

BC No: 231281

SITE DETAILS:

7 RUDD STREET

WOODEND

LEGAL:

LOT 963 DP 592095

AS BUILT TRUSS LAYOUT REQUIRED –

This must be received by the Building Unit
AT LEAST 10 WORKING DAYS PRIOR to the
 Structure Pre-Roof Pre-Wrap Inspection

Truss “As-Built” Designs may be sent to:
buildinginfo@wmk.govt.nz

Approved Building Consent Documents and Plans (Full set)

On Site Copy

- These plans and specifications must be kept on site during construction, and made available to the building officer on request. Failure to do so will mean an automatic failure of the building inspection and will necessitate re-booking the inspection at the applicant's expense.
- All boundary survey pegs must be located and flagged by the owner before work is commenced.

Inspections

For bookings or building enquiries please phone the **Building Unit** on:

03 311 8906

or

Email inspection bookings to: bcbooking@wmk.govt.nz

- Please refer to your inspection schedule for details of inspections to be carried out.
- At least 2-3 full working days' notice should be given when booking an inspection.
- Please be advised that it may not always be possible to carry out the inspection within the time frame you require.
- Provision is to be made to allow access.
- The Code Compliance Certificate will be issued once the:
 - Final inspection has been carried out and passed.
 - Audit of WDC building consent file has been completed.
 - Payment of any outstanding invoices, including Development Contributions, are received.

Signature Homes Limited

WILSON HOUSE

7 Rudd Street, Ravenswood, Woodend

File Number 23008.164



ENGCO
Consulting Engineers

AUCKLAND ■ CHRISTCHURCH ■ NELSON ■ QUEENSTOWN

TC2 RIBRAFT DRAWINGS

Issue Register

| Rev | Date | Description |
|-----|------------|---------------|
| - | 04.12.2023 | Consent Issue |

Sheet List

| Sheet No. | Rev | Date Issued | Sheet Title |
|-----------|-----|-------------|--------------------------------------|
| S1 | - | 04.12.2023 | General Notes |
| S2 | - | 04.12.2023 | RibRaft Layout Foundation Plan |
| S3 | - | 04.12.2023 | Typical Foundation Sections |
| S4 | - | 04.12.2023 | Typical Foundation Sections |
| S5 | - | 04.12.2023 | Typical Services Penetration Details |

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 Chrisk

| |
|---|
| I hereby confirm that the building has been set out in accordance with consented site plans and the finished floor level complies with the minimum level indicated. |
| Signed Dated |
| Name |
| LBP No. |

GENERAL

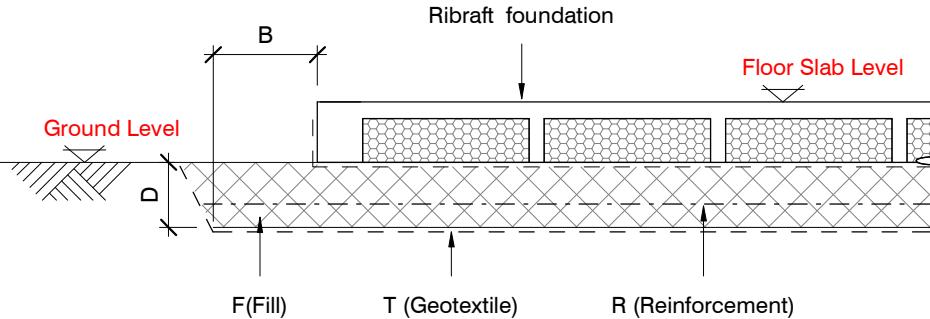
- These drawings are not to be used for construction until the plan (sheet S2) is signed by the main contractor.
- Do not scale. Refer any discrepancies to the Architect.
- These drawings are to be read in conjunction with the Architects drawings.
- The builder shall be responsible for any damage to works during construction.
- The sand blinding layer shall be 20mm min. & 50mm max. to aid levelling & to prevent rocking of pods.
- Vapour barrier to be 0.25mm (250 micron) polythene complying with NZS 4229 / NZS 3604 .
- Finished ground level adjacent to slab to be protected from wind, water erosion and undermining.

FOUNDATIONS

- For assumed allowable bearing capacity refer to calculations/installer guide. Unless otherwise noted in documentation.
- If there is any doubt about the integrity of the material on which the slab is to be founded - Supervising Engineer must be notified immediately.

GEOTECHNICAL REFERENCE:

Refer: Davis Ogilvie & Partners Ltd.
Geotechnical Investigation and Foundation Recommendations:
Lot 963, Stage 5C, Ravenswood Subdivision, Woodend, Canterbury
Ref. No: 43918
Dated: 04 July 2023
Bearing: 200kPa

BUILDING PLATFORMCONCRETE

- All workmanship & materials to conform to NZS 3109, NZS 4210 & local authority regulations.
- Minimum covers to reinforcement:
 - Exposed to earth - 75mm.
 - Protected by vapour barrier - 50mm.
 - Not exposed to weather except for a brief period during construction - 25mm.
- No holes or chases other than those specified are to be made in the slab without the approval of Engco.
- All concrete shall have 20mm nominal maximum aggregate size & 120mm slump & shall comply with NZS 3109.
- All concrete to be mechanically vibrated & carefully worked around the reinforcement & into the corners of the formwork.
- Ribraft make-up to be

100mm Floor Slab - 220mm pods
(20MPa min.TC2 Dramix 4D 80/60 Fibre Mix Concrete)
G500E SE72 Ductile mesh on 50mm chairs

The design Fibre mix shall be supplied so that the residual flexural tensile stresses $f_{R,1}$ & $f_{R4,K}$ shall be 1.5 MPa & 1.0 MPa respectively.

INSPECTIONS

Inform ENGCO Consulting 48 hours in advance of any inspections required for code compliance certification. Contact ENGCO - Ph. 03 366 7955 & quote ENGCO Ref. No.

INSPECTIONS REQUIRED

- Confirm bearing at excavation - by OTHERS.
- Contractor to supply (4) N.D. Tests at finished compacted surface - if depth of fill is greater than 400mm.
- Pre-pour of slab - by ENGCO.

| BUILDING PLATFORM TABLE: | |
|--------------------------|---|
| B | 500mm |
| D | Remove all grass, top soil and other unsuitable materials (350mm approximately) to reach the certified engineered fill below. |
| T | N/A |
| R | N/A |
| F | AP40 or AP65 fill - 95% Dry Density. Compact in 150mm layers max. |

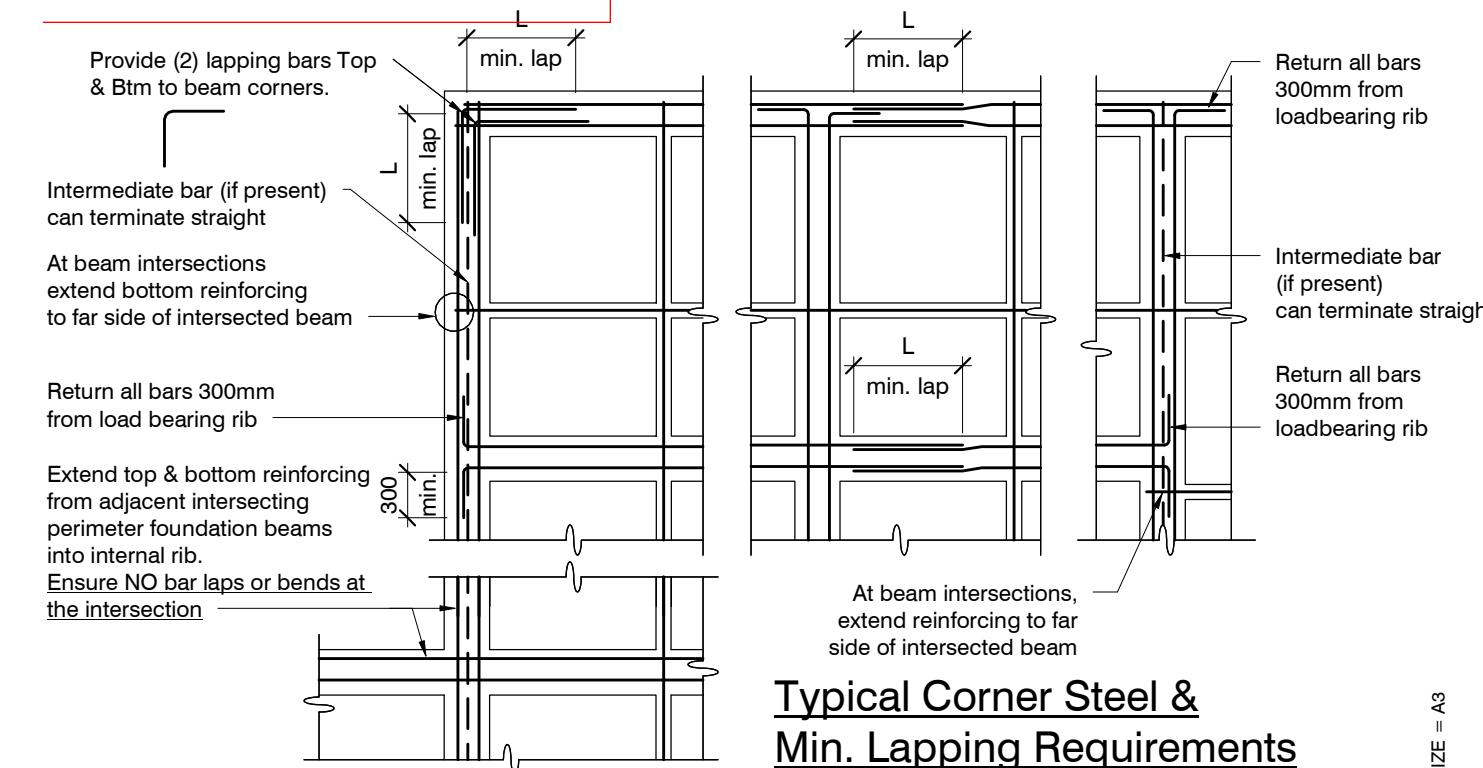
Refer Architectural drawings for Finished Floor Level

REINFORCEMENT

- All reinforcing shall be New Zealand sourced and conform to AS/NZS 4671 :2001 in grade 300 or grade 500E.
- All bends to be made cold without fracture.
- All reinforcing shall be deformed type unless otherwise stated.
- Grade 500E deformed bars shall be designated 'H', Grade 300 deformed bars shall be designated 'D' and Grade 300 round bars shall be designated 'R'.
- Minimum bar lap.

| | | |
|---|----------|----------|
| | H12 bars | H16 bars |
| L | 720mm | 900mm |
- All reinforcement to be fixed & tied where necessary in its specified position.
- Welding of steel is not permitted.
- Spacers:
 - Edge at 1200mm ctrs (one on edge & two on corners, typically).
 - Internal one on each side of pod (typically).
- All mesh shall comply with AS/NZS 4671 & shall conform with elongation requirements exceeding 10%.
- All mesh shall lap a minimum of 250mm (end extensions not included in lap length).

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 Chrisk

Typical Corner Steel & Min. Lapping Requirements

N.T.S.

| revisions | - | 04.12.2023 | Consent Issue |
|-----------|---|------------|---------------|
| | | | |

| | | | |
|--------|-------------|------|-----------|
| design | J. FARRÉS | file | 23008.164 |
| drawn | C. DE MESA | dwg | S1 |
| appvd | M. CUSIEL | rev. | - |
| date | 04 DEC 2023 | | |

SLAB PLAN SETOUT:

Slab drawn to Architectural framing and DOES NOT ACCOUNT FOR ANY OVERHANG.

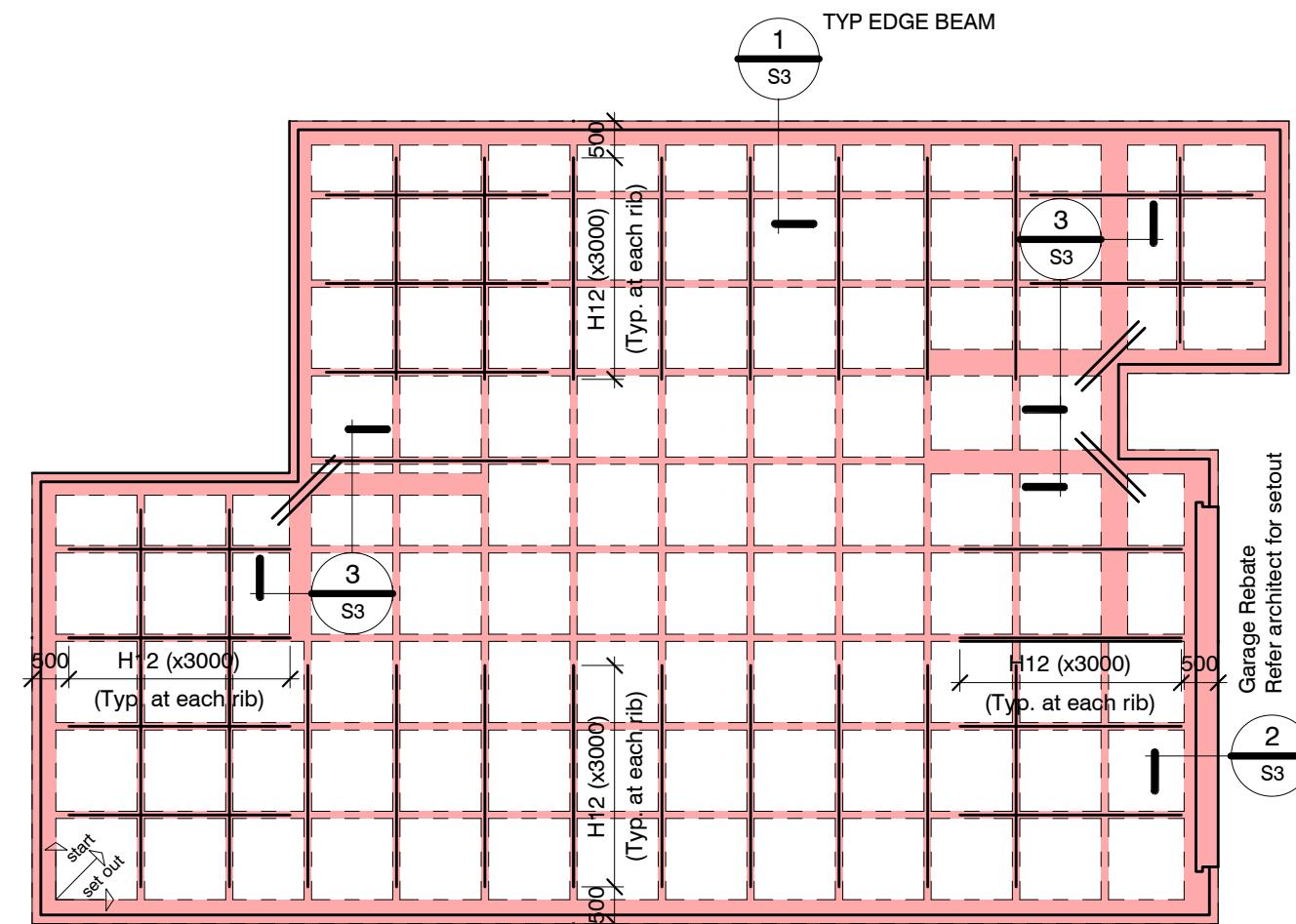
Use Architectural drawings for any framing overhang information which may affect slab dimensions.

Locations shown of internal floor beam thickenings are indicative only. It shall be the responsibility of the Contractor to ensure that they are located centrally under the load bearing walls to which they pertain.

Under no circumstance should pipework for services be run longitudinally in 100mm ribs. Similarly they should not be run along perimeter foundations nor internal floor beam thickenings

Vertical or horizontal penetrations through the foundation edge beam or floor beam thickens must be made through the middle third of the member. Vertical penetrations should not be made through 100 mm ribs.

Refer to Architects drawings for floor slab, set downs, steps, rebates, holding down bolts, cast-in componentry and the like.

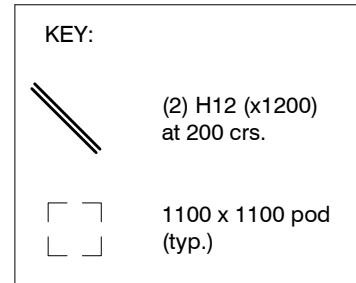


RIBRAFT FOUNDATION LAYOUT PLAN

1 : 100

Refer Architects drawings for slab dimensions

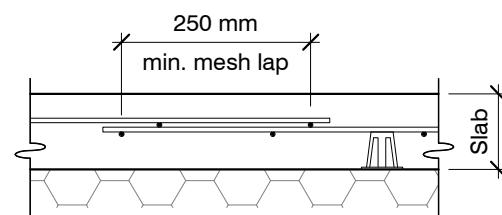
WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 Chrisk



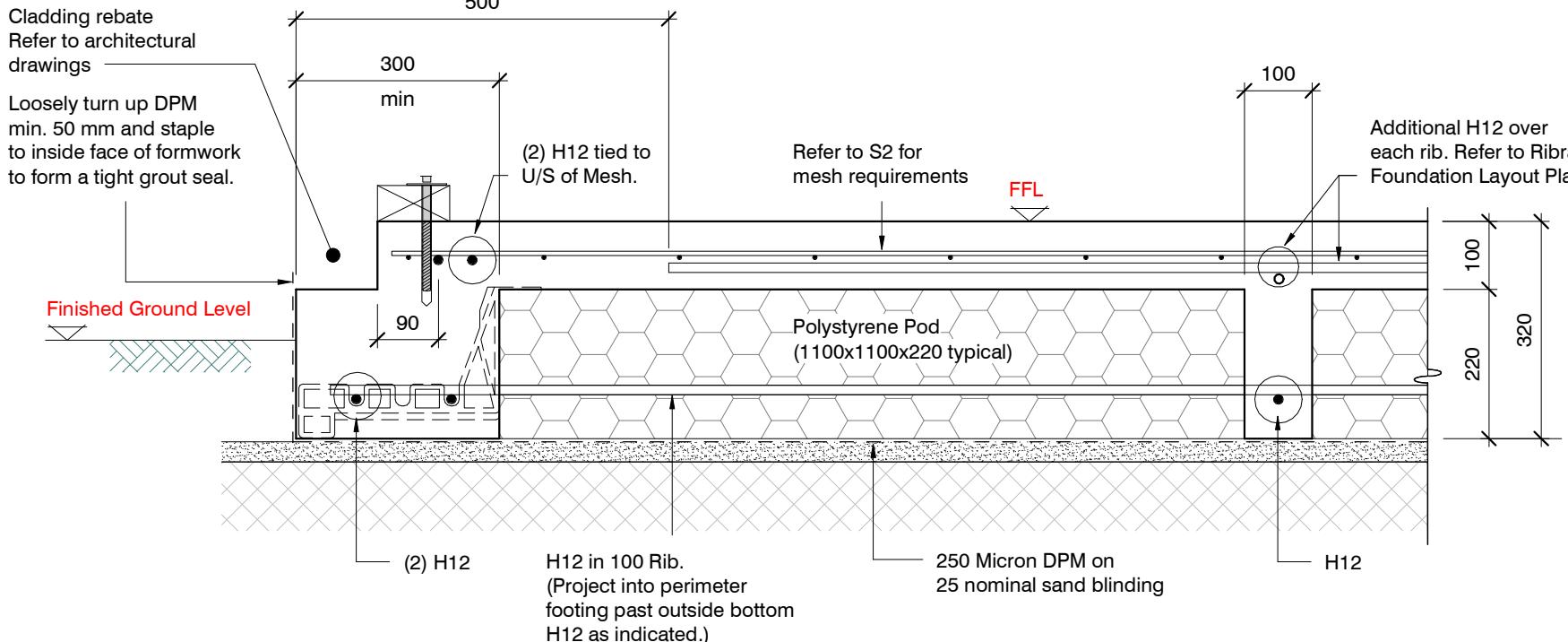
100mm Floor Slab - 220mm pods
(20MPa min.TC2 Dramix 4D 80/60 Fibre Mix Concrete)
G500E SE72 Ductile mesh on 50mm chairs

The design Fibre mix shall be supplied so that
the residual flexural tensile stresses $f_{R,1}$ & $f_{R4,K}$
shall be 1.5 MPa & 1.0 MPa respectively.

All Mesh shall lap a minimum of 250mm
(end of extensions not included).



ORIGINAL SIZE = A3



SECTION 1 TYPICAL 300 WIDE EDGE BEAM (with Rebate)

1 : 10

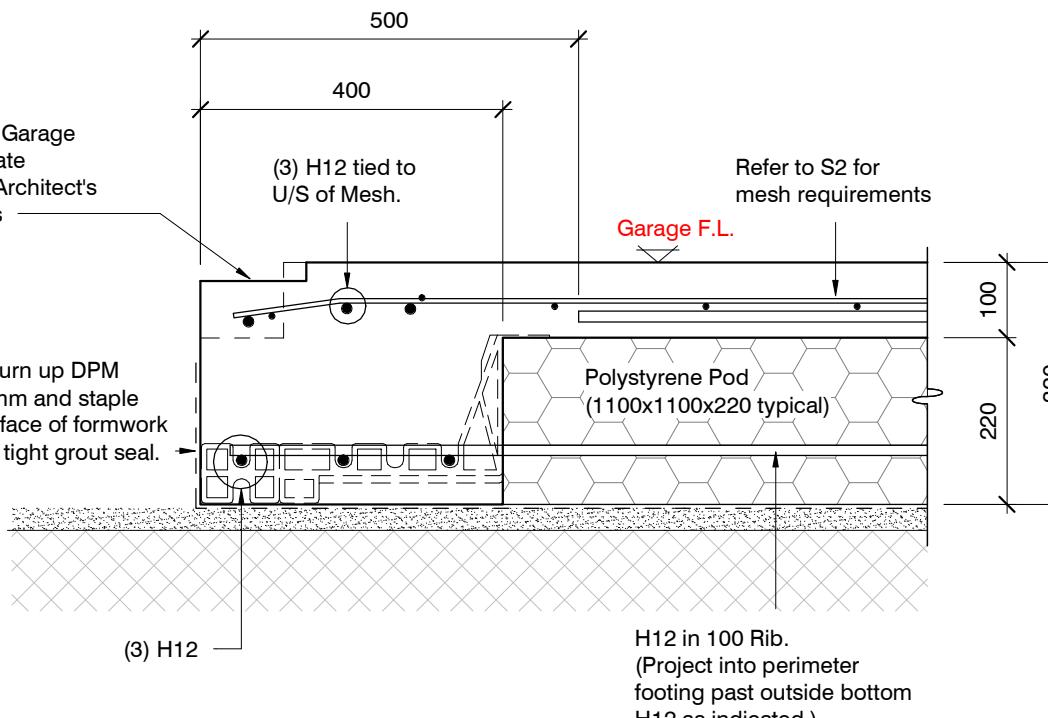
S2

1 : 10

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 Chrisk

Joinery / Garage door rebate

Refer to Architect's Drawings

Loosely turn up DPM
min. 50 mm and staple to inside face of formwork to form a tight grout seal.

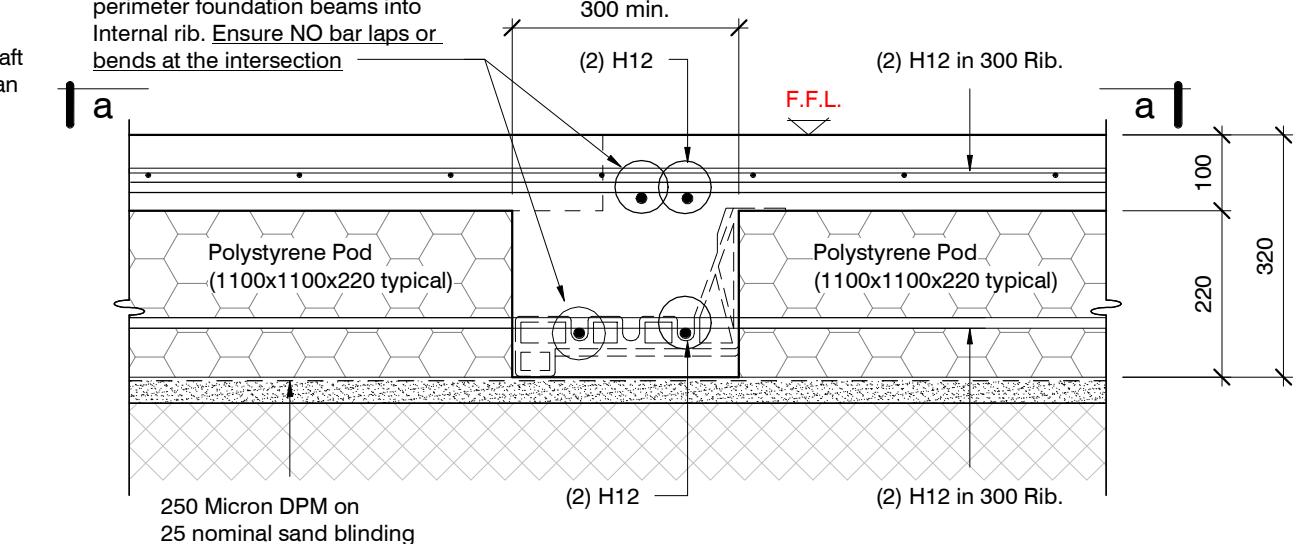
SECTION 2 GARAGE DOOR REBATE

1 : 10

S2

1 : 10

NOTE:
Extend top and bottom reinforcing from adjacent intersecting perimeter foundation beams into Internal rib. Ensure NO bar laps or bends at the intersection



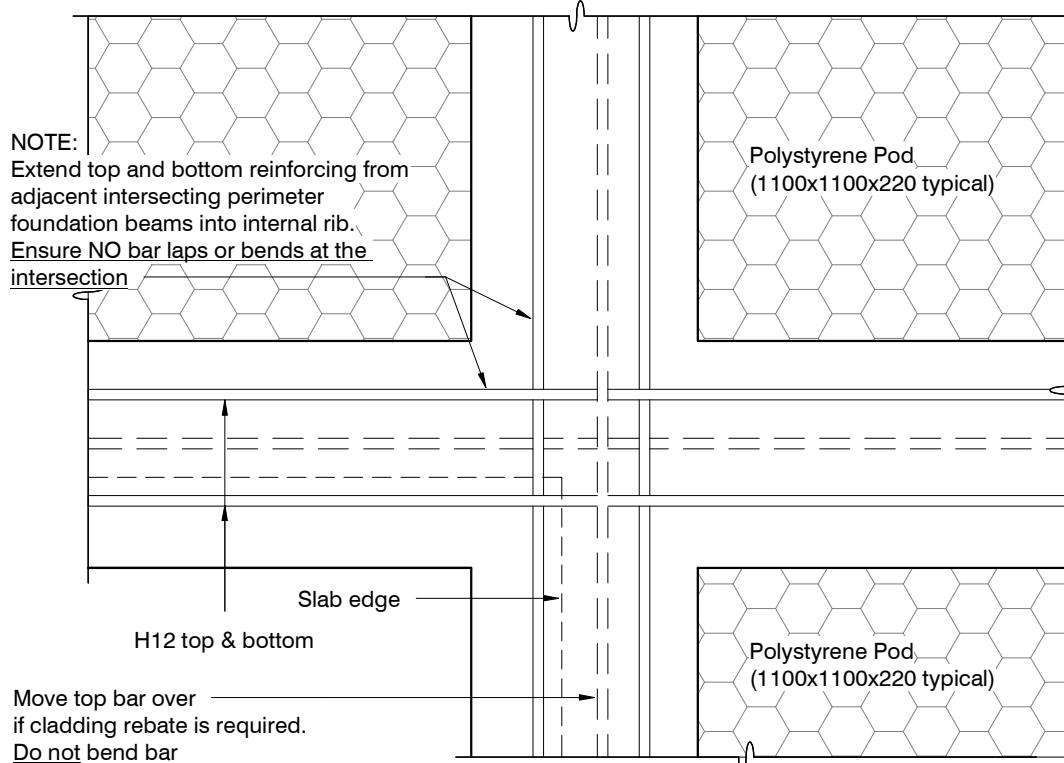
SECTION 3 TYPICAL 300 WIDE CORNER BEAM

1 : 10

S2

1 : 10

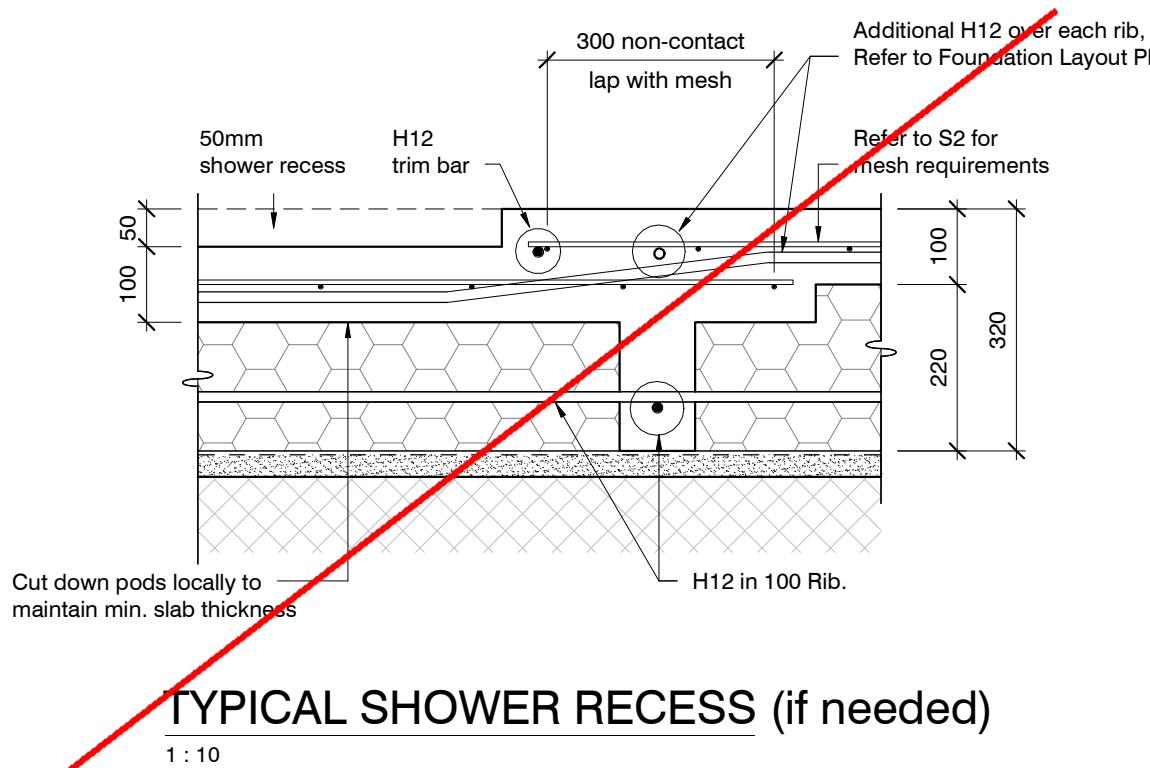
NOTE:
Extend top and bottom reinforcing from adjacent intersecting perimeter foundation beams into internal rib.
Ensure NO bar laps or bends at the intersection



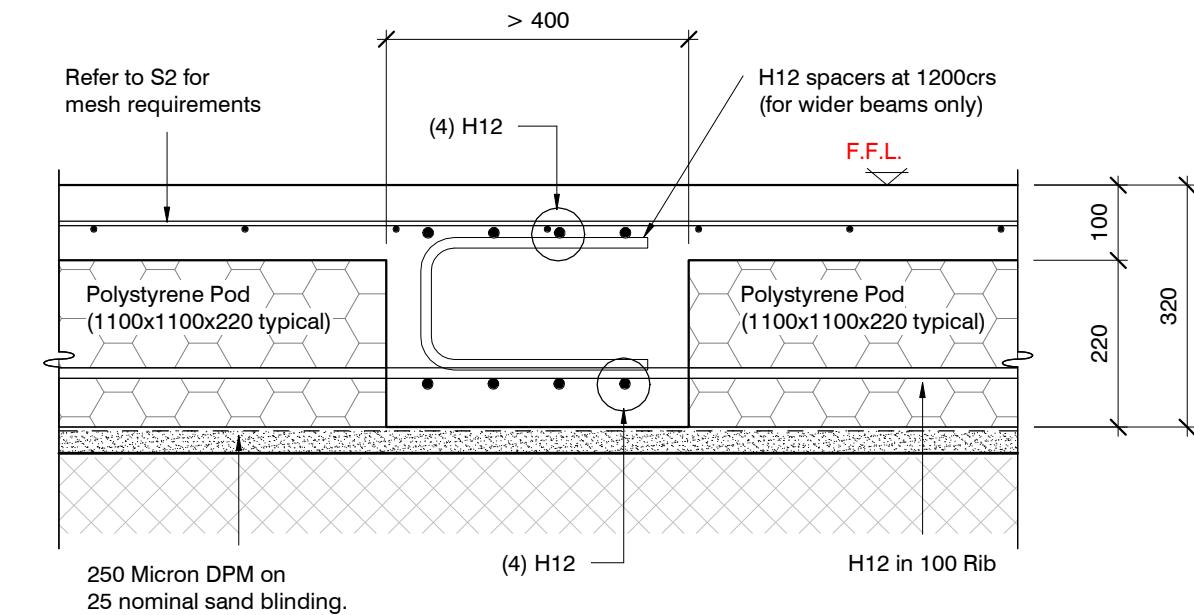
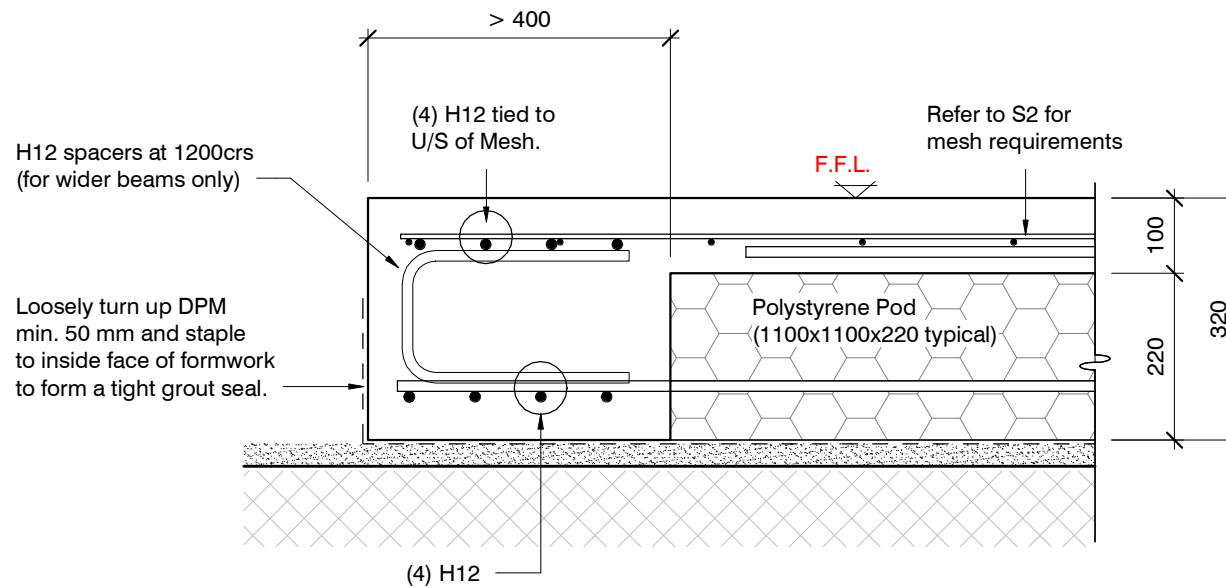
ORIGINAL SIZE = A3

revisions

| | | |
|---|------------|---------------|
| - | 04.12.2023 | Consent Issue |
| | | |



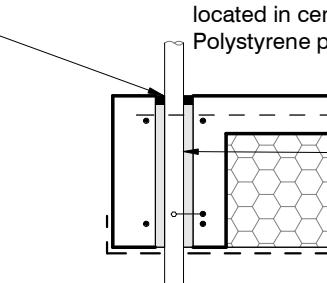
WAIMAKARI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 Chrisk



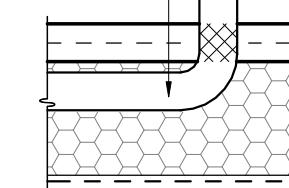
ORIGINAL SIZE = A3

Flexible Sealant as required
all round pipe perimeter

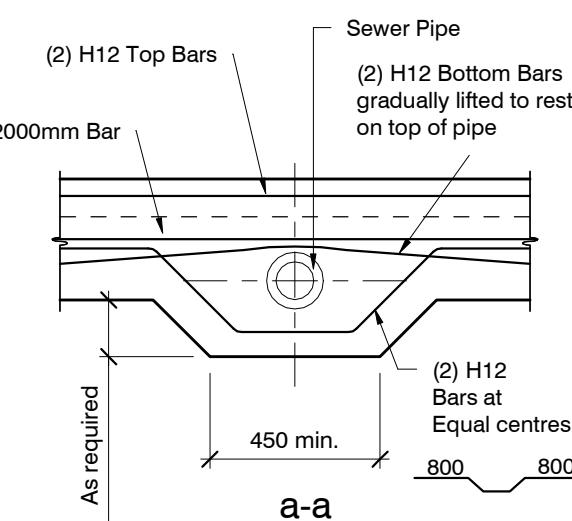
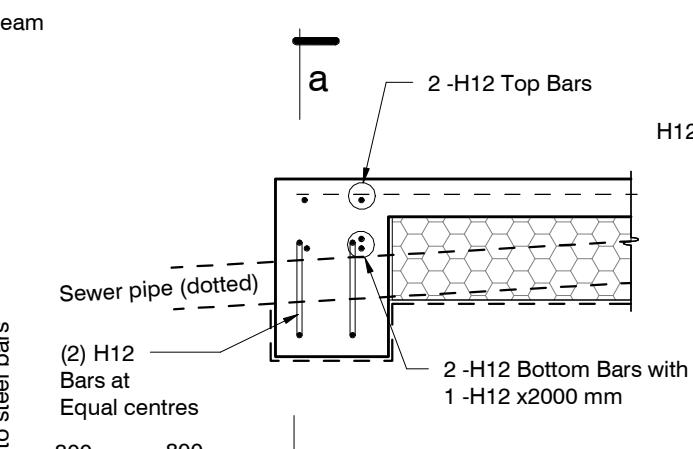
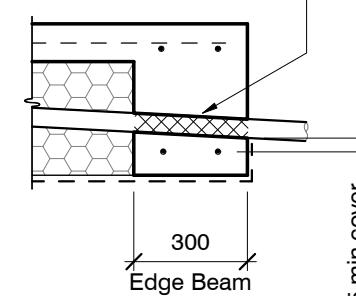
Sleeve 50 mm larger dia. than service pipe
Maximum sleeve dia. 150 mm
located in central part of beam.
Polystyrene packing all around pipe.



Pipes can be run in Pods under
slab panels. (Sleeve not required.)
Wrap in "Lagging" tape
where pipe crosses slab



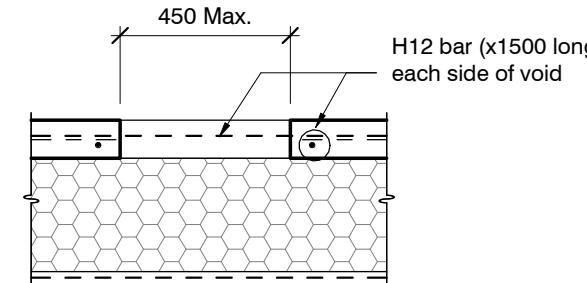
Pass pipe through edge beam
Avoid all reinforcing bars
(Sleeve not required)
Wrap in "Lagging" tape



SLAB SERVICES PENETRATION DETAIL

PIPE NOTE:
No separation required where
pipes are fully contained within slab.
Sleeve all drains that pass through the
base of the slab.

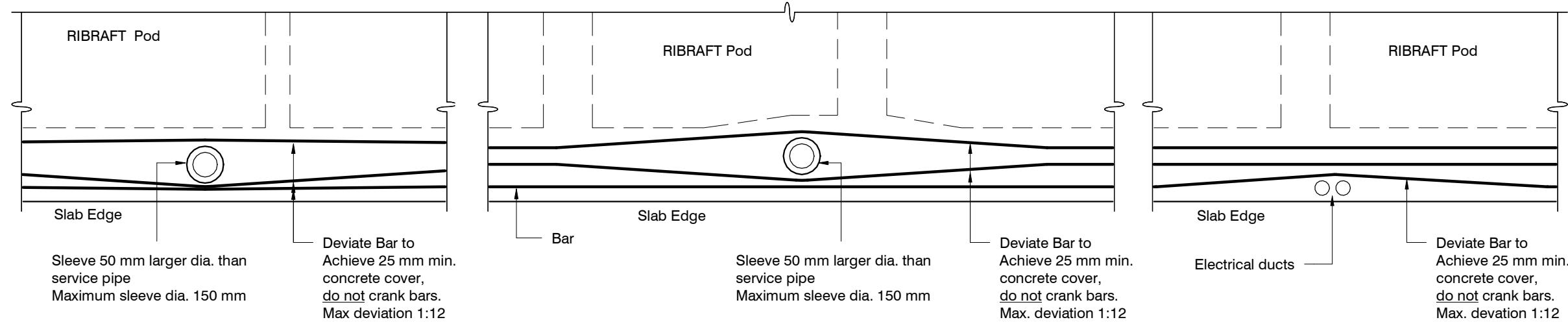
PENETRATIONS NOTE:
Where penetrations through
Floor Slab exceed 450 mm Square,
Crack Control Bars will be required.



TYPICAL SECTION LOCALISED DEEPENING OF FOUNDATION BEAM TO ACCOMMODATE TOILET WASTE PIPE

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 Chrisk

LARGE SLAB PENETRATION DETAIL



Do not cut longitudinal reinforcement bars.

FOUNDATION SERVICES PENETRATION DETAILING.

Services shall not run along ribs or edge beams.

| revisions | - | 04.12.2023 | Consent Issue |
|-----------|---|------------|---------------|
| | | | |

ORIGINAL SIZE = A3



WAIMAKARI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 Chrisk

| Contents: | |
|------------|----------------------|
| Sheet 1 : | Cover Sheet |
| Sheet 2 : | Site Plan |
| Sheet 3 : | Floor Plan |
| Sheet 4 : | Elevations |
| Sheet 5 : | Elevations |
| Sheet 6 : | Cross Sections |
| Sheet 7 : | Roof Plan |
| Sheet 8 : | Set Out Dimensions |
| Sheet 9 : | Foundation Plan |
| Sheet 10 : | Drainage Plan |
| Sheet 11 : | Bracing Plan |
| Sheet 12 : | Lighting Plan |
| Sheet 13 : | Framing Details |
| Sheet 14 : | Framing Details |
| Sheet 15 : | Construction Details |
| Sheet 16 : | Construction Details |
| Sheet 17 : | Construction Details |
| Sheet 18 : | Construction Details |
| Sheet 19 : | Plumbing Details |
| Sheet 20 : | Bathroom Details |
| Sheet 21 : | Truss Design |
| Sheet 22 : | Truss Design |

All dimensions are to be checked and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation



TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 8443
P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

Job Number:
192391
Original Plan:
Koru
Sheet Name:
COVER PAGE
Sales: L Seville Drawn: M Glynn QS: W Xian Print Date: 15/01/2024 Scale: @ A3

CONSENT PLANS

Sheet No.:
1
of 22 sheets

CONSENT ISSUED BC231281 - Page 9 of 29

DRAWING NOTES

These drawings are subject to copyright
and remain the property of Signature
Homes Ltd.

Verify all dimensions, sizes and levels on site prior to commencing any work. Any discrepancies are to be confirmed with Signature Homes Ltd.

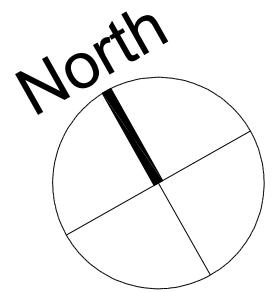
Refer to attached Specifications for further information.

All work is to comply with the NZBC Acceptable Solutions, NZS 3604:2011 and Local Authority bylaws.

WAIMAKARI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 ChrisK

| DRAINAGE LEGEND | |
|------------------------|-----------------------|
| ----- | Stormwater Drain uPVC |
| _____ | Sewer Drain uPVC |
| DP | Downpipe |
| GT | Gully Trap |
| ORG | Overflow Relief Gully |
| TV | Terminal Vent |
| AAV | Air Admittance Valve |
| IP | Inspection Point |

| SITE INFORMATION | |
|---|-------------------------------|
| Site Area : | 511m ² |
| Floor Area (veneer) : | 160.31m ² / 31.37% |
| Roof Area : | 189.31m ² / 37.04% |
| Wind | High |
| Earthquake | 2 |
| Exposure | C |
| Snow | N 4 at 50m (up to 1kPa) |
| Note: The dimensions shown are from cladding to boundary. Refer to sheet 8 for foundation to boundary dimensions. | |
| Sediment control and site safety requirements are noted in the Construction Specification. | |



Statement of Compliance:

I hereby confirm that the building has been set out in accordance with consented site plans and the finished floor level complies with the minimum level indicated.

Signed Dated

Name

LBP No.

Dimensions and Labels:

- Northings: 29° 24' 30" 15.00m, 29° 24' 30" 15.01m
- Longitudes: 119° 24' 30" 2.86m, 119° 24' 30" 31.25m
- Total width: 12 030
- Total depth: 11 660
- Driveway dimensions: 5 040 x 7 390
- Driveway fall: Fall 1:100
- Driveway surface: Driveway 39m², Fall away from house (1:100), Slip resistance surface in compliance with NZBC D1/AS1 Table 2
- Building levels: +1.260m, +1.270m, +1.222m, +1.248m, +1.276m, +1.224m, +1.232m, +1.200m
- Building footprint label: FFL +1.485m (+225mm min above natural ground)
- Services: Services
- Other labels: heatpump, pump, DW, HWC, tap, TV, G.T., ORG, DP, IP, JP, G.P., Free Standing Bath, tap D, 1.8m high timber fence, 1.8m high timber fence & gate, Fall 1:100, Fall 1:100, Connection locations for Sewer & Stormwater drains are to be confirmed onsite

Notes:

- Overland flow path from the rear of site to the kerb to be maintained
- 1.8m high timber fence
- 1.8m high timber fence & gate
- Connection locations for Sewer & Stormwater drains are to be confirmed onsite

RUDD STREET

+1.002m
Crown of Road

All dimensions are to be checked and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation



TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 84443

P: +64 3 342 7788

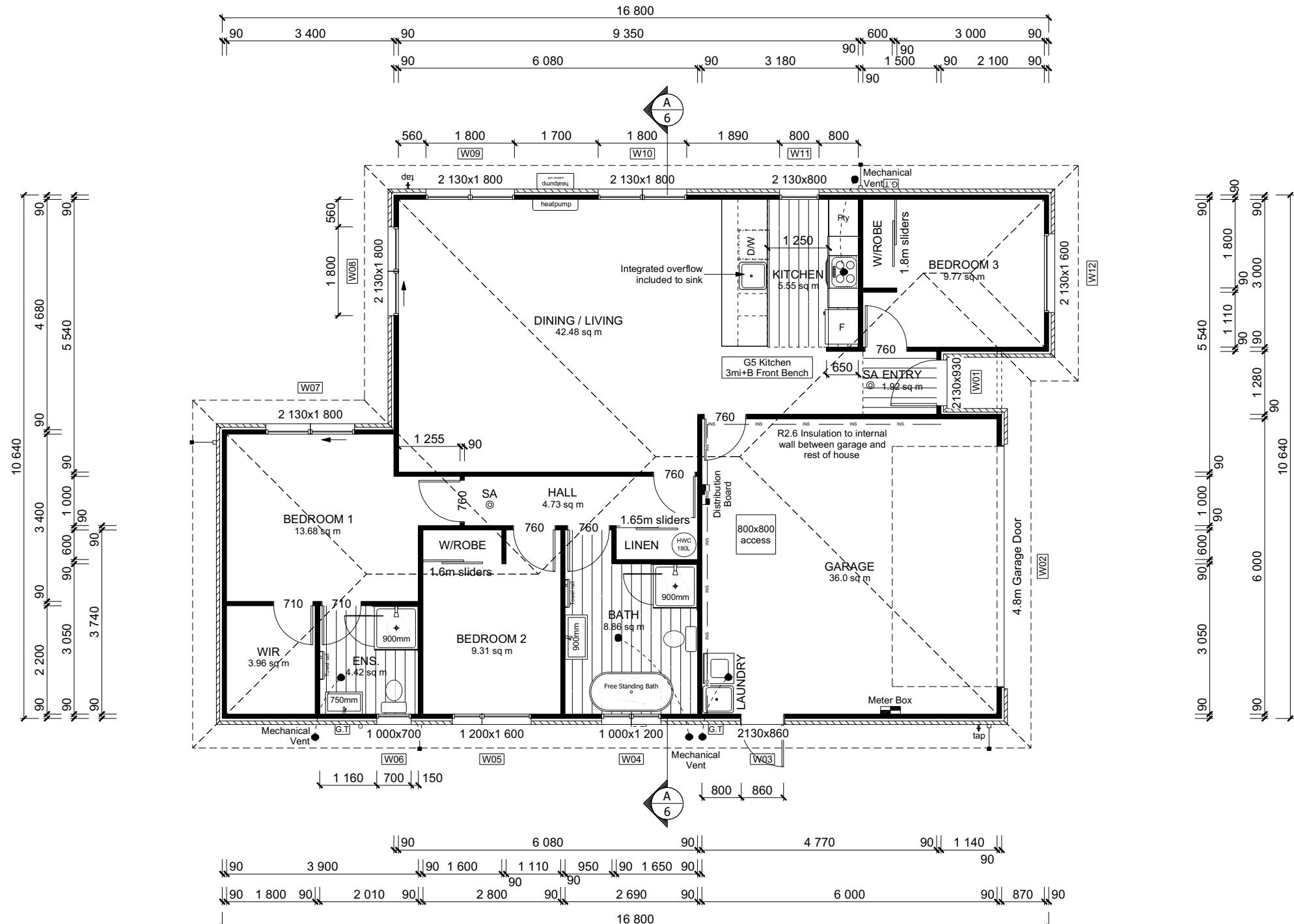
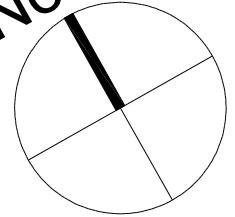
These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

| | | |
|-------------------------|-----------------------|-------------------|
| Job Number: | Original Plan: | Sheet Name: |
| 192391 | Koru | SITE PLAN |
| Sales: I Seville | Drawn: M Glynn | QS: W Xian |

Elevati

North



WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 Chrsk

**All dimensions are to be checked and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation**



TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 8443

P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

Job Number:
192391

Original Plan: *Koru*

Sheet Name:
FLOOR PLAN

Sheet No.:
3

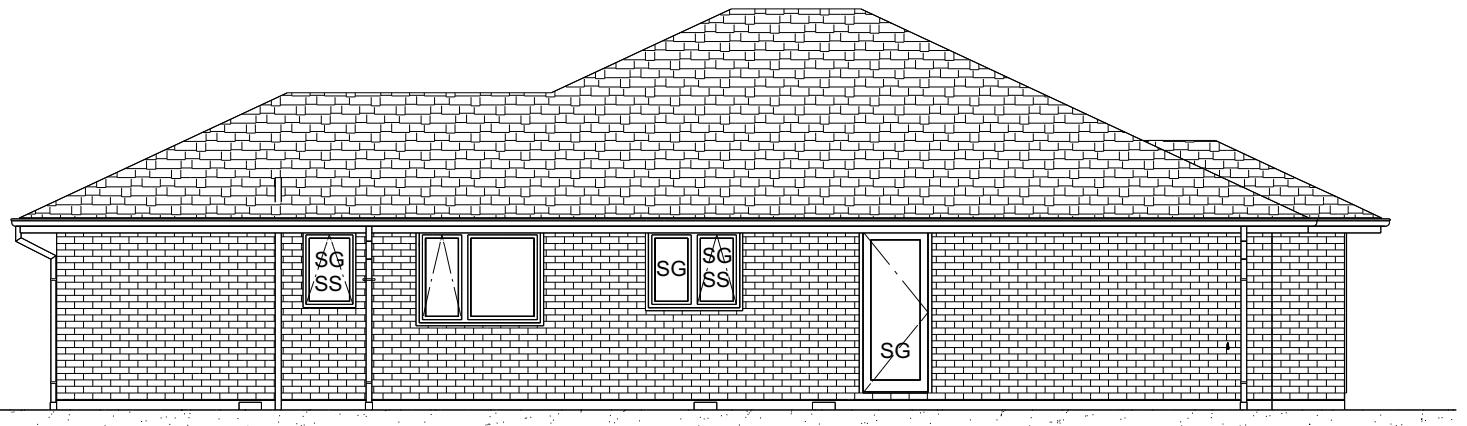
of 22 sheets

ROOF & WALL CLADDINGS
 Roof : 25° Pressed Metal Tiles
 Walls : 70 Series Brick Veneer
 with a 50mm cavity

ELEVATION LEGEND
 SS Safety Stays
 SG Safety Glass
 TV Terminal Vent

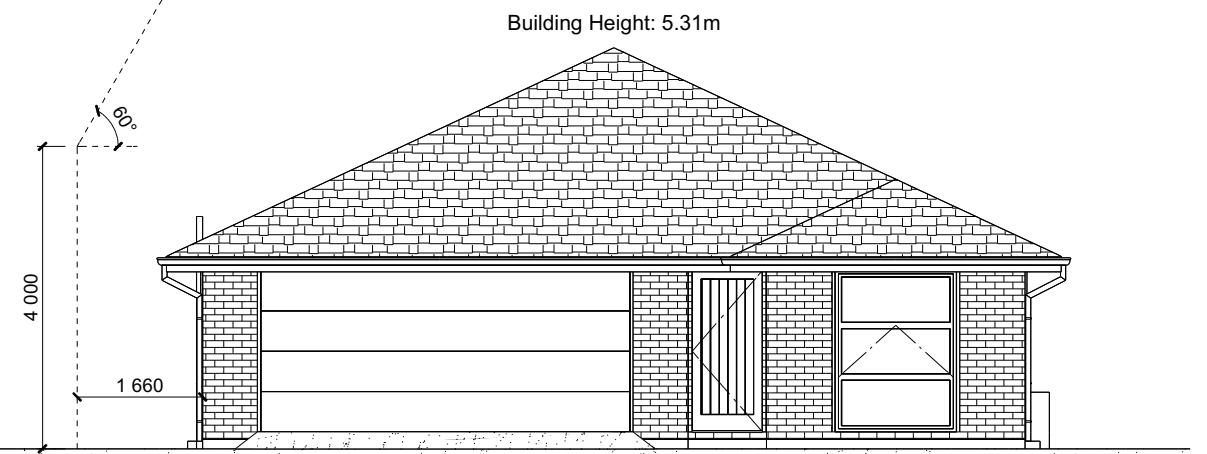
ELEVATION NOTES
 Gutter : Coloured Steel Quad Gutter
 Fascia : Coloured Steel 185 Fascia
 Downpipes : Colorsteel Rectangular 75x55mm
 Soffits : Hardiflex 4.5mm
 Joinery: Low-E/4 with Argon Gas & Thermal
 Spacers Double glazed Aluminium Joinery
 Standard single glazing to Garage
 All egress points to have a maximum step
 down of 190mm.
 Access routes to have slip resistance surface
 in compliance with NZBC D1/AS1 Table 2
 and to have a 1:100 fall away from the building

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|--------|-------|
| ELEVATION A | | |
| RISK CRITERIA | RISK | SCORE |
| Wind Zone | High | 1 |
| Number of Stories | Low | 0 |
| Roof Wall Junction | Low | 0 |
| Eaves Width | Medium | 1 |
| Building Envelope | Low | 0 |
| Decks & Balconies | Low | 0 |
| Total | | 2 |



ELEVATION A

WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC231281 15/01/2024 Chrisk



ELEVATION B

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|--------|-------|
| ELEVATION B | | |
| RISK CRITERIA | RISK | SCORE |
| Wind Zone | High | 1 |
| Number of Stories | Low | 0 |
| Roof Wall Junction | Low | 0 |
| Eaves Width | Medium | 1 |
| Building Envelope | Low | 0 |
| Decks & Balconies | Low | 0 |
| Total | | 2 |

All dimensions are to be checked and confirmed prior to any construction
 Plans are to be read in conjunction with Specifications and all supporting documentation



TKR Homes Ltd.
 31 Watts Road, Sockburn
 PO BOX 11 351
 Christchurch 8443
 P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
 Lot 963
 7 Rudd Street
 Ravenswood, Woodend

Job Number:
192391
 Original Plan:
Koru
 Sheet Name:
ELEVATIONS
 Sales: L Seville Drawn: M Glynn QS: W Xian Print Date: 15/01/2024 Scale: 1:100 @ A3

CONSENT PLANS

| No. | Date: | Reason: |
|-----|------------|-----------------------|
| 1 | 06-12-2023 | Initial Consent Plans |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

Sheet No.:
4

of 22 sheets

ROOF & WALL CLADDINGS
 Roof : 25° Pressed Metal Tiles
 Walls : 70 Series Brick Veneer
 with a 50mm cavity

ELEVATION LEGEND
 SS Safety Stays
 SG Safety Glass
 TV Terminal Vent

ELEVATION NOTES
 Gutter : Coloured Steel Quad Gutter
 Fascia : Coloured Steel 185 Fascia
 Downpipes : Colorsteel Rectangular 75x55mm
 Soffits : Hardiflex 4.5mm
 Joinery: Low-E/4 with Argon Gas & Thermal
 Spacers Double glazed Aluminium Joinery
 Standard single glazing to Garage
 All egress points to have a maximum step
 down of 190mm.
 Access routes to have slip resistance surface
 in compliance with NZBC D1/AS1 Table 2
 and to have a 1:100 fall away from the building

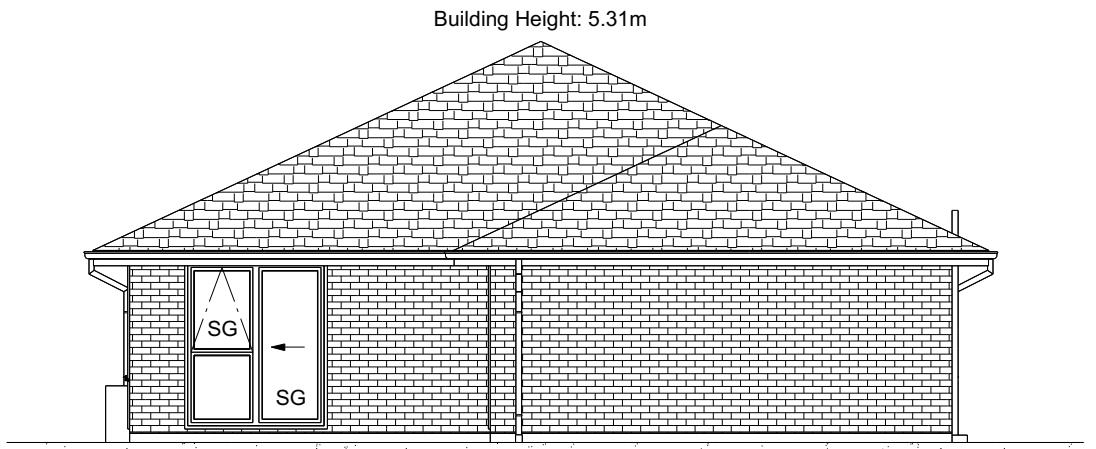
| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|--------|-------|
| ELEVATION C | | |
| RISK CRITERIA | RISK | SCORE |
| Wind Zone | High | 1 |
| Number of Stories | Low | 0 |
| Roof Wall Junction | Low | 0 |
| Eaves Width | Medium | 1 |
| Building Envelope | Low | 0 |
| Decks & Balconies | Low | 0 |
| Total | | 2 |



ELEVATION C

WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC231281 15/01/2024 Chrisk

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|--------|-------|
| ELEVATION D | | |
| RISK CRITERIA | RISK | SCORE |
| Wind Zone | High | 1 |
| Number of Stories | Low | 0 |
| Roof Wall Junction | Low | 0 |
| Eaves Width | Medium | 1 |
| Building Envelope | Low | 0 |
| Decks & Balconies | Low | 0 |
| Total | | 2 |



ELEVATION D

All dimensions are to be checked and confirmed prior to any construction
 Plans are to be read in conjunction with Specifications and all supporting documentation



TKR Homes Ltd.
 31 Watts Road, Sockburn
 PO BOX 11 351
 Christchurch 8443
 P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
 Lot 963
 7 Rudd Street
 Ravenswood, Woodend

| | | |
|------------------|----------------|------------------------|
| Job Number: | Original Plan: | Sheet Name: |
| 192391 | Koru | ELEVATIONS |
| Sales: L Seville | Drawn: M Glynn | QS: W Xian |
| | | Print Date: 15/01/2024 |
| | | Scale: 1:100 @ A3 |

CONSENT PLANS

| No. | Date: | Reason: |
|-----|------------|-----------------------|
| 1 | 06-12-2023 | Initial Consent Plans |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

Sheet No.: 5

of 22 sheets

ROOF & WALL CLADDINGS

Roof : 25° Pressed Metal Tiles
Walls : 70 Series Brick Veneer
with a 50mm cavity

CROSS SECTION NOTES

Building wrap is to comply with E2/AS1 & NZS 3604:2011.

Flashing materials must be selected based on environmental exposure. Refer to NZS 3604:2011 & table 20 of E2/AS1.

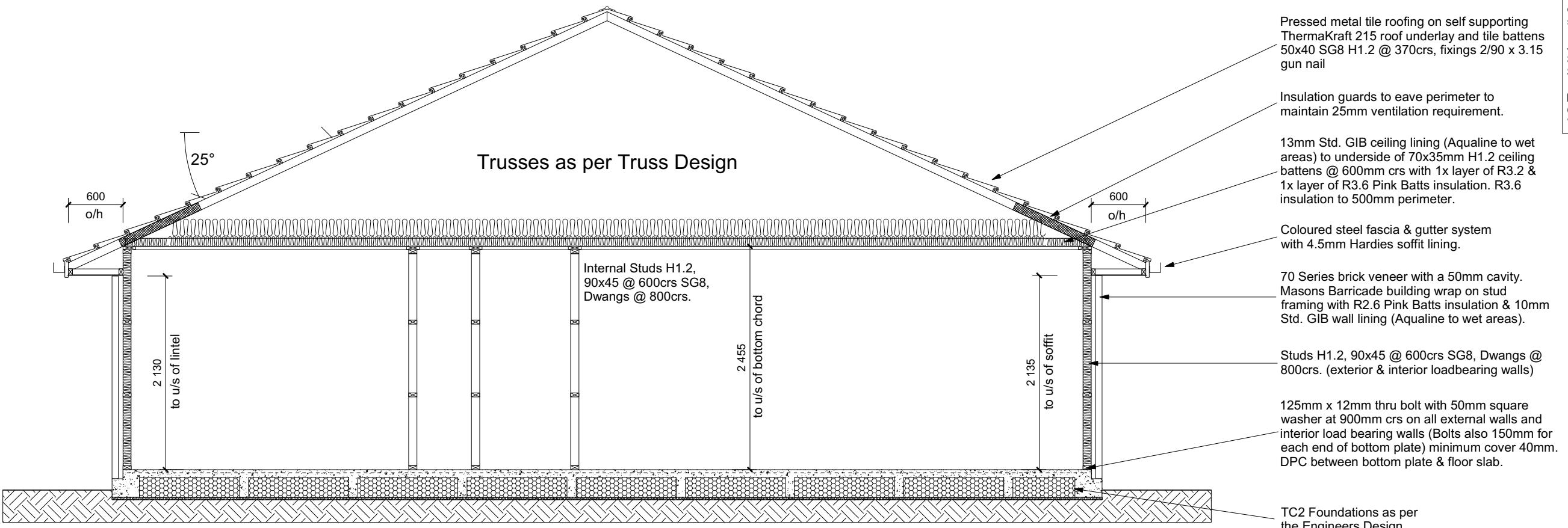
Flashing tape must have proven compatibility with the selected wrap & other materials with which it comes into contact as per table 21 of E2/AS1.

Fixings shall comply with NZS 3604:2011
Section 4 Durability Tables 4.1-4.3
Unless stated otherwise, timber members on drawings are to be a minimum of SG8 strength graded as per NZS3604:2011.

Joinery: Low-E/4 with Argon Gas & Thermal
Spacers Double glazed Aluminium Joinery
Standard single glazing to Garage

INSULATION

Ceiling: Pink Batts R3.2 + R3.6 Ceiling Batts
Wall: Pink Batts R2.6 Wall Batts



CROSS SECTION A-A

WAIMAKARI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 ChrisK

DRAWING NOTES

Verify all dimensions, sizes and levels on site prior to commencing any work. Any discrepancies are to be confirmed with Signature Homes Ltd.

Refer to attached Specifications for further information.

All work is to comply with the NZBC Acceptable Solutions, NZS 3604:2011 and Local Authority bylaws.

**All dimensions are to be checked and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation**



TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 8443

P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

| Job Number: | Original Plan: | Sheet Name: |
|-----------------------------|---------------------------|----------------------------------|
| 192391 | Koru | CROSS SECTIONS |
| Sales: J. Seville | Drawn: M. Glynn | QS: W. Xian |
| | | Print Date: 15/01/2024 |
| | | Scale: 1:50 |
| | | @ A3 |

| CONSENT PLANS | | | Sheet No.: |
|---------------|------------|-----------------------|------------|
| No. | Date: | Reason: | |
| 1 | 06-12-2023 | Initial Consent Plans | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

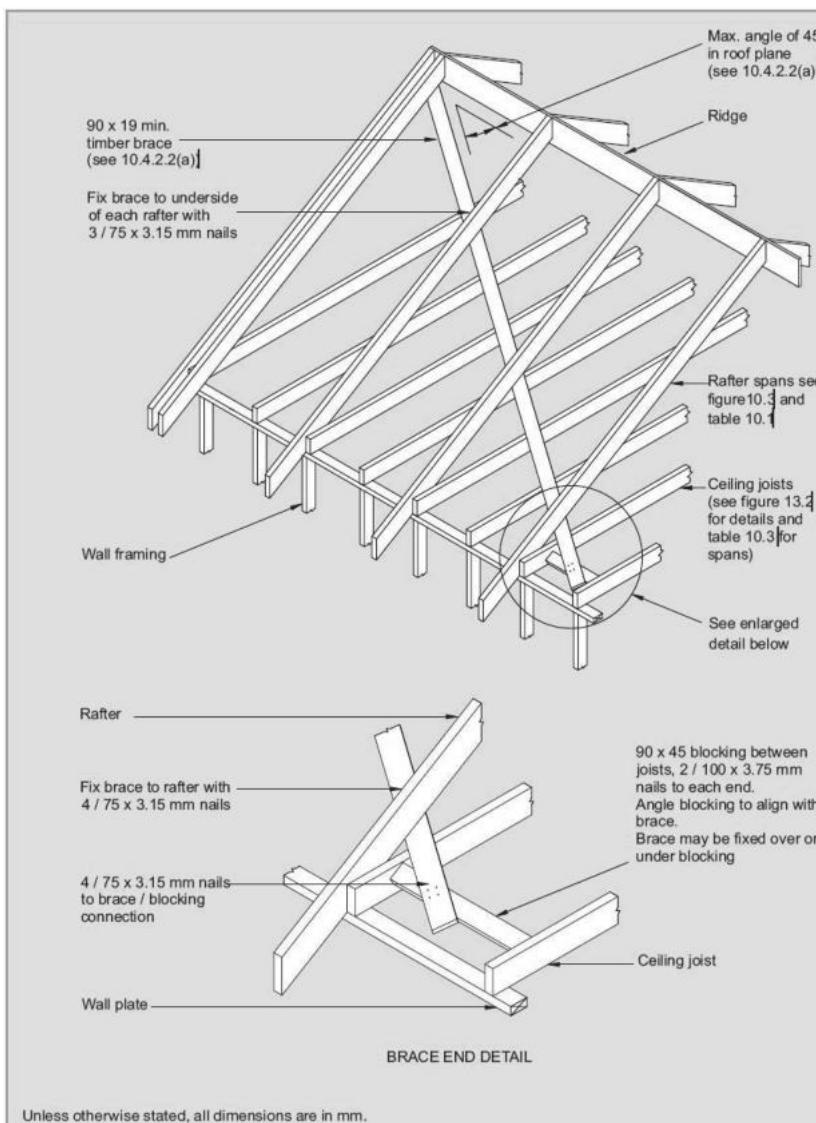
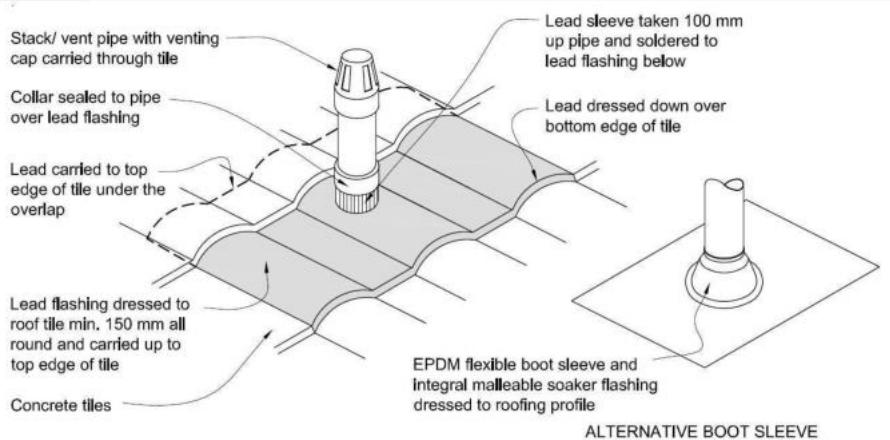
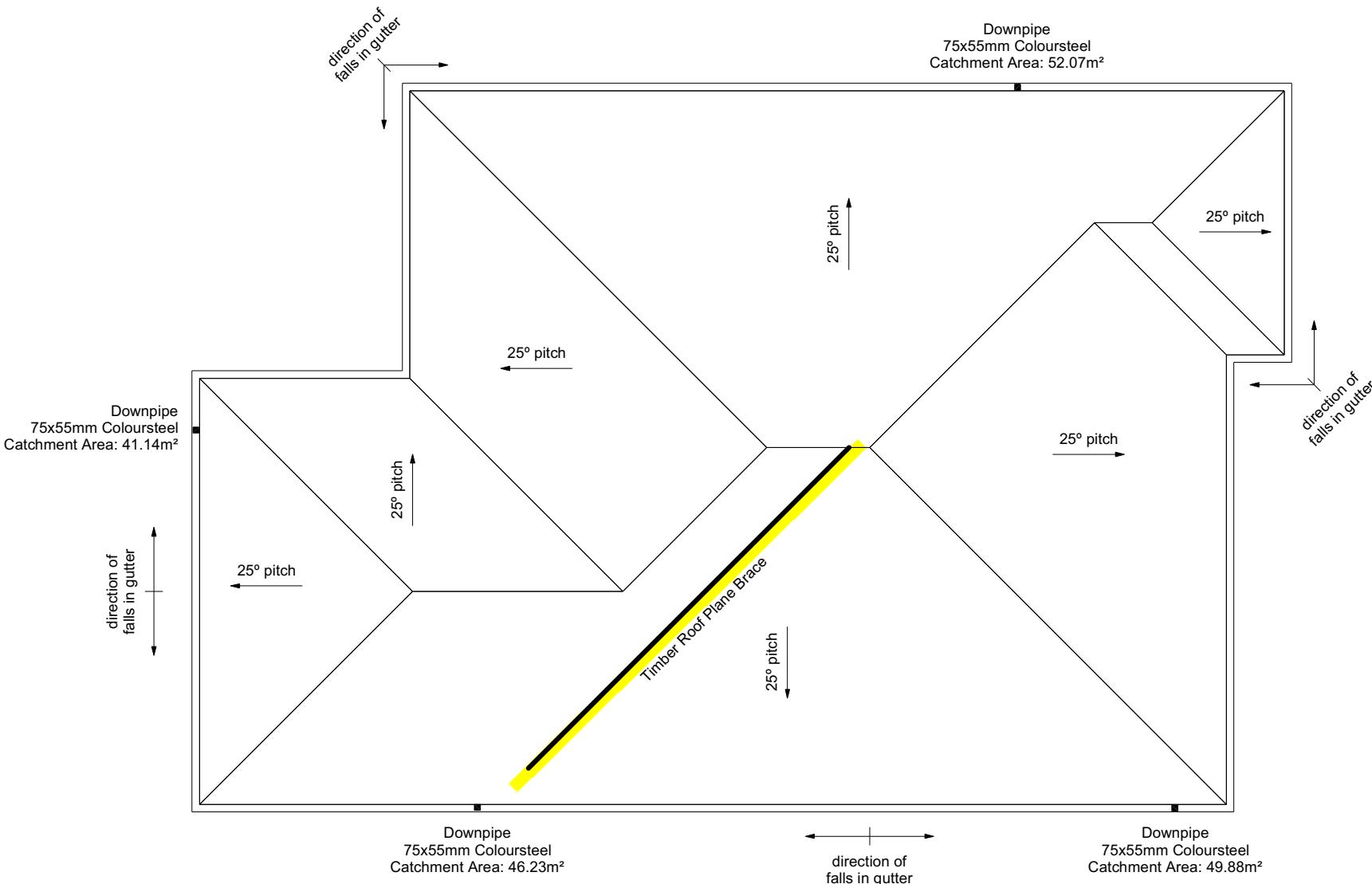


Figure 10.22 – Roof plane diagonal brace – Timber (see 10.4.2)

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 Chrisk

8.3.10 Roof penetrations
Pipe penetrations shall be flashed using EPDM flashings similar to that shown for masonry tiles, Figure 29.

Figure 29: Pipe penetration for masonry tile
Paragraph 8.2.7Metal Tile Penetration Detail
Scale NTS

All dimensions are to be checked and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation



TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 8443
P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

Job Number:
192391

| | | | | |
|------------------|----------------|------------|------------------------|-------------------|
| Original Plan: | Koru | | | |
| ROOF PLAN | | | | |
| Sales: L Seville | Drawn: M Glynn | QS: W Xian | Print Date: 15/01/2024 | Scale: 1:100 @ A3 |

ROOF CLADDING
Roofing : 25° Pressed Metal Tiles
Tile Battens : 50x40 SG8 H1.2 @ 370crs, fixings 2/90 x 3.15 gun nail

ROOF PLAN NOTES
Gutter: Coloured Steel Quad Gutter
Fascia: Coloured Steel 185 Fascia
Downpipes: Colorsteel Rectangular 75x55mm
Soffits: Hardiflex 4.5mm

Underlay: Thermakraft 215 roof underlay

Downpipes: 75x55 Rectangle Colorsteel
As per NZBC E1/AS1 Table 5 75x55 down pipes can collect up to 60m² of 0-25° roof plan area.

Use Coloured steel Quad Gutter
As per NZ Metal Roof and Wall Cladding Code of Practice Version 2 section 8 the above gutter with a cross sectional area of 5550mm² can collect up to 60m² of 0-25° roof plan area. Refer to the specifications for exact calculations.

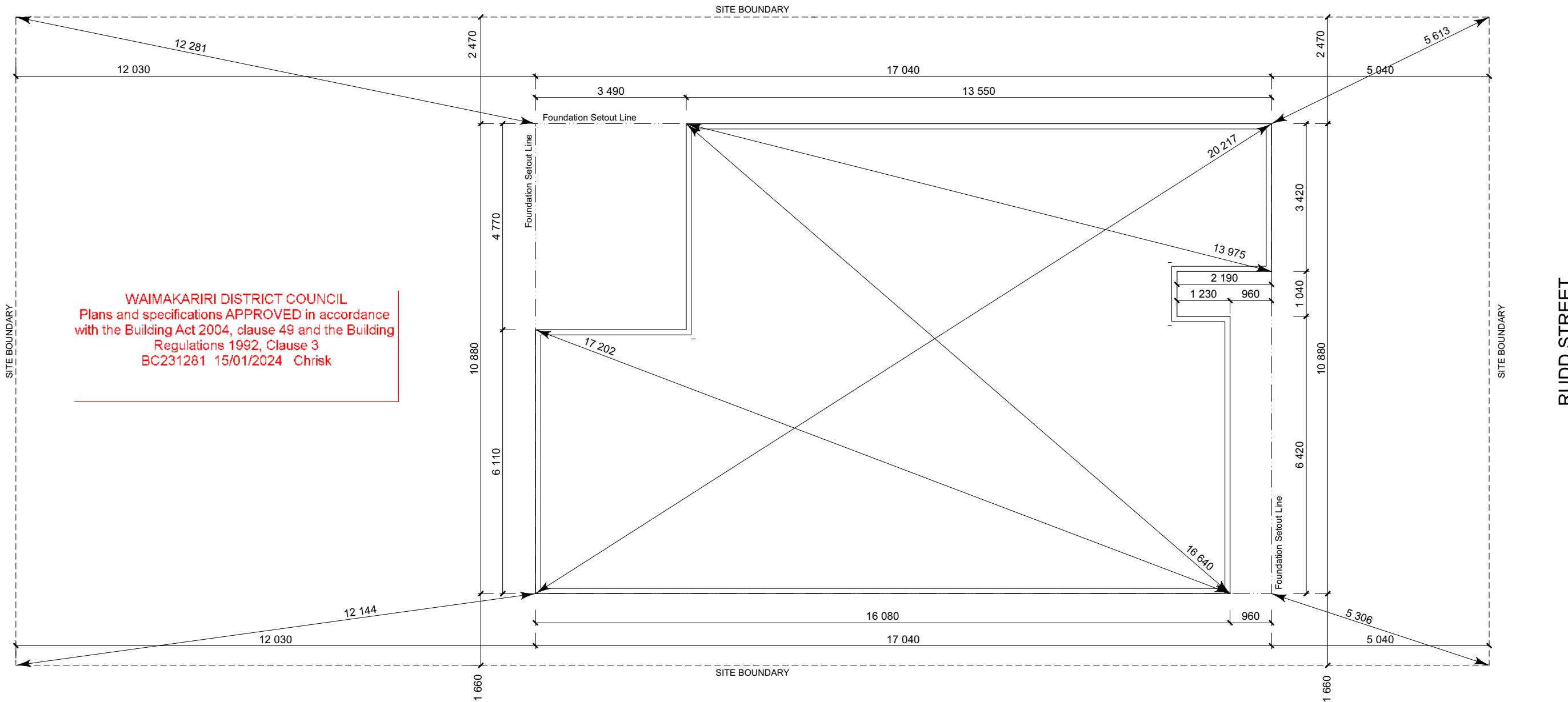
Use Lumberlock top plate fixing chart attached to the main specifications to determine top plate fixings.

Sheet No.:
7
of 22 sheets

SET OUT PLAN NOTES

All dimensions over foundation face. Allow 120mm rebate) 70mm veneer & 50mm cavity, Brick to overhang foundation face by 0-20mm max as per NZBC E2/AS1.
All reinforcing is to be Ductility Class E, in accordance with NZS 4671.
All concrete to comply with NZS3604:2011 Section 4 Durability Clause 4.5.2.

These foundations are design to the findings and recommendations in the site specific Geotech report.



All dimensions are to be checked and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation



TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 8443

P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

Job Number:
192391

Original Plat
Koru

Sheet Name:

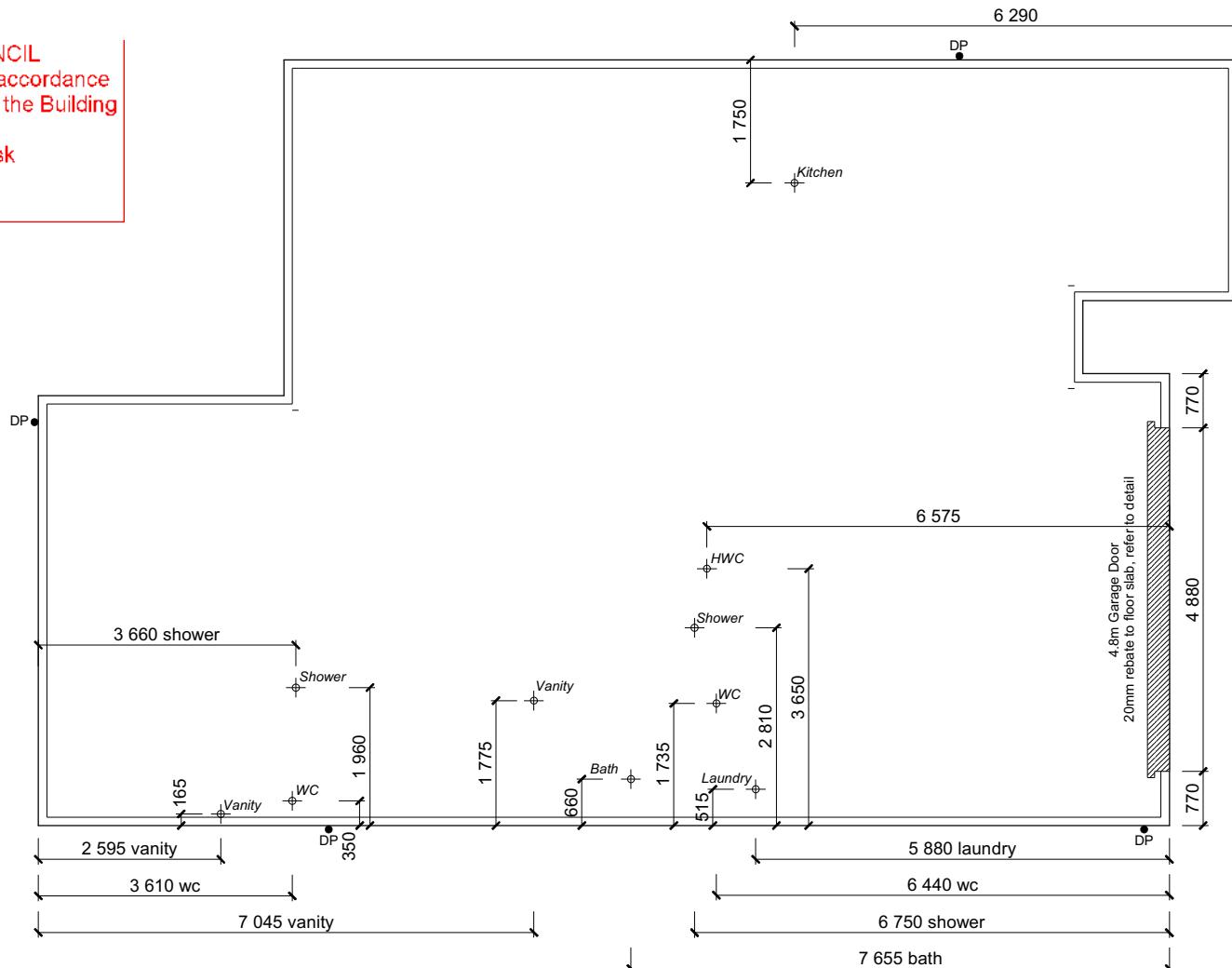
SETOUT DIMENSIONS

CONSENT PLANS

WAIMAKARI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 Chrisk

**FFL +1.485m
(+225mm min above
natural ground)**

Refer to Engineers
Foundation Design



FOUNDATION PLAN NOTES

All dimensions over foundation face. Allow (120mm rebate) 70mm veneer & 50mm cavity, Brick to overhang foundation face by 0-20mm max as per NZBC E2/AS1.

W/C location indicated on plan has assumed a 140mm offset from internal frame line, please consult manufacturer's documentation to confirm offset.

Contractor to consult manufacturer's documentation to determine the correct location for all wastes positioned through floor slabs.

Earth bar to be bonded to the reinforcing mesh

Refer to Truss design for exact location of slab thickenings

All reinforcing is to be Ductility Class E, in accordance with NZS 4671.

All concrete to comply with NZS3604:2011 Section 4 Durability Clause 4.5.2.

These foundations are design to the findings and recommendations in the site specific Geotech report.

AREA TO PERIMETER RATIO

Foundation Area: 160.31m²
Perimeter: 58.30m
Ratio: 2.75

**All dimensions are to be checked and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation**



TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 8443

P: +64 3 342 7788

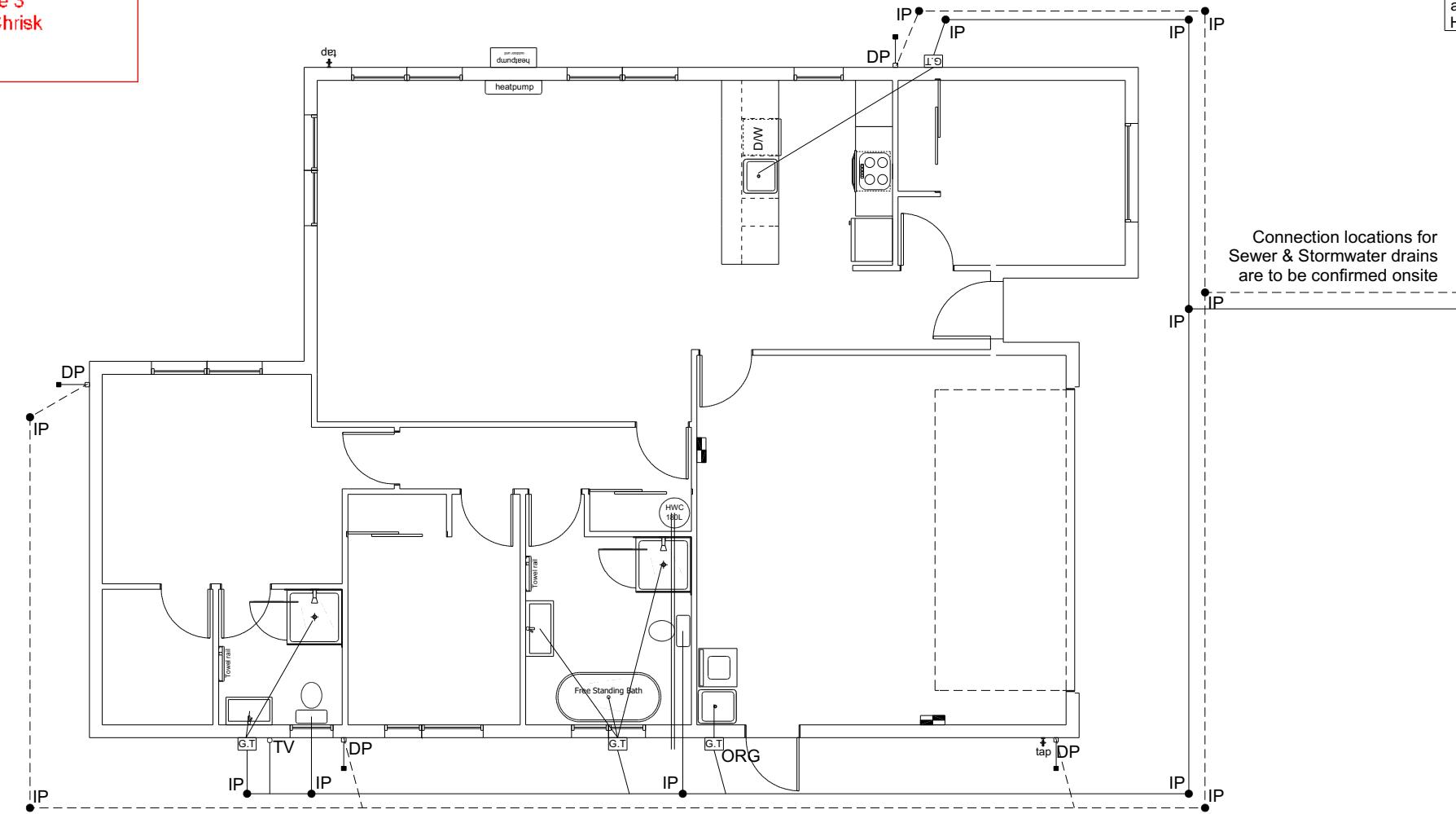
These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

| Job Number: | Original Plan: | Sheet Name: |
|----------------------------|--------------------------|----------------------------------|
| 192391 | Koru | FOUNDATION PLAN |
| Sales: L Seville | Drawn: M Glynn | QS: W Xian |
| | | Print Date: 15/01/2024 |
| | | Scale: 1:100 @ A3 |

CONSENT PLANS

WAIMAKARI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 ChrisK

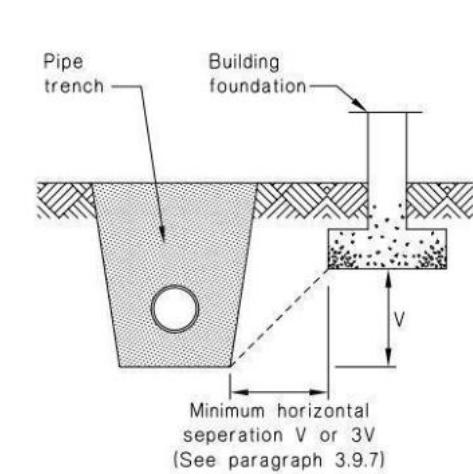


| Plumbing Schedule | NZBC G13 |
|--------------------|---|
| Kitchen | |
| Sink: | Ø50mm @1:40 (3 discharge units) |
| Bathrooms | |
| Vanity: | Ø40mm @1:40 (1 discharge units per basin) |
| Shower: | Ø40mm @1:40 (2 discharge units) |
| Bath: | Ø40mm @1:40 (4 discharge units) |
| WC: | Ø100mm @1:40 (4 discharge units) |
| Laundry Sink: | Ø40mm @1:30 (5 discharge units) |
| Drainage Schedule | NZBC G13 |
| Main Foulwater | |
| Vented Drain | Ø100mm @1:60 (1:120max) |
| Stormwater Drain | Ø90mm & Ø100mm @1:60 (1:120max) |
| Terminal Vent | Ø80mm |
| Vent | Ø50mm |
| Heatpump | Drain over GT |
| ORG | Overflow Relief Gully |
| Hot water Cylinder | min 20mm Drain over GT |

Notes:
All plumbing and drainage to comply with NZBC G13.
ORG to be positioned so the top of gully dish is no less than 150mm below overflow level of lowest fixture.
Sewer & Stormwater to connect to existing connections.
All drains passing through concrete, provide sleeve or wrap in durable and flexible to allow for expansion and contraction. (as per G13/AS2 5.8.1)
HWC: Safe tray to HWC with 50mm overflow drain to exterior to comply with G12/AS1.

| DRAINAGE LEGEND | |
|-----------------|-----------------------|
| ----- | Stormwater Drain uPVC |
| — | Sewer Drain uPVC |
| DP | Downpipe |
| GT | Gully Trap |
| ORG | Overflow Relief Gully |
| TV | Terminal Vent |
| AAV | Air Admittance Valve |
| IP | Inspection Point |

Figure 14: Relationship of Pipe Trench to Building Foundation
Paragraph 3.9.7



All dimensions are to be checked and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation



TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 8443
P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

Job Number:
192391

Original Plan:
Koru

Sheet Name:
DRAINAGE PLAN

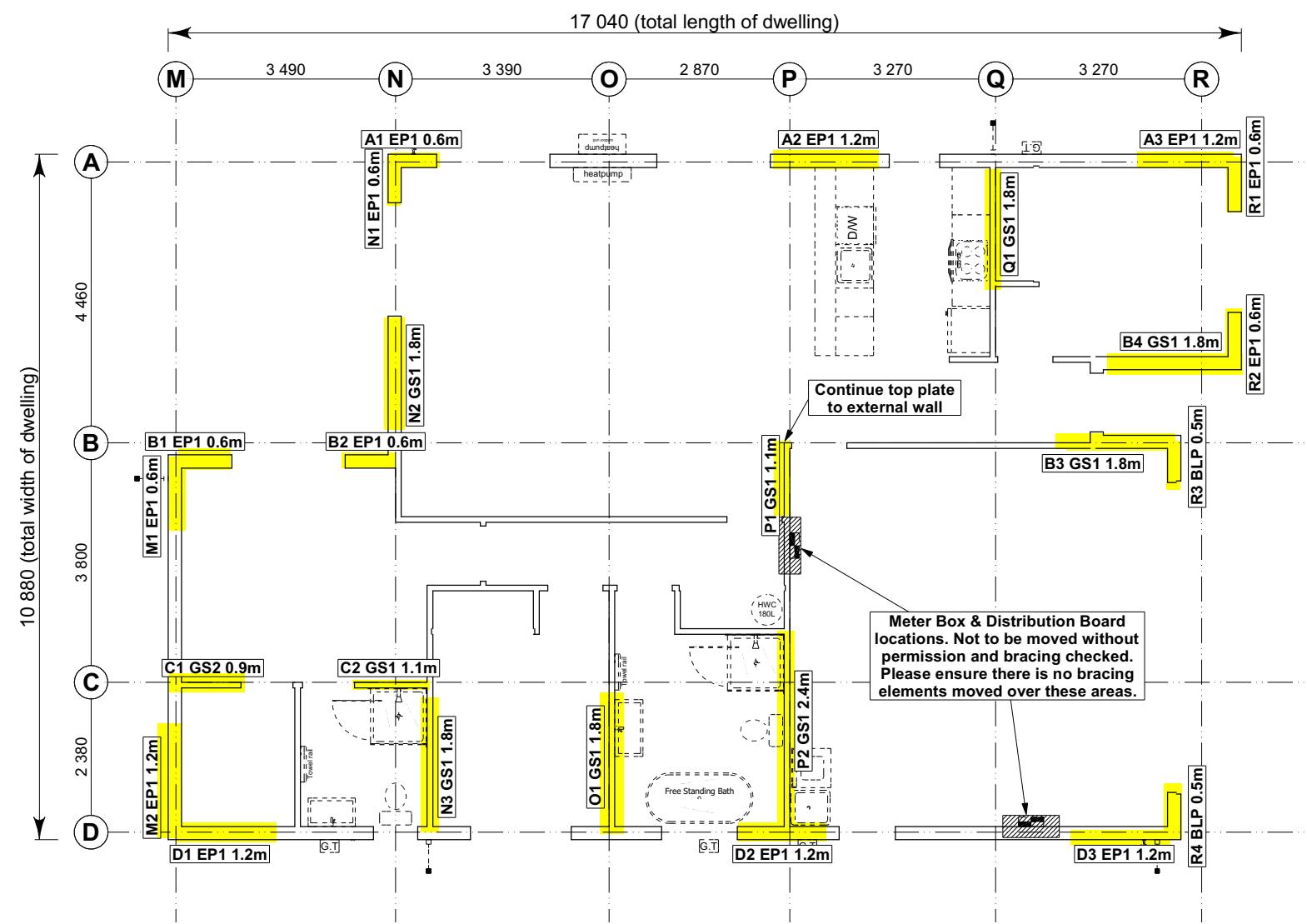
Sales: L Seville Drawn: M Glynn QS: W Xian Print Date: 15/01/2024 Scale: 1:100 @ A3

CONSENT PLANS

| No. | Date: | Reason: |
|-----|------------|-----------------------|
| 1 | 06-12-2023 | Initial Consent Plans |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

Sheet No.:
10

of 22 sheets



8.7.3.4
Each wall that contains one or more wall bracing elements shall be connected at the top plate level, either directly, or through a framing member in the line of the wall, to external walls at right angles to it. Top plate fixing(s) of the capacity in tension or compression along the line of the wall bracing element are given as follows:

- For each wall containing wall bracing elements with a total bracing capacity of not more than 125 bracing units: to at least one such external wall by a fixing as shown in figure 8.16 of 6 kN capacity;
- For each wall containing wall bracing elements with a total bracing capacity of not more than 250 bracing units: to at least 2 external walls by fixings as shown in figure 8.16 each of 6 kN capacity;
- For each wall containing wall bracing elements with a total bracing capacity of more than 250 bracing units: to at least 2 external walls by fixings as shown in figure 8.16 each having a rating of not less than 2.4 kN per 100 bracing units.

BRACING PLAN NOTES
Wall bracing designed in accordance with NZS 3604:2011 & GIB Ezybrace system
Refer to attached calculations.

Bracing Designed to:
Wind: High
Earthquake: 2

BRACING LEGEND

| | |
|------|------------------|
| A | Brace Line Label |
| A1 | Brace Length |
| GS1 | Brace Type |
| 1.1m | Brace Number |

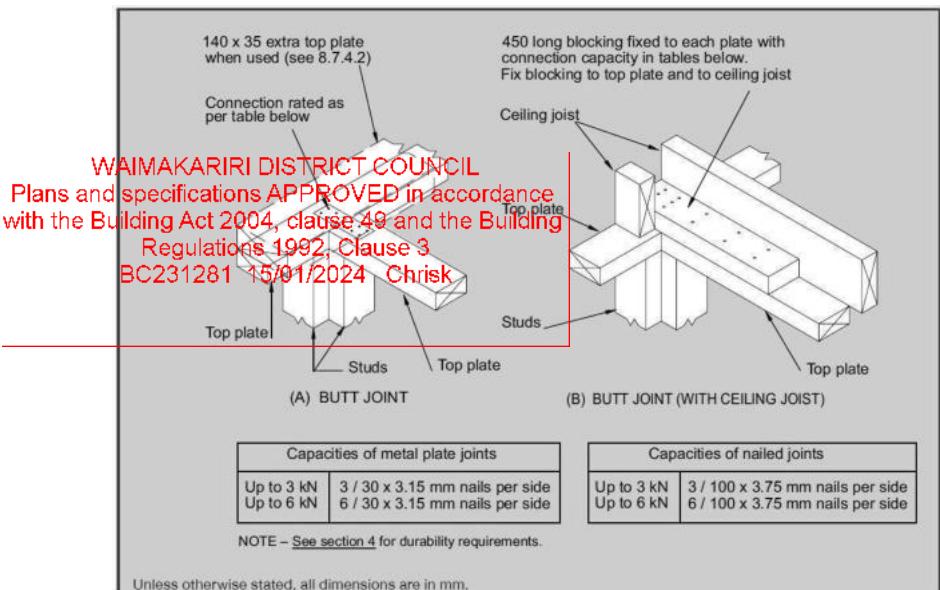


Figure 8.16 – Connecting top plates to external walls at right angles – Walls containing bracing (see 8.7.3.4)

Single Level Along Resistance Sheet

Job Name: Wilson

Wind EQ

Demand

620 963

Achieved

| Line | Element | Length (m) | Angle (degrees) | Stud Ht. (m) | Type | Supplier | Wind (BUs) | EQ (BUs) | 1293 | 1352 |
|------|---------|------------|-----------------|--------------|---------|----------|------------|----------|--------|--------|
| A | 1 | 0.60 | | 2.4 | EP1 0.6 | Ecopy® | 57 | 63 | | |
| | 2 | 1.20 | | 2.4 | EP1 1.2 | Ecopy® | 144 | 162 | | |
| | 3 | 1.20 | | 2.4 | EP1 1.2 | Ecopy® | 144 | 162 | | |
| B | 1 | 0.60 | | 2.4 | EP1 0.6 | Ecopy® | 57 | 63 | | |
| | 2 | 0.60 | | 2.4 | EP1 0.6 | Ecopy® | 57 | 63 | | |
| | 3 | 1.80 | | 2.4 | GS1-N | GIB® | 124 | 108 | | |
| | 4 | 1.80 | | 2.4 | GS1-N | GIB® | 124 | 108 | | |
| C | 1 | 0.90 | | 2.4 | GS2-N | GIB® | 80 | 71 | | |
| | 2 | 1.10 | | 2.4 | GS1-N | GIB® | 74 | 66 | | |
| | 3 | 1.20 | | 2.4 | EP1 1.2 | Ecopy® | 144 | 162 | | |
| D | 1 | 1.20 | | 2.4 | EP1 1.2 | Ecopy® | 144 | 162 | | |
| | 2 | 1.20 | | 2.4 | EP1 1.2 | Ecopy® | 144 | 162 | | |
| | 3 | 1.20 | | 2.4 | EP1 1.2 | Ecopy® | 144 | 162 | 432 OK | 486 OK |

Single Level Across Resistance Sheet

Job Name: Wilson

Wind EQ

Demand

1078 963

Achieved

| Line | Element | Length (m) | Angle (degrees) | Stud Ht. (m) | Type | Supplier | Wind (BUs) | EQ (BUs) | 1235 | 1195 |
|------|---------|------------|-----------------|--------------|---------|----------|------------|----------|--------|--------|
| M | 1 | 0.60 | | 2.4 | EP1 0.6 | Ecopy® | 57 | 63 | | |
| | 2 | 1.20 | | 2.4 | EP1 1.2 | Ecopy® | 144 | 162 | 201 OK | 225 OK |
| N | 1 | 0.60 | | 2.4 | EP1 0.6 | Ecopy® | 57 | 63 | | |
| | 2 | 1.80 | | 2.4 | GS1-N | GIB® | 124 | 108 | | |
| | 3 | 1.80 | | 2.4 | GS1-N | GIB® | 124 | 108 | 305 OK | 279 OK |
| O | 1 | 1.80 | | 2.4 | GS1-N | GIB® | 124 | 108 | 124 OK | 108 OK |
| P | 1 | 1.10 | | 2.4 | GS1-N | GIB® | 74 | 66 | 239 OK | 210 OK |
| P | 2 | 2.40 | | 2.4 | GS1-N | GIB® | 166 | 144 | 124 OK | 108 OK |
| Q | 1 | 1.80 | | 2.4 | GS1-N | GIB® | 124 | 108 | | |
| R | 1 | 0.60 | | 2.4 | EP1 0.6 | Ecopy® | 57 | 63 | | |
| R | 2 | 0.60 | | 2.4 | EP1 0.6 | Ecopy® | 57 | 63 | | |
| R | 3 | 0.50 | | 2.4 | BLP-H | GIB® | 64 | 69 | 241 OK | 265 OK |
| R | 4 | 0.50 | | 2.4 | BLP-H | GIB® | 64 | 69 | | |

All dimensions are to be checked and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation



TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 8443
P: +64 3 342 7788

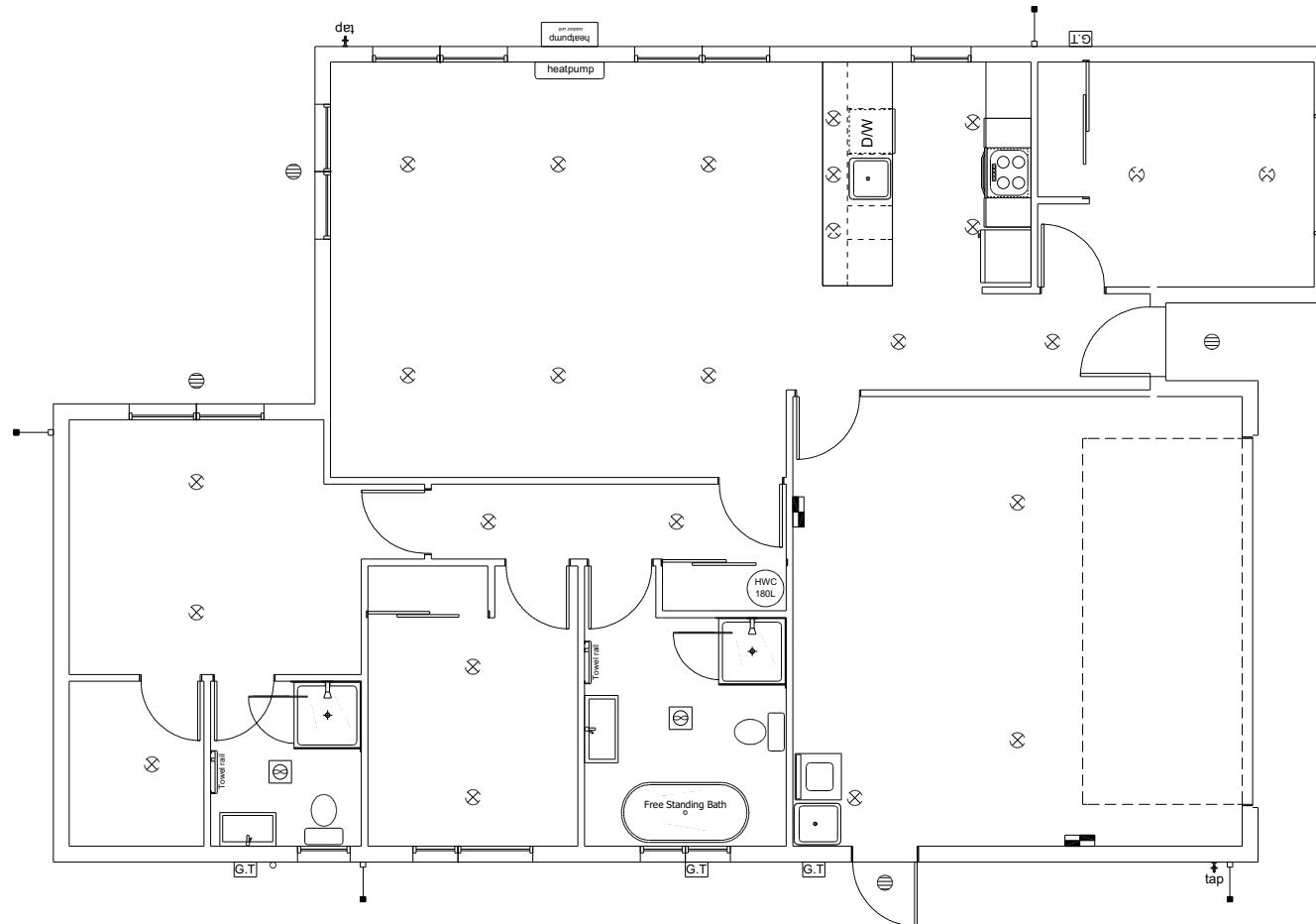
These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

Job Number: 192391
Original Plan: Koru
BRACING PLAN
Sales: L Seville Drawn: M Glynn QS: W Xian Print Date: 15/01/2024 Scale: 1:100 @ A3

CONSENT PLANS
No. Date Reason:
1 06-12-2023 Initial Consent Plans

Sheet No.: 11
of 22 sheets



| LEGEND | |
|---|--------------------------|
| Refer to Electrical Section in Specification for further details | |
| ○ | Ceiling Pan |
| ⊗ | CA Approved Down Light |
| ⊖ | Exterior Bulkhead Light |
| ◐ | Exterior Wall Light |
| — | Fluorescent Double |
| ↶ | Light Switch |
| ↷ | Two Way Light Switch |
| ⤒ | Single Power Socket |
| ⤓ | Double Power Socket |
| ⦿ | Outside Waterproof Plug |
| ▼ | Telephone/Data Outlet |
| [TV] | TV Jack |
| [SKY] | Sky Connection |
| ■ | Bathroom Heater |
| ■ | Bathroom Extractor/Light |

WAIMAKARI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 Chrisk

**All dimensions are to be checked and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation**



TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 8443

P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer, producing these documents.

Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

Job Number:
192391

Original Plan
Koru

LIGHTING PLAN

Sales: L Seville Drawn: M Glynn QS: W Xian Print Date: 15/01/2024 Scale: 1:100 @ A3

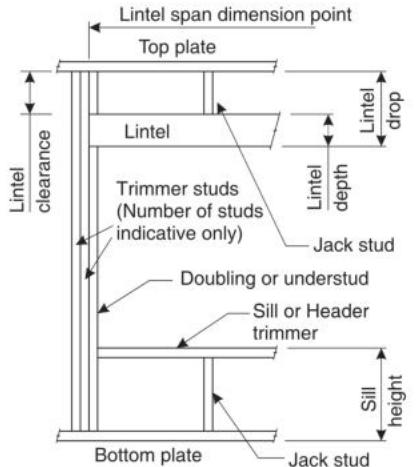
CONSENT PLANS



LINTEL FIXING SCHEDULE ALTERNATIVE TO TABLE 8.14 & FIGURE 8.12 NZS 3604:2011

NOTE:

- All fixings are designed for vertical loads only. Dead loads include the roof weight and standard ceiling weight of 0.20kPa.
- Refer to Table 8.19 NZS 3604:2011 for nailing schedule to resist horizontal loads.
- These fixings assume the correct choice of rafter/truss to top plate connections have been made.
- All fixings assume bottom plate thickness of 45mm maximum. Note: TYLOK options on timber species.
- Wall framing arrangements under girder trusses are not covered in this schedule.
- All timber selections are as per NZS 3604:2011.

DEFINITIONS

| Roof Tributary Area | Light Roof | | | Heavy Roof | | |
|---------------------|------------|----|----|------------|----|----|
| | Wind Zone | | | Wind Zone | | |
| | L, M, H | VH | EH | L, M, H | VH | EH |
| 8.6m ² | G | G | H | G | G | H |
| 11.6m ² | G | H | H | G | G | H |
| 12.1m ² | G | H | H | G | H | H |
| 15.3m ² | H | H | - | G | H | H |
| 19.1m ² | H | - | - | G | H | - |
| 20.9m ² | H | - | - | H | H | - |
| 21.8m ² | H | - | - | H | - | - |
| 34.3m ² | - | - | - | H | - | - |

NOTES:

- Roof Tributary Area = approx. 1/2 x (Total roof area on girder and rafter trusses supported by lintel)
- Assumed girder truss is at mid-span or middle third span of lintel
- Use similar fixings for both ends of lintel
- All other cases require specific engineering design

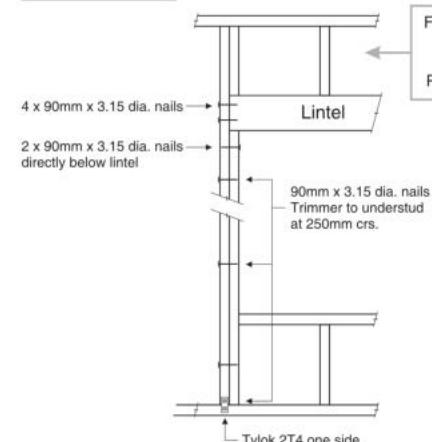
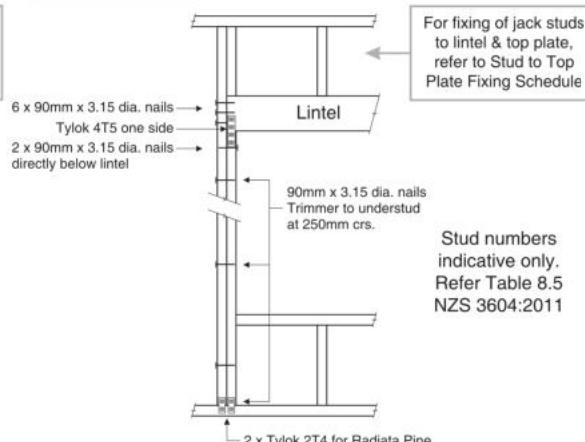
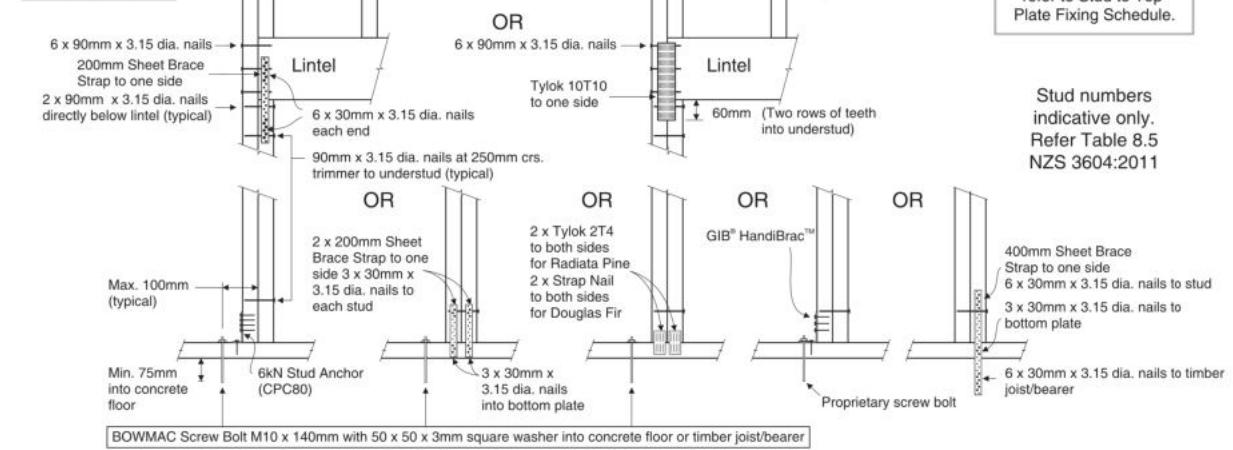
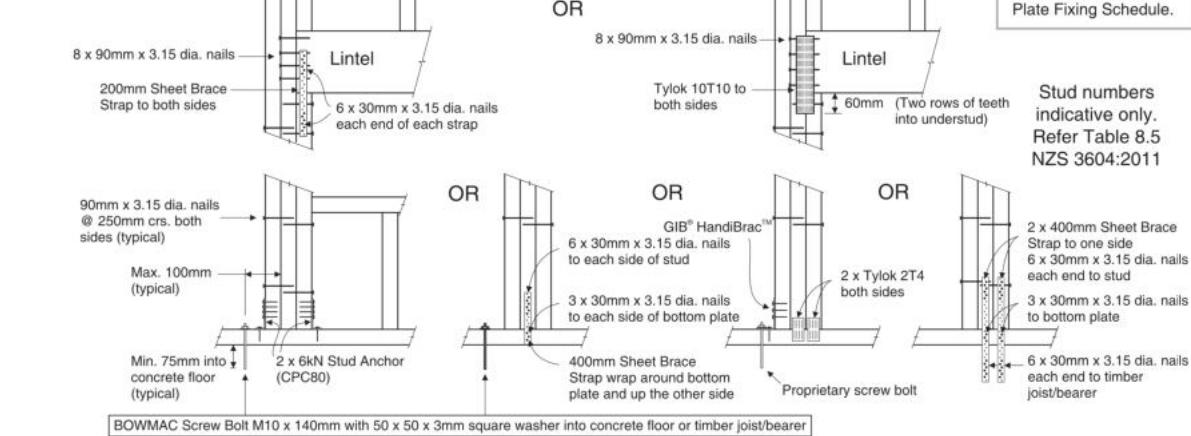
All dimensions are to be checked and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation



TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 8443
P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

LINTEL FIXING OPTIONS**TYPE E
1.4kN****TYPE F
4.0kN****TYPE G
7.5kN****TYPE H
13.5kN**

For fixing of jack studs to lintel & top plate, refer to Stud to Top Plate Fixing Schedule.

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

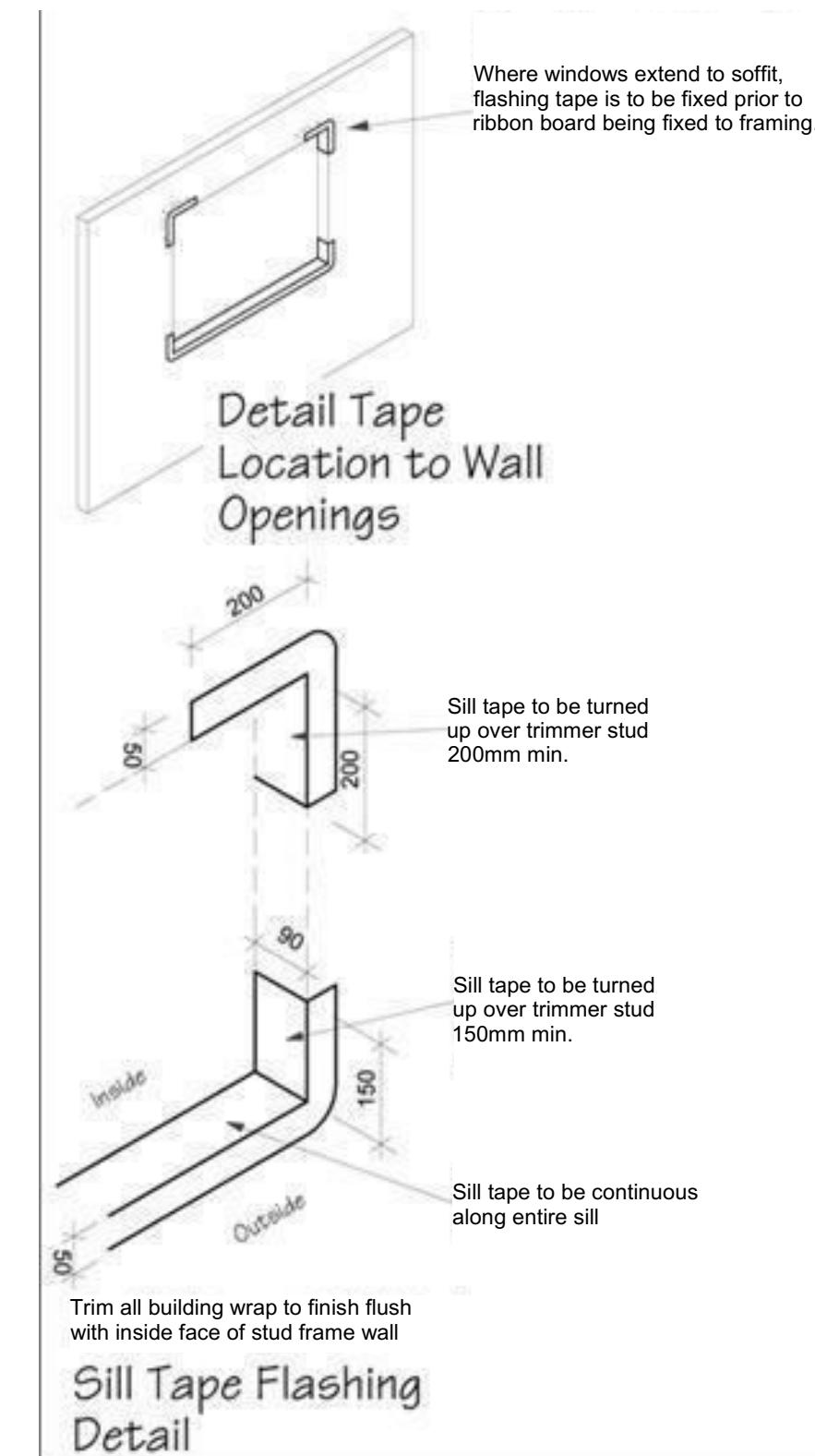
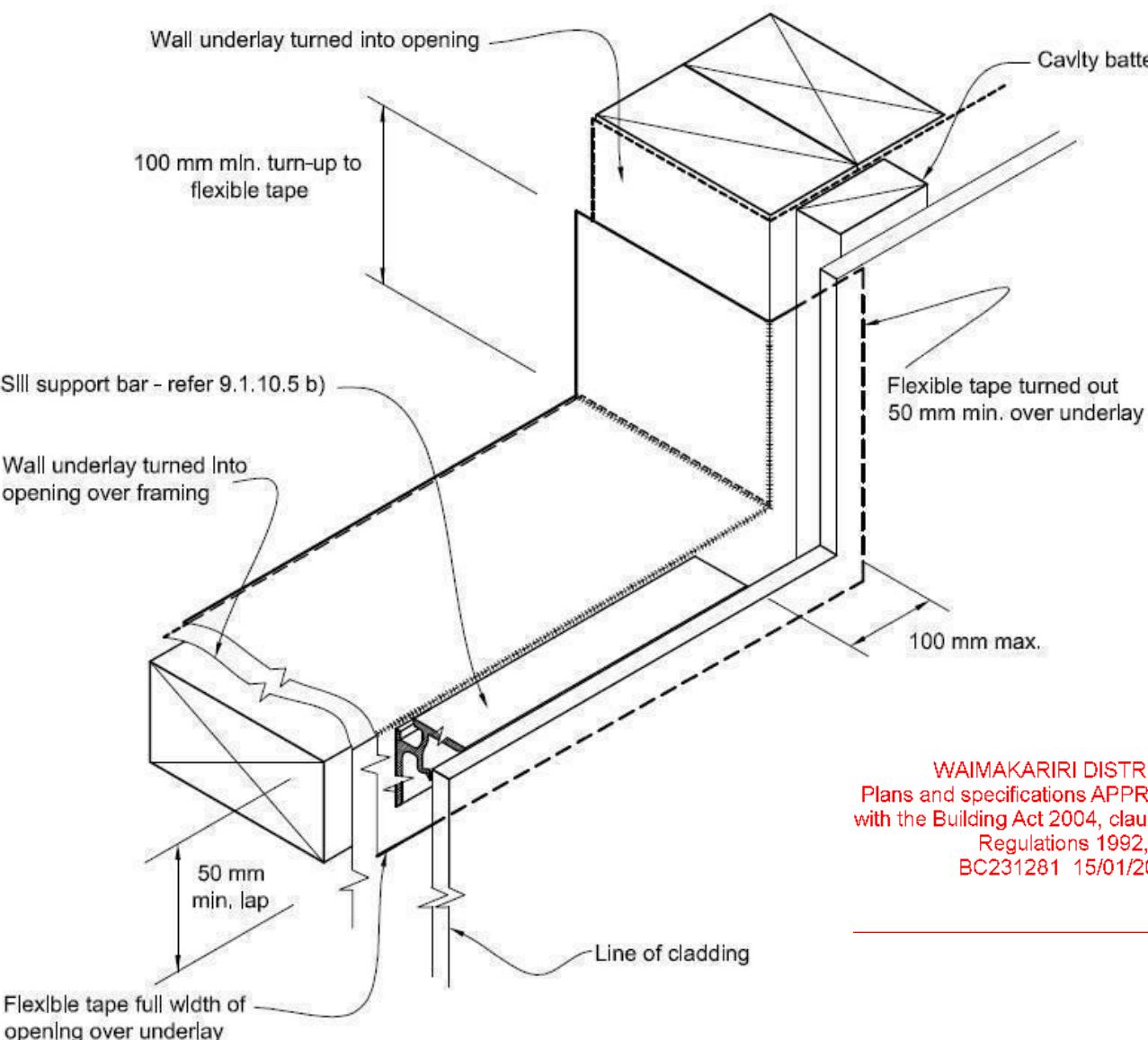
Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Figure 72B: General window and door opening with drainage cavity
Paragraphs 9.1.5, 9.1.9.3, 9.1.10.2, Figures 73C, 76, 85, 86, 91, 99, 116 and 128

NOTE:

- (1) Detailed cladding omitted for clarity, refer to specific claddings.
- (2) Head to be treated similarly with continuous wall underlay and flexible tape at corners.
- (3) Refer individual cladding details for jamb flashings.



All dimensions are to be checked and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation



TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 8443
P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

Job Number:
192391

Original Plan:
Koru

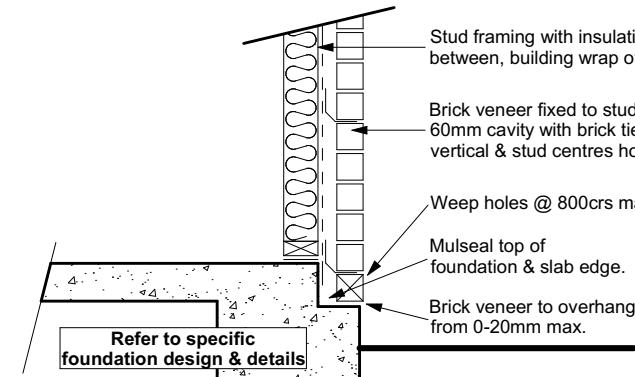
Sheet Name:
CONSTRUCTION DETAILS

CONSENT PLANS

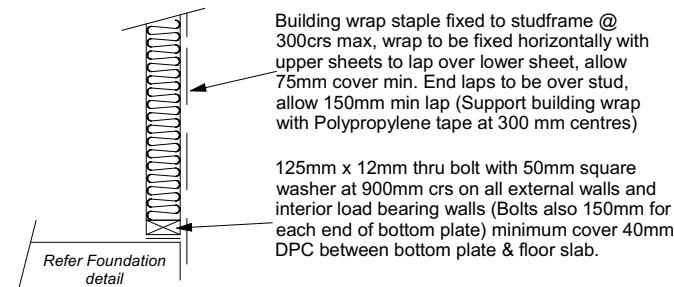
| No. | Date: | Reason: |
|-----|------------|-----------------------|
| 1 | 06-12-2023 | Initial Consent Plans |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

Sheet No.:
15

of 22 sheets



Brick Veneer Foundation
Scale 1:20



Stud framing to slab
Scale 1:20

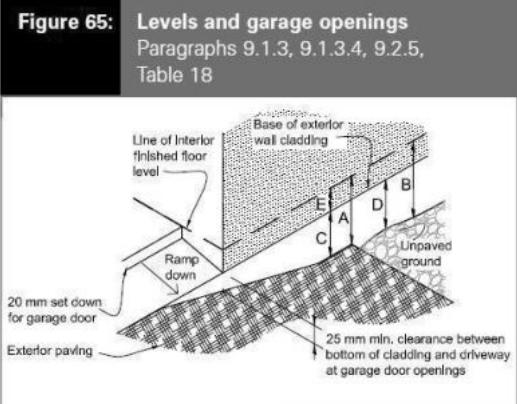
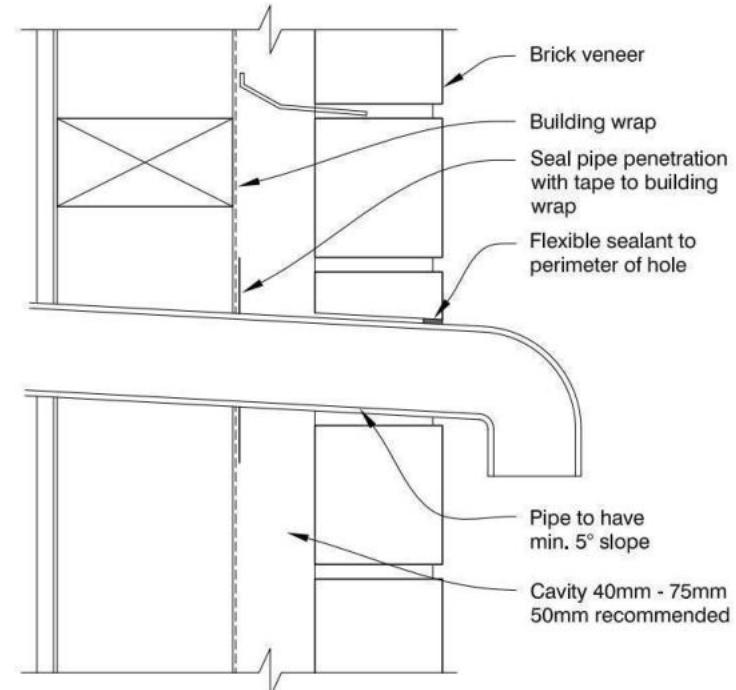


Table 18: Minimum clearances
Paragraphs 9.1.3, 9.1.3.1, 9.1.3.2, 9.1.3.3, 9.1.3.4, 9.1.3.5 and 9.2.7

| Minimum clearances (mm) | Masonry veneer | | Other claddings | | | | |
|---------------------------|----------------|-----|-----------------|-----|-----|-----|----|
| | A | B | A | B | C | D | E |
| Concrete slab | 100 | 150 | 150 | 225 | 100 | 175 | 50 |
| Timber floor Refer Note 1 | | | 100 | 175 | 502 | | |

NOTE: 1) Refer to NZS 3604 for requirements.
2) Cladding to extend minimum 50 mm below bearer or lowest part of timber floor framing.

All dimensions are to be checked and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation



TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 8443
P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

Job Number:
192391

Original Plan:
Koru

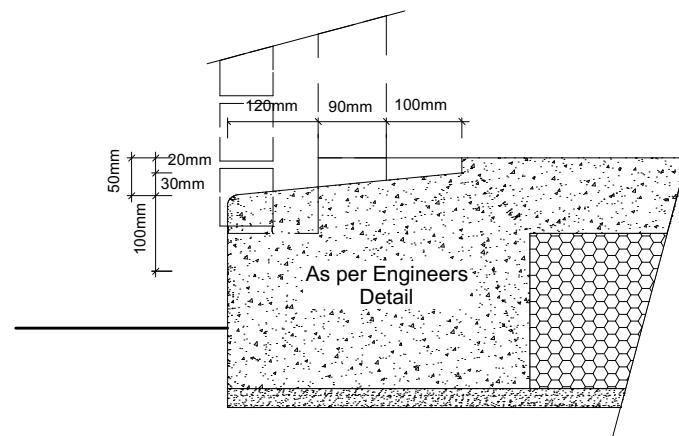
Sheet Name:
CONSTRUCTION DETAILS

CONSENT PLANS

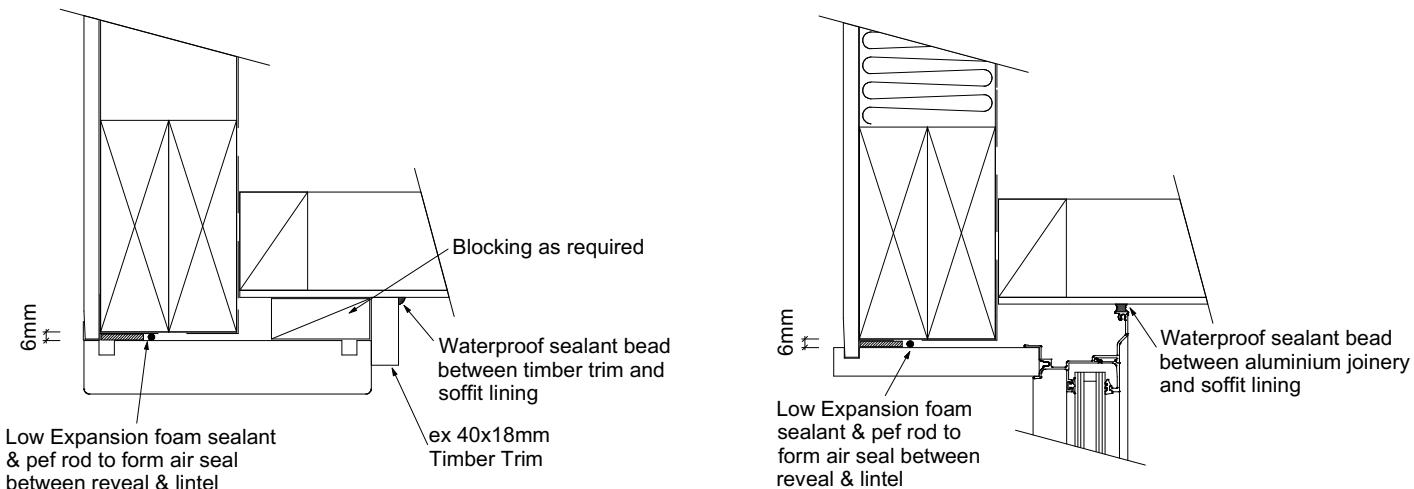
| | | |
|-----|------------|-----------------------|
| No. | Date: | Reason: |
| 1 | 06-12-2023 | Initial Consent Plans |
| | | |
| | | |
| | | |
| | | |

Sheet No.:
16

of 22 sheets

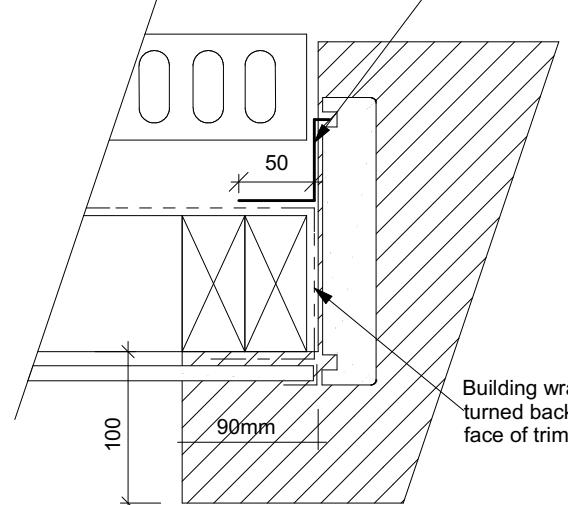
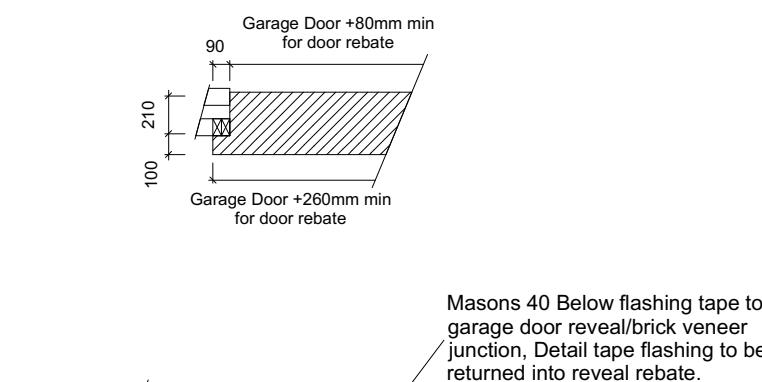


Garage Door Rebate Details
Scale 1:10

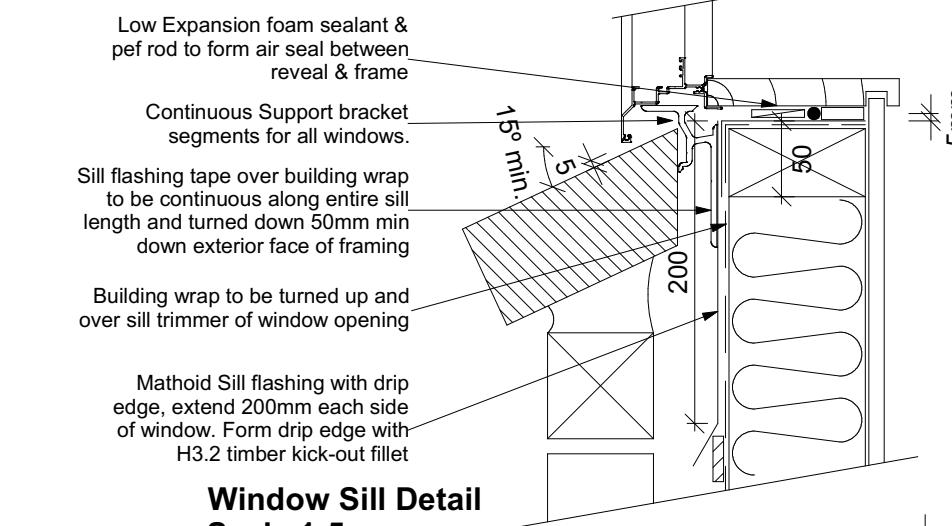


Garage Door Head to Soffit
Scale 1:5

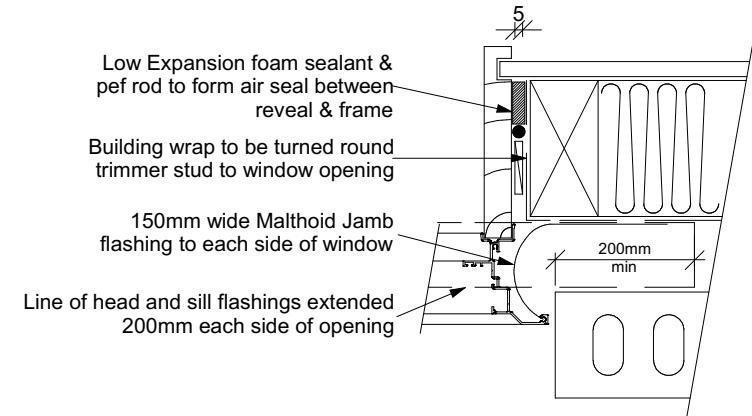
Window Head to Soffit Detail
Scale 1:5



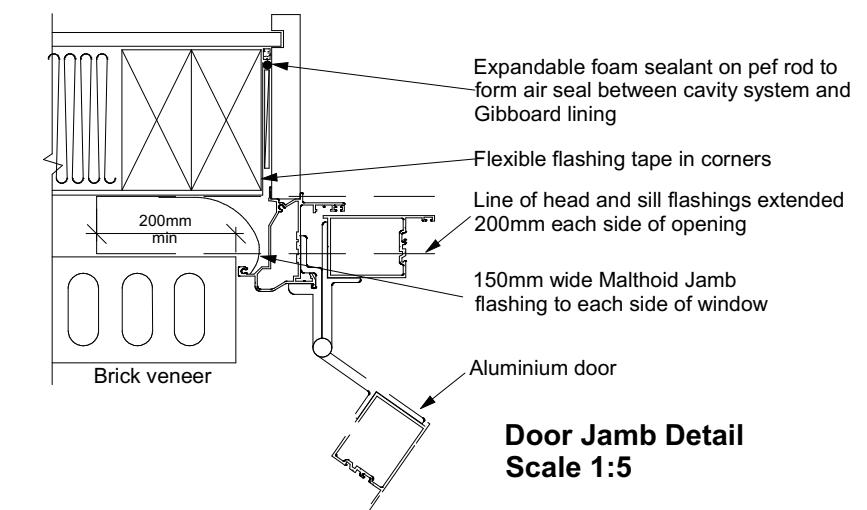
Garage Door Jamb Detail
Scale 1:5



Window Sill Detail
Scale 1:5



Window Jamb Detail
Scale 1:5



Door Jamb Detail
Scale 1:5

WAIMAKARI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 Chrisk

9.1.10.8 Attachments for windows and doors

Install windows and doors using pairs of minimum 75 x 3.15 galvanised jolt head nails or 8 gauge x 65 mm stainless steel screws, through reveals into surrounding *framing* at:

- Maximum 450 mm centres along sills, jambs and heads, and
- Maximum 150 mm from reveal ends.

Install packers between reveals and *framing* at all fixing points, except between head reveals and lintels.

All dimensions are to be checked and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation



TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 8443
P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

Job Number:
192391

Original Plan:
Koru

Sheet Name:
CONSTRUCTION DETAILS

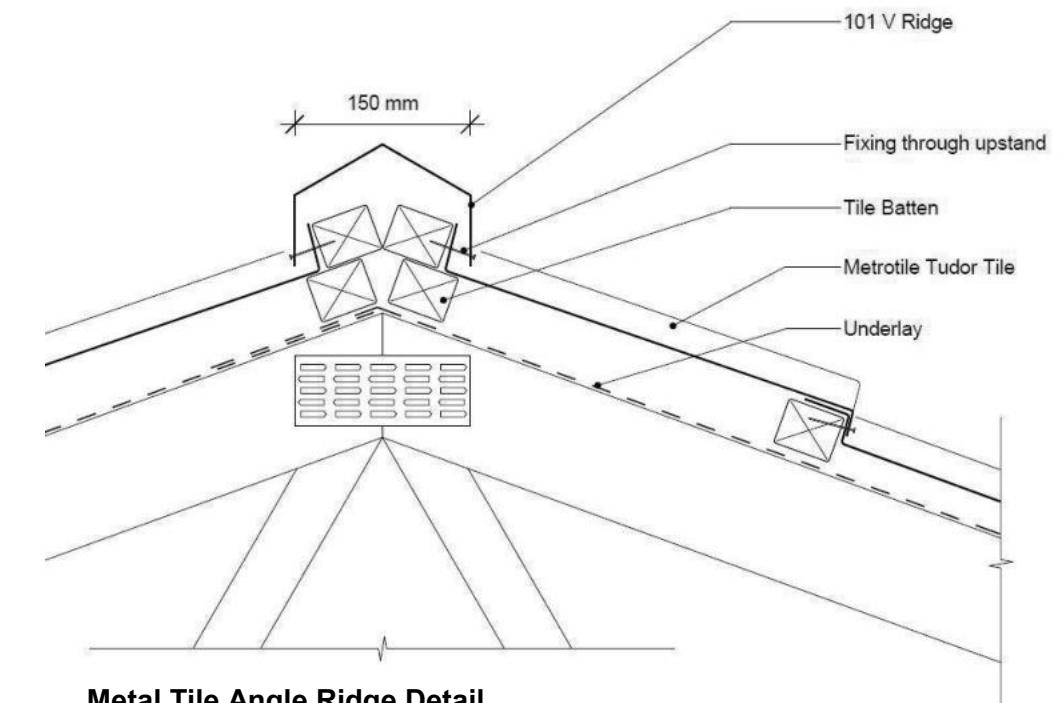
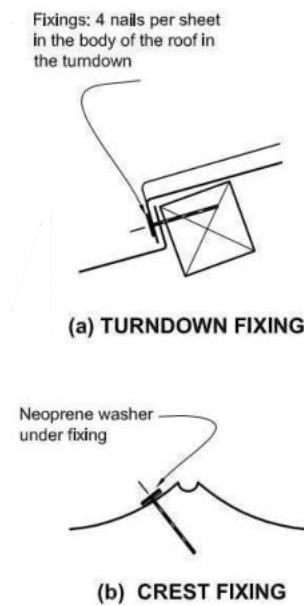
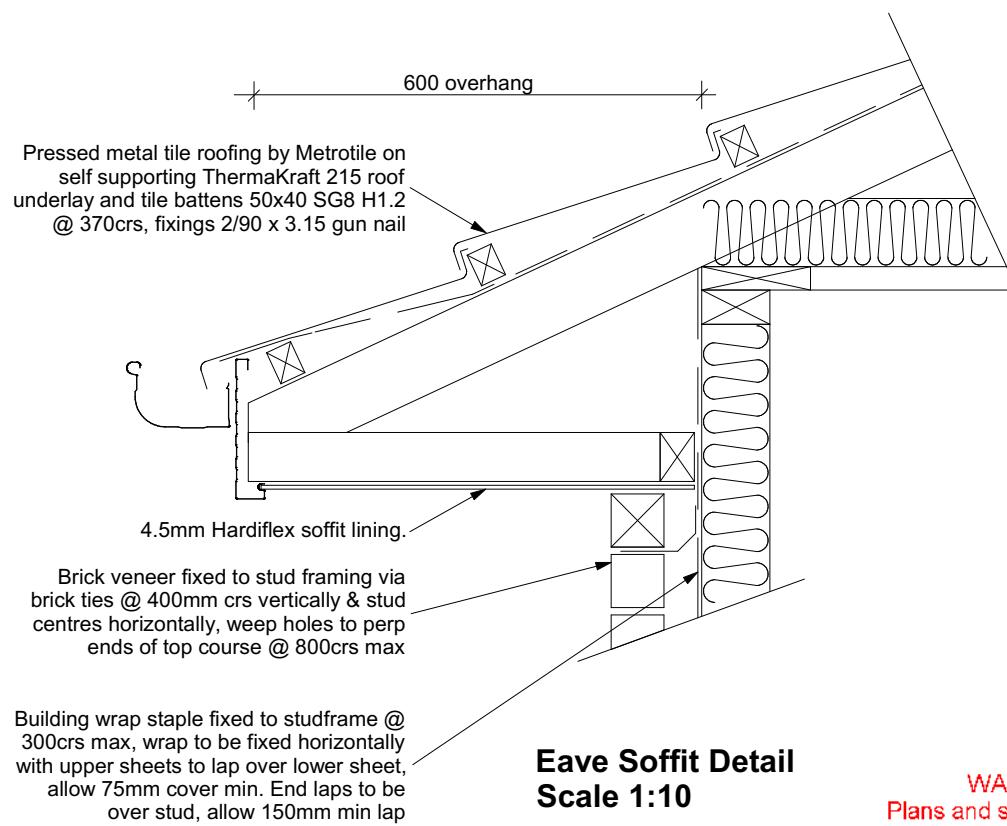
Sales: L Seville Drawn: M Glynn QS: W Xian Print Date: 15/01/2024 Scale: As Shown @ A3

CONSENT PLANS

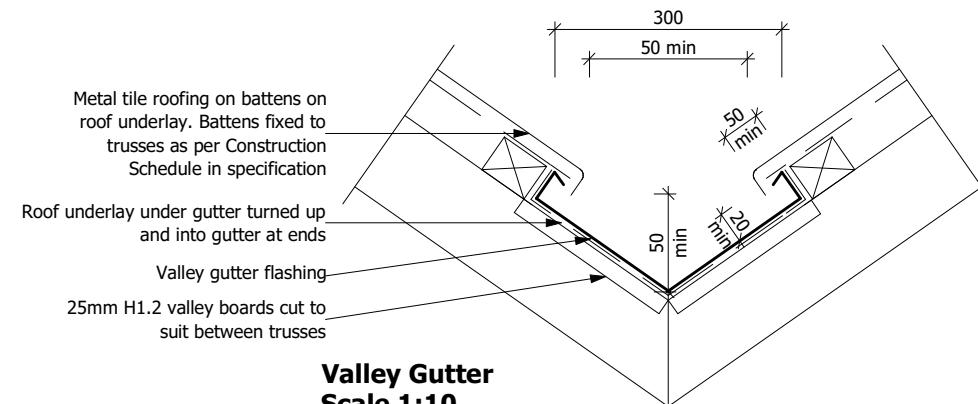
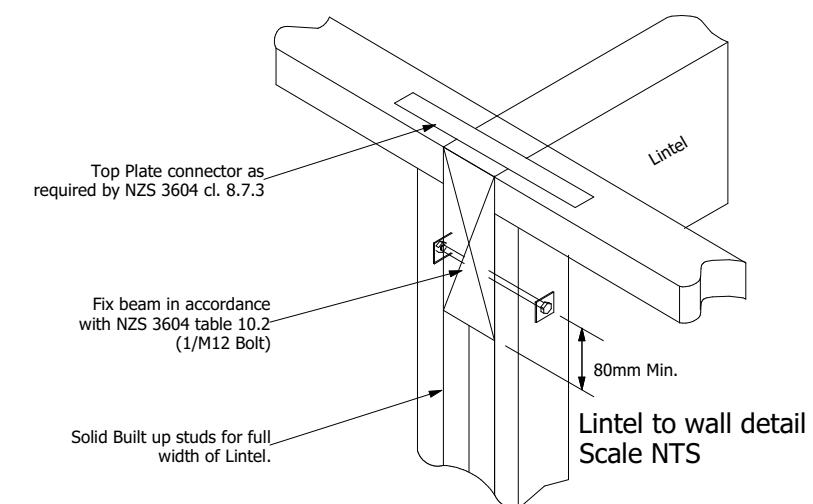
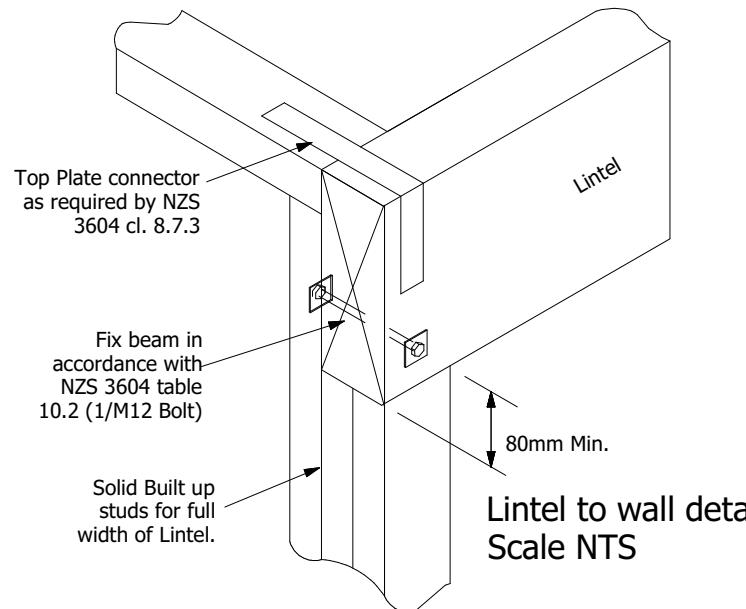
No. Date: Reason:
1 06-12-2023 Initial Consent Plans

Sheet No.:
17

of 22 sheets



WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 Chrisk



All dimensions are to be checked and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation



TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 8443
P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

Job Number:
192391

Original Plan:
Koru

Sheet Name:
CONSTRUCTION DETAILS

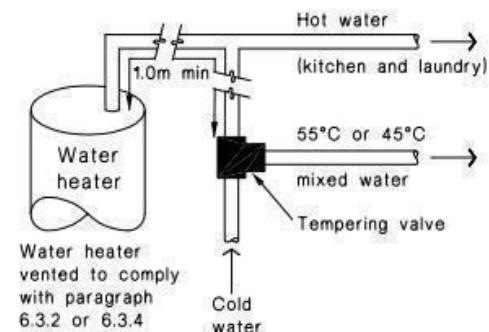
CONSENT PLANS

| | | |
|-----|------------|-----------------------|
| No. | Date: | Reason: |
| 1 | 06-12-2023 | Initial Consent Plans |
| | | |
| | | |
| | | |
| | | |
| | | |

Sheet No.:
18

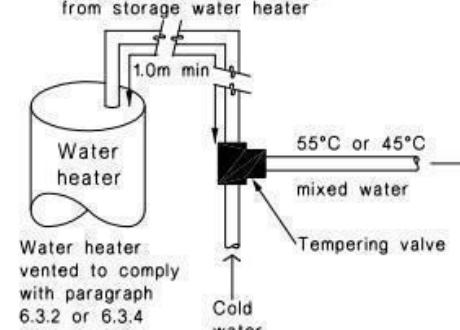
of 22 sheets

Figure 16: Tempering Valve Installation
Paragraph 6.14.2 a)



(a) With untempered water to laundry and kitchen fixtures and appliances

1.0m minimum copper pipe length



(b) Where all hot water is tempered

Note:

1. For optimum system efficiency the tempering valve, for other than a mains pressure system, may be located as low as practicable to achieve the manufacturer's recommended head, at the tempering valve.

2. 1.0m minimum copper pipe length from storage water heater.

Figure 8: Mains Pressure Storage Water Heater System (unvented)
Paragraphs 6.1.2 and 6.2.1 b)

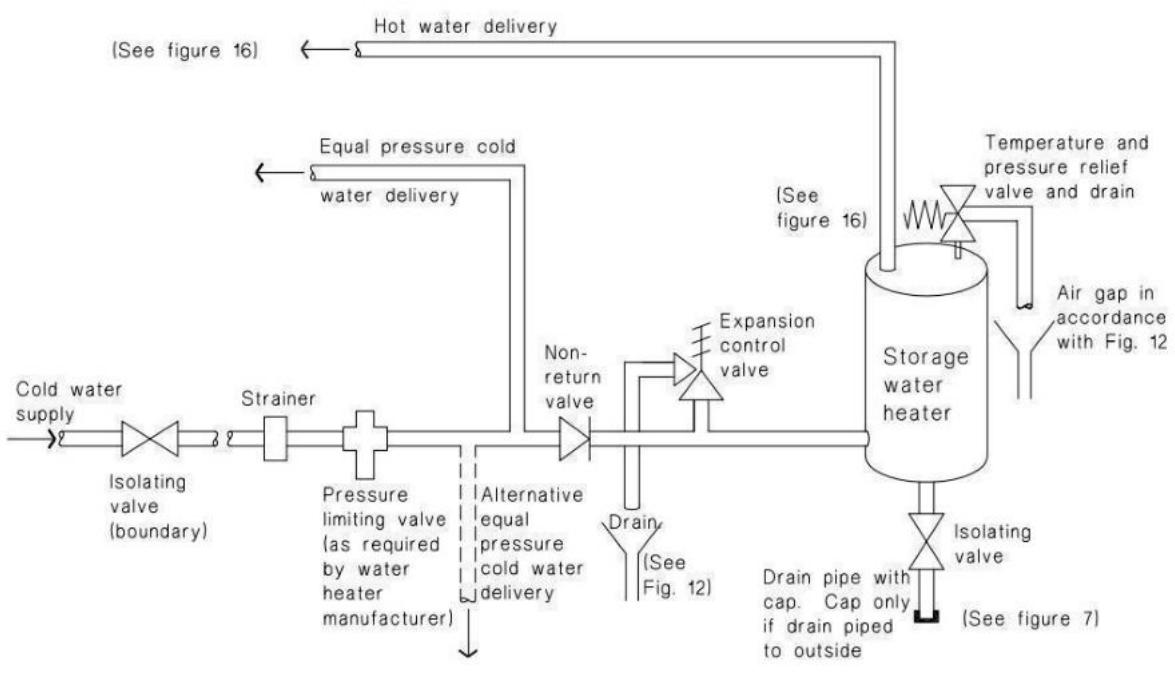
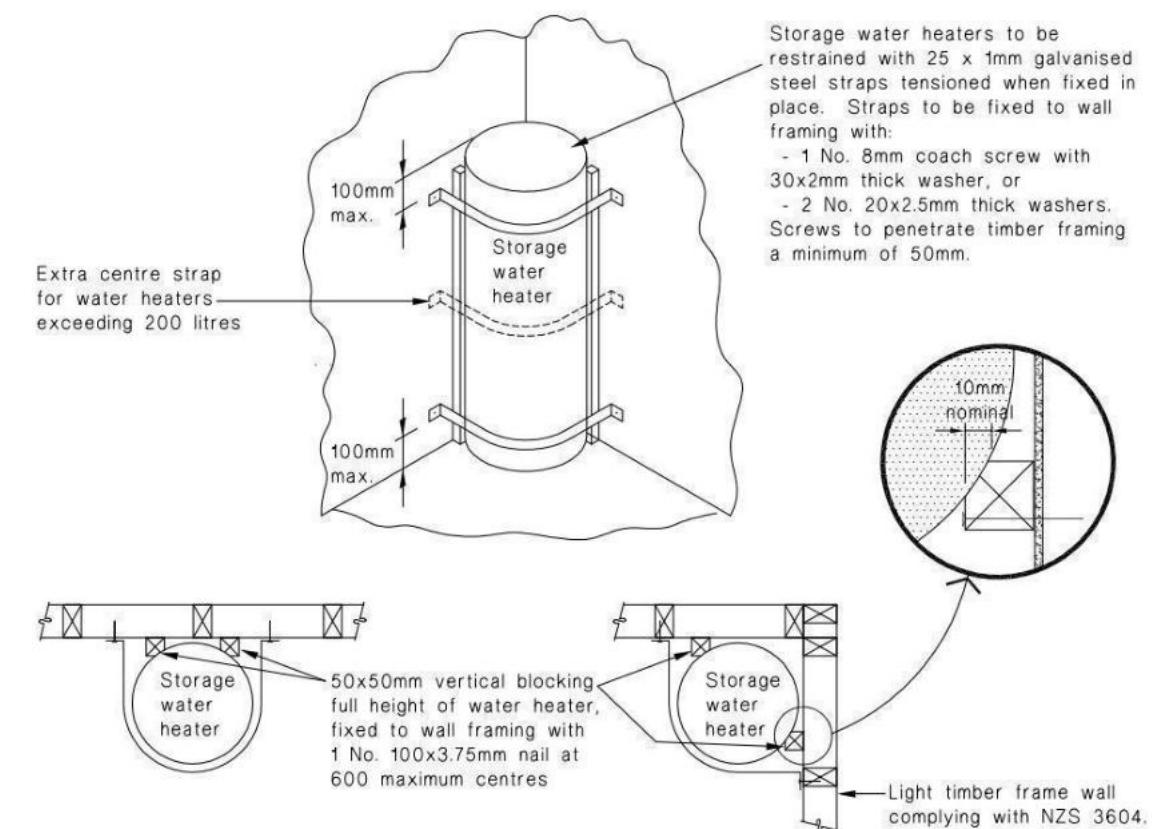


Figure 14: Seismic Restraint of Storage Water Heaters 90 – 360 litres
Paragraph 6.11.4



WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 ChrisK

All dimensions are to be checked and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation



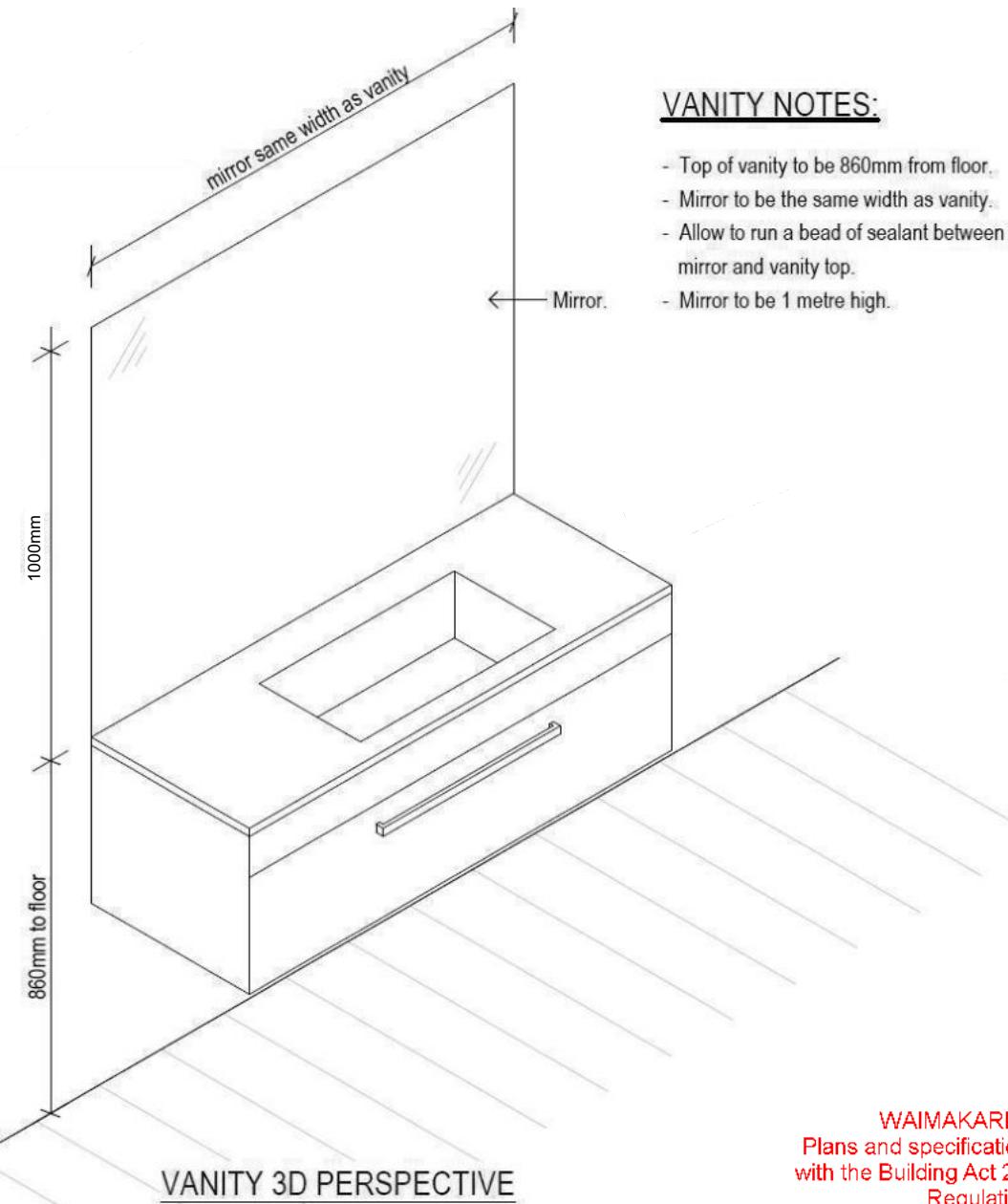
TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 84443

P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

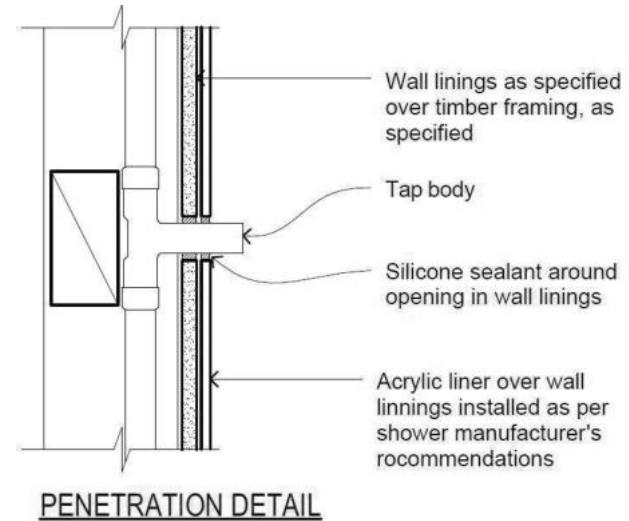
Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

| | | |
|---------------|----------------|-------------------------|
| Job Number: | Original Plan: | Sheet Name: |
| 192391 | Koru | PLUMBING DETAILS |
| des: | Drawn: | Q/S: |
| Seville | M Glynn | W Xian |
| | | Print Date: |
| | | 15/01/2024 |
| | | Scale: |
| | | NTS @ A3 |

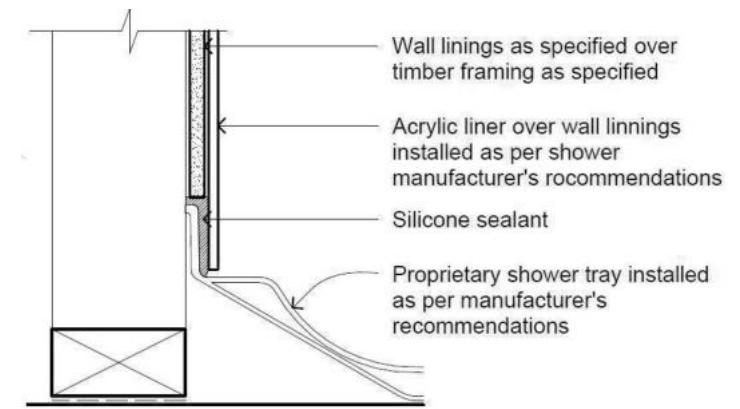


VANITY NOTES

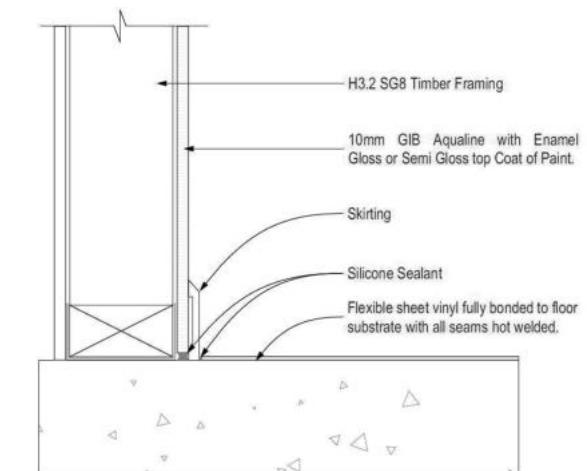
- Top of vanity to be 860mm from floor.
 - Mirror to be the same width as vanity.
 - Allow to run a bead of sealant between mirror and vanity top.
 - Mirror to be 1 metre high.



PENETRATION DETAIL



SHOWER TRAY DETAIL



GENERAL FLOOR/WALL DETAIL

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 Chrisk

**All dimensions are to be checked and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation**



TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 8443

P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

Buildable Consent Layout

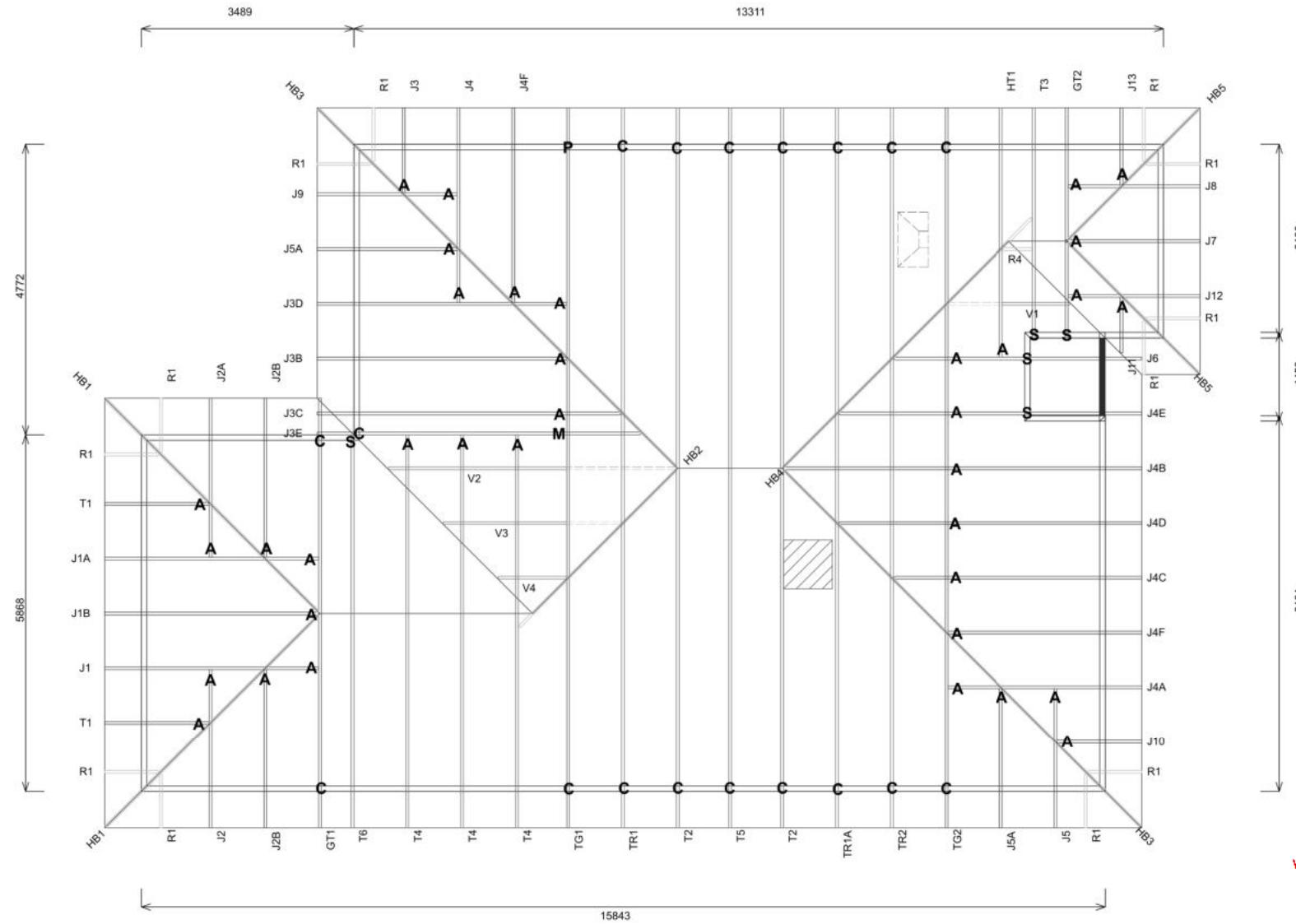


CONSENT ISSUED BC231281 - Page 28 of 29

For valley/saddle truss fixing unless stated otherwise use a pair of wire dogs at 900mm centres for up to and including a very high wind zone.
Or a pair of CT200's at 900mm centres for extra high wind zone. This fixing is to meet the minimum requirements as per NZS3604.

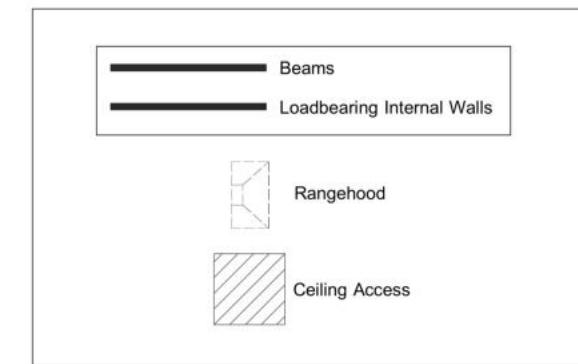
CARTERS

Your Building Partner



Note/s:

- Dashed lines show top chords continuing up to hip board (No bottom chord below)



WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC231281 15/01/2024 Chrisk



Job No: **RG1400234C2**

Customer: TKR Homes Limited | T/A Signature Homes Canterbury

Job Name: Wilson Lot 963 7 Rudd St Ravenswood

Address: 7 RUDD STREET

Woodend, WOODEND 7691

Drawn: Arvie Hamoy
Date: 1/12/2023

If a gable truss requires a windbeam brace, the type of MiTek brace will be noted as such on the layout.
The truss fixings can be substituted for other fixings of the same or greater capacity.

All verge framing to be fixed according to the MiTek On-Site Guide if not covered by NZS3604.

If bottom chord restraints are 35mm Metal battens, then they must be fixed with either two nails or screws.

If the metal battens are fixed with a single nail or screw then 90x45mm bottom chords restraints will be required at 1800mm centres

All loads shown on this page regarding the truss fixings are characteristic loads

Truss Fixings

| |
|-----------------------------|
| A = 47x90 Joist Hanger |
| B = 47x120 Joist Hanger |
| C = CT200 (pair) |
| D = 47x190 Joist Hanger |
| E = 95x165 Joist Hanger |
| F = SH-140 Split Hanger |
| G = SH-180 Split Hanger |
| H = SH-220 Split Hanger |
| J = 2x6kN Strap (12kN) |
| K = 6kN Strap |
| L = Multigrip (single) |
| M = Multigrips (pair) |
| N = Nylon Plate (240x110x1) |
| P = 16kN Pack |
| Q = 9kN Pack |
| S = CPC 40 Single Cleat |
| T = CPC 40 Short (pair) |
| U = CPC 80 Single Cleat |
| V = 16kN Uplift |
| Z = Engineers Design |

Unless otherwise indicated, all specified truss fixings are to use L/Lok product nail fasteners or Type 17 - 14g Hex Head Screws (as per the MiTek On-site Guide)

All truss to frame fixings require 2 additional 2/90x3.15dia skew nails.

All truss fixings not indicated as above must have 2 wire dogs for cross joints and 2/90x3.15dia nails for butt joins.

Fixings shown are for fixing trusses to the top plate. Any other point load uplift fixings down through the framing stud to top plate, stud to bottom plate, bottom plate to floor remain the responsibility of the architect / draughtsman.

Any roof loads as stated on this layout over 16kN lift are outside the scope of NZS3604, and the architect / draughtsperson is responsible for the design to transfer the loads to the ground.

| | |
|--------------------|-----------------------------|
| Snow Zone: | Christchurch (N4) |
| Wind Area: | High |
| TC Restraints: | 400 mm |
| Roof Material: | Metal Tiles |
| Roof Pitch: | 25.00 ° |
| Snow Altitude: | 100.000 m |
| Design Wind Speed: | 44.0 m/s |
| BC Restraints: | 600 mm |
| Ceiling Material: | Standard Plaster Board 13mm |
| Ground Snow Load: | 0.900 kPa |
| Truss Centres: | 900 mm |

All dimensions are to be checked and confirmed prior to any construction

Plans are to be read in conjunction with Specifications and all supporting documentation



TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 8443
P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

Job Number: **192391**
Original Plan: **Koru**
Sheet Name: **TRUSS DESIGN**
Sales: **L Seville** Drawn: **M Glynn** QS: **W Xian** Print Date: **15/01/2024** Scale: **NTS @ A3**

CONSENT PLANS

No. Date Reason:

1 06-12-2023 Initial Consent Plans

Sheet No.: **21**

of 22 sheets

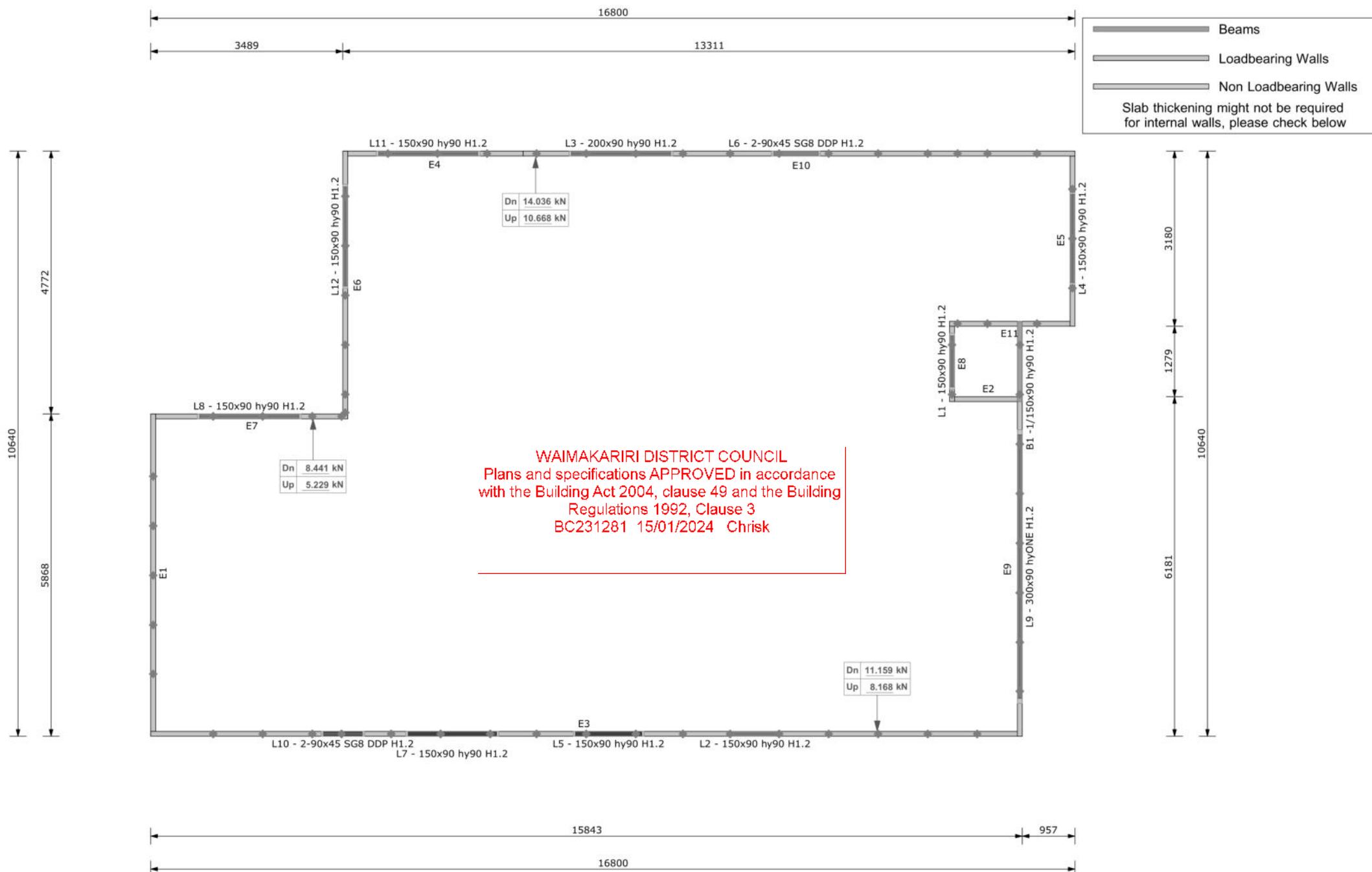
Buildable Consent Layout



All internal walls shown on this layout are considered to be loadbearing
Lintel fixing specification remains the responsibility of the architect / draughtsperson

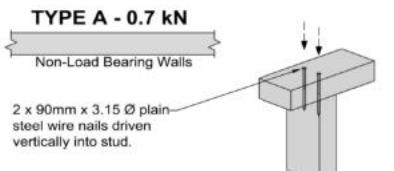
CARTERS

Your Building Partner

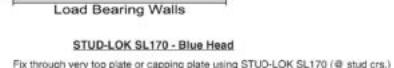


Lintel Fixings are as per the included reports.

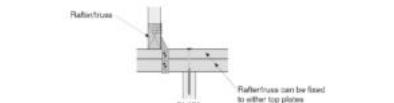
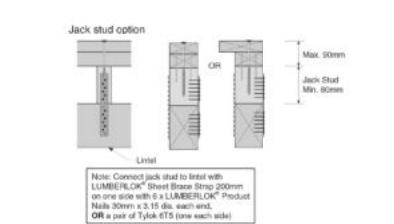
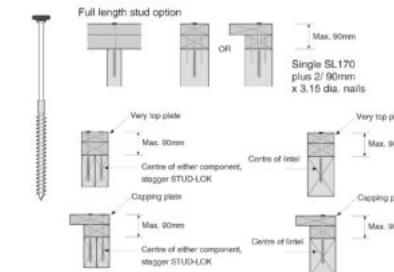
TOP PLATE TO STUD FIXING OPTIONS



TYPE B - 4.7 kN



STUD-LOK SL170 - Blue Head
Fix through very top plate or capping plate using STUD-LOK SL170 (@ stud crs.)



Note: These top plate to stud fixing options do not apply to walls under floors, just walls with trusses or rafters attached.

| | | |
|--|-----------|--|
| SAPPHIRE™ Every Facet an Advantage. | Job No: | RG1400234C2 |
| | Customer: | TKR Homes Limited T/A Signature Homes Canterbury |
| | Job Name: | Wilson Lot 963 7 Rudd St Ravenswood |
| | Address: | 7 RUDD STREET Woodend, WOODEND 7691 |

Notification of point loaded lintels or point loads on internal walls where the downward load is higher than 8kN (85mm raft type slab) or 10kN (100mm standard slab), or the upward load is greater than 10kN. These loads are Ultimate Limit State Loads
If no loads are shown, no thickening is required.

The lintels have been sized using one of the following:

The MiTek SAPPHIRE Component Design Software.
hy90, hyONE and hySPAN lintels have been sized using the designIT for houses - New Zealand series 6 software.
GANGLAM and FLITCH BEAMS have been sized using the MiTek Beam Program V1.10 June 2011.

Unless otherwise stated the timber grade for all lintels is SG8. Lintels not shown are to be selected as per NZS3604: 2011 or designed by an engineer as required.
The lintels have not been designed to support brick shelf angles. The Architect or Engineer is required to design all lintels supporting brick shelf angles.

All dimensions are to be checked and confirmed prior to any construction
Plans are to be read in conjunction with Specifications and all supporting documentation



TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 8443
P: +64 3 342 7788

These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.

Andrew & Alana Wilson
Lot 963
7 Rudd Street
Ravenswood, Woodend

| | | |
|------------------------|----------------|-----------------|
| Job Number: | Original Plan: | Sheet Name: |
| 192391 | Koru | TRUSS DESIGN |
| Sales: L Seville | Drawn: M Glynn | QS: W Xian |
| Print Date: 15/01/2024 | | Scale: NTS @ A3 |

CONSENT PLANS

| No. | Date: | Reason: |
|-----|------------|-----------------------|
| 1 | 06-12-2023 | Initial Consent Plans |
| | | |
| | | |
| | | |
| | | |
| | | |

Sheet No.:
22

of 22 sheets