

**BC No:** 231056

**SITE DETAILS:**

5 RUDD STREET  
 WOODEND

**LEGAL:**  
 LOT 964 DP 592095

**AS BUILT TRUSS LAYOUT REQUIRED –**

This must be received by the Building Unit  
**AT LEAST 10 WORKING DAYS PRIOR** to the  
 Structure Pre-Roof Pre-Wrap Inspection

Truss “As-Built” Designs may be sent to:  
[buildinginfo@wmk.govt.nz](mailto:buildinginfo@wmk.govt.nz)

# Approved Building Consent Documents and Plans (Full set)

## On Site Copy

- These plans and specifications must be kept on site during construction, and made available to the building officer on request. Failure to do so will mean an automatic failure of the building inspection and will necessitate re-booking the inspection at the applicant's expense.
- All boundary survey pegs must be located and flagged by the owner before work is commenced.

## Inspections

For bookings or building enquiries please phone the **Building Unit** on:

**03 311 8906**

or

Email inspection bookings to: [bcbooking@wmk.govt.nz](mailto:bcbooking@wmk.govt.nz)

- Please refer to your inspection schedule for details of inspections to be carried out.
- At least 2-3 full working days' notice should be given when booking an inspection.
- Please be advised that it may not always be possible to carry out the inspection within the time frame you require.
- Provision is to be made to allow access.
- The Code Compliance Certificate will be issued once the:
  - Final inspection has been carried out and passed.
  - Audit of WDC building consent file has been completed.
  - Payment of any outstanding invoices, including Development Contributions, are received.

# NEW HOUSE

5 Rudd Street, Ravenswood, Woodend

File Number 23008.125



**ENGCO**  
Consulting Engineers

AUCKLAND ■ CHRISTCHURCH ■ NELSON ■ QUEENSTOWN

## TC2 RIBRAFT DRAWINGS

### Issue Register

Rev	Date	Description
-	08.08.2023	Consent Issue

### Sheet List

Sheet No.	Rev	Date Issued	Sheet Title
S1	-	08.08.2023	General Notes
S2	-	08.08.2023	RibRaft Layout Foundation Plan
S3	-	08.08.2023	Typical Foundation Sections
S4	-	08.08.2023	Typical Foundation Sections
S5	-	08.08.2023	Typical Services Penetration Details

WAIMAKARI DISTRICT COUNCIL  
Plans and specifications APPROVED in accordance  
with the Building Act 2004, clause 49 and the Building  
Regulations 1992, Clause 3  
BC231056 7/12/2023 bhargavac

GENERAL

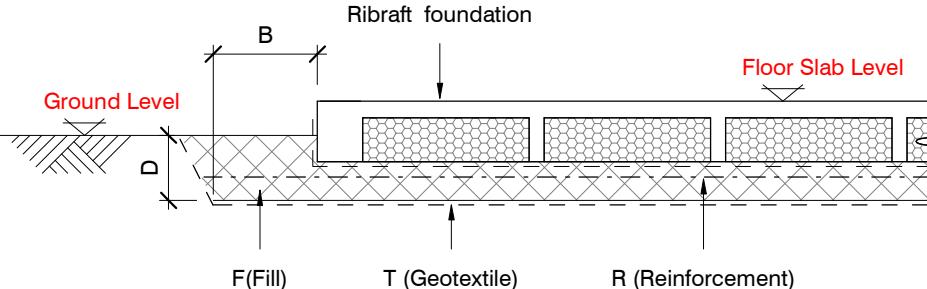
- These drawings are not to be used for construction until the plan (sheet S2) is signed by the main contractor.
- Do not scale. Refer any discrepancies to the Architect.
- These drawings are to be read in conjunction with the Architects drawings.
- The builder shall be responsible for any damage to works during construction.
- The sand blinding layer shall be 20mm min. & 50mm max. to aid levelling & to prevent rocking of pods.
- Vapour barrier to be 0.25mm (250 micron) polythene complying with NZS 4229 / NZS 3604 .
- Finished ground level adjacent to slab to be protected from wind, water erosion and undermining.

FOUNDATIONS

- For assumed allowable bearing capacity refer to calculations/installer guide. Unless otherwise noted in documentation.
- If there is any doubt about the integrity of the material on which the slab is to be founded - Supervising Engineer must be notified immediately.

GEOTECHNICAL REFERENCE:

Refer: Davis Ogilvie & Partners Ltd.  
Geotechnical Investigation and Foundation Recommendations:  
Lot 964, Stage 5C, Ravenswood Subdivision, Woodend, Canterbury  
Ref. No: 43918  
Dated: 04 July 2023  
Bearing: 200kPa

BUILDING PLATFORMCONCRETE

- All workmanship & materials to conform to NZS 3109, NZS 4210 & local authority regulations.
- Minimum covers to reinforcement:
  - Exposed to earth - 75mm.
  - Protected by vapour barrier - 50mm.
  - Not exposed to weather except for a brief period during construction - 25mm.
- No holes or chases other than those specified are to be made in the slab without the approval of Engco.
- All concrete shall have 20mm nominal maximum aggregate size & 120mm slump & shall comply with NZS 3109.
- All concrete to be mechanically vibrated & carefully worked around the reinforcement & into the corners of the formwork.
- Ribraft make-up to be

100mm Floor Slab - 220mm pods  
(25MPa TC2 Dramix 4D 80/60 Fibre Mix Concrete)  
G500E SE62 Ductile mesh on 50mm chairs

The design Fibre mix shall be supplied so that the residual flexural tensile stresses  $f_{R,1}$  &  $f_{R,4,K}$  shall be 1.5 MPa & 1.0 MPa respectively.

INSPECTIONS

Inform ENGCO consulting 48 hours in advance of any inspections required for code compliance certification.  
Contact ENGCO - Ph. 03 366 7955 & quote ENGCO Ref. No.

INSPECTIONS REQUIRED

- Confirm bearing at excavation - by ENGCO.
- Contractor to supply (4) N.D. Tests at finished compacted surface - if depth of fill is greater than 400mm.
- Pre-pour of slab - by ENGCO.

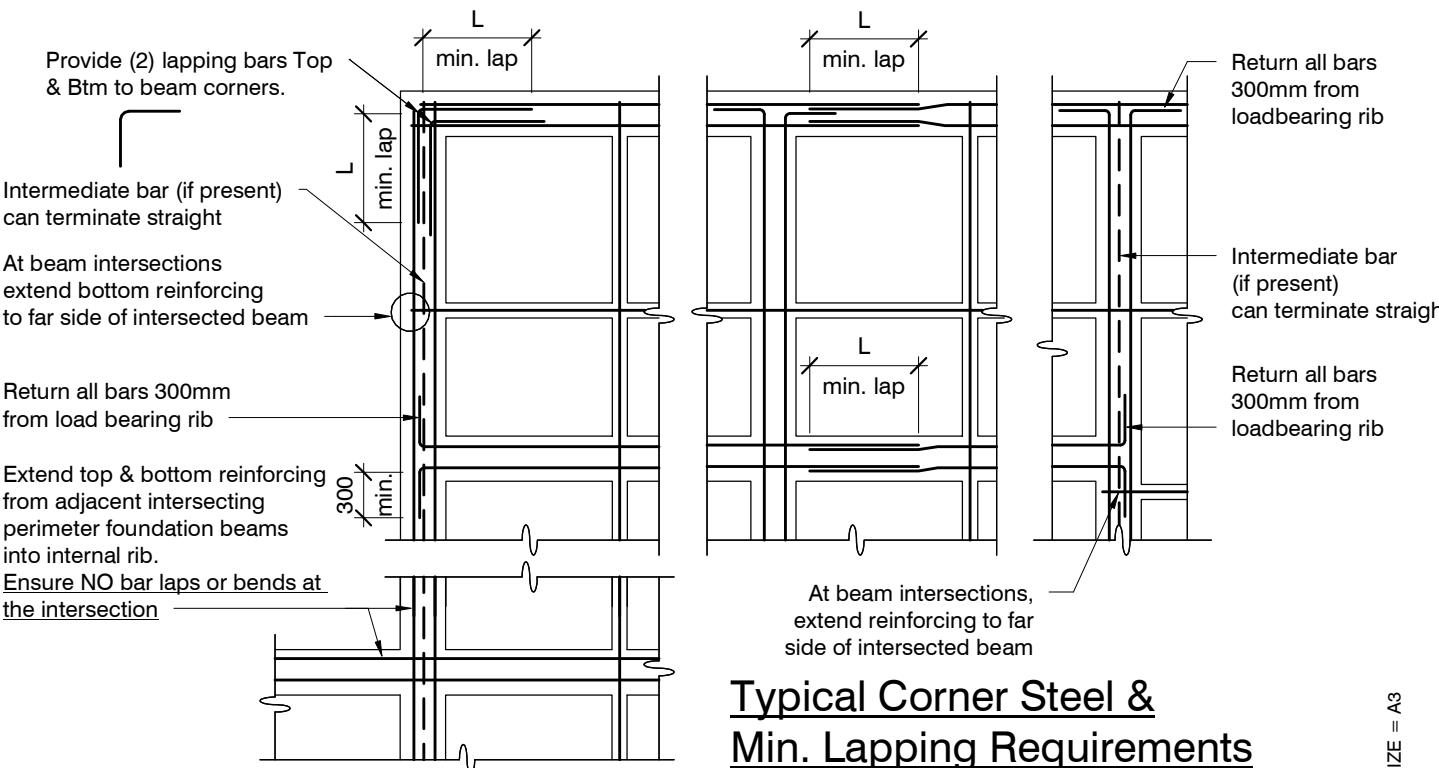
BUILDING PLATFORM TABLE:	
B	500mm
D	350mm below ground level (approximately).
T	N/A
R	N/A
F	AP40 or AP65 fill - 95% Dry Density. Compact in 150mm layers max.

Refer Architectural drawings for Finished Floor Level

REINFORCEMENT

- All reinforcing shall be New Zealand sourced and conform to AS/NZS 4671 :2001 in grade 300 or grade 500E.
- All bends to be made cold without fracture.
- All reinforcing shall be deformed type unless otherwise stated.
- Grade 500E deformed bars shall be designated 'H', Grade 300 deformed bars shall be designated 'D' and Grade 300 round bars shall be designated 'R'.
- Minimum bar lap. 

	H12 bars	H16 bars
L	720mm	900mm
- All reinforcement to be fixed & tied where necessary in its specified position.
- Welding of steel is not permitted.
- Spacers:
  - Edge at 1200mm ctrs (one on edge & two on corners, typically).
  - Internal one on each side of pod (typically).
- All mesh shall comply with AS/NZS 4671 & shall conform with elongation requirements exceeding 10%.
- All mesh shall lap a minimum of 250mm (end extensions not included in lap length).

Typical Corner Steel & Min. Lapping Requirements

N.T.S.

revisions	-	08.08.2023	Consent Issue

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**SLAB PLAN SETOUT:**

Slab drawn to Architectural framing and DOES NOT ACCOUNT FOR ANY OVERHANG.

Use Architectural drawings for any framing overhang information which may affect slab dimensions.

contractor shall verify all dimensions before commencing work

**GENERAL NOTES:**

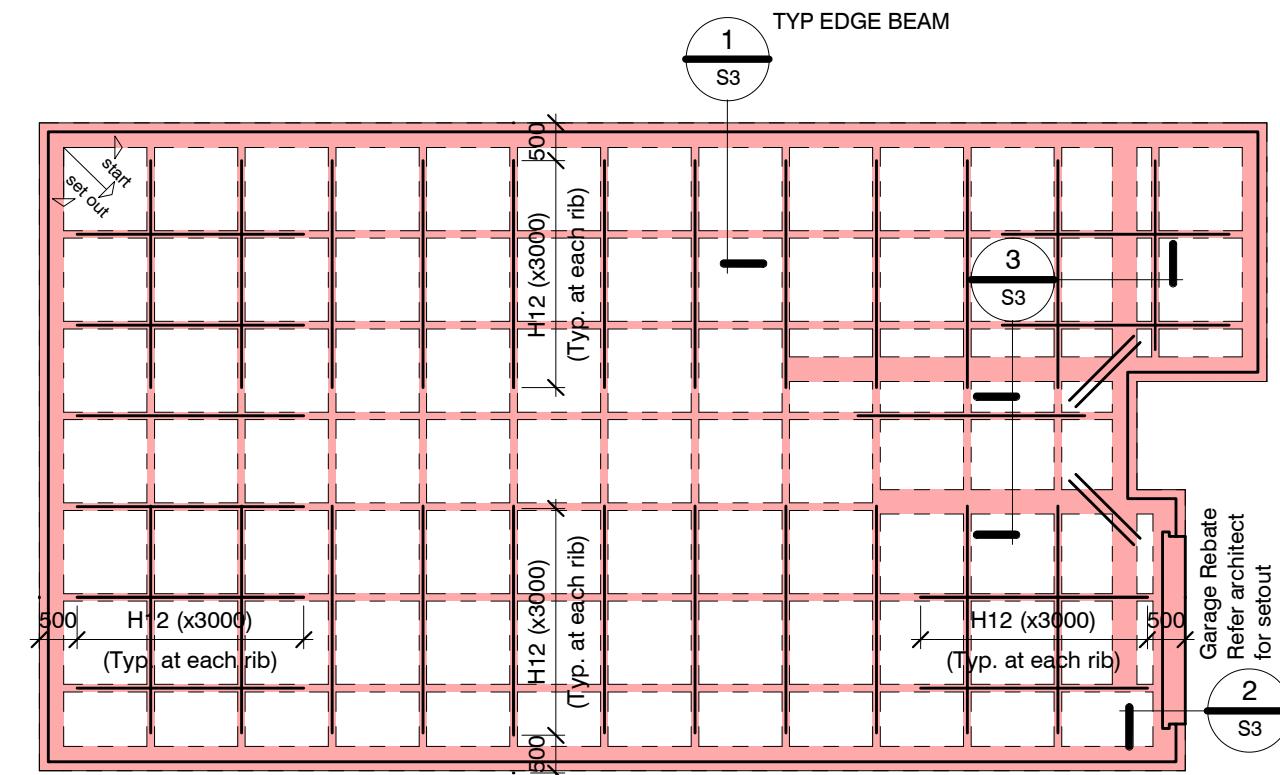
BC231056

Locations shown of internal floor beam thickenings are indicative only. It shall be the responsibility of the Contractor to ensure that they are located centrally under the load bearing walls to which they pertain.

Under no circumstance should pipework for services be run longitudinally in 100mm ribs. Similarly they should not be run along perimeter foundations nor internal floor beam thickenings

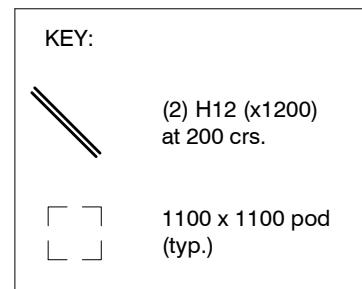
Vertical or horizontal penetrations through the foundation edge beam or floor beam thickenings must be made through the middle third of the member. Vertical penetrations should not be made through 100 mm ribs.

Refer to Architects drawings for floor slab, set downs, steps, rebates, holding down bolts, cast-in componentry and the like.

**RIBRAFT FOUNDATION LAYOUT PLAN**

1 : 100

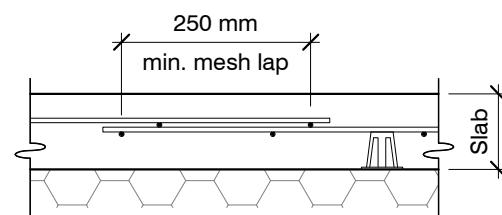
Refer Architects drawings for slab dimensions



100mm Floor Slab - 220mm pods (25MPa TC2 Dramix 4D 80/60 Fibre Mix Concrete) G500E SE62 Ductile mesh on 50mm chairs

The design Fibre mix shall be supplied so that the residual flexural tensile stresses  $f_{R,1}$  &  $f_{R4,K}$  shall be 1.5 MPa & 1.0 MPa respectively.

All Mesh shall lap a minimum of 250mm (end of extensions not included).



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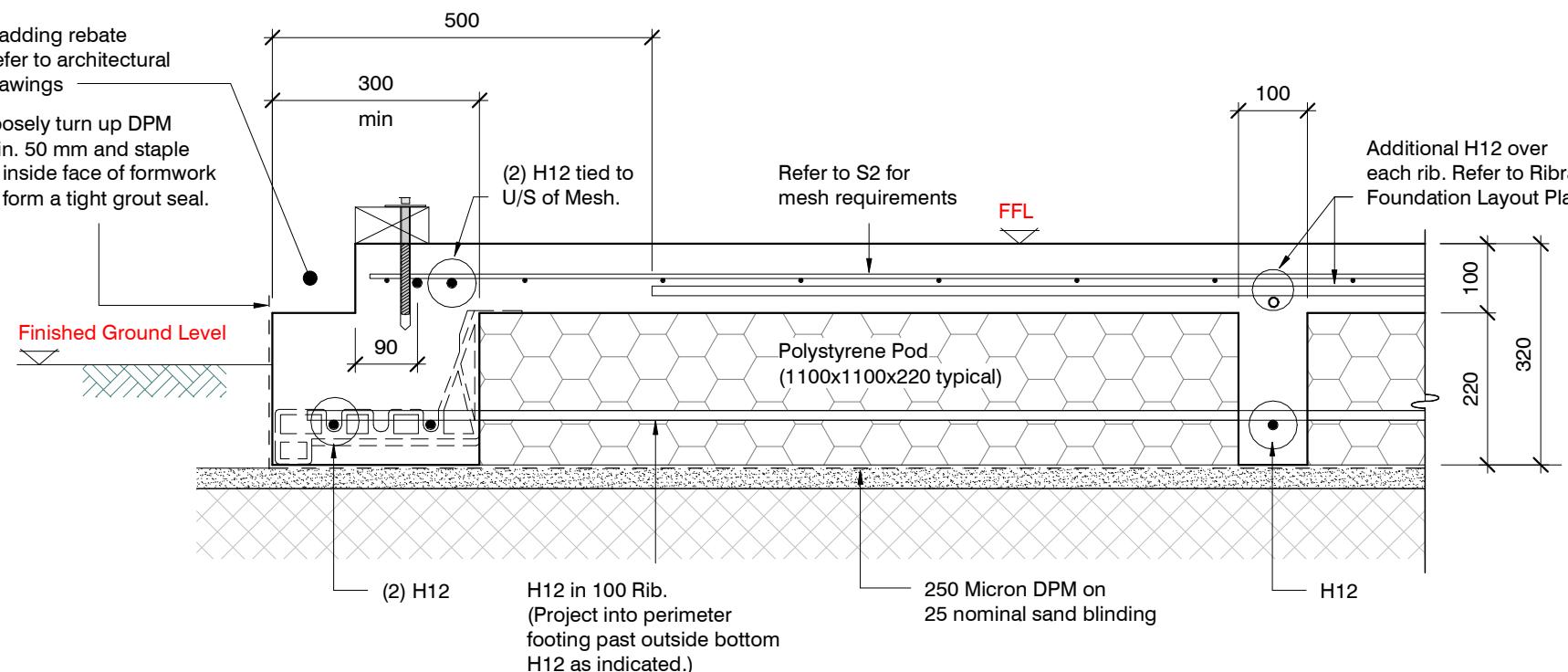
revisions

-	08.08.2023	Consent Issue

design	J. BOON	file	23008.125
drawn	C. DE MESA	dwg	S2
appvd	M. CUSIEL	rev.	-
date	08 AUG 2023		

Cladding rebate

Refer to architectural drawings

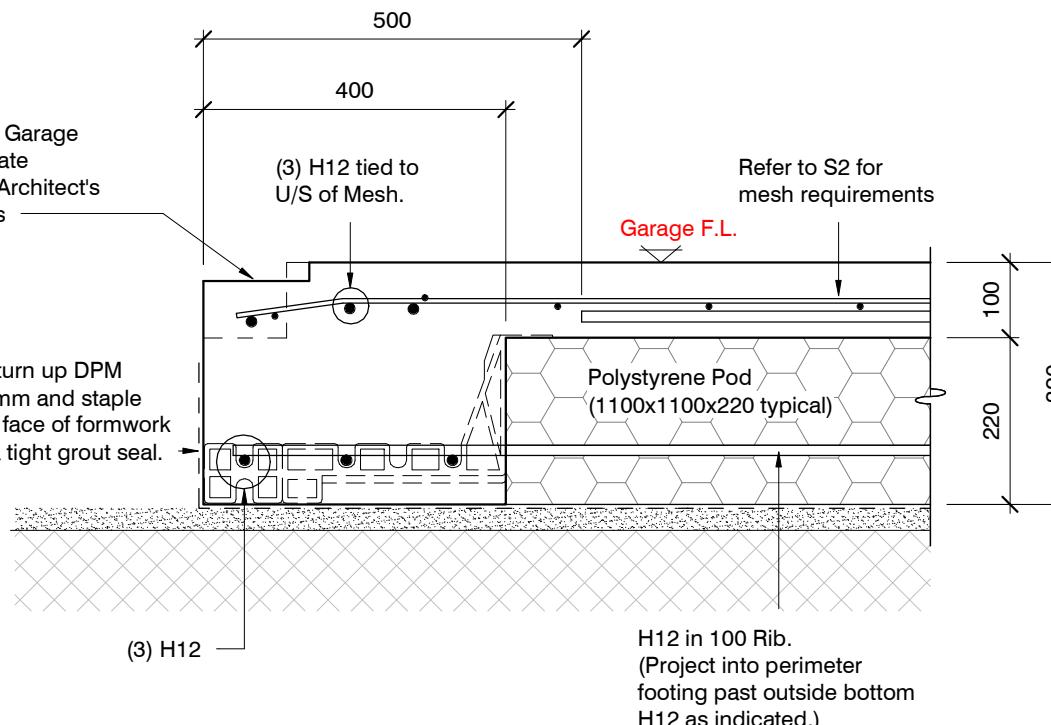
Loosely turn up DPM  
min. 50 mm and staple  
to inside face of formwork  
to form a tight grout seal.

SECTION 1 TYPICAL 300 WIDE EDGE BEAM (with Rebate)

1 : 10

S2

1 : 10

Joinery / Garage door rebate  
Refer to Architect's DrawingsLoosely turn up DPM  
min. 50 mm and staple  
to inside face of formwork  
to form a tight grout seal.

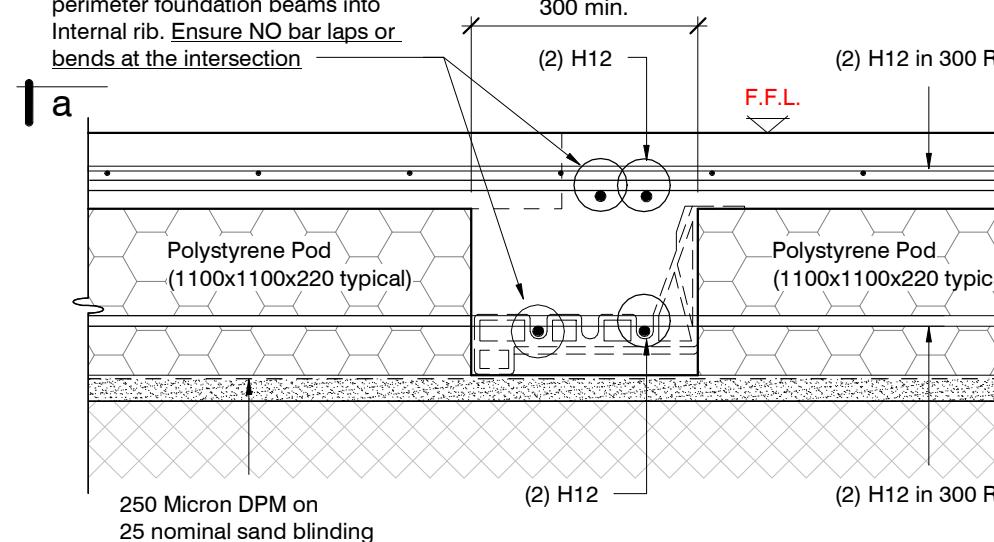
SECTION 2 GARAGE DOOR REBATE

1 : 10

S2

1 : 10

## NOTE:

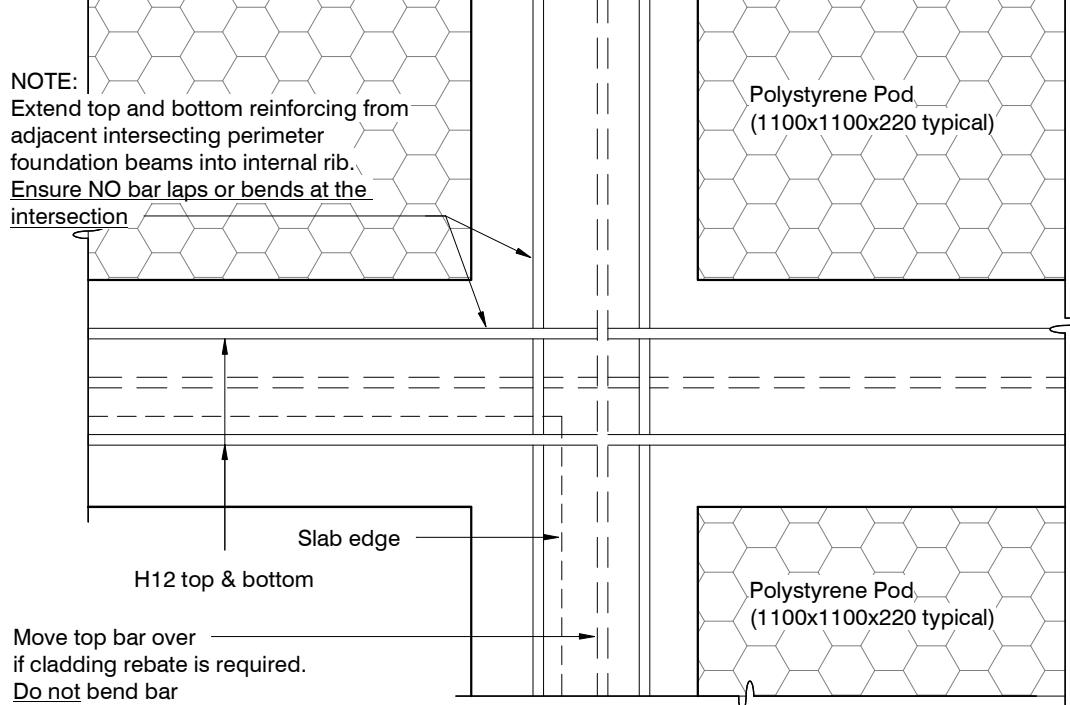
Extend top and bottom reinforcing  
from adjacent intersecting  
perimeter foundation beams into  
Internal rib. Ensure NO bar laps or  
bends at the intersection

SECTION 3 TYPICAL 300 WIDE CORNER BEAM

1 : 10

S2

1 : 10

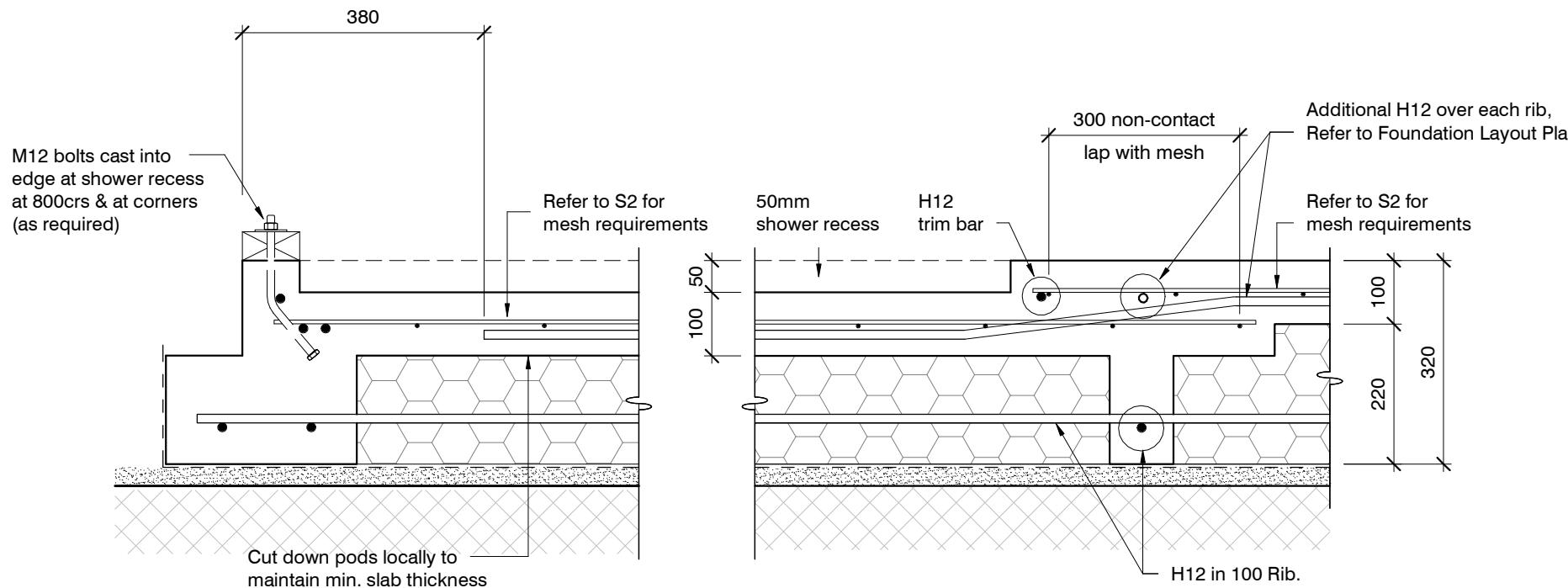
NOTE:  
Extend top and bottom reinforcing from  
adjacent intersecting perimeter  
foundation beams into internal rib.  
Ensure NO bar laps or bends at the  
intersection

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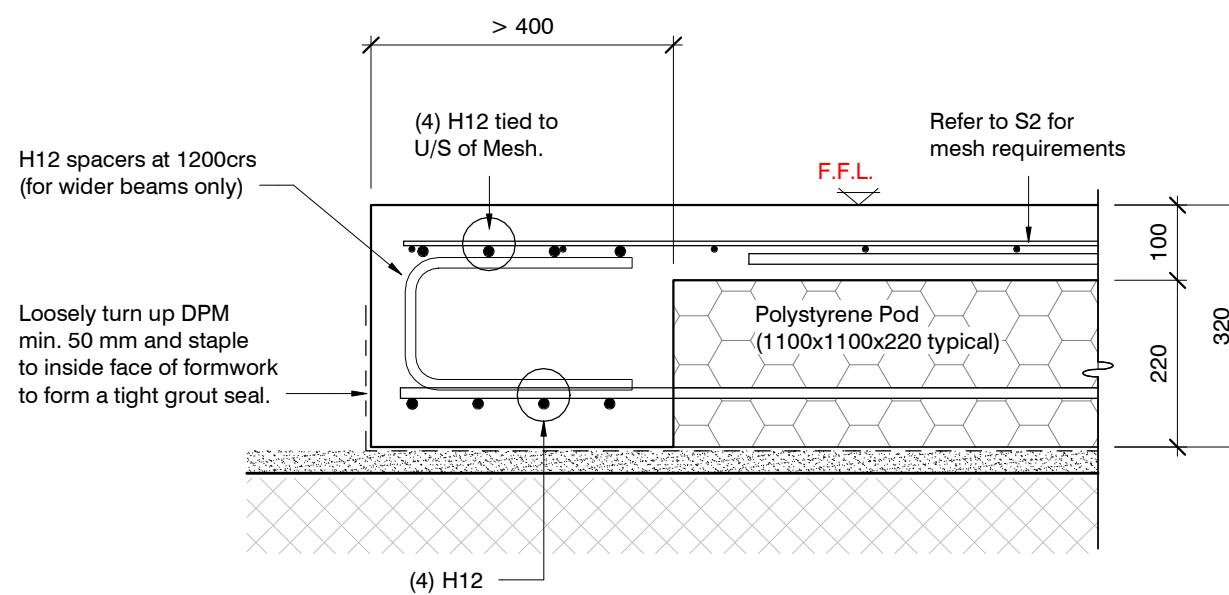
a-a

revisions

-	08.08.2023	Consent Issue

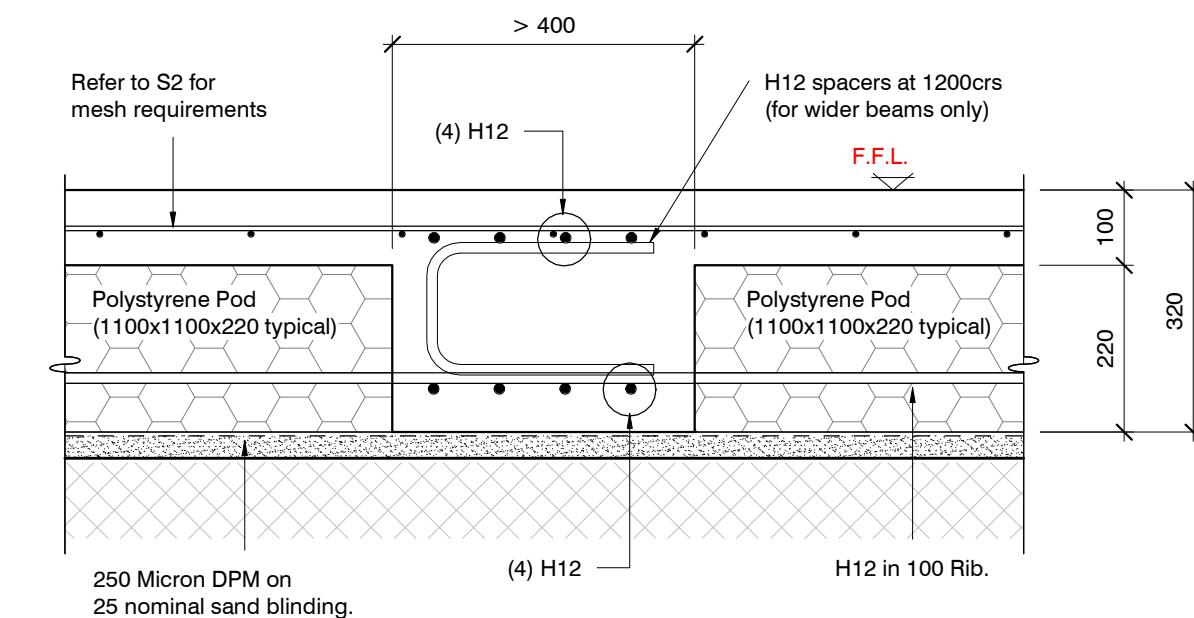
**TYPICAL SHOWER RECESS (if needed)**

1 : 10

**EDGE BEAM > 400mm IN WIDTH**

1:10

if required

**INTERNAL BEAM > 400mm IN WIDTH**

1:10

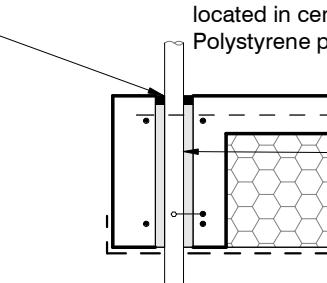
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revisions

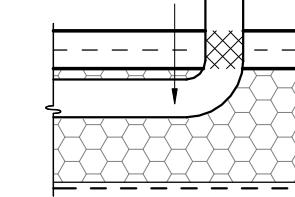
-	08.08.2023	Consent Issue

Flexible Sealant as required  
all round pipe perimeter

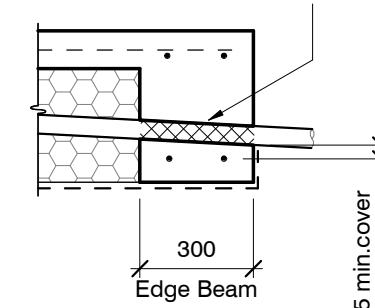
Sleeve 50 mm larger dia. than service pipe  
Maximum sleeve dia. 150 mm  
located in central part of beam.  
Polystyrene packing all around pipe.



Pipes can be run in Pods under  
slab panels. (Sleeve not required.)  
Wrap in "Lagging" tape  
where pipe crosses slab



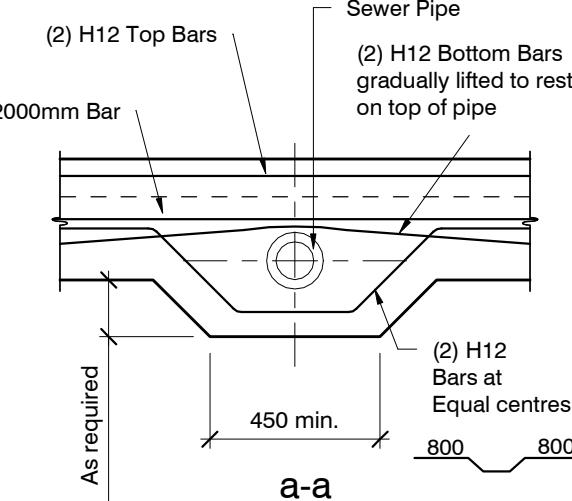
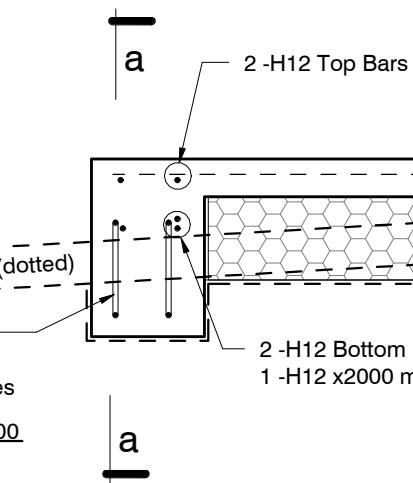
Pass pipe through edge beam  
Avoid all reinforcing bars  
(Sleeve not required)  
Wrap in "Lagging" tape



25 min. cover  
to steel bars

300  
Edge Beam

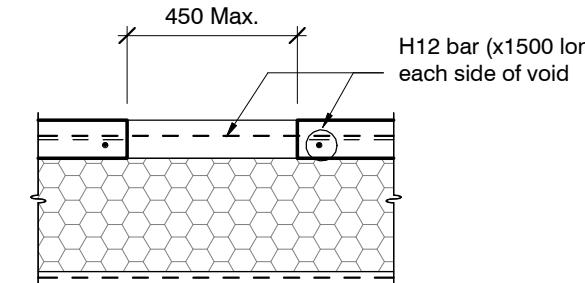
Sewer pipe (dotted)  
(2) H12  
Bars at  
Equal centres  
800 800



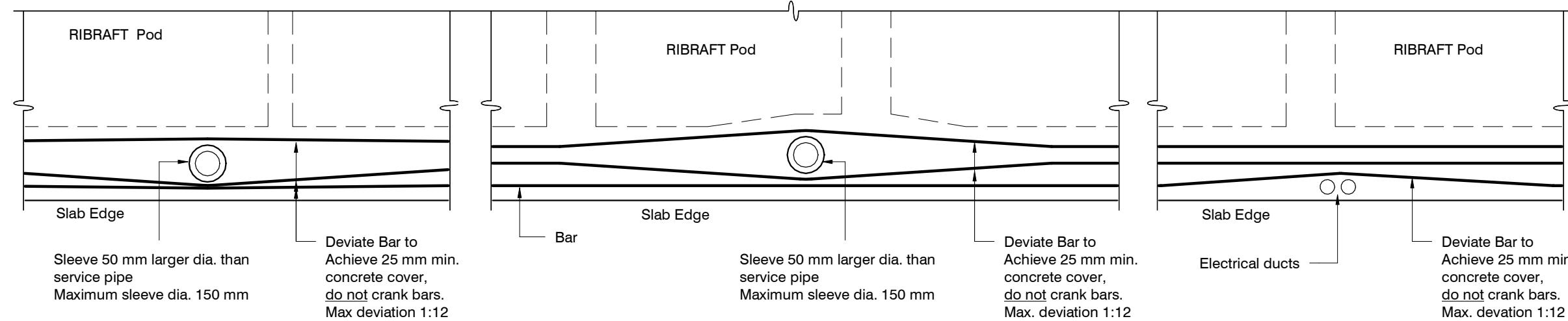
## SLAB SERVICES PENETRATION DETAIL

**PIPE NOTE:**  
No separation required where  
pipes are fully contained within slab.  
Sleeve all drains that pass through the  
base of the slab.

**PENETRATIONS NOTE:**  
Where penetrations through  
Floor Slab exceed 450 mm Square,  
Crack Control Bars will be required.



## LARGE SLAB PENETRATION DETAIL



Do not cut longitudinal reinforcement bars.

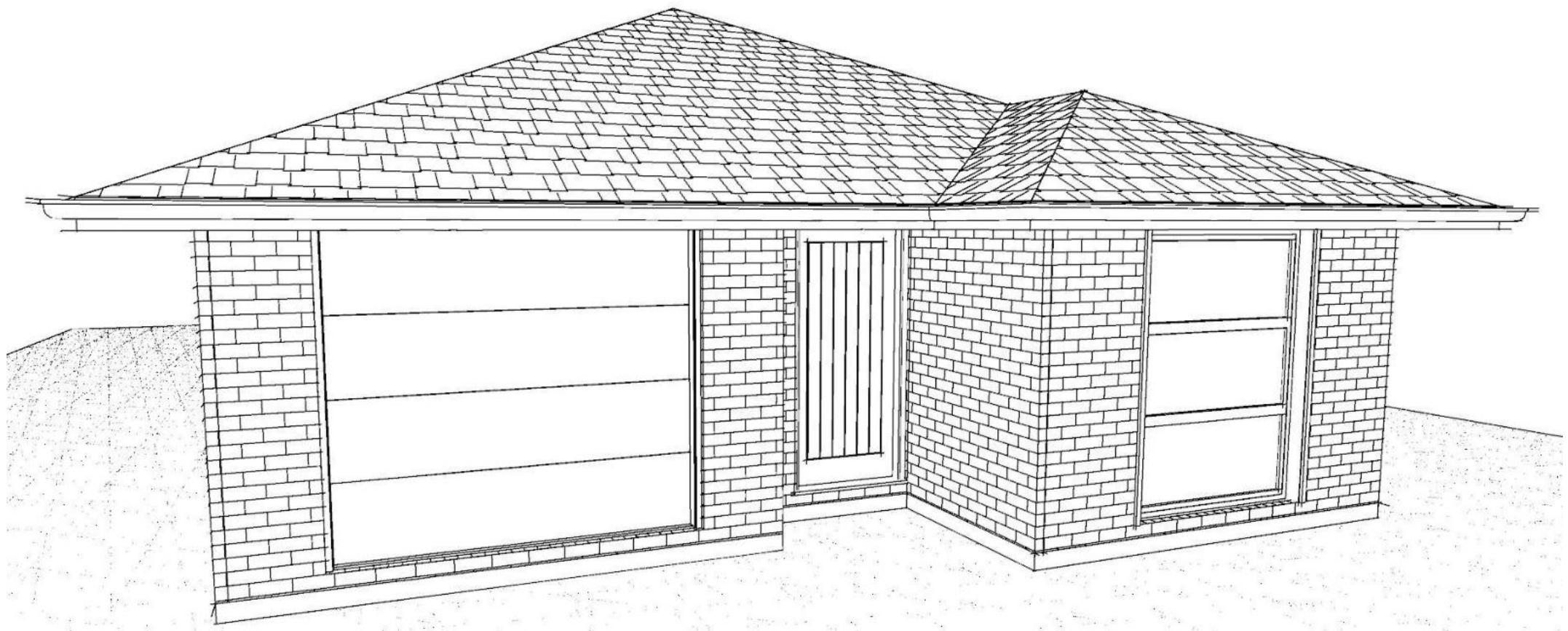
## FOUNDATION SERVICES PENETRATION DETAILING.

Services shall not run along ribs or edge beams.

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BC231056 7/12/2023 bhargavac

revisions

-	08.08.2023	Consent Issue



## Contents:

Sheet 1 :	Cover Sheet
Sheet 2 :	Site Plan
Sheet 3 :	Floor Plan
Sheet 4 :	Elevations
Sheet 5 :	Elevations
Sheet 6 :	Cross Sections
Sheet 7 :	Roof Plan
Sheet 8 :	Set Out Dimensions
Sheet 9 :	Foundation Plan
Sheet 10 :	Drainage Plan
Sheet 11 :	Bracing Plan
Sheet 12 :	Lighting Plan
Sheet 13 :	Framing Details
Sheet 14 :	Framing Details
Sheet 15 :	Construction Details
Sheet 16 :	Construction Details
Sheet 17 :	Construction Details
Sheet 18 :	Construction Details
Sheet 19 :	Plumbing Details
Sheet 20 :	Bathroom Details
Sheet 21 :	Truss Design
Sheet 22 :	Truss Design

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**BC231056 7/12/2023 bhargavac**

All dimensions are to be checked and confirmed prior to any construction  
Plans are to be read in conjunction with Specifications and all supporting documentation



**TKR Homes Ltd.**  
31 Watts Road, Sockburn  
PO BOX 11 351  
Christchurch 8443  
P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

**McCord Family Trust**  
Lot 964  
5 Rudd Street  
Ravenswood, Woodend

Job Number:  
**147384**  
Original Plan:  
**Kingfisher**  
Sheet Name:  
**COVER PAGE**  
Sales: D Ryan Drawn: M Glynn QS: W Xian Print Date: 6/12/2023 Scale: @ A3

**CONSENT PLANS**

No.	Date:	Reason:
1	21-09-2023	Initial Consent Plans

1

of 22 sheets

**DRAWING NOTES**  
These drawings are subject to copyright and remain the property of Signature Homes Ltd.

Verify all dimensions, sizes and levels on site prior to commencing any work. Any discrepancies are to be confirmed with Signature Homes Ltd.

Refer to attached Specifications for further information.

All work is to comply with the NZBC Acceptable Solutions, NZS 3604:2011 and Local Authority bylaws.

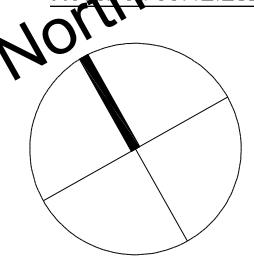
DP	Downpipe
GT	Gully Trap
ORG	Overflow Relief Gully
TV	Terminal Vent
AAV	Air Admittance Valve
IP	Inspection Point

Provide safety fencing to perimeter of site - permanent or temporary - to comply with NZBC F5/AS1

Site Area :	477m <sup>2</sup>
Floor Area (veneer) :	132.70m <sup>2</sup> / 27.82%
Roof Area :	158.35 <sup>2</sup> / 33.20%
Wind	High
Earthquake	2
Exposure	C
Snow	N 4 at 50m (up to 1kPa)

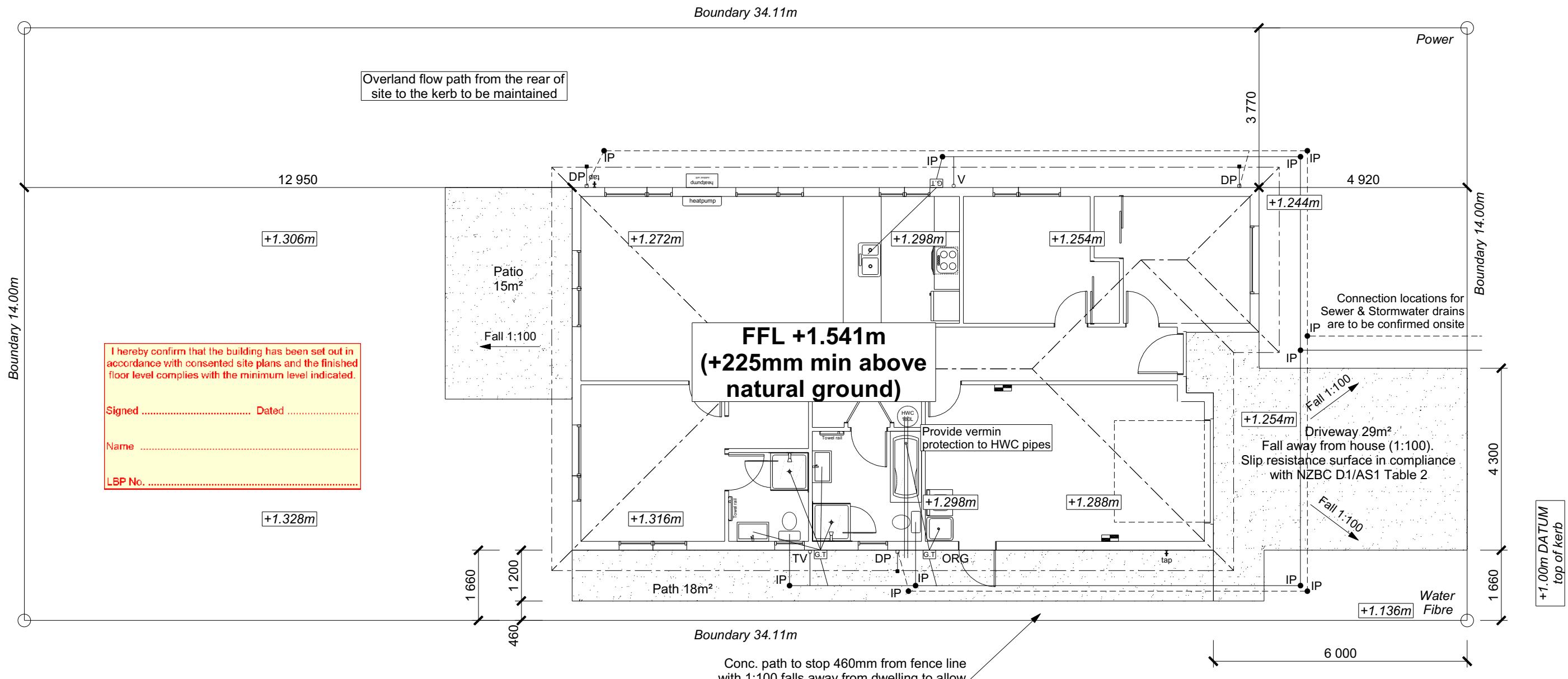
Note: The dimensions shown are from cladding to boundary. Refer to sheet 8 for foundation to boundary dimensions.

Sediment control and site safety requirements are noted in the attached Specifications.



**RUDD STREET**

+1.014m  
Crown of Road



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**McCord Family Trust**  
Lot 964  
5 Rudd Street  
Ravenswood, Woodend

Job Number: **147384**  
Original Plan: **Kingfisher**  
Sheet Name: **SITE PLAN**  
Sales: **D Ryan** Drawn: **M Glynn** QS: **W Xian**  
Print Date: **6/12/2023** Scale: **1:100 @ A3**

**CONSENT PLANS**  
No. Date: Reason:  
1 21-09-2023 Initial Consent Plans

Sheet No.: **2**  
of 22 sheets

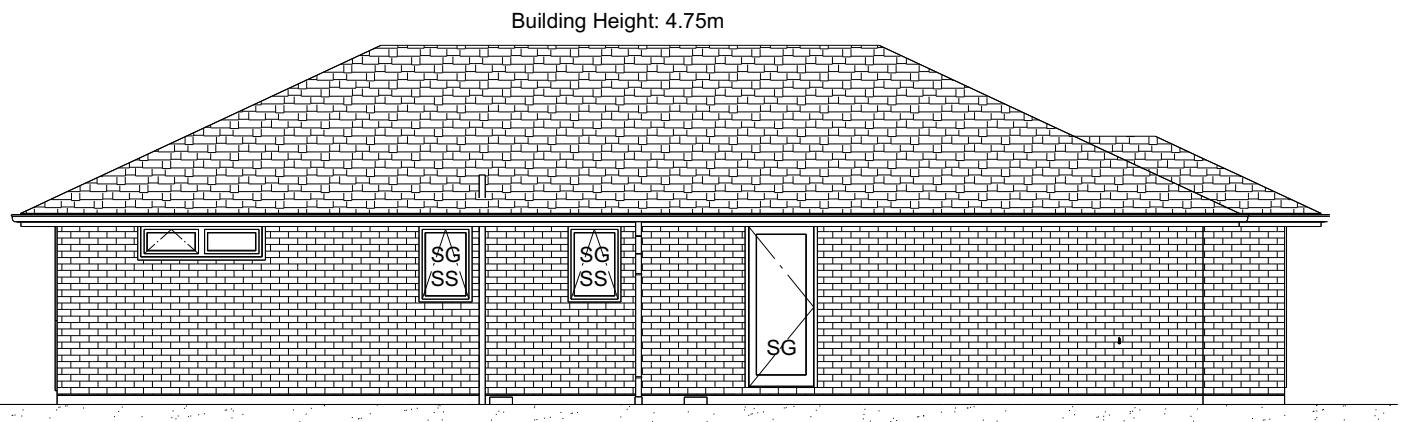


<b>ROOF &amp; WALL CLADDINGS</b>	Building Consent BC231056 Roof : 25° Pressed Metal tiles Walls : 70 Series Brick Veneer with a 50mm cavity
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<b>ELEVATION LEGEND</b>	
SS	Safety Stays
SG	Safety Glass
TV	Terminal Vent

<b>ELEVATION NOTES</b>
Gutter : Coloured Steel Quad Gutter
Fascia : Coloured Steel 185 Fascia
Downpipes : Colorsteel Rectangular 75x55mm
Soffits : Hardiflex 4.5mm
Joinery : Low-E double glazed joinery Single glazing to Garage
All egress points to have a maximum step down of 190mm.
Access routes to have slip resistance surface in compliance with NZBC D1/AS1 Table 2 and to have a 1:100 fall away from the building

<b>BUILDING ENVELOPE RISK MATRIX</b>		
<b>ELEVATION A</b>		
<b>RISK CRITERIA</b>	<b>RISK</b>	<b>SCORE</b>
Wind Zone	High	1
Number of Stories	Low	0
Roof Wall Junction	Low	0
Eaves Width	Medium	1
Building Envelope	Low	0
Decks & Balconies	Low	0
Total		2

**ELEVATION A**

<b>BUILDING ENVELOPE RISK MATRIX</b>		
<b>ELEVATION B</b>		
<b>RISK CRITERIA</b>	<b>RISK</b>	<b>SCORE</b>
Wind Zone	High	1
Number of Stories	Low	0
Roof Wall Junction	Low	0
Eaves Width	Medium	1
Building Envelope	Low	0
Decks & Balconies	Low	0
Total		2

**ELEVATION B**

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Lot 964  
5 Rudd Street  
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Job Number:  
**147384**  
Original Plan:  
**Kingfisher**  
Sheet Name:  
**ELEVATIONS**  
Sales: D Ryan Drawn: M Glynn QS: W Xian Print Date: 6/12/2023 Scale: 1:100 @ A3

**CONSENT PLANS**

No.	Date:	Reason:
1	21-09-2023	Initial Consent Plans

Sheet No.:  
**4**

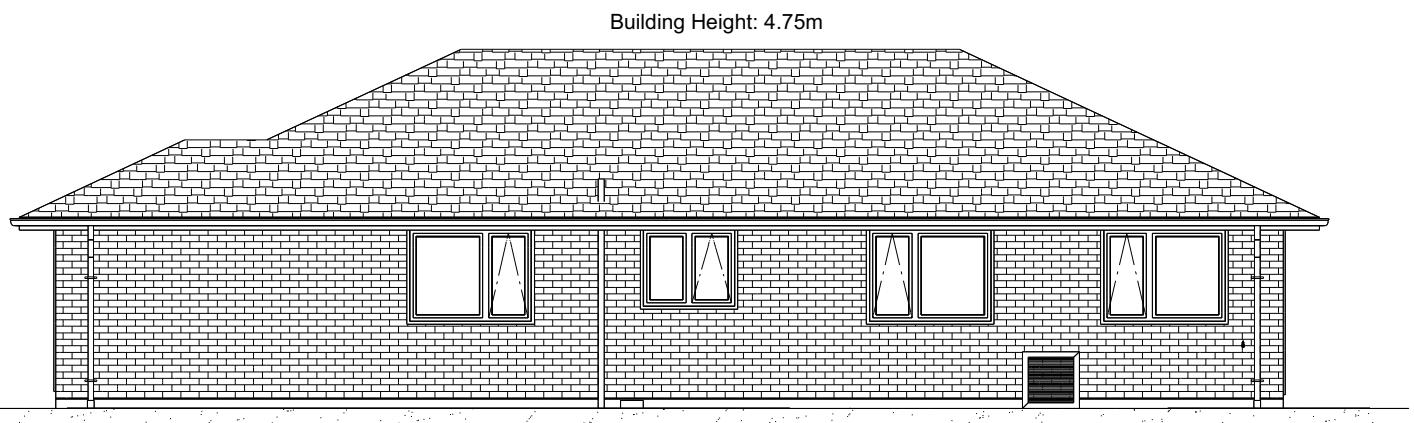
of 22 sheets

<b>ROOF &amp; WALL CLADDINGS</b>	Building Consent BC231056
Roof : 25° Pressed Metal tiles Walls : 70 Series Brick Veneer with a 50mm cavity	Issued: 06/12/2023

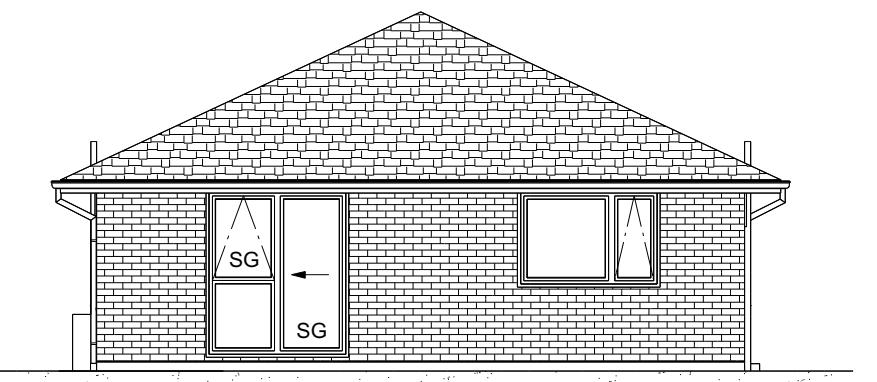
<b>ELEVATION LEGEND</b>	
SS	Safety Stays
SG	Safety Glass
TV	Terminal Vent

<b>ELEVATION NOTES</b>	
Gutter :	Coloured Steel Quad Gutter
Fascia :	Coloured Steel 185 Fascia
Downpipes :	Colorsteel Rectangular 75x55mm
Soffits :	Hardiflex 4.5mm
Joinery :	Low-E double glazed joinery Single glazing to Garage
All egress points to have a maximum step down of 190mm.	
Access routes to have slip resistance surface in compliance with NZBC D1/AS1 Table 2 and to have a 1:100 fall away from the building	

<b>BUILDING ENVELOPE RISK MATRIX</b>		
<b>ELEVATION C</b>		
<b>RISK CRITERIA</b>	<b>RISK</b>	<b>SCORE</b>
Wind Zone	High	1
Number of Stories	Low	0
Roof Wall Junction	Low	0
Eaves Width	Medium	1
Building Envelope	Low	0
Decks & Balconies	Low	0
Total		2

**ELEVATION C**

<b>BUILDING ENVELOPE RISK MATRIX</b>		
<b>ELEVATION D</b>		
<b>RISK CRITERIA</b>	<b>RISK</b>	<b>SCORE</b>
Wind Zone	High	1
Number of Stories	Low	0
Roof Wall Junction	Low	0
Eaves Width	Medium	1
Building Envelope	Low	0
Decks & Balconies	Low	0
Total		2

**ELEVATION D**

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BC231056 7/12/2023 bhargavac

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**McCord Family Trust**  
Lot 964  
5 Rudd Street  
Ravenswood, Woodend

Job Number:  
**147384**  
Original Plan:  
**Kingfisher**  
Sheet Name:  
**ELEVATIONS**  
Sales: D Ryan Drawn: M Glynn QS: W Xian Print Date: 6/12/2023 Scale: 1:100 @ A3

**CONSENT PLANS**

No.	Date:	Reason:
1	21-09-2023	Initial Consent Plans

Sheet No.:  
**5**

of 22 sheets

## **ROSS SECTION NOTES**

Building wrap is to comply with E2/AS1 &

ZS 3604:2011.

ashing materials must be selected based on the material.

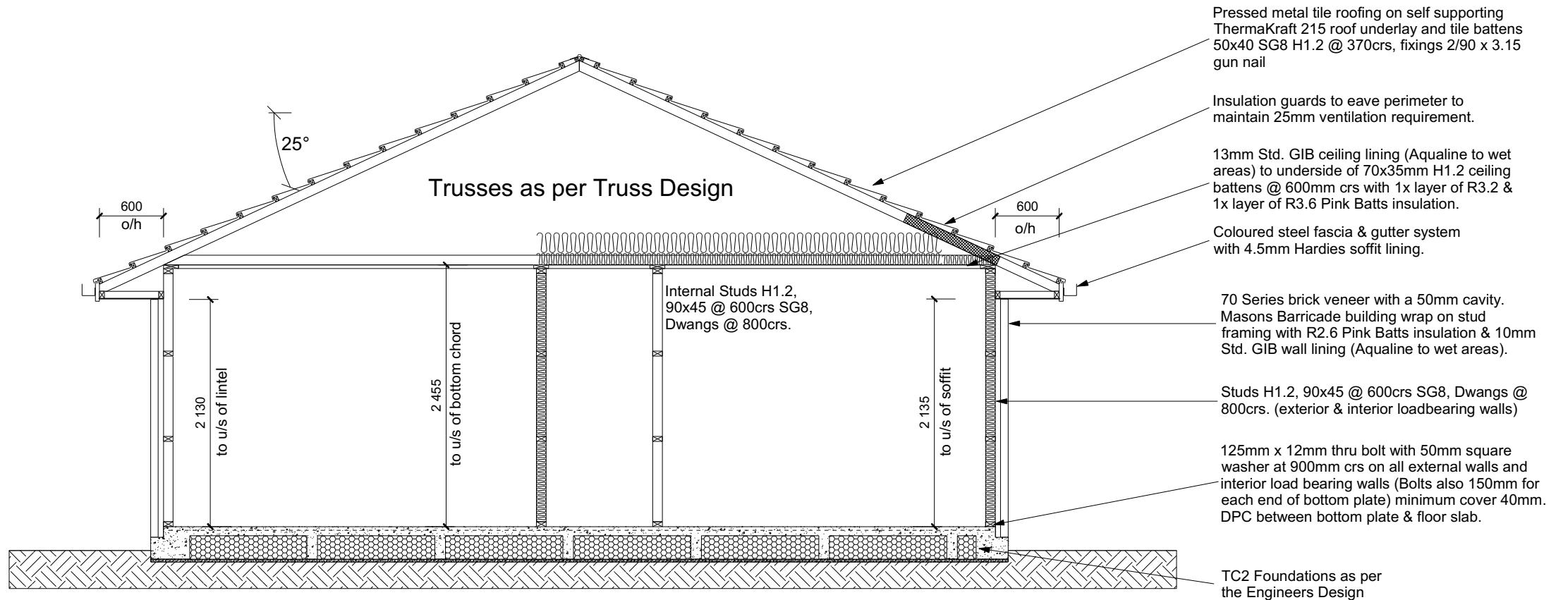
Environmental exposure. Refer to NZS 604:2011 & table 20 of E2/AS1.  
Masking tape must have proven compatibility with the selected wrap & other materials with which it comes into contact as per table 21 E2/AS1.

xings shall comply with NZS 3604:2011  
ection 4 Durability Tables 4.1-4.3  
unless stated otherwise, timber members on  
awings are to be a minimum of SG8  
rength graded as per NZS3604:2011.

**Glazing** : Low-E double glazed Aluminium  
Glazing. Single glazing to Garage

### SULATION

Ceiling: Pink Batts R3.2 + R3.6 Ceiling Batts  
Wall: Pink Batts R2.6 Wall Batts



## CROSS SECTION A-A

**WAIMAKARIRI DISTRICT COUNCIL**  
**Plans and specifications APPROVED in accordance**  
**with the Building Act 2004, clause 49 and the Building**  
**Regulations 1992, Clause 3**  
**BC231056 7/12/2023 bhargavac**

## **DRAWING NOTES**

These drawings are subject to copyright  
and remain the property of Signature  
Homes Ltd.

Verify all dimensions, sizes and levels on site prior to commencing any work. Any discrepancies are to be confirmed with Signature Homes Ltd.

Refer to attached Specifications for further information.

All work is to comply with the NZBC Acceptable Solutions, NZS 3604:2011 and Local Authority bylaws.

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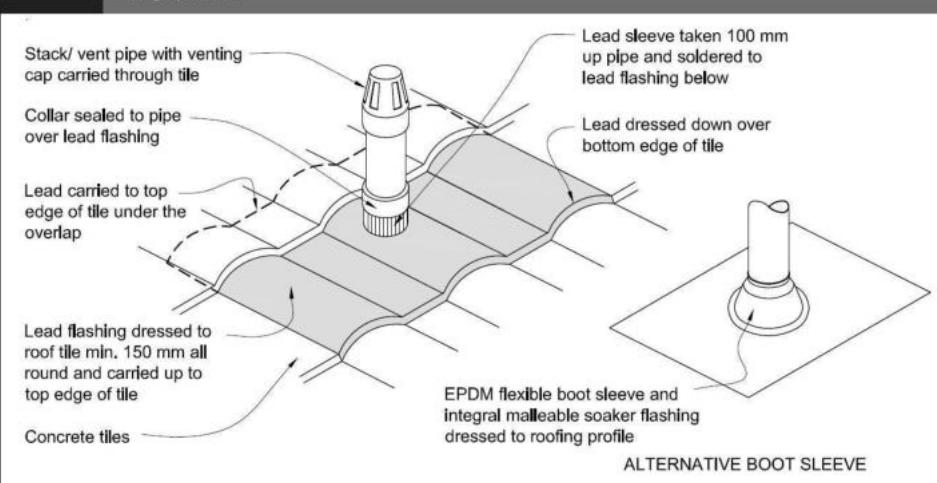
Job Number:  
**147384**

Original Plan:  
*Kingfisher*

Sheet Name:

# CROSS SECTIONS

**Figure 29:** Pipe penetration for masonry tile  
Paragraph 8.2.7

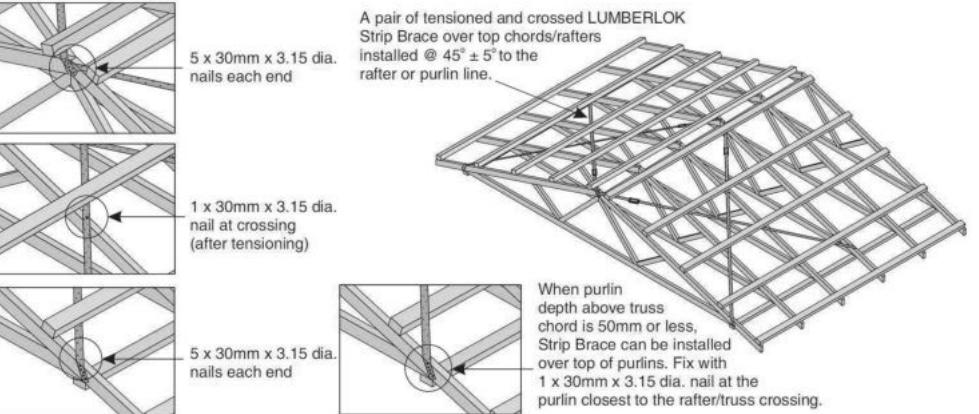


## Metal Tile Penetration Detail Scale NTS

### **8.3.10 Roof penetrations**

Pipe penetrations shall be flashed using *EPDM flashings* similar to that shown for masonry tiles, Figure 29.

- A pair of tensioned and crossed LUMBERLOK Strip Brace running continuously from ridge to top plate installed as detailed below.



ROOF CLADDING Building Consent BC231056  
Page 6 of 6 Printed: 06-12-2023

Roofing : ~~Pre-cessed Metal Sheet~~  
Tile Battens : 50x40 SG8 H1.2 @ 370crs,  
fixings 2/90 x 3.15 gun nail

## **ROOF PLAN NOTES**

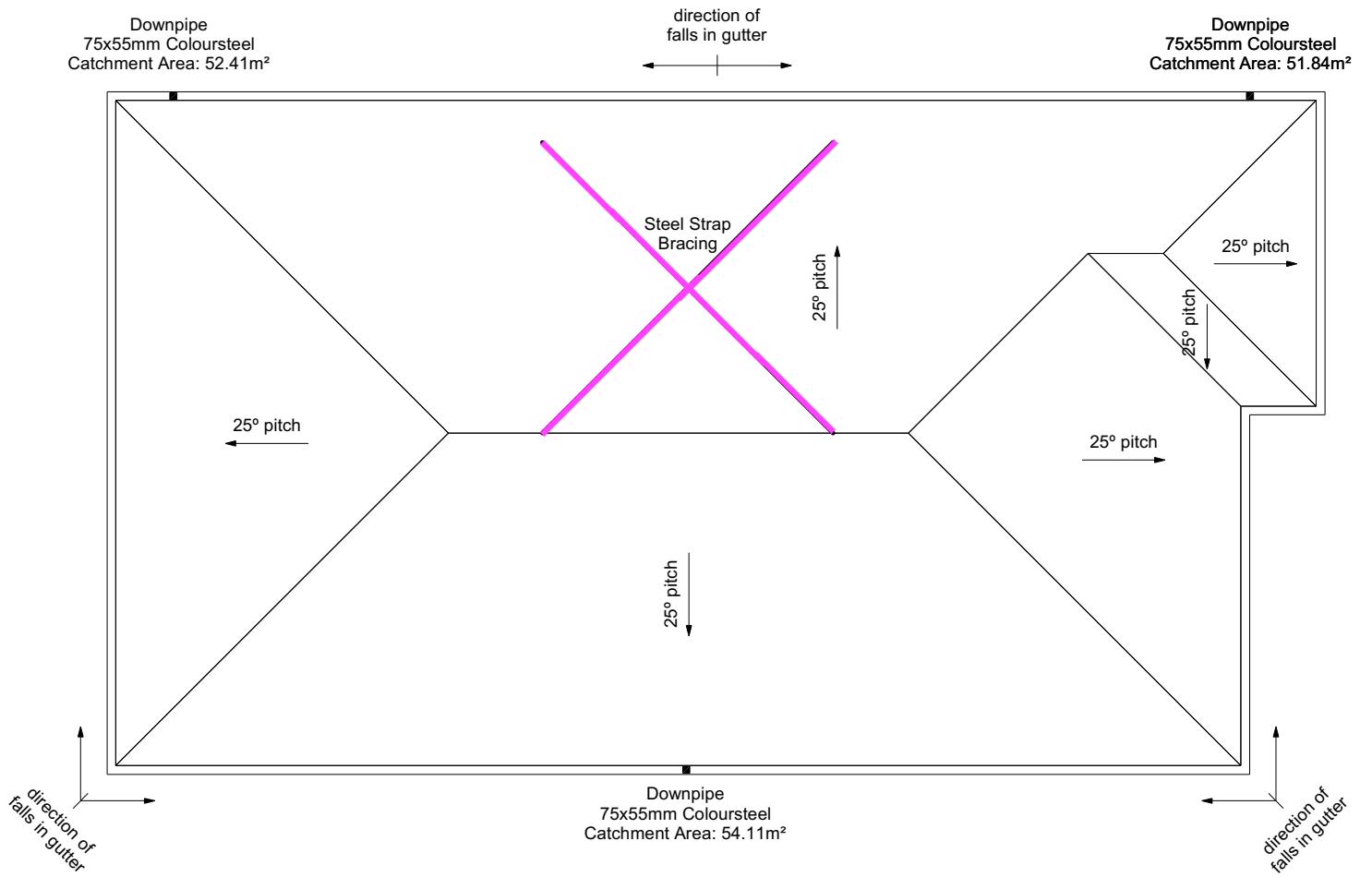
Gutter: Coloured Steel Quad Gutter  
Fascia: Coloured Steel 185 Fascia  
Downpipes: Colorsteel Rectangular 75x55mm  
Soffits: Hardiflex 4.5mm

Underlay: Thermakraft 215 roof underlay

Downpipes: 75x55 Rectangle Colorsteel  
As per NZBC E1/AS1 Table 5 75x55  
down pipes can collect up to 60m<sup>2</sup> of  
0-25° roof plan area.

Use Coloured steel Quad Gutter  
As per NZ Metal Roof and Wall Cladding  
Code of Practice Version 2 section 8 the  
above gutter with a cross sectional area  
of 5550mm<sup>2</sup> can collect up to 60m<sup>2</sup> of  
0-25° roof plan area. Refer to the  
specifications for exact calculations.

Use Lumberlock top plate fixing chart attached to the main specifications to determine top plate fixings.



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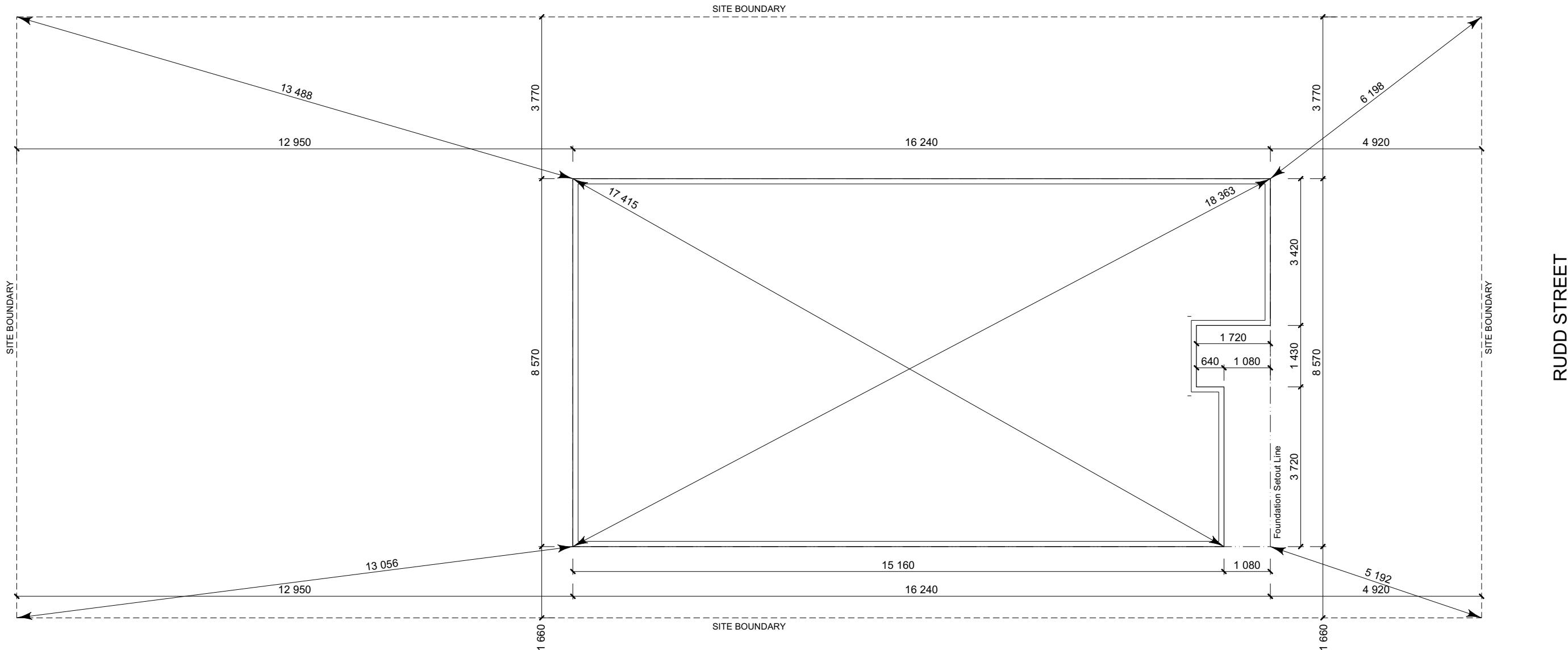
McCord Family Trust  
Lot 964  
5 Rudd Street  
Ravenswood, Woodend

Job Number:  
**147384**

Original Plan: Sheet Name:  
*Kingfisher* ROOF PLAN

**SET OUT PLAN NOTES** Received 06.12.2023  
All dimensions over foundation face. Allow  
120mm rebate) 70mm veneer & 50mm  
cavity. Brick to overhang foundation face by  
-20mm max as per NZBC E2/AS1.  
All reinforcing is to be Ductility Class E, in  
accordance with NZS 4671.  
All concrete to comply with NZS3604:2011  
Section 4 Durability Clause 4.5.2.

These foundations are design to the findings and recommendations in the site specific Geotech report.



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McCord Family Trust  
Lot 964  
5 Rudd Street  
Ravenswood, Woodend

Job Number:  
**147384**

Original Plan:

Sheet Name: **SETOUT DIMENSIONS**

## **CONSENT PLANS**

: 9-2023	Reason: Initial Consent Plans

Building Consent BC231056

FOUNDATION PLAN NOTES 10-2

Received 06/12/2023  
dimensions over foundation face. Allow  
mm rebate) 70mm veneer & 50mm  
Brick to overhang foundation face by  
mm max as per NZBC E2/AS1.  
location indicated on plan has assumed  
mm offset from internal frame line,  
consult manufacturer's documentation  
confirm offset.

actor to consult manufacturer's  
mentation to determine the correct  
on for all wastes positioned through floor

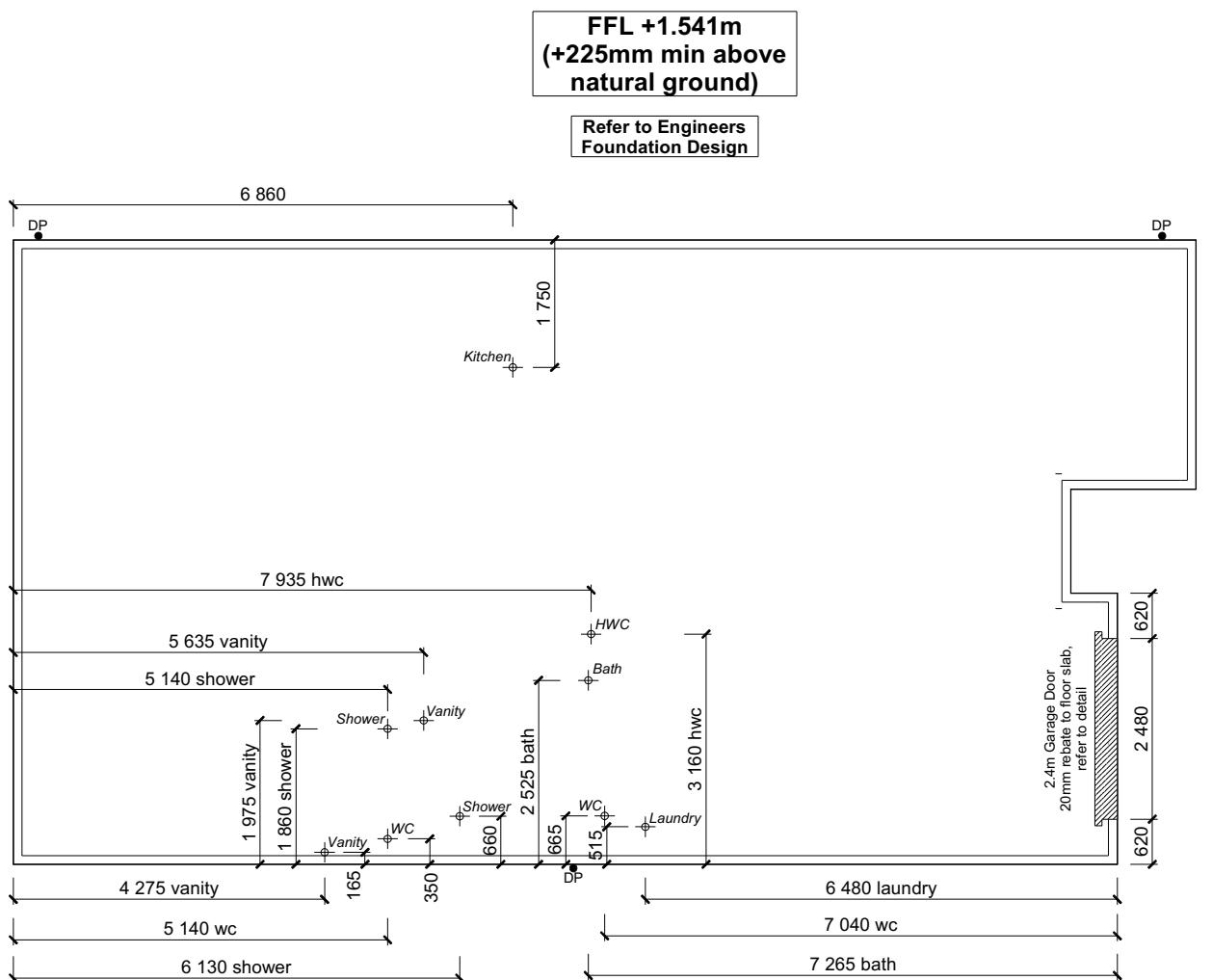
bar to be bonded to the reinforcing  
to Truss design for exact location of  
hickenings

inforcing is to be Ductility Class E, in accordance with NZS 4671. Concrete to comply with NZS3604:2011 on 4 Durability Clause 4.5.2.

The foundations are designed to the findings recommendations in the site specific tech report.

## AREA TO PERIMETER RATIO

Foundation Area:	132.70m <sup>2</sup>
Perimeter:	50.90m
Ratio:	2.61



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BC231056 7/12/2023 bhargavac

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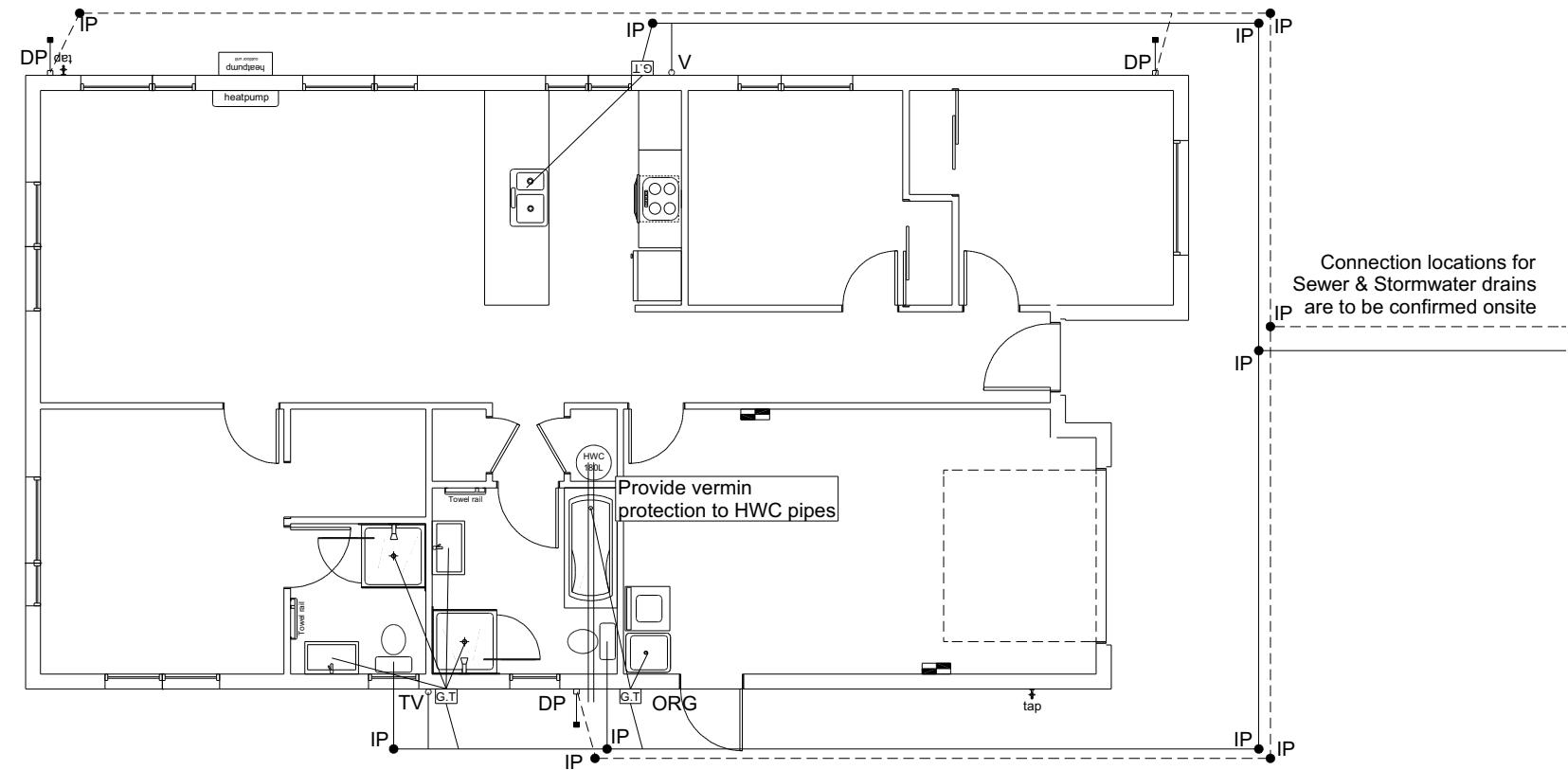
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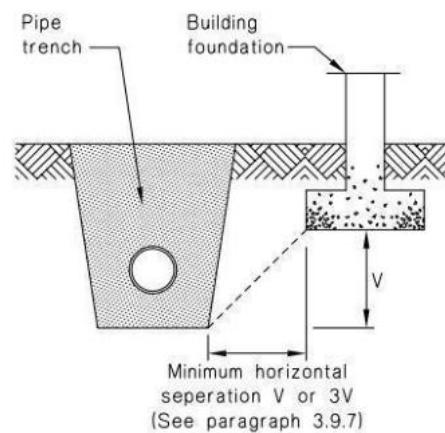
Job Number:	Original Plan:	Sheet Name:
<b>147384</b>	<i>Kingfisher</i>	<b>FOUNDATION PLAN</b>
qs: van	Drawn: <b>M Givnn</b>	QS: <b>W Xian</b>

Plumbing Schedule	NZBC G13	Building Consent BC231056
Kitchen		Received 06.12.2023
Sink:	Ø50mm @1:40	(3 discharge units)
Bathrooms	Ø40mm @1:40	(1 discharge units per basin)
Vanity:	Ø40mm @1:40	(2 discharge units)
Shower:	Ø40mm @1:40	(4 discharge units)
Bath:	Ø100mm @1:40	(4 discharge units)
WC:	Ø40mm @1:30	(5 discharge units)
Laundry Sink:		
Drainage Schedule		
Main Foulwater		
Vented Drain	Ø100mm @1:60 (1:120max)	
Stormwater Drain	Ø90mm & Ø100mm @1:60 (1:120max)	
Terminal Vent	Ø80mm	
Vent	Ø50mm	
Heatpump	Drain over GT	
ORG	Overflow Relief Gully	
Hot water Cylinder	min 20mm Drain over GT	
Notes:		
	All plumbing and drainage to comply with NZBC G13.	
	ORG to be positioned so the top of gully dish is no less than 150mm below overflow level of lowest fixture.	
	Sewer & Stormwater to connect to existing connections.	
	All drains passing through concrete, provide sleeve or wrap in durable and flexible to allow for expansion and contraction. (as per G13/AS2 5.8.1)	
	HWC: Safe tray to HWC with 50mm overflow drain to exterior to comply with G12/AS1.	



DRAINAGE LEGEND	
-----	Stormwater Drain uPVC
—	Sewer Drain uPVC
DP	Downpipe
GT	Gully Trap
ORG	Overflow Relief Gully
TV	Terminal Vent
AAV	Air Admittance Valve
IP	Inspection Point

Figure 14: Relationship of Pipe Trench to Building Foundation  
Paragraph 3.9.7



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Lot 964  
5 Rudd Street  
Ravenswood, Woodend

Job Number:  
**147384**  
Original Plan:  
**Kingfisher**  
Sheet Name:  
**DRAINAGE PLAN**  
Sales: D Ryan Drawn: M Glynn QS: W Xian Print Date: 6/12/2023 Scale: 1:100 @ A3

### CONSENT PLANS

No.	Date:	Reason:
1	21-09-2023	Initial Consent Plans

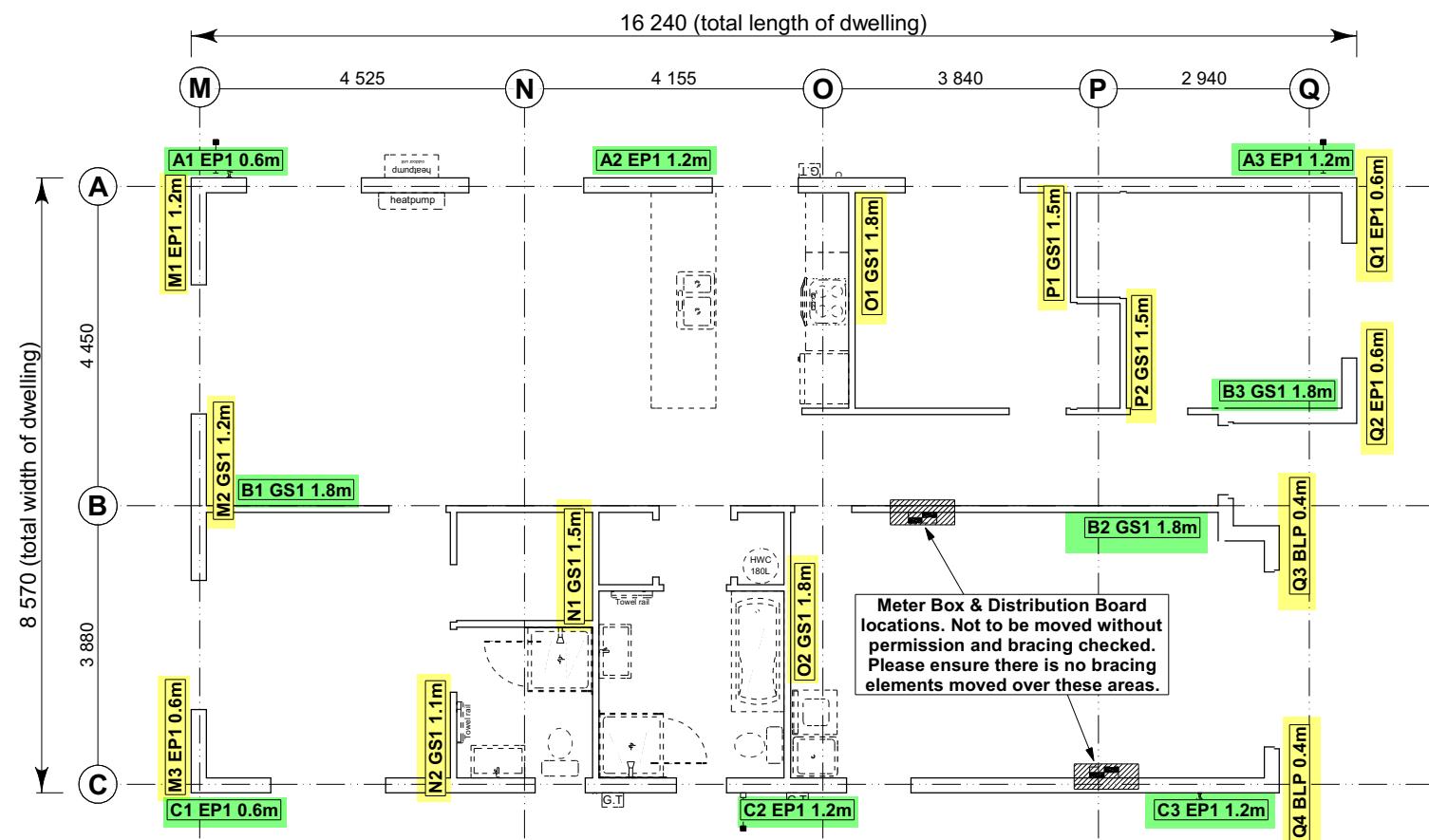
Sheet No.: **10**  
of 22 sheets

**BRACING PLAN NOTES**  
Received 06.12.2023  
Wall bracing designed in accordance with  
NZS 3604:2011 & GIB Ezybrace system  
Refer to attached calculations.

Bracing Designed to:  
Wind: High  
Earthquake: 2

**BRACING LEGEND**

- [A] ← Brace Line Label
- [M] ← Brace Length
- [A1 EP1 0.6m] ← Brace Type
- [A1 GS1 1.2m] ← Brace Number



**8.7.3.4**  
Each wall that contains one or more wall bracing elements shall be connected at the top plate level, either directly, or through a framing member in the line of the wall, to external walls at right angles to it. Top plate fixing(s) of the capacity in tension or compression along the line of the wall bracing element are given as follows:

- For each wall containing wall bracing elements with a total bracing capacity of not more than 125 bracing units: to at least one such external wall by a fixing as shown in figure 8.16 of 6 kN capacity;
- For each wall containing wall bracing elements with a total bracing capacity of not more than 250 bracing units: to at least 2 external walls by fixings as shown in figure 8.16 each of 6 kN capacity;
- For each wall containing wall bracing elements with a total bracing capacity of more than 250 bracing units: to at least 2 external walls by fixings as shown in figure 8.16 each having a rating of not less than 2.4 kN per 100 bracing units.

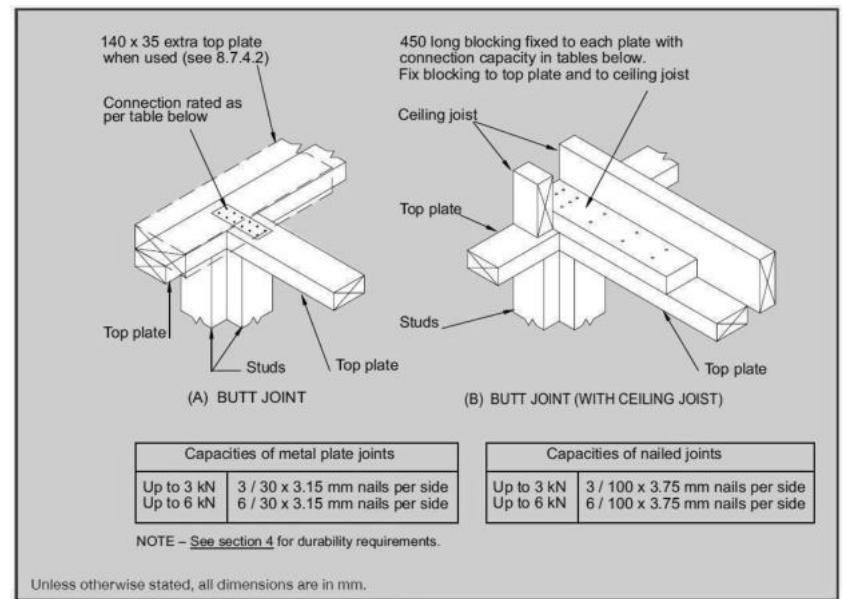


Figure 8.16 – Connecting top plates to external walls at right angles – Walls containing bracing (see 8.7.3.4)

**Single Level Along Resistance Sheet**

Job Name: McCord Family Trust

Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind		EQ	
							Demand		Achieved	
							435	800	1063	1098
							244%	137%	244%	137%
A	1	0.60		2.4	EP1 0.6	Ecopy®	57	63	345 OK	
	2	1.20		2.4	EP1 1.2	Ecopy®	144	162	387 OK	
	3	1.20		2.4	EP1 1.2	Ecopy®	144	162		
B	1	1.80		2.4	GS1-N	GIB®	124	108	373 OK	
	2	1.80		2.4	GS1-N	GIB®	124	108	324 OK	
	3	1.80		2.4	GS1-N	GIB®	124	108		
C	1	0.60		2.4	EP1 0.6	Ecopy®	57	63	345 OK	
	2	1.20		2.4	EP1 1.2	Ecopy®	144	162	387 OK	
	3	1.20		2.4	EP1 1.2	Ecopy®	144	162		

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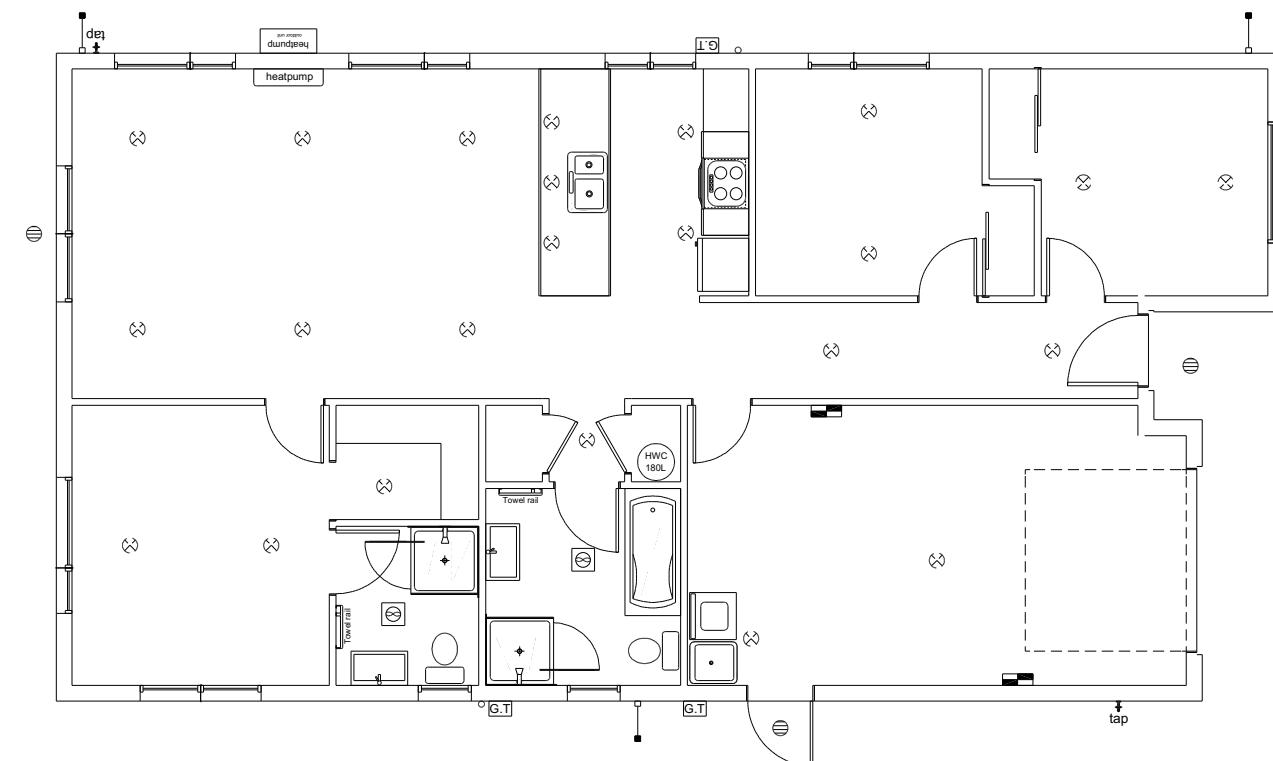
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Lot 964  
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Ravenswood, Woodend

Job Number: **147384**  
Original Plan: **Kingfisher**  
Sheet Name: **BRACING PLAN**  
Sales: D Ryan Drawn: M Glynn QS: W Xian Print Date: 6/12/2023 Scale: 1:100 @ A3

**CONSENT PLANS**  
No. Date Reason:  
1 21-09-2023 Initial Consent Plans  
[Blank lines for signatures]

Sheet No.: **11**  
of 22 sheets



LEGEND	
Refer to Electrical Section in Specification for further details	
○	Ceiling Pan
⊗	CA Approved Down Light 100w Down light (CA80 or CA135)
◐	Exterior Bulkhead Light
●	Exterior Wall Light
—	Fluorescent Double
↶	Light Switch
↷	Two Way Light Switch
⊸	Single Power Socket
⊸	Double Power Socket
⊕	Outside Waterproof Plug
▼	Telephone/Data Outlet
[TV]	TV Jack
[SKY]	Sky Connection
■	Bathroom Heater
■	Bathroom Extractor/Light

Electrical Plan is indicative only and is to be confirmed onsite with electrician and client

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Job Number:  
**147384**  
Original Plan:  
**Kingfisher**  
Sheet Name:  
**LIGHTING PLAN**  
Sales: D Ryan Drawn: M Glynn QS: W Xian Print Date: 6/12/2023 Scale: 1:100 @ A3

### CONSENT PLANS

No.	Date:	Reason:
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Sheet No.:  
**12**

of 22 sheets





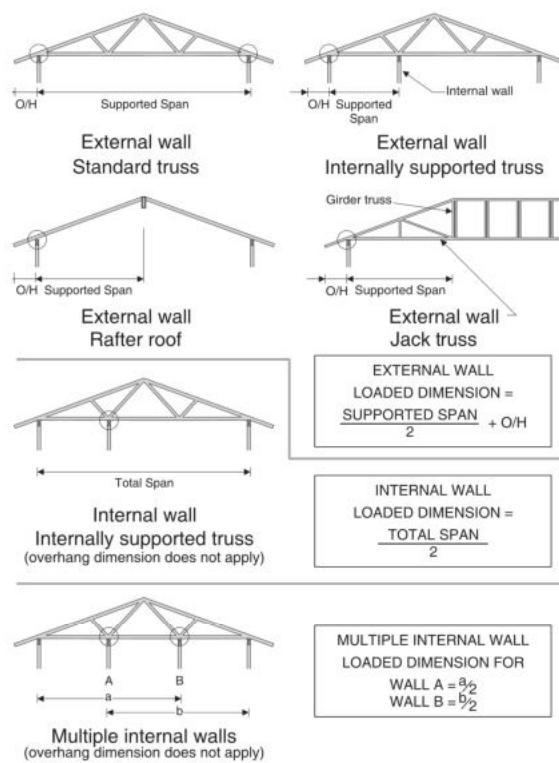
# STUD TO TOP PLATE FIXING SCHEDULE

## ALTERNATIVE TO TABLE 8.18 NZS 3604:2011

### NOTE:

- All fixings are designed to resist vertical loads only. Dead loads include the roof weight and standard ceiling weight of 0.20kPa.
- Refer to Table 8.19 NZS 3604:2011 for nailing schedule to resist lateral loads.
- These fixings assume the correct choice of rafter/truss to top plate connections have been made.
- For gable end walls where the adjacent rafter/truss is located within 1200mm and with a maximum verge overhang of 750mm, select stud to top plate fixing using a loaded dimension of 1.5m.
- All fixings assume top plate thickness of 45mm maximum.
- Wall framing arrangements under girder trusses are not covered in this schedule.
- All timber selections are as per NZS 3604:2011.

### LOADED DIMENSION DEFINITION



### FIXING SELECTION CHART

(Suitable for walls supporting roof members at 600, 900 or 1200mm crs.)  
Wind Zones L, M, H, VH, EH, as per NZS 3604:2011

Loaded Dimension (m) Stud Centres		Light Roof Wind Zone				Heavy Roof Wind Zone						
300mm	400mm	600mm	L	M	H	VH	EH	L	M	H	VH	EH
3.0	2.3	1.5	A	A	B	B	B	A	A	B	B	B
4.0	3.0	2.0	A	A	B	B	B	A	A	B	B	B
5.0	3.8	2.5	A	B	B	B	B	A	A	B	B	B
6.0	4.5	3.0	A	B	B	B	B	A	A	B	B	B
7.0	5.3	3.5	A	B	B	B	B	A	A	B	B	B
8.0	6.0	4.0	A	B	B	B	B	A	A	B	B	B
9.0	6.8	4.5	B	B	B	B	B	A	A	B	B	B
10.0	7.5	5.0	B	B	B	B	B	A	A	B	B	B
11.0	8.3	5.5	B	B	B	B	B	A	A	B	B	B
12.0	9.0	6.0	B	B	B	B	B	A	A	B	B	B

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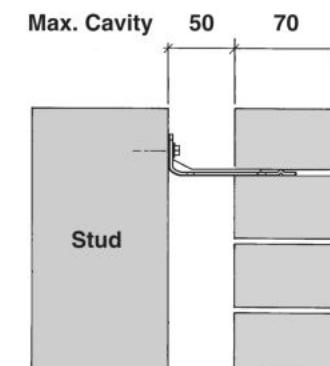


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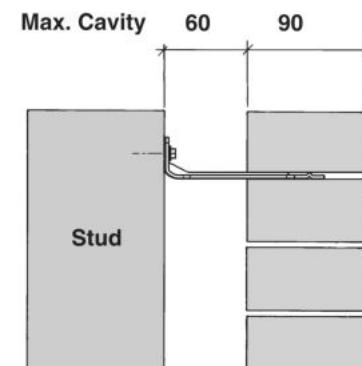
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### SCAN FOR INSTALLATION VIDEO

<https://vimeo.com/117353604>



Screw Tie Short  
(85mm)



Screw Tie Long  
(105mm)

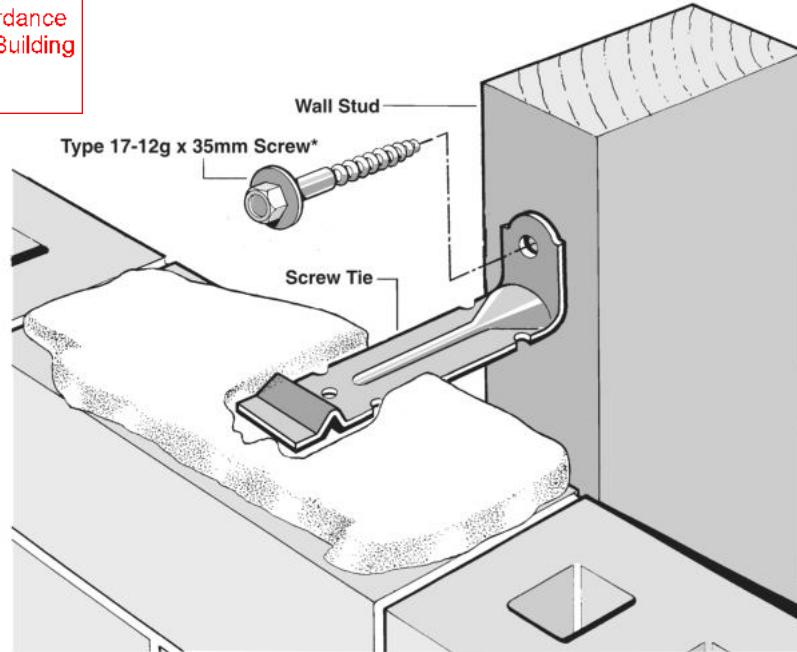
- All brick work must be constructed in accordance with NZS 4210:2001 Masonry Construction: Materials and Workmanship. Screw Ties must be applied accordingly and are not to be hammered into timber framing.
- Water shedding shoulder prevents transfer of the moisture from tie to building.
- Nail hole for Oamaru Stone.
- Angled neck encourages increased tie embedment in mortar.

**Material:** 1.2mm NZCC-SD Hot Dip Galvanised Steel  
**Screws:** Type 17-12g x 35mm Hex Head Hot Dip Galvanised Screws  
**Packed:** 250 ties per box including screws

Also available in Stainless Steel Grade 316 for Zone D.

### SCREW TIES FOR BRICK VENEER FIXING

- Medium duty (EM) classification
- Tested by BRANZ in accordance with AS/NZS 2699.1:2000
- BRANZ test report No. ST0725 November 2007
- Suitable for both 'dry bedding' and encapsulated mortar
- Hot Dip Galvanised ties for Zones B & C, and Stainless Steel Grade 316 ties for Zone D meet NZS 3604:2011 Sect. 4 Durability
- Available in 85mm and 105mm sizes



**\*NOTE:**  
Use longer screws for fixing through Rigid Air Barrier (RAB). Maintain 35mm embedment in studs.

**McCord Family Trust**  
Lot 964  
5 Rudd Street  
Ravenswood, Woodend

Job Number:  
**147384**

Original Plan:  
**Kingfisher**

Sheet Name:

**FRAMING DETAILS**

Sales: D Ryan Drawn: M Glynn QS: W Xian Print Date: 6/12/2023 Scale: NTS @ A3

**CONSENT PLANS**

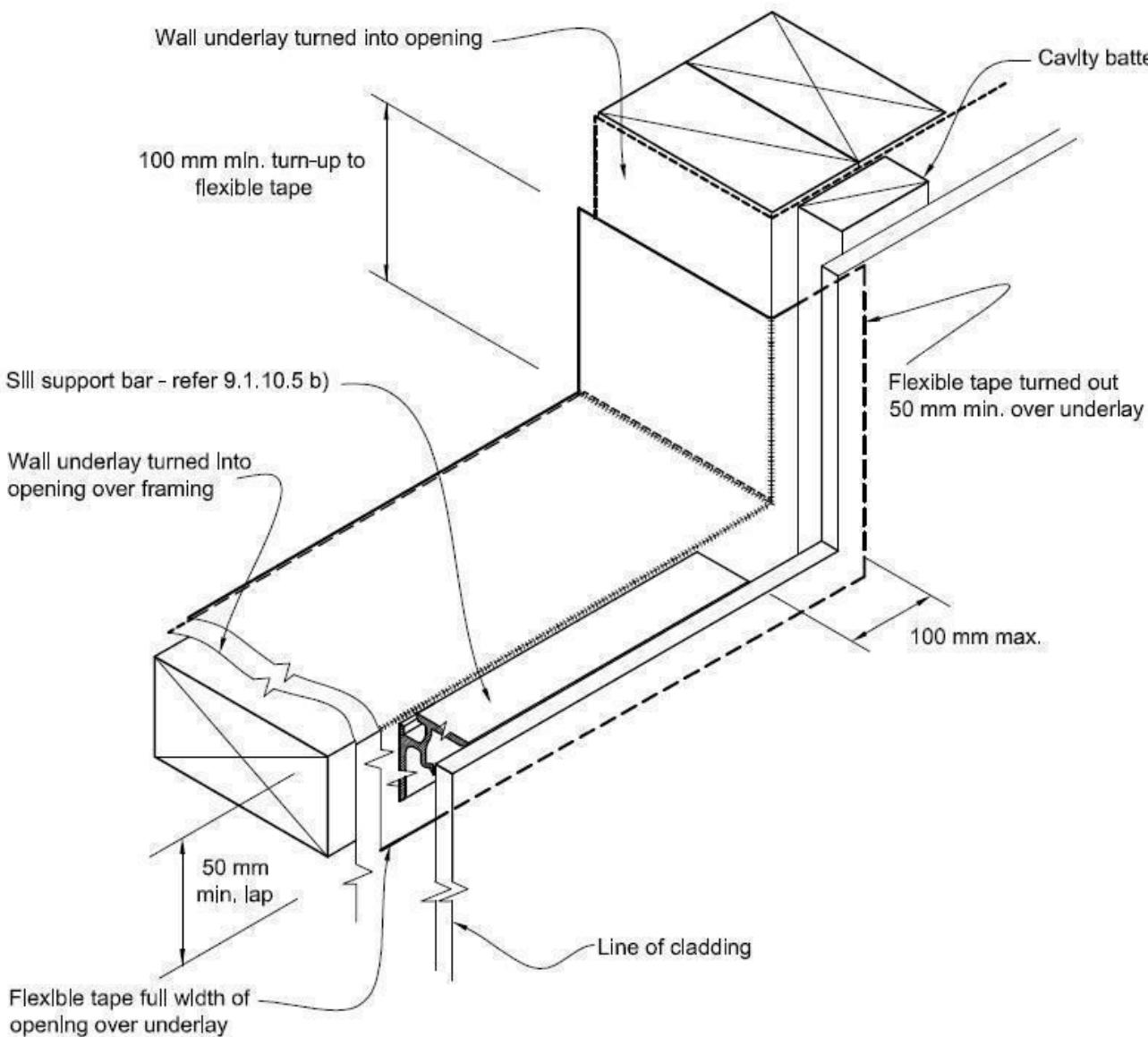
No.	Date:	Reason:
1	21-09-2023	Initial Consent Plans

Sheet No.:  
**14**

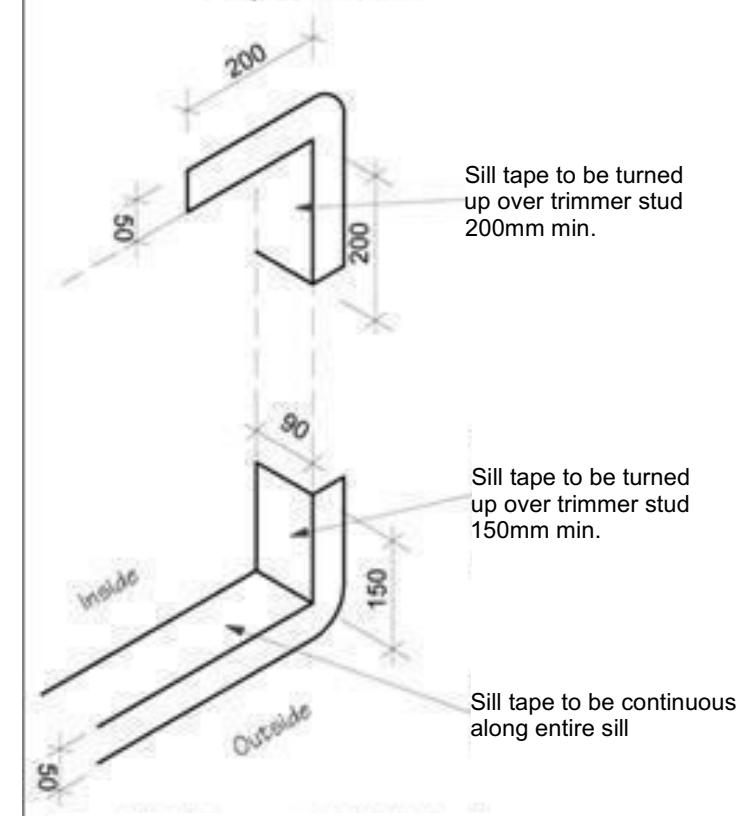
of 22 sheets

**Figure 72B: General window and door opening with drainage cavity**  
Paragraphs 9.1.5, 9.1.9.3, 9.1.10.2, Figures 73C, 76, 85, 86, 91, 99, 116 and 128

**NOTE:**  
 (1) Detailed cladding omitted for clarity, refer to specific claddings.  
 (2) Head to be treated similarly with continuous wall underlay and flexible tape at corners.  
 (3) Refer individual cladding details for jamb flashings.



### Detail Tape Location to Wall Openings



### Sill Tape Flashing Detail

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**TKR Homes Ltd.**  
31 Watts Road, Sockburn  
PO BOX 11 351  
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P: +64 3 342 7788

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**McCord Family Trust**  
Lot 964  
5 Rudd Street  
Ravenswood, Woodend

Job Number:  
**147384**

Original Plan:  
**Kingfisher**

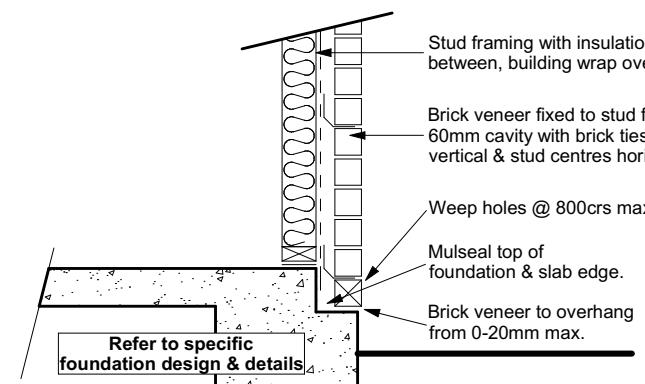
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**CONSTRUCTION DETAILS**

### CONSENT PLANS

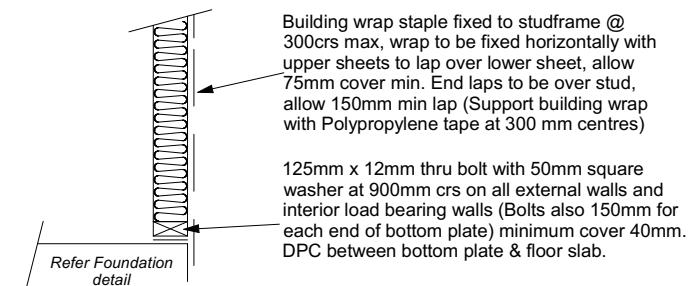
No.	Date:	Reason:
1	21-09-2023	Initial Consent Plans

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**15**

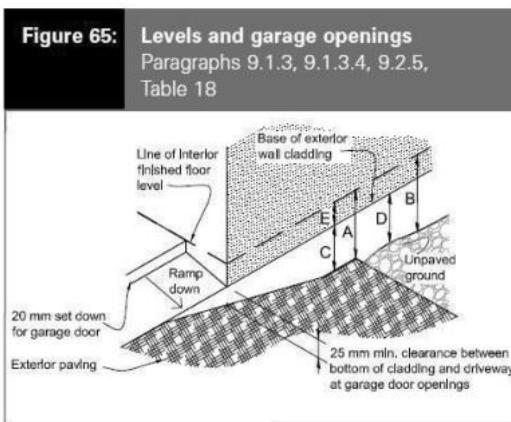
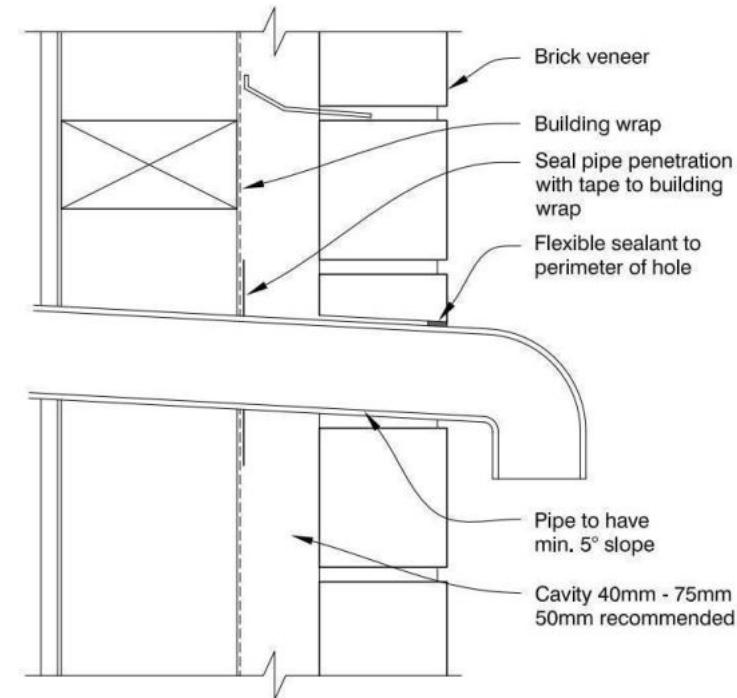
of 22 sheets



**Brick Veneer Foundation**  
Scale 1:20



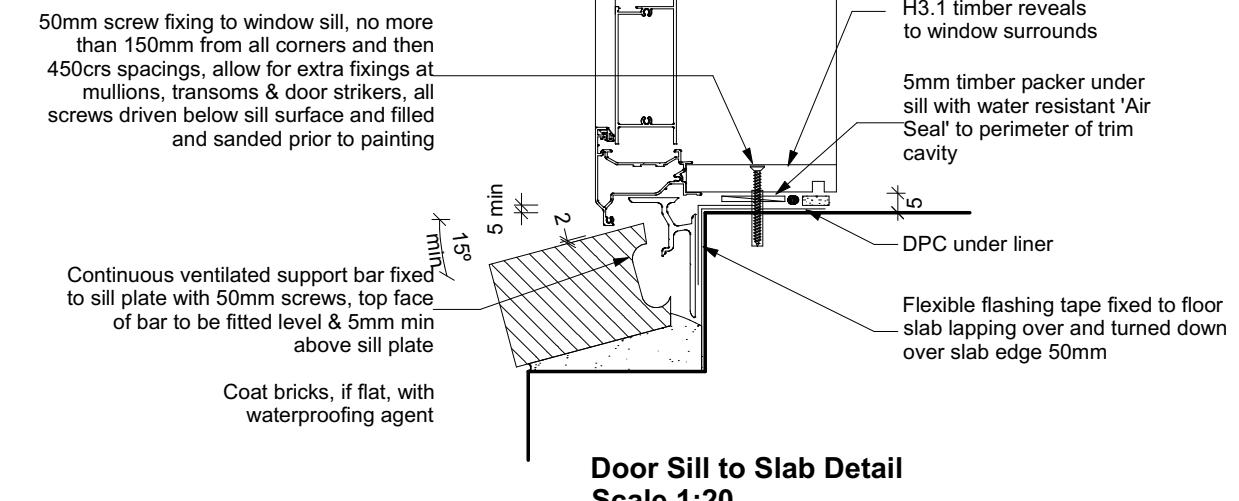
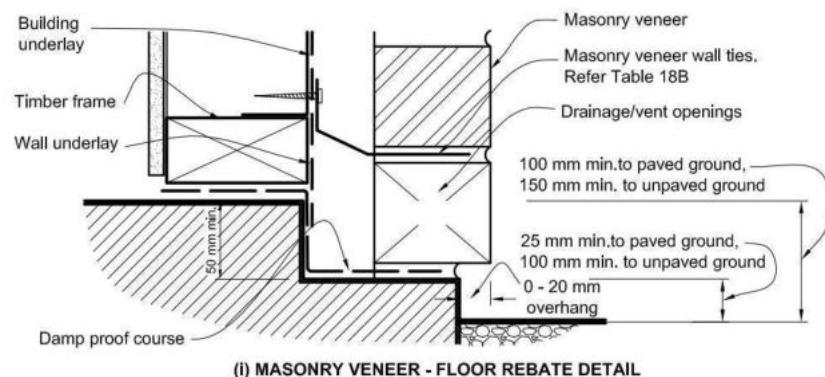
**Stud framing to slab**  
Scale 1:20



**Table 18: Minimum clearances**  
Paragraphs 9.1.3, 9.1.3.1, 9.1.3.2,  
9.1.3.3, 9.1.3.4, 9.1.3.5 and 9.2.7

Minimum clearances (mm)	Masonry veneer		Other claddings				
	A	B	A	B	C	D	E
Concrete slab	100	150	150	225	100	175	50
Timber floor Refer Note 1			100	175	502		

NOTE: 1) Refer to NZS 3604 for requirements.  
2) Cladding to extend minimum 50 mm below bearer or lowest part of timber floor framing.



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**McCord Family Trust**  
Lot 964  
5 Rudd Street  
Ravenswood, Woodend

Job Number:  
**147384**

Original Plan:  
**Kingfisher**

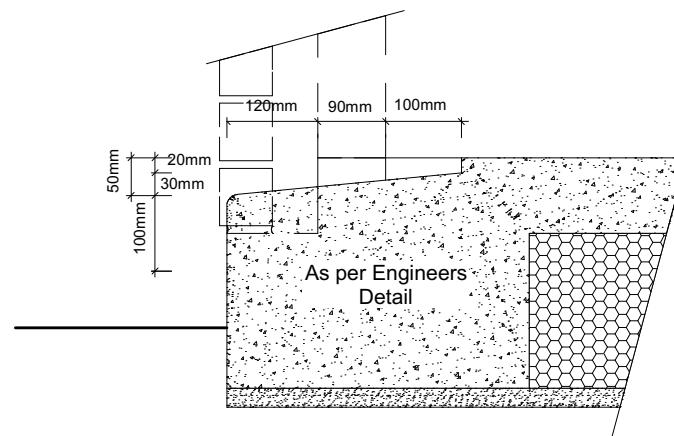
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**CONSTRUCTION DETAILS**

**CONSENT PLANS**

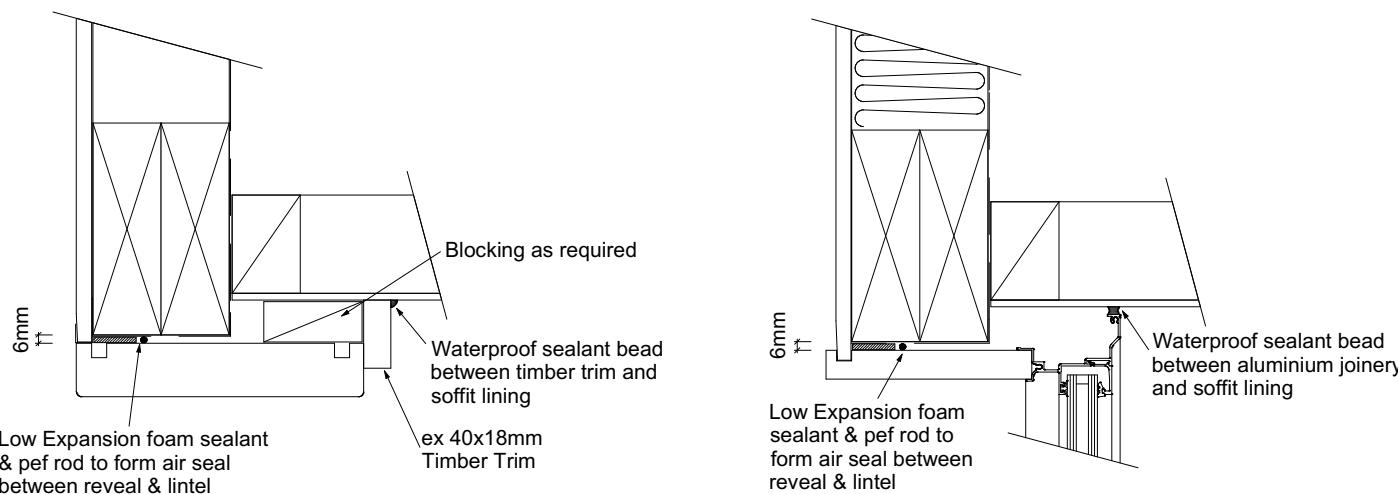
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**Garage Door Rebate Details**  
Scale 1:10



**Garage Door Head to Soffit**  
Scale 1:5

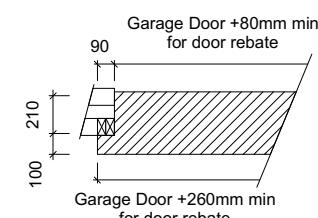
**Window Head to Soffit Detail**  
Scale 1:5

**9.1.10.8 Attachments for windows and doors**

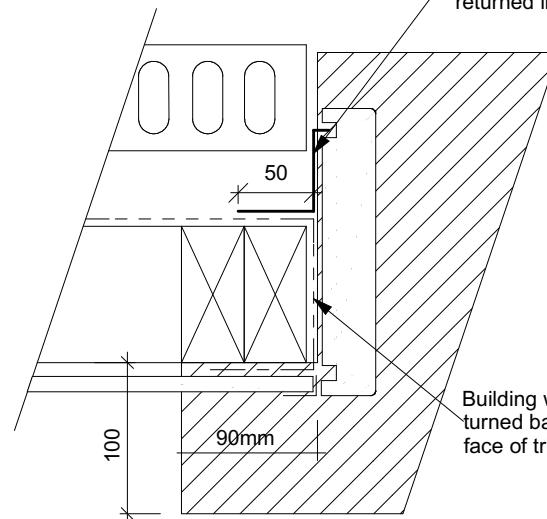
Install windows and doors using pairs of minimum 75 x 3.15 galvanised jolt head nails or 8 gauge x 65 mm stainless steel screws, through reveals into surrounding *framing* at:

- Maximum 450 mm centres along sills, jambs and heads, and
- Maximum 150 mm from reveal ends.

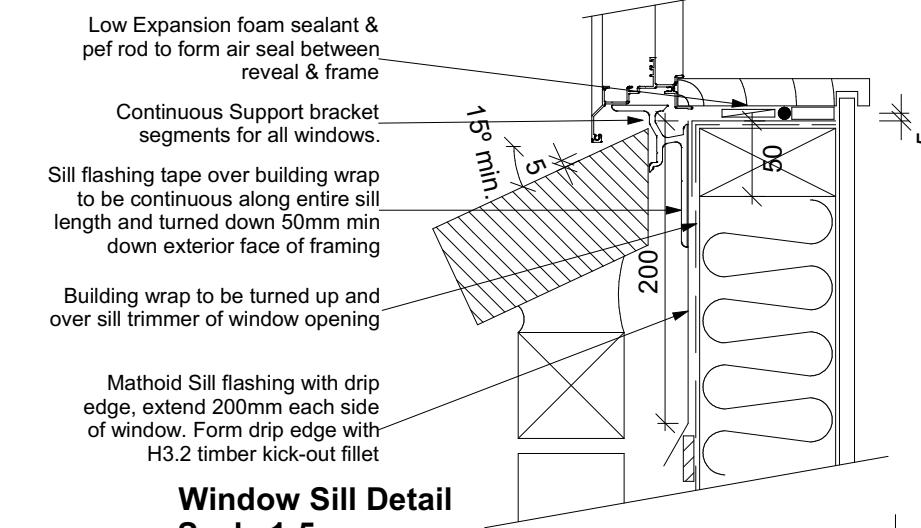
Install packers between reveals and *framing* at all fixing points, except between head reveals and lintels.



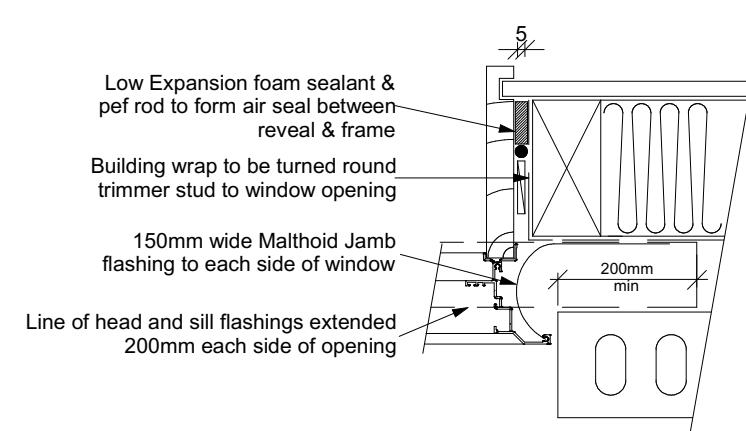
Masons 40 Below flashing tape to garage door reveal/brick veneer junction, Detail tape flashing to be returned into reveal rebate.



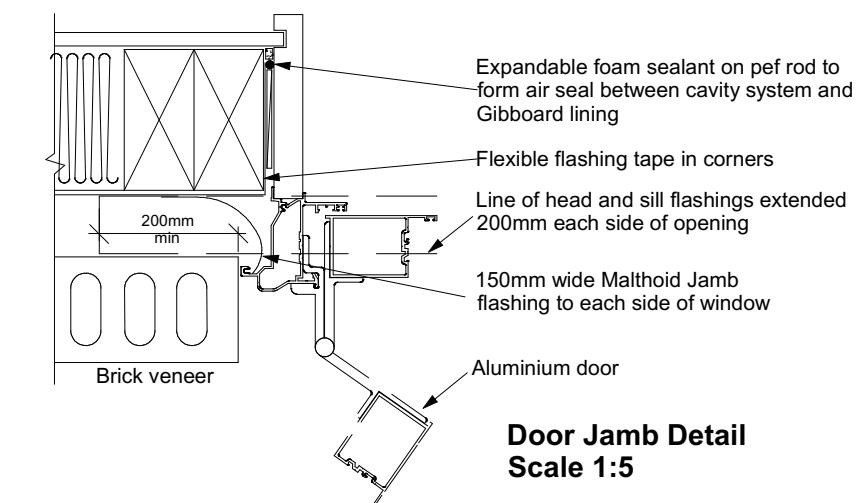
**Garage Door Jamb Detail**  
Scale 1:5



**Window Sill Detail**  
Scale 1:5



**Window Jamb Detail**  
Scale 1:5



**Door Jamb Detail**  
Scale 1:5

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**McCord Family Trust**  
Lot 964  
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Ravenswood, Woodend

Job Number:  
**147384**

Original Plan:  
**Kingfisher**

Sheet Name:  
**CONSTRUCTION DETAILS**

**CONSENT PLANS**

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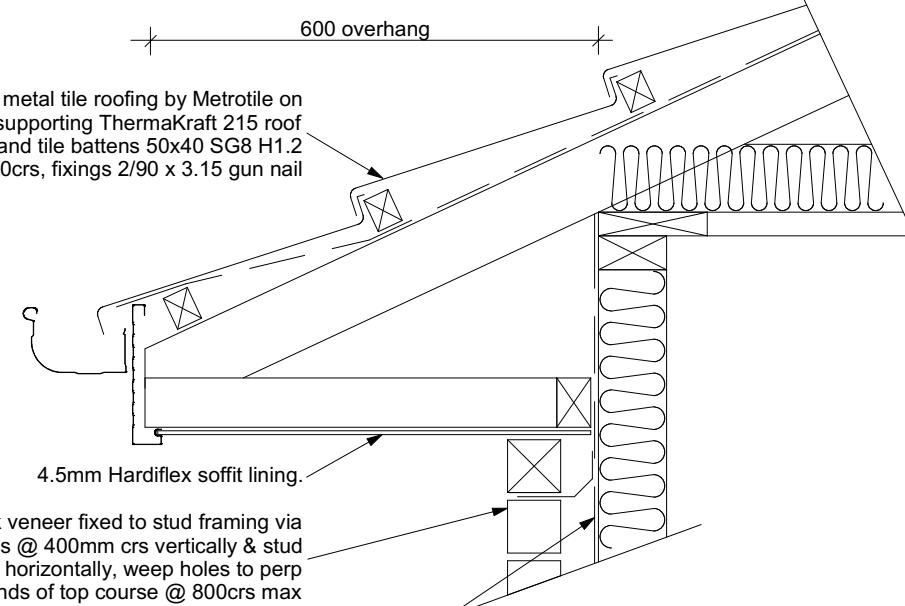
of 22 sheets

Pressed metal tile roofing by Metrotile on self supporting ThermaKraft 215 roof underlay and tile battens 50x40 SG8 H1.2 @ 370crs, fixings 2/90 x 3.15 gun nail

Brick veneer fixed to stud framing via brick ties @ 400mm crs vertically & stud centres horizontally, weep holes to perp ends of top course @ 800crs max

Building wrap staple fixed to studframe @ 300crs max, wrap to be fixed horizontally with upper sheets to lap over lower sheet, allow 75mm cover min. End laps to be over stud, allow 150mm min lap

### Eave Soffit Detail Scale 1:10



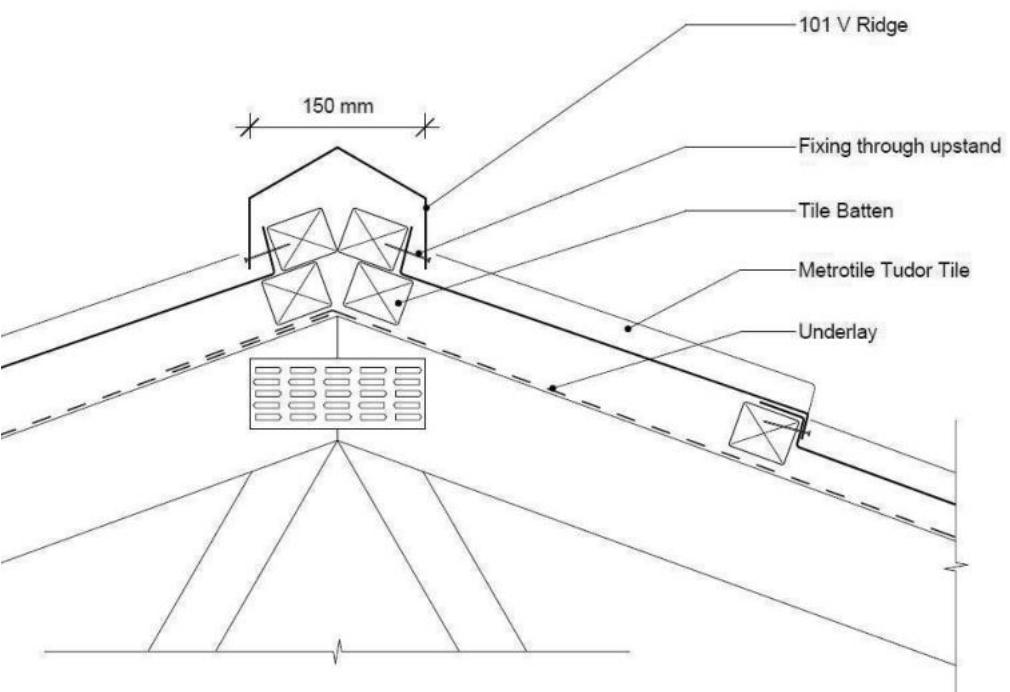
Fixings: 4 nails per sheet in the body of the roof in the turndown

(a) TURNDOWN FIXING

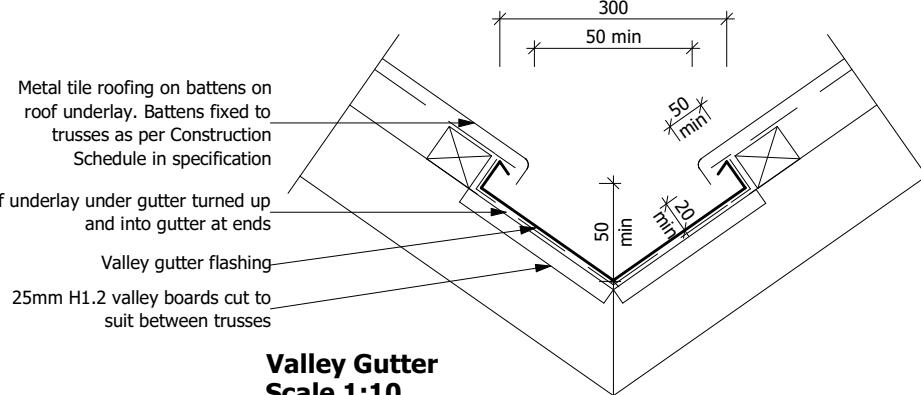
Neoprene washer under fixing

(b) CREST FIXING

### Metal Tile Fixings Detail Scale NTS



**Metal Tile Angle Ridge Detail  
Scale NTS**



**Valley Gutter  
Scale 1:10**

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Regulations 1992, Clause 3  
**BC231056 7/12/2023 phargavac**

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**McCord Family Trust**  
Lot 964  
5 Rudd Street  
Ravenswood, Woodend

Job Number:  
**147384**

Original Plan:  
**Kingfisher**

Sheet Name:  
**CONSTRUCTION DETAILS**

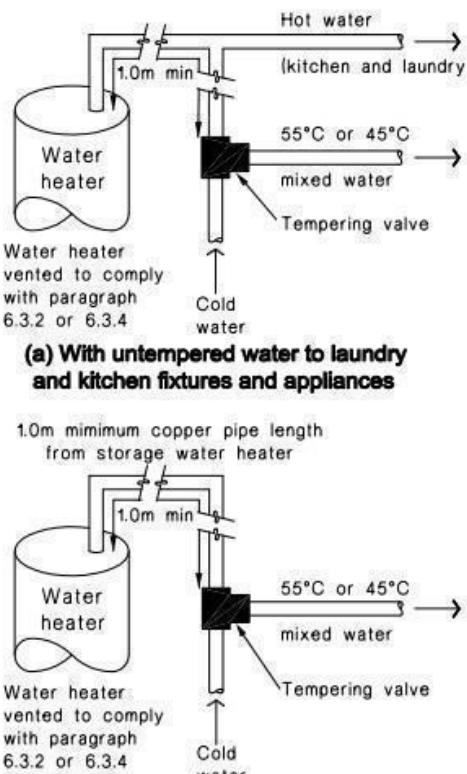
### CONSENT PLANS

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1	21-09-2023	Initial Consent Plans

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**Figure 16:** Tempering Valve Installation  
Paragraph 6.14.2 a)

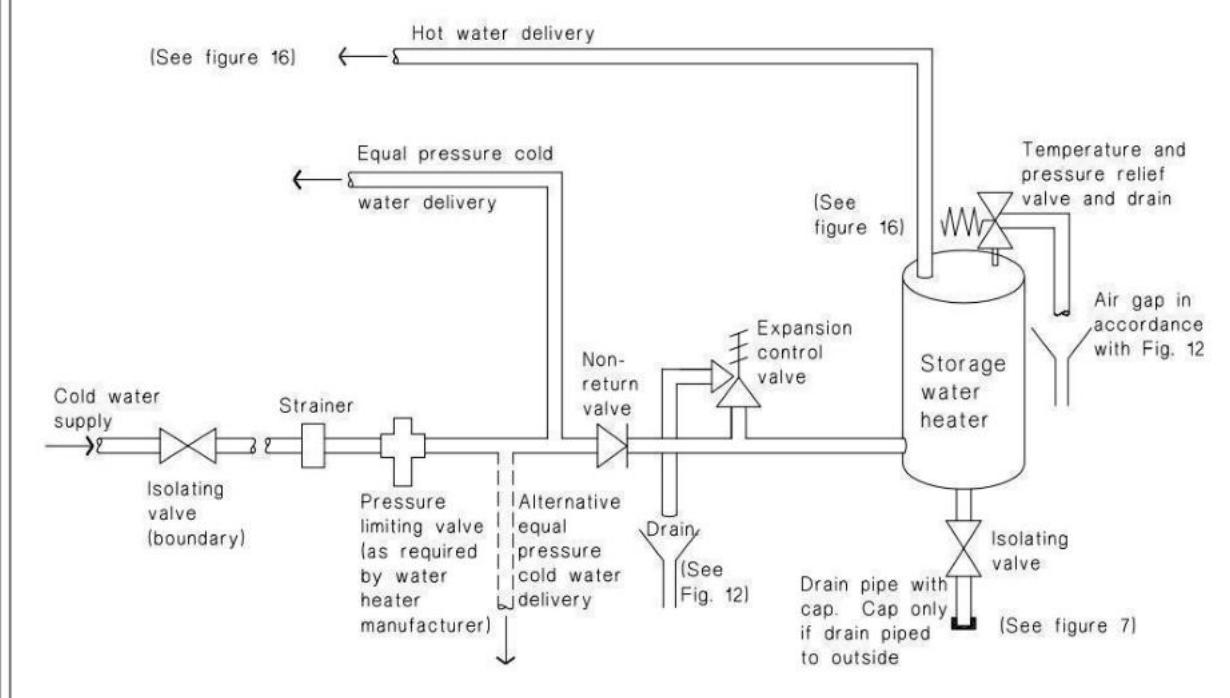


**(b) Where all hot water is tempered**

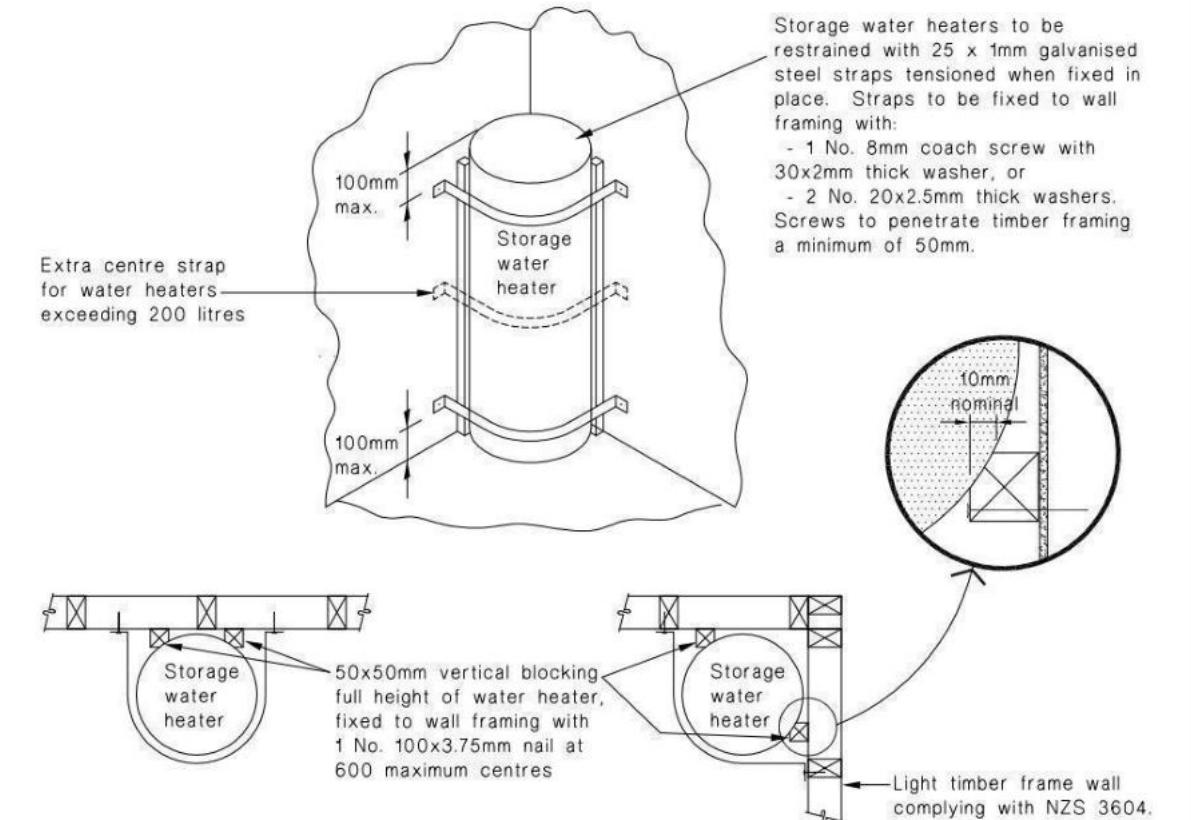
Note: For optimum system efficiency the tempering valve, for other than a mains pressure system, may be located as low as practicable to achieve the manufacturer's recommended head, at the tempering valve.

2. 1.0m minimum copper pipe length from storage water heater

**Figure 8: Mains Pressure Storage Water Heater System (unvented)**  
Paragraphs 6.1.2 and 6.2.1 b)



**Figure 14: Seismic Restraint of Storage Water Heaters 90 – 360 litres**  
 Paragraph 6.11.4



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Lot 964  
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Ravenswood, Woodend

Job Number:  
**147384**

## Original Plan: *Kingfisher*

Sheet Name:

## PLUMBING DETAILS

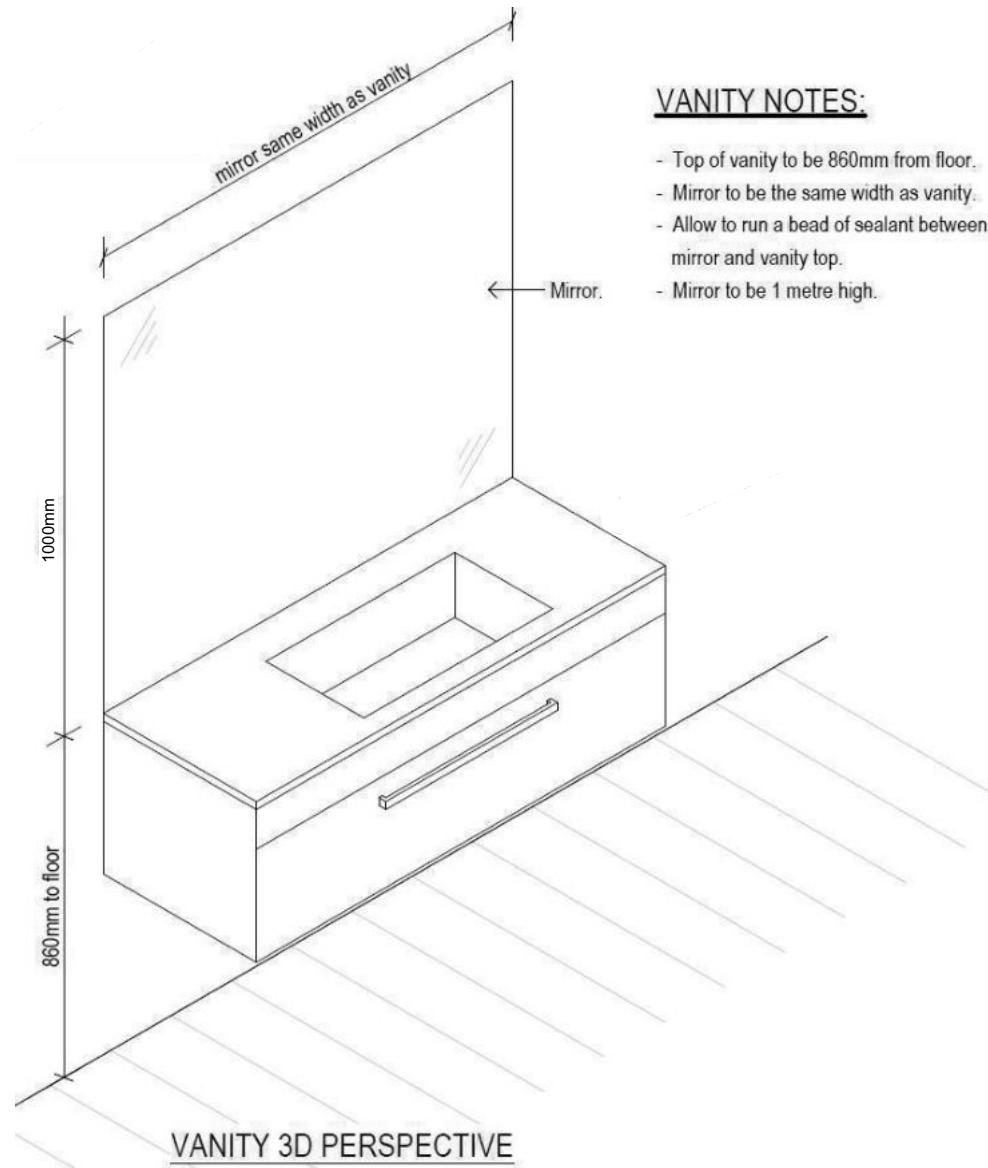
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Re:	Reason:
09-2023	Initial Consent Plans

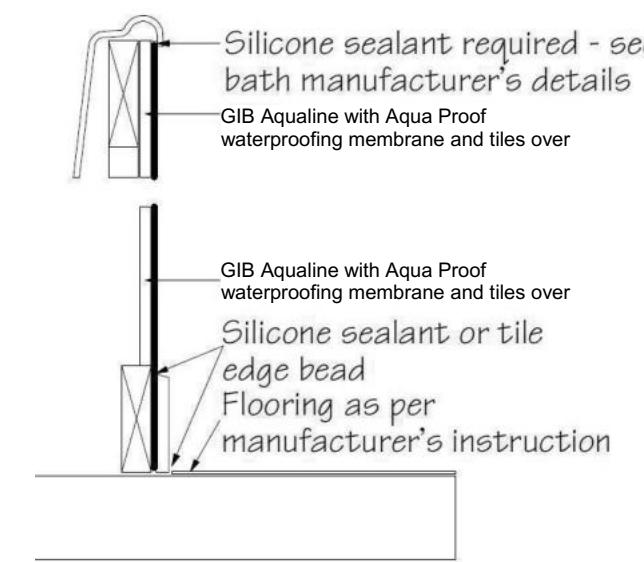
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VANITY 3D PERSPECTIVE



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**McCord Family Trust**  
Lot 964  
5 Rudd Street  
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Job Number:  
**147384**

Original Plan:  
**Kingfisher**

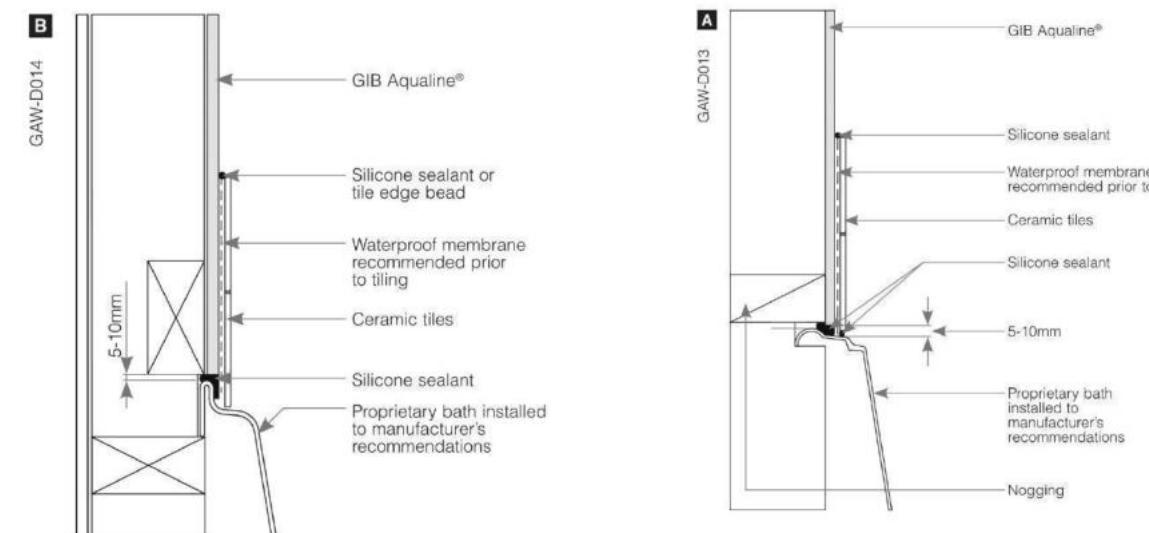
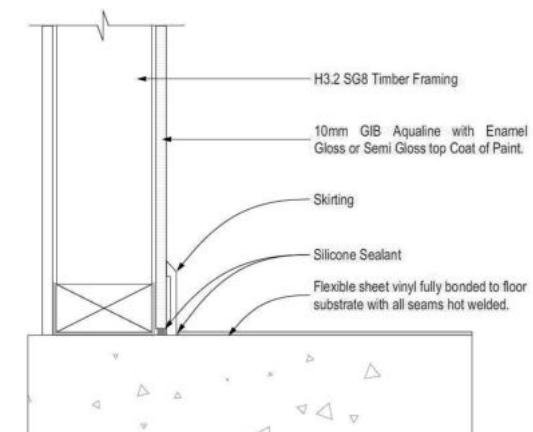
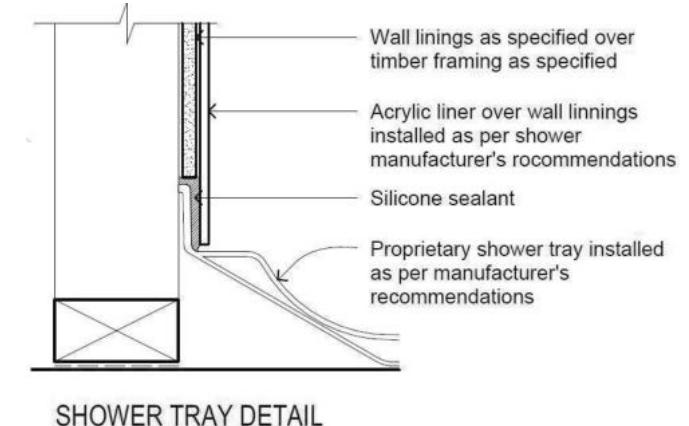
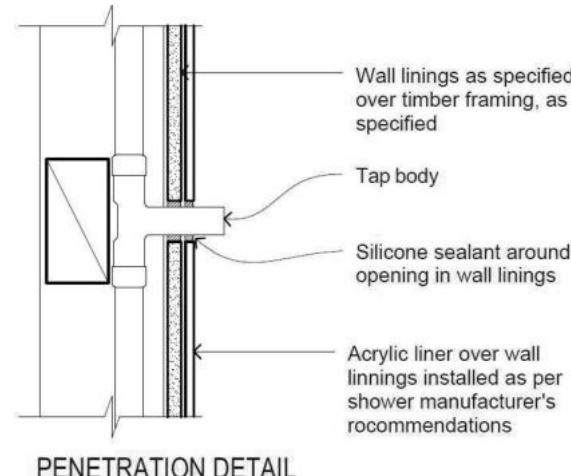
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**BATHROOM DETAILS**

**CONSENT PLANS**

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# Buildable Consent Layout



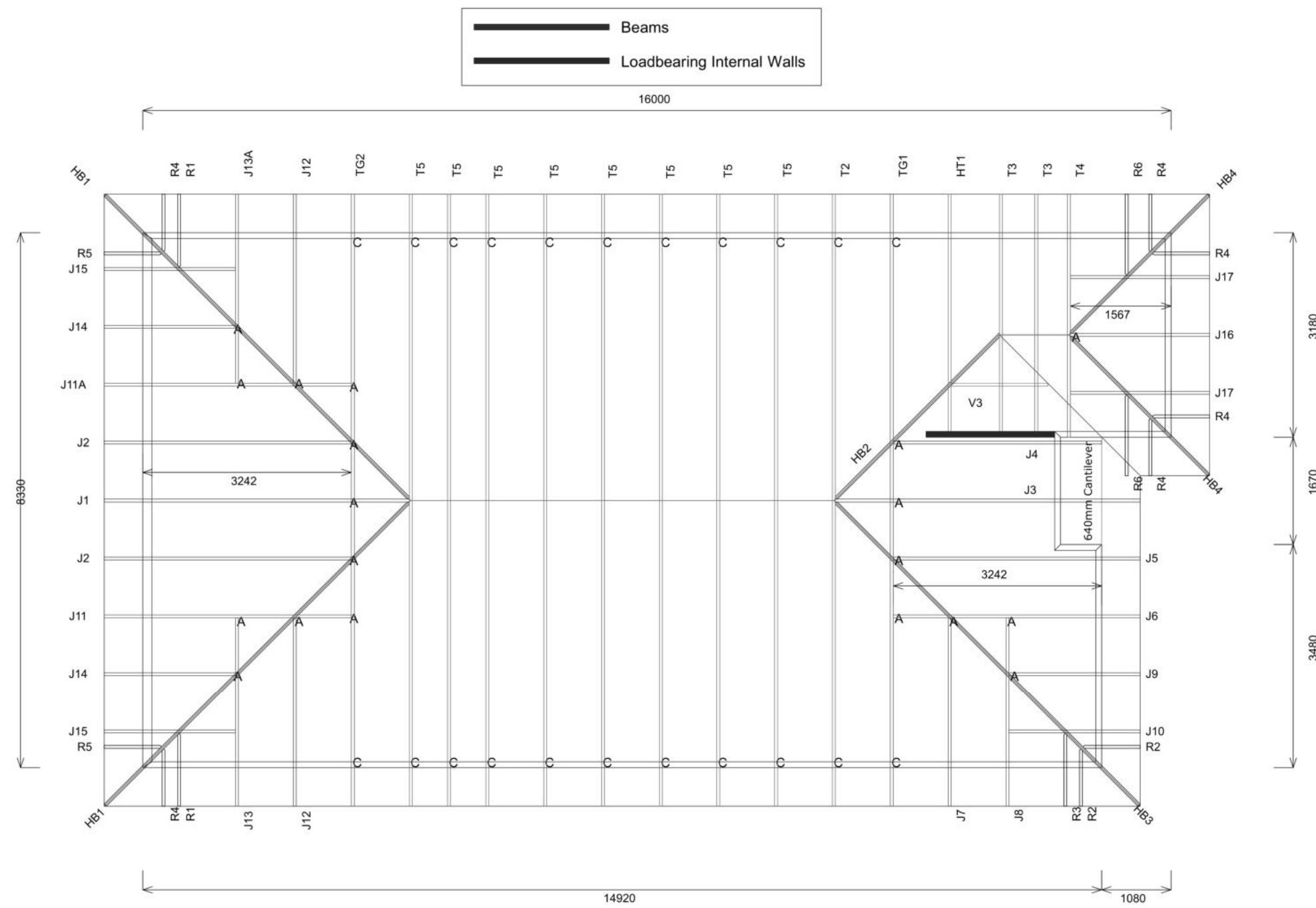
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For valley/saddle truss fixing unless stated otherwise use a pair of wire dogs at 900mm centres for up to and including a very high wind zone. Or a pair of CT200's at 900mm centres for extra high wind zone. This fixing is to meet the minimum requirements as per NZS3604.

**CARTERS**

Your Building Partner

Building Consent BC231056  
Received 06.12.2023



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Plans and specifications APPROVED in accordance  
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BC231056 7/12/2023 bhangavac



Job No: CH1391747C1

Customer: TKR Homes Limited | T/A Signature Homes Canterbury

Job Name: McCord Lot 964 Ravenswood

Address: Lot 964 Ravenswood  
Woodend, Waimakariri District

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**McCord Family Trust**  
Lot 964  
5 Rudd Street  
Ravenswood, Woodend

Job Number: **147384**  
Original Plan: **Kingfisher**  
Sheet Name: **TRUSS DESIGN**  
Sales: D Ryan Drawn: M Glynn QS: W Xian Print Date: 6/12/2023 Scale: NTS @ A3

## Truss Fixings

A = 47x90 Joist Hanger
B = 47x120 Joist Hanger
C = CT200 (pair)
D = 47x190 Joist Hanger
E = 95x165 Joist Hanger
F = SH-140 Split Hanger
G = SH-180 Split Hanger
H = SH-220 Split Hanger
J = 2x6kN Strap (12kN)
K = 6kN Strap
L = Multigrip (single)
M = Multigrips (pair)
N = Nailon Plate (240x110x1)
P = 16kN Pack
Q = 9kN Pack
S = CPC 40 Single Cleat
T = CPC 40 Short (pair)
U = CPC 80 Single Cleat
V = 16kN Uplift
Z = Engineers Design

Unless otherwise indicated, all specified truss fixings are to use L/Lok product nail fasteners or Type 17 - 14g Hex Head Screws (as per the MiTek On-Site Guide)

All truss to frame fixings require 2 additional 2/90x3.15dia skew nails.

All truss fixings not indicated as above must have 2 wire dogs for cross joints and 2/90x3.15dia nails for butt joins.

Fixings shown are for fixing trusses to the top plate. Any other point load uplift fixings down through the framing stud to top plate, stud to bottom plate, bottom plate to floor remain the responsibility of the architect / draughtsman.

Any roof loads as stated on this layout over 16kN lift are outside the scope of NZS3604, and the architect / draughtsperson is responsible for the design to transfer the loads to the ground.

Snow Zone:	Christchurch (N4)
Wind Area:	High
TC Restraints:	400 mm
Roof Material:	Metal Tiles
Roof Pitch:	25.00 °
Snow Altitude:	100.000 m
Design Wind Speed:	44.0 m/s
BC Restraints:	600 mm
Ceiling Material:	Standard Plaster Board 13mm
Ground Snow Load:	0.900 kPa
Truss Centres:	900 mm

If a gable truss requires a windbeam brace, the type of MiTek brace will be noted as such on the layout.  
The truss fixings can be substituted for other fixings of the same or greater capacity.

All verge framing to be fixed according to the MiTek On-Site Guide if not covered by NZS3604.

If bottom chord restraints are 35mm Metal battens, then they must be fixed with either two nails or screws.

If the metal battens are fixed with a single nail or screw then 90x45mm bottom chords restraints will be required at 1800mm centres

All loads shown on this page regarding the truss fixings are characteristic loads

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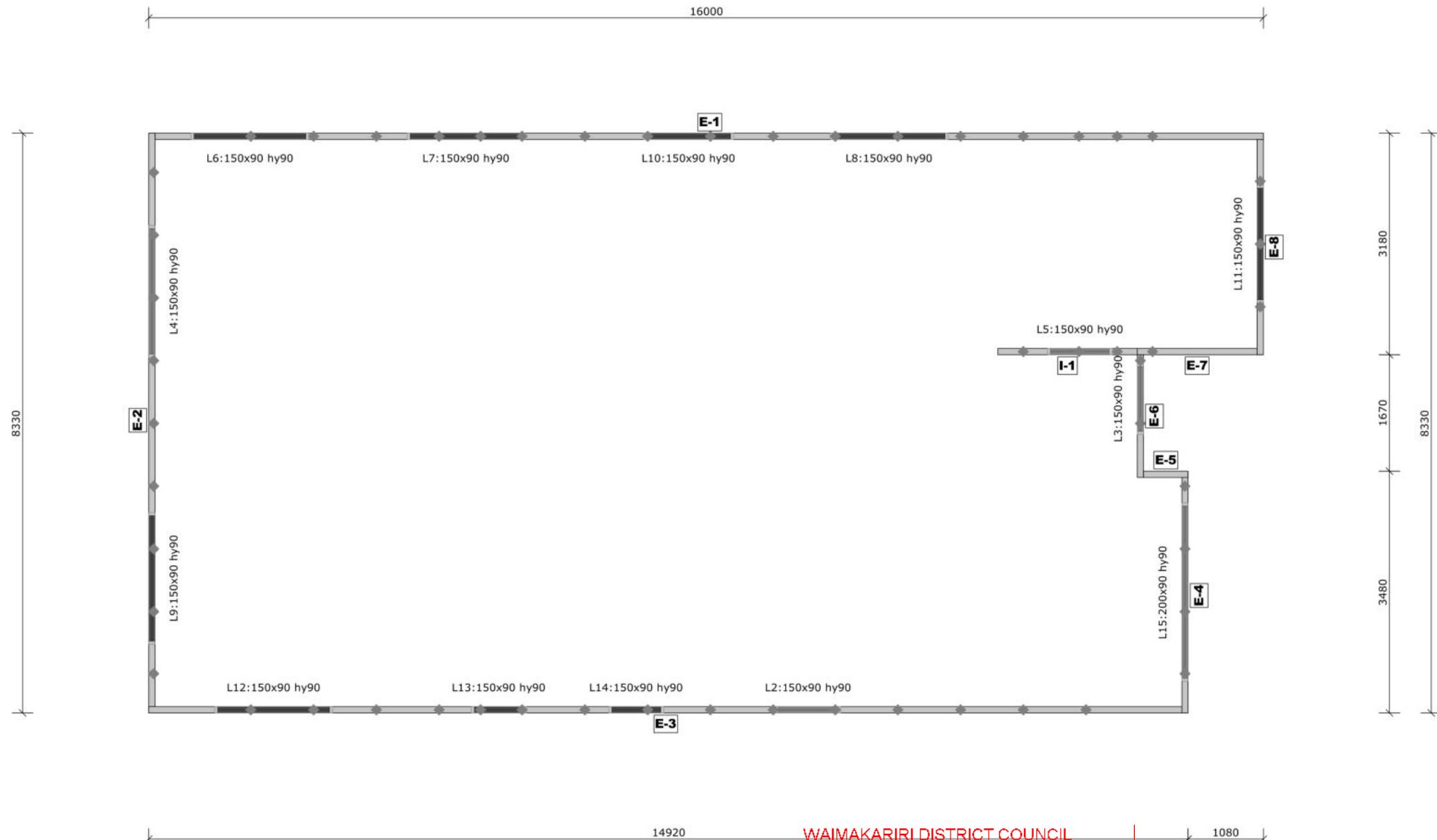
# Buildable Consent Layout



All internal walls shown on this layout are considered to be loadbearing  
Lintel fixing specification remains the responsibility of the architect / draughtsperson



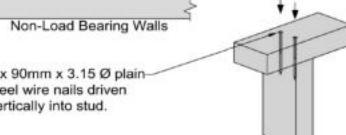
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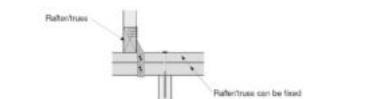
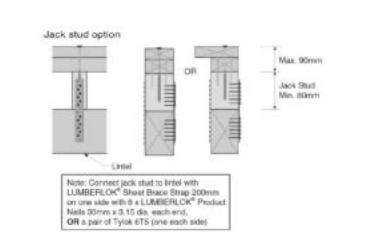
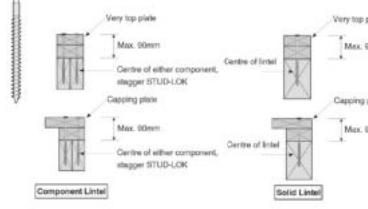
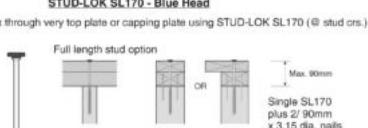
Lintel Fixings are as per  
the included reports.

#### TOP PLATE TO STUD FIXING OPTIONS

##### TYPE A - 0.7 kN



##### TYPE B - 4.7 kN



Note: These top plate to stud fixing options do not apply to walls under floors, just walls with trusses or rafters attached.



Job No: CH1391747C1

Customer: TKR Homes Limited | T/A Signature Homes Canterbury

Job Name: McCord Lot 964 Ravenswood

Address: Lot 964 Ravenswood  
Woodend, Waimakariri District

Notification of point loaded lintels or point loads on internal walls where the downward load is higher than 8kN (85mm raft type slab) or 10kN (100mm standard slab), or the upward load is greater than 10kN. These loads are Ultimate Limit State Loads

If no loads are shown, no thickening is required.

The lintels have been sized using one of the following:

The MiTek SAPPHIRE Component Design Software.

hy90, hyONE and hySPAN lintels have been sized using the designIT for houses - New Zealand series 6 software.

GANGLAM and FLITCH BEAMS have been sized using the MiTek Beam Program V1.10 June 2011.

Unless otherwise stated the timber grade for all lintels is SG8. Lintels not shown are to be selected as per NZS3604: 2011 or designed by an engineer as required.

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**McCord Family Trust**  
Lot 964  
5 Rudd Street  
Ravenswood, Woodend

Job Number:  
**147384**

Original Plan:  
**Kingfisher**

Sheet Name:  
**TRUSS DESIGN**

Sales: D Ryan	Drawn: M Glynn	QS: W Xian	Print Date: 6/12/2023	Scale: NTS @ A3
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#### CONSENT PLANS

No. Date: Reason:

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