSUED FOR PERMITS	4/10/2024
	ISSUED FOR ZONING	6/26/2024

DRAWING TITLE:  
THIRD FLOOR  
CONSTRUCTION PLAN

ARCHITECTURAL LICENSE #:  
NJ# 21A102035200  
NY# 039598 CT# ARI.0015695  
PA# RA410300 RI# ARC.0005736

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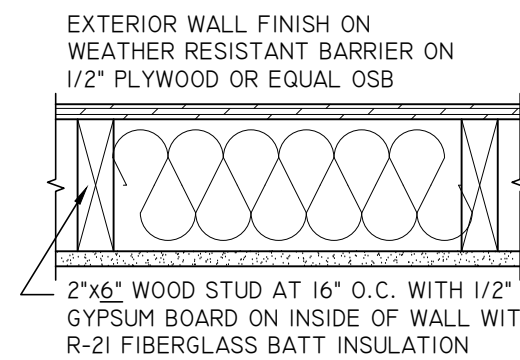
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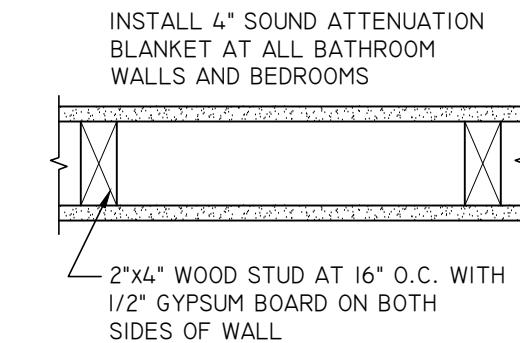
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SHEET: 5 OF 8

DRAWING NUMBER

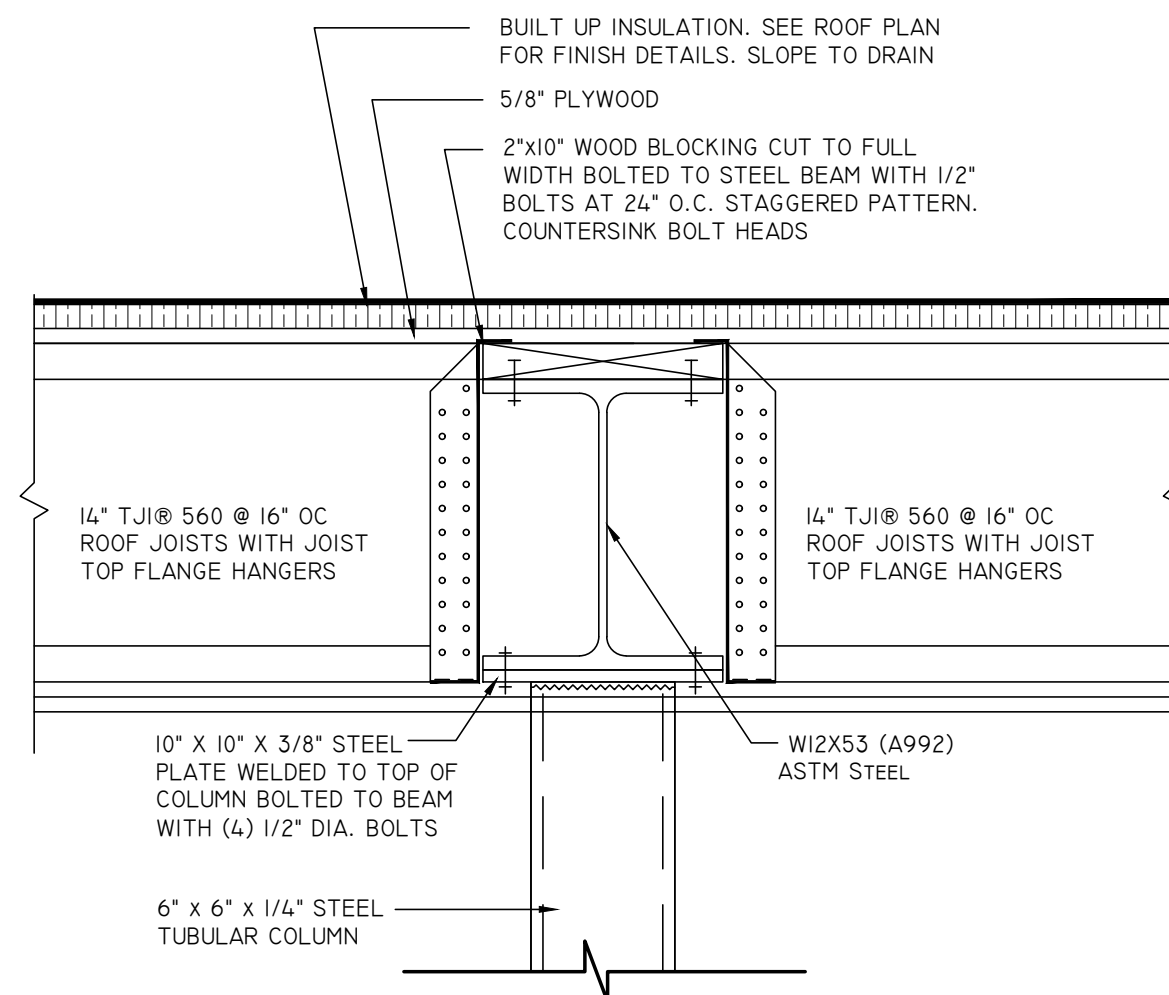
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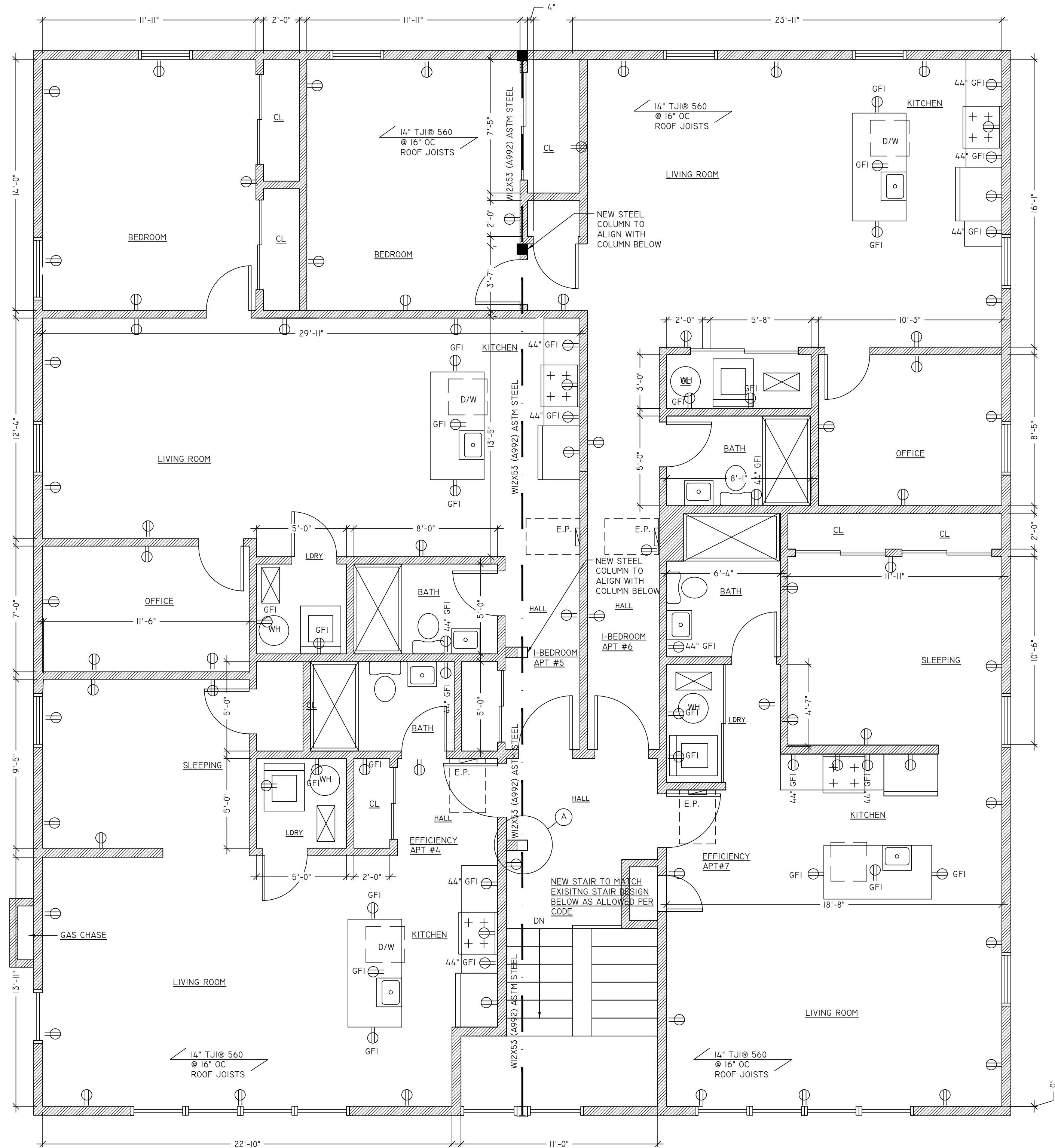
1 EXTERIOR WALL TYPE  
TYPICAL



2 INTERIOR WALL TYPE



A ROOF BEAM DETAIL  
SCALE: 1/2"=1'-0"



3 THIRD FLOOR PLAN  
SCALE: 1/4"=1'-0"

## STAIR NOTES

- CONCRETE PAN TREAD STEEL STAIR SHALL BE DESIGNED IN ACCORDANCE WITH IBC NJ EDITION OF THE NJ UNIFORM CONSTRUCTION CODE.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION AND BE SEALED BY AN ENGINEER LICENSED TO PRACTICE IN NEW JERSEY.
- GUARD RAIL HEIGHT SHALL BE 42" ABOVE STAIR NOSING AND LANDING.
- HAND RAIL HEIGHT SHALL BE 36" ABOVE STAIR NOSING.
- GUARD RAIL BALUSTER SPACING SHALL NOT ALLOW THE PASSAGE OF A 4" DIA. SPHERE BETWEEN THE BALUSTERS.
- EXTEND HAND RAILS HORIZONTALLY 12" BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.
- STAIR SHALL SUPPORT A UNIFORM LIVE LOAD OF 100 PSF AND A MINIMUM CONCENTRATED LIVE LOAD ON TREADS OF 300 LBS ON 4 SQUARE INCHES.
- HAND RAILS AND GUARD RAILS SHALL SUPPORT 50 LBS PER LINEAR FOOT IN ANY DIRECTION AT THE TOP.
- HAND RAILS AND GUARD RAILS SHALL SUPPORT A SINGLE CONCENTRATED LOAD OF 200 LBS PER LINEAR FOOT IN ANY DIRECTION AT THE TOP.
- PROVIDE A MINIMUM OF 1 1/2" CLEARANCE BETWEEN THE HAND RAIL AND WALL OR OTHER SURFACE.

ALL WINDOWS SHALL HAVE LOW 'E' GLASS, DOUBLE GLAZED. OWNER SHALL CONFIRM STYLE, COLOR AND ACCESSORIES. SUBSTITUTIONS MUST MEET ENERGY CODE REQUIREMENTS.

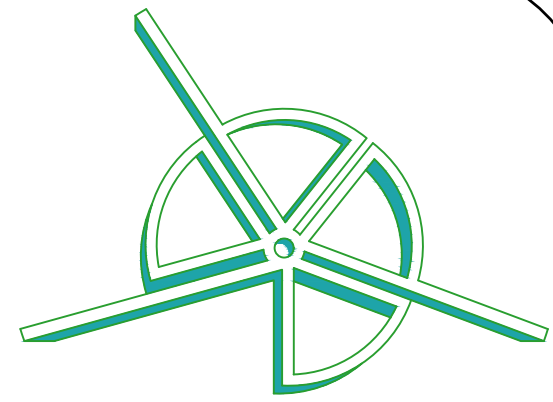
CONTRACTOR RESPONSIBLE FOR WINDOW COUNT. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

CONTRACTOR SHALL VERIFY ROUGH OPENING DIMENSIONS PRIOR TO FRAMING FOR DOORS AND WINDOWS.

- TEMPERED GLASS TO BE INSTALLED WHERE REQUIRED BY CODE, NOT LIMITED TO:
  - ANY WINDOW OR SIDELIGHT WITHIN 24 INCHES HORIZONTALLY OF A DOOR MUST BE TEMPERED.
  - ANY WINDOW OR SASH THAT IS 9 SQUARE FEET OR MORE AND IS 18 INCHES OR LESS FROM A FLOOR MUST BE TEMPERED.
  - ANY WINDOW WITHIN A TUB OR SHOWER AREA THAT IS LESS THAN 60 INCHES FROM THE FLOOR OF THE TUB MUST BE TEMPERED.
  - ANY WINDOW ON A STAIRCASE LANDING OR WITHIN 60 INCHES A STAIRCASE TREAD MUST BE TEMPERED.

NOTE:  
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732-379-0743 | INFO@JASONPEIST.COM

CHANGE OF USE- ADD A LEVEL  
172-174 MAIN ST  
WEST ORANGE, NJ 07052  
BLOCK 89, LOT 6  
ESSEX COUNTY

REVISIONS:

#	DESCRIPTION:	DATE:
1	ISSUED FOR PERMITS	4/10/2024
2	ISSUED FOR ZONING	6/26/2024

DRAWING TITLE:

ROOF PLAN

ARCHITECTURAL LICENSE #:  
NJ# 21A102035200  
NY# 039598 CT# ARI.0015695  
PA# RA410300 RI# ARC.0005736

*Jason Peist*

JASON PEIST, AIA - ARCHITECT

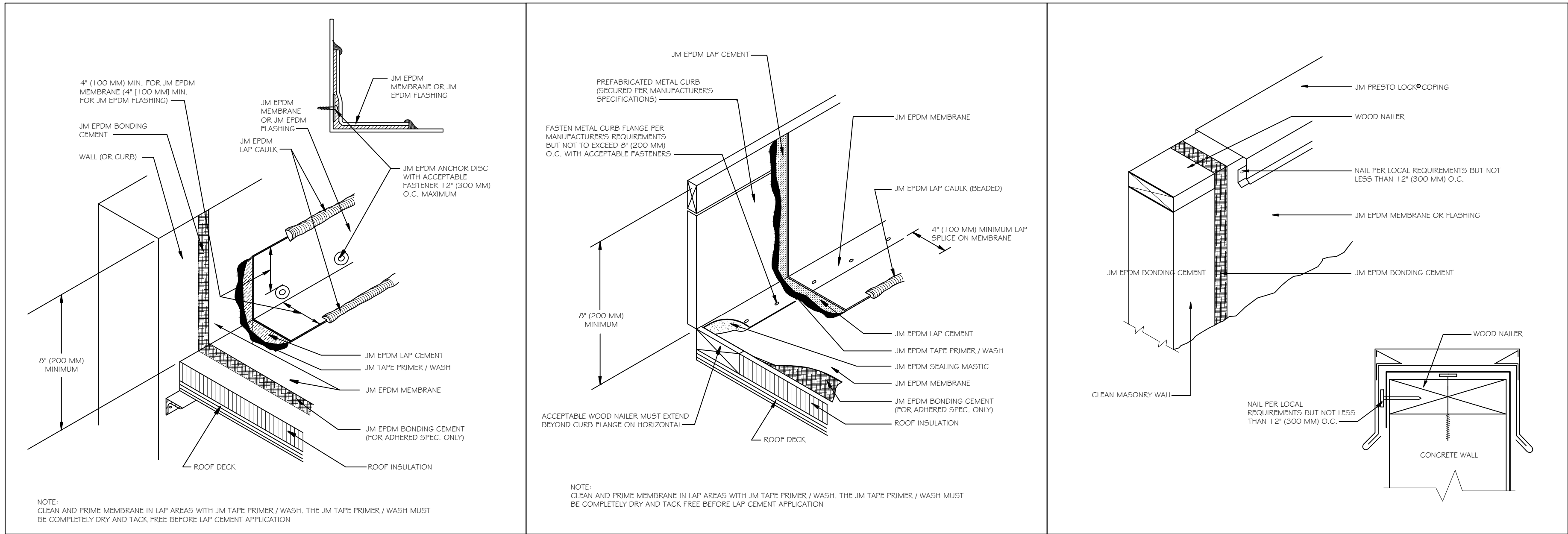
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DATE: 4/10/24  
SCALE: AS NOTED  
DRAWN BY: J.R.P.  
JOB NUMBER: 24-010  
SHEET: 6 OF 8

DRAWING NUMBER

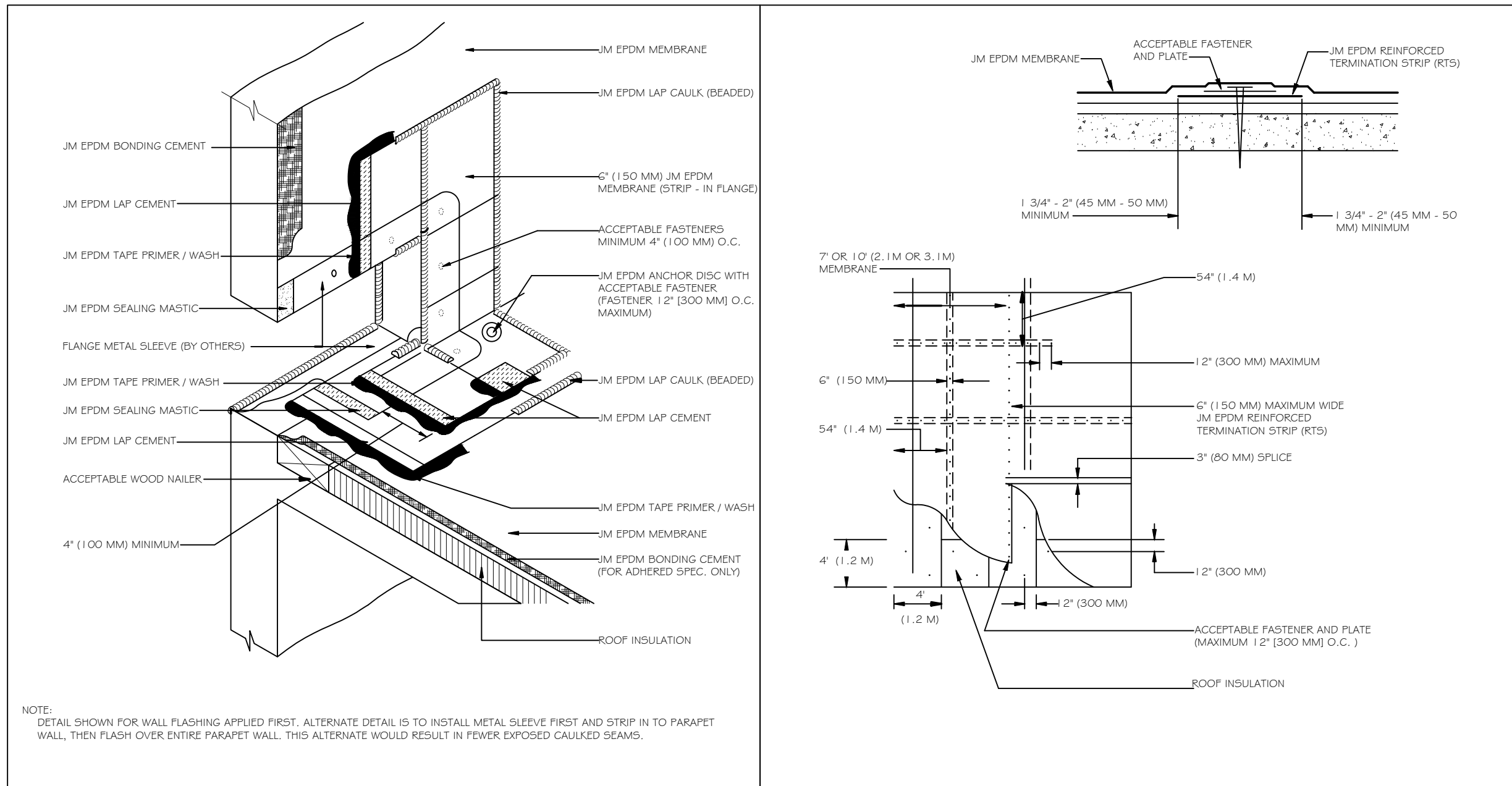
A-104



1 BASE FLASHING WITH JM EPDM MEMBRANE AS FLASHING AND ANCHOR DISCS TO WALL - ADHESIVE

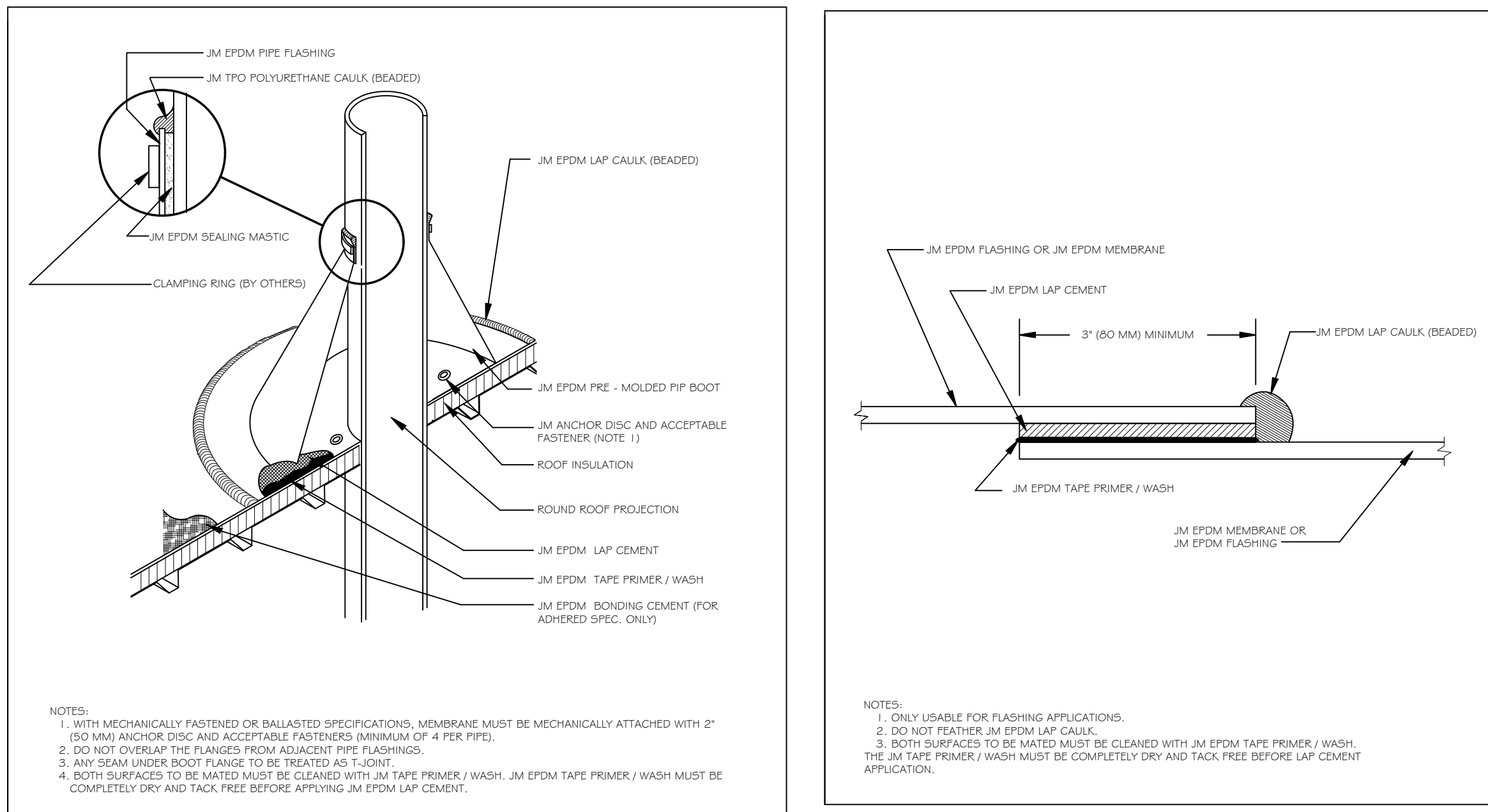
2 BASE FLASHING WITH PREFABRICATED METAL CURB FLASHING

3 WALL CAP FLASHING WITH JM PRESTO LOCK® COPING



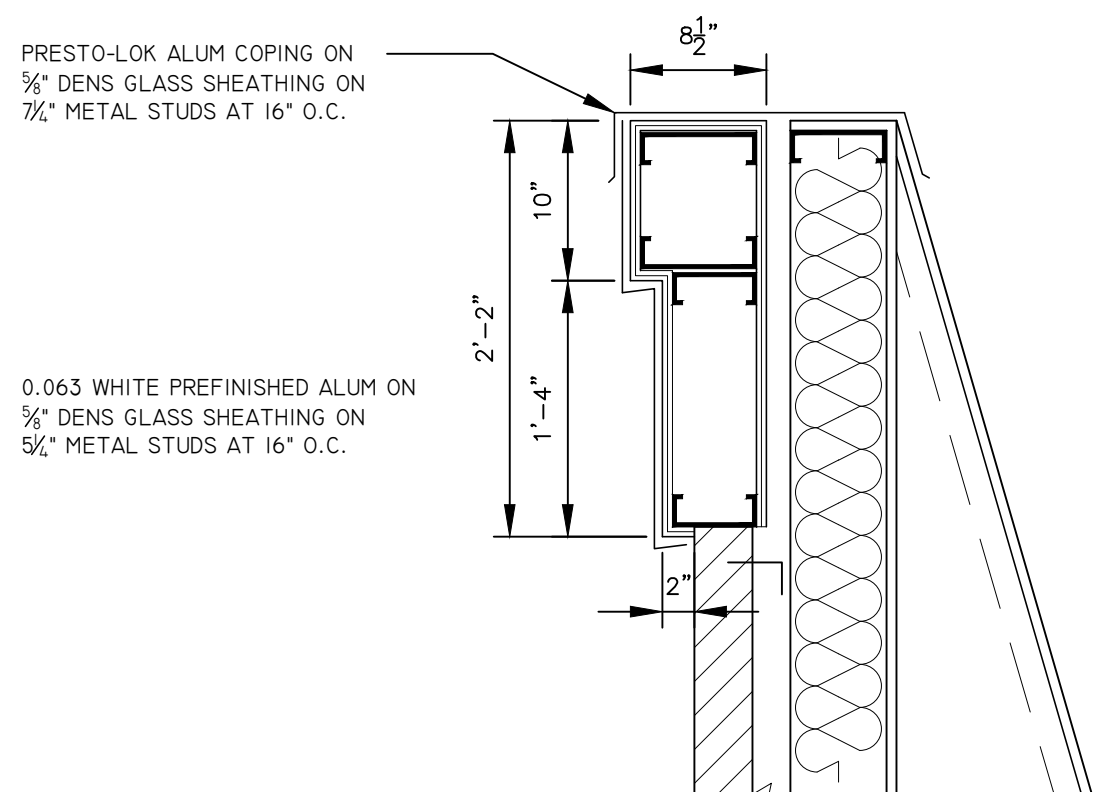
4 PRIMARY DRAIN SCUPPER WITH THROUGH WALL METAL SLEEVE

5 PERIMETER ATTACHMENT FOR MECHANICALLY FASTENED SYSTEMS WITH JM EPDM REINFORCED TERMINATION STRIP (RTS)



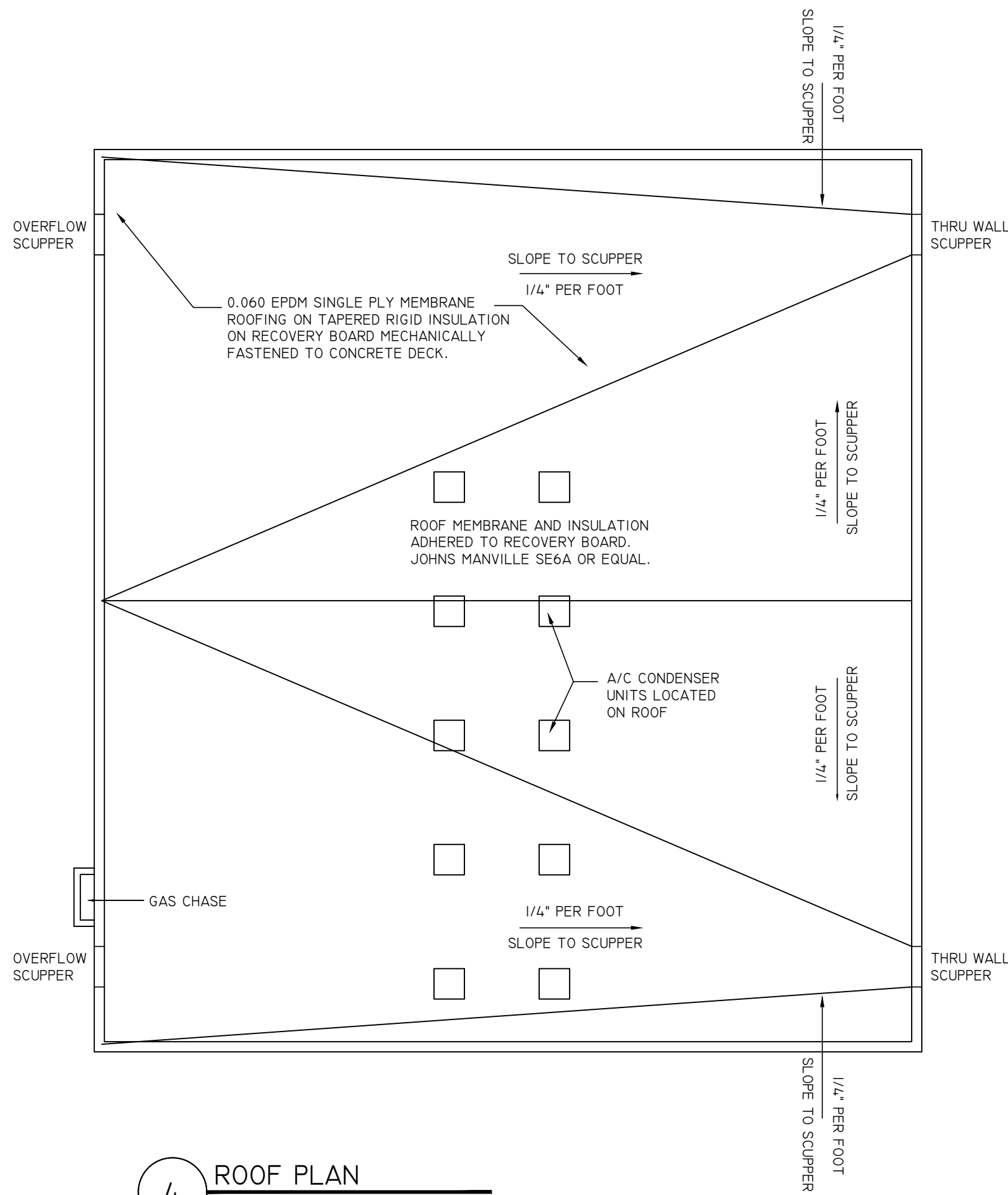
6 JM EPDM PRE-MOLDED PIPE BOOT

7 FLASHING LAP SPLICE



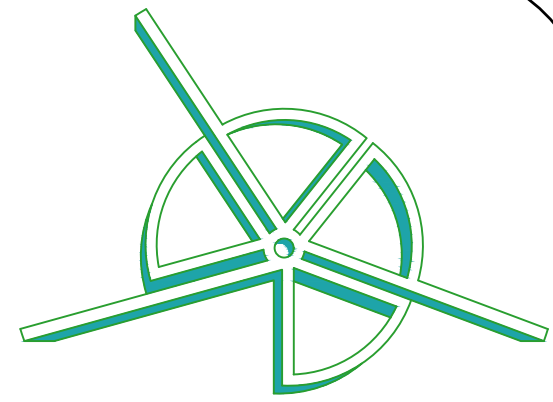
A COPING DETAIL  
SCALE: 1"=1'-0"

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4 ROOF PLAN  
SCALE: 1/8"=1'-0"

NOTE:  
EPDM SINGLE PLY MEMBRANE ROOFING BY JOHNS MANVILLE, OR EQUAL.  
CONTRACTOR SHALL PROVIDE A COMPLETE ROOFING SYSTEM MEETING ALL WARRANTY REQUIREMENTS OF THE ROOFING MANUFACTURER.  
MANUFACTURER'S APPROVED DETAILS SHALL BE USED FOR EACH ROOFING CONDITION.  
CONTRACTOR SHALL SUBMIT ROOFING SPECIFICATIONS AND DETAILS TO ARCHITECT FOR REVIEW AND COMMENT BEFORE ROOFING CAN BEGIN.



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REVISIONS:

#	DESCRIPTION:	DATE:
1	ISSUED FOR PERMITS	4/10/2024
2	ISSUED FOR ZONING	6/26/2024

DRAWING TITLE:

FRONT AND REAR ELEVATION

ARCHITECTURAL LICENSE #:

NJ# 21A102035200  
NY# 039598 CT# ARI.0015695  
PA# RA410300 RI# ARC.0005736

*Jason Peist*

JASON PEIST, AIA - ARCHITECT

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DATE:

4/10/24

SCALE:

AS NOTED

DRAWN BY:

J.R.P.

JOB NUMBER:

24-010

SHEET:

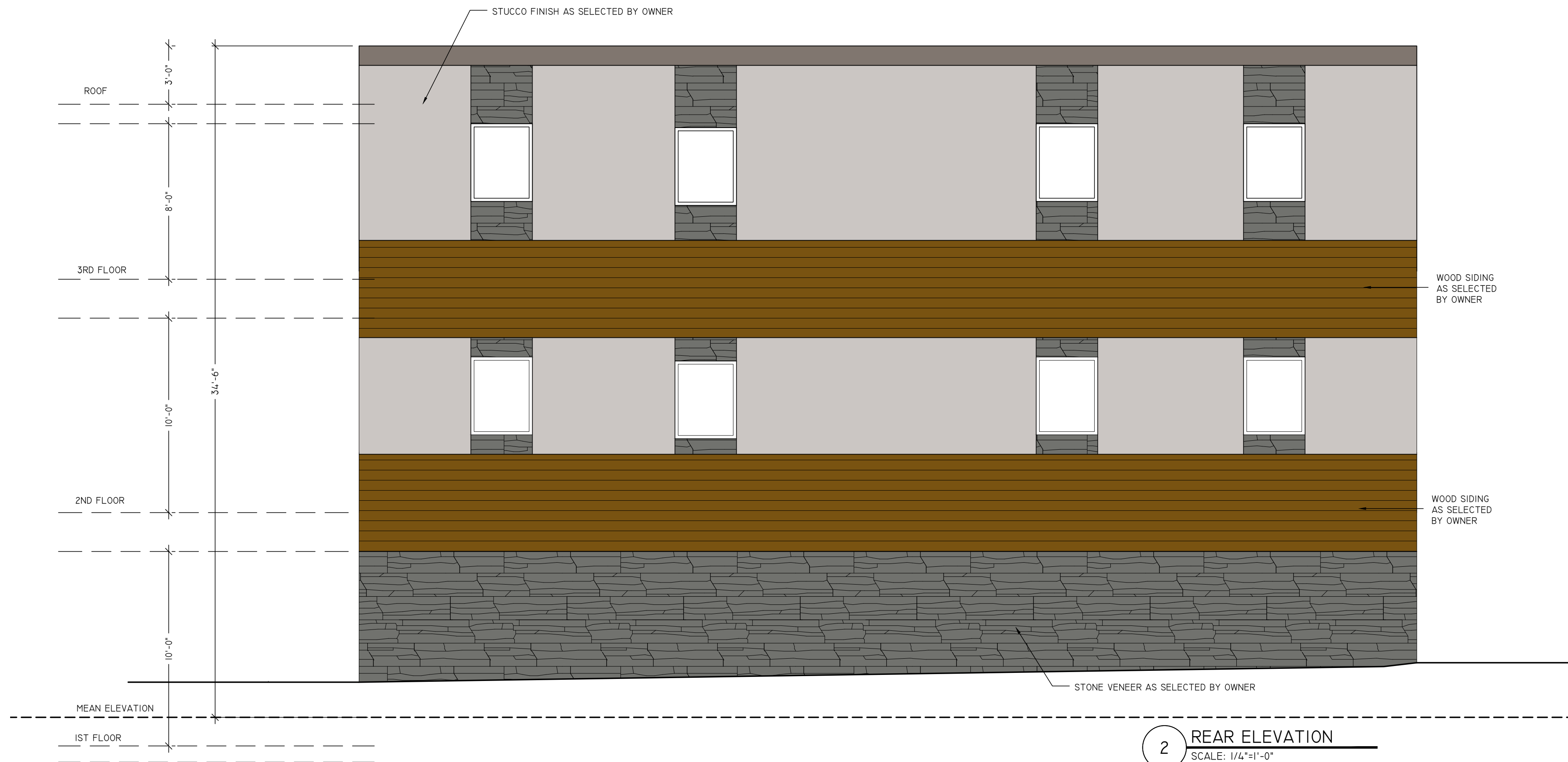
7 OF 8

DRAWING NUMBER

A-301



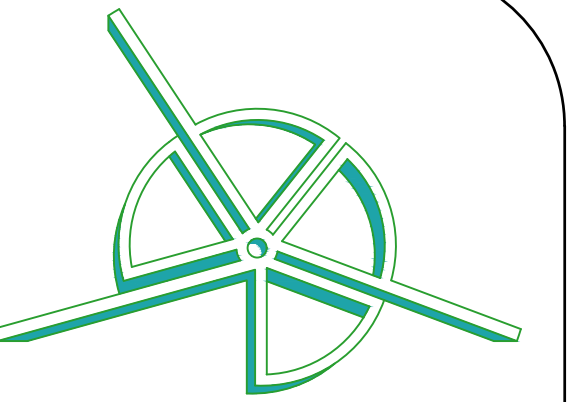
1 FRONT ELEVATION  
SCALE: 1/4"=1'-0"



2 REAR ELEVATION  
SCALE: 1/4"=1'-0"

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REVISIONS:		
#	DESCRIPTION:	DATE:
1	ISSUED FOR PERMITS	4/10/2024
2	ISSUED FOR ZONING	6/26/2024

DRAWING TITLE:

SIDE ELEVATIONS

ARCHITECTURAL LICENSE #:  
NJ# 21A102035200  
NY# 039598 CT# ARI.0015695  
PA# RA410300 RI# ARC.0005736

*Jason Peist*

JASON PEIST, AIA - ARCHITECT

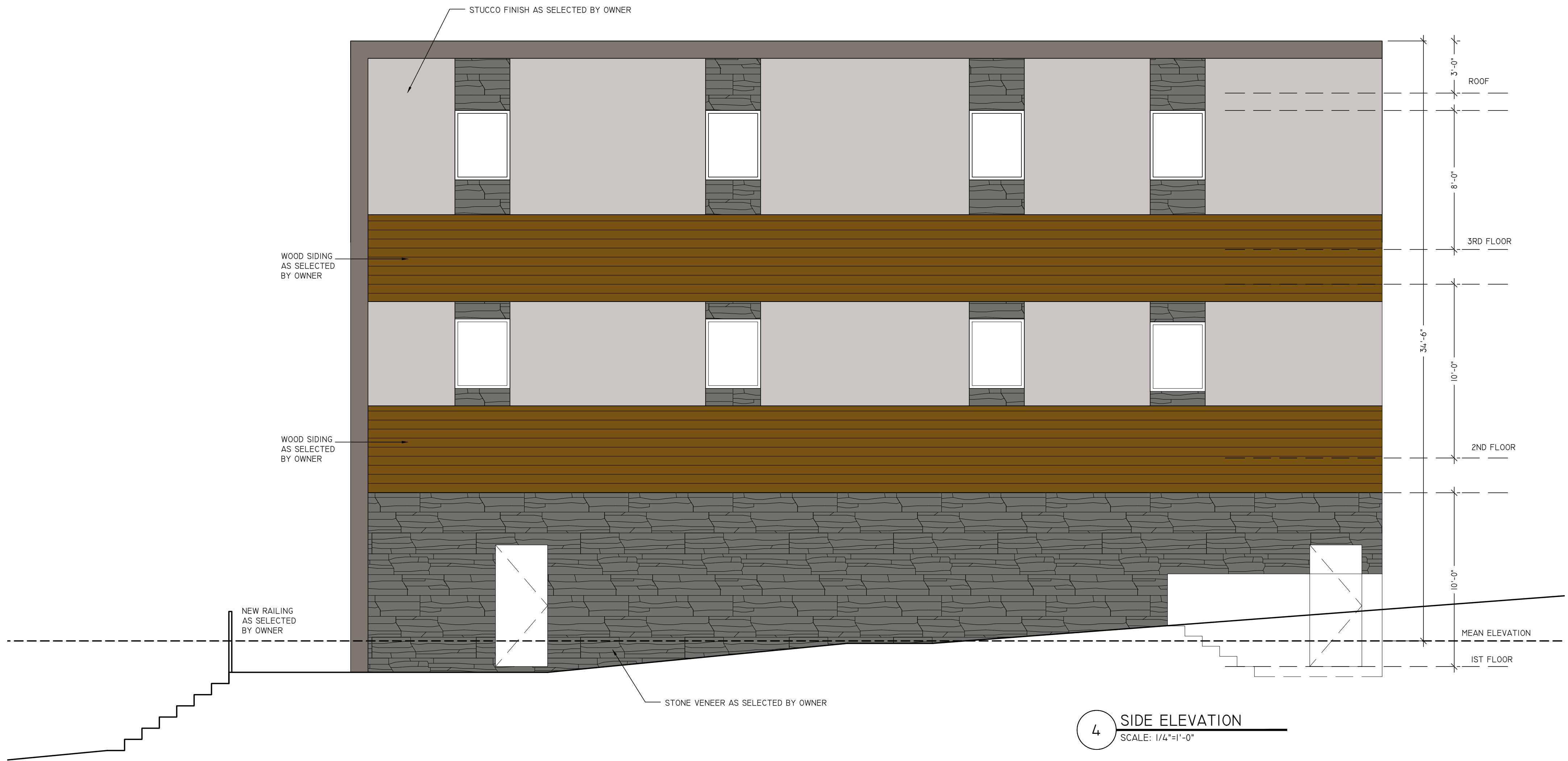
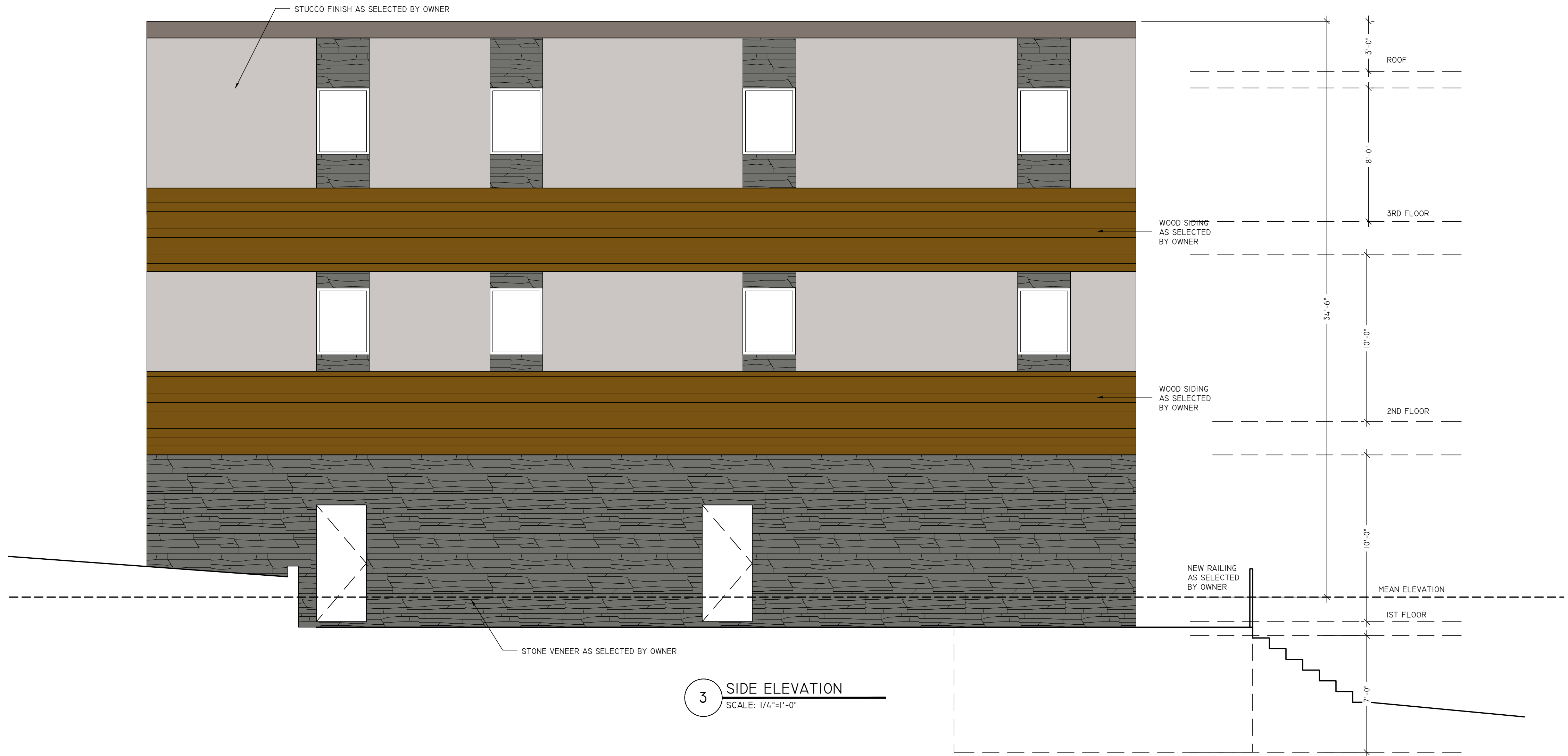
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DATE: 4/10/24  
SCALE: AS NOTED  
DRAWN BY: J.R.P.  
JOB NUMBER: 24-010  
SHEET: 8 OF 8

DRAWING NUMBER

A-302



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