

Approved Building Consent Documents

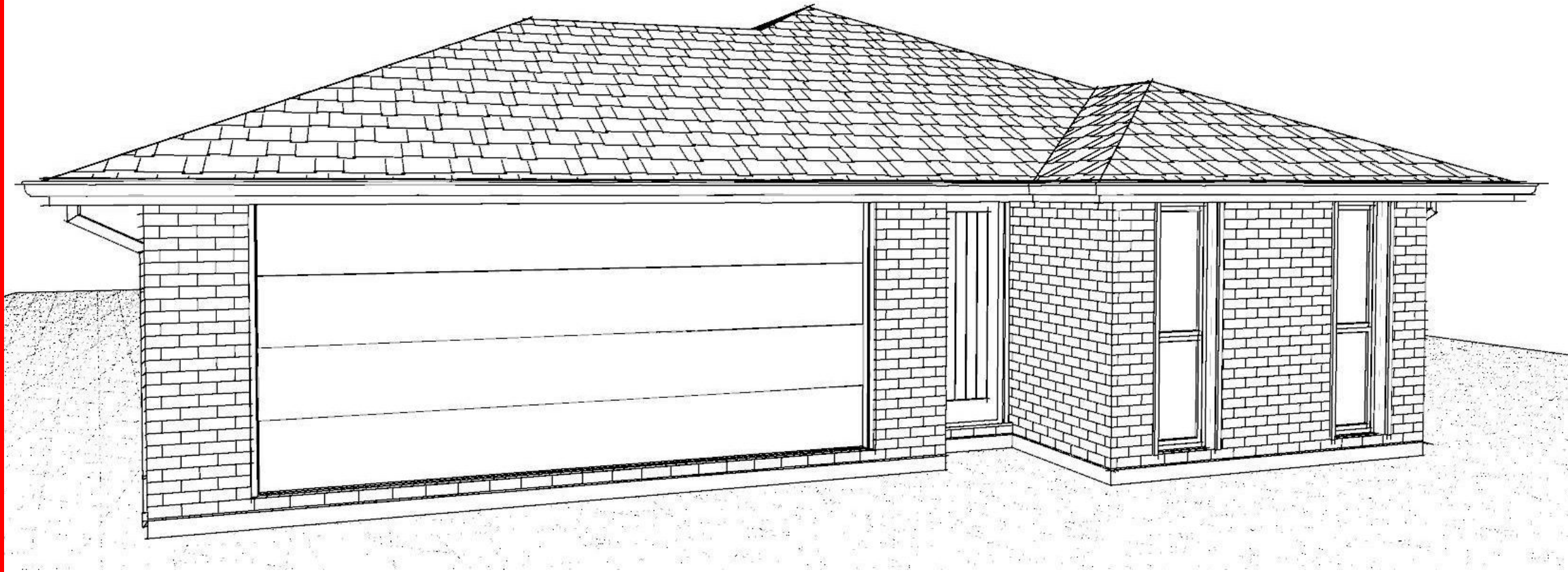
Please Note: A copy of the stamped approved documents must be available on site for all inspections.

Inspection booking timeframes

Call received	before 3pm inspection will be done	after 3pm inspection will be done
Monday	Wednesday	Thursday
Tuesday	Thursday	Friday
Wednesday	Friday	Monday
Thursday	Monday	Tuesday
Friday	Tuesday	Wednesday

Building inspections and enquiries phone: 03 347 2839

Please ensure all work for inspection is ready the day before. Incomplete work requiring re-inspection will incur an additional inspection fee.




Contents:	
Sheet 1 :	Cover Sheet
Sheet 2 :	Site Plan
Sheet 3 :	Floor Plan
Sheet 4 :	Elevations
Sheet 5 :	Elevations
Sheet 6 :	Cross Sections
Sheet 7 :	Roof Plan
Sheet 8 :	Set Out Dimensions
Sheet 9 :	Foundation Plan
Sheet 10 :	RibRaft Plan
Sheet 11 :	Drainage Plan
Sheet 12 :	Bracing Plan
Sheet 13 :	Lighting Plan
Sheet 14 :	Framing Details
Sheet 15 :	Framing Details
Sheet 16 :	Construction Details
Sheet 17 :	Construction Details
Sheet 18 :	Construction Details
Sheet 19 :	Construction Details
Sheet 20 :	Plumbing Details
Sheet 21 :	Bathroom Details
Sheet 22 :	Truss Design
Sheet 23 :	Truss Design

Planning Approved

2/08/2023 andre.salvador

All dimensions are to be checked and confirmed prior to any construction.
Plans are to be read in conjunction with Specifications and all supporting documentation.

 Signature HOMES EST. 1983 YOUR HOME. YOUR WAY.	TKR Homes Ltd. 31 Watts Road, Sockburn PO BOX 11 351 Christchurch 8443 P: +64 3 342 7788	These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.	Vester Villalon Lot 8, DP 580863 1 Bob Reid Crescent Darfield	Job Number:	Original Plan:	Sheet Name:	CONSENT PLANS			Sheet No.:
				172870	Rifleman	COVER PAGE	No.	Date:	Reason:	1
							1	12-07-2023	Initial Consent Plans	
Sales: D Ryan		Drawn: M Glynn		QS: W Xian	Print Date: 3/08/2023	Scale: @ A3	of 23 sheets			

DRAWING NOTES

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Refer to attached Specifications for further information.

All work is to comply with the NZBC Acceptable Solutions, NZS 3604:2011 and Council Authority bylaws.

SITE INFORMATION

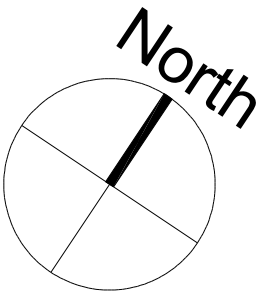
Site Area : 872m²
Floor Area (veneer) : 141.76m² / 16.26%
Roof Area : 168.91m² / 19.37%

Wind High
Earthquake 2
Exposure B
Snow N4 at 200m (up to 1.5kPa)

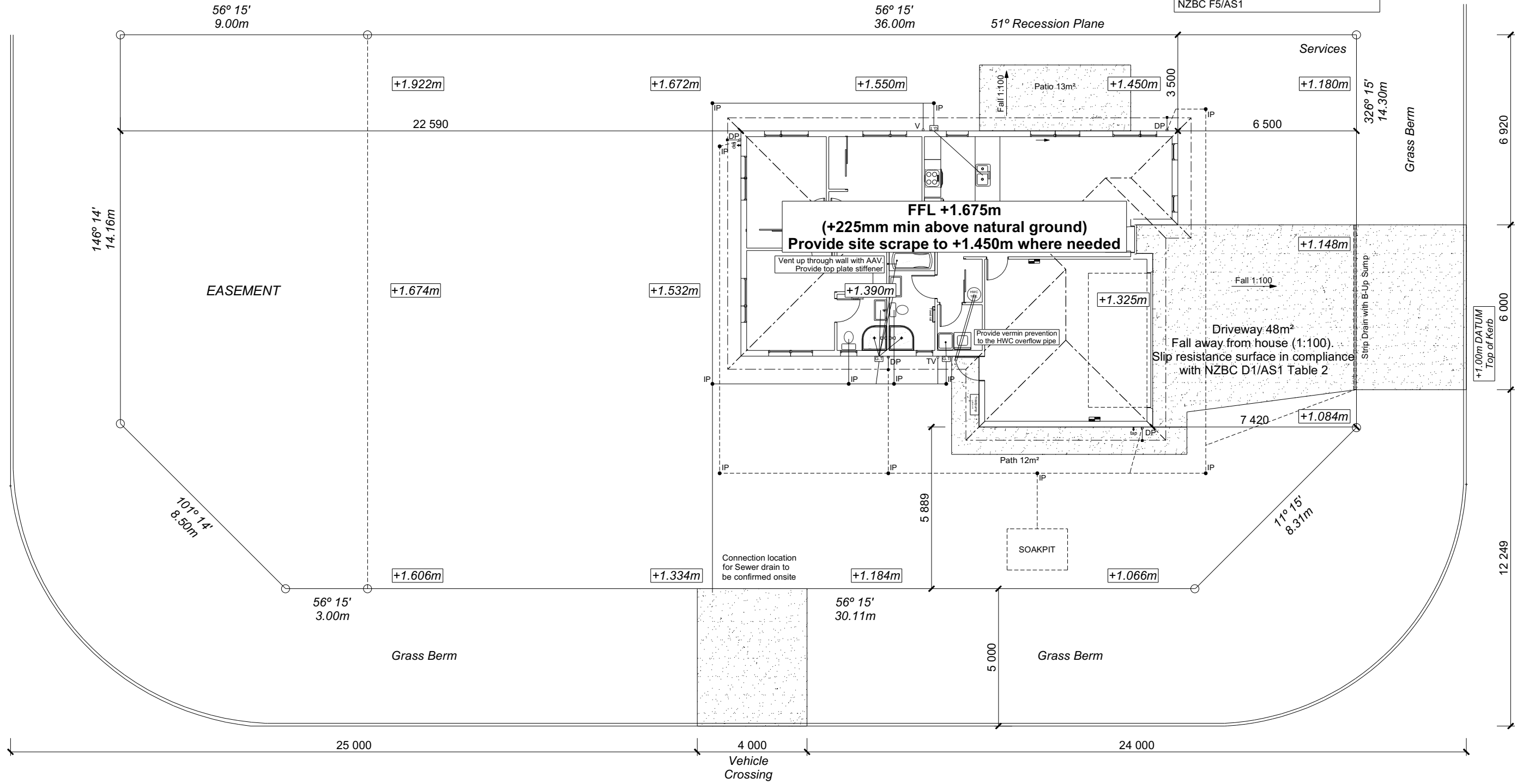
Note: The dimensions shown are from cladding to boundary. Refer to sheet 8 for foundation to boundary dimensions.

Sediment control and site safety requirements are noted in the attached Specifications.

Provide safety fencing to perimeter of site, permanent or temporary, to comply with NZBC F5/AS1




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COONEY AVENUE

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				172870	Rifleman	SITE PLAN	No.	Date:	Reason:	2	
							1	12-07-2023	Initial Consent Plans		
Sales:	Drawn:	QS:	Print Date:	Scale:				of 23 sheets			
D Ryan	M Glynn	W Xian	3/08/2023	1:150 @ A3							

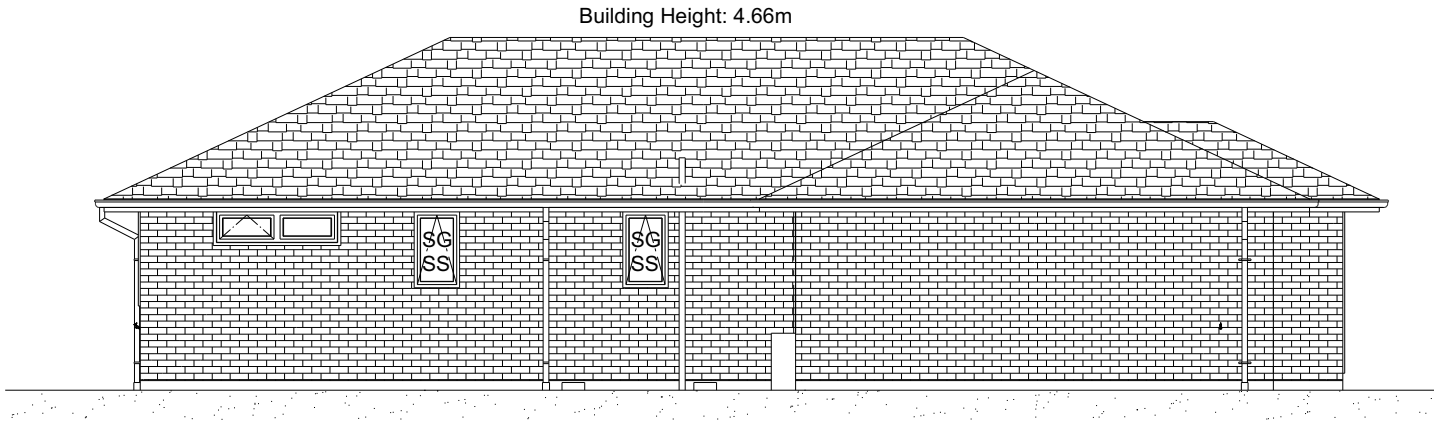
Elevation



All dimensions are to be check and confirmed prior to any construction
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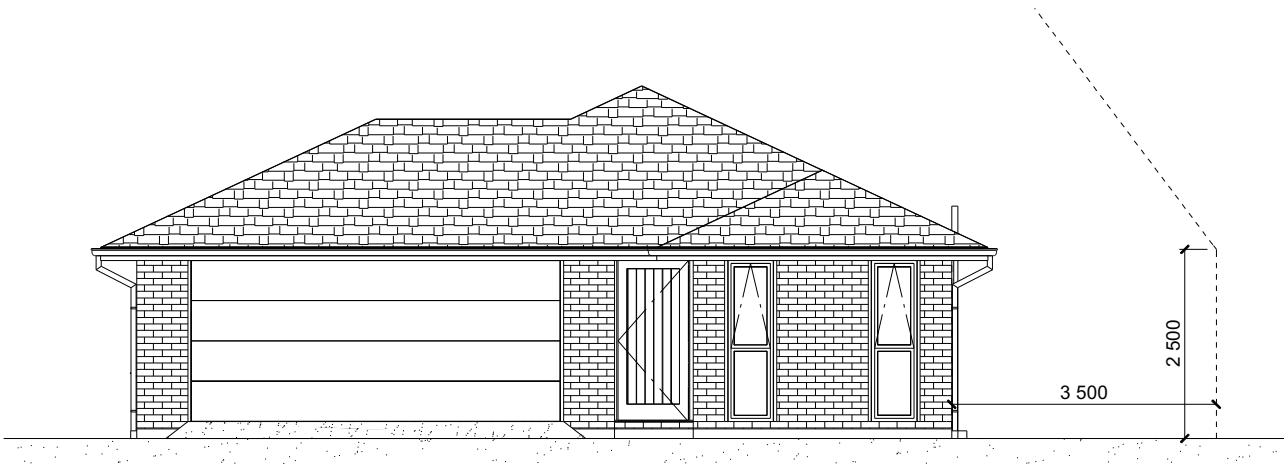
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				Sales: D Ryan	Drawn: M Glynn	QS: W Xian	Print Date: 3/08/2023	Scale: 1:100 @ A3	No. 1	Date: 12-07-2023	Reason: Initial Consent Plans

BUILDING ENVELOPE RISK MATRIX		
ELEVATION A		
RISK CRITERIA	RISK	SCORE
Wind Zone	High	1
Number of Stories	Low	0
Roof Wall Junction	Low	0
Eaves Width	Medium	1
Building Envelope	Low	0
Decks & Balconies	Low	0
Total		2



ELEVATION A

BUILDING ENVELOPE RISK MATRIX		
ELEVATION B		
RISK CRITERIA	RISK	SCORE
Wind Zone	High	1
Number of Stories	Low	0
Roof Wall Junction	Low	0
Eaves Width	Medium	1
Building Envelope	Low	0
Decks & Balconies	Low	0
Total		2



ELEVATION B

ROOF & WALL CLADDINGS

Roof : 25° Pressed Metal Tiles
Walls : 70 Series Brick Veneer
with a 50mm cavity

ELEVATION LEGEND

SS Safety Stays
SG Safety Glass
TV Terminal Vent

ELEVATION NOTES

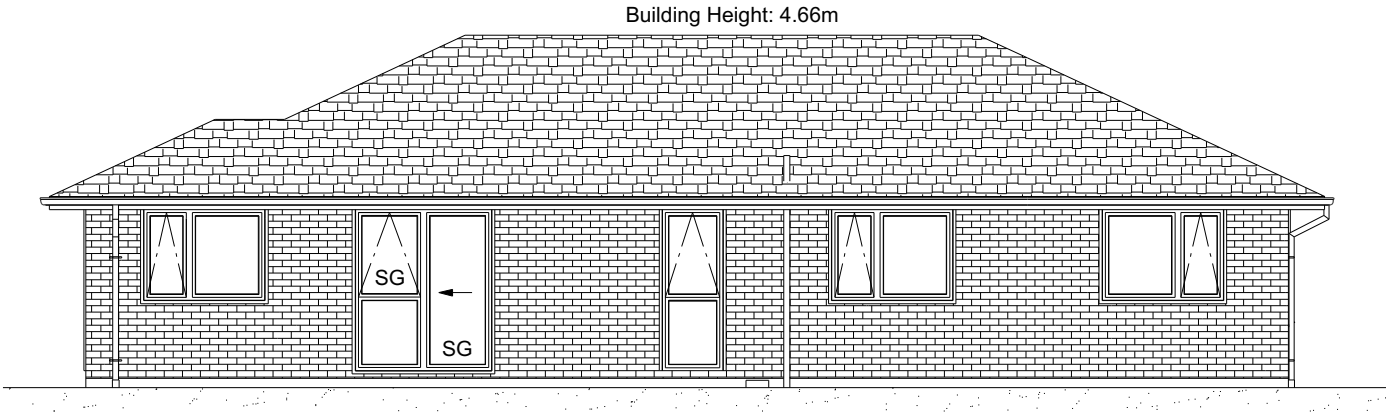
Gutter : Coloured Steel Quad Gutter
Fascia : Coloured Steel185 Fascia
Downpipe :Colorsteel Rectangular 75x55mm
Soffits : Hardiflex 4.5mm
Joinery : Low-E/4 Double Glazed
Thermally Broken Aluminium Joinery
Standard single glazing to Garage

All egress points to have a maximum step
down of 190mm.
Access routs to have slip resistance surface
in compliance with NZBC D1/AS1 Table 2
and to have a 1:100 fall away from the building

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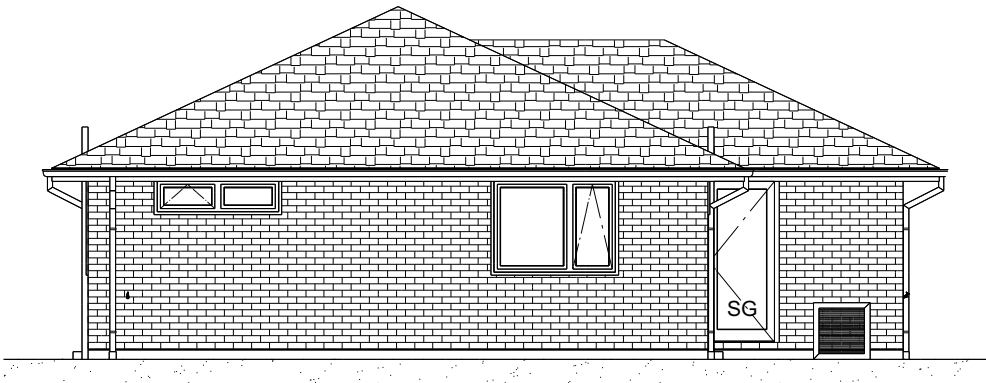
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				172870	Rifleman	ELEVATIONS	No.	Date:	Reason:	4	
							1	12-07-2023	Initial Consent Plans		
Sales: D Ryan		Drawn: M Glynn		QS: W Xian	Print Date: 3/08/2023	Scale: 1:100 @ A3				of 23 sheets	

BUILDING ENVELOPE RISK MATRIX		
ELEVATION C		
RISK CRITERIA	RISK	SCORE
Wind Zone	High	1
Number of Stories	Low	0
Roof Wall Junction	Low	0
Eaves Width	Medium	1
Building Envelope	Low	0
Decks & Balconies	Low	0
Total		2



ELEVATION C

BUILDING ENVELOPE RISK MATRIX		
ELEVATION D		
RISK CRITERIA	RISK	SCORE
Wind Zone	High	1
Number of Stories	Low	0
Roof Wall Junction	Low	0
Eaves Width	Medium	1
Building Envelope	Low	0
Decks & Balconies	Low	0
Total		2



ELEVATION D

ROOF & WALL CLADDINGS

Roof : 25° Pressed Metal Tiles
Walls : 70 Series Brick Veneer
with a 50mm cavity

ELEVATION LEGEND

SS Safety Stays
SG Safety Glass
TV Terminal Vent

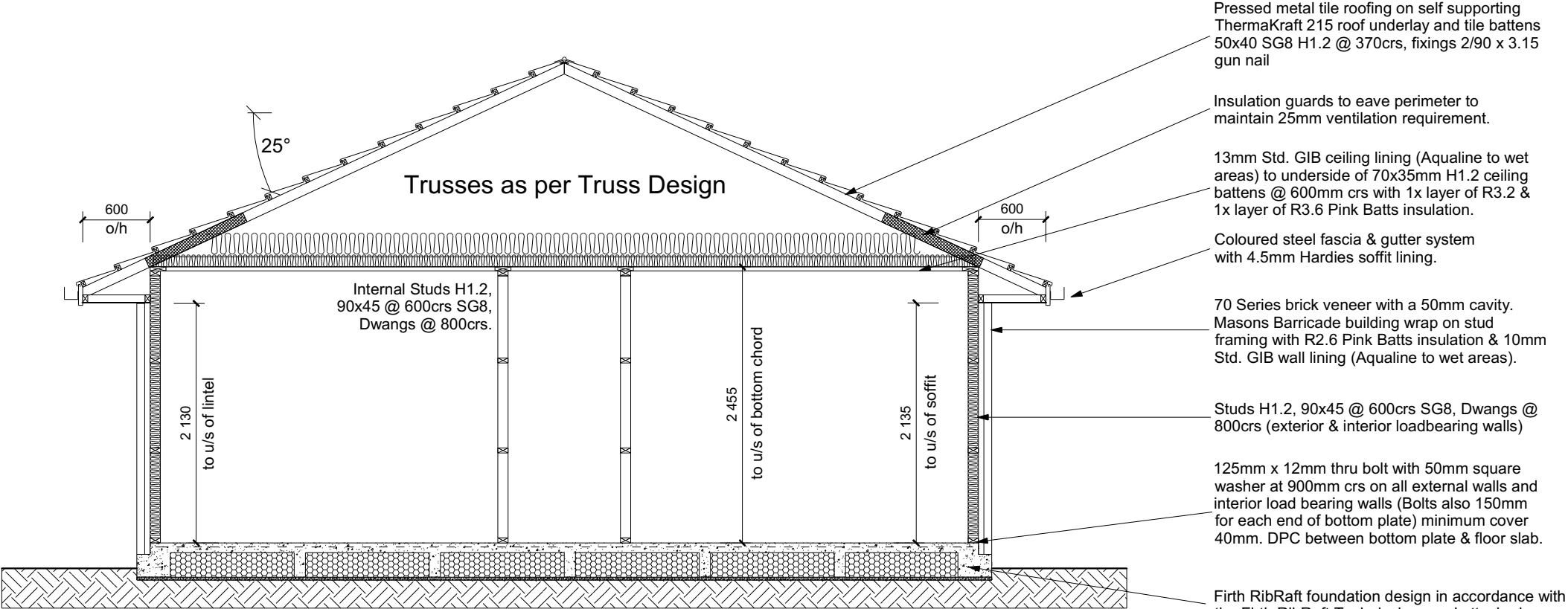
ELEVATION NOTES

Gutter : Coloured Steel Quad Gutter
Fascia : Coloured Steel185 Fascia
Downpipe :Colorsteel Rectangular 75x55mm
Soffits : Hardiflex 4.5mm
Joinery : Low-E/4 Double Glazed
Thermally Broken Aluminium Joinery
Standard single glazing to Garage

All egress points to have a maximum step
down of 190mm.
Access routs to have slip resistance surface
in compliance with NZBC D1/AS1 Table 2
and to have a 1:100 fall away from the building

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				172870	Rifleman	ELEVATIONS	No.	Date:	Reason:		5
							1	12-07-2023	Initial Consent Plans		
Sales:	Drawn:	QS:	Print Date:	Scale:				of 23 sheets			
D Ryan	M Glynn	W Xian	3/08/2023	1:100 @ A3							



CROSS SECTION A-A

ROOF & WALL CLADDINGS

Roof : 25° Pressed Metal Tiles
Walls : 70 Series Brick Veneer
with a 50mm cavity

CROSS SECTION NOTES

Building wrap is to comply with E2/AS1 & NZS 3604:2011.
Flashing materials must be selected based on environmental exposure. Refer to NZS 3604:2011 & table 20 of E2/AS1.
Flashing tape must have proven compatibility with the selected wrap & other materials with which it comes into contact as per table 21 of E2/AS1.
Fixings shall comply with NZS 3604:2011 Section 4 Durability Tables 4.1-4.3
Unless stated otherwise, timber members on drawings are to be a minimum of SG8 strength graded as per NZS3604:2011.

Low-E/4 Double Glazed
Thermally Broken Aluminium Joinery
Standard single glazing to Garage

INSULATION

Ceiling: Pink Batts R3.2 + R3.6 Ceiling Batts
Wall: Pink Batts R 2.6 Wall Batts

DRAWING NOTES

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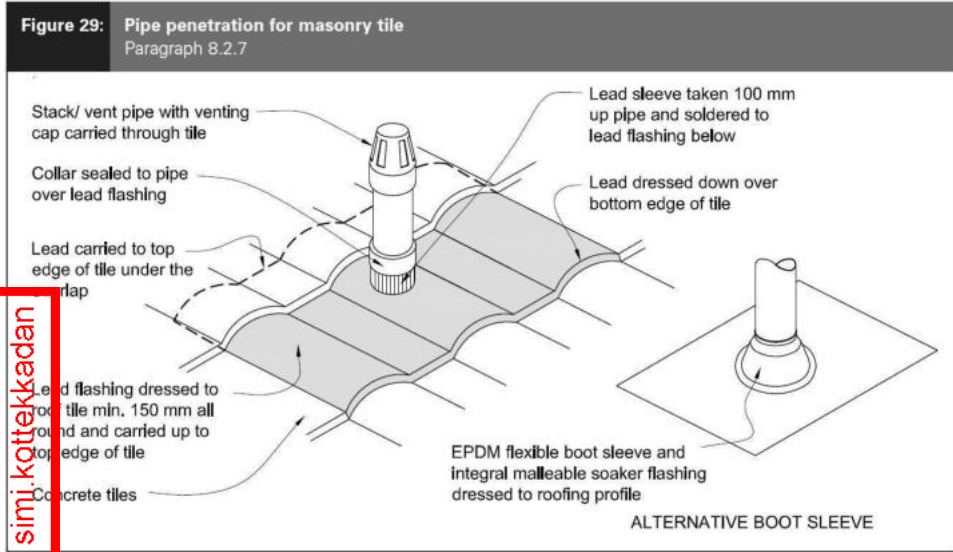
Verify all dimensions, sizes and levels on site prior to commencing any work. Any discrepancies are to be confirmed with Signature Homes Ltd.

Refer to attached Specifications for further information.

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				172870	Rifleman	CROSS SECTIONS	No.	Date:	Reason:			6
							1	12-07-2023	Initial Consent Plans			
Sales: D Ryan		Drawn: M Glynn	QS: W Xian	Print Date: 3/08/2023	Scale: 1:50 @ A3					of 23 sheets		

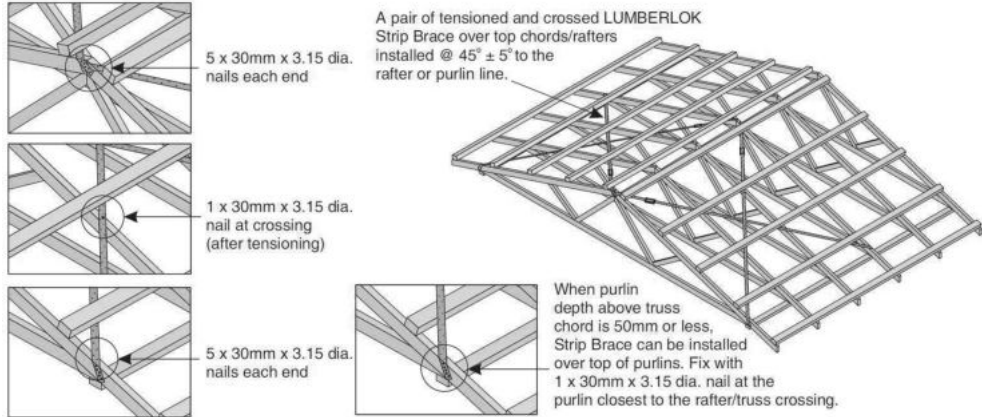


Metal Tile Penetration Detail
Scale NTS

8.3.10 Roof penetrations

Pipe penetrations shall be flashed using *EPDM flashings* similar to that shown for masonry tiles, Figure 29.

- A pair of tensioned and crossed LUMBERLOK Strip Brace running continuously from ridge to top plate installed as detailed below.



ROOF CLADDING

Roofing : 25° Pressed Metal Tiles
Tile Battens : 50x40 SG8 H1.2 @ 370crs, fixings 2/90 x 3.15 gun nail

ROOF PLAN NOTES

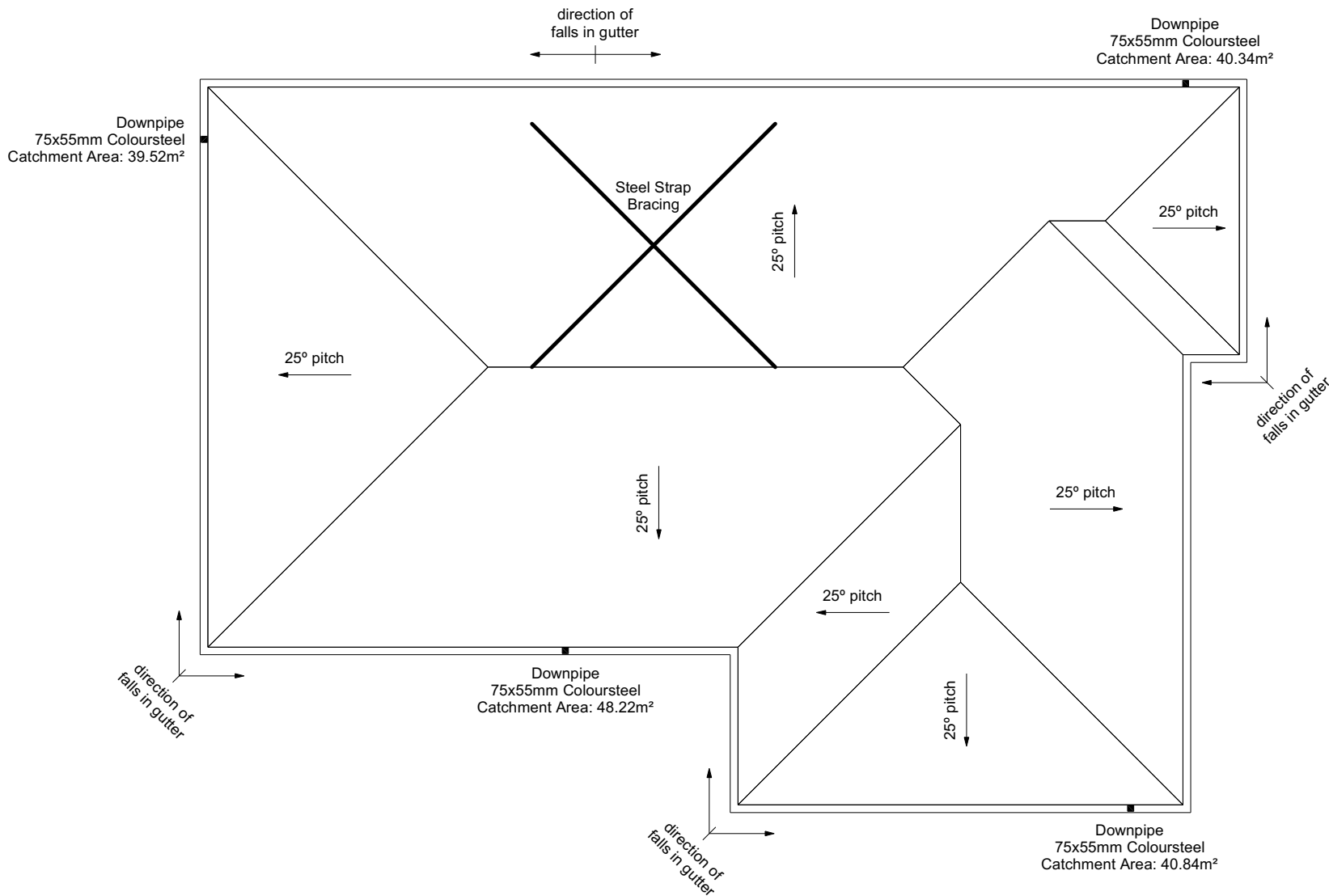
Gutter: Coloured Steel Quad Gutter
Fascia: Coloured Steel 185 Fascia
Downpipes: Colorsteel Rectangular 75x55mm
Soffits: Hardiflex 4.5mm

Underlay: Thermakraft 215 roof underlay

Downpipes: 75x55 Rectangle Colorsteel
As per NZBC E1/AS1 Table 5 75x55 down pipes can collect up to 60m² of 0-25° roof plan area.

Use Coloured steel Quad Gutter
As per NZ Metal Roof and Wall Cladding Code of Practice Version 2 section 8 the above gutter with a cross sectional area of 5550mm² can collect up to 60m² of 0-25° roof plan area. Refer to the specifications for exact calculations.

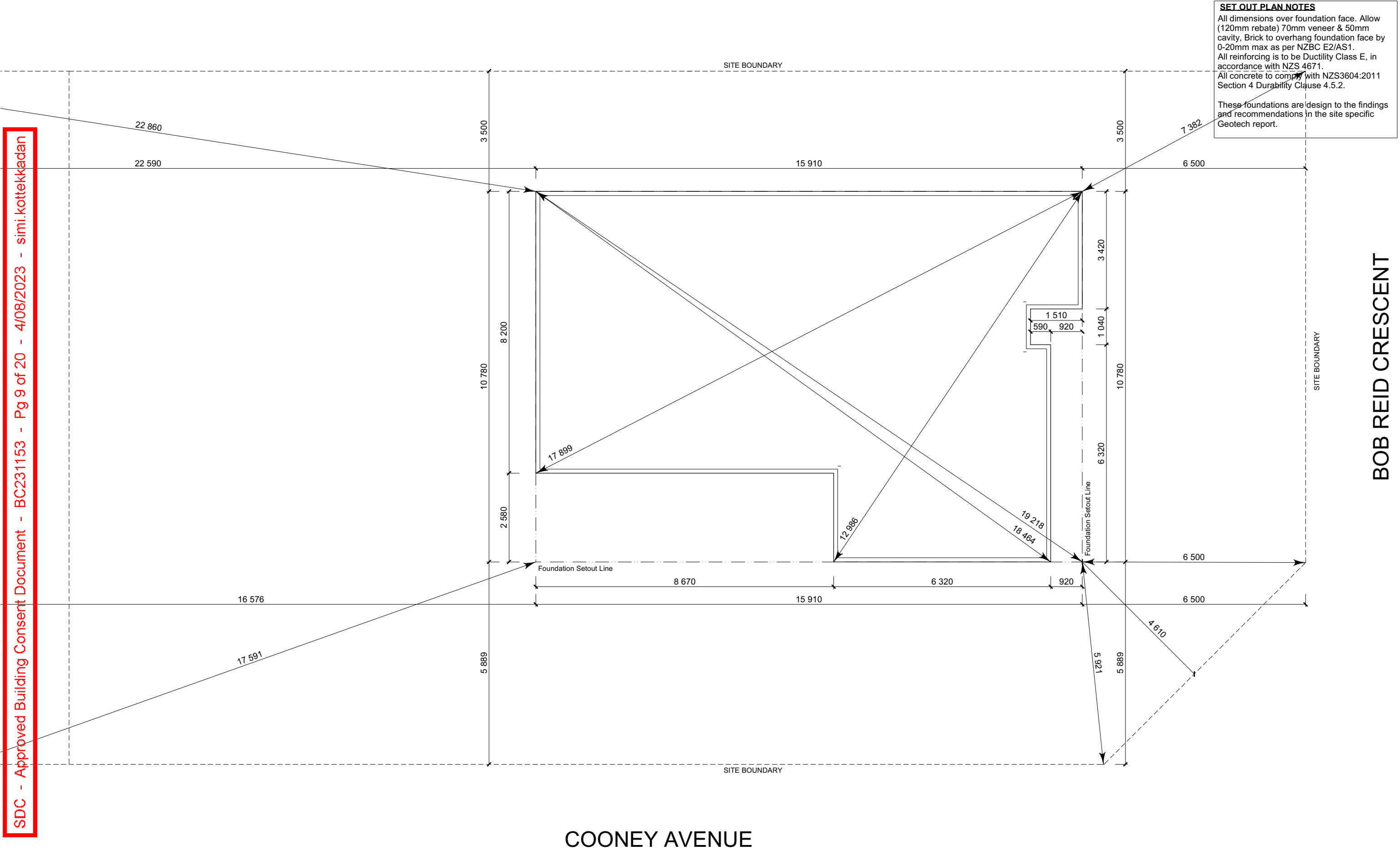
Use Lumberlock top plate fixing chart attached to the main specifications to determine top plate fixings.




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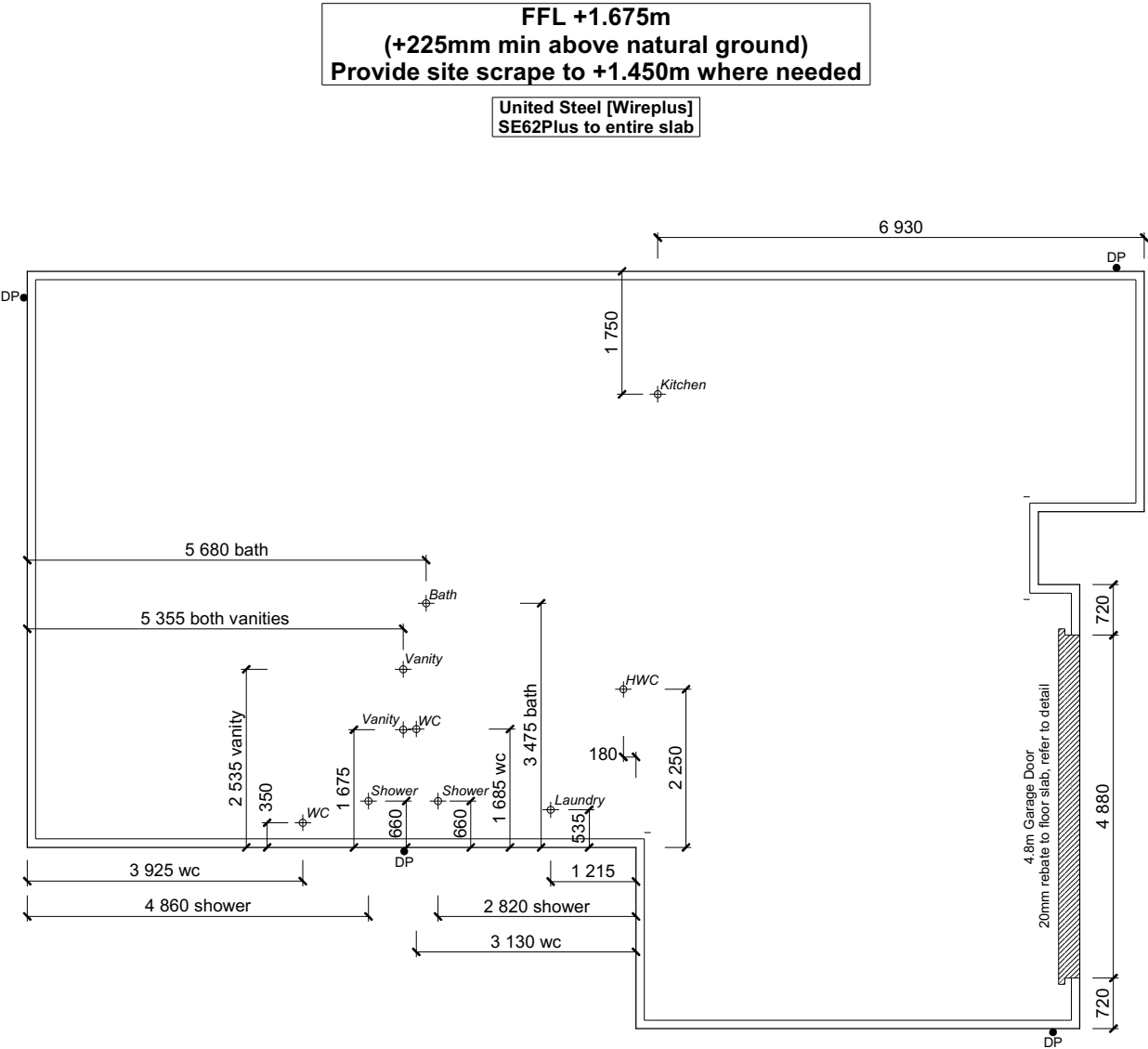
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								No.	Date:	Reason:	
								1	12-07-2023	Initial Consent Plans	

SDC - Approved Building Consent Document - BC231153 - Pg 9 of 20 - 4/08/2023 - simi.kottekkadan



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				172870	Rifleman	SETOUT DIMENSIONS	No.	Date:	Reason:	8
							1	12-07-2023	Initial Consent Plans	
Sales: D Ryan		Drawn: M Glynn	QS: W Xian	Print Date: 3/08/2023	Scale: 1:100 @ A3	of 23 sheets				



FOUNDATION PLAN NOTES

All dimensions over foundation face. Allow (120mm rebate) 70mm veneer & 50mm cavity, Brick to overhang foundation face by 0-20mm max as per NZBC E2/AS1.

W/C location indicated on plan has assumed a 140mm offset from internal frame line, please consult manufacturer's documentation to confirm offset.

Contractor to consult manufacturer's documentation to determine the correct location for all wastes positioned through floor slabs.

Earth bar to be bonded to the reinforcing mesh

Refer to Truss design for exact location of slab thickenings

All reinforcing is to be Ductility Class E, in accordance with NZS 4671.

All concrete to comply with NZS3604:2011 Section 4 Durability Clause 4.5.2.

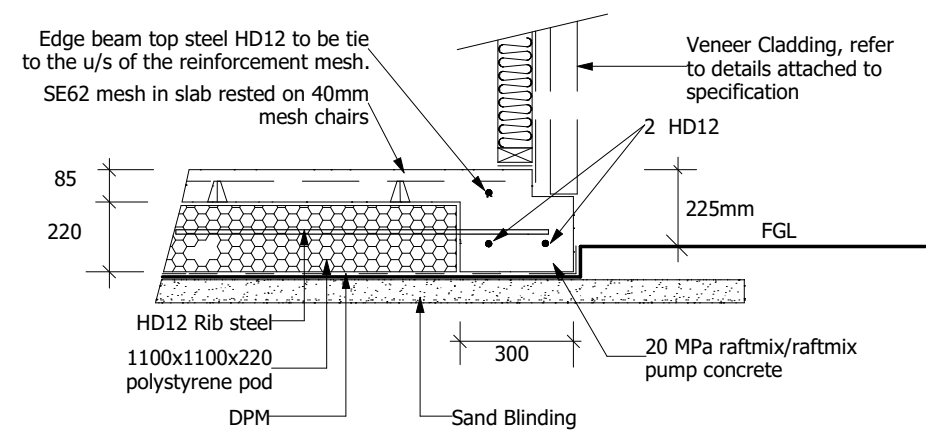
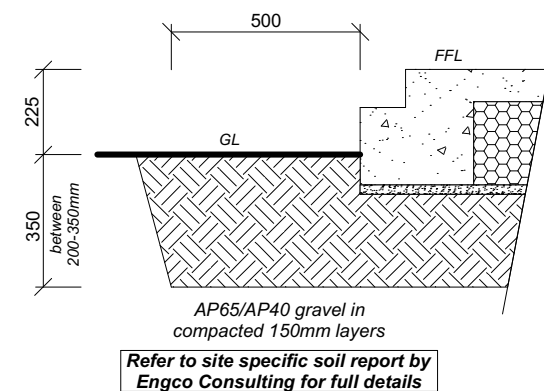
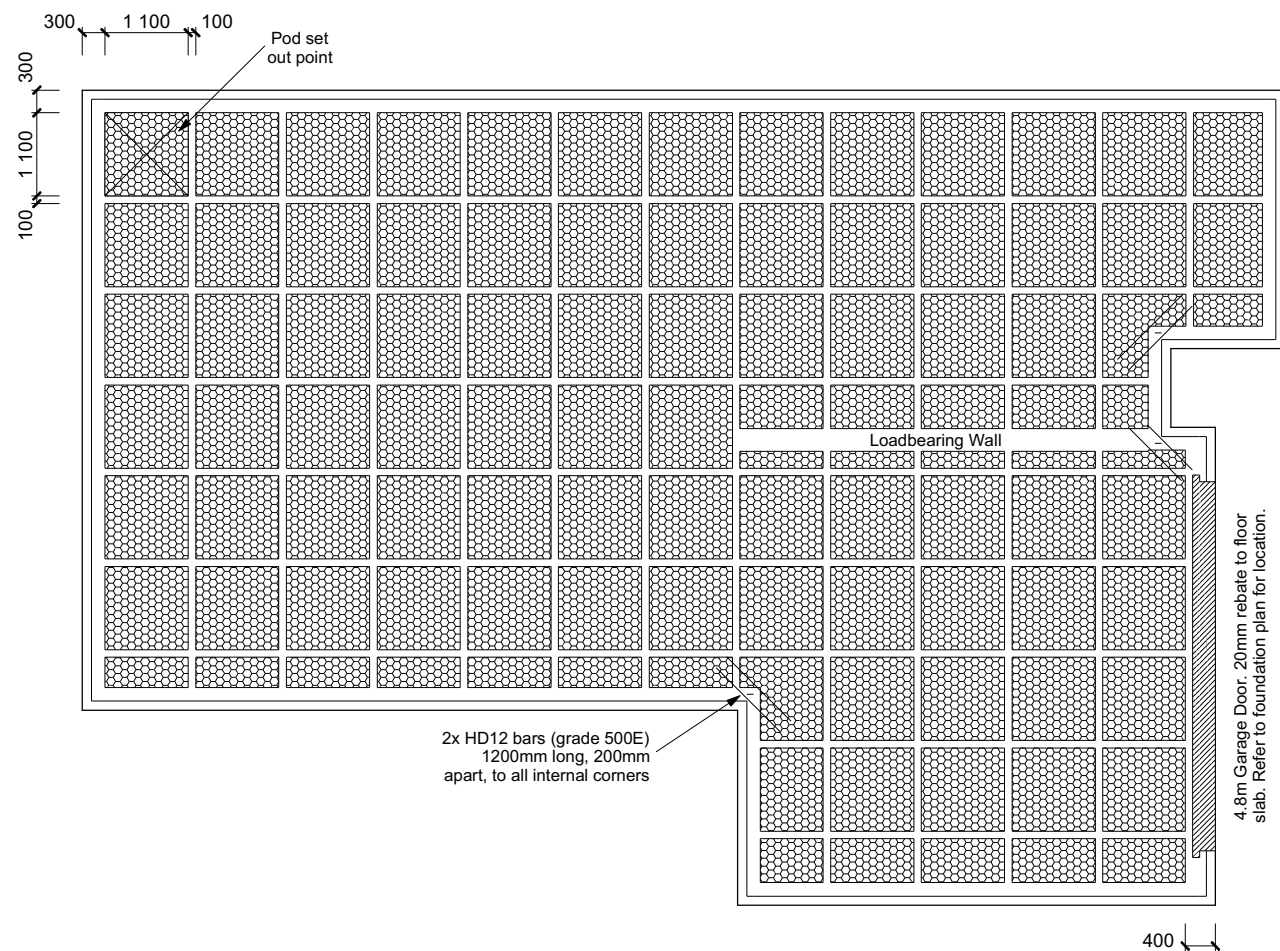
AREA TO PERIMETER RATIO

Foundation Area: 141.76m²
Perimeter: 54.56m
Ratio: 2.60

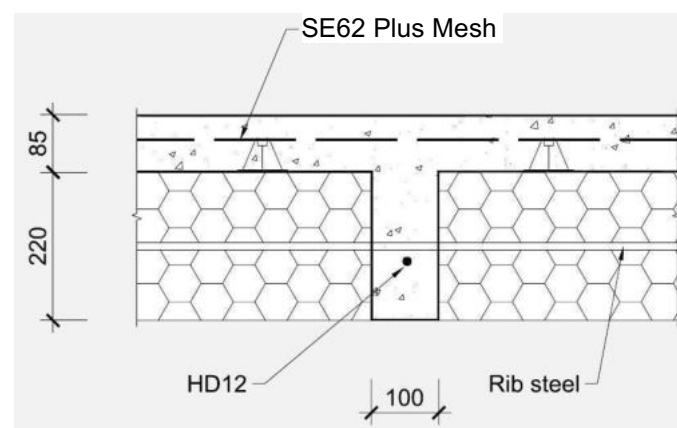
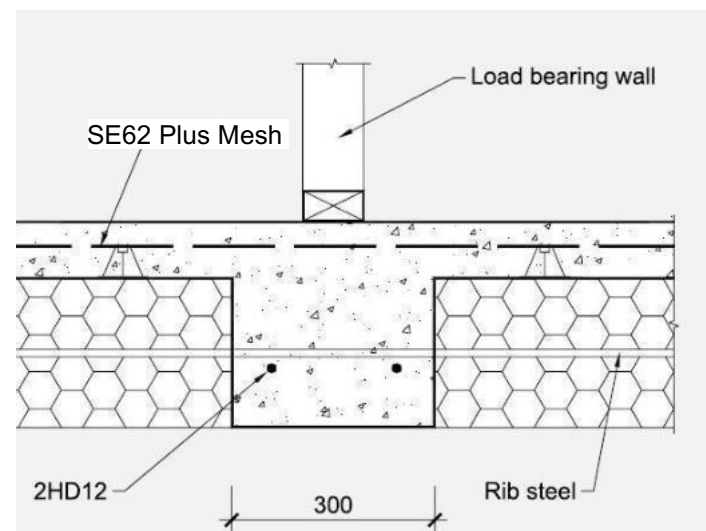
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 <p>Signature HOMES YOUR HOME. YOUR WAY.</p>	<p>TKR Homes Ltd. 31 Watts Road, Sockburn PO BOX 11 351 Christchurch 8443 P: +64 3 342 7788</p>	<p>These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail it required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.</p>	<p>Vester Villalon Lot 8, DP 580863 1 Bob Reid Crescent Darfield</p>	Job Number:	Original Plan:	Sheet Name:	CONSENT PLANS			Sheet No.:	
				172870	Rifleman	FOUNDATION PLAN	No.	Date:	Reason:		9
							1	12-07-2023	Initial Consent Plans		
Sales:	Drawn:	QS:	Print Date:	Scale:				of 23 sheets			
D Ryan	M Glynn	W Xian	3/08/2023	1:100 @ A3							


**TC1 Firth RaftMix Concrete foundation design
in accordance with the Firth RibRaft
Technical Manual & Codemark attached.**

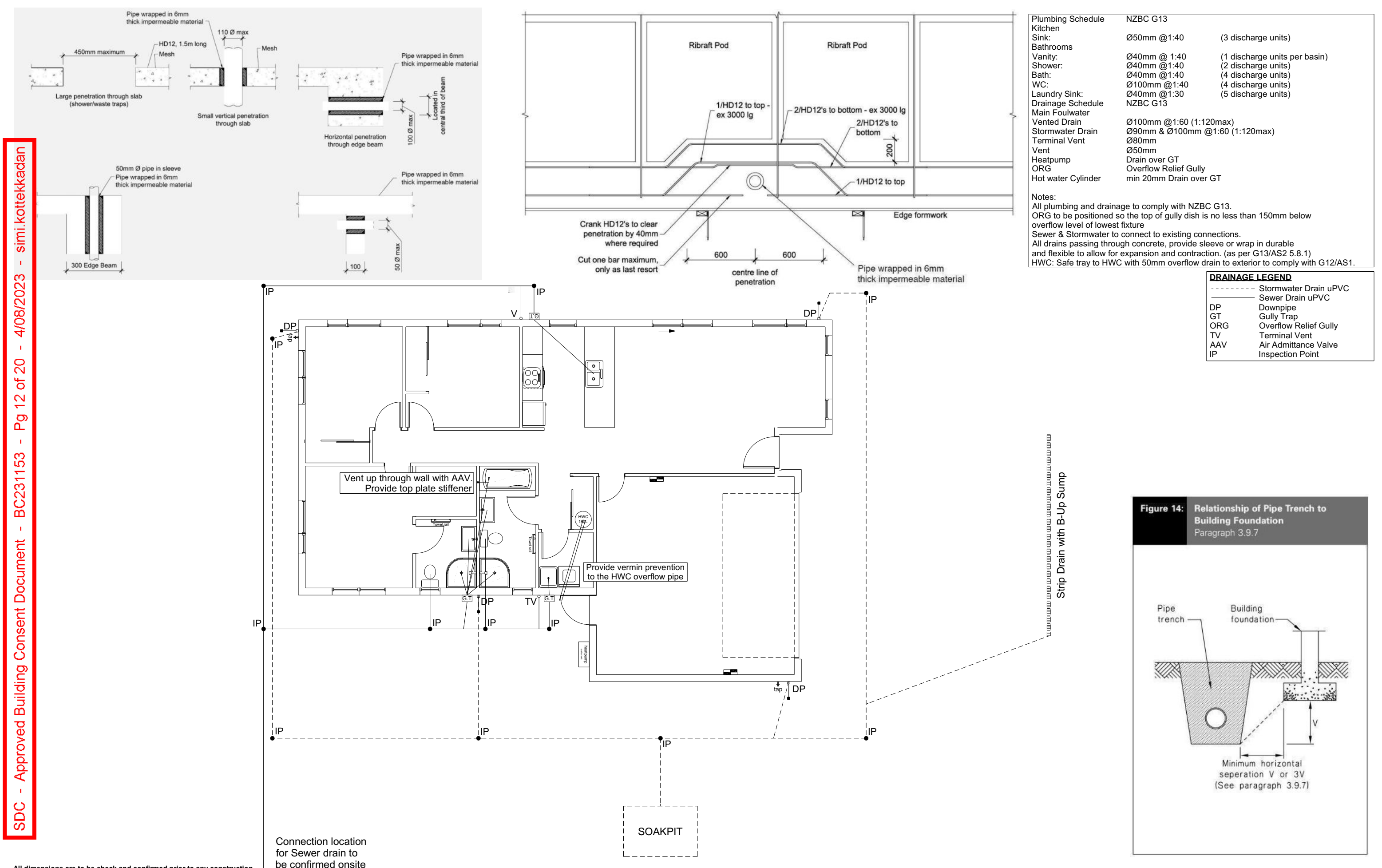


Ribraft Edgebeam Detail (Rebate) Scale 1:20



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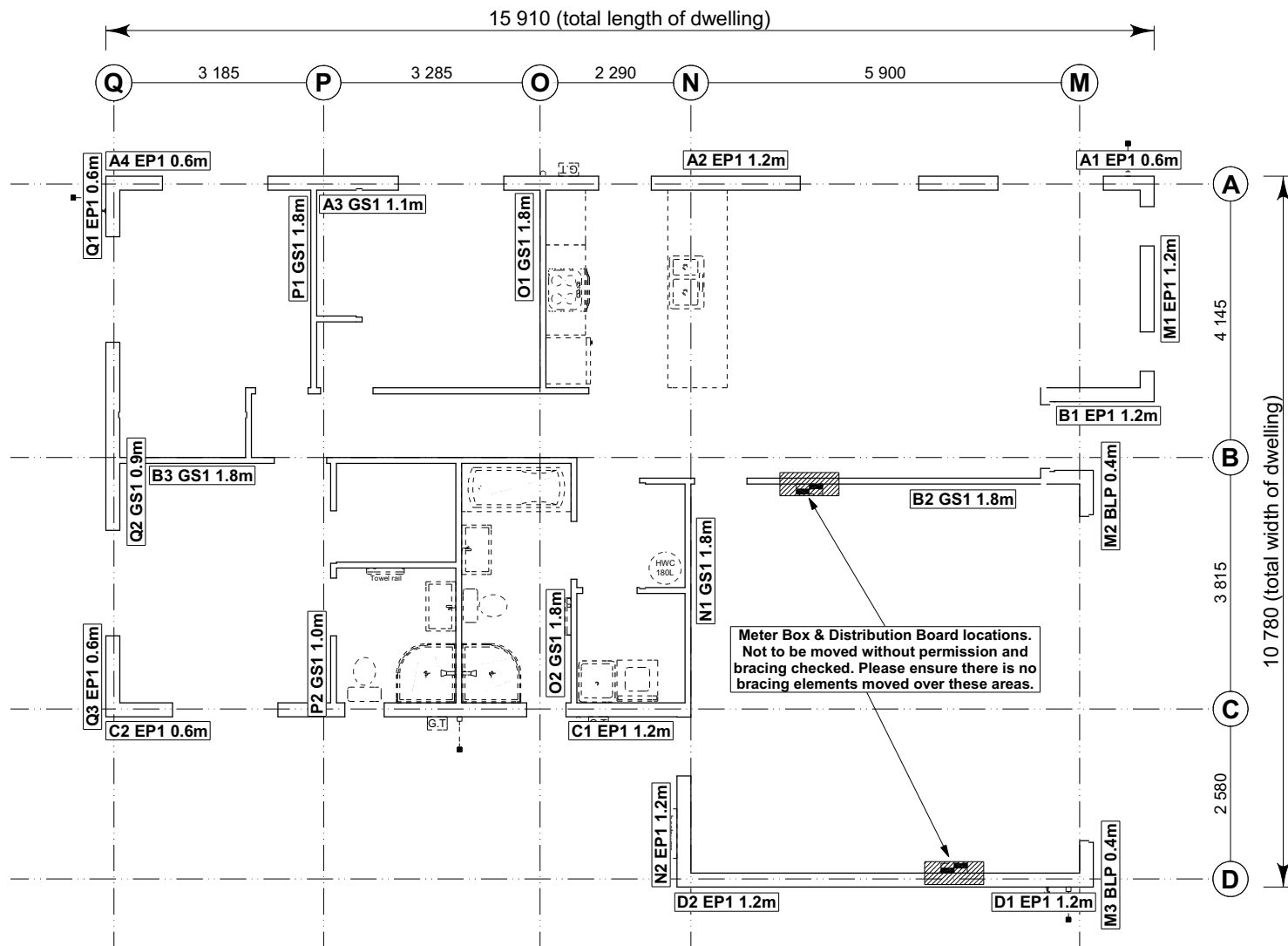
 <p>Signature HOMES EST. 1989</p> <p>YOUR HOME. YOUR WAY.</p>	<p>TKR Homes Ltd. 31 Watts Road, Sockburn PO BOX 11 351 Christchurch 8443</p> <p>P: +64 3 342 7788</p>	<p>These drawings are limited to and by the extent of the detail covered in the drawings to meet the current New Zealand Building Code (NZBC). Where detail is required for construction and to demonstrate compliance with the current NZBC, a specific request should be made for the required detail to be supplied. No liability will be accepted for any detail or construction not covered in these drawings and/or carried out by persons other than the designer producing these documents.</p>	<p>Vester Villalon Lot 8, DP 580863 1 Bob Reid Crescent Darfield</p>	Job Number: 172870		Original Plan: Rifleman	Sheet Name: RIBRAFT PLAN		CONSENT PLANS			Sheet No.: 10	
				Sales: D Ryan		Drawn: M Glynn	QS: W Xian	Print Date: 3/08/2023	Scale: 1:100 @ A3	No. 1	Date: 12-07-2023	Reason: Initial Consent Plans	
											of 23 sheets		



Plumbing Schedule	NZBC G13	
Kitchen Sink:	Ø50mm @1:40	(3 discharge units)
Bathrooms		
Vanity:	Ø40mm @ 1:40	(1 discharge units per basin)
Shower:	Ø40mm @1:40	(2 discharge units)
Bath:	Ø40mm @1:40	(4 discharge units)
WC:	Ø100mm @1:40	(4 discharge units)
Laundry Sink:	Ø40mm @1:30	(5 discharge units)
Drainage Schedule	NZBC G13	
Main Foulwater		
Vented Drain	Ø100mm @1:60 (1:120max)	
Stormwater Drain	Ø90mm & Ø100mm @1:60 (1:120max)	
Terminal Vent	Ø80mm	
Vent	Ø50mm	
Heatpump	Drain over GT	
ORG	Overflow Relief Gully	
Hot water Cylinder	min 20mm Drain over GT	

Notes:
All plumbing and drainage to comply with NZBC G13.
ORG to be positioned so the top of gully dish is no less than 150mm below overflow level of lowest fixture
Sewer & Stormwater to connect to existing connections.
All drains passing through concrete, provide sleeve or wrap in durable and flexible to allow for expansion and contraction. (as per G13/AS2 5.8.1)
HWC: Safe tray to HWC with 50mm overflow drain to exterior to comply with G12/AS1.

DRAINAGE LEGEND	
-----	Stormwater Drain uPVC
-----	Sewer Drain uPVC
DP	Downpipe
GT	Gully Trap
ORG	Overflow Relief Gully
TV	Terminal Vent
AAV	Air Admittance Valve
IP	Inspection Point



8.7.3.4
Each wall that contains one or more wall bracing elements shall be connected at the top plate level, either directly, or through a framing member in the line of the wall, to external walls at right angles to it. Top plate fixing(s) of the capacity in tension or compression along the line of the wall bracing element are given as follows:

(a) For each wall containing wall bracing elements with a total bracing capacity of not more than 125 bracing units: to at least one such external wall by a fixing as shown in figure 8.16 of 6 kN capacity;

(b) For each wall containing wall bracing elements with a total bracing capacity of not more than 250 bracing units: to at least 2 external walls by fixings as shown in figure 8.16 each of 6 kN capacity;

(c) For each wall containing wall bracing elements with a total bracing capacity of more than 250 bracing units: to at least 2 external walls by fixings as shown in figure 8.16 each having a rating of not less than 2.4 kN per 100 bracing units.

BRACING PLAN NOTES
Wall bracing designed in accordance with NZS 3604:2011 & GIB Ezybrace system
Refer to attached calculations.

Bracing Designed to:
Wind: High
Earthquake: 2

BRACING LEGEND

A ← Brace Line Label
1.1m ← Brace Length
GS1 ← Brace Type
A1 ← Brace Number

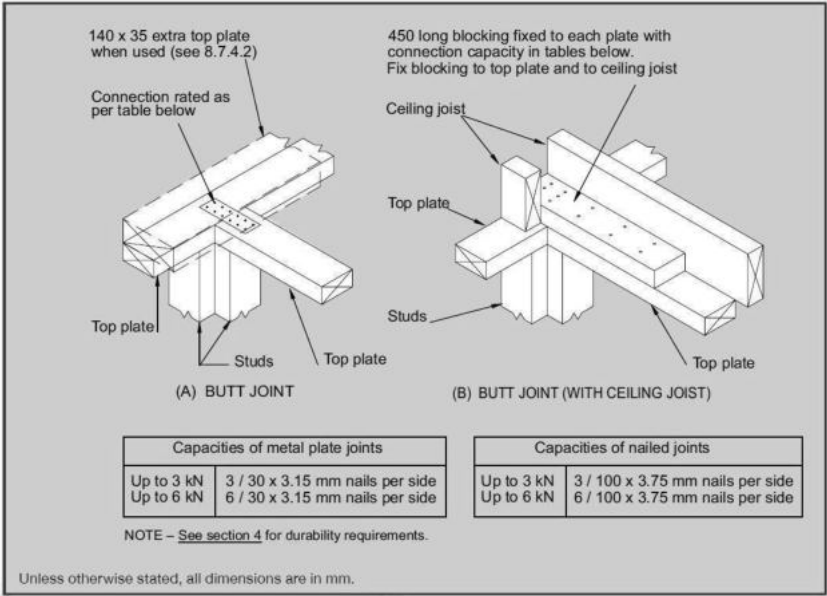


Figure 8.16 - Connecting top plates to external walls at right angles - Walls containing bracing (see 8.7.3.4)

Single Level Along Resistance Sheet

Job Name: Vester Villalon

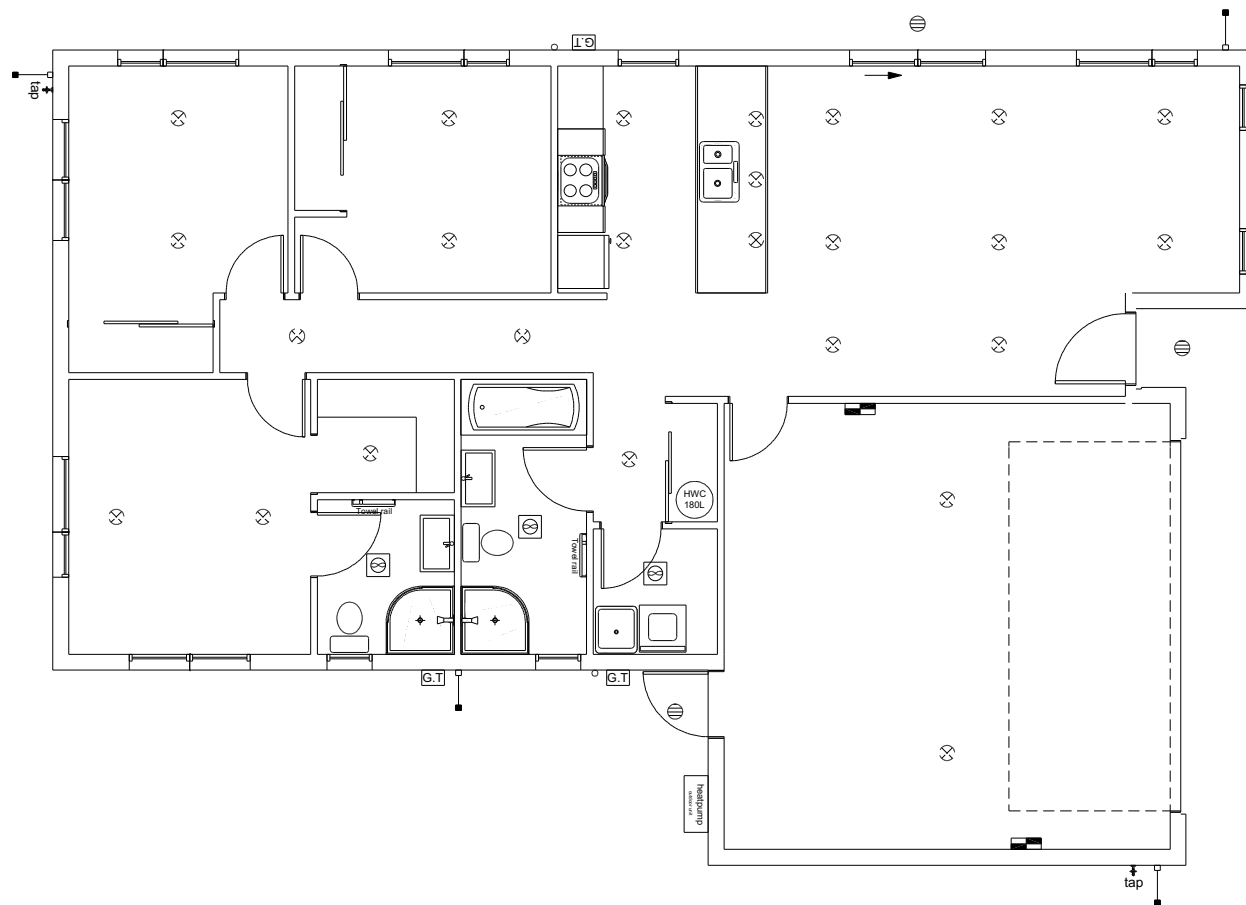
									Wind	EQ
									Demand	
									537	853
									Achieved	
Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind (BUs)	EQ (BUs)	1213	1281
A	1	0.60		2.4	EP1 0.6	Ecoply®	57	63	226%	150%
	2	1.20		2.4	EP1 1.2	Ecoply®	144	162		
	3	1.10		2.4	GS1-N	GIB®	74	66		
	4	0.60		2.4	EP1 0.6	Ecoply®	57	63		
									332 OK	354 OK
B	1	1.20		2.4	EP1 1.2	Ecoply®	144	162	144	162
	2	1.80		2.4	GS1-N	GIB®	124	108		
	3	1.80		2.4	GS1-N	GIB®	124	108		
									392 OK	378 OK
C	1	1.20		2.4	EP1 1.2	Ecoply®	144	162	144	162
	2	0.60		2.4	EP1 0.6	Ecoply®	57	63		
									201 OK	225 OK
D	1	1.20		2.4	EP1 1.2	Ecoply®	144	162	144	162
	2	1.20		2.4	EP1 1.2	Ecoply®	144	162		
									288 OK	324 OK
















Single Level Across Resistance Sheet

Job Name: Vester Villalon

									Wind	EQ
									Demand	
									761	853
									Achieved	
Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind (BUs)	EQ (BUs)	1117	1103
M	1	1.20		2.4	EP1 1.2	Ecoply®	144	162	147%	129%
	2	0.40		2.4	BLP-H	GIB®	48	54		
	3	0.40		2.4	BLP-H	GIB®	48	54		
									241 OK	270 OK
N	1	1.80		2.4	GS1-N	GIB®	124	108	124	108
	2	1.20		2.4	EP1 1.2	Ecoply®	144	162		
									268 OK	270 OK
O	1	1.80		2.4	GS1-N	GIB®	124	108	124	108
	2	1.80		2.4	GS1-N	GIB®	124	108		
									248 OK	216 OK
P	1	1.80		2.4	GS1-N	GIB®	124	108	124	108
	2	1.00		2.4	GS1-N	GIB®	65	60		
									189 OK	168 OK
Q	1	0.60		2.4	EP1 0.6	Ecoply®	57	63	57	63
	2	0.90		2.4	GS1-N	GIB®	57	53		
	3	0.60		2.4	EP1 0.6	Ecoply®	57	63		
									171 OK	179 OK

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LEGEND	
Refer to Electrical Section in Specification for further details	
	Ceiling Pan
	CA Approved Down Light
	Exterior Bulkhead Light
	Exterior Wall Light
	Fluorescent Double
	Light Switch
	Two Way Light Switch
	Single Power Socket
	Double Power Socket
	Outside Waterproof Plug
	Telephone/Data Outlet
	TV Jack
	Sky Connection
	Bathroom Heater
	Bathroom Extractor/Light

Electrical Plan in indicative only and is to be confirmed onsite with electrician and client

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				Sales: D Ryan		Drawn: M Glynn		QS: W Xian		Print Date: 3/08/2023		Scale: 1:100 @ A3		No.	Date:	Reason:	13
														1	12-07-2023	Initial Consent Plans	
of 23 sheets																	

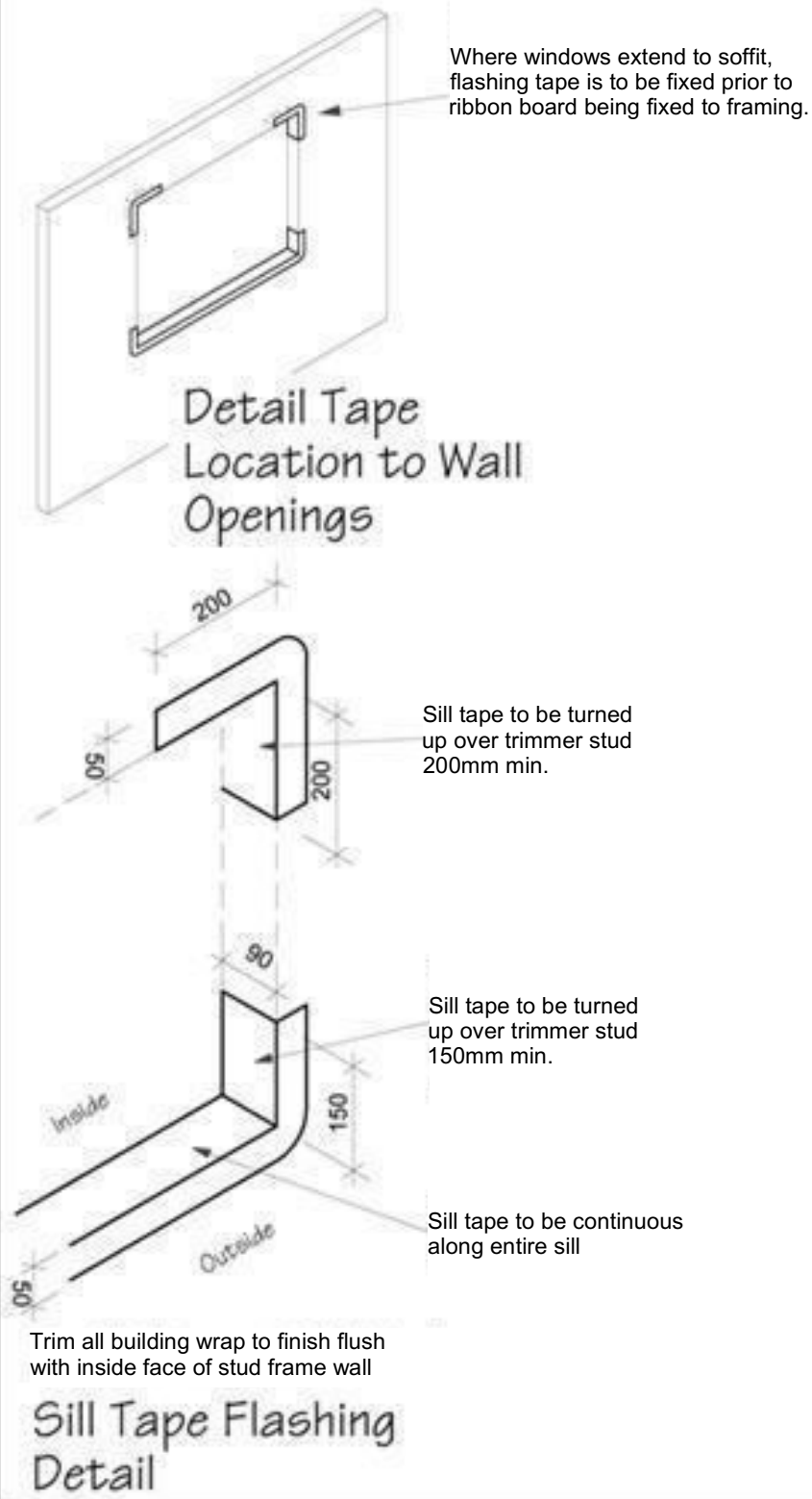
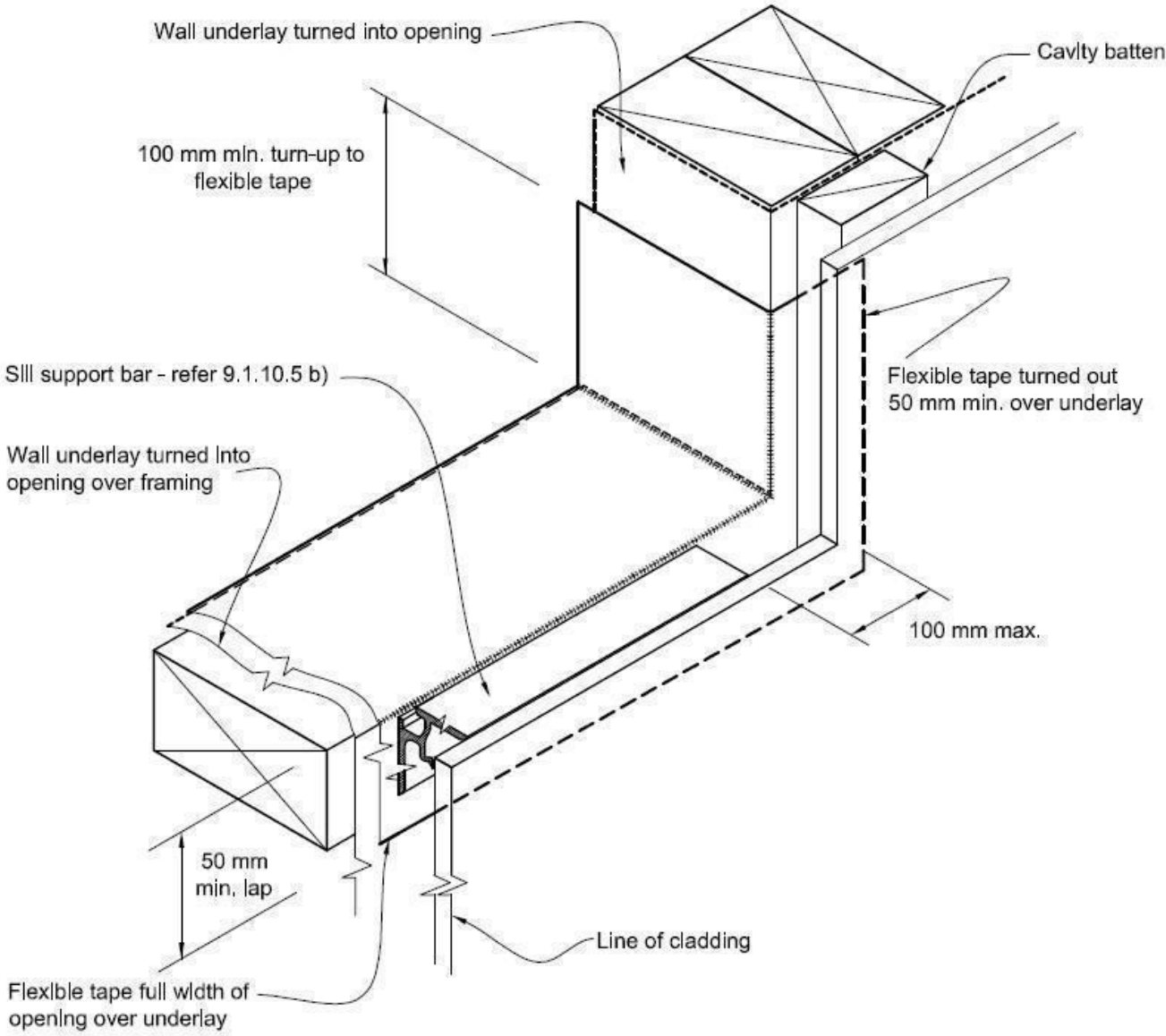
Figure 72B:

General window and door opening with drainage cavity

Paragraphs 9.1.5, 9.1.9.3, 9.1.10.2, Figures 73C, 76, 85, 86, 91, 99, 116 and 128

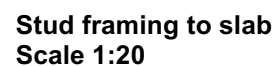
NOTE:

- (1) Detailed *cladding* omitted for clarity, refer to specific *claddings*.
(2) Head to be treated similarly with continuous *wall underlay* and *flexible tape* at corners.
(3) Refer individual cladding details for jamb flashings.



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				Sales: D Ryan		Drawn: M Glynn		QS: W Xian		Print Date: 3/08/2023		Scale: As Shown @ A3		No. 1	Date: 12-07-2023	Reason: Initial Consent Plans	



Minimum clearances (mm)	Masonry veneer		Other claddings				
	A	B	A	B	C	D	E
Concrete slab	100	150	150	225	100	175	50
Timber floor	Refer Note 1)				100	175	502)

Building underlay

Timber frame

Wall underlay

Masonry veneer

Masonry veneer wall ties. Refer Table 18B

Drainage/vent openings

100 mm min. to paved ground,
150 mm min. to unpaved ground

25 mm min. to paved ground,
100 mm min. to unpaved ground

0 - 20 mm overhang

50 mm min.

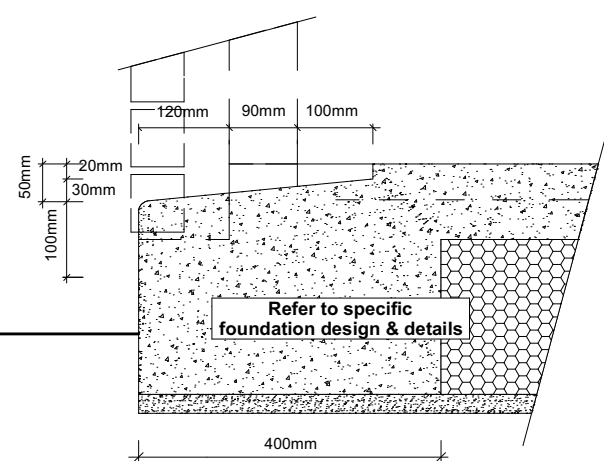
Damp proof course

(i) MASONRY VENEER - FLOOR REBATE DETAIL

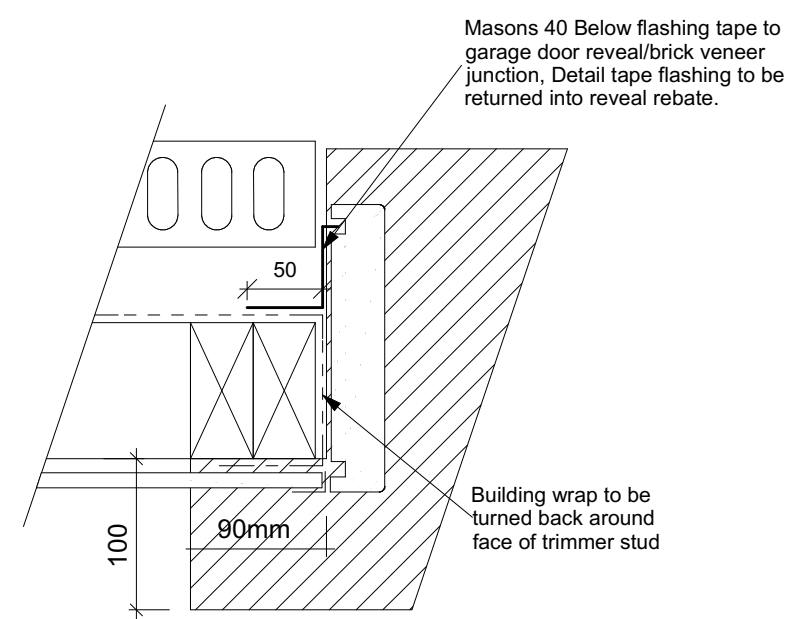
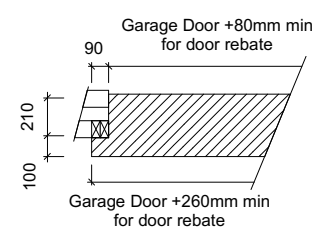
Technical cross-section diagram of a window sill assembly. The diagram illustrates the following components and dimensions:

- Paint grade 19mm H3.1 timber reveals to window surrounds**: Points to the vertical timber frame.
- 5mm timber packer under sill with water resistant 'Air Seal' to perimeter of trim cavity**: Points to the sealant/packer at the base of the window frame.
- DPC under liner**: Points to the Drip Proof Course (DPC) located beneath the floorboard.
- Flexible flashing tape fixed to floor slab lapping over and turned down over slab edge 50mm**: Points to the waterproofing tape at the junction of the floor and wall.
- Dimensions**:
 - 5 min**: Minimum gap between the timber packer and the wall.
 - 2**: Gap between the floorboard and the wall.
 - 5**: Dimension indicating the lapping of the flexible flashing tape over the slab edge.

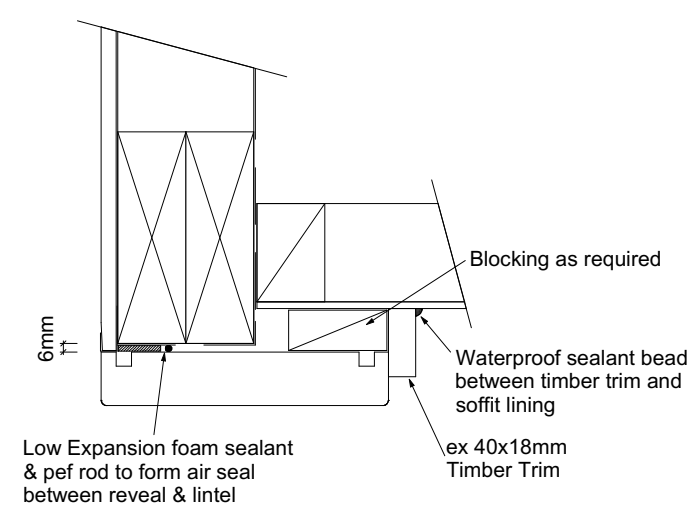
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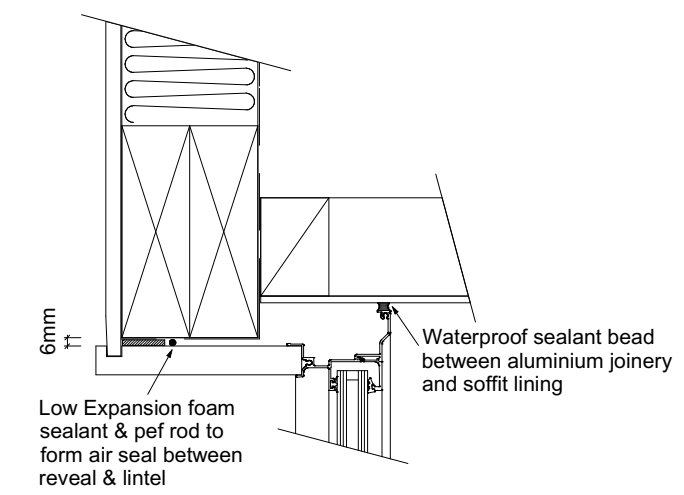
Garage Door Rebate Details
Scale 1:10



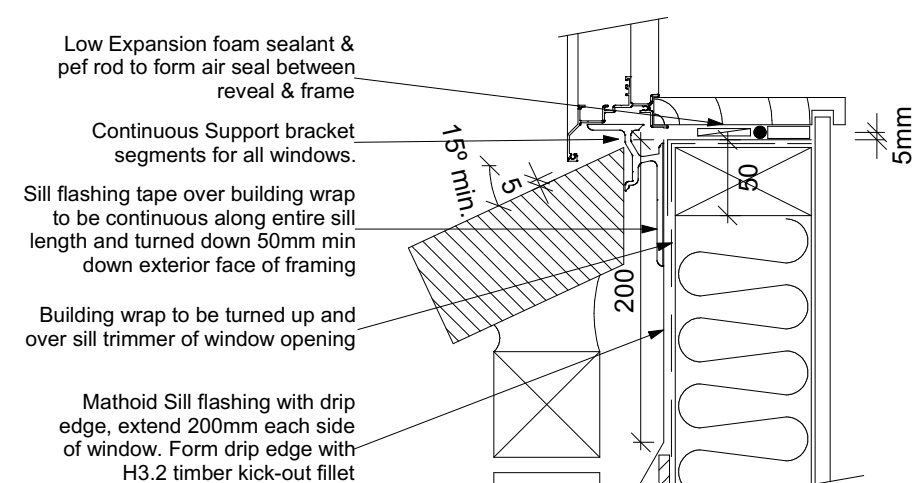
Garage Door Jamb Detail
Scale 1:5



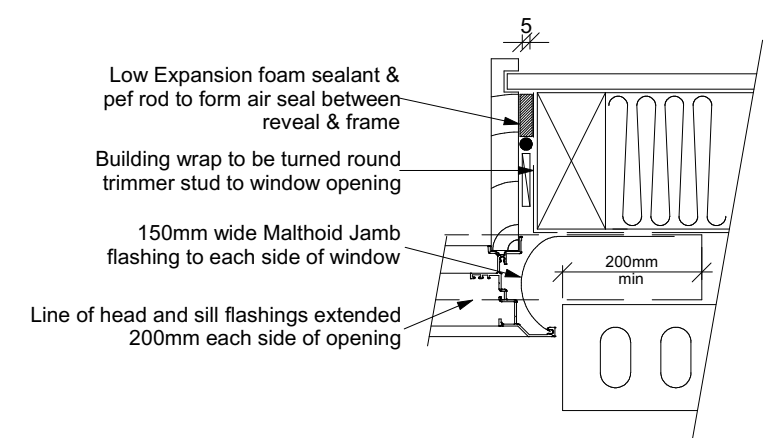
Garage Door Head to Soffit
Scale 1:5



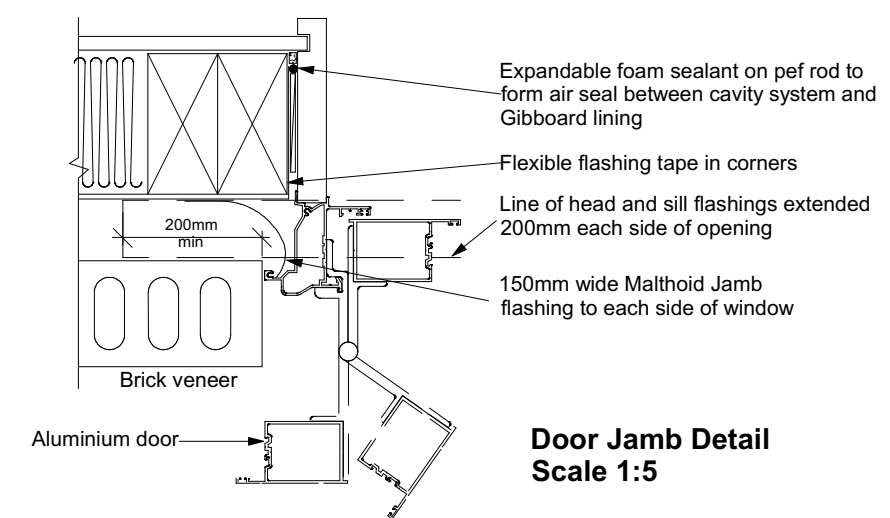
Window Head to Soffit Detail
Scale 1:5



Window Sill Detail
Scale 1:5



Window Jamb Detail
Scale 1:5



Door Jamb Detail
Scale 1:5


9.1.10.8 Attachments for windows and doors

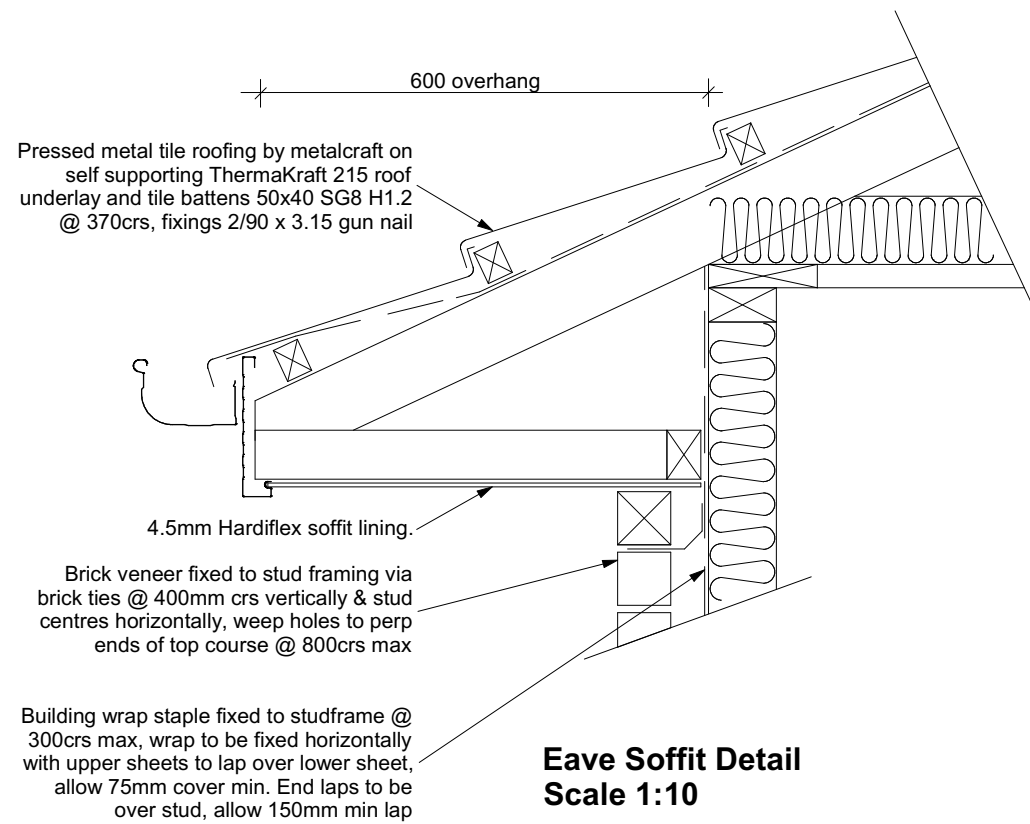
Install windows and doors using pairs of minimum 75 x 3.15 galvanised jolt head nails or 8 gauge x 65 mm stainless steel screws, through reveals into surrounding *framing* at:

- a) Maximum 450 mm centres along sills, jambs and heads, and
- b) Maximum 150 mm from reveal ends.

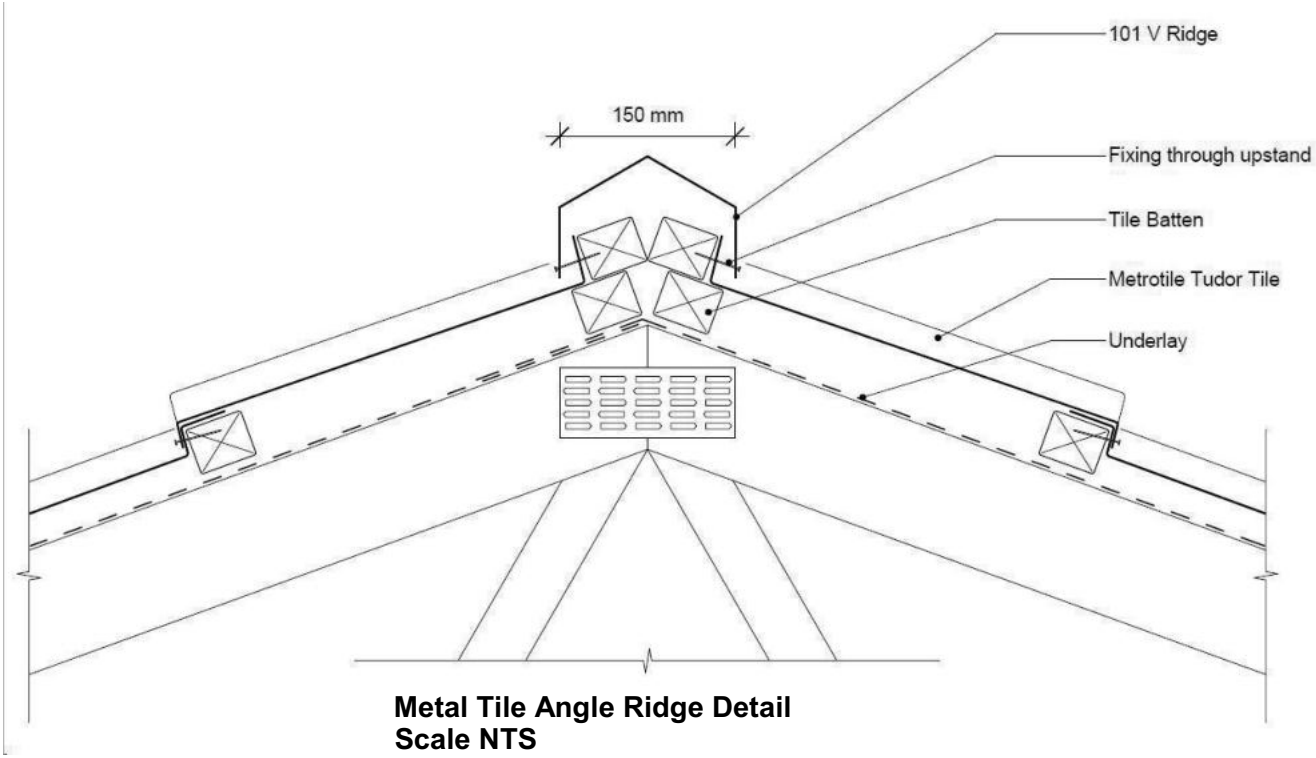
Install packers between reveals and *framing* at all fixing points, except between head reveals and lintels.

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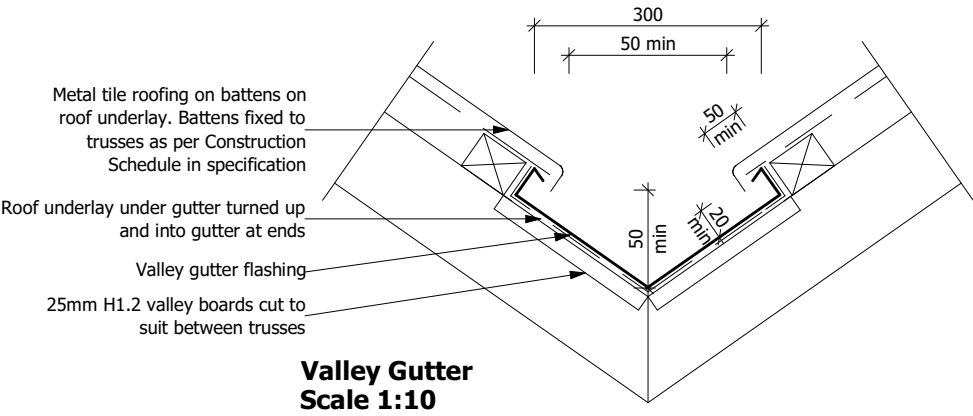
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				172870	Rifleman	CONSTRUCTION DETAILS	No.	Date:	Reason:	18
							1	12-07-2023	Initial Consent Plans	
Sales: D Ryan	Drawn: M Glynn	QS: W Xian	Print Date: 3/08/2023	Scale: As Shown @ A3	of 23 sheets					



Eave Soffit Detail
Scale 1:10



Metal Tile Angle Ridge Detail
Scale NTS



Valley Gutter
Scale 1:10

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				172870	Rifleman	CONSTRUCTION DETAILS	No.	Date:	Reason:	19
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Sales: D Ryan Drawn: M Glynn QS: W Xian			Print Date:	Scale:				of 23 sheets		
			3/08/2023	As Shown @ A3						

Figure 16: Tempering Valve Installation
Paragraph 6.14.2 a)

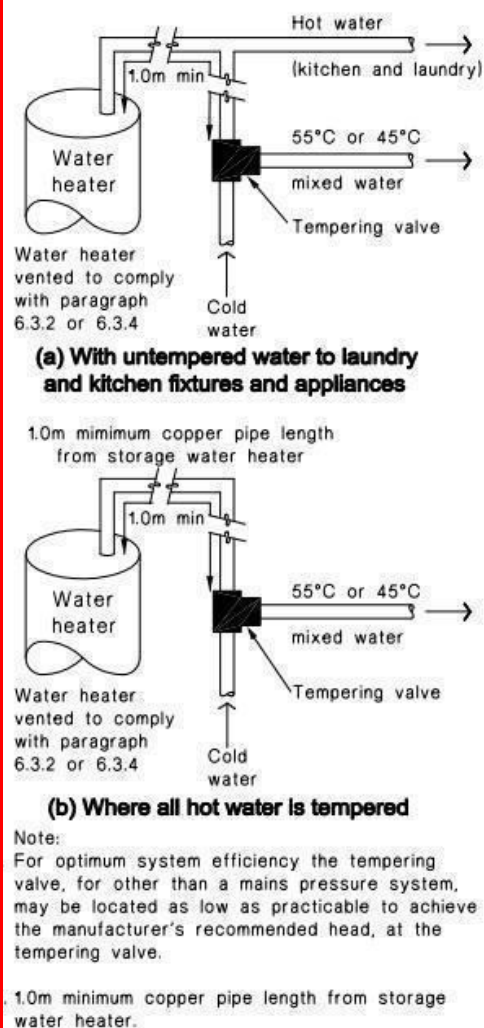


Figure 8: Mains Pressure Storage Water Heater System (unvented)
Paragraphs 6.1.2 and 6.2.1 b)

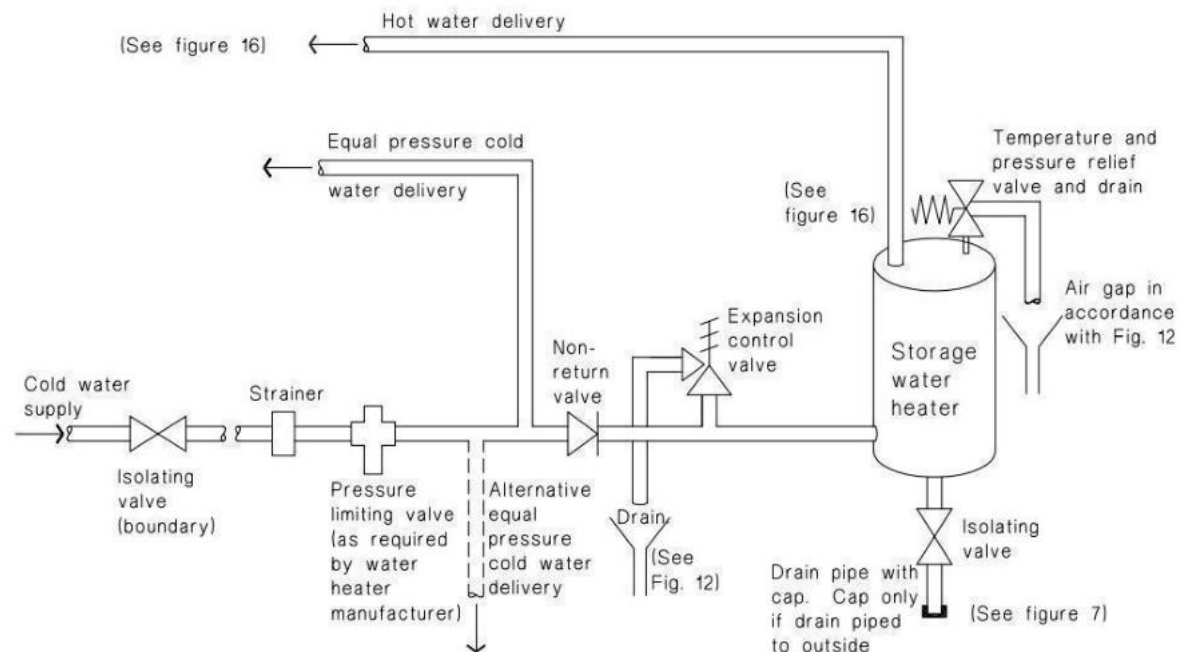
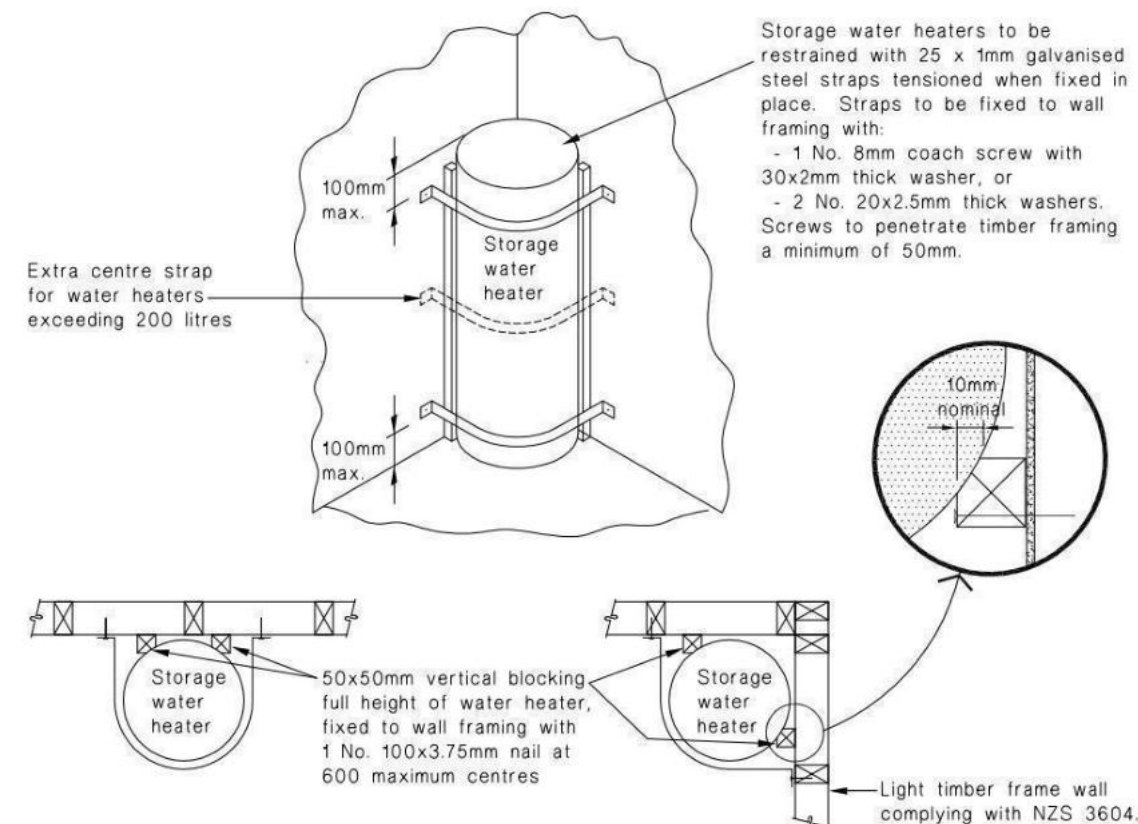

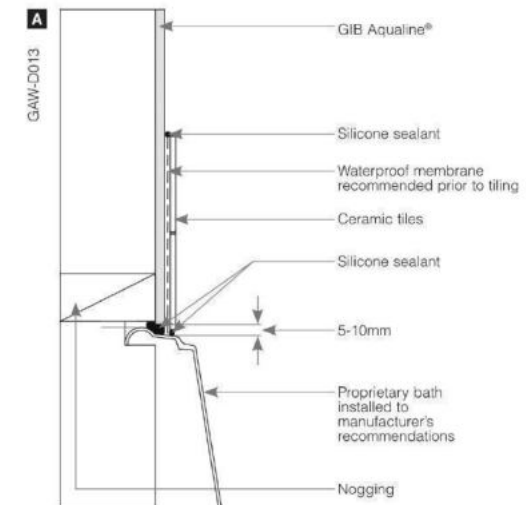
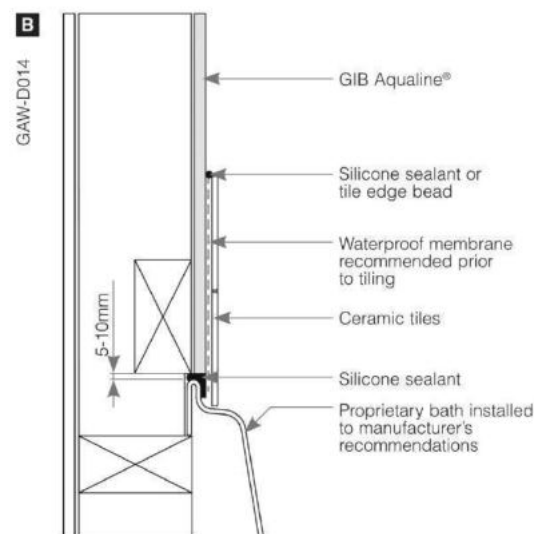
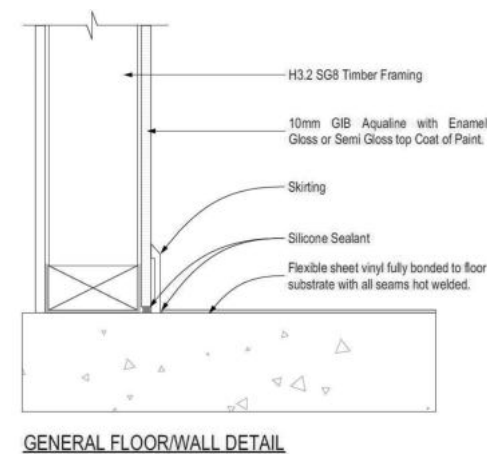
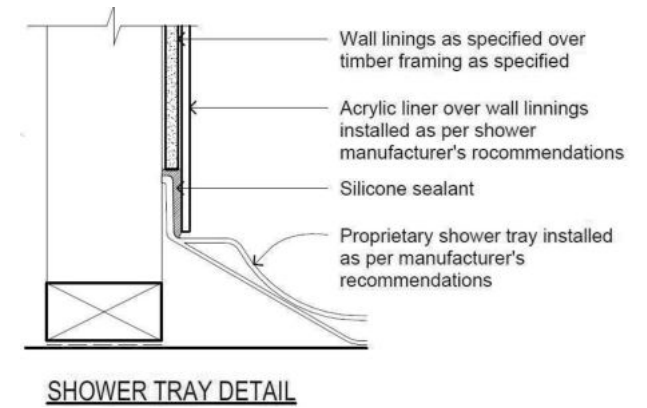
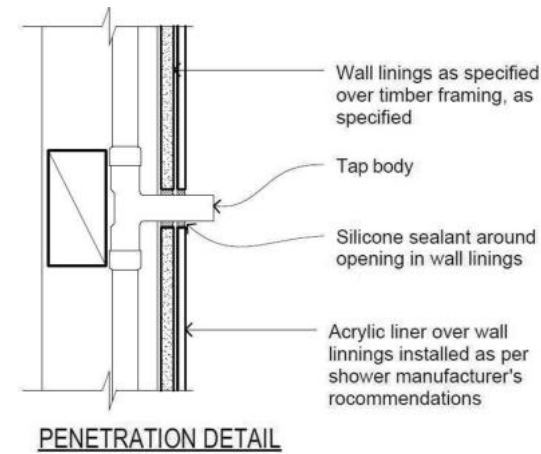
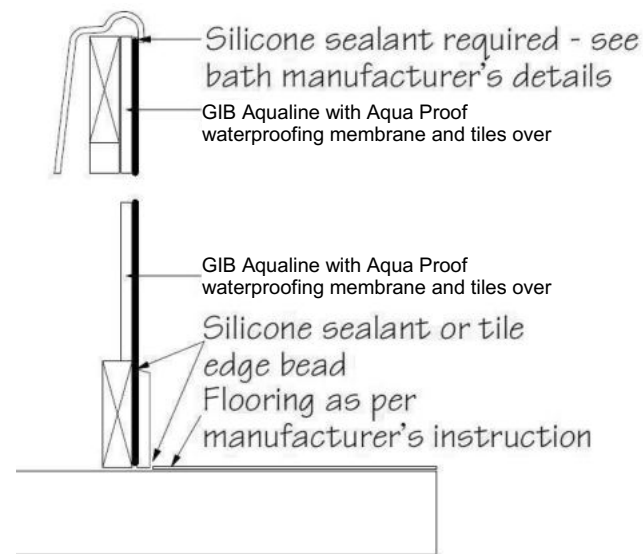
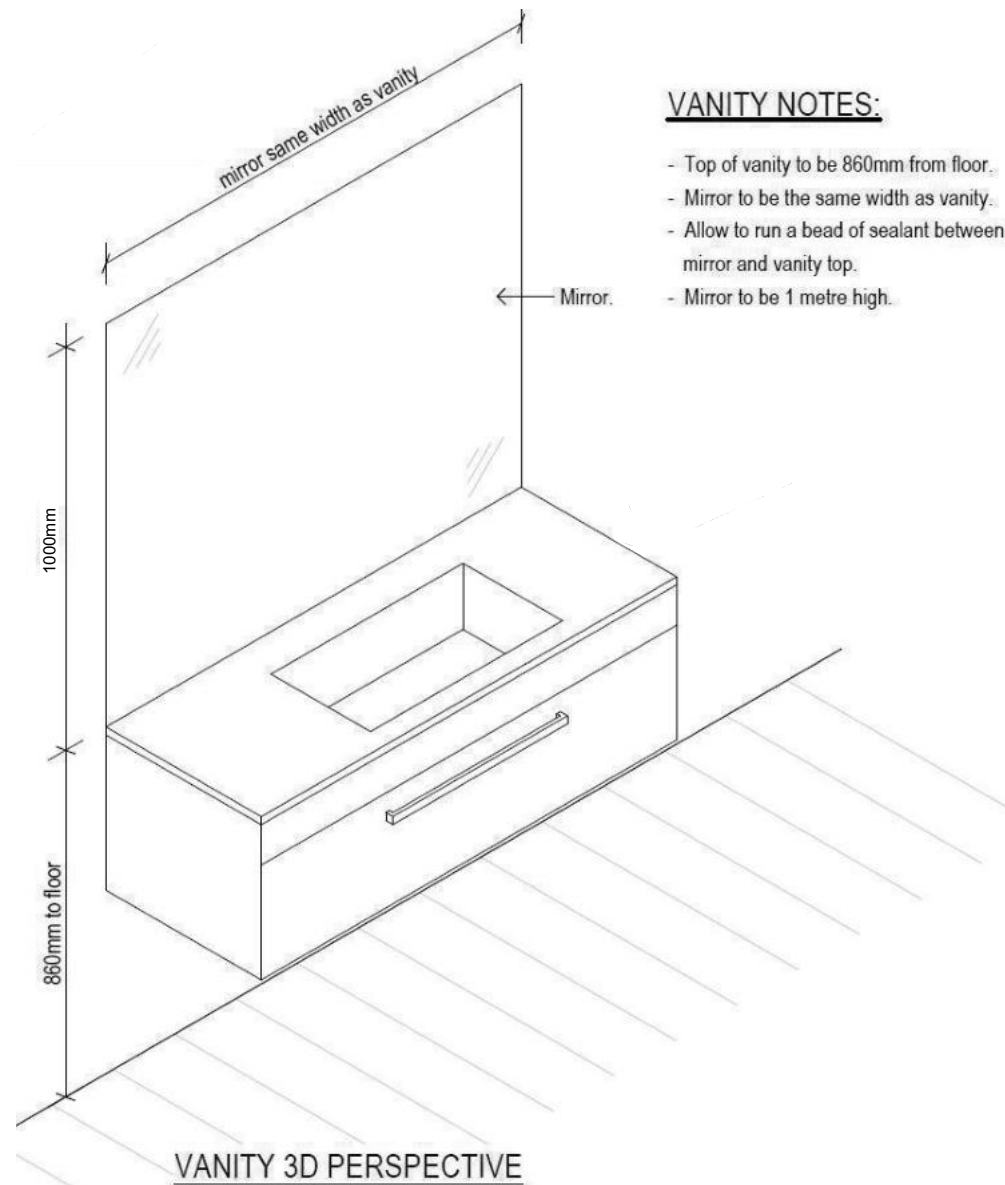


Figure 14: Seismic Restraint of Storage Water Heaters 90 – 360 litres
Paragraph 6.11.4




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							No.	Date:	Reason:	
							1	12-07-2023	Initial Consent Plans	



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				172870	Rifleman	BATHROOM DETAILS	No.	Date:	Reason:	
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Sales:		Drawn:	QS:	Print Date:	Scale:					
D Ryan		M Glynn	W Xian	3/08/2023	NTS @ A3					