

BC No: 230318

SITE DETAILS:

23 CHAMBERS AVENUE

WOODEND

LEGAL:

LOT 679 DP 585296

AS BUILT TRUSS LAYOUT REQUIRED –

This must be received by the Building Unit
AT LEAST 10 WORKING DAYS PRIOR to the
Structure Pre-Roof Pre-Wrap Inspection

Truss “As-Built” Designs may be sent to:
buildinginfo@wmk.govt.nz

Approved Building Consent Documents and Plans (Full set)

On Site Copy

- These plans and specifications must be kept on site during construction, and made available to the building officer on request. Failure to do so will mean an automatic failure of the building inspection and will necessitate re-booking the inspection at the applicant's expense.
- All boundary survey pegs must be located and flagged by the owner before work is commenced.

Inspections

For bookings or building enquiries please phone the Building Unit on:

03 311 8906

or

Email inspection bookings to: bcbooking@wmk.govt.nz

- Please refer to your inspection schedule for details of inspections to be carried out.
- At least 2-3 full working days' notice should be given when booking an inspection.
- Please be advised that it may not always be possible to carry out the inspection within the time frame you require.
- Provision is to be made to allow access.
- The Code Compliance Certificate will be issued once the:
 - Final inspection has been carried out and passed.
 - Audit of WDC building consent file has been completed.
 - Payment of any outstanding invoices is received.

Signature Homes Ltd

New House

Lot 679 Ravenswood, Woodend

TC2 RIBRAFT DRAWINGS



File Number23008.030

Sheet No.	Rev	Date Issued	Sheet Title
S1	-	07.03.2023	General Notes
S2	-	07.03.2023	RibRaft Layout Foundation Plan
S3	-	07.03.2023	Ribraft Details
S4	-	07.03.2023	Typical Services Penetration Details

Issue Register

Date	Description
07.03.2023	Consent

WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC230318 5/05/2023 co-michaelmo

GENERAL

- These drawings are not to be used for construction until the plan (sheet S2) is signed by the main contractor.
- Do not scale. Refer any discrepancies to the Architect.
- These drawings are to be read in conjunction with the Architects drawings.
- The builder shall be responsible for any damage to works during construction.
- The sand blinding layer shall be 20mm min. & 50mm max. to aid levelling & to prevent rocking of pods.
- Vapour barrier to be 0.25mm (250 micron) polythene complying with NZS 4229 / NZS 3604 .
- Finished ground level adjacent to slab to be protected from wind, water erosion and undermining.

FOUNDATIONS

- For assumed allowable bearing capacity refer to calculations/installer guide. Unless otherwise noted in documentation.
- If there is any doubt about the integrity of the material on which the slab is to be founded - Supervising Engineer must be notified immediately.

CONCRETE

- All workmanship & materials to conform to NZS 3109, NZS 4210 & local authority regulations.
- Minimum covers to reinforcement:
 - Exposed to earth - 75mm.
 - Protected by vapour barrier - 50mm.
 - Not exposed to weather except for a brief period during construction - 25mm.
- No holes or chases other than those specified are to be made in the slab without the approval of Engco.
- All concrete shall have 20mm nominal maximum aggregate size & 120mm slump & shall comply with NZS 3109.
- All concrete to be mechanically vibrated & carefully worked around the reinforcement & into the corners of the formwork.
- Ribraft make-up to be

100mm Floor Slab - 220mm pods
(25MPa TC2 Dramix 4D 80/60 Fibre Mix Concrete)
G500E SE-62 Ductile mesh on 50mm chairs

The design Fibre mix shall be supplied so that the residual flexural tensile stresses $f_{R,1}$ & $f_{R,4,K}$ shall be 1.5 MPa & 1.0 MPa respectively.

INSPECTIONS

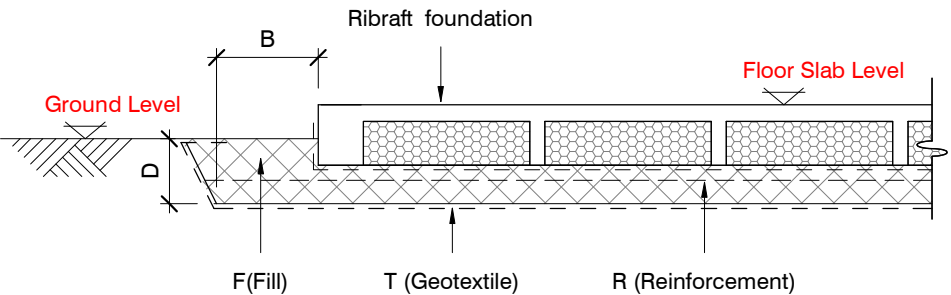
Inform ENGCO consulting 48 hours in advance of any inspections required for code compliance certification.
Contact ENGCO - Ph. 03 366 7955 & quote ENGCO Ref. No.

INSPECTIONS REQUIRED

- Confirm bearing at excavation - by clients own Geotechnical Engineer
- Contractor to supply (4)N.D. tests at mid height and finished compacted surface - if depth of fill is greater than 400mm
- Pre-pour of slab - by Engco

GEOTECHNICAL REFERENCE:

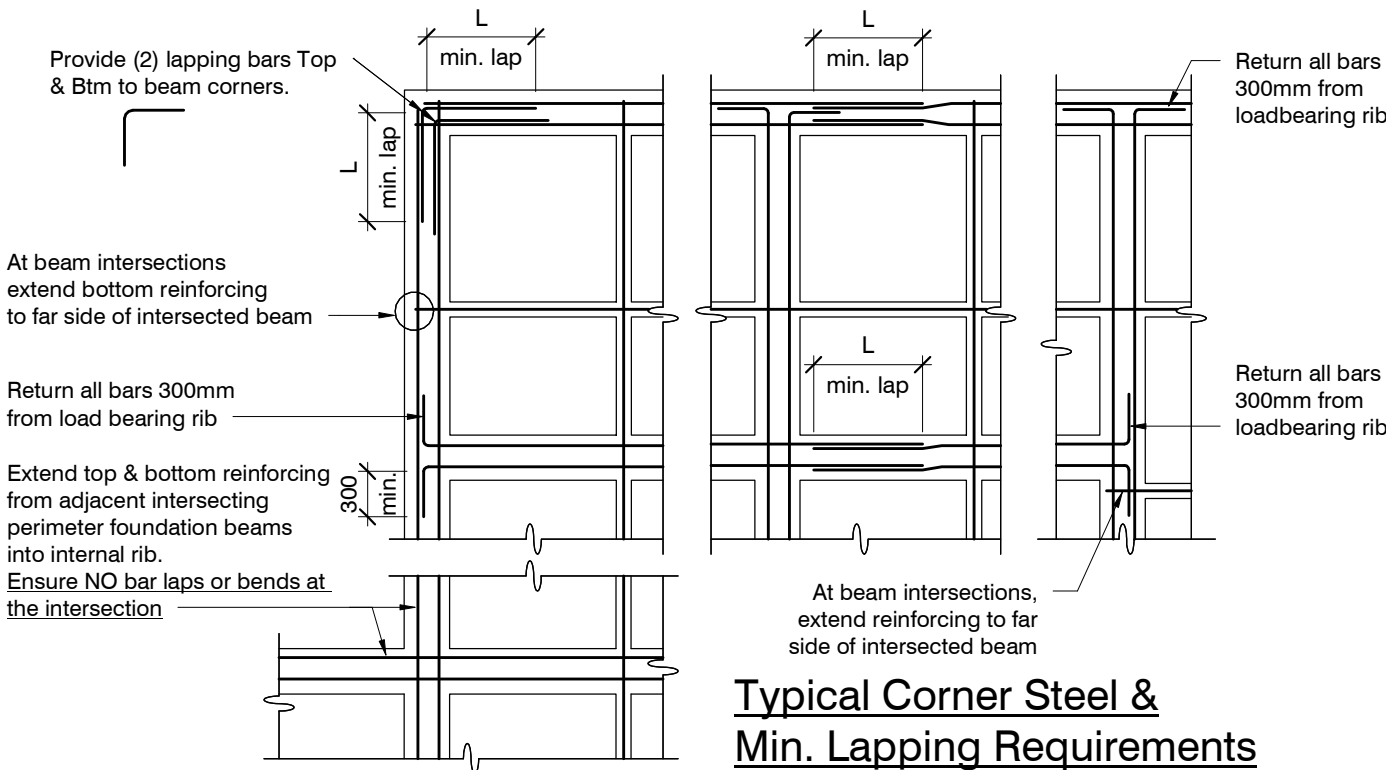
Refer: Engco Consulting Engineers
Geotechnical Report
Ref. No: 23000.008
Dated: 27 Feb 2023
Bearing: 200KPa



BUILDING PLATFORM

BUILDING PLATFORM TABLE:	
B	500mm
D	200mm bgl (approx) across building platform. Remove top soil and unsuitable fill
T	N/A
R	N/A
F	AP40 or AP65 - 95% Dry Density. Compact in 150mm layers max.

Refer Architectural drawings for Finished Floor Level



Typical Corner Steel & Min. Lapping Requirements

N.T.S.

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BC230318 5/05/2023 co-michaelmo

-	07.03.2023	Consent

design	N. Munro	file	23008.030
drawn	R. Houghton	dwg	S1
appvd	M. Cusiel	rev.	-
date	March 2023		



New House
Lot 679 Ravenswood, Woodend

General Notes

GENERAL NOTES: BC230318

Locations shown of internal floor beam thickenings are indicative only. It shall be the responsibility of the Contractor to ensure that they are located centrally under the load bearing walls to which they pertain.

Under no circumstance should pipework for services be run longitudinally in 100mm ribs. Similarly they should not be run along perimeter foundations nor internal floor beam thickenings

Vertical or horizontal penetrations through the foundation edge beam or floor beam thickenings must be made through the middle third of the member. Vertical penetrations should not be made through 100 mm ribs.

Refer to Architects drawings for floor slab, set downs, steps, rebates, holding down bolts, cast-in componentry and the like.

KEY:



(2) H12 (x1200)
at 200 crs.

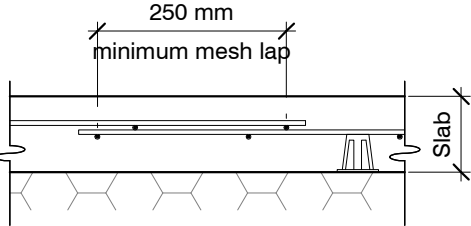


1100 x 1100 pod
(typ.)

100mm Floor Slab - 220mm pods
(25MPa TC2 Dramix 4D 80/60 Fibre Mix Concrete)
G500E SE-62 Ductile mesh on 50mm chairs

The design Fibre mix shall be supplied so that the residual flexural tensile stresses $f_{R,1}$ & $f_{R,4,K}$ shall be 1.5 MPa & 1.0 MPa respectively.

All Mesh shall lap a minimum of 250mm
(end of extensions not included).



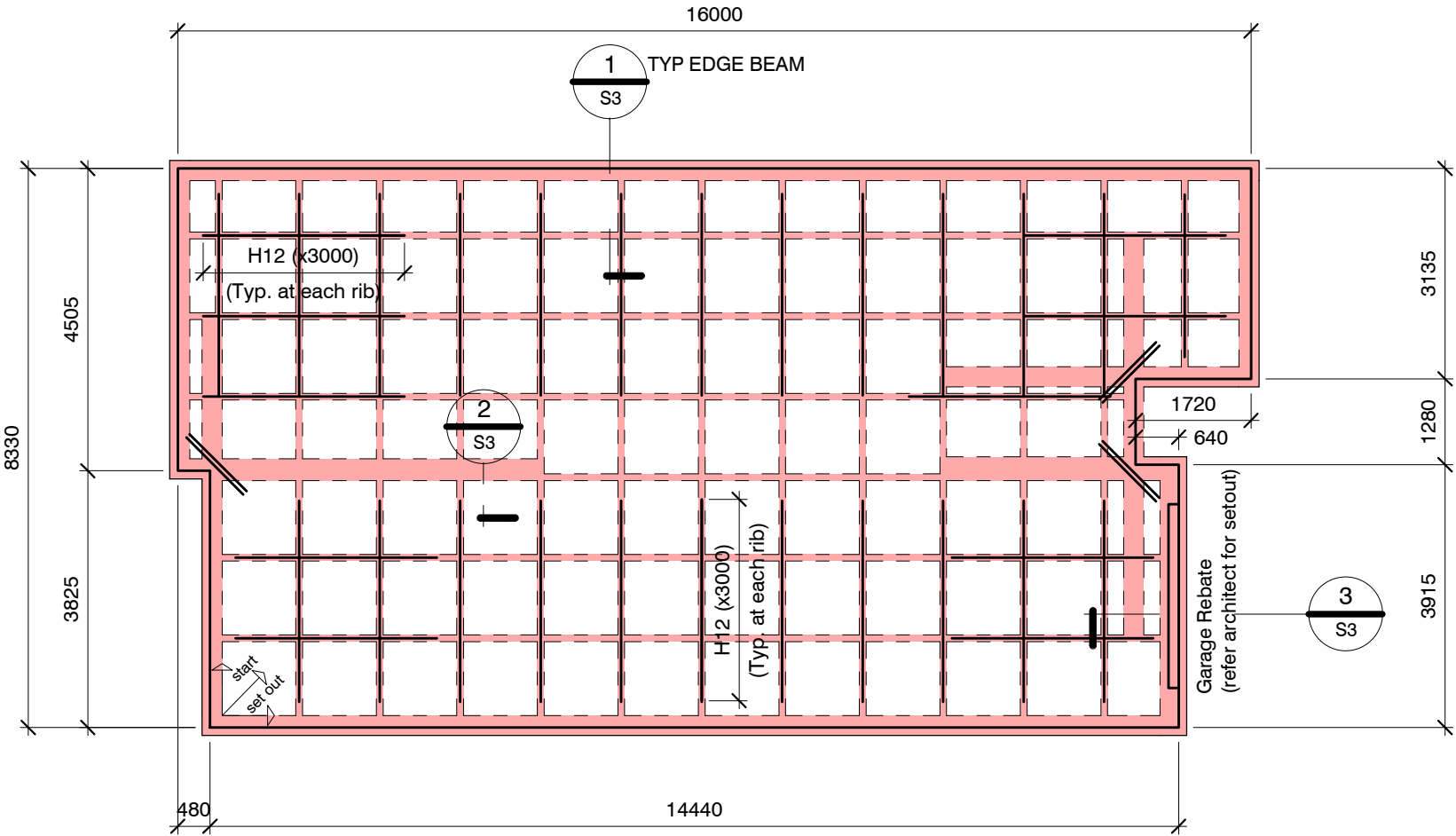
WAIMAKARIRI DISTRICT COUNCIL
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Regulations 1992, Clause 3
BC230318 5/05/2023 co-michaelmo

ORIGINAL SIZE = A3

revisions	-	07.03.2023	Consent

design N. Munro
drawn R. Houghton
appvd M. Cusiel
date March 2023

file 23008.030
dwg S2
rev. -



RIBRAFT FOUNDATION LAYOUT PLAN

1 : 100

Confirm all dimension with Architects drawings



ENGCO
Consulting Engineers

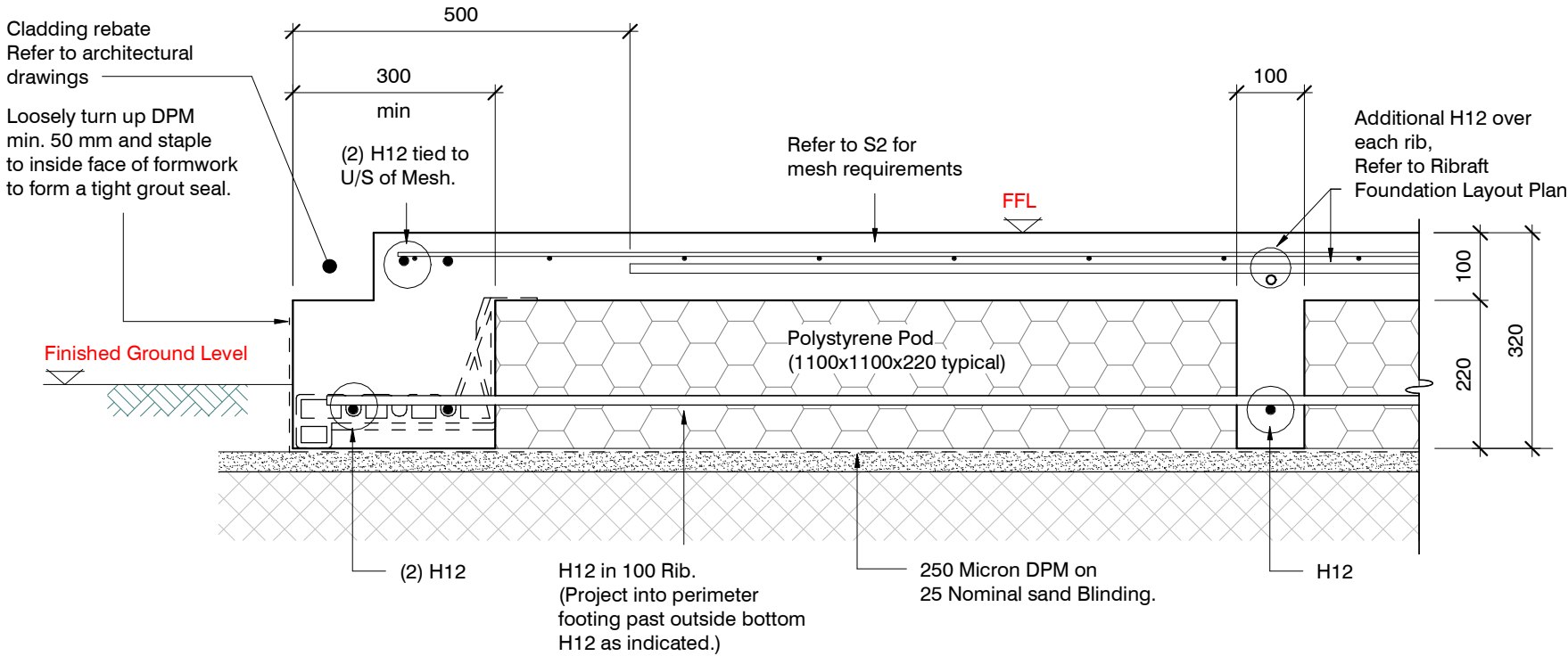
03 366 7955
office@engco.nz
www.engco.nz



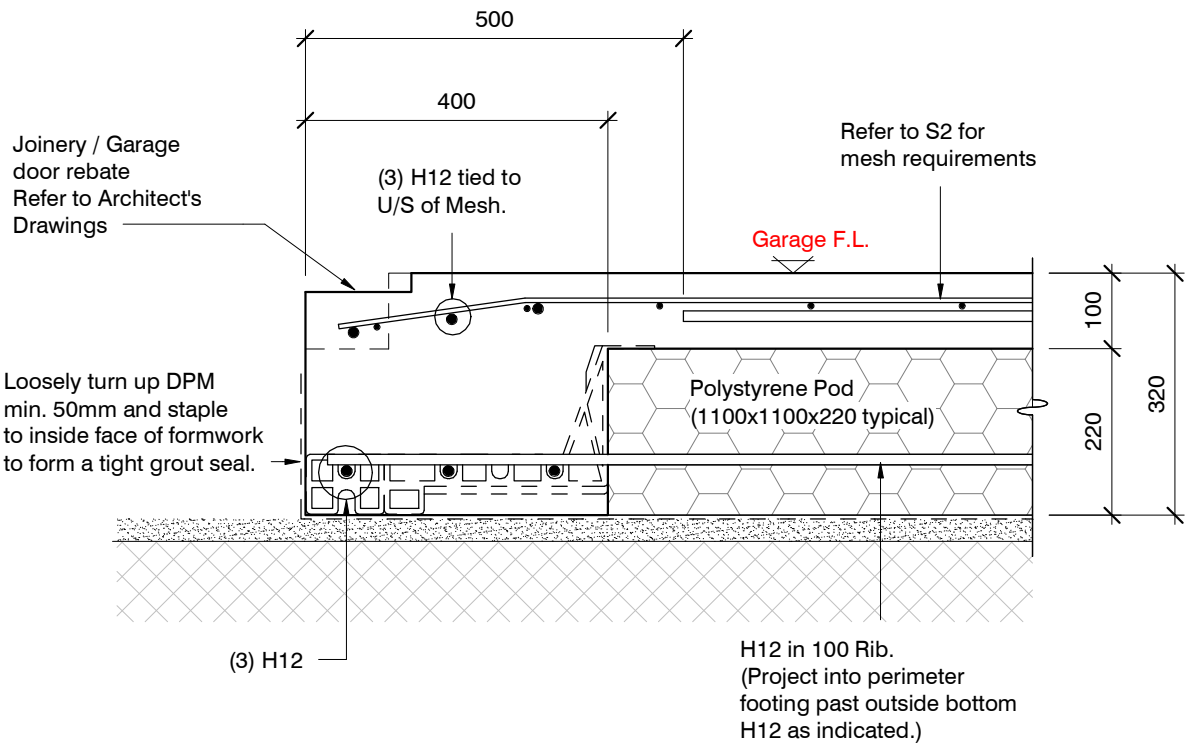
Signature
HOMES
YOUR HOME. YOUR WAY.

New House
Lot 679 Ravenswood, Woodend

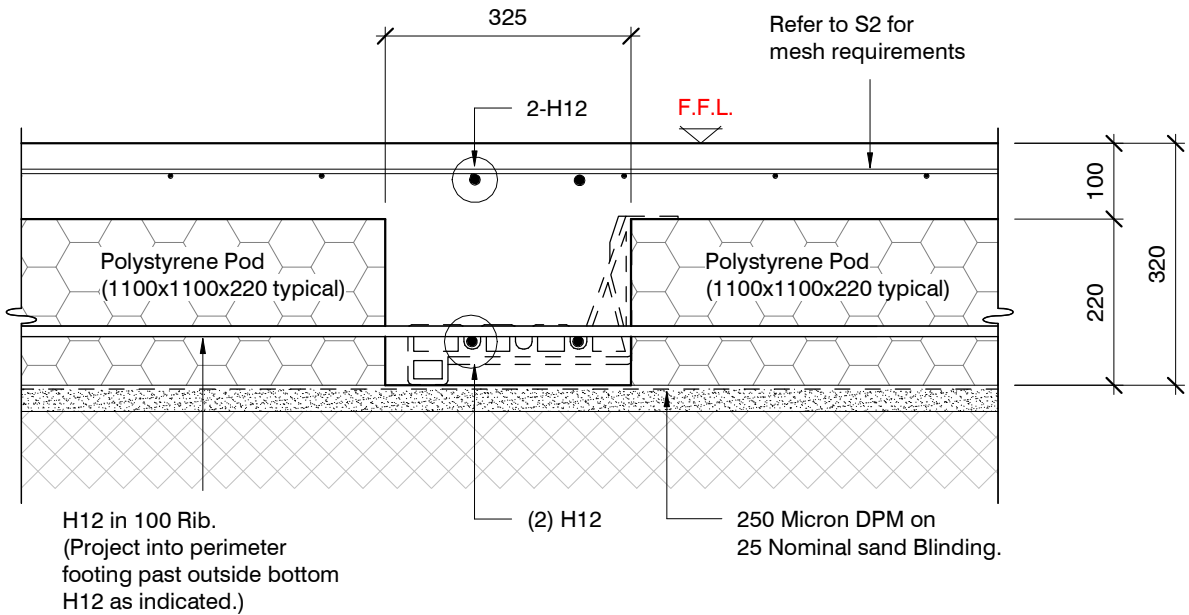
RibRaft Layout
Foundation Plan



SECTION 1 TYPICAL 300 WIDE EDGE BEAM
1 : 10



SECTION 3 GARAGE DOOR REBATE
1 : 10



SECTION 2 TYPICAL 300 WIDE INTERNAL BEAM
1 : 10

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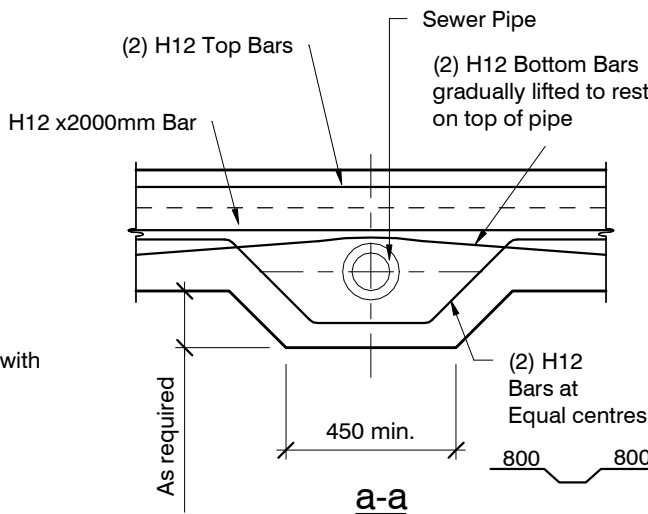
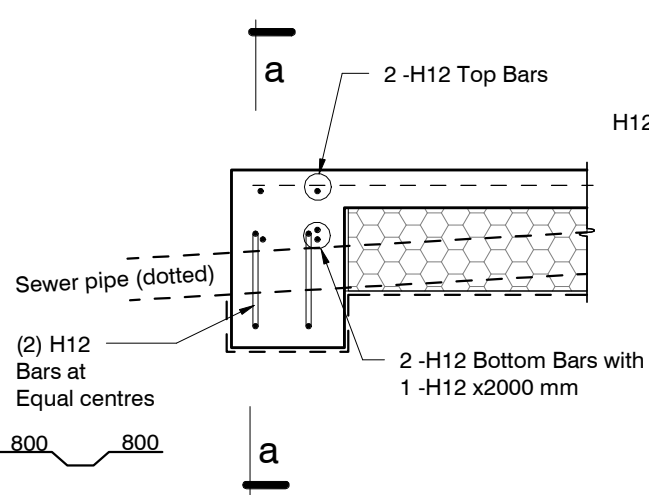
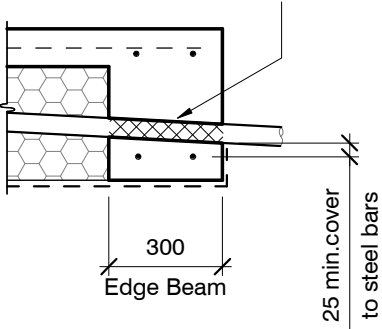
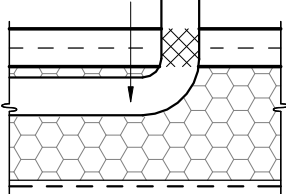
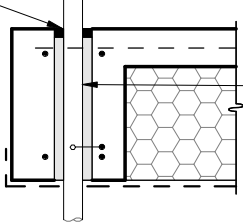
ORIGINAL SIZE = A3

Flexible Sealant as required
all round pipe perimeter

Sleeve 50 mm larger dia. than service pipe
Maximum sleeve dia. 150 mm
located in central part of beam.
Polystyrene packing all around pipe.

Pipes can be run in Pods under
slab panels. (Sleeve not required.)
Wrap in "Lagging" tape
where pipe crosses slab

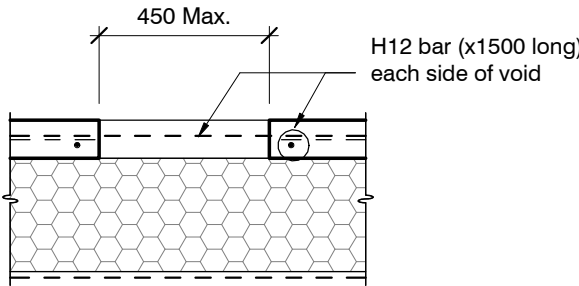
Pass pipe through edge beam
Avoid all reinforcing bars
(Sleeve not required)
Wrap in "Lagging" tape



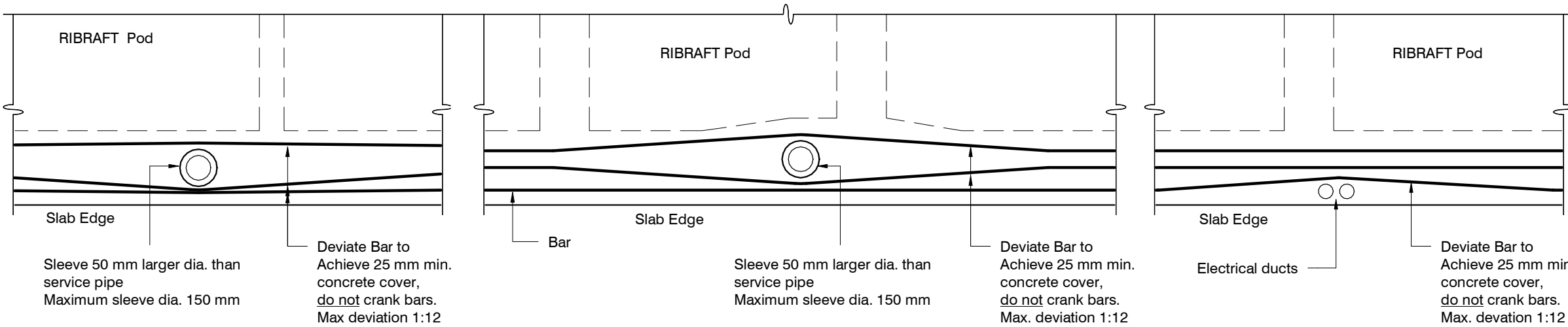
SLAB SERVICES PENETRATION DETAIL

PIPE NOTE:
No separation required where
pipes are fully contained within slab.
Sleeve all drains that pass through the
base of the slab.

PENETRATIONS NOTE:
Where penetrations through
Floor Slab exceed 450 mm Square,
Crack Control Bars will be required.



LARGE SLAB PENETRATION DETAIL

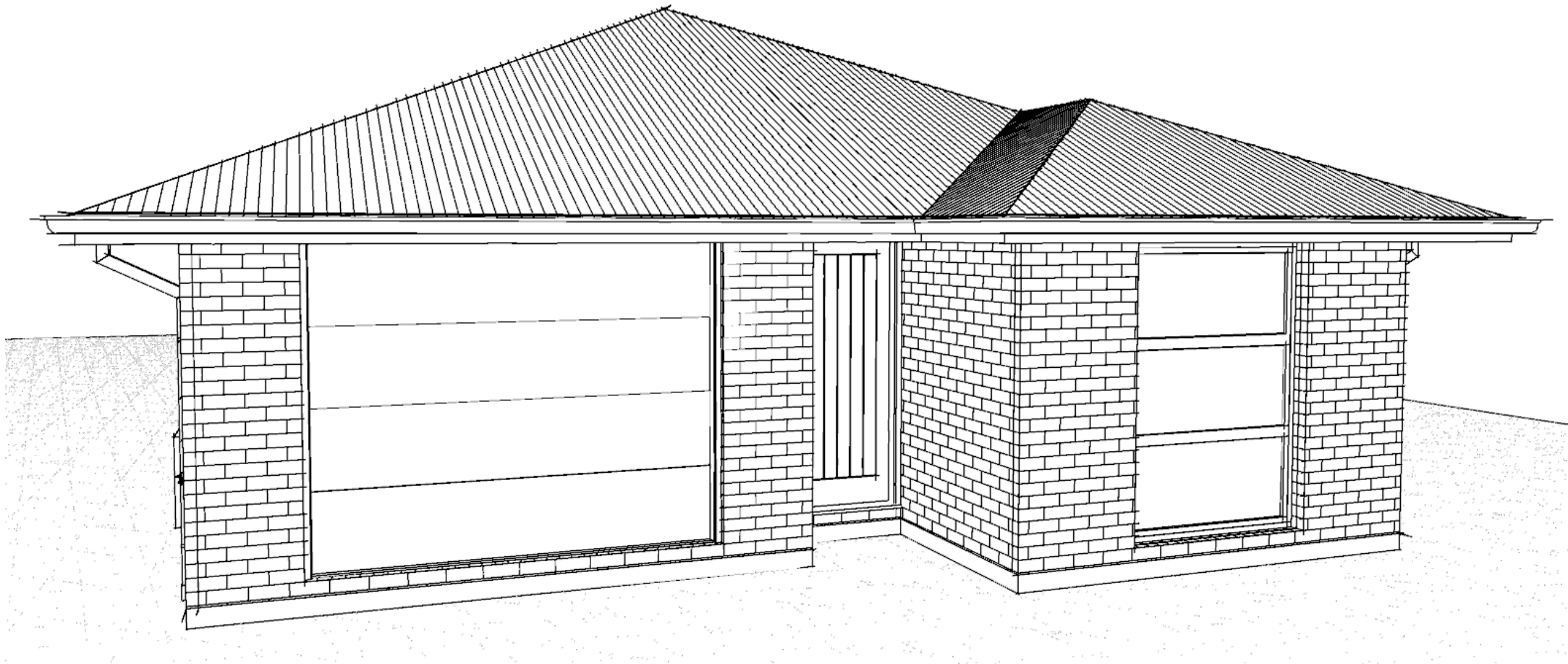


FOUNDATION SERVICES PENETRATION DETAILING.

Services shall not run along ribs or edge beams.

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ORIGINAL SIZE = A3

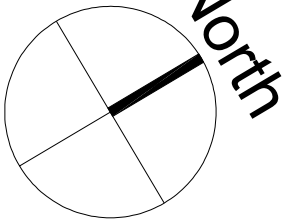


Contents:	
Sheet 1 :	Cover Sheet
Sheet 2 :	Site Plan
Sheet 3 :	Floor Plan
Sheet 4 :	Elevations
Sheet 5 :	Elevations
Sheet 6 :	Cross Sections
Sheet 7 :	Roof Plan
Sheet 8 :	Set Out Dimensions
Sheet 9 :	Foundation Plan
Sheet 10 :	Drainage Plan
Sheet 11 :	Bracing Plan
Sheet 12 :	Lighting Plan
Sheet 13 :	Framing Details
Sheet 14 :	Framing Details
Sheet 15 :	Construction Details
Sheet 16 :	Construction Details
Sheet 17 :	Construction Details
Sheet 18 :	Construction Details
Sheet 19 :	Bathroom Details
Sheet 20 :	Plumbing Details
Sheet 21 :	Truss Design
Sheet 22 :	Truss Design

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All dimensions are to be check and confirmed prior to any construction
 Plans are to be read in conjunction with Specifications and all supporting documentation

	TKR Homes Ltd. 31 Watts Road, Sockburn PO BOX 11 351 Christchurch 8443 P: +64 3 342 7788	These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail it required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.	Andrew Hannaway Lot 679 23 Chambers Avenue Ravenswood, Woodend	Job Number: 125083		Original Plan: KINGFISHER	Sheet Name: COVER PAGE		CONSENT PLANS			Sheet No.: 1 of 22 sheets
				Sales:	Drawn:	QS:	Print Date:	Scale:	No.	Date:	Reason:	
				D Ryan	M Glynn	A Villanueva	5/04/2023	@ A3	1	05-04-2023	Initial Consent Plans	



Site Area :	400m ²
Floor Area (veneer) :	131.06m ² / 32.77%
Roof Area :	156.41m ² / 39.10%

Wind	High
Earthquake	2
Exposure	C
Snow	N 4 at 50m (up to 1kPa)

Note: The dimensions shown are from cladding to boundary. Refer to sheet 8 for foundation to boundary dimensions.

Sediment control and site safety requirements are noted in the attached Specifications.

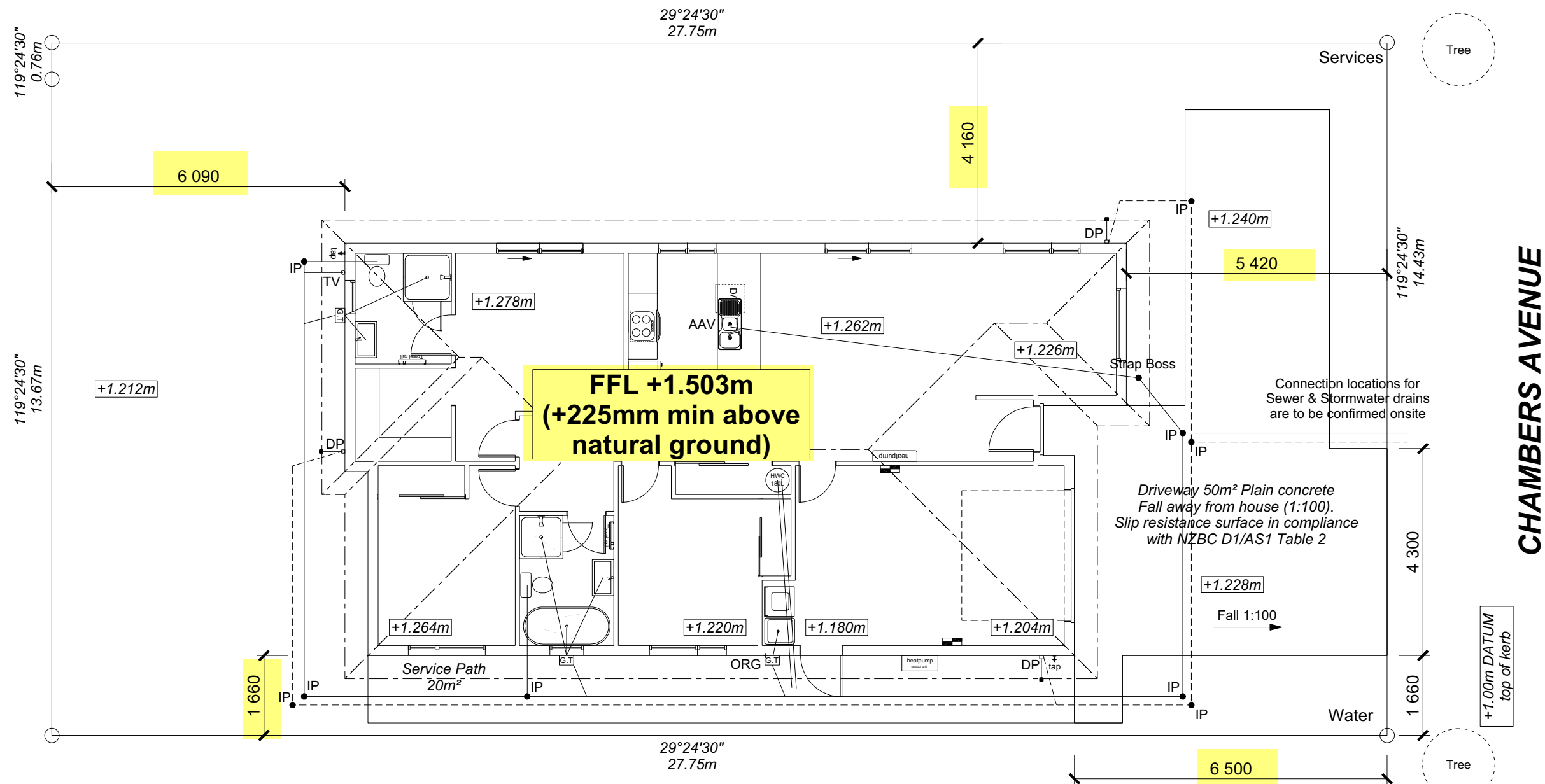
-----	Stormwater DN100mm uPVC
-----	Sewer Drain DN100mm uPVC
DP	Downpipe
GT	Gully Trap
ORG	Overflow Relief Gully
TV	Terminal Vent
AAV	Air Admittance Valve
IP	Inspection Point

These drawings are subject to copyright and remain the property of Signature Homes Ltd.

Verify all dimensions, sizes and levels on site prior to commencing any work. Any discrepancies are to be confirmed with Signature Homes Ltd.

Refer to attached Specifications for further information.

All work is to comply with the NZBC
Acceptable Solutions, NZS 3604:2011 and
Local Authority bylaws.



I hereby confirm that the building has been set out in accordance with consented site plans and the finished floor level complies with the minimum level indicated.

Signed Dated

Name

LBP No.

WAIMAKARIRI DISTRICT COUNCIL
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Provide safety fencing to perimeter of site - permanent or temporary - to comply with NZBC F5/AS1

All dimensions are to be check and confirmed prior to any construction
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TKR Homes Ltd.
31 Watts Road, Sockburn
PO BOX 11 351
Christchurch 8443

P: +64 3 342 7788

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Andrew Hannaway
Lot 679
23 Chambers Avenue
Ravenswood, Woodend

Job Number:
125083

Sales:	
D Ryan	

Drawn:
M Glynn

Original Plan:

KINGFISHER

QS:
A Villanueva

Sheet Name:

SITE PLAN

Print Date:
4/05/2023

Scale:
1:100 @ A3

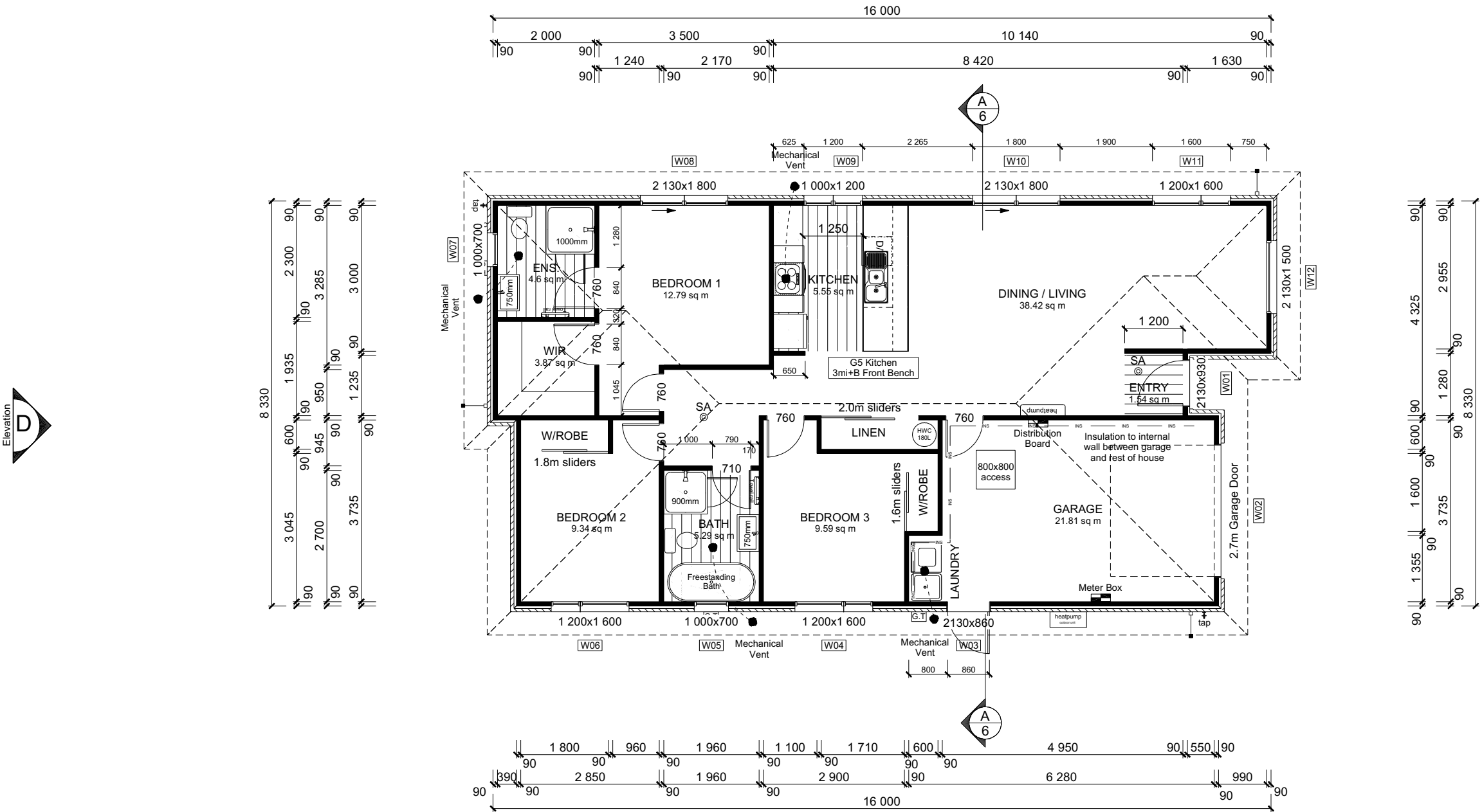
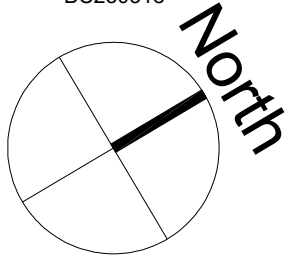
CONSENT PLANS

No.	Date:	Reason:
1	05-04-2023	Initial Consent Plans

Sheet No.:

2

22 sheets



ROOF & WALL CLADDINGS

Roof : 25° Corrugate Longrun
Walls : 70 Series Brick Veneer
with a 50mm cavity

DWELLING AREAS

Framing Area:125.01m² (Perimeter: 50.08m)
Veneer Area: 131.06m² (Perimeter:50.90m)
Roof Area: 156.41m² (Perimeter: 53.56m)

SMOKE ALARMS (hush type)

Domestic Smoke Alarms to be fitted within
3.0m of sleeping areas and on Escape routes,
as indicated on plan. To comply with one of
the following standards: UL 217, ULC-S531,
AS 3786, BS 5446 (part 1).

FLOOR PLAN NOTES

Dimensions shown are to the frame,
GIB thickness not shown.
Mechanical ventilation to comply with G4/AS1
Air Seals to have PEF rod & low expansion foam
All windows and doors centered in room unless
shown otherwise
Laundering facilities provided complying
with G2/SA1 1.0
Provide sealant under skirting and paint
to concrete around tub & W/M fixtures

WALL FRAMING

Stud Height: 2400 mm
(2455mm to u/s of bottom chord)

FLOOR FINISHES

Carpet & Vinyl

KITCHEN HOB

Electric Hobs

DOORS

Internal Height: 1980mm (leaves)
Leaf widths as shown on the plan (R/O +80mm)
Type: Hollow core flush panel
Front Door Type: Latitude Aluminium

WINDOW JOINERY

Low-E Double glazed aluminum
Standard single glazing to Garage

INTERNAL TRIMS

Scotia: 55mm GIB Coving (excluding garage)
Skirting: 60x12mm Pine, single bevel edge
Architrave: N/A

SHELVING

Shelf & Rails to all wardrobes except
Walk-in-Robe
4 shelves to Linen cupboard up to 1500mm

DRAWING NOTES

These drawings are subject to copyright
and remain the property of Signature
Homes Ltd.


Verify all dimensions, sizes and levels on
site prior to commencing any work. Any
discrepancies are to be confirmed with
Signature Homes Ltd.

Refer to attached Specifications for further
information.

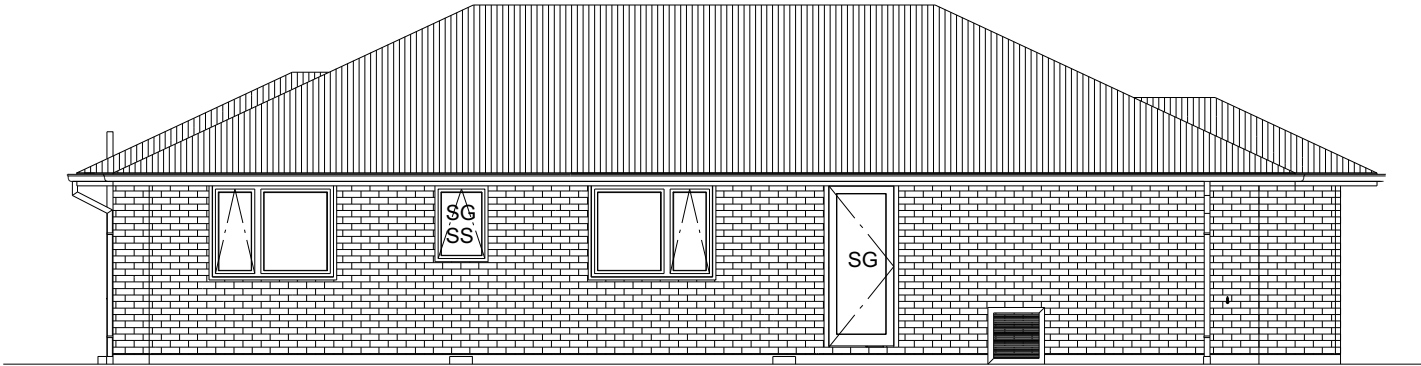
All work is to comply with the NZBC
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				Sales: D Ryan	Drawn: M Glynn	QS: A Villanueva	Print Date: 5/04/2023	Scale: 1:100 @ A3	No. 1	Date: 05-04-2023	Reason: Initial Consent Plans	

BUILDING ENVELOPE RISK MATRIX		
ELEVATION A		
RISK CRITERIA	RISK	SCORE
Wind Zone	High	1
Number of Stories	Low	0
Roof Wall Junction	Low	0
Eaves Width	Medium	1
Building Envelope	Low	0
Decks & Balconies	Low	0
Total		2



ROOF & WALL CLADDINGS

Roof : 25° Corrugated Colorsteel
 Walls : 70 Series Brick Veneer with a 50mm cavity

ELEVATION LEGEND

SS Safety Stays
 SG Safety Glass
 MB Meter Box
 TV Terminal Vent

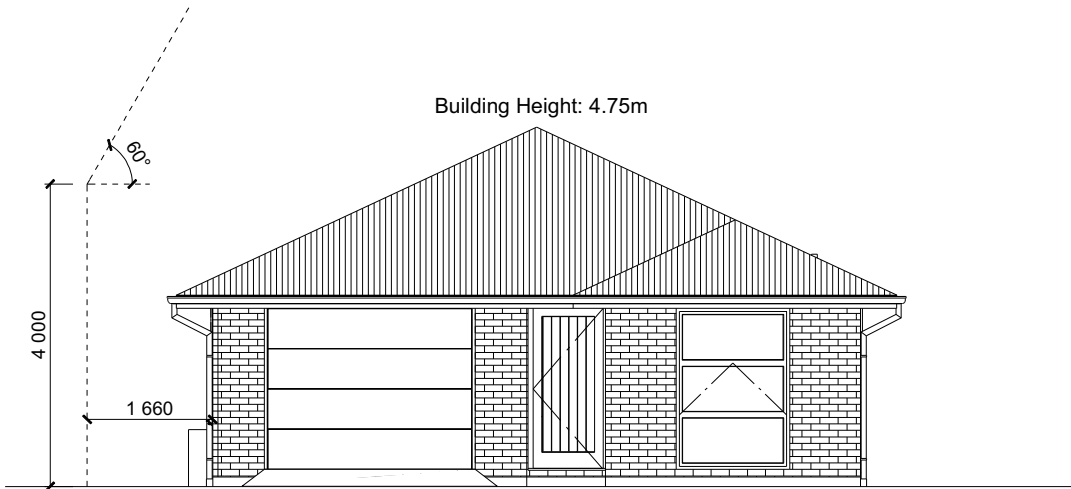
ELEVATION NOTES

Gutter : Coloured Steel Quad Gutter
 Fascia : Coloured Steel 185 Fascia
 Downpipes : Colorsteel Rectangular 75x55mm
 Soffits : Hardiflex 4.5mm
 Joinery : Low-E Double glazed aluminum

All egress points to have a maximum step down of 190mm.
 Access routes to have slip resistance surface in compliance with NZBC D1/AS1 Table 2 and to have a 1:100 fall away from the building

ELEVATION A


BUILDING ENVELOPE RISK MATRIX		
ELEVATION B		
RISK CRITERIA	RISK	SCORE
Wind Zone	High	1
Number of Stories	Low	0
Roof Wall Junction	Low	0
Eaves Width	Medium	1
Building Envelope	Low	0
Decks & Balconies	Low	0
Total		2



ELEVATION B

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 BC230318 5/05/2023 co-michaelmo

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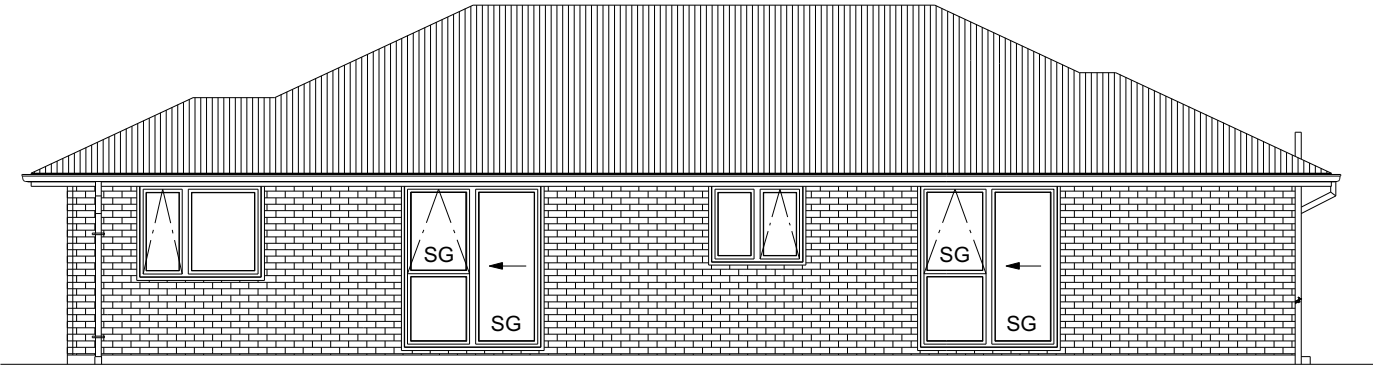
	TKR Homes Ltd. 31 Watts Road, Sockburn PO BOX 11 351 Christchurch 8443 P: +64 3 342 7788	These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail it required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.	Andrew Hannaway Lot 679 23 Chambers Avenue Ravenswood, Woodend	Job Number: 125083		Original Plan: KINGFISHER	Sheet Name: ELEVATIONS		CONSENT PLANS			Sheet No.: 4 of 22 sheets
				Sales: D Ryan	Drawn: M Glynn	QS: A Villanueva	Print Date: 5/04/2023	Scale: 1:100 @ A3	No. 1	Date: 05-04-2023	Reason: Initial Consent Plans	

ROOF & WALL CLADDINGS		
Roof :	25° Corrugated Galvalume	
Walls :	70 Series Brick Veneer with a 50mm cavity	

ELEVATION LEGEND	
SS	Safety Stays
SG	Safety Glass
MB	Meter Box
TV	Terminal Vent

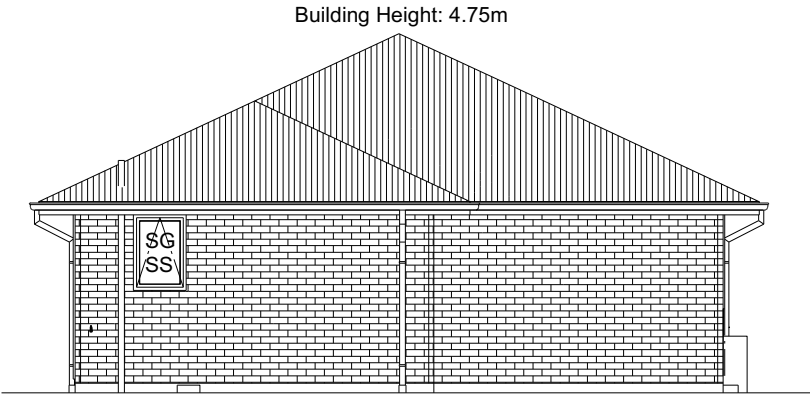
ELEVATION NOTES	
Gutter : Coloured Steel Quad Gutter	
Fascia : Coloured Steel185 Fascia	
Downpipes : Colorsteel Rectangular 75x55mm	
Soffits : Hardiflex 4.5mm	
Joinery : Low-E Double glazed aluminum	
All egress points to have a maximum step down of 190mm.	
Access routs to have slip resistance surface in compliance with NZBC D1/AS1 Table 2 and to have a 1:100 fall away from the building	

BUILDING ENVELOPE RISK MATRIX		
ELEVATION C		
RISK CRITERIA	RISK	SCORE
Wind Zone	High	1
Number of Stories	Low	0
Roof Wall Junction	Low	0
Eaves Width	Medium	1
Building Envelope	Low	0
Decks & Balconies	Low	0
Total		2



ELEVATION C


BUILDING ENVELOPE RISK MATRIX		
ELEVATION D		
RISK CRITERIA	RISK	SCORE
Wind Zone	High	1
Number of Stories	Low	0
Roof Wall Junction	Low	0
Eaves Width	Medium	1
Building Envelope	Low	0
Decks & Balconies	Low	0
Total		2



ELEVATION D

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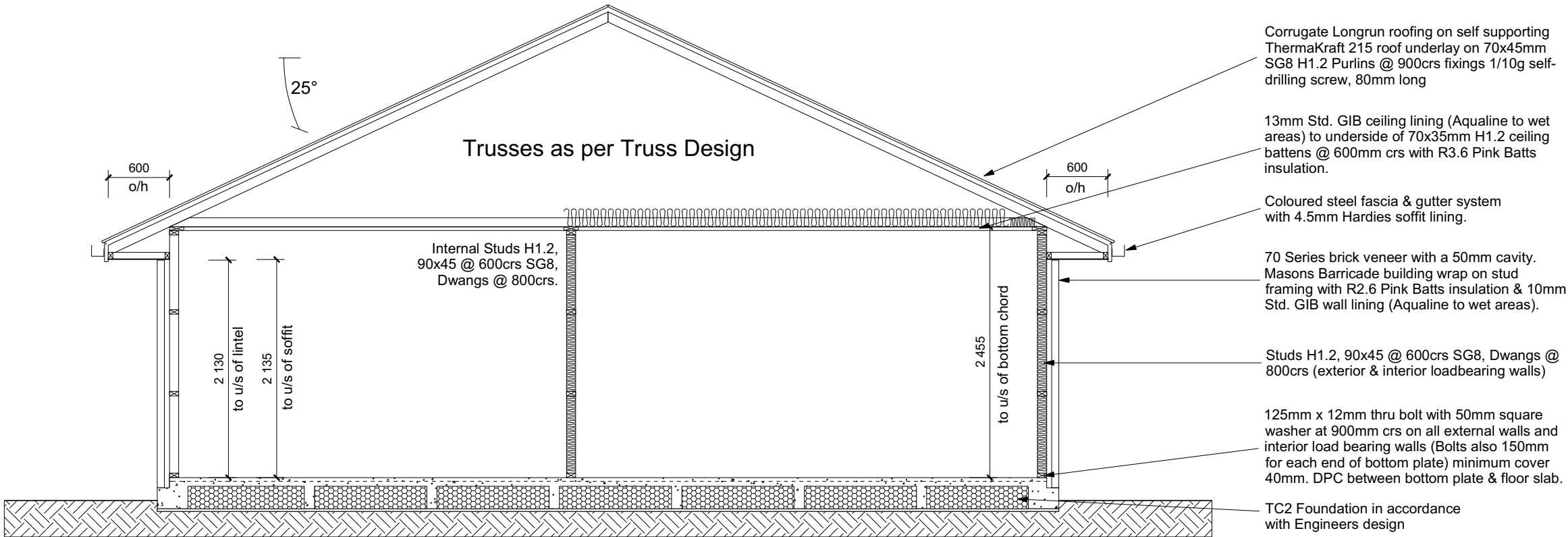
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				Sales: D Ryan	Drawn: M Glynn	QS: A Villanueva	Print Date: 3/05/2023	Scale: 1:100 @ A3	No. 1	Date: 05-04-2023	Reason: Initial Consent Plans	

ROOF & WALL CLADDINGS
 Roof : 25° Corrugate Longrun
 Walls : 70 Series Brick Veneer with a 50mm cavity

CROSS SECTION NOTES
 Building wrap is to comply with E2/AS1 & NZS 3604:2011.
 Flashing materials must be selected based on environmental exposure. Refer to NZS 3604:2011 & table 20 of E2/AS1.
 Flashing tape must have proven compatibility with the selected wrap & other materials with which it comes into contact as per table 21 of E2/AS1.
 Fixings shall comply with NZS 3604:2011 Section 4 Durability Tables 4.1-4.3
 Unless stated otherwise, timber members on drawings are to be a minimum of SG8 strength graded as per NZS3604:2011.

 Joinery: Low-E Double glazed aluminum

INSULATION
 Ceiling: Pink Batts R3.6 Ceiling Batts
 Wall: Pink Batts R 2.6 Wall Batts



CROSS SECTION A-A

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 BC230318 5/05/2023 co-michaelmo


DRAWING NOTES
 These drawings are subject to copyright and remain the property of Signature Homes Ltd.

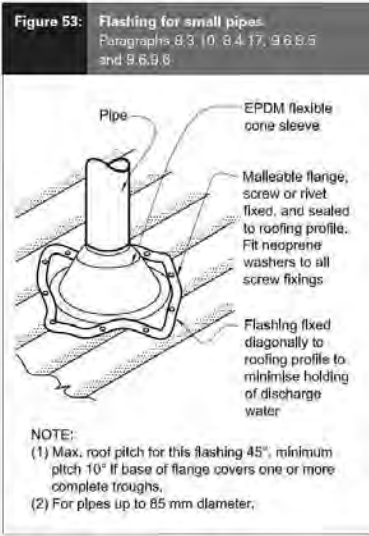
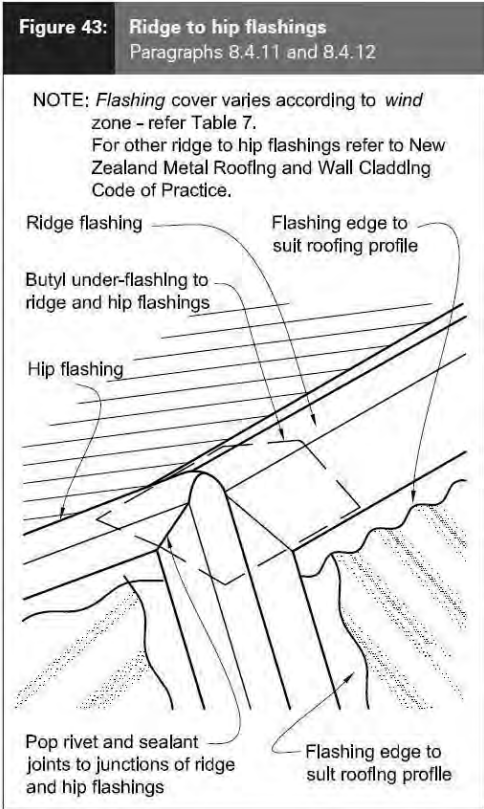
 Verify all dimensions, sizes and levels on site prior to commencing any work. Any discrepancies are to be confirmed with Signature Homes Ltd.

 Refer to attached Specifications for further information.

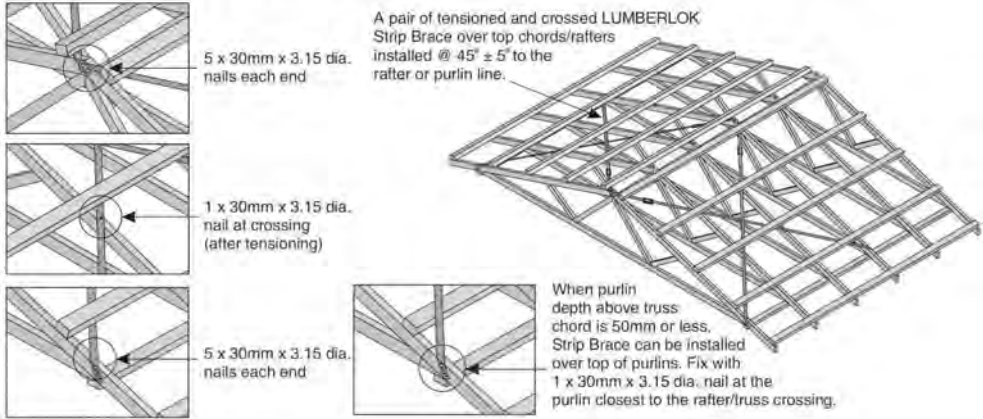
 All work is to comply with the NZBC Acceptable Solutions, NZS 3604:2011 and Local Authority bylaws.

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				Sales: D Ryan	Drawn: M Glynn	QS: A Villanueva	Print Date: 5/04/2023	Scale: 1:50 @ A3	No. 1	Date: 05-04-2023	Reason: Initial Consent Plans	



- A pair of tensioned and crossed LUMBERLOK Strip Brace running continuously from ridge to top plate installed as detailed below.



ROOF CLADDING

Roofing : 25° Corrugated Coloursteel
 Purlins : 70x45 SG8 H1.2 @ 900crs, fixings 1/10g self-drilling screw, 80mm long.
 End span of purlins to be 600crs as per E2 Table 11.

ROOF PLAN NOTES

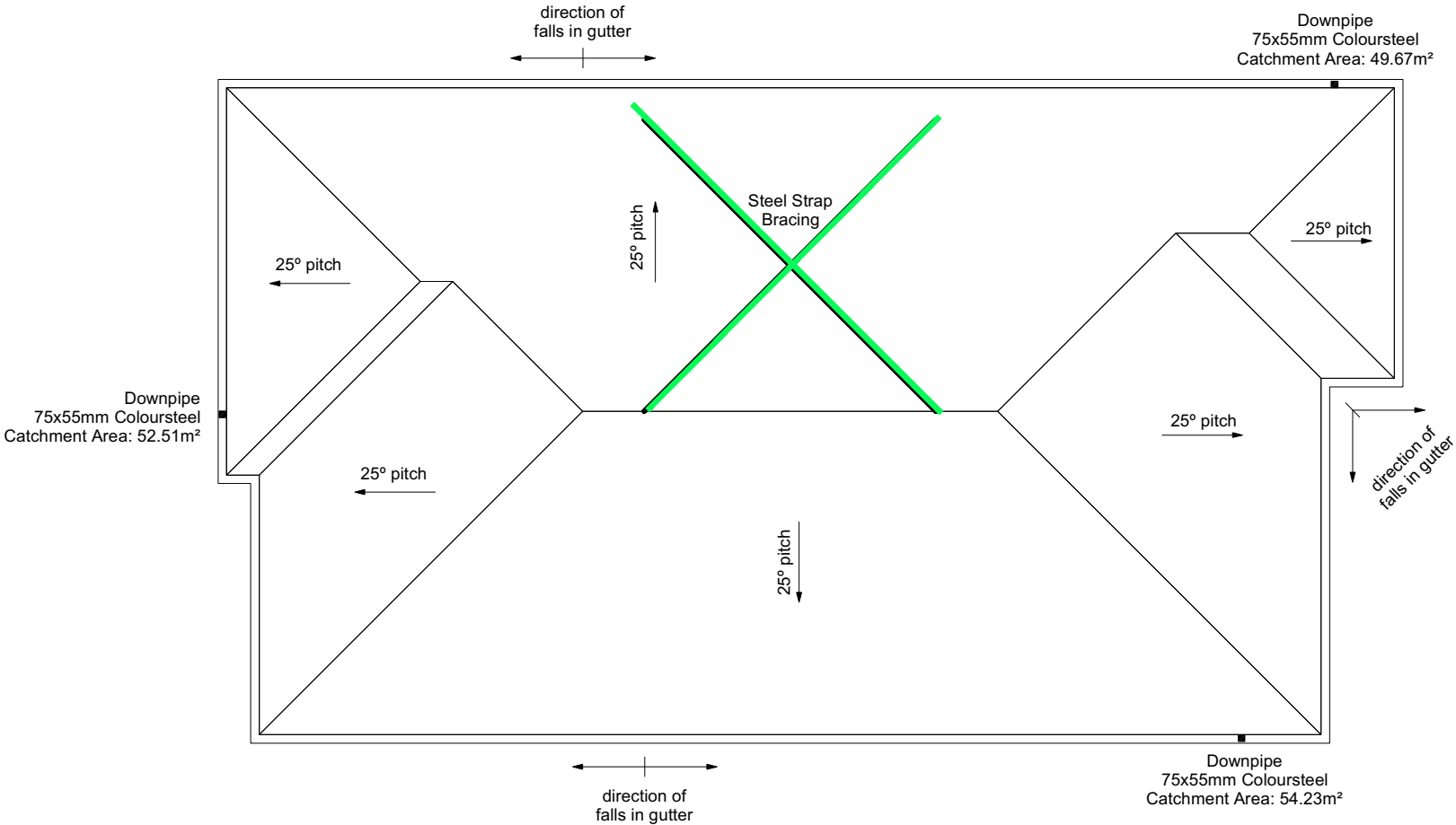
Gutter: Coloured Steel Quad Gutter
 Fascia: Coloured Steel 185 Fascia
 Downpipes: Colorsteel Rectangular 75x55mm
 Soffits: Hardiflex 4.5mm

Underlay: Thermakraft 215 roof underlay

Downpipes: 75x55 Rectangle Colorsteel
 As per NZBC E1/AS1 Table 5 75x55 down pipes can collect up to 60m² of 0-25° roof plan area.


Use Coloured steel Quad Gutter
 As per NZ Metal Roof and Wall Cladding Code of Practice Version 2 section 8 the above gutter with a cross sectional area of 5550mm² can collect up to 60m² of 0-25° roof plan area. Refer to the specifications for exact calculations.

Use Lumberlock top plate fixing chart attached to the main specifications to determine top plate fixings.

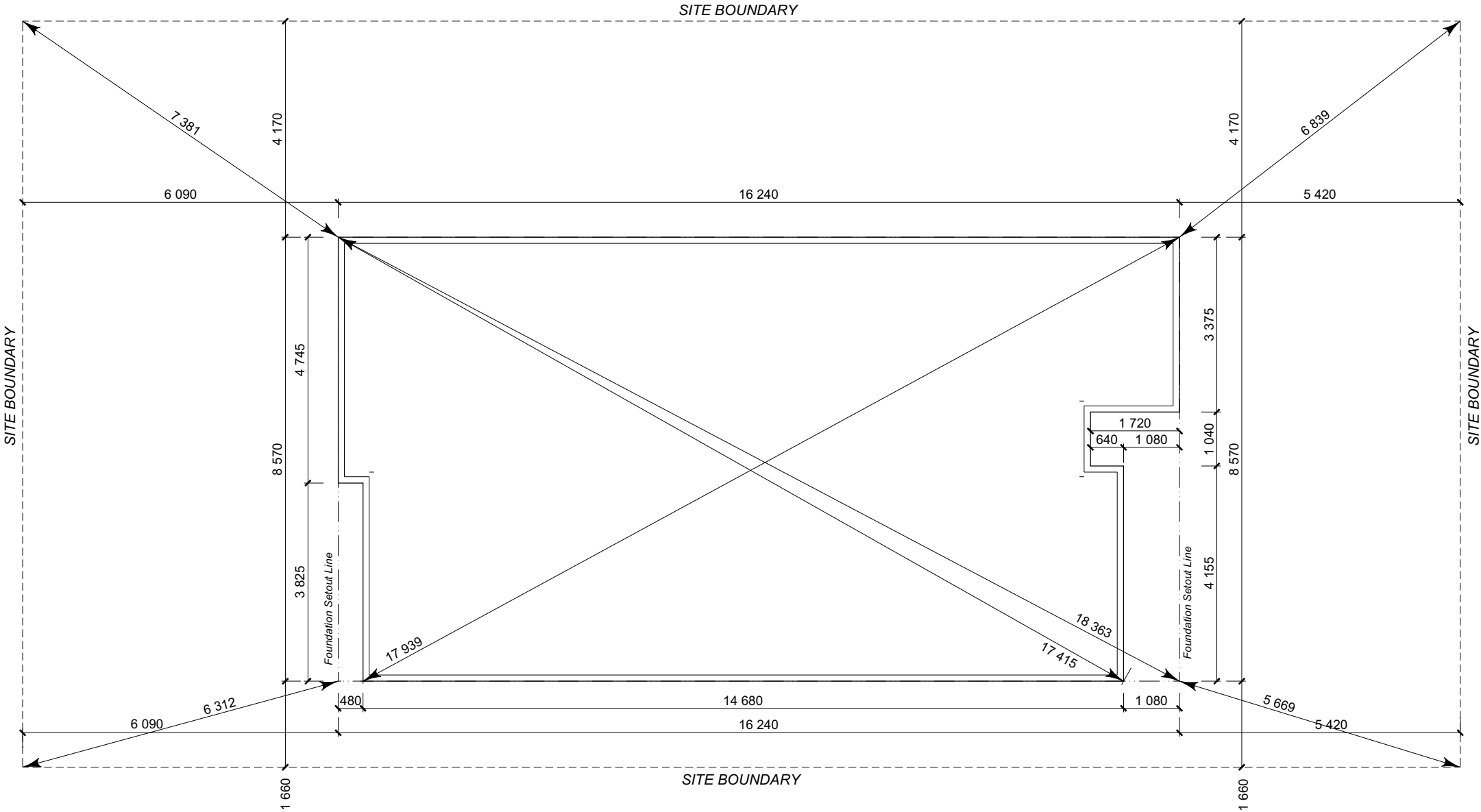


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				125083		KINGFISHER		ROOF PLAN		No.	Date:	Reason:		7	
										1	05-04-2023	Initial Consent Plans			
				Sales:		Drawn:		QS:		Print Date:		Scale:			of 22 sheets
				D Ryan		M Glynn		A Villanueva		5/04/2023		1:100 @ A3			

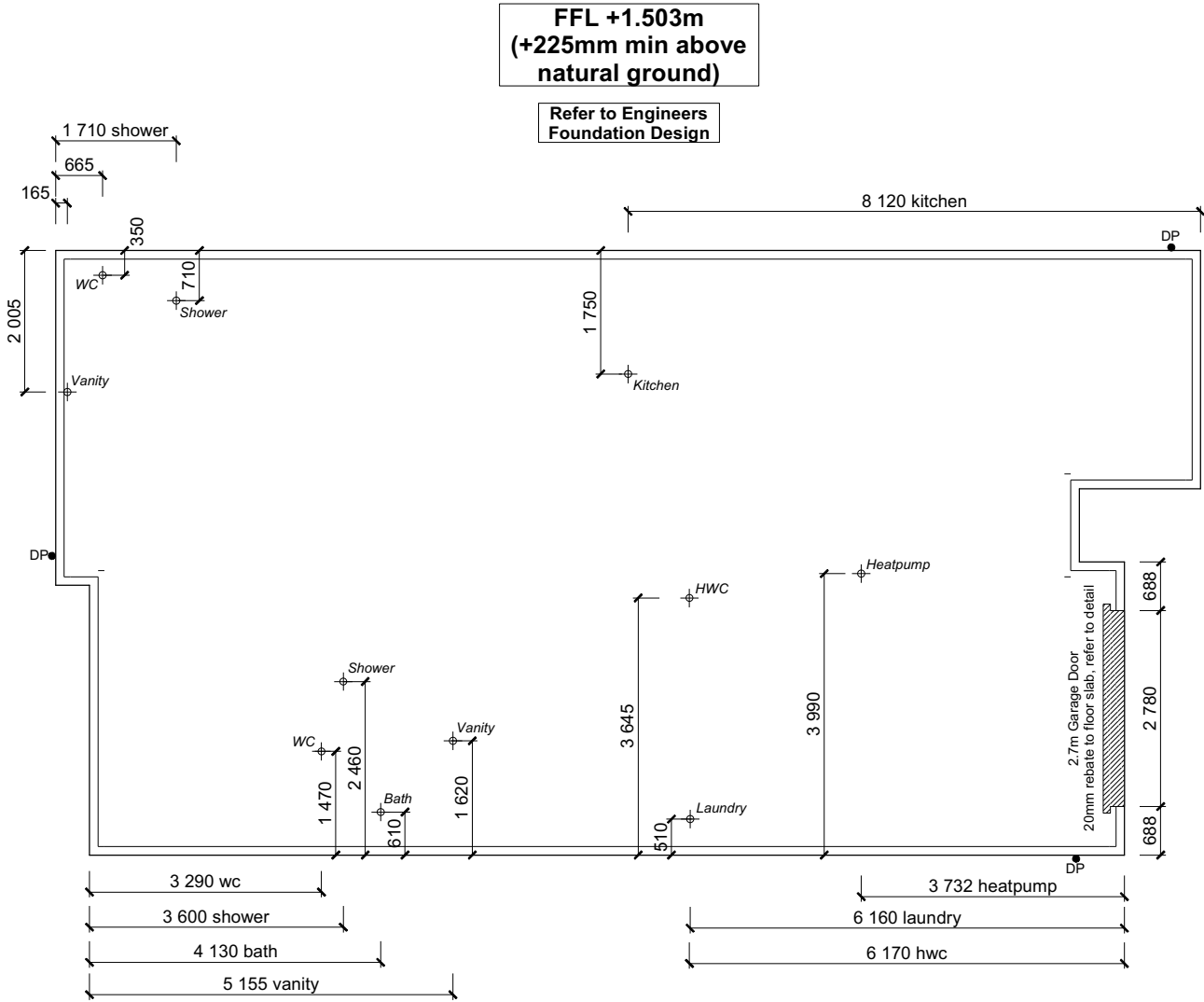
SET OUT PLAN NOTES
 BC230318
 All dimensions over foundation face. Allow (120mm rebate) 70mm veneer & 50mm cavity, Brick to overhang foundation face by 0-20mm max as per NZBC E2/AS1.
 All reinforcing is to be Ductility Class E, in accordance with NZS 4671.
 All concrete to comply with NZS3604:2011 Section 4 Durability Clause 4.5.2.
 These foundations are design to the findings and recommendations in the site specific Geotech report.



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									No.	Date:	Reason:	8
									1	05-04-2023	Initial Consent Plans	
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FOUNDATION PLAN NOTES
BC230318

All dimensions over foundation face. Allow (120mm rebate) 70mm veneer & 50mm cavity, Brick to overhang foundation face by 0-20mm max as per NZBC E2/AS1.

W/C location indicated on plan has assumed a 140mm offset from internal frame line, please consult manufacturer's documentation to confirm offset.

Contractor to consult manufacturer's documentation to determine the correct location for all wastes positioned through floor slabs.

Earth bar to be bonded to the reinforcing mesh

Refer to Truss design for exact location of slab thickenings

All reinforcing is to be Ductility Class E, in accordance with NZS 4671.


All concrete to comply with NZS3604:2011 Section 4 Durability Clause 4.5.2.

These foundations are design to the findings and recommendations in the site specific Geotech report.

AREA TO PERIMETER RATIO	
Foundation Area:	131.06m²
Perimeter:	50.90m
Ratio:	2.57

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				Sales: D Ryan		Drawn: M Glynn		QS: A Villanueva		Print Date: 5/04/2023		Scale: 1:100 @ A3		No.	Date:	Reason:	
														1	05-04-2023	Initial Consent Plans	

Plumbing Schedule	NZBC G13	BC230318
Kitchen		
Sink:	Ø50mm @1:40	(3 discharge units)
Bathrooms		
Vanity:	Ø40mm @ 1:40	(1 discharge units per basin)
Shower:	Ø40mm @1:40	(2 discharge units)
Bath:	Ø40mm @1:40	(4 discharge units)
WC:	Ø100mm @1:40	(4 discharge units)
Laundry Sink:	Ø40mm @1:30	(5 discharge units)
Drainage Schedule	NZBC G13	
Main Foulwater		
Vented Drain	Ø100mm @1:60	
Stormwater Drain	Ø100mm @1:60 (1:120max)	
Terminal Vent	Ø80mm	
Vent	Ø50mm	
Heatpump	Drain over GT	
ORG	Overflow Relief Gully	
Hot water Cylinder	min 20mm Drain over GT	

Notes:

All plumbing and drainage to comply with NZBC G13.

ORG to be positioned so the top of gully dish is no less than 150mm below overflow level of lowest fixture

Sewer & Stormwater to connect to existing connections.

All drains passing through concrete, provide sleeve or wrap in durable and flexible to allow for expansion and contraction. (as per G13/AS2 5.8.1)

HWC: Safe tray to HWC with 50mm overflow drain to exterior to comply with G12/AS1.

DRAINAGE LEGEND	
-----	Stormwater DN100mm uPVC
-----	Sewer Drain DN100mm uPVC
DP	Downpipe
GT	Gully Trap
ORG	Overflow Relief Gully
TV	Terminal Vent
AAV	Air Admittance Valve
IP	Inspection Point

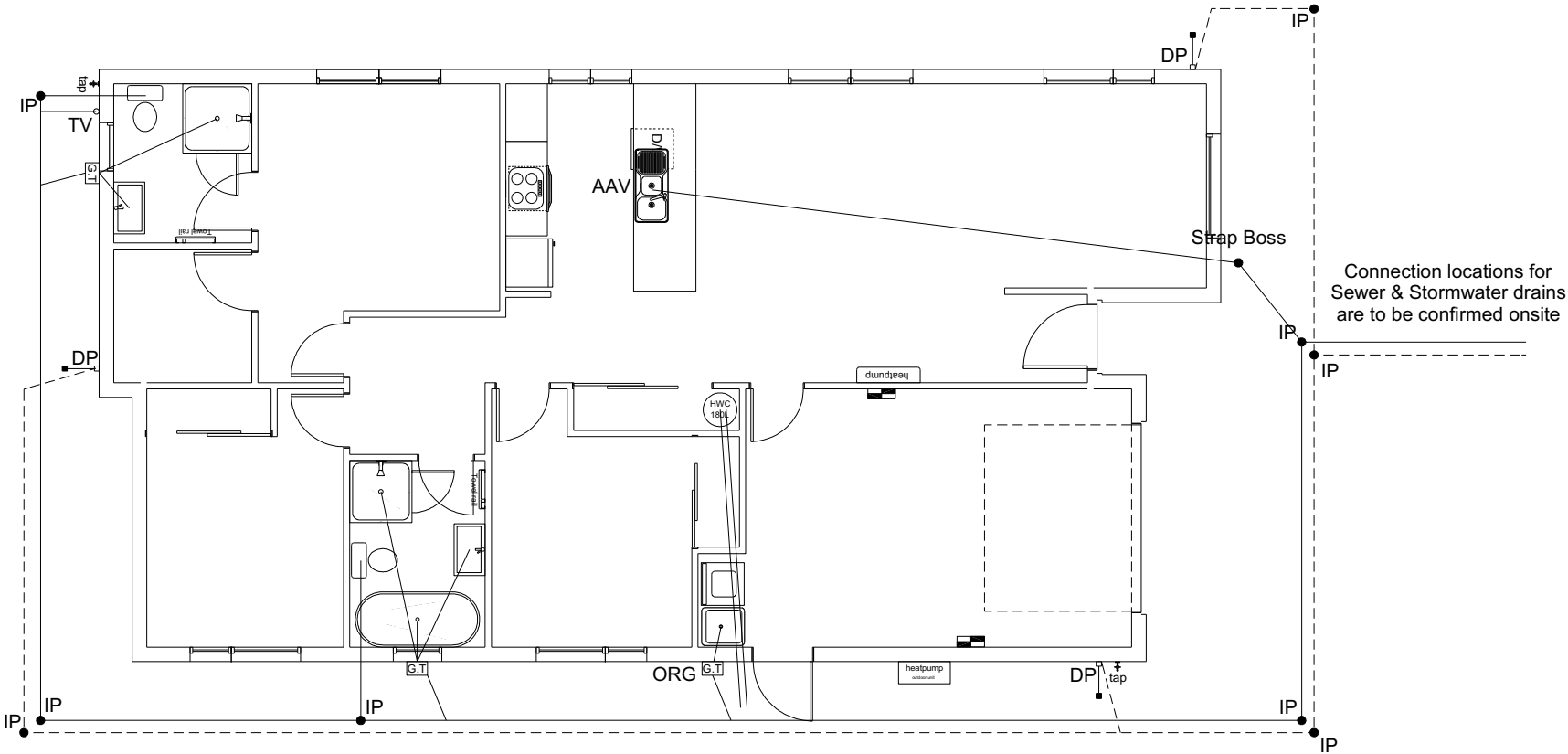
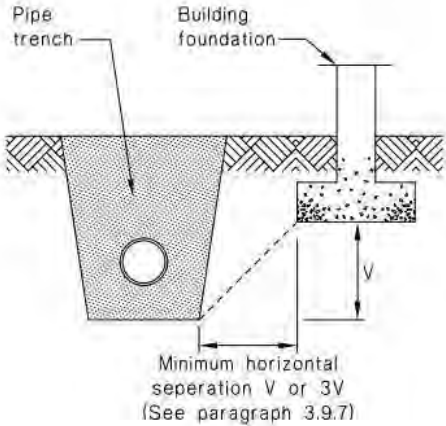



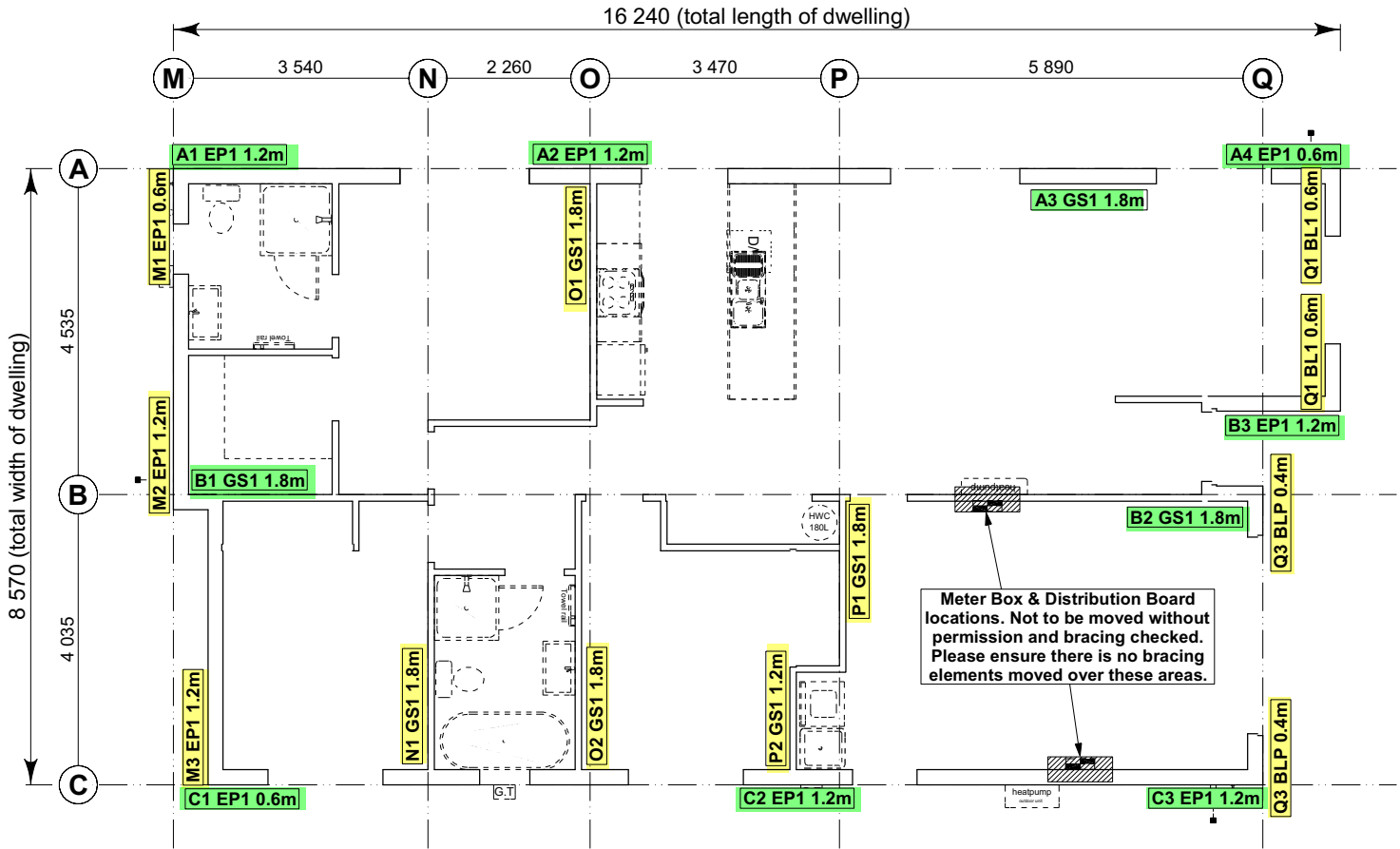
Figure 14: Relationship of Pipe Trench to Building Foundation Paragraph 3.9.7



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- 8.7.3.4**
- Each wall that contains one or more wall bracing elements shall be connected at the top plate level, either directly, or through a framing member in the line of the wall, to external walls at right angles to it. Top plate fixing(s) of the capacity in tension or compression along the line of the wall bracing element are given as follows:
- (a) For each wall containing wall bracing elements with a total bracing capacity of not more than 125 bracing units: to at least one such external wall by a fixing as shown in figure 8.16 of 6 kN capacity;
 - (b) For each wall containing wall bracing elements with a total bracing capacity of not more than 250 bracing units: to at least 2 external walls by fixings as shown in figure 8.16 each of 6 kN capacity;
 - (c) For each wall containing wall bracing elements with a total bracing capacity of more than 250 bracing units: to at least 2 external walls by fixings as shown in figure 8.16 each having a rating of not less than 2.4 kN per 100 bracing units.

BRACING PLAN NOTES

BC230318
Wall bracing designed in accordance with NZS 3604:2011 & GIB Ezybrace system
Refer to attached calculations.

Bracing Designed to:
Wind: High
Earthquake: 2

BRACING LEGEND

A ← Brace Line Label
1.1m ← Brace Length
GS1 1.1m ← Brace Type
A1 GS1 1.1m ← Brace Number

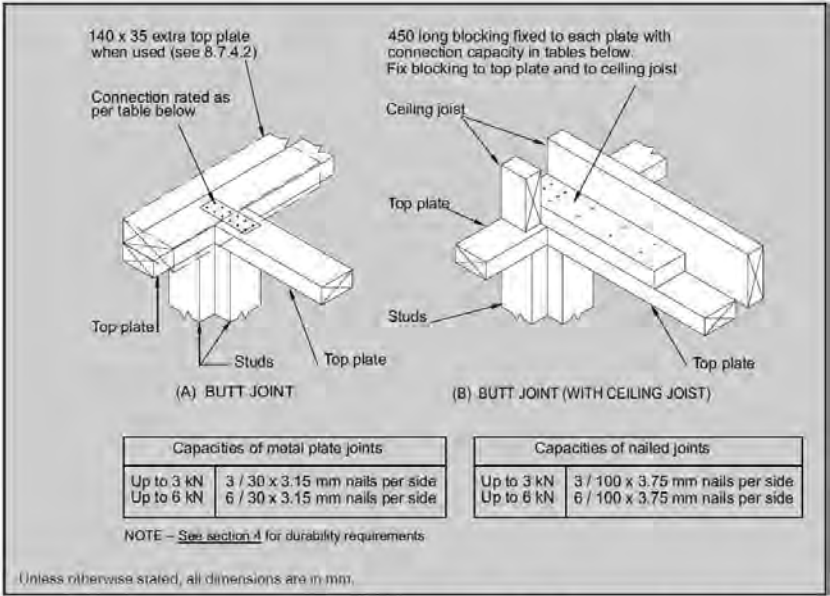


Figure 8.16 – Connecting top plates to external walls at right angles – Walls containing bracing (see 8.7.3.4)

Single Level Along Resistance Sheet

Job Name: Andrew Hannaway

									Wind	EQ
									Demand	
									435	798
									Achieved	
Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind (BUs)	EQ (BUs)	1207	1260
A	1	1.20		2.4	EP1 1.2	Ecoply®	144	162	277%	158%
	2	1.20		2.4	EP1 1.2	Ecoply®	144	162		
	3	1.80		2.4	GS1-N	GIB®	124	108		
	4	0.60		2.4	EP1 0.6	Ecoply®	57	63		
									469 OK	495 OK
B	1	1.80		2.4	GS1-N	GIB®	124	108	392 OK	378 OK
	2	1.80		2.4	GS1-N	GIB®	124	108		
	3	1.20		2.4	EP1 1.2	Ecoply®	144	162		
C	1	0.60		2.4	EP1 0.6	Ecoply®	57	63	345 OK	387 OK
	2	1.20		2.4	EP1 1.2	Ecoply®	144	162		
	3	1.20		2.4	EP1 1.2	Ecoply®	144	162		

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Single Level Across Resistance Sheet

Job Name: Andrew Hannaway

									Wind	EQ
									Demand	
									797	798
									Achieved	
Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind (BUs)	EQ (BUs)	1140	1120
M	1	0.60		2.4	EP1 0.6	Ecoply®	57	63	143%	140%
	2	1.20		2.4	EP1 1.2	Ecoply®	144	162		
	3	1.20		2.4	EP1 1.2	Ecoply®	144	162		
									345 OK	387 OK
N	1	1.80		2.4	GS1-N	GIB®	124	108	124 OK	108 OK
	2	1.80		2.4	GS1-N	GIB®	124	108		
O	1	1.80		2.4	GS1-N	GIB®	124	108	248 OK	216 OK
	2	1.80		2.4	GS1-N	GIB®	124	108		
P	1	1.80		2.4	GS1-N	GIB®	124	108	207 OK	180 OK
	2	1.20		2.4	GS1-N	GIB®	83	72		
Q	1	0.60		2.4	BL1-H	GIB®	59	61	215 OK	229 OK
	2	0.60		2.4	BL1-H	GIB®	59	61		
	3	0.40		2.4	BLP-H	GIB®	48	54		
	4	0.40		2.4	BLP-H	GIB®	48	54		

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Andrew Hannaway
Lot 679
23 Chambers Avenue
Ravenswood, Woodend

Job Number:
125083

Sales:
D Ryan

Original Plan:
KINGFISHER

Drawn:
M Glynn

Sheet Name:
BRACING PLAN

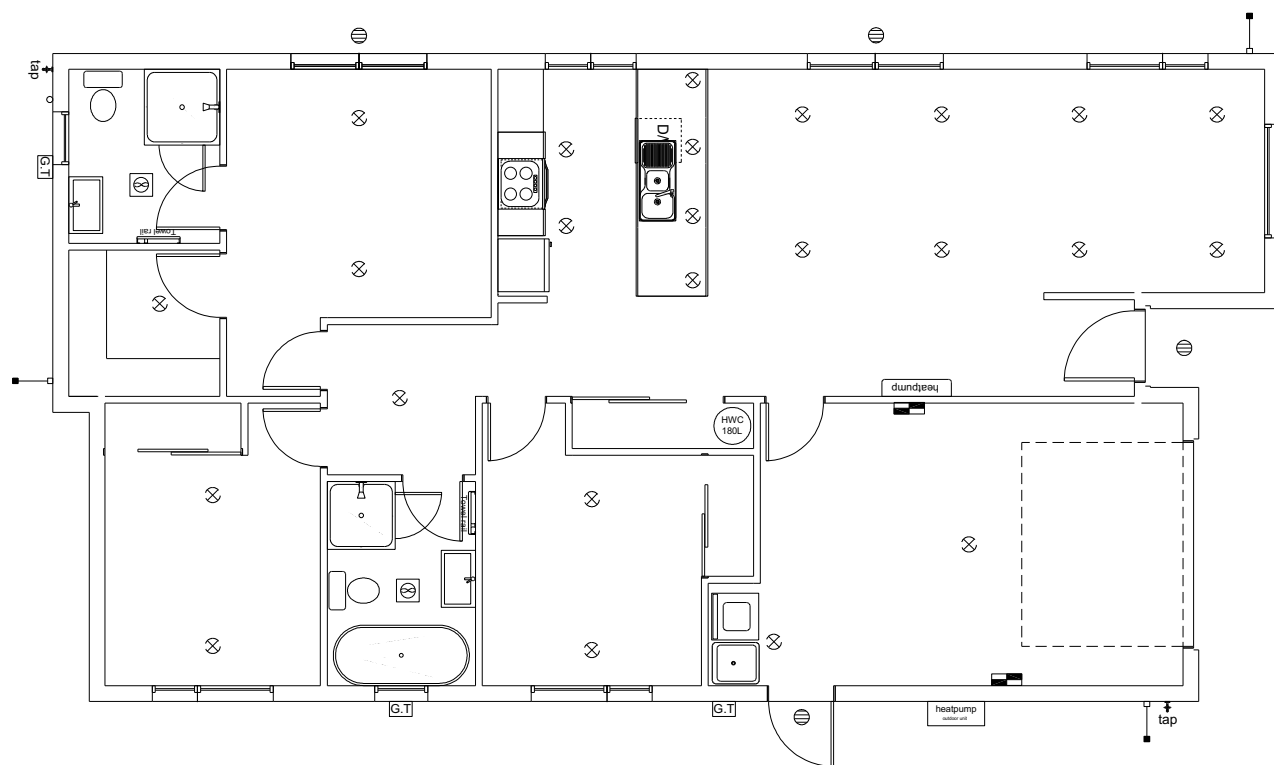
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5/04/2023
















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1:100 @ A3

CONSENT PLANS

No.	Date	Reason
1	05-04-2023	Initial Consent Plans

Sheet No.:
11
of 22 sheets




LEGEND	
Refer to Electrical Section in Specification for further details	
	Ceiling Pan
	CA Approved Down Light
	Exterior Bulkhead Light
	Exterior Wall Light
	Fluorescent Double
	Light Switch
	Two Way Light Switch
	Single Power Socket
	Double Power Socket
	Outside Waterproof Plug
	Telephone/Data Outlet
	TV Jack
	Sky Connection
	Bathroom Heater
	Bathroom Extractor/Light

Electrical Plan is indicative only and is to be confirmed onsite with electrician and client

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				Sales: D Ryan	Drawn: M Glynn	QS: A Villanueva	Print Date: 5/04/2023	Scale: 1:100 @ A3	No. 1	Date: 05-04-2023	Reason: Initial Consent Plans	of 22 sheets

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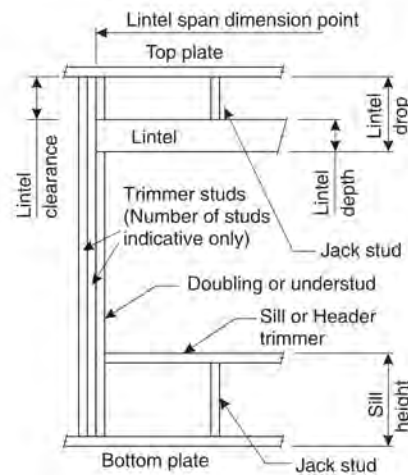


LINTEL FIXING SCHEDULE ALTERNATIVE TO TABLE 8.14 & FIGURE 8.12 NZS 3604:2011

NOTE:

- ★ All fixings are designed for vertical loads only. Dead loads include the roof weight and standard ceiling weight of 0.20kPa.
- ★ Refer to Table 8.19 NZS 3604:2011 for nailing schedule to resist horizontal loads.
- ★ These fixings assume the correct choice of rafter/truss to top plate connections have been made.
- ★ All fixings assume bottom plate thickness of 45mm maximum. Note: TYLOK options on timber species.
- ★ Wall framing arrangements under girder trusses are not covered in this schedule.
- ★ All timber selections are as per NZS 3604:2011.

DEFINITIONS



Lintel Supporting Girder Trusses						
Roof Tributary Area	Light Roof Wind Zone			Heavy Roof Wind Zone		
	L, M, H	VH	EH	L, M, H	VH	EH
8.6m ²	G	G	H	G	G	H
11.6m ²	G	H	H	G	G	H
12.1m ²	G	H	H	G	H	H
15.3m ²	H	H	-	G	H	H
19.1m ²	H	-	-	G	H	-
20.9m ²	H	-	-	H	H	-
21.8m ²	H	-	-	H	-	-
34.3m ²	-	-	-	H	-	-

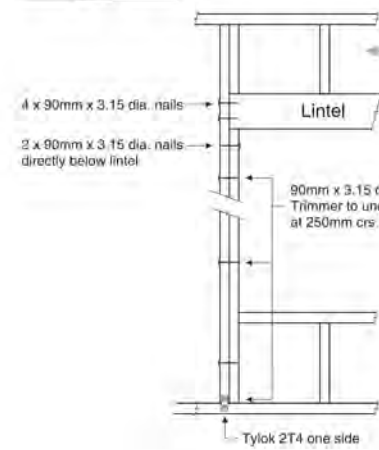
NOTES:

1. Roof Tributary Area = approx. 1/2 x (Total roof area on girder and rafter trusses supported by lintel)
2. Assumed girder truss is at mid-span or middle third span of lintel
3. Use similar fixings for both ends of lintel
4. All other cases require specific engineering design

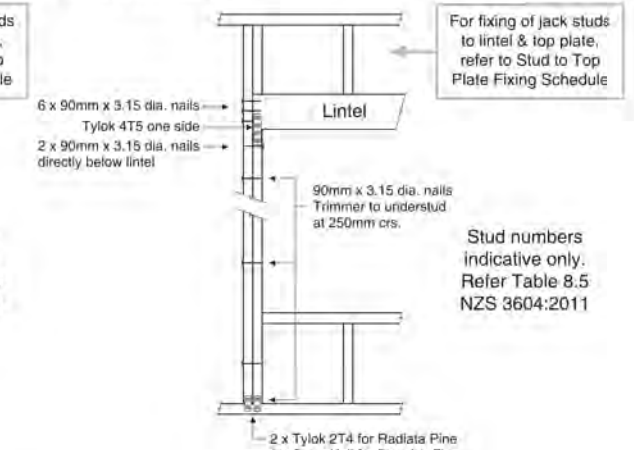
Lintel Span (m)	Loaded Dimension (m) (See Fig. 1.3 NZS 3604:2011)	Light Roof Wind Zone					Heavy Roof Wind Zone				
		L	M	H	VH	EH	L	M	H	VH	EH
1.0	2.0	E	E	E	F	F	E	E	E	F	F
	3.0	E	E	F	F	F	E	E	F	F	F
	4.0	E	F	F	F	G	E	F	F	F	G
	5.0	E	F	F	G	G	E	F	F	F	G
	6.0	E	F	F	G	G	E	F	F	F	G
1.2	2.0	E	E	F	F	F	E	E	F	F	F
	3.0	E	E	F	F	F	E	E	F	F	F
	4.0	E	F	F	G	G	E	F	F	F	G
	5.0	E	F	F	G	G	E	F	F	F	G
	6.0	F	F	G	G	H	E	F	F	G	G
1.5	2.0	E	E	F	F	F	E	E	F	F	F
	3.0	E	F	F	G	G	E	F	F	F	G
	4.0	E	F	F	G	G	E	F	F	F	G
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	6.0	F	F	G	H	H	E	F	G	H	H
2.0	2.0	E	F	F	F	G	E	F	F	F	G
	3.0	E	F	F	G	G	E	F	F	F	G
	4.0	F	F	G	H	H	E	F	G	H	H
	5.0	F	F	G	H	H	E	F	G	H	H
	6.0	F	G	G	H	H	E	F	G	H	H
2.4	2.0	E	F	F	G	G	E	F	F	F	G
	3.0	F	F	G	H	H	E	F	G	H	H
	4.0	F	F	G	H	H	E	F	G	H	H
	5.0	F	G	G	H	H	E	F	G	H	H
	6.0	F	G	H	-	-	E	F	G	H	-
3.0	2.0	F	F	G	G	H	E	F	G	H	H
	3.0	F	F	G	H	H	E	F	G	H	H
	4.0	F	G	H	-	-	E	F	G	H	-
	5.0	F	G	H	-	-	E	F	G	H	-
	6.0	G	H	H	-	-	E	F	H	-	-
3.6	2.0	F	F	G	G	H	E	F	G	H	G
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	6.0	G	H	-	-	-	E	F	H	-	-
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	6.0	G	H	-	-	-	E	G	H	-	-

LINTEL FIXING OPTIONS

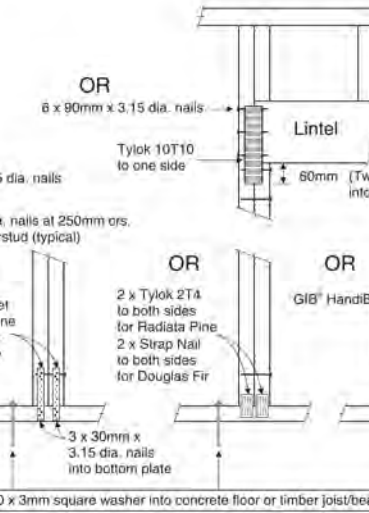
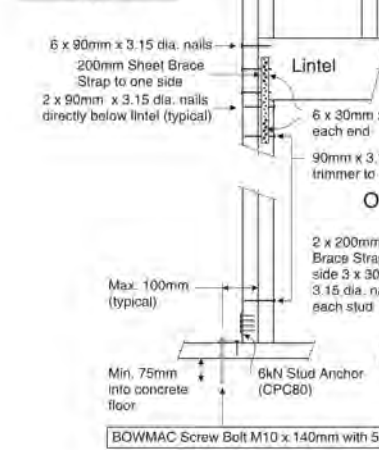
TYPE E 1.4kN



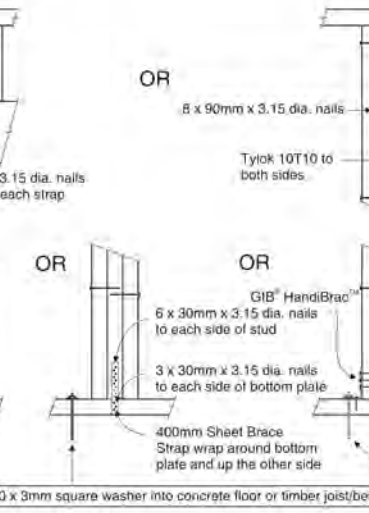
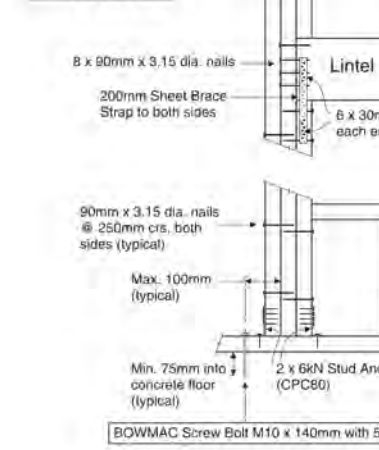
TYPE F 4.0kN



TYPE G 7.5kN



TYPE H 13.5kN



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							No.	Date:	Reason:	
				Sales: D Ryan	Drawn: M Glynn	QS: A Villanueva	Print Date: 5/04/2023	Scale: NTS @ A3	1 05-04-2023 Initial Consent Plans	

08/2017

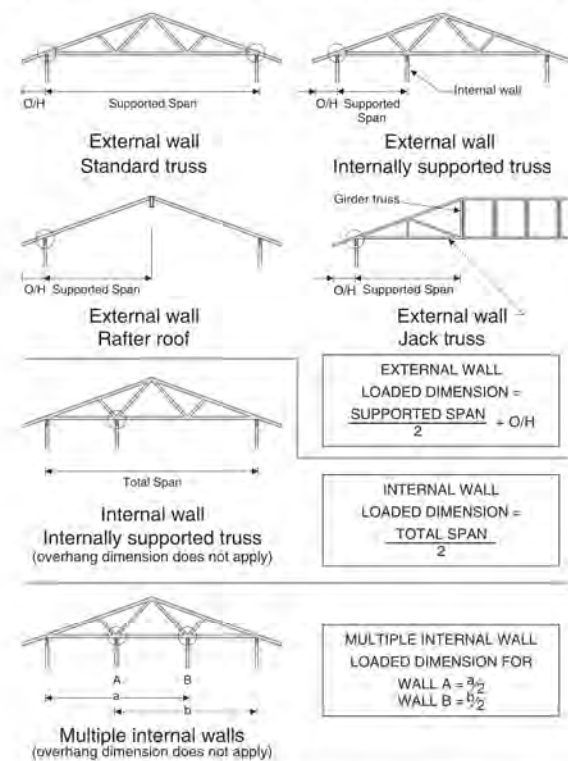


STUD TO TOP PLATE FIXING SCHEDULE ALTERNATIVE TO TABLE 8.18 NZS 3604:2011

NOTE:

- ★ All fixings are designed to resist vertical loads only. Dead loads include the roof weight and standard ceiling weight of 0.20kPa.
- ★ Refer to Table 8.19 NZS 3604:2011 for nailing schedule to resist lateral loads.
- ★ These fixings assume the correct choice of rafter/truss to top plate connections have been made.
- ★ For gable end walls where the adjacent rafter/truss is located within 1200mm and with a maximum verge overhang of 750mm, select stud to top plate fixing using a loaded dimension of 1.5m.
- ★ All fixings assume top plate thickness of 45mm maximum.
- ★ Wall framing arrangements under girder trusses are not covered in this schedule.
- ★ All timber selections are as per NZS 3604:2011.

LOADED DIMENSION DEFINITION



FIXING SELECTION CHART

(Suitable for walls supporting roof members at 600, 900 or 1200mm crs.)
Wind Zones L, M, H, VH, EH, as per NZS 3604:2011

Loaded Dimension (m) Stud Centres			Light Roof Wind Zone					Heavy Roof Wind Zone				
300mm	400mm	600mm	L	M	H	VH	EH	L	M	H	VH	EH
3.0	2.3	1.5	A	A	B	B	B	A	A	B	B	B
4.0	3.0	2.0	A	A	B	B	B	A	A	B	B	B
5.0	3.8	2.5	A	B	B	B	B	A	A	B	B	B
6.0	4.5	3.0	A	B	B	B	B	A	A	B	B	B
7.0	5.3	3.5	A	B	B	B	B	A	A	B	B	B
8.0	6.0	4.0	A	B	B	B	B	A	A	B	B	B
9.0	6.8	4.5	B	B	B	B	B	A	A	B	B	B
10.0	7.5	5.0	B	B	B	B	B	A	A	B	B	B
11.0	8.3	5.5	B	B	B	B	B	A	A	B	B	B
12.0	9.0	6.0	B	B	B	B	B	A	A	B	B	B

FIXING OPTIONS

FIXING TYPE A 0.7kN

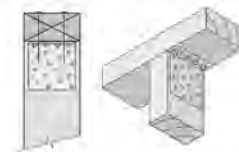
2 x 90mm x 3.15 dia. plain steel
wire nails driven vertically into stud.



FIXING TYPE B 4.7kN

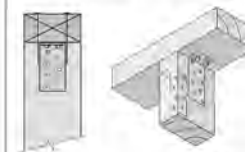
CHOOSE ANY OF THE 3 OPTIONS BELOW

2 x 90mm x 3.15 dia. plain steel
wire nails driven vertically into stud.



Plus
LUMBERLOK
6kN Stud Anchor
(CPC80)

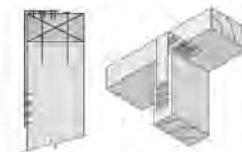
2 x 90mm x 3.15 dia. plain steel
wire nails driven vertically into stud.



Plus
2 x LUMBERLOK
CPC40

Recommended for internal wall options to avoid lining issues.

2 x 90mm x 3.15 dia. plain steel
wire nails driven vertically into stud.



Plus
LUMBERLOK
Stud Strap
(one face only)

NOTE:

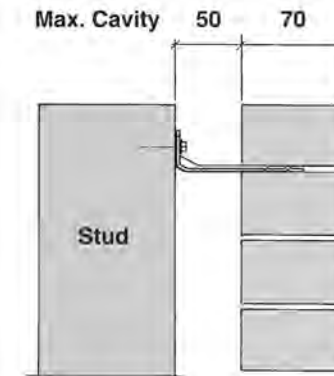
To calculate the number of B type fixings required, divide the wall length by the stud centres, add 1 to this figure and locate this number of fixings as evenly as possible along the wall length. This figure includes the start and end studs in each wall length.



SCAN FOR
INSTALLATION
VIDEO

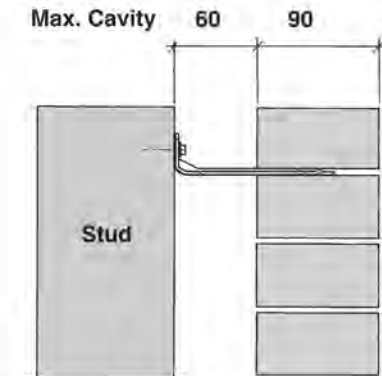
<https://vimeo.com/117353604>

70 SERIES BRICK



Screw Tie Short
(85mm)

90 SERIES BRICK



Screw Tie Long
(105mm)

- ★ All brick work must be constructed in accordance with NZS 4210:2001 Masonry Construction: Materials and Workmanship. Screw Ties must be applied accordingly and are not to be hammered into timber framing.
- ★ Water shedding shoulder prevents transfer of the moisture from tie to building.
- ★ Nail hole for Oamaru Stone.
- ★ Angled neck encourages increased tie embedment in mortar.

Material: 1.2mm NZCC-SD Hot Dip Galvanised Steel

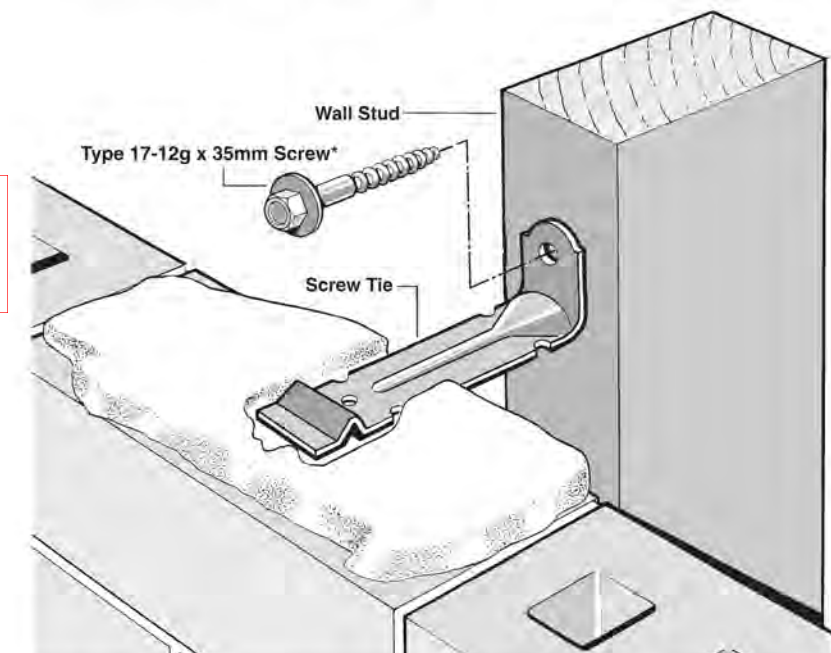
Screws: Type 17-12g x 35mm Hex Head Hot Dip Galvanised Screws

Packed: 250 ties per box including screws

Also available in Stainless Steel Grade 316 for Zone D.

SCREW TIES FOR BRICK VENEER FIXING

- ★ Medium duty (EM) classification
- ★ Tested by BRANZ in accordance with AS/NZS 2699.1:2000
- ★ BRANZ test report No. ST0725 November 2007
- ★ Suitable for both 'dry bedding' and encapsulated mortar
- ★ Hot Dip Galvanised ties for Zones B & C, and Stainless Steel Grade 316 ties for Zone D meet NZS 3604:2011 Sect. 4 Durability
- ★ Available in 85mm and 105mm sizes



*NOTE:
Use longer screws for fixing through Rigid Air Barrier (RAB). Maintain 35mm embedment in studs.

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Andrew Hannaway
Lot 679
23 Chambers Avenue
Ravenswood, Woodend

Job Number:
125083

Original Plan:
KINGFISHER

Sheet Name:
FRAMING DETAILS

Sales:
D Ryan

Drawn:
M Glynn

QS:
A Villanueva

Print Date:
5/04/2023

Scale:
NTS @ A3

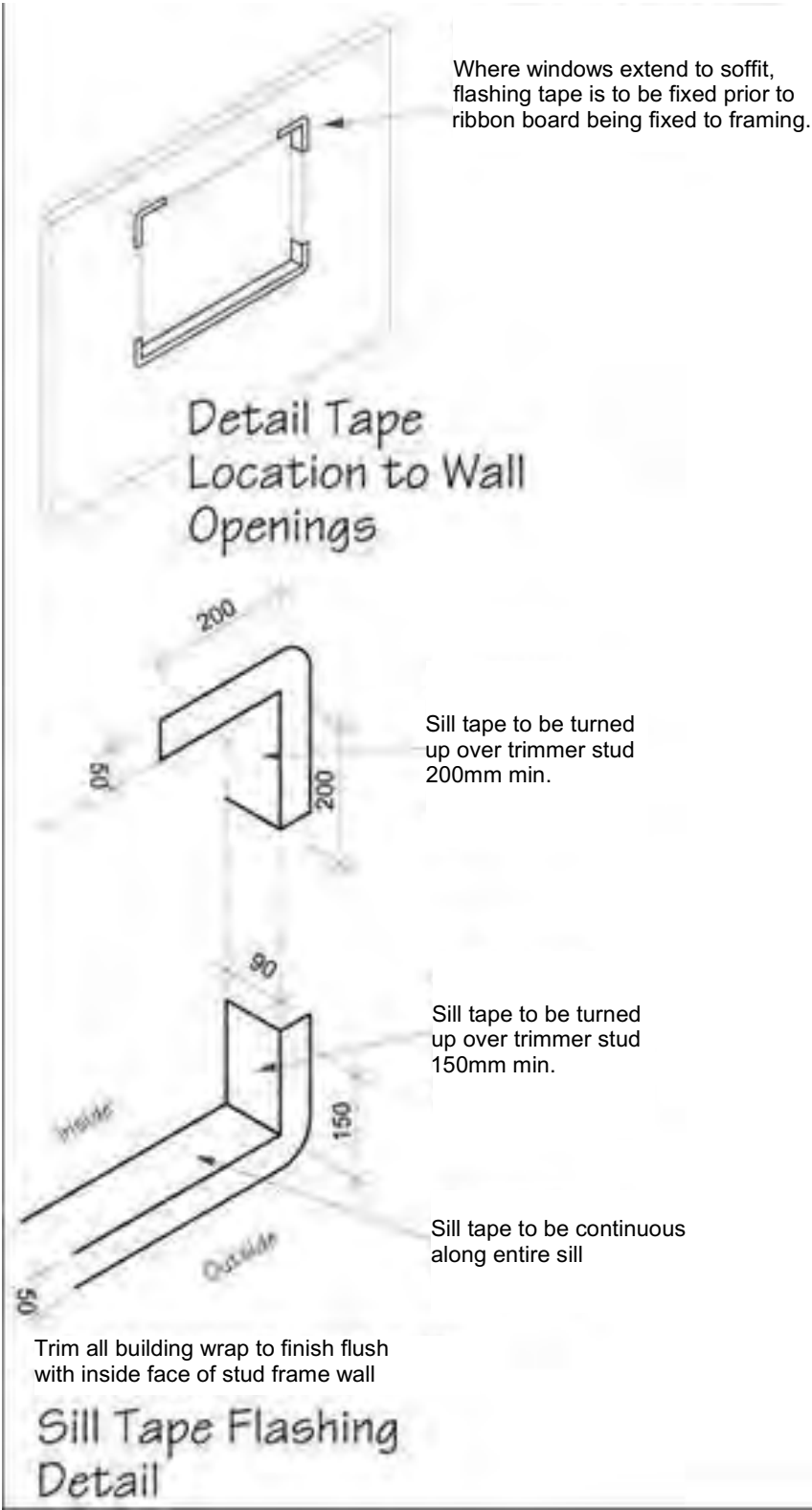
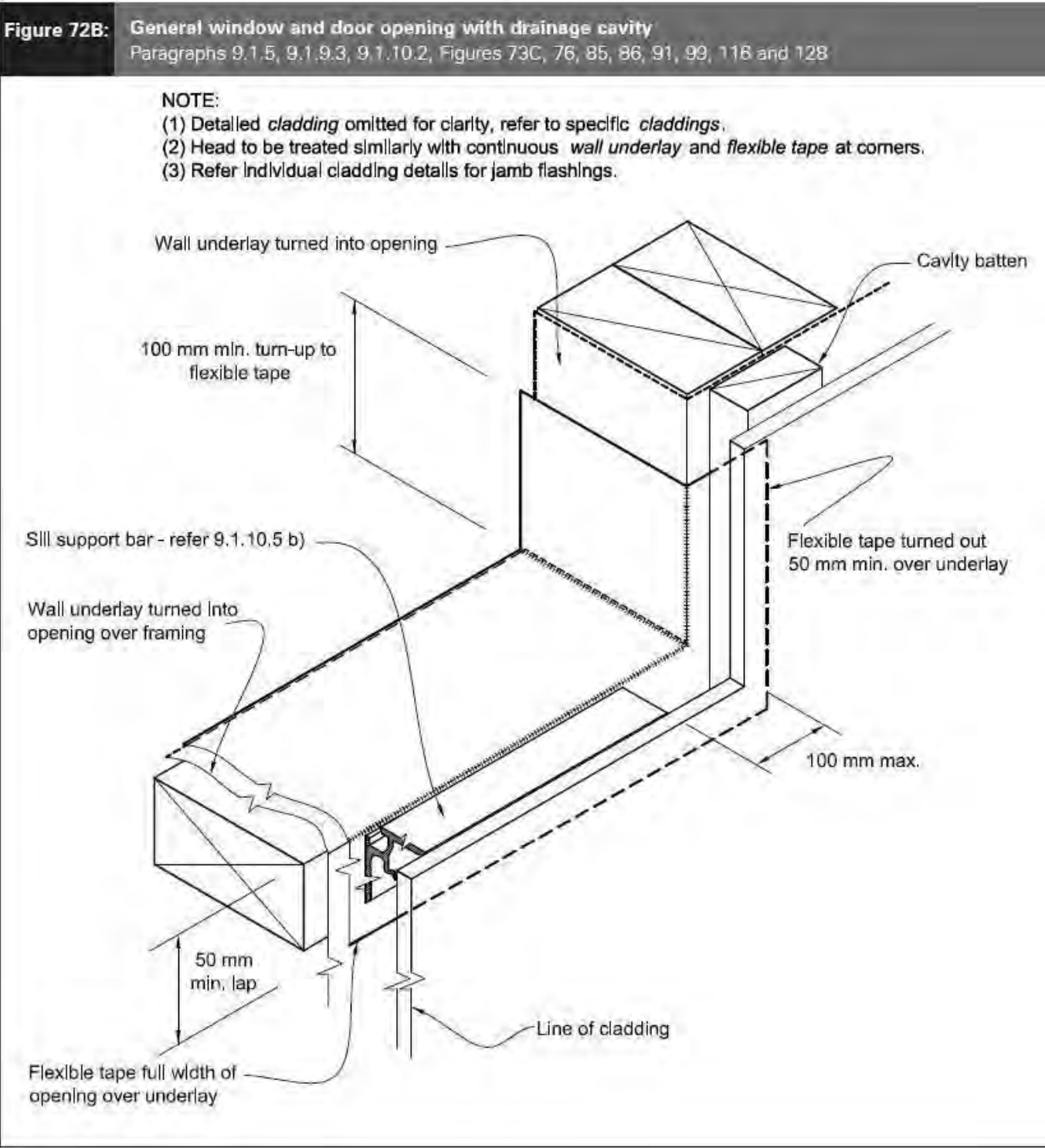
CONSENT PLANS

No.	Date:	Reason:
1	05-04-2023	Initial Consent Plans

Sheet No.:


14

of 22 sheets



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				Sales: D Ryan			Drawn: M Glynn		QS: A Villanueva		Print Date: 5/04/2023			Scale: As Shown @ A3		No. 1	Date: 05-04-2023	Reason: Initial Consent Plans

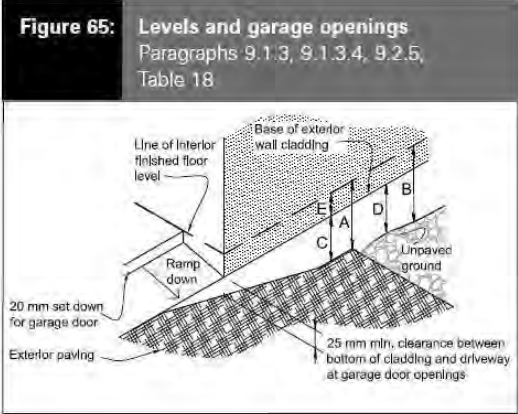
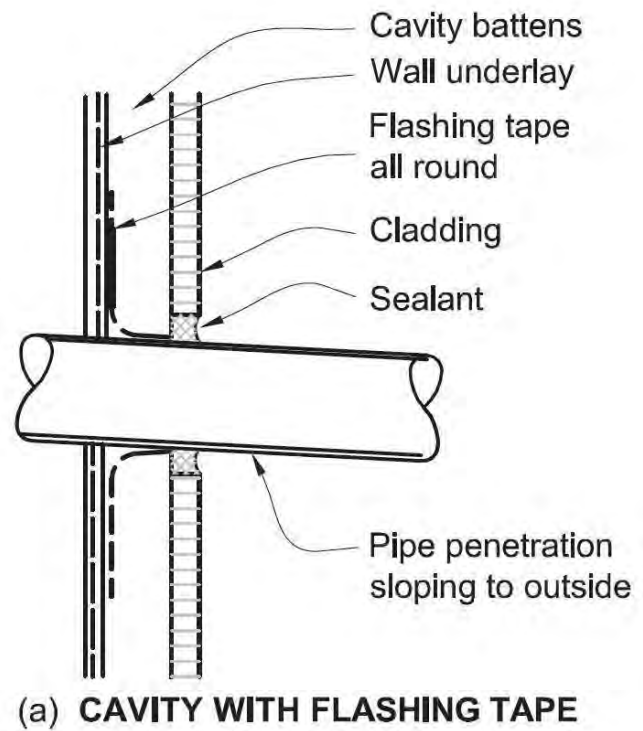
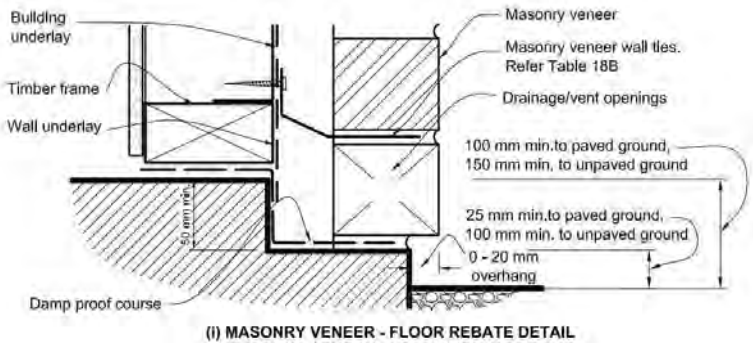
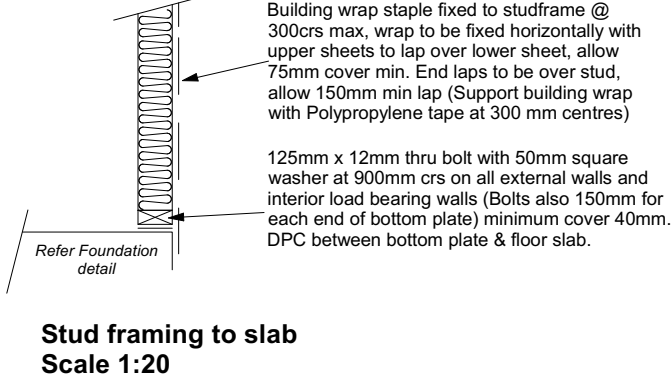
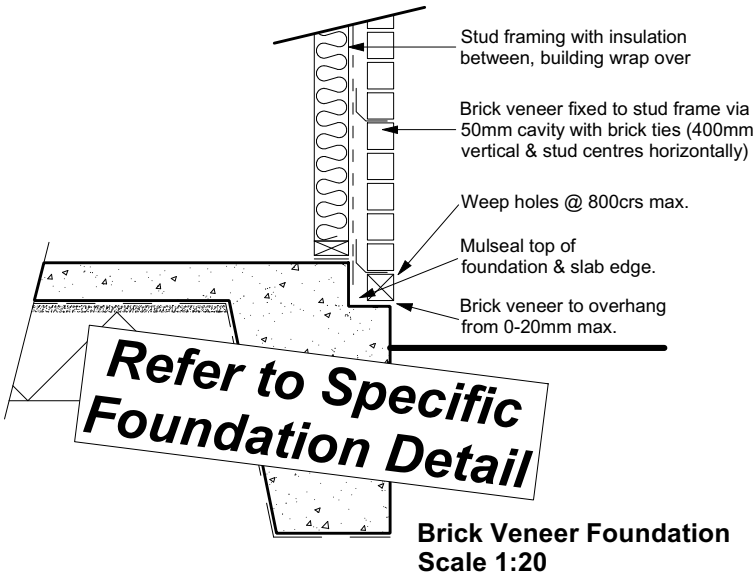


Table 18: Minimum clearances
Paragraphs 9.1.3, 9.1.3.1, 9.1.3.2, 9.1.3.3, 9.1.3.4, 9.1.3.5 and 9.2.7

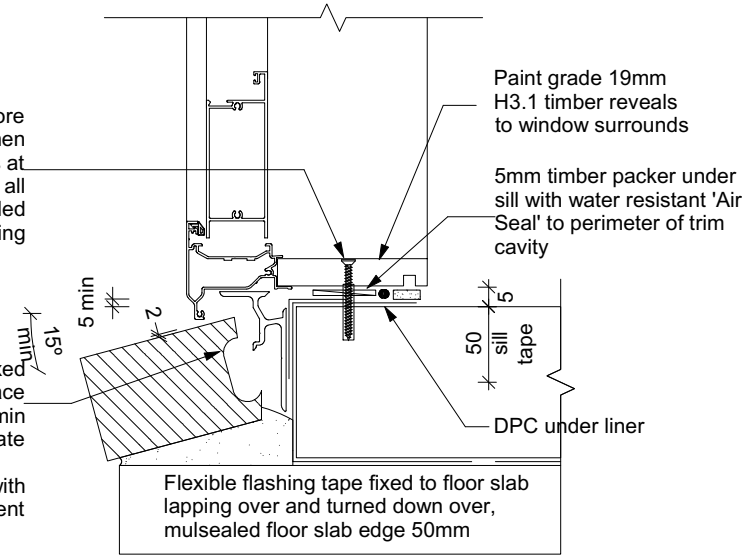
Minimum clearances (mm)	Masonry veneer		Other claddings				
	A	B	A	B	C	D	E
Concrete slab	100	150	150	225	100	175	50
Timber floor	Refer Note 1)				100	175	502)

NOTE: 1) Refer to NZS 3604 for requirements.
2) Cladding to extend minimum 50 mm below bearer or lowest part of timber floor framing.

50mm screw fixing to window sill, no more than 150mm from all corners and then 450crs spacings, allow for extra fixings at mullions, transoms & door strikers, all screws driven below sill surface and filled and sanded prior to painting

Continuous ventilated support bar fixed to sill plate with 50mm screws, top face of bar to be fitted level & 5mm min above sill plate


Coat bricks, if flat, with waterproofing agent

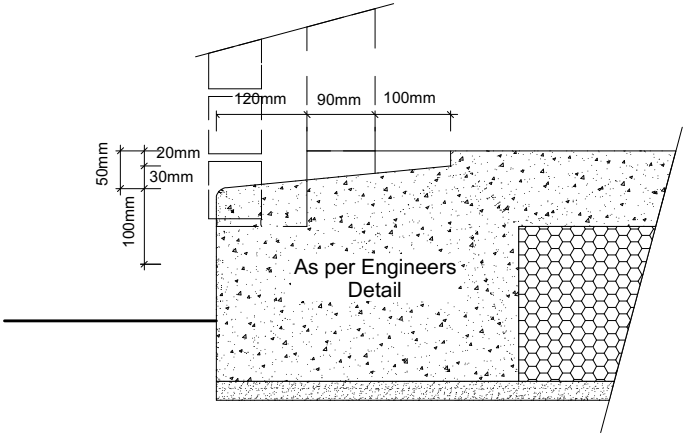


Door Sill to Slab Detail
Scale 1:20

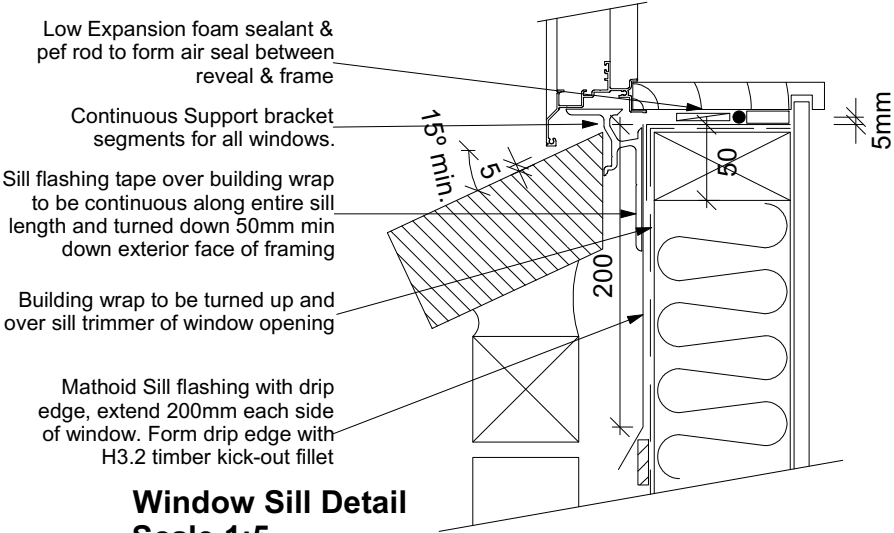
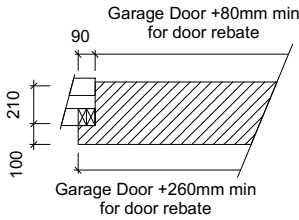
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						No. Date: Reason:				
						1 05-04-2023 Initial Consent Plans				
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Garage Door Rebate Details
 Scale 1:10



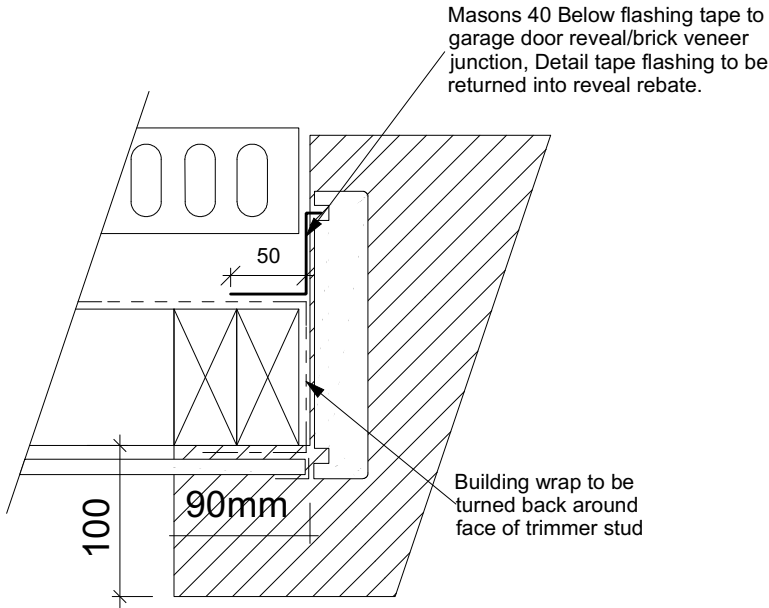
Window Sill Detail
 Scale 1:5

9.1.10.8 Attachments for windows and doors

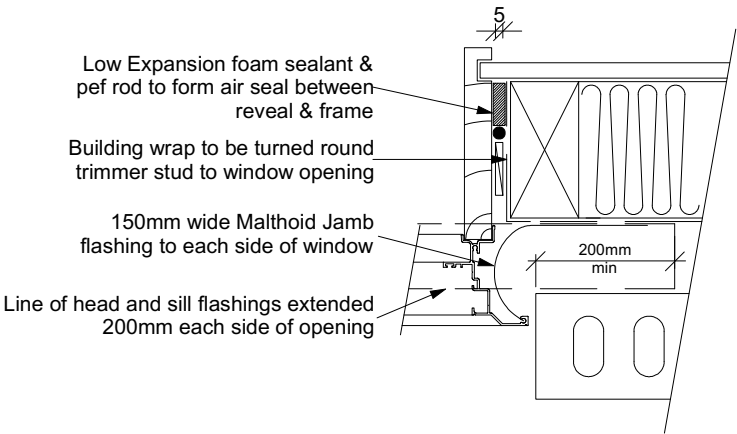
Install windows and doors using pairs of minimum 75 x 3.15 galvanised jolt head nails or 8 gauge x 65 mm stainless steel screws, through reveals into surrounding *framing* at:

- a) Maximum 450 mm centres along sills, jambs and heads, and
- b) Maximum 150 mm from reveal ends.

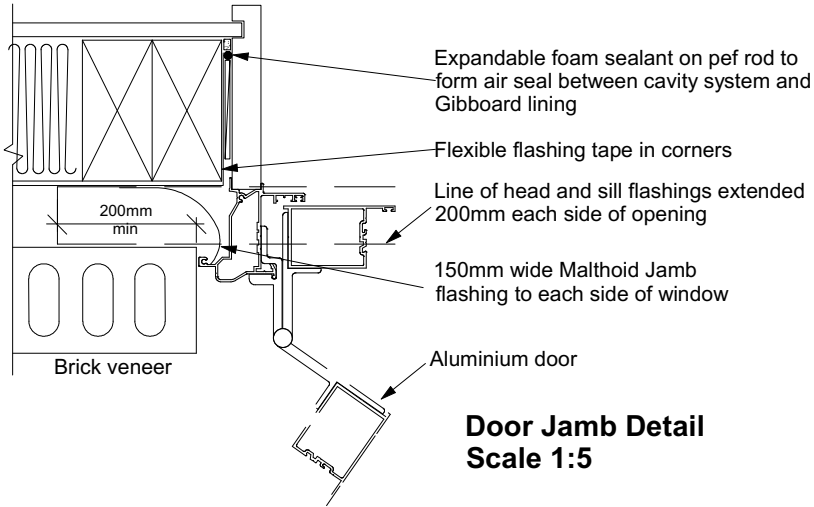
Install packers between reveals and *framing* at all fixing points, except between head reveals and lintels.



Garage Door Jamb Detail
 Scale 1:5




Window Jamb Detail
 Scale 1:5

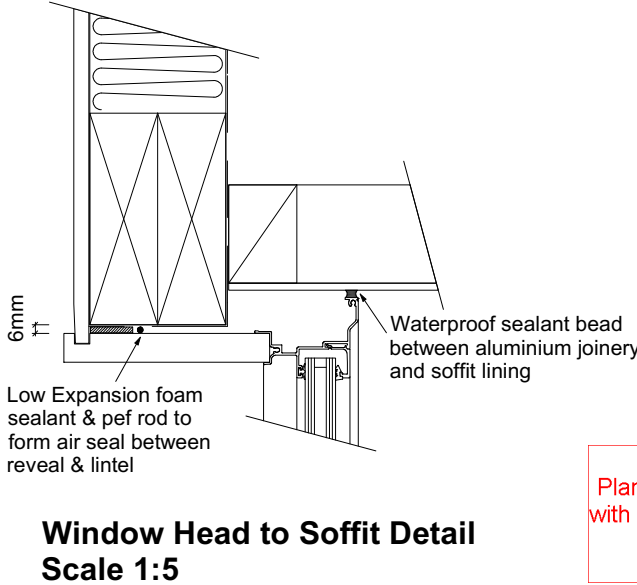
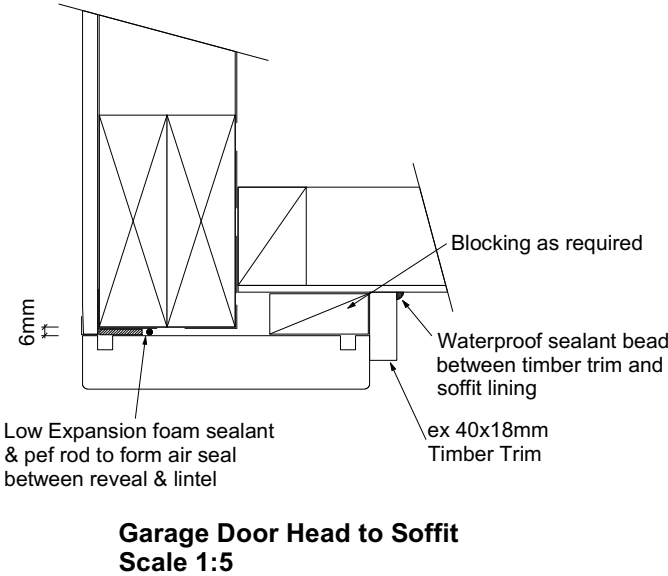
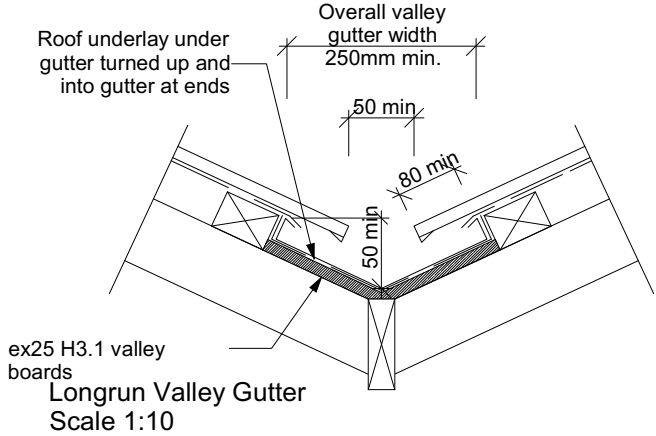
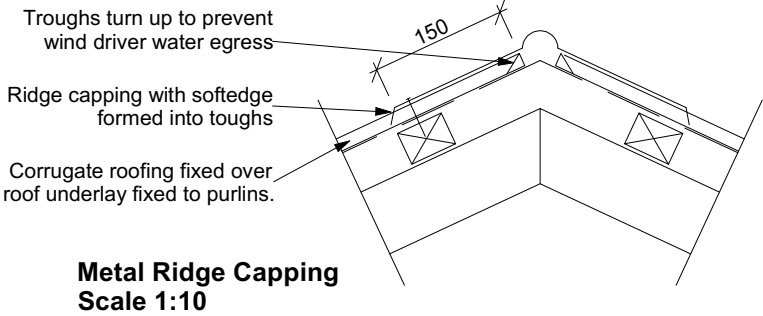
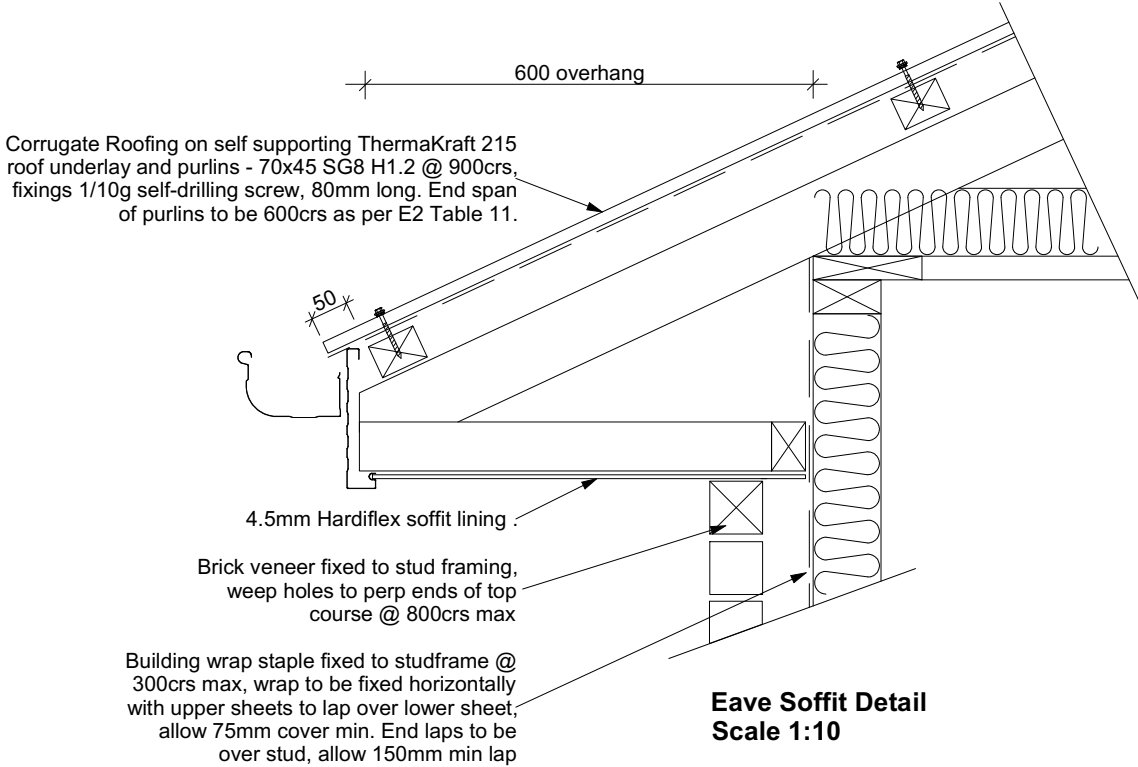


Door Jamb Detail
 Scale 1:5

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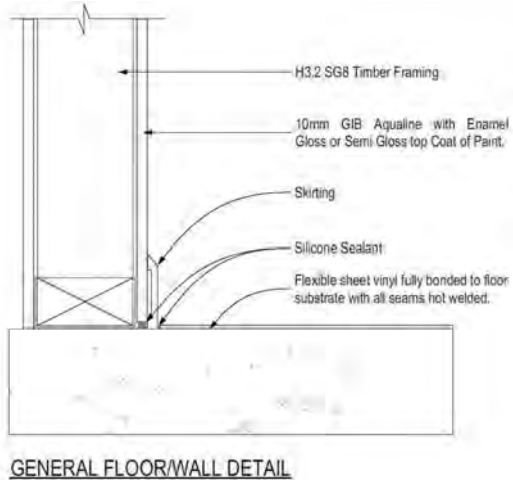
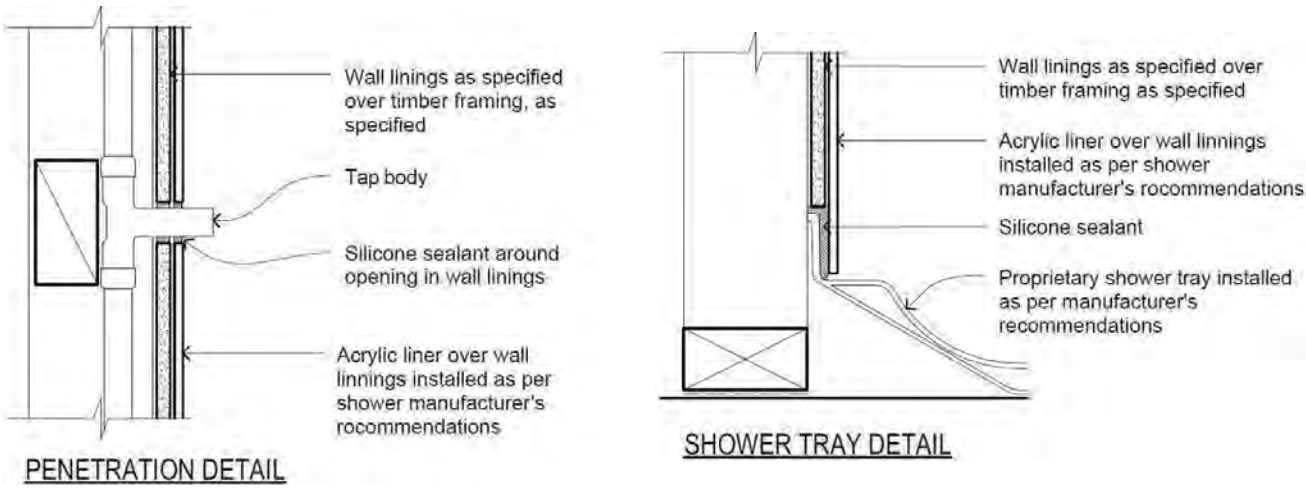
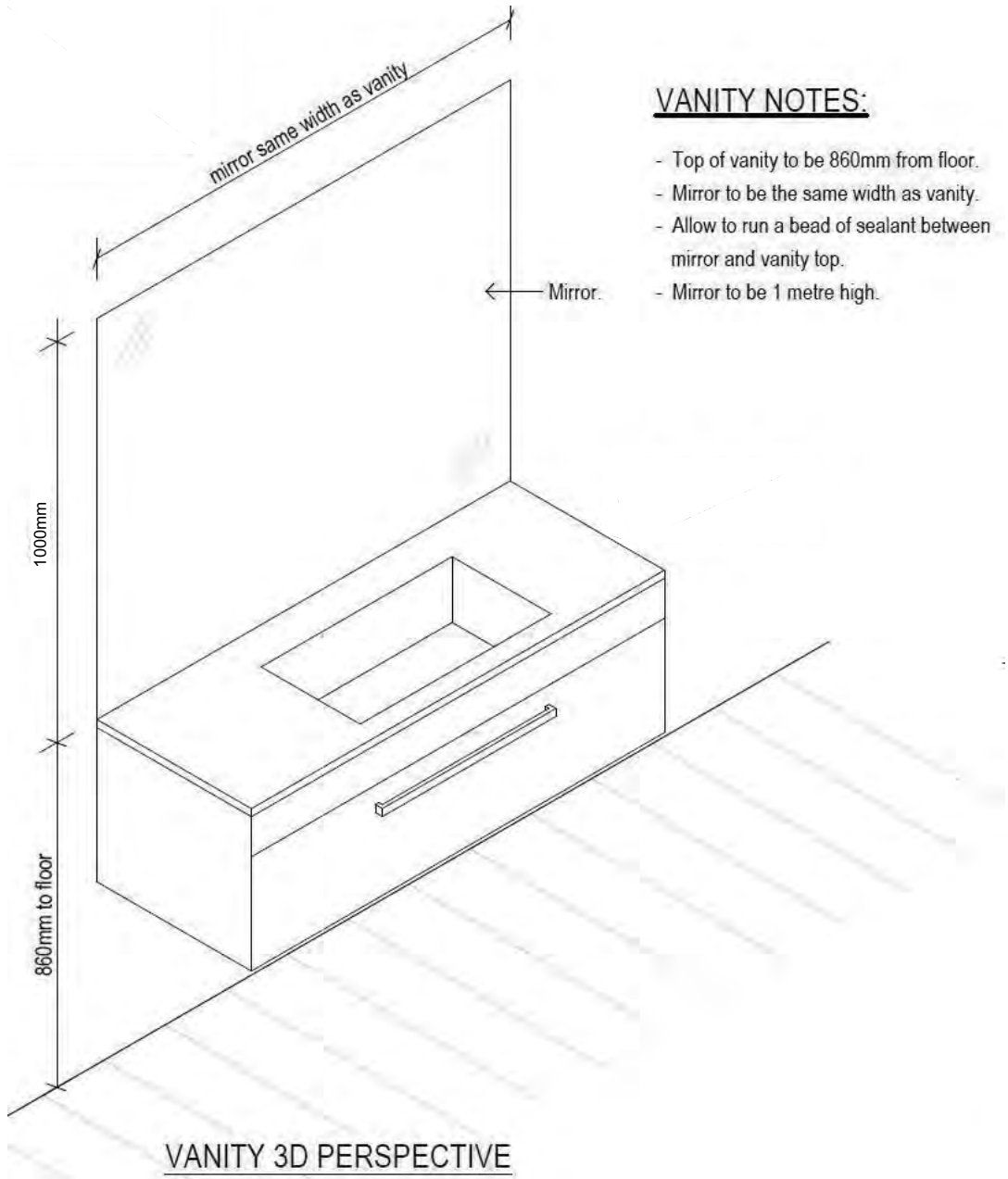
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				<table><tr><td>No.</td><td>Date:</td><td>Reason:</td></tr><tr><td>1</td><td>05-04-2023</td><td>Initial Consent Plans</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>		No.	Date:	Reason:	1	05-04-2023	Initial Consent Plans										<table><tr><td>Scale:</td></tr><tr><td>As Shown @ A3</td></tr></table>		Scale:	As Shown @ A3	<table><tr><td>17</td></tr><tr><td>of 22 sheets</td></tr></table>	17	of 22 sheets
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				<table><tr><td>No.</td><td>Date:</td><td>Reason:</td></tr><tr><td>1</td><td>05-04-2023</td><td>Initial Consent Plans</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>		No.	Date:	Reason:	1	05-04-2023	Initial Consent Plans													<table><tr><td>Scale:</td></tr><tr><td>As Shown @ A3</td></tr></table>		Scale:	As Shown @ A3	<table><tr><td>18</td></tr><tr><td> </td></tr><tr><td> </td></tr><tr><td> </td></tr><tr><td> </td></tr><tr><td> </td></tr></table>	18						of 22 sheets
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WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC230318 5/05/2023 co-michaelmo

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				D Ryan	M Glynn	A Villanueva	5/04/2023	NTS @ A3	1	05-04-2023	Initial Consent Plans	

Figure 16: Tempering Valve Installation
 Paragraph 6.14.2 a)

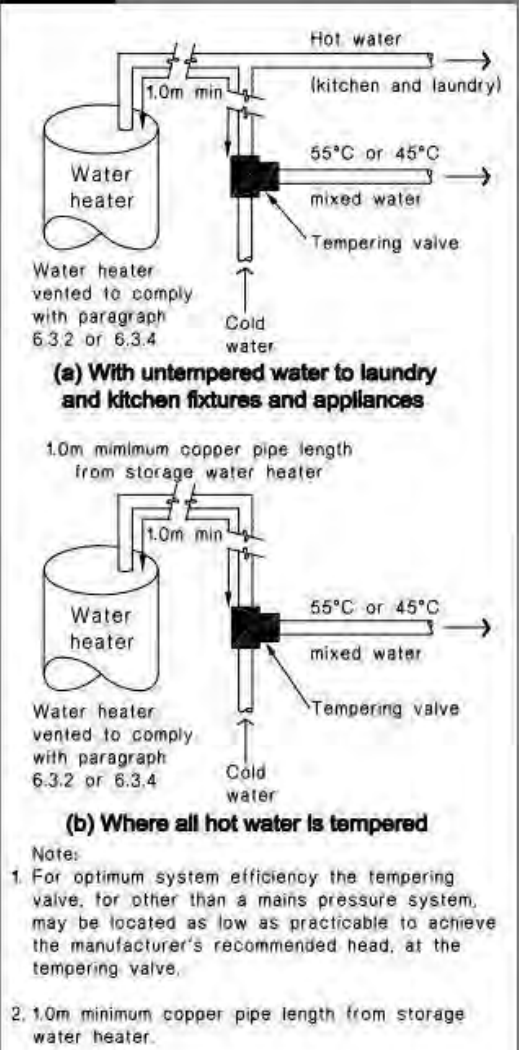


Figure 8: Mains Pressure Storage Water Heater System (unvented)
 Paragraphs 6.1.2 and 6.2.1 b)

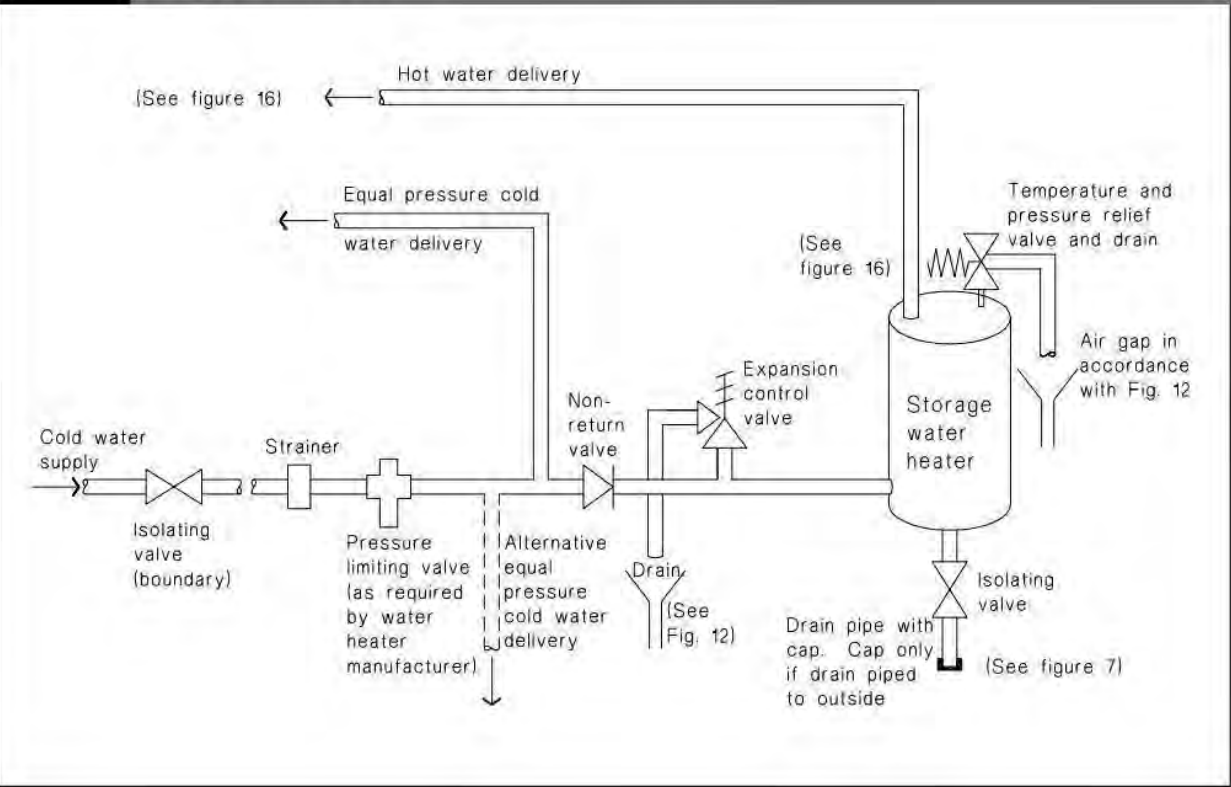
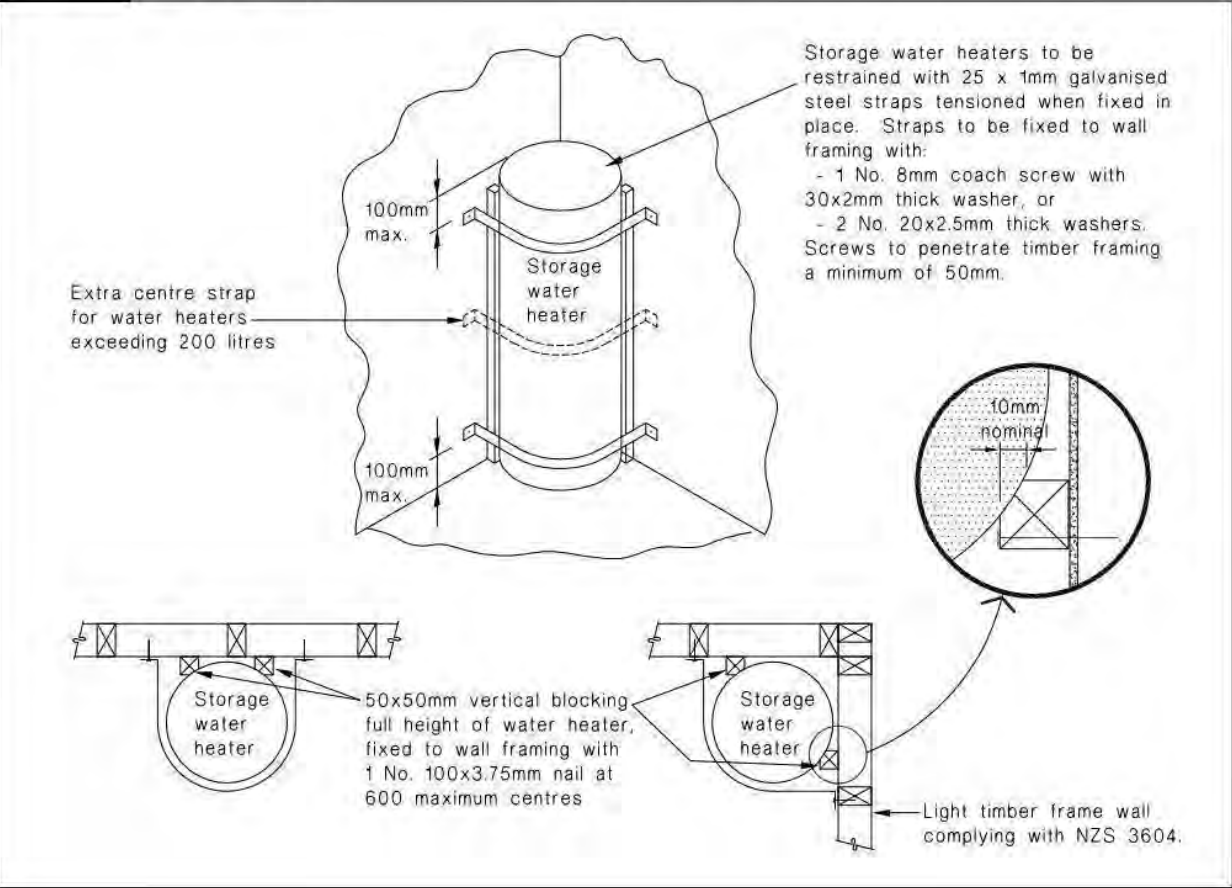



Figure 14: Seismic Restraint of Storage Water Heaters 90 – 360 litres
 Paragraph 6.11.4



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 <div>Signature HOMES YOUR HOME. YOUR WAY.</div>	<div>TKR Homes Ltd.</div> <div>31 Watts Road, Sockburn PO BOX 11 351 Christchurch 8443</div> <div>P: +64 3 342 7788</div>	<div>These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail it required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.</div>	<div>Andrew Hannaway Lot 679 23 Chambers Avenue Ravenswood, Woodend</div>	Job Number: 125083		Original Plan: KINGFISHER	Sheet Name: PLUMBING DETAILS		CONSENT PLANS			Sheet No.:			
				Sales: D Ryan		Drawn: M Glynn	QS: A Villanueva	Print Date: 5/04/2023		Scale: NTS @ A3		No.	Date:	Reason:	<div>20</div> <div>of 22 sheets</div>
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Buildable Consent Layout



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For valley/saddle truss fixing unless stated otherwise use a pair of wire dogs at 900mm centres for up to and including a very high wind zone. Or a pair of CT200's at 900mm centres for extra high wind zone. This fixing is to meet the minimum requirements as per NZS3604.

CARTERS

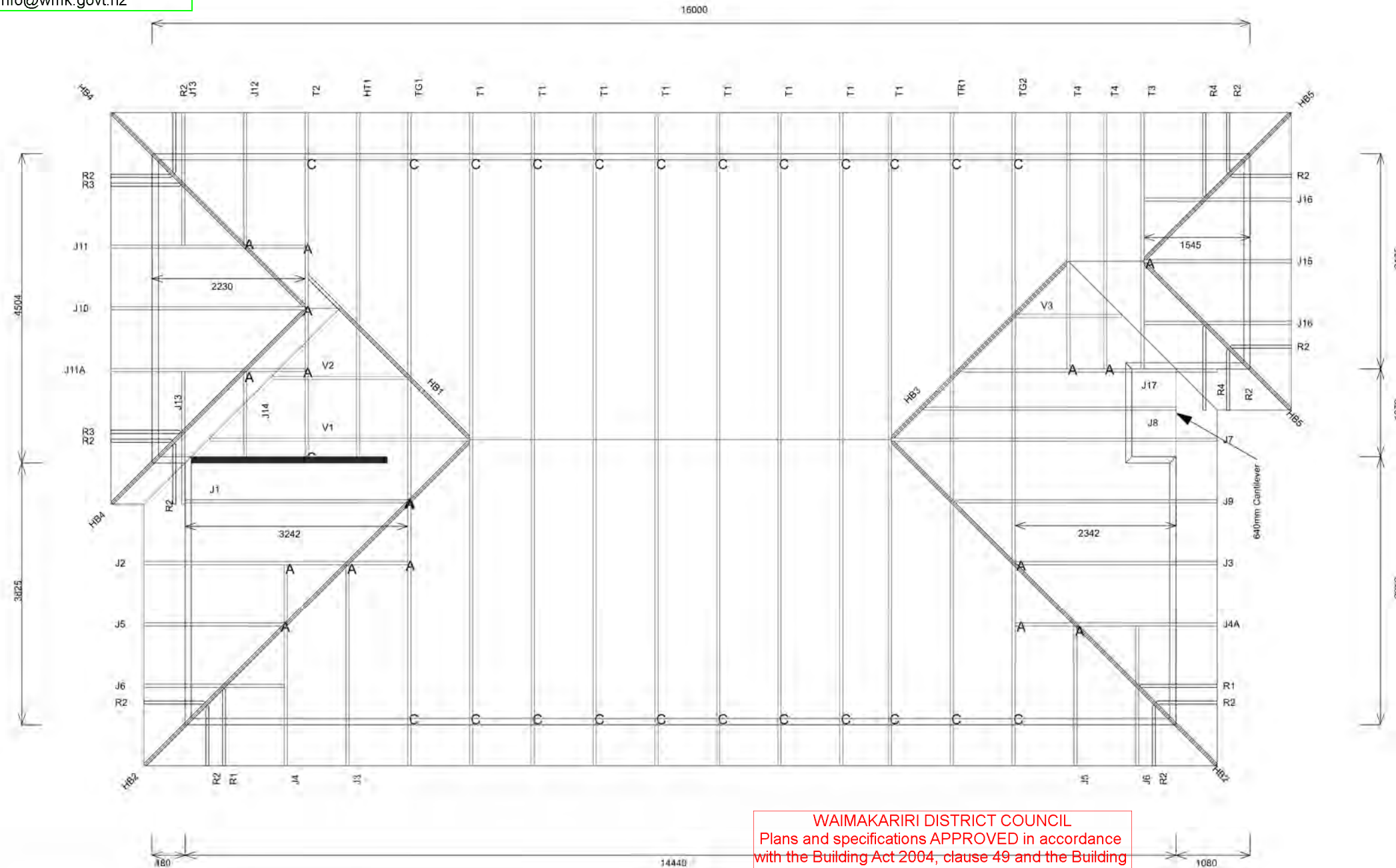
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-- AS BUILT TRUSS LAYOUT REQUIRED --
This must be received by the Building Unit
AT LEAST 10 WORKING DAYS PRIOR to
the Structure Pre-Roof Pre-Wrap inspection.

Truss "As-Built" designs shall be sent to
buildinginfo@wmk.govt.nz

Beams
Loadbearing Internal Walls



Buildable Consent Layout

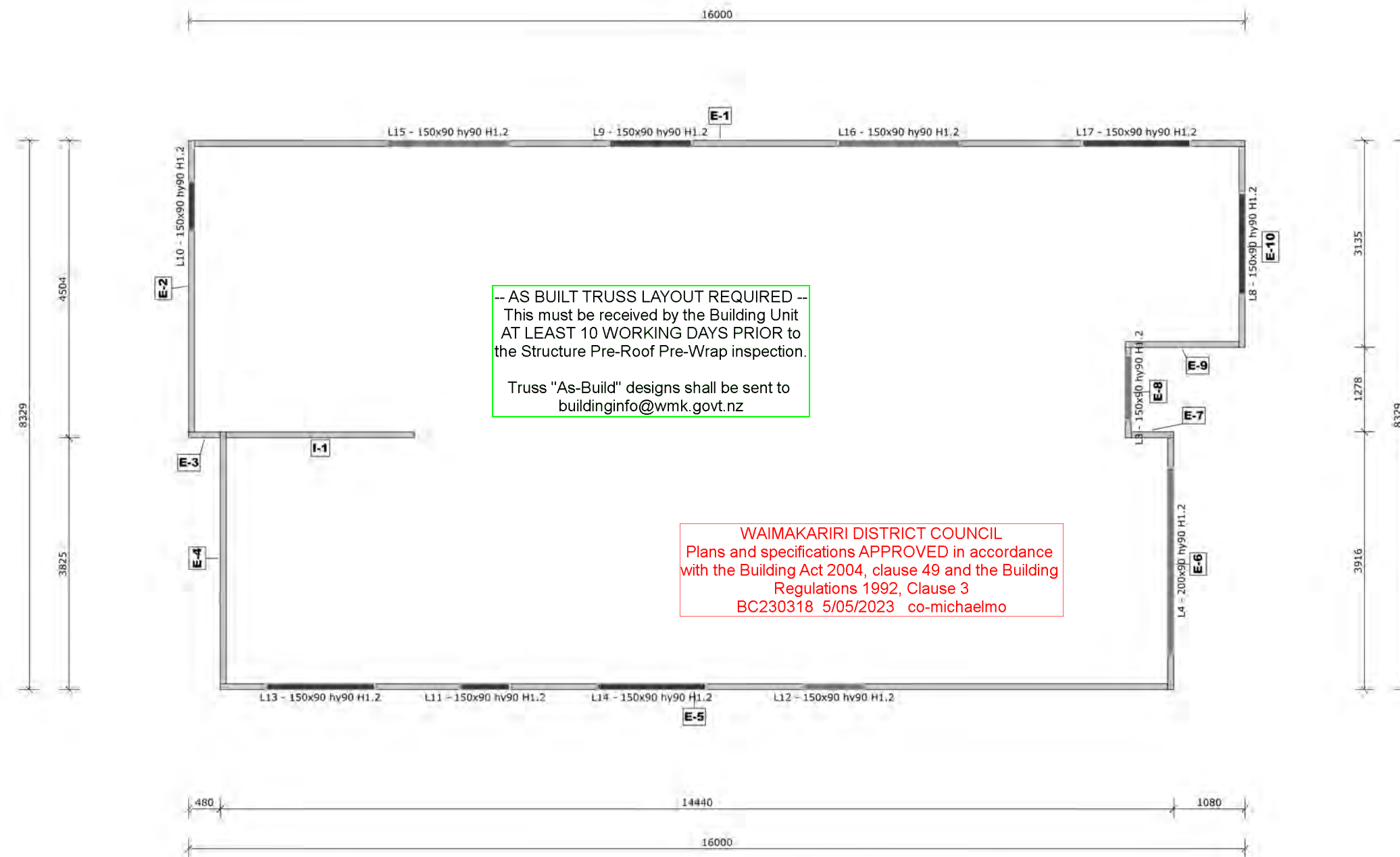


All internal walls shown on this layout are considered to be loadbearing
Lintel fixing specification remains the responsibility of the architect / draughtsperson

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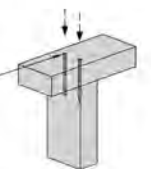
Lintel Fixings are as per the included reports.

TOP PLATE TO STUD FIXING OPTIONS

TYPE A - 0.7 kN

Non-Load Bearing Walls

2 x 90mm x 3.15 Ø plain-steel wire nails driven vertically into stud.



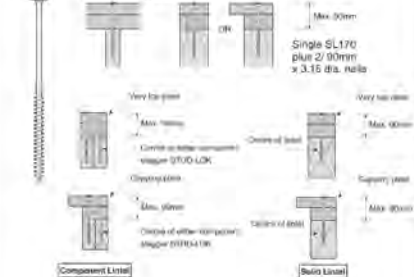
TYPE B - 4.7 kN

Load Bearing Walls

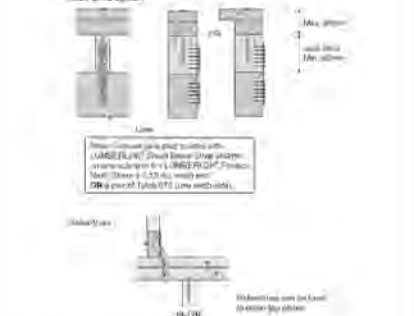
STUD-LOK SL170 - Blue Head

Fix through very top plate or capping plate using STUD-LOK SL170 (1 @ stud crs.)

Full length stud option:



Also stud option:



Note: These top plate to stud fixing options do not apply to walls under floors, just walls with trusses or rafters attached.



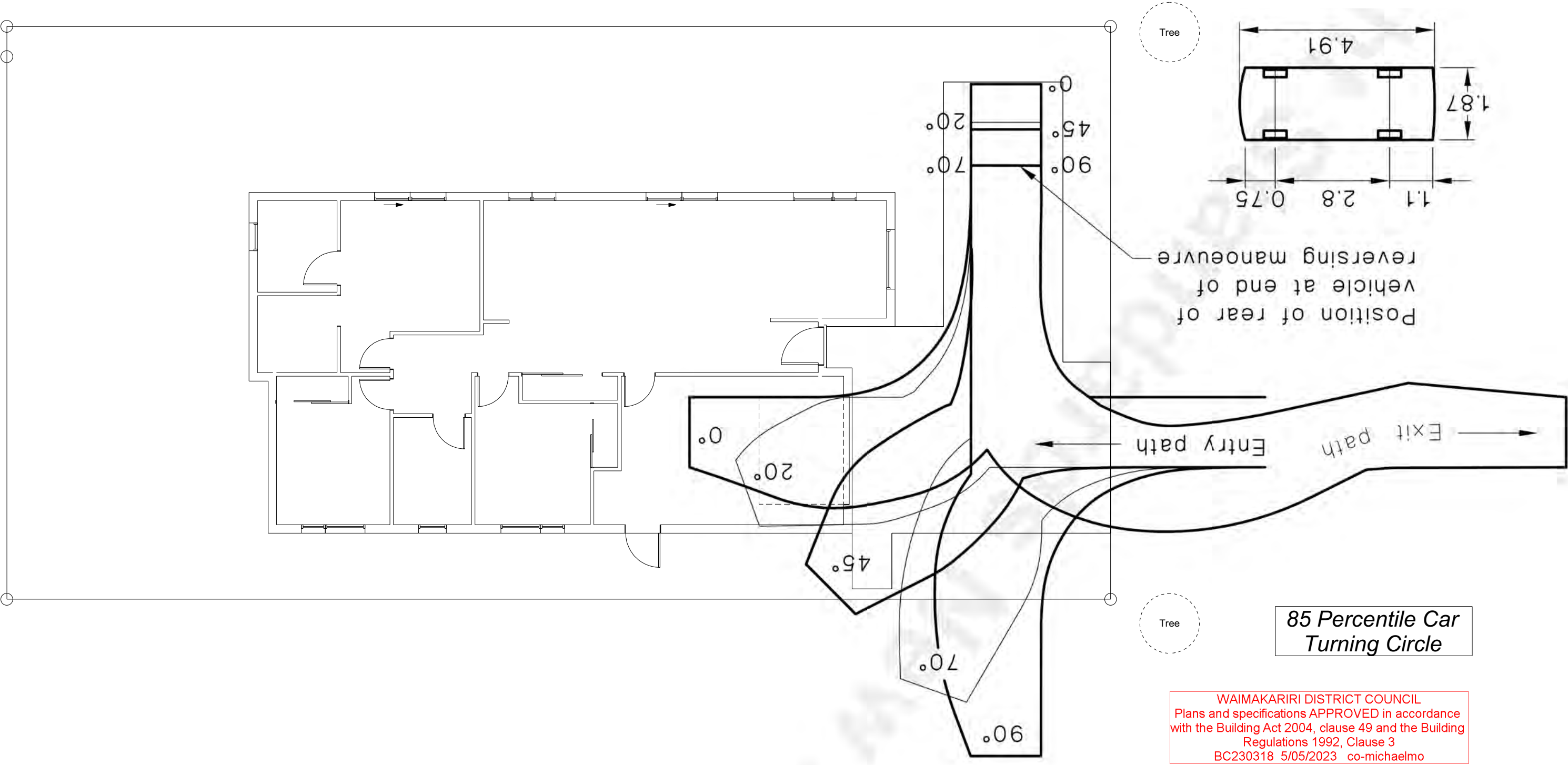
Job No: **RG1378642C1**
Customer: TKR Homes Limited | T/A Signature Homes Canterbury
Job Name: Hannaway Lot 679 Ravenswood
Address: Lot 679 Ravenswood
Woodend, Waimakariri District

Notification of point loaded lintels or point loads on internal walls where the downward load is higher than 8kN (85mm raft type slab) or 10kN (100mm standard slab), or the upward load is greater than 10kN. These loads are Ultimate Limit State Loads
If no loads are shown, no thickening is required.


The lintels have been sized using one of the following:
The MiTek SAPPHIRE Component Design Software.
hy90, hyONE and hySPAN lintels have been sized using the designIT for houses - New Zealand series 6 software.
GANGLAM and FLITCH BEAMS have been sized using the MiTek Beam Program V1.10 June 2011.
Unless otherwise stated the timber grade for all lintels is SG8. Lintels not shown are to be selected as per NZS3604: 2011 or designed by an engineer as required.

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				Sales: D Ryan	Drawn: M Glynn	QS: A Villanueva	Print Date: 4/05/2023	Scale: NTS @ A3	No.	Date:	Reason:	
									1	05-04-2023	Initial Consent Plans	