

INSPECTION AGREEMENT

Thank you for choosing Attention To Detail Home Inspections LLC. We look forward to meeting you on the day of our scheduled inspection. We ask that you please review and sign the following agreement as required by the New Mexico Home Inspector Board.

This inspection agreement must be signed and dated prior to the date of the home inspection. Inspector(s) will not conduct an inspection if this document is not completed by the date of the scheduled inspection.

Attention To Detail Home Inspections LLC, herein after known as the Inspector or ATD agrees to conduct an inspection for the purpose of informing the Client of major deficiencies in the condition of the property listed above. The purpose of this inspection is to identify (if possible) those items covered by the New Mexico Home Inspector Board's Rules and Standards of Practice which appear in need of immediate repair and which lend themselves to discovery by a visual process; therefore, there are no expressed or implied warranties that all problems and/or existing defects of any and all nature have been discovered and noted in the report. Our inspection and report are for your use only. You give us permission to discuss our observations with real estate agents, owners, repair persons, or other interested parties. You will be the sole owner of the report and all rights to it. We are not responsible for use or misinterpretation by third parties, and third parties who rely on it in any way do so at their own risk and release us (including employees and business entities) from any liability whatsoever. If you or any person acting on your behalf provide the report to a third party who then sues you and/or us, you release us from any liability and agree to pay our costs and legal fees in defending any action naming us. Our inspection and report are in no way a guarantee or warranty, express or implied, regarding the future use, operability, habitability or suitability of the home/building or its components. We disclaim all warranties, express or implied, to the fullest extend allowed by law. Any person authorized to use this report by either the Inspector or the Client, for whatever reason, is bound by the terms of this agreement.

The assessment of the property will take the form of a written report and be made available to the Customer as soon as possible unless otherwise directed by the Customer or circumstances prevent delivery. The report is not an insurance policy that items found acceptable will remain so for any period of time, nor that every defect was or will be discovered to include any secondary damage as a result of any deficiency. The Customer agrees to accept all risk for hidden, inaccessible, latent and/or concealed defects. The Customer also accepts the responsibility to use due diligence to verify the accuracy of the information contained in the report.

The report is based on an examination of the structure on the day of the inspection only. The report is an opinion about the condition of the structure. The report is based on evidence available during a diligent inspection of all reasonably accessible areas. No surface materials removed. No destructive testing is undertaken. No furnishings will be moved. The report is not an exhaustive technical evaluation. Attention To Detail LLC Is not responsible for conditions that could not be seen or were not within the scope of our service at the time of inspection. The report is not to be considered a guarantee of condition and no warranty is expressed or implied. The report is not a code compliance investigation. Such an investigation is beyond the scope of this inspection. THE HOME INSPECTOR WILL NOT DETERMINE AND THE REPORT PROVIDED UPON COMPLETION OF THE

HOME INSPECTION WILL NOT CONTAIN A DETERMINATION OF WHETHER THE HOME OR COMPONENTS AND/OR SYSTEMS OF THE HOME THAT HAVE BEEN INSPECTED CONFORM TO LOCAL OR STATE BUILDING CODE REQUIREMENTS (16.66.7.10 NMAC). Soil conditions, sink holes, geological stability, or engineering analyses are also beyond the scope and purpose of this inspection. Cosmetic items are not included in this report. Air or water quality, the presence or absence of asbestos, mold, safety glass, lead, lead paint or any toxic or hazardous materials or substances, or other environmental hazards is beyond the scope or purpose of this inspection.

Attention To Detail LLC does not inspect or evaluate, items not built in to include but not limited to: sprinkler or bubbler systems, alarms, swimming pools, Jacuzzis, hot tubs, spas, saunas, jetted tubs, steamers, water softeners, water softener conditioners, central vacuums, main line drains, fences, intercoms, security systems, meat probes, food processors, portable appliances, rotisseries, refrigerators, portable heaters, portable coolers, gas fired refrigerated air conditioning systems, coal heaters, solar energy systems, fireplaces and all related items to include but not limited to vents, flue liners, any gas line related items, filters, heatilators, all under slab coils piping, ductwork/plenums, supply lines, humidity and dehumidifying systems, clocks, mechanical dampers and assemblies, timers, oil tanks, oil tank heating, circulating pumps, oven/stove self-cleaning systems, purifying water systems, ice making equipment, built in grills, instant hot water dispensers, washers, dryers, or similar equipment, storm windows, screens, storm doors, screen doors, shutters, awnings and other accessories or their functional efficiencies. All obligations for a determination of satisfactory performance of these and other items should be the sole responsibility of the respective manufacturer and/or installer/repair person. This inspection does not determine compliance or noncompliance with manufacture's specifications and/or recommendations.

The determination of the presence of termites, wood bores, carpenter ants, or any wood destroying organism, fire ants, bees, wasps or other insects, rodents, vermin and pests is not part of this inspection and Attention To Detail LLC accepts no responsibility for their presence and damage therein.

It is understood and agreed that the inspection will not include repair cost estimates, and any reference to repair costs are opinions only, and not the actual repair costs of all or any professional licensed repair people, contractors and/or manufacturers.

The Inspection is offered for a limited, fixed fee and is performed within a limited amount of time during one (1) site visit. The Inspectorâ€™s liability, therefore, is limited. This report is neither an expressed nor implied warranty and/or guarantee as to future life and/or performance of the items inspected. Since the inspection procedure is visual only and is not intended or designed to be diagnostically and/or technically exhaustive, an inherent risk remains that undiscovered problems exist and/or future problems will develop. For these reasons, it is not intended to be, nor should it be implied, that the inspection process could or is intended to identify and/or discover all defects of whatever nature. Client agrees not to rely on the report as the basis for the establishment of property values, for the purchase of the building or for obtaining any type of financial arrangements. Client acknowledges that the Inspector is not an insurer and it is not the intent and/or purpose of this inspection procedure to provide Client with a risk-free purchase or usage of the structure.

The Customer agrees and understands that the maximum liability incurred by Attention To

Detail LLC for errors and omissions in the inspection, or in the event that negligence or breach of contract has occurred, shall be limited to the amount of the fee paid for the inspection. Any dispute, controversy, interpretation or claim including claims for, but not limited to, breach of contract, any form of negligence, fraud or misrepresentation arising out of, from or related to this contract or arising out of, from or related to the inspection or inspection report shall be submitted to final and binding arbitration under the Rules and Procedures of the Expedited Arbitration of Home Inspection Disputes of Construction Arbitration Services, Inc. The decision of the Arbitrator appointed there under shall be final and binding and judgment on the award may be entered in any court of competent jurisdiction. You will have no cause of action against us after one year from the date of the inspection.

The Customer agrees to notify Attention To Detail LLC in writing of any item in question or dispute on the report and to allow immediate access to the property to re-evaluate these items before any corrective action is taken. The Customer agrees and understands that any repairs or corrective action taken without consultation with Attention To Detail nullifies any liability.

The physical on-site inspection of the property is a valuable time of exchange of information between the Inspector and the Client. Any particular concern of the Client must be brought to the attention of the Inspector before the inspection begins. Since it is virtually impossible to fully profile any building with any reporting system, we encourage the buyer to attend. Unless the Client attends and participates in the inspection process itself, the Client will have no chance of gaining all of the information that is offered. All written comments by the inspector shall supersede oral comments.

This inspection report is valid for the date and time of the inspection only. Re-inspection charges will apply for any additional trips to the property.

In providing the property inspection and inspection report, information about the client, inspector, real estate professional, and property will be collected and input into HomeGauge inspection software and services, which inspector uses to produce the inspection report. This information may include personally-identifiable information about the client, inspector and real estate professional. This information may subsequently be used by the provider of HomeGauge, as set out in the HomeGauge Privacy Policy found at <https://www.homegauge.com/privacy.html>. Inspectors may choose to use this information to market new or related products and services to clients.

By signing and dating below, I agree that I have reviewed this agreement and understand its content and agree to the terms and conditions contained herein. I agree to pay the fee amount as indicated at the top of page one of this agreement prior to delivery of the written report.

Client's
Signature: _____

Date: _____

INVOICE

Attention To Detail LLC**PO Box 11875****Albuquerque, NM 87192****505-275-6070****Inspected By: Frank Melendrez****Inspection Date:** 12/29/2021
Report ID: E F 1221-10-281

Customer Info:	Inspection Property:
Mac-Rufus Umeokolo	5907 Princess Jeanne Ave NE Albuquerque NM 87110
Customer's Real Estate Professional: Lisa Parker Re/Max Select	

Inspection Fee:

Service	Price	Amount	Sub-Total
Full Home Inspection (Heated Sq Ft up to 3000)	400.00	1	400.00
			Tax \$31.52
			Total Price \$431.52

Payment Method: Credit Card**Payment Status:** Paid At Time Of Inspection With A 0 Balance Due.**Note:** Please let us know if you would like to order a home warranty.

Inspection Report

Mac-Rufus Umeokolo

Property Address:

5907 Princess Jeanne Ave NE
Albuquerque NM 87110



Attention To Detail LLC

**Frank Melendrez
PO Box 11875
Albuquerque, NM 87192
505-275-6070**

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Date: 12/29/2021	Time: 12:00 PM	Report ID: E F 1221-10-281
Property: 5907 Princess Jeanne Ave NE Albuquerque NM 87110	Customer: Mac-Rufus Umeokolo	Real Estate Professional: Lisa Parker Re/Max Select

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI)= I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Attention Required (AR) = The item, component or unit is not functioning as intended or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement though attention to the item is necessary. Items identified specifically in the warranty summary directly affect the warranty contract only and may need to be repaired and/or replaced, at minimum, attention to the subject item should be addressed. The "attention required" (AR) section is used primarily for the mechanical portion of this inspection to produce a warranty repair summary. Other items may need further attention and/or evaluation by specialist in specific field. Inspector(s) main role is to inspect and disclose for the customer to make an informed decision regarding subject property.

This report is the exclusive property of Inspections Only!, and the use of this report by any unauthorized persons is strictly prohibited. The observations expressed in this report are those of the inspector and supersede any verbal comments. Only the items mentioned in this report are inspected, unless specifically excluded as beyond scope of this inspection. This inspection is a generalist inspection distinct from a report from a specialist in addition no use of specialized instruments or dismantling of equipment were performed.

This home is older than **50** years and the home inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new home and this home cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult on an older home. Sometimes homes have signs of damage to wood from wood eating insects. If the potential buyer is concerned with possible damage a pest control company should be contacted to inspect further for activity and possible hidden damage as this is excluded from and considered beyond scope of this inspection. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection. This company does not inspect for, nor verify permits for construction or remodeling which is considered beyond the scope of this inspection.

Note: The inspection ordered and performed was a mechanical and visual non-invasive structural inspection. Only the items listed in this report were inspected, unless otherwise noted.

Note: The inspector does not determine whether structural items are in need of repair or replacement. The inspector reports on the conditions of the items at the time of inspection. It is recommended that you review the report and all comments and determine the appropriate remedy for the conditions observed by the

inspector.

The comments made in this report were based on the condition of the home at time of inspection. There is no warranty from the inspection company. The proposed buyer can hire a different inspector if desired. Different inspectors can find different things sometimes on the same home. This inspection company is not responsible for any discoveries included or not found. As this inspection report ages, the condition of this home and its components can change.

It is a pleasure serving you.

Comment Key or Definitions**Age Of Home:**

Over 50 Years

Client Is Present:

Yes

Temperature:

Below 60

Weather Conditions:

Cold/Dry

Rain or Snow in last 3 days:

No

Home Faces:

South

Inspection Start Time:

12:00 P.M.

1. ROOF SYSTEM, DRAINAGE, ROOF PENETRATIONS

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights and roof penetrations; and Signs of leaks on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to but may walk on the roofing; The home inspector is not required to Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

		IN	NI	NP	AR	Styles & Materials
1.0	ROOF COVERINGS				•	VIEWED ROOF
1.1	FLASHINGS				•	COVERING FROM: LADDER WALKED ROOF
1.2	SKYLIGHT(S)			•		ROOF COVERING: WEATHERWOOD TIMBERLINE SHINGLE TAR AND GRAVEL
1.3	VENTILATION OF ATTIC	•				ROOF-TYPE: PITCHED FLAT/SLOPED
1.4	ROOFING DRAINAGE SYSTEMS				•	SKY LIGHT (S): NONE

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

IN NI NP AR

Comments:

1.0 The roof has pitched shingle roof at front main portion of subject home while rear addition areas to include rear enclosed patio room is a flat/low slope design covered with built up roofing (asphalt and gravel). Due to the nature of the flat roof construction water will likely pond on the roof surface after normal rainfall.

The rear NE enclosed patio room roof covering is old and the life of covering is past the latter stages of life. While it could last a year or so, some areas may need patching with tar as leaks develop.

The roof has various surface wear with some degranulated worn parapet side walls at outer perimeter/tie-ins to other surrounding roof sections.

The tar and gravel roof areas has various gravel erosion with some bare areas observed which should be monitored/maintained, i.e. bare areas re-graveled over time as needed.



1.0 Item 1(Picture)



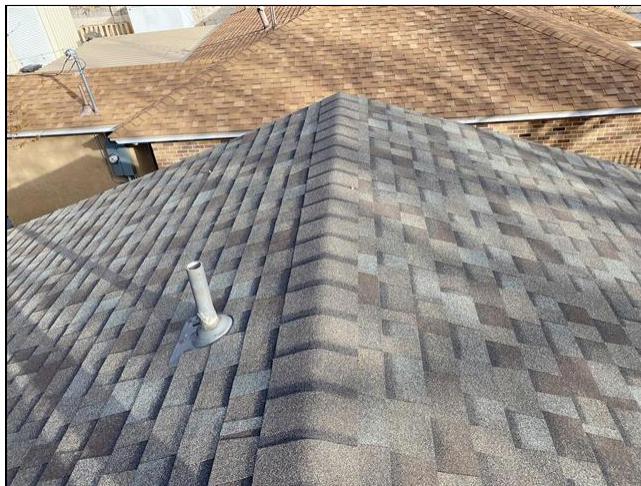
1.0 Item 2(Picture)



1.0 Item 3(Picture)



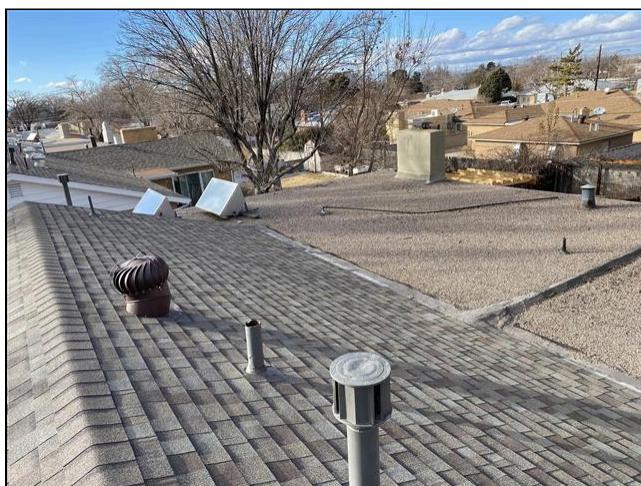
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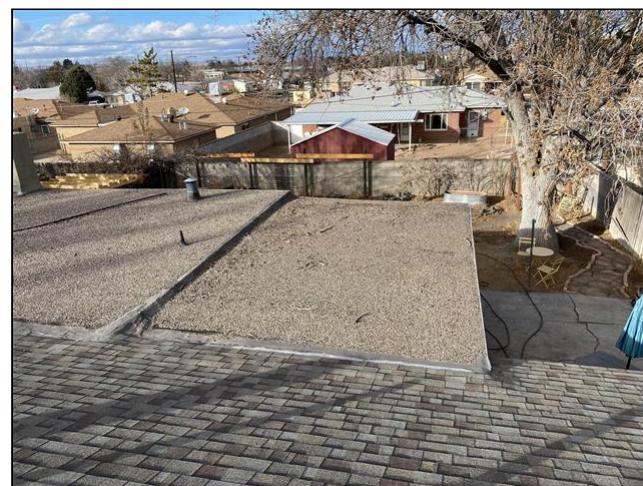
1.0 Item 5(Picture)



1.0 Item 6(Picture)



1.0 Item 7(Picture)



1.0 Item 8(Picture)



1.0 Item 9(Picture)



1.0 Item 10(Picture)



1.0 Item 11(Picture)



1.0 Item 12(Picture)



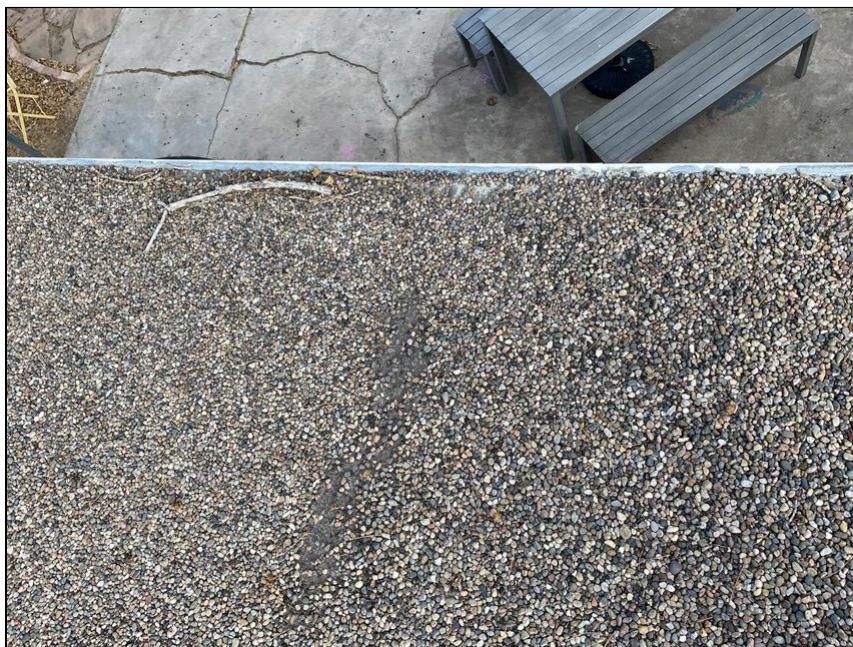
1.0 Item 13(Picture)



1.0 Item 14(Picture)



1.0 Item 15(Picture)



1.0 Item 16(Picture)



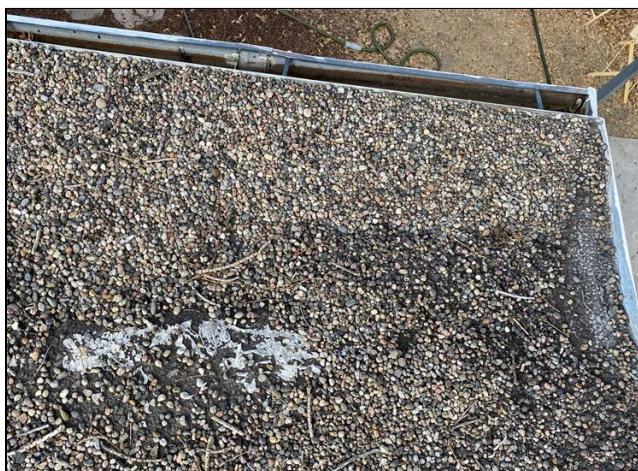
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1.0 Item 18(Picture)



1.0 Item 19(Picture)



1.0 Item 20(Picture)



1.0 Item 21(Picture)



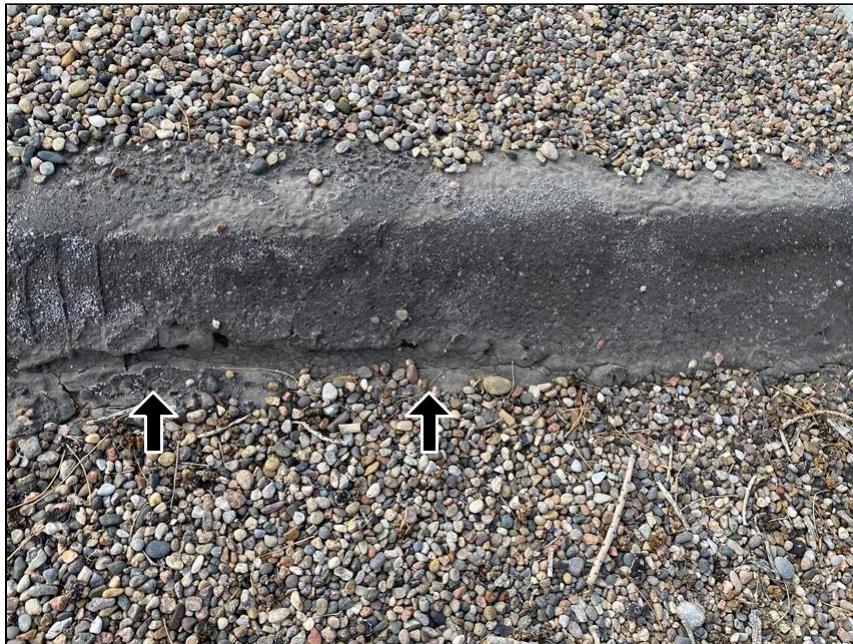
1.0 Item 22(Picture)



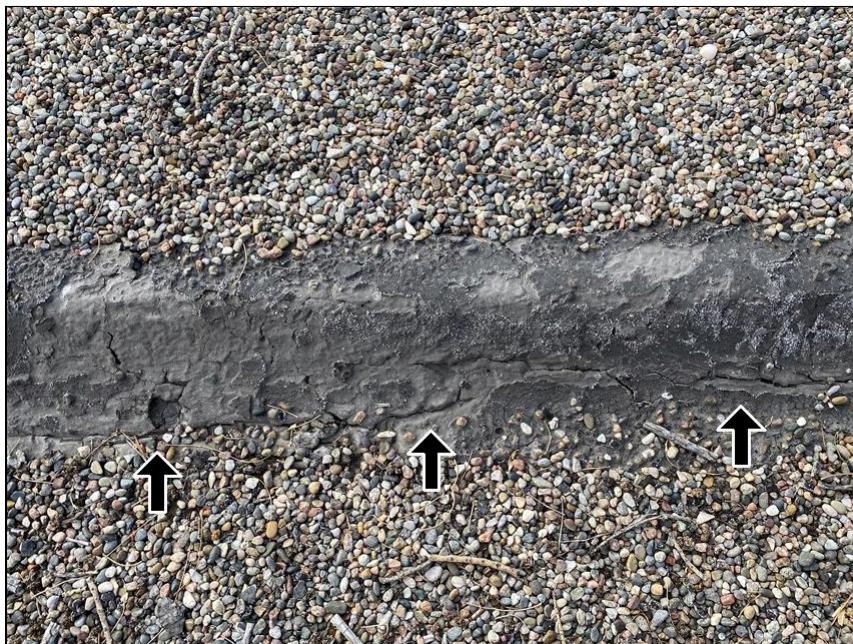
1.0 Item 23(Picture)



1.0 Item 24(Picture)



1.0 Item 25(Picture)



1.0 Item 26(Picture)



1.0 Item 27(Picture)



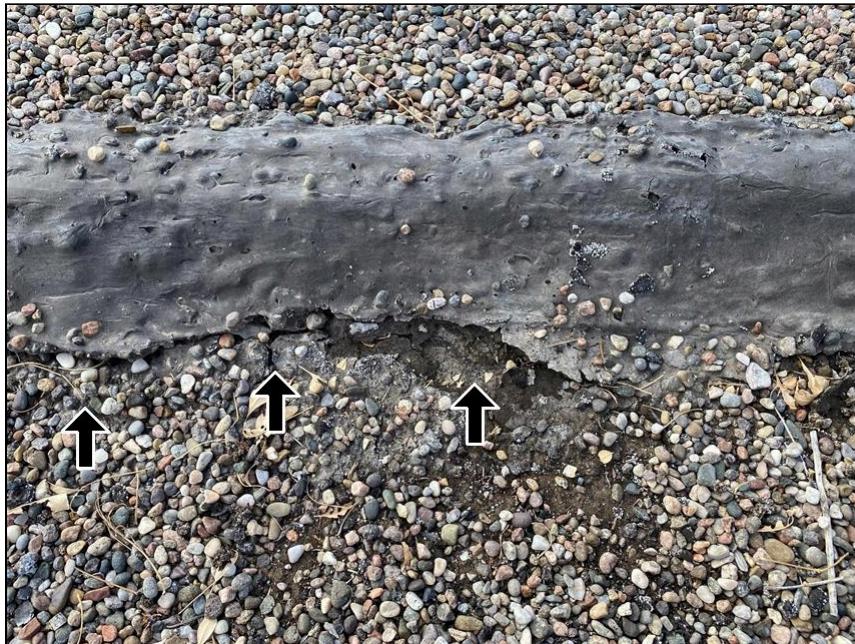
1.0 Item 28(Picture)



1.0 Item 29(Picture)



1.0 Item 30(Picture)



1.0 Item 31(Picture)



1.0 Item 32(Picture)



1.0 Item 33(Picture)



1.0 Item 34(Picture)



1.0 Item 35(Picture)



1.0 Item 36(Picture)



1.0 Item 37(Picture)



1.0 Item 38(Picture)



1.0 Item 39(Picture)



1.0 Item 40(Picture)



1.0 Item 41(Picture)



1.0 Item 42(Picture)



1.0 Item 43(Picture)



1.0 Item 44(Picture)

1.1 Tar and gravel roof has split gas line penetrations observed at NW area of rear roof.

Tar and gravel roof has various split gable/corner tie-in flashings observed.

Recommend resealing any and all split flashings as needed by qualified person or reputable licensed roof contractor.

Roof flashings can and will split open over time and ongoing maintenance of these items is strongly recommended.



1.1 Item 1(Picture)



1.1 Item 2(Picture)



1.1 Item 3(Picture)

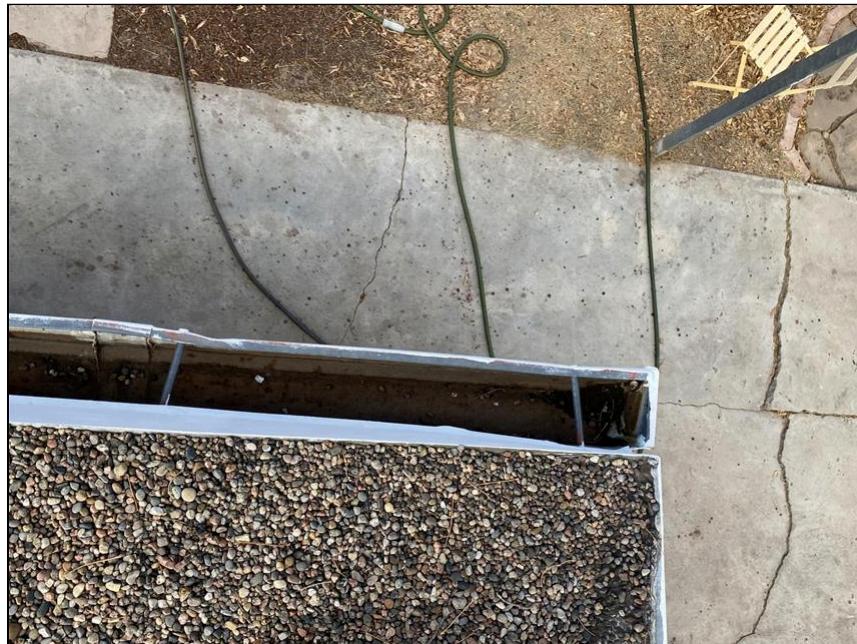
1.2 No skylights present.

1.3 Attic has passive soffit vents, passive gable side vents, passive roof vents and 1 turbine vent observed in place.

1.4 Roof drainage gutters are full of debris at rear N side area of home and should be cleaned. The debris in

gutters can also conceal rust, deterioration or leaks that are not visible until cleaned, and inspector is unable to determine if such conditions exist.

Roof gutters are not probed to determine excessive corrosion and are not tested.



1.4 Item 1(Picture)



1.4 Item 2(Picture)



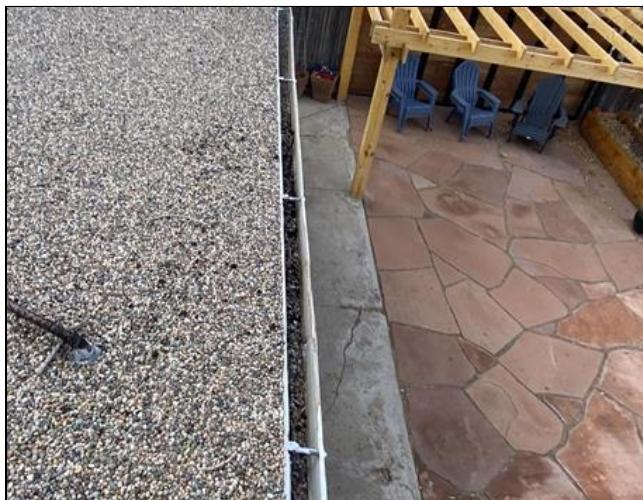
1.4 Item 3(Picture)



1.4 Item 4(Picture)



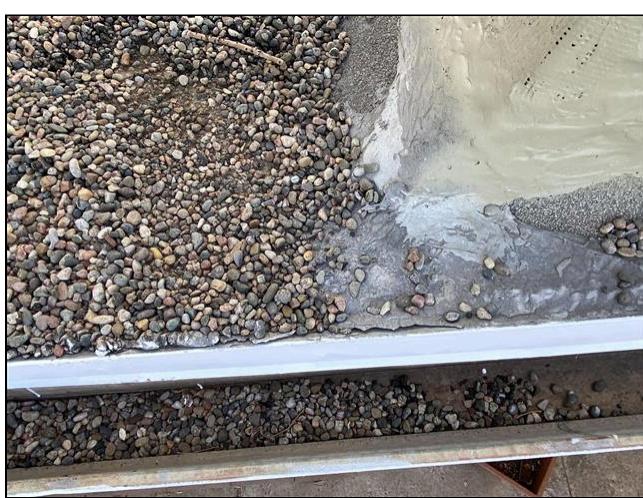
1.4 Item 5(Picture)



1.4 Item 6(Picture)



1.4 Item 7(Picture)



1.4 Item 8(Picture)

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. HEATING

The home inspector shall observe permanently installed heating systems including: Heating equipment; Normal operating controls; Automatic safety controls; Flues, and vents, where readily visible; Heat distribution systems including fans, pumps, with supports, air filters, registers, radiators, fan coil units, convectors. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms. No evaluations or estimated life or durability provided on ductwork, not inspected, register vent covers are not opened or removed considered beyond scope of this inspection, should further evaluation be required, suggest duct scope inspection.

		IN	NI	NP	AR	Styles & Materials
2.0	HEATING EQUIPMENT	•				HEAT TYPE: 115 000 BTU'S FIRED FORCED AIR FURNACE (Pilotless ignition) CARBON MONOXIDE NEGATIVE
2.1	NORMAL OPERATING CONTROLS	•				ENERGY SOURCE: GAS

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

IN NI NP AR

Comments:

2.0 (1) The Carrier brand gas fired forced air furnace was located in attic.

This unit is approximately 21-22 +/- years old and has a heating capacity rated at 115,000 BTU's. The average operating life expectancy for most natural gas forced air furnaces is 20-25 years. The furnace was found to be functional at time of inspection.



2.0 Item 1(Picture)



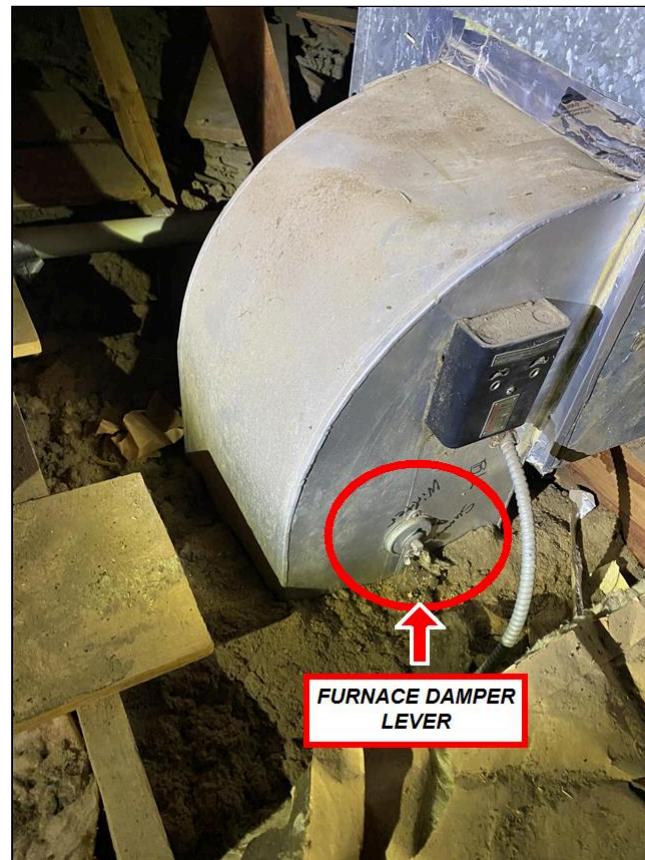
2.0 Item 2(Picture)

(2) Note: Furnace damper lever located in attic at E end of furnace on N side of ductwork lower area, (partially buried in attic insulation at time of inspection).

Note: Furnace filter access located in attic at W end of furnace on N side of ductwork lower area.



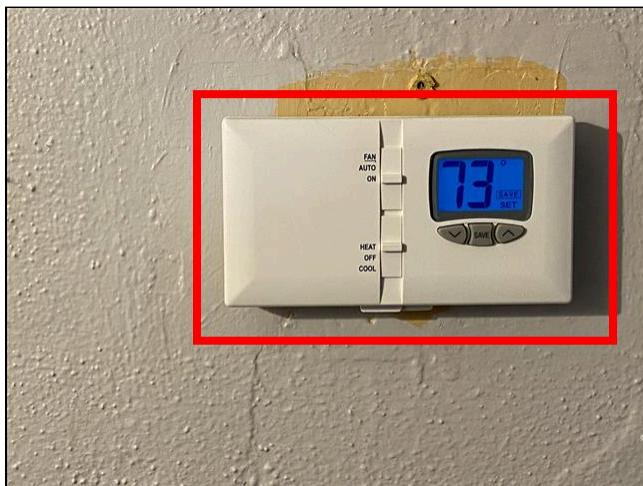
2.0 Item 3(Picture)



2.0 Item 4(Picture)



2.0 Item 5(Picture)

2.1 Heating system digital thermostat controller**2.1 Item 1(Picture)**

The heating system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. COOLING

The home inspector shall observe: Central air conditioning and permanently installed cooling systems including: Cooling and air handling equipment; and Normal operating controls. Distribution systems including: Fans, pumps, ducts and piping, with associated supports, dampers, insulation, air filters, registers, fan-coil units; and The presence of an installed cooling source in each room. The home inspector shall describe: Energy sources; and Cooling equipment type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Observe window air conditioners or operate cooling systems when weather conditions or other circumstances may cause equipment damage; Observe non-central air conditioners; or Observe the uniformity or adequacy of cool-air supply to the various rooms.

		IN	NI	NP	AR	Styles & Materials
3.0	COOLING EQUIPMENT				•	EVAPORATIVE COOLER
3.1	NORMAL OPERATING CONTROLS	•				BRAND/ MANUFACTURER: MASTER COOL COOLING EQUIPMENT TYPE: 1- SPEED SIDE DRAFT EVAPORTIVE COOLER WINTERIZED COOLING EQUIPMENT ENERGY SOURCE: ELECTRICITY NUMBER OF COOLING UNITS: ONE LOCATION: E EXTERIOR WALL MOUNTED UNIT

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

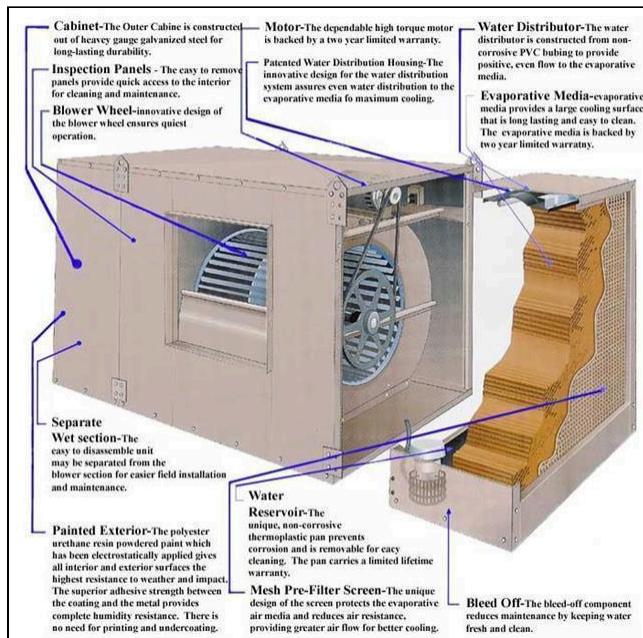
IN NI NP AR

Comments:

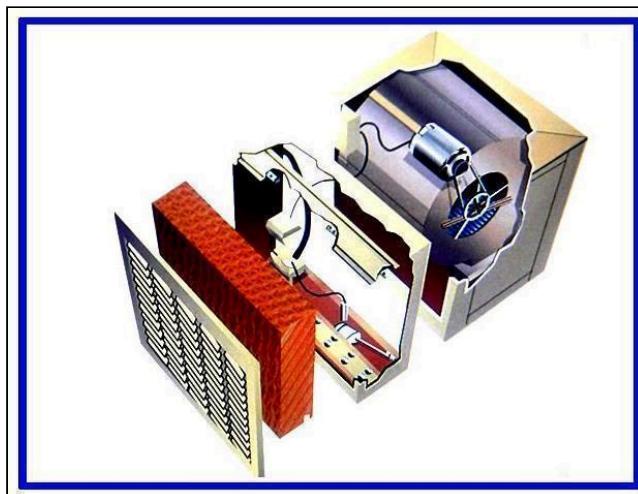
3.0 (1) When a cooler is winterized, not tested, or not inspected, the inspector cannot determine operation. If concerns exist about the cooler(s), it is recommended that cooler be serviced and/or consulting with current homeowner to determine the condition prior to closing.

Evaporative cooler is installed in a non-standard manner, unit is installed in a manner that obstructs the side access panels from physically being able to be removed for service at interior, i.e. oiling left and right blower shaft pillow bushings, blower and motor pulley/belt adjustments, etc.

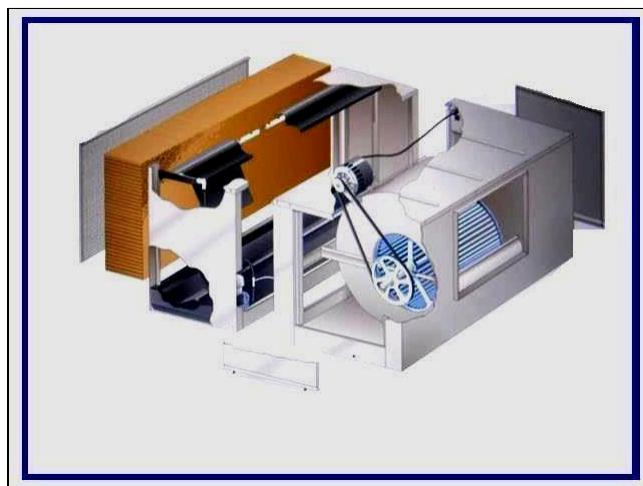
Overall recommend contacting reputable licensed HVAC technician for further evaluation and/or remedy/ repair unit in a manner that allows for normal operation and accessibility to unit rather than having to remove part of pad and entering unit from E exterior side which is non-standard and limited for proper maintenance of unit.



3.0 Item 1(Picture)



3.0 Item 2(Picture)



3.0 Item 3(Picture)



3.0 Item 4(Picture)



3.0 Item 5(Picture)



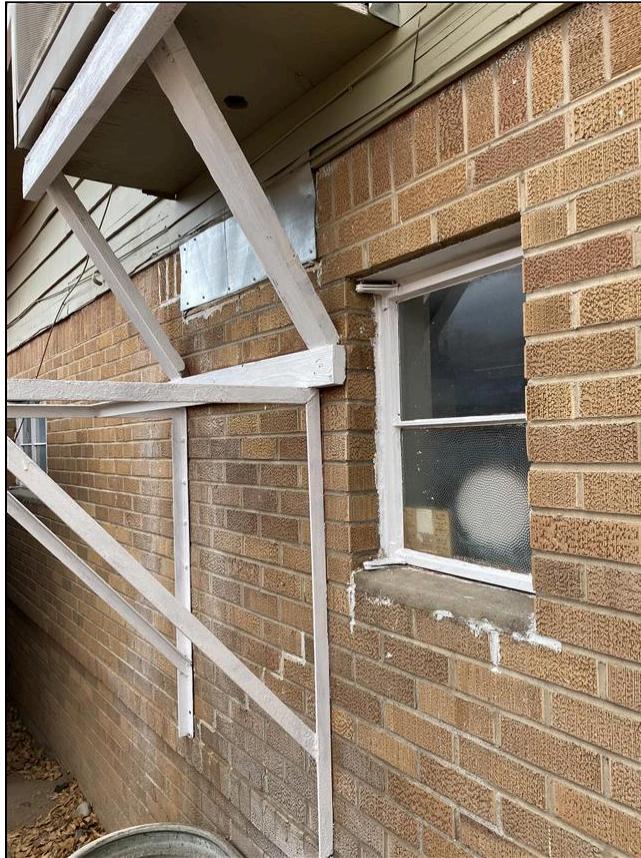
3.0 Item 6(Picture)



3.0 Item 7(Picture)



3.0 Item 8(Picture)



3.0 Item 9(Picture)



3.0 Item 10(Picture)



3.0 Item 11(Picture)



3.0 Item 12(Picture)



3.0 Item 13(Picture)

(2) Note: Evaporative cooling is installed in the subject house. Evaporative coolers have been used in this area for many years, for further details, hints and tips contact the web.

Note: An evaporative cooler (also evaporative air conditioner, swamp cooler, swamp box, desert cooler and wet air cooler) is a device that cools air through the evaporation of water. Evaporative cooling differs from other air conditioning systems, which use vapor-compression or absorption refrigeration cycles. Evaporative cooling uses the fact that water will absorb a relatively large amount of heat in order to evaporate (that is, it has a large enthalpy of vaporization). The temperature of dry air can be dropped significantly through the phase transition of liquid water to water vapor (evaporation). This can cool air using much less energy than refrigeration. In extremely dry climates, evaporative cooling of air has the added benefit of conditioning the air with more moisture for the comfort of building occupants.

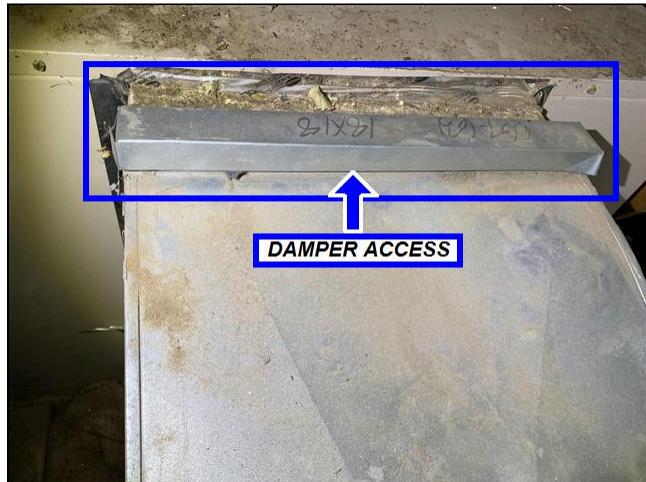
Note: Homeowner presently accesses cooler by opening E front exterior pad rack access panel and removing part of corrugated pad for access to interior of cooler in non-standard manner.

Note: Evaporative cooler damper access located in attic behind cooler at top of elbow duct.

Note: Inspector is not responsible for damper if any, if misplaced, lost, stolen, etc.

Note: Evaporative cooler has original steel bracket supports attached to exterior of home below area where cooler is presently installed with various wood members secured to support unit in present condition.

Note: Evaporative cooler supply lines not inspected or evaluated. (Considered routine maintenance item).



3.0 Item 14(Picture)

3.1 Evaporative cooler control switch located at hallway S coat closet E wall.



3.1 Item 1(Picture)

The cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed HVAC contractor would discover (Heating, Ventilation, and Air Conditioning). Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. PLUMBING SYSTEM

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, including: traps; drain, waste and piping supports, leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and flues; Supply piping, venting, and supports; and leaks. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Sump pumps; Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials. Note: Any and all detached plumbing to include but not limited to sprinklers, bubblers, gate valves, hose bibbs, water falls, ponds, hot tubs, french drains, under ground/buried piping and all related items not inspected or evaluated considered beyond scope of this inspection and should further evaluation of any under ground/concealed drain line be required, it is recommended contacting reputable licensed plumber for evaluation and sewer scope. Water softener/purifier filtration systems, pressure/holding tanks, flash/instant hot water fixtures, shower steamers, tub/shower enclosures i.e. tile and grout joints, doors, frames and tracks etc. and all related items not inspected or evaluated considered beyond scope of this inspection. Note: Plumbing supply lines not inspected or evaluated for future life expectancy or durability-beyond scope of this inspection, should supply lines consist of plastic/poly-type piping and further information be required suggest contacting Consumer Recovery Center at 1-800-392-7591 or web at <HTTP://www.PB/PIPE.com>

		IN	NI	NP	AR	Styles & Materials
4.0	DRAIN, WASTE AND VENT SYSTEMS				•	WATER SOURCE: PUBLIC
4.1	WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES				•	WATER FILTERS: (We do not inspect filtration systems)
4.2	HOT WATER SYSTEMS, CONTROLS				•	PLUMBING SUPPLY: COPPER PEX GALVANIZED (OLD)
4.3	MAIN WATER SHUT-OFF DEVICE (Describe location)	•				WASHER DRAIN SIZE: 1 1/2" DIAMETER (undersized)
4.4	FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)	•				PLUMBING WASTE: AGED CAST IRON (OLD) METAL PVC ABS
4.5	GAS LINES				•	WATER HEATER POWER SOURCE: GAS CARBON MONOXIDE NEGATIVE

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

IN NI NP AR

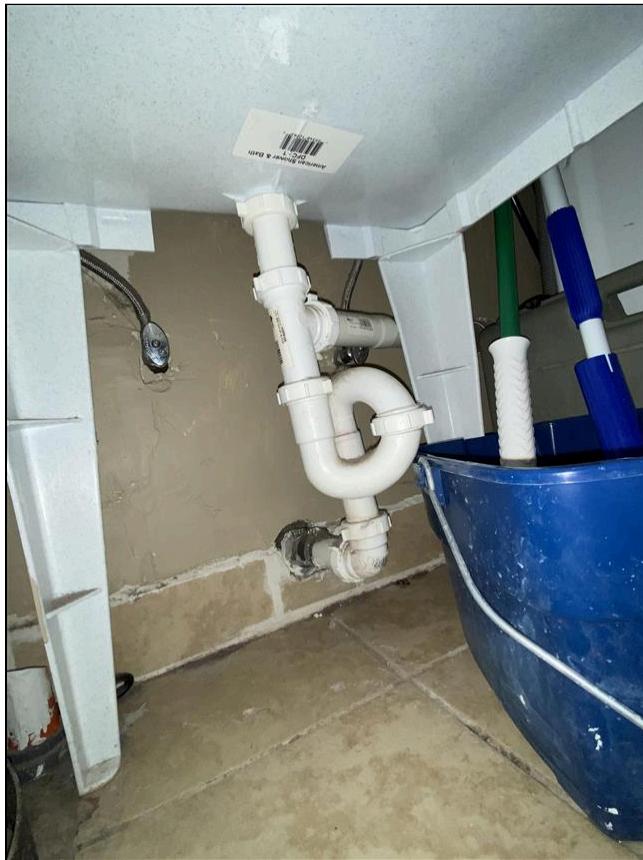
CAPACITY:
40 GALLON
MANUFACTURER:
US CRAFTMASTER
WHIRLPOOL
LOCATION OF WATER

HEATING SYSTEM:
LAUNDRY UTILITY
ROOM

Comments:

4.0 (1) Hall full bath vanity sink drain is loose/set at non-standard angle, recommend licensed/reputable plumber for further evaluation and/or remedy/repair if/and as needed.

Laundry utility sink drain has improper "S" trap in place below utility sink.

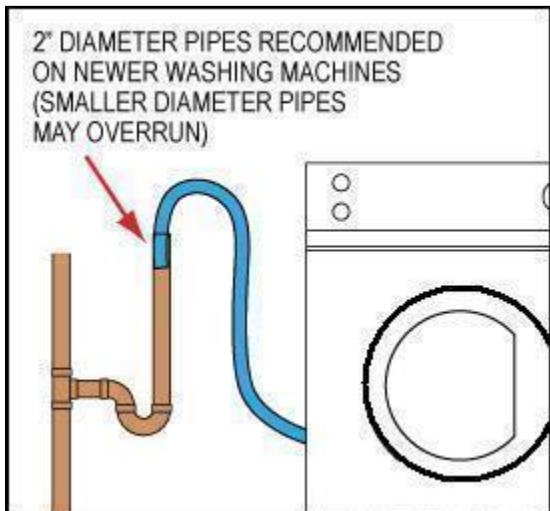


4.0 Item 1(Picture)

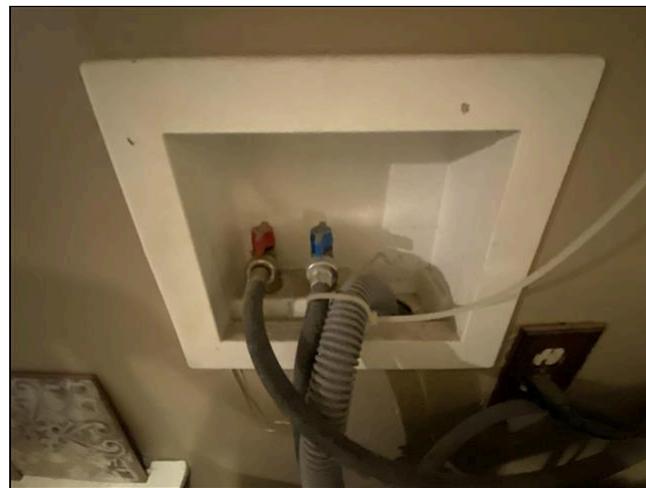
(2) Note: Inspector is unable to inspect drain lines where concealed and/or penetrate ground for any damage and/or root infiltration which is considered beyond the scope of this inspection. Should further evaluation be required, recommend contacting reputable licensed plumber with sewer scope for further evaluation and/or repairs as needed.

Note: Main sewer lines, septic systems, graywater systems and back flow prevention devices are excluded from inspection.

Note: Determining sufficient number of cleanouts is excluded from this inspection and future drainage performance cannot be predicted, considered beyond scope of this inspection.



4.0 Item 2(Picture)



4.0 Item 3(Picture)

4.1 (1) Kitchen faucet does not fully self retract after use at time of inspection, dish sprayer flex hose weight may need to be adjusted.

Hall full bath vanity faucet right/cold side handle is somewhat stiff/difficult to operate at time of inspection.

Hall full bath vanity faucet left/hot side handle is somewhat loose on stem at time of inspection.

Hall full bath shower leaks at lower arm connection where meets shower head fixture when operated at time of inspection.

(2) Note: Refrigerator ice maker supply lines, shut off valve and all related items not inspected, not typically fully visible or accessible and inspector does not turn valves, connected or not, considered beyond the scope of this inspection.

Note: Hall full bath toilet is caulked at base where meets tile flooring.

Note: Hall full bath tub faucet escutcheon plate/collars have gaps observed at base where meet enclosure/wall.

Note: Hall full bath tiled shower/tub enclosure has various cracked grout joints and/or split caulk seals observed at time of inspection.

Note: Hall full bath tiled shower/tub enclosure has various discolored/microbial growth observed at time of inspection.

Note: Hall full bath tub surface/finish is chipped and various areas.

Note: Master 3/4 bath toilet is caulked at base where meets tile flooring.

Note: Master 3/4 bath tiled shower enclosure has various cracked grout joints and/or split caulk seals observed at time of inspection.

Note: Master 3/4 bath tiled enclosure has various discolored/microbial growth observed at time of inspection.

Note: Laundry hose bibs and drain not fully inspected due to connected clotheswasher in place at time of inspection. This is common in an occupied home. The inspector does not operate laundry washers and dryers as these are not considered built in appliances, whether or not they are considered in the sale of the home and are beyond the scope of this inspection.

Note: The extent of corrosion in pipes cannot be determined, and is beyond the scope of this inspection.

Note: Any and all detached/non permanent plumbing and all related items to include sprinklers, bubblers, water falls, ponds, pools and fountains not inspected or evaluated, considered beyond the scope of this inspection.

Note: Re-circulation pumps, sump pumps, pressure regulator valves, water filtration and softener systems, shower steamers and instant flash heat water heaters and all related items not inspected or evaluated.



4.1 Item 1(Picture)



4.1 Item 2(Picture)



4.1 Item 3(Picture)



4.1 Item 4(Picture)

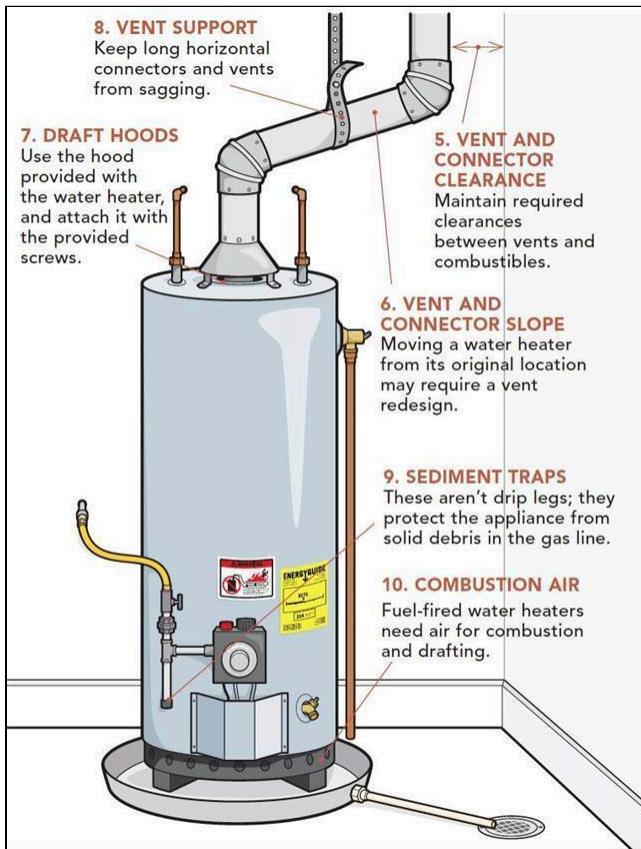
4.2 The Whirlpool (US/Craftmaster) brand gas fired water heater was located at the laundry utility room. This unit was manufactured approximately 13-14 +/- years ago. A temperature/pressure relief valve (T & P) was present. Due to possible lime build-up typical of T & P valves, inspector does not test them. For energy efficiency reasons, the plumbing pipes for water heater can be insulated though for safety please ensure that the pipe insulation does not come in contact with the water heater flue pipe or the draft hood/collar.

Water heater T & P valve termination line terminates at utility sink area on right side and termination is nearly at sink rim/backsplash area.

The discharge line from the T & P valve must run horizontal with a 1/4" per foot downward pitch towards the discharge end and it may terminate into a laundry utility sink providing the lowest portion of the discharge line remains a minimum of 2" above the flood level rim of the sink.

Water heater gas line has no visible gas drip leg present and gas line has smooth/non-rigid coupling at left

side spliced gas line area, non-standard type - not approved for gas line distribution, many plumbers consider this type of coupling to be a safety hazard. Recommend contacting reputable gas licensed plumber/HVAC technician for further evaluation and/or repairs as needed.



4.2 Item 1(Picture)



4.2 Item 2(Picture)



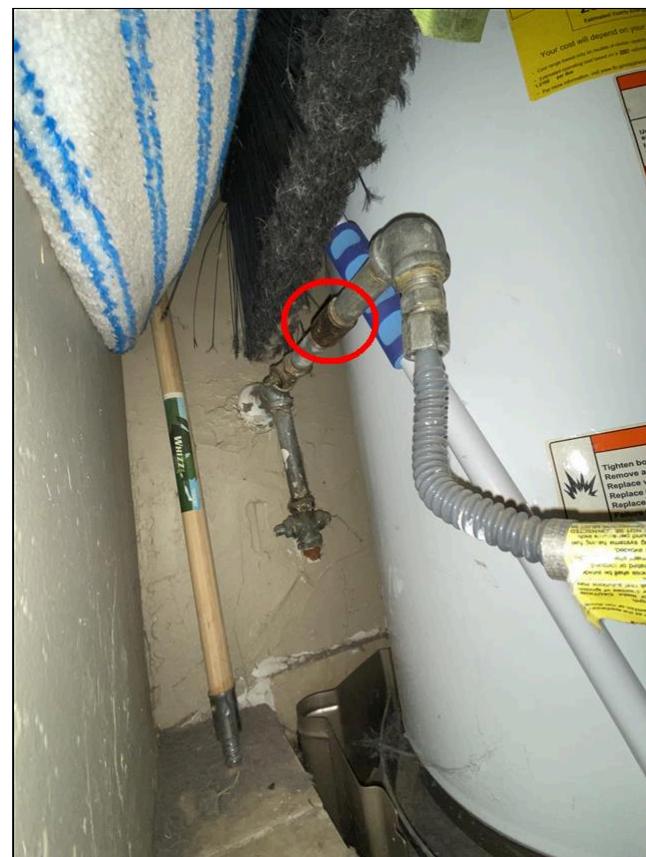
4.2 Item 3(Picture)



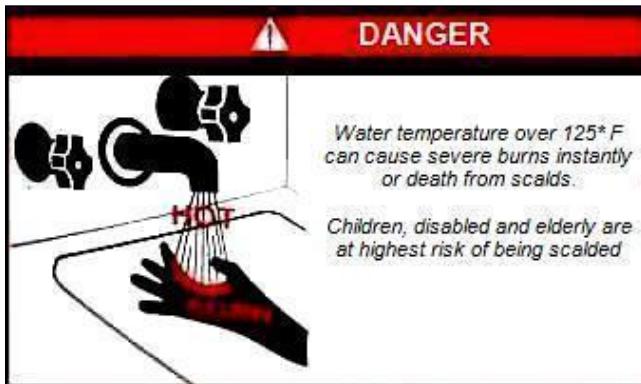
4.2 Item 4(Picture)



4.2 Item 5(Picture)



4.2 Item 6(Picture)



4.2 Item 7(Picture)



4.2 Item 8(Picture)

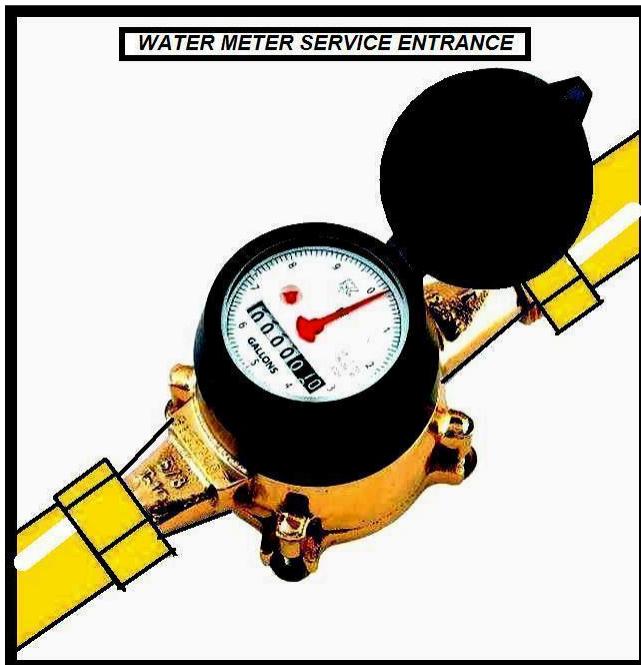


4.2 Item 9(Picture)

4.3 The water meter service entrance is located at front S exterior at/near public walk. This is for your information.

Could not locate the main shut-off for water if any? (Older homes such as the subject home typically did not have a main supply line shut off valve installed and was common place which did meet the standards at the time of original construction). Please ask the current owners for the location if any. Otherwise, you will need to use a water key at the street meter or have a plumber install one.

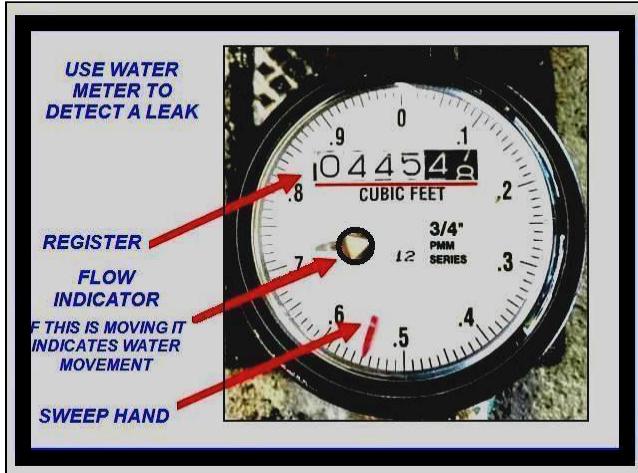
The main water shut off location is important in case of plumbing emergencies and for routine maintenance. This valve will not be operated by the inspector, considered beyond the scope of this inspection.



4.3 Item 1(Picture)



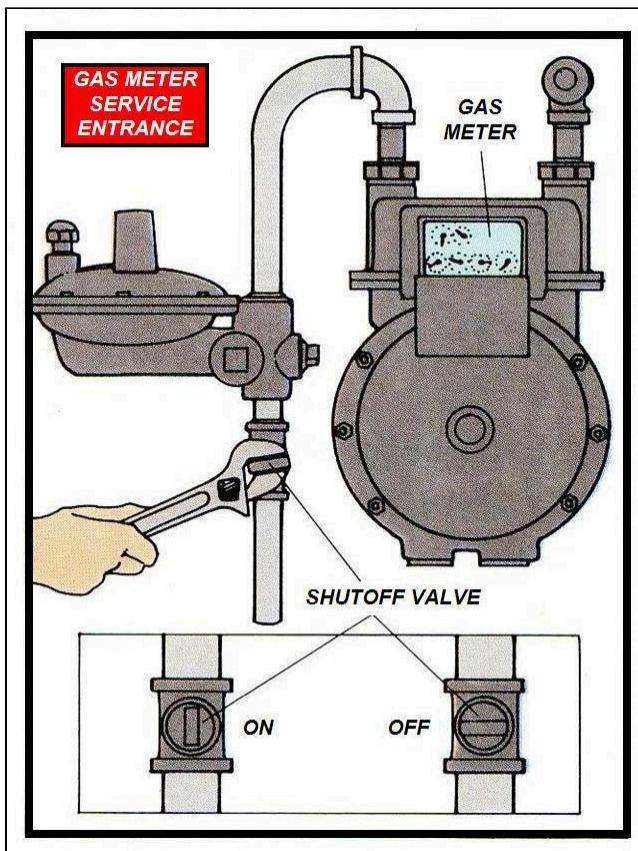
4.3 Item 2(Picture)



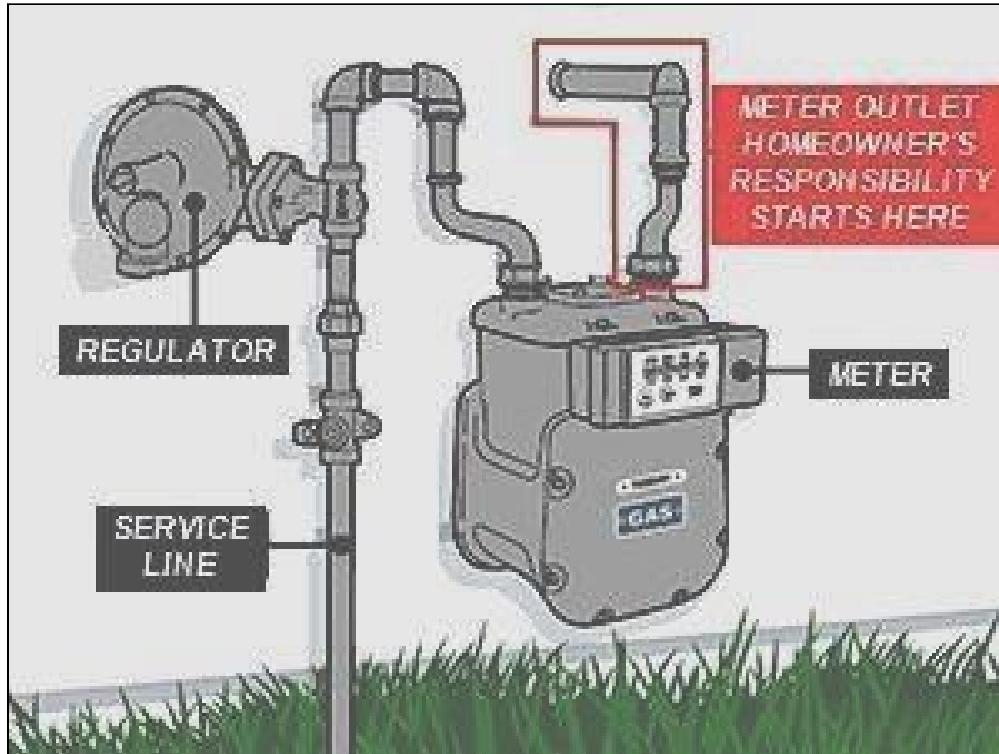
4.3 Item 3(Picture)

4.4 Gas meter service entrance located at W side of home. This is for your information.

Please be advised that the condition of any utilities within or under the slab, such as gas lines or plumbing is not within the scope of this inspection.



4.4 Item 1(Picture)



4.4 Item 2(Picture)



4.4 Item 3(Picture)

4.5 (1) Gas line on roof at NW area has no supports present below gas line which appears to be visibly bowed and without supports can cause tension on coupling connections.

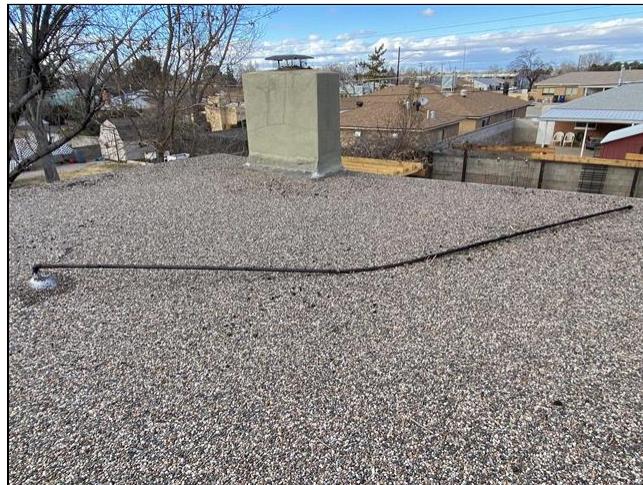
Recommend installing some appropriate supports below gas line where routed on roof as needed.



4.5 Item 1(Picture)



4.5 Item 2(Picture)



4.5 Item 3(Picture)



4.5 Item 4(Picture)

(2) Note: No visible gas provision observed at kitchen behind electric stove at time of inspection.

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. ELECTRIC SYSTEM

The home inspector shall observe: Service entrance, main over current device, and main distribution panels; Amperage ratings of the service; Branch circuit conductors and their over current devices; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles to include all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters. The home inspector shall describe: Service amperage; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Smoke detectors; Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment. While every effort to inspect outlets, switches and related electrical will be made, it may not be possible to inspect all items i.e. should areas be limited by furnishings, concealed, hidden and/or obstructed access. Any and all hidden / concealed and/or detached electrical and related items to include yardscape, pole lights and perimeter security/grounds lighting not inspected or evaluated considered beyond scope of this inspection.

		IN	NI	NP	AR	Styles & Materials
5.0	SERVICE ENTRANCE CONDUCTORS				•	ELECTRICAL SERVICE CONDUCTORS: OVERHEAD SERVICE COPPER
5.1	SERVICE/MAIN AND DISTRIBUTION PANELS				•	PANEL CAPACITY: 100 AMP MAX RATED NO MAIN BREAKER OBSERVED AT INTERIOR DISTRIBUTION PANEL
5.2	CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)				•	PANEL TYPE: CIRCUIT BREAKER(S) ELEC. PANEL
5.3	BRANCH CIRCUIT CONDUCTORS	•				MANUFACTURER: FEDERAL PACIFIC
5.4	POLARITY AND GROUNDING OF RECEPTACLES TO INCLUDE ALL RECEPTACLES IN GARAGE, CARPORT, EXTERIOR WALLS OF INSPECTED STRUCTURE	•				BRANCH WIRE 15 and 20 AMP: COPPER
5.5	OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)				•	WIRING METHODS: NON-METALLIC SHEATHED CABLE
5.6	LOCATION OF MAIN AND DISTRIBUTION PANELS	•				PANEL LOCATION: N REAR EXTERIOR AT METER SERVICE ENTRANCE
5.7	EXHAUST VENTING SYSTEMS (Kitchens, Baths and Laundry)				•	ELECTRICAL SUB PANEL SERVICE
5.8	SMOKE DETECTORS	•				CONDUCTORS: COPPER AND ALUMINUM BRAIDED CIRCUIT WIRING DOUBLE TAPPED FOR SUB PANEL ON LEFT AND RIGHT LEADS

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

IN NI NP AR

SUB PANEL CAPACITY:
70 AMP MAX RATED
15 AND 20 AMP
BREAKERS IN PLACE

SUB PANEL TYPE:
CIRCUIT BREAKERS

SUB PANEL

MANUFACTURER:
GENERAL ELECTRIC TRUMBULL

SUB-PANEL BRANCH

WIRE 15 and 20 AMP:
COPPER

SUB PANEL LOCATION:
LAUNDRY ROOM
N
WALL
RIGHT SIDE

ADDITIONAL SUB

PANEL CAPACITY:
30 AMP MAX RATED`
(2) 30 AMP SCREW IN
TYPE FUSES

ADDITIONAL SUB

PANEL TYPE:
FUSEBOX

ADDITIONAL SUB

PANEL BRAND:
MONTGOMERY WARD

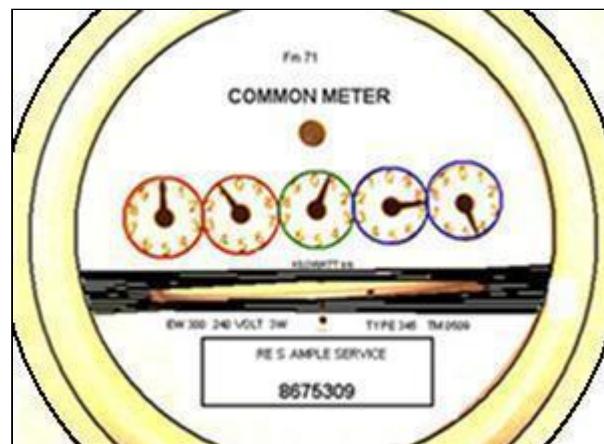
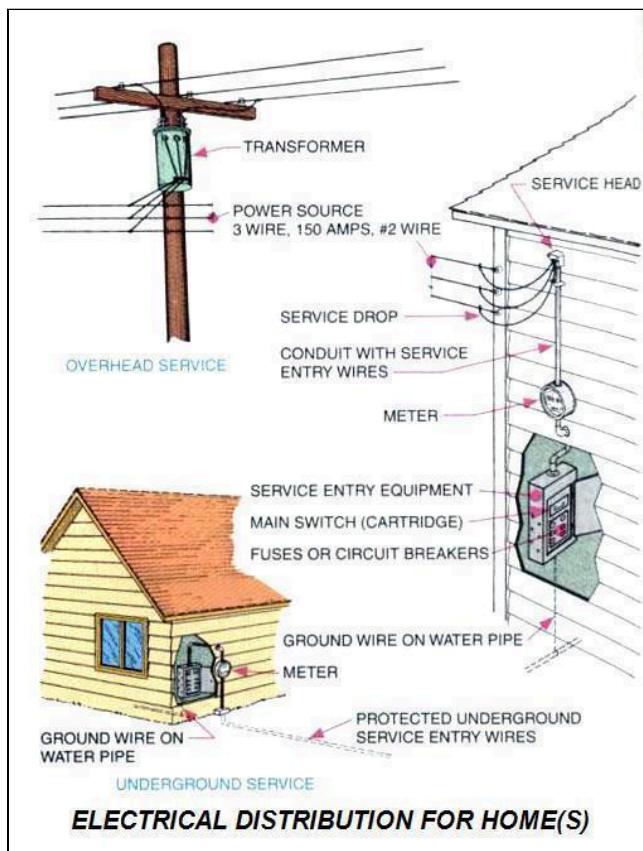
ADDITIONAL SUB

PANEL LOCATION:
LAUNDRY ROOM
N
WALL
LEFT SIDE PANEL

Comments:

5.0 (1) Electric meter service entrance located at rear N exterior of home.

This is for your information.



5.0 Item 2(Picture)

5.0 Item 1(Picture)



5.0 Item 3(Picture)



5.0 Item 4(Picture)

(2) Electrical service conductors clearance (outside) from ground is lower than 12 feet and may need correcting for safety. Opinions by licensed electricians on acceptable service entrance height varies between safe and unsafe. Inspector recommends contacting reputable licensed electrician for further information/evaluation and/or repairs as needed.



5.0 Item 5(Picture)



5.0 Item 6(Picture)

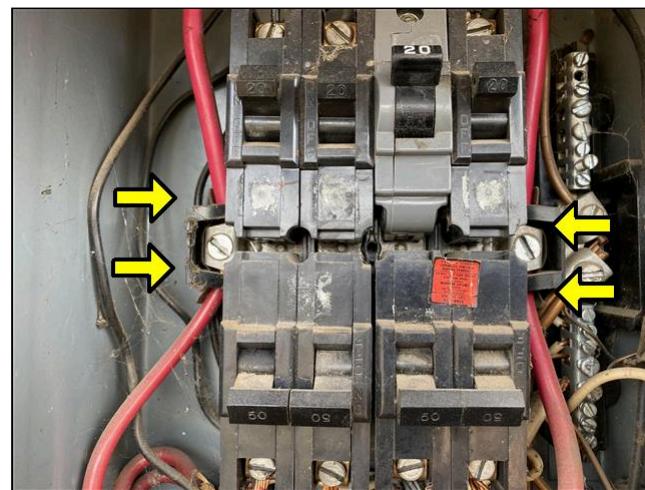
5.1 Problem(s) discovered in sub distribution panel/breaker box at laundry N wall right side such as circuits are not legibly labeled/identified, double lugged wiring at lead lugs on left and right sides, and any other problems that an electrician may discover while performing repairs need correcting. Recommend a licensed electrician inspect further and correct as needed.

Problem(s) discovered in main distribution panel/breaker box at rear N exterior at meter service entrance such as breakers are different brands, doubled wiring at upper right and lower left circuit breakers, double lugged wiring at lead lugs on left and right sides, panel breakers not fully identified/labeled, circuit wiring installed through panel box with no romex collar connector in place at lower right and any other problems that an electrician may discover while performing repairs need correcting. Recommend a licensed electrician inspect further and correct as needed.

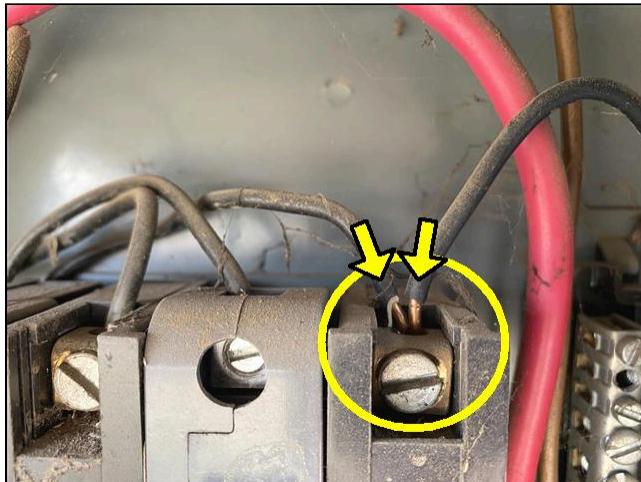
Subject home has a Federal Pacific main distribution panel/breaker box at rear exterior meter service entrance area which is legal, but there is a possibility that the circuit breakers may not trip when shorted possibly causing an electrical hazard. Opinions by licensed electricians on this panel varies between safe and unsafe. Inspector recommends consult a licensed electrician for an opinion and correct if necessary. Further information regarding these panels can be obtained from the Consumer Products Safety Commission at: <http://www.inspect-ny.com/fpe/CPSC.htm>.



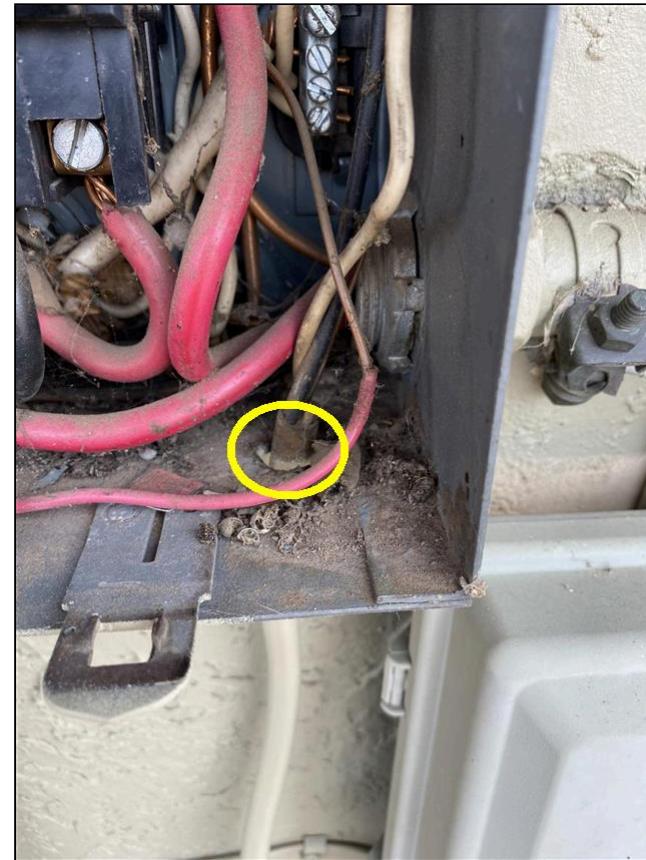
5.1 Item 1(Picture)



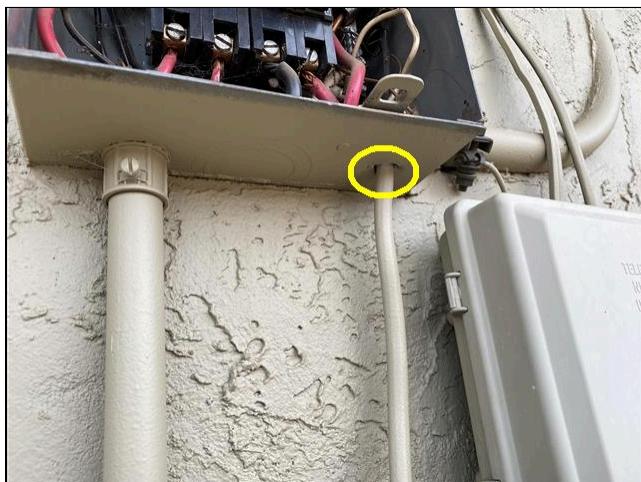
5.1 Item 2(Picture)



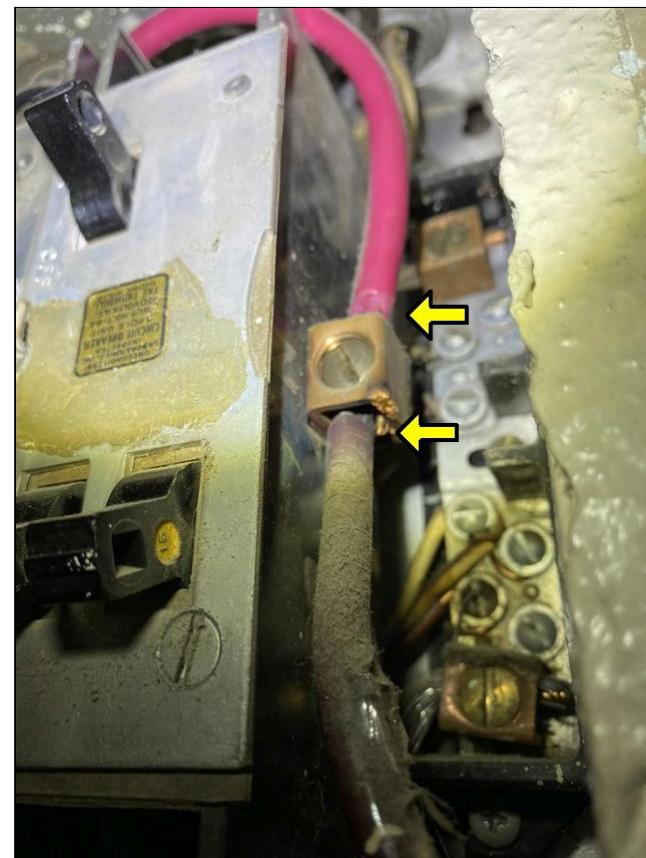
5.1 Item 3(Picture)



5.1 Item 4(Picture)



5.1 Item 5(Picture)



5.1 Item 6(Picture)

5.2 (1) 1 switch at laundry E wall is loose/worn at pivot at time of inspection.

Laundry ceiling light fixture has 1 of 2 lights found inoperable at time of inspection, possible burnt bulb.

Laundry ceiling has romex wiring stapled to ceiling in non-standard manner.

2 switches at kitchen S end E wall are loose/worn at pivot areas at time of inspection.

1 of 2 switches at kitchen E wall (just right of kitchen sink/faucet area) is loose/worn at pivot area at time of inspection.

1 outlet at kitchen N wall inside of upper cabinets (above range hood) is obstructed, outlet not inspected due to limited access.

Hall full bath W vanity wall light fixture is loose on wall at time of inspection.

Attic light fixture(s) are plugged into multiple power strips and/or extension cords in non-standard manner.

Attic has various spliced wiring observed wrapped with tape and not all spliced wiring properly secured in electrical junction boxes for safety.

Attic has electrical outlet junction box at E end above furnace rear area which appears scorched, unable to determine damage if any at interior of junction box.

Overall recommend contacting reputable licensed electrician for further evaluation and/or remedy/repairs as needed for safety.



5.2 Item 1(Picture)



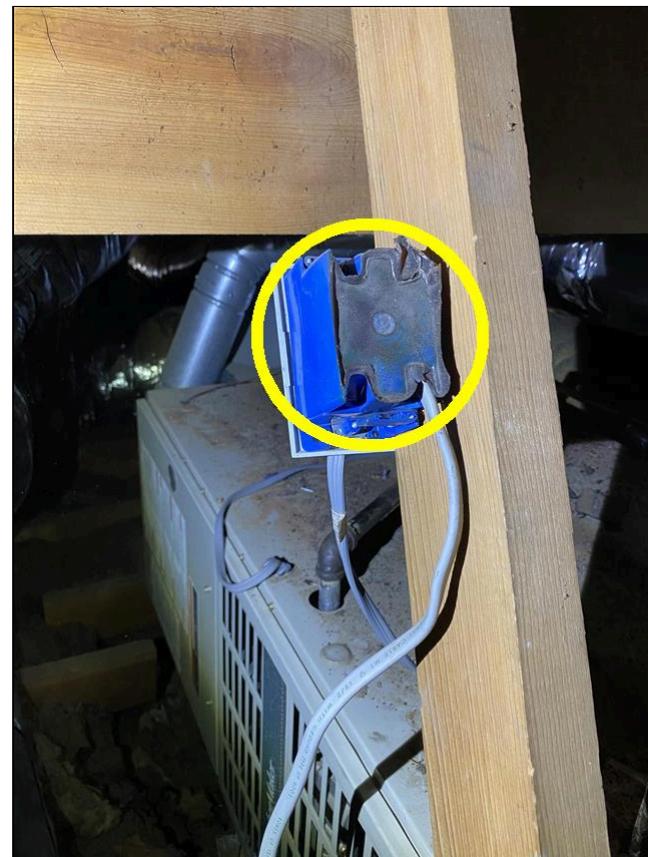
5.2 Item 2(Picture)



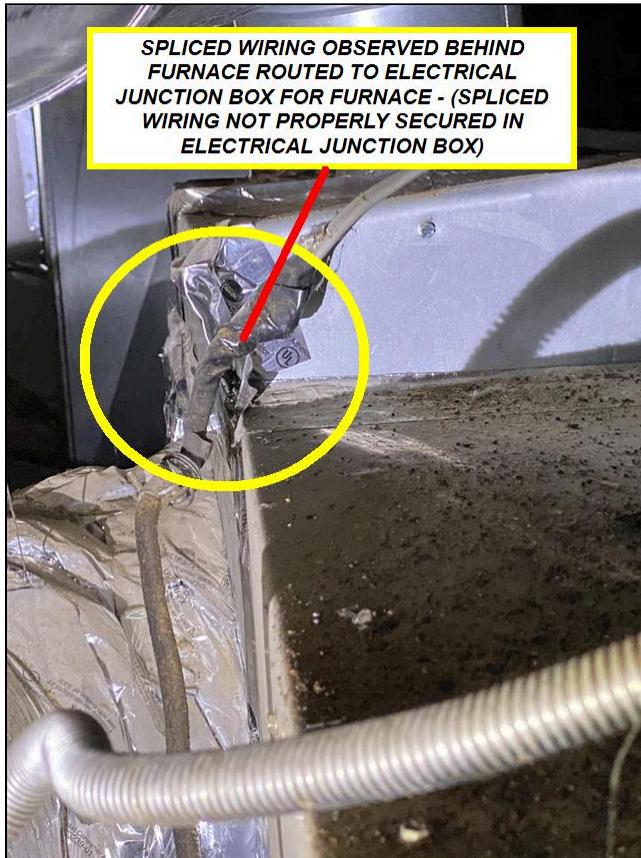
5.2 Item 3(Picture)



5.2 Item 4(Picture)



5.2 Item 5(Picture)



5.2 Item 6(Picture)



5.2 Item 7(Picture)

(2) Note: Not all electrical outlets/switches inspected due to some limited access observed in occupied home, i.e. homeowners belongings, furnishings, storage, etc.

Note: 1 of 2 switches at front main entry S wall operates 1 outlet (both receptacles) at living room E wall, op. check functional at time of inspection.

Note: 220 outlet observed at laundry, op. check functional at time of inspection.

Note: 1 of 2 switches at dining area E wall, unable to determine connection at time of inspection.

Note: 1 of 2 switches at dining area N wall and 1 of 2 switches at den/great room N wall, (3-way) switches for kitchen ceiling light fixture, op. check functional at time of inspection.

Note: 1 outlet at kitchen N wall inside of upper cabinets (above range hood) is missing cover plate at time of inspection.

Note: 1 of 2 switches at kitchen S end E wall operates NE corner exterior soffit light fixture, op. check functional at time of inspection.

Note: 1 switch at NW bedroom/study E entry S wall and 1 of 2 switches at NW bedroom/study W wall, (3-way) switches for NW bedroom/study ceiling light fixture, op. check functional at time of inspection.

Note: 1 switch at hall W end S wall and 1 switch at hall E end E wall, (3-way) switches for hall N wall light fixture, op. check functional at time of inspection.

Note: Any and all detached electrical to include any extension cord/non permanent type wiring, not inspected or evaluated, considered beyond scope of this inspection. Alarms, electronic keypads, doorbells, remote control devices, landscape lighting, motion/light sensor devices, solar lighting, telephone, television and public utility company equipment and related items not inspected and considered beyond scope of this inspection. For your protection, any and all repairs to the electrical system should be performed by a reputable licensed electrician.

5.5 (1) 1 GFCI outlet at hall full bath W vanity wall has constant power and does not trip when built in test button is operated, outlet will trip W vanity wall light fixture when tripped but not itself, has constant power.

Overall, recommend licensed/reputable electrician inspect/evaluate and repair if/and as needed for safety.

(2) Note: 1 GFCI outlet at kitchen N wall does not test trip when attempting to trip with GFCI electrical tester (outlet reads "open ground" when tested with electrical tester), outlet will test trip when built in test button is manually depressed which is considered to be acceptable by most electrician's standards.

Note: Various outlets at kitchen within 6' of sink/faucet area do not test trip when attempting to force trip with GFCI electrical tester, however, outlets will trip when built in test button is manually depressed at 1 GFCI outlet at kitchen N wall, op. check functional at time of inspection.

Note: 1 GFCI outlet located at master 3/4 bath N wall does not test trip when attempting to force trip with GFCI electrical tester (outlet reads "open ground" when tested with electrical tester), outlet will test trip when built in test button is manually depressed which is considered to be acceptable by most electrician's standards.

5.6 Main distribution panel/breaker box is located at rear N exterior of subject home at meter service entrance.

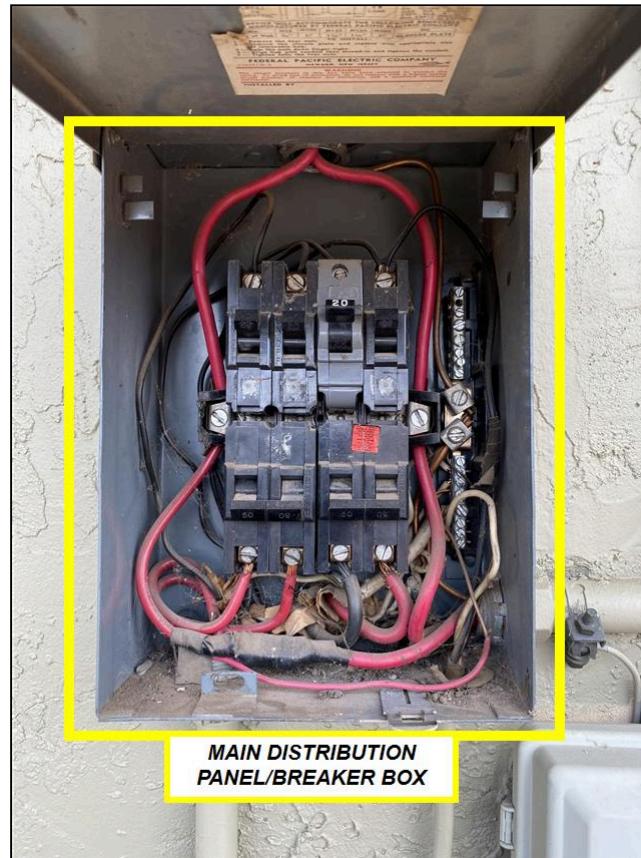
Sub distribution panel/breaker box is located at laundry utility room N wall right side.

Sub fuse panel located at laundry utility room N wall left side.

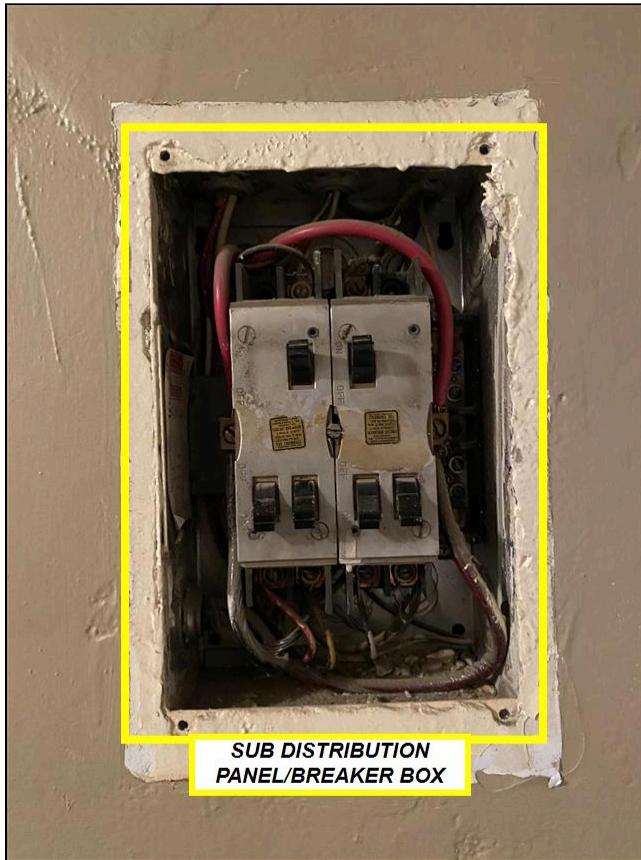
This is for your information.



5.6 Item 1(Picture)



5.6 Item 2(Picture)



5.6 Item 3(Picture)



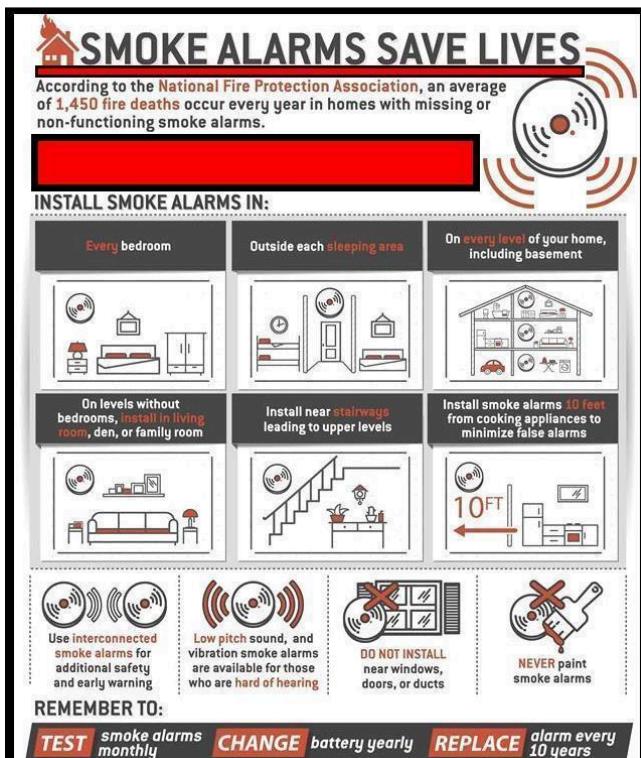
5.6 Item 4(Picture)

5.7 No ventilation (functional window to exterior or exhaust fan) observed at the hall full bath. Typically an exhaust fan or a functional window to exterior is needed for proper ventilation. Inspector does not inspect to determine what steps are needed to comply to meet current standards. Recommend repair as desired.

5.8 Smoke detector(s) should be tested on a regular basis. The battery (if any) should be replaced with a new one every six months, and tested on a monthly basis thereafter. Smoke detector(s) should be installed and maintained in compliance with the manufacturer's recommendations.



5.8 Item 1(Picture)



5.8 Item 2(Picture)

5.8 Item 3(Picture)

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. KITCHEN AND COMPONENTS

		IN	NI	NP	AR	Styles & Materials
6.0	FLOORS	•				CABINETRY: AGED PAINTED WOOD
6.1	COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS	•				COUNTERTOP: TILE WOOD EDGE TRIM WOOD (BUTCHER BLOCK) TILE TILED BACKSPLASH
6.2	FOOD WASTE DISPOSER	•				DISPOSER: IN SINK ERATOR
6.3	DISHWASHER				•	DISHWASHER: BOSCH
6.4	RANGES/OVENS/STOVE(S)	•				EXHAUST/RANGE HOOD: UNKNOWN BRAND VENTED 1-SPEED FAN WITH LIGHT FEATURE
6.5	RANGE HOOD				•	HOOD: WHIRLPOOL ELECTRIC 4-SMOOTH TOP BURNER STOVE WITH LEFT FRONT DUAL AND RIGHT FRONT TRIPLE ELEMENT SIZE BURNER FEATURE(S) WITH LEFT AND RIGHT FRONT BURNER DUAL ELEMENT FEATURES SELF CLEAN / TIMED BAKE / CONVECTION FEATURES AND ALL RELATED ITEMS NOT INSPECTED
6.6	MICROWAVE COOKING EQUIPMENT			•		STOVE: JENN AIR
6.7	TRASH COMPACTOR			•		BUILT-IN MICROWAVE: NONE
6.8	MISCELLANEOUS	•				TRASH COMPACTORS: NONE

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

IN NI NP AR

Comments:

6.0 Kitchen has tile flooring in place.

6.1 Kitchen has painted wooden cabinets with wooden butcher block counter top at middle island area and balance of kitchen with tiled counter tops, wood edge trim and tiled backsplash in place.

Kitchen upper cabinets at N side W end missing piece of wooden corner trim.

6.2 Disposer operation functional at time of inspection.

6.3 (1) Dishwasher operation functional at time of inspection though unit does not appear to be physically attached to counter top or cabinet sides.



6.3 Item 1(Picture)

(2) Note: Dishwasher door/front is dented at the lower right area.

Note: Kitchen tile floor is tiled up to but not underneath dishwasher which may make for difficult removal for any potential future repairs or replacement of unit.

Note: Dedicated dishwasher outlet is GFCI protected from GFCI outlet located at kitchen N wall, (not required), typically a dishwasher is plugged into a dedicated outlet that has a constant power source. This is for your information.

6.4 (1) Electric 4 smooth top burner stove with right front and left front dual burner element size feature, operation functional at time of inspection.



6.4 Item 1(Picture)



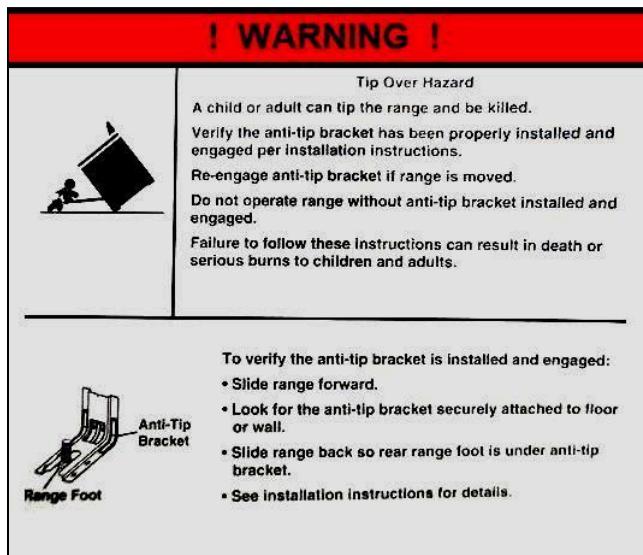
6.4 Item 2(Picture)

(2) Note: Self clean/continuous clean features, timers, clocks, lights and calibration are not inspected or tested, beyond scope of this inspection.

Note: Kitchen tile floor is tiled up to but not underneath stove which may make for difficult removal for any potential future repairs or replacement of unit.

Note: Stove has no anti-tip bracket observed behind unit.

Note: This appliance can be tipped over as there is no anti-tip bracket present. For safety, inspector recommends that an appropriate anti-tip bracket be installed. Please refer to the manufacturer's installation manual (if available) regarding these safety brackets.



6.4 Item 3(Picture)

6.5 Unknown brand range hood/exhaust fan unit with single light feature present, (2 sets of switches above at front of unit wired in series and both operate light fixture in unit however fan not working, inoperable at time of inspection).

Recommend contacting reputable appliance technician for further evaluation and/or repairs/replacement as needed.

6.6 No built in microwave present.

6.7 No trash compactor present.

6.8 Photo(s) of kitchen.

Note: Some appliances may be installed in a manner which may require some minor demolition or modification for repair or replacement. The inspector and inspection company acknowledge no liability with regard to items that may eventually wear out or break as there is no humanly possible way to predict when an item may fail.

Note: Refrigerator and all related items not inspected or evaluated, excluded from and considered beyond scope of this inspection.



6.8 Item 1(Picture)



6.8 Item 2(Picture)



6.8 Item 3(Picture)



6.8 Item 4(Picture)



6.8 Item 5(Picture)



6.8 Item 6(Picture)

7. BATHROOM COMPONENTS

		IN	NI	NP	AR	Styles & Materials
7.0	FLOORS	•				CEILING MATERIALS: SHEETROCK PLASTER
7.1	SINK BASE AND CABINETRY	•				WALL MATERIAL: SHEETROCK PLASTER FLOOR COVERING(S): TILE

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

IN NI NP AR

Comments:

7.0 Hall full bath has tile flooring in place.

Hall full bath S entry floor transition has raised lip/offsets, potential trip hazard.

Hall full bath tile flooring has cracked grout joint(s) observed at the N end near where meets base of tub.

Master 3/4 bath has tile flooring in place.

Master 3/4 bath S entry floor transition is loose/not fully secure, potential trip hazard.

7.1 Hall full bath has wood/veneer cabinet, composite type counter top and single bowl sink in place.

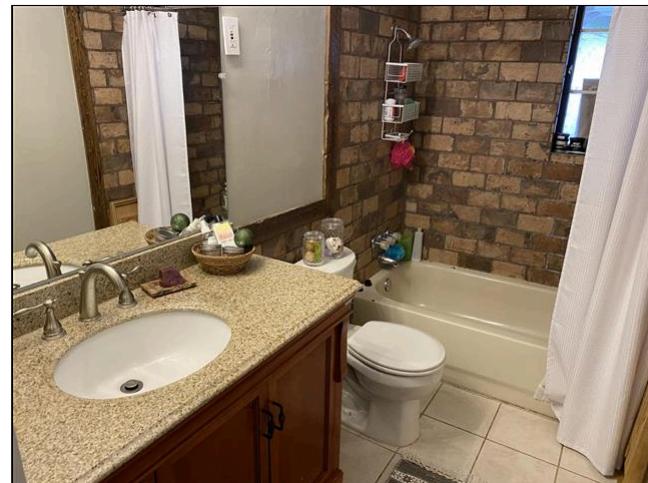
Hall full bath left cabinet door is split at the middle area of panel.

Master 3/4 bath has melamine/laminate vanity cabinet and 1 piece composite counter top/sink in place.

Master 3/4 bath vanity cabinet doors are delaminating at various seam areas.



7.1 Item 1(Picture)



7.1 Item 2(Picture)



7.1 Item 3(Picture)



7.1 Item 4(Picture)

8. ROOMS

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

		IN	NI	NP	AR	Styles & Materials
8.0	CEILINGS	•				CEILING MATERIALS: AGED SHEETROCK PLASTER
8.1	WALLS	•				WALL MATERIAL: AGED SHEETROCK PLASTER TILE
8.2	FLOORS	•				FLOOR COVERING(S): CARPET TILE WOOD/LAMINATE FLOORING
8.3	DOORS (REPRESENTATIVE NUMBER)	•				INTERIOR DOORS: WOOD HOLLOW CORE
8.4	WINDOWS (REPRESENTATIVE NUMBER)	•				WINDOW TYPES: SINGLE PANE CASEMENT DOUBLE PANE

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

IN NI NP AR

Comments:

8.0 Ceilings in finished home are covered and structural members are not visible. Inspector could not see behind these coverings.

Kitchen ceiling has hole observed at the E end (just S of kitchen ceiling light fixture), unknown cause/source/purpose.

NE sun room ceiling panels/trim are warped/bowed at various areas.

NE sun room ceiling has various moisture stains/blemishes observed at various areas.

NW bedroom/study ceiling has patched texture/blemishes observed at the NE area of ceiling, unknown cause/source/purpose.

Middle office/study ceiling has various patched texture/blemishes observed at the N end of ceiling, unknown cause/source/purpose.

Hall ceiling has cracked/chipped texture/finish observed at the middle area of ceiling.

Hall full bath ceiling has various patched texture/blemishes observed at the N end/outer perimeter areas of ceiling above tiled shower/tub enclosure, unknown cause/source/purpose.

SW bedroom ceiling has cracked seam joint/blemish observed.



8.0 Item 1(Picture)



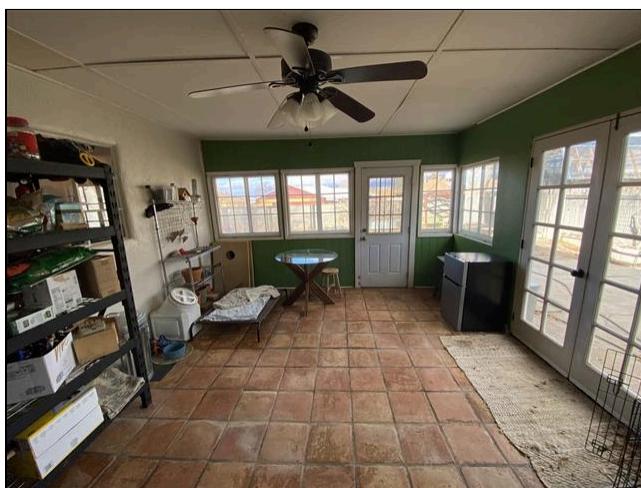
8.0 Item 2(Picture)



8.0 Item 3(Picture)



8.0 Item 4(Picture)



8.0 Item 5(Picture)



8.0 Item 6(Picture)



8.0 Item 7(Picture)

8.1 Various walls at den/great room have wood/panel type coverings in place, unable to fully inspect interior/walls due to coverings in place.

N sunroom N wall has wood/panel type covering(s) in place, unable to fully inspect interior/wall due to covering(s) in place.

Hall S wall has patched texture/blemish observed at upper area of wall near where meets ceiling.

SW bedroom E wall has gouge observed at the N end/middle area of wall, possibly from contact with N entry door knob.

Hall full bath N wall has various patched/texture blemishes observed.

Master 3/4 bath N wall has various mismatched texture/blemishes observed.

Most walls in finished home are covered and structural members are not visible. Inspector could not see behind these coverings. There were various cracked corner beads, tape/seam joint blemishes observed throughout at time of inspection. The inspection is limited to visible areas only, excluding any paneling, tile and wallpaper covered, hidden, concealed, obstructed and inaccessible areas not inspected or evaluated, beyond scope of this inspection.



8.1 Item 1(Picture)

8.2 The home has carpeted, wood/laminate and tile flooring in place. Determination of odors and stains are not within the scope of this inspection.

Wood/laminate flooring is blistered/swollen at various areas throughout home (possibly from moisture damage) to include the following but not limited to kitchen/dining areas and SE master bedroom.

Wood/laminate flooring has various gaps observed at seams areas where pieces of flooring appears to have shifted loose throughout home.

Laundry E entry floor transition has raised lip/offset observed, potential trip hazard.

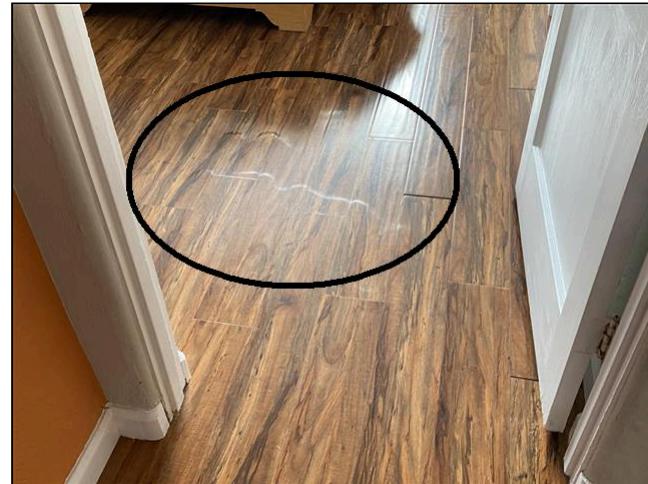
NE sunroom W entry/step has overhang observed, potential trip hazard.

NE sunroom has various cracked saltillo floor tiles observed at the N end of floor.

NE sunroom floor has low spot/gap observed at the E end near where meets E exterior double entry door frame threshold at interior side, potential trip hazard.



8.2 Item 1(Picture)



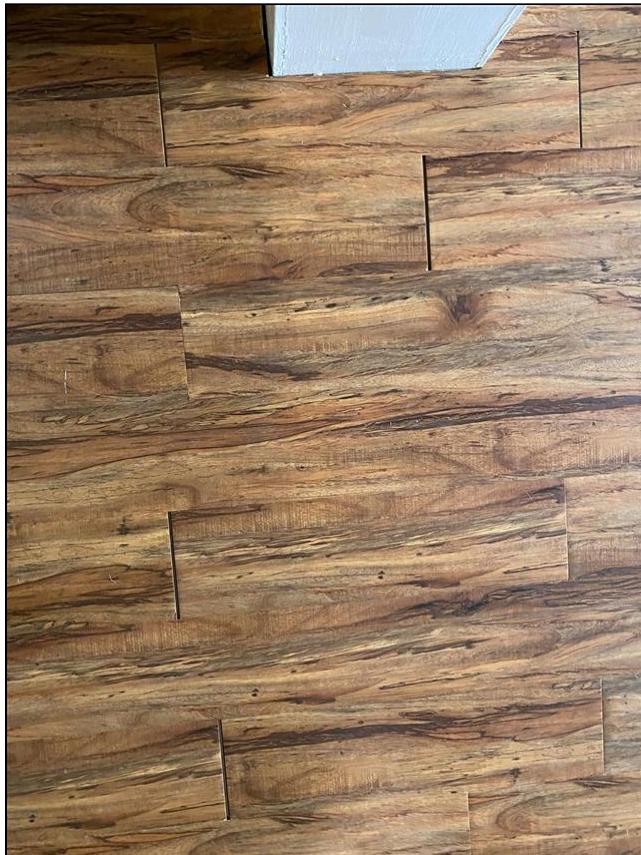
8.2 Item 2(Picture)



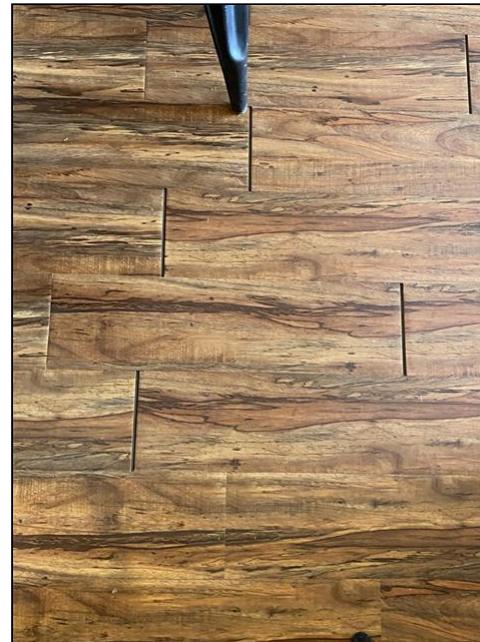
8.2 Item 3(Picture)



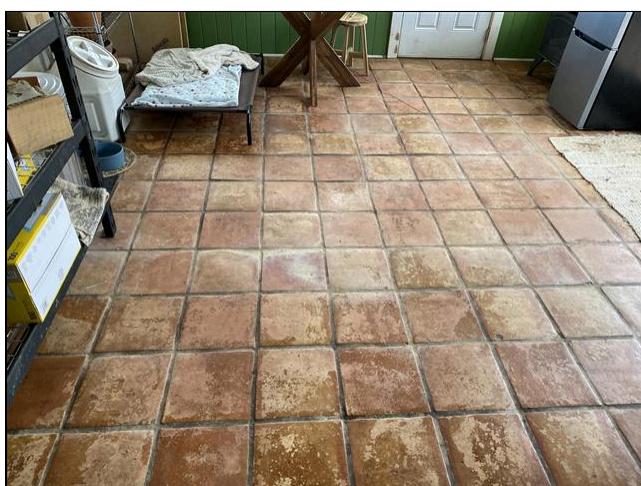
8.2 Item 4(Picture)



8.2 Item 5(Picture)



8.2 Item 6(Picture)



8.2 Item 7(Picture)



8.2 Item 8(Picture)



8.2 Item 9(Picture)



8.2 Item 10(Picture)

8.3 (1) Various door stoppers missing throughout home, door knob/handles have direct contact with walls behind when fully opened to include the following but not limited to.

Front main entry S door knob comes into contact with E wall when fully opened, no stopper observed. Visible light gap observed between door and frame when in closed position.

Den/great room N left double entry door handle must lifted to fully latch door. Visible light gap observed between left door and door frame threshold at lower area when in closed position. Door(s) have various scratch/gouge marks at exterior side.

NE sunroom W entry door has various scratch/gouge marks observed at interior side of door.

NE sunroom N exterior entry door frame threshold has overhang at exterior side where installed, potential trip hazard. Door frame has various torn/frayed weather seal trim. Door must be pressed/pulled firmly to fully latch closed. Door must be pressed/pulled firmly to fully latch closed.

NE sunroom E exterior double entry doors have torn door sweep at lower interior side.

Middle office/study S entry door knob comes into contact with E bi-fold closet door when fully opened, no stopper observed. Door does not latch closed in present condition.

Middle office/study E bi-fold closet door knob/pull is loose/not fully secure on door.

Hall full bath S entry door makes contact with W wall when fully opened, no stopper observed.

NW bedroom/study E entry door rubs/catches frame when opening/closing. Door cannot be latch closed. Door is split at center core of door through strike plate.

NE bedroom S entry door is damaged at middle latch/throw area of door near where meets center core of door. Door rubs/catches frame when opening/closing. Door does not latch closed in present condition.

SE master bedroom N entry door knob makes contact with W wall when fully opened, no stopper observed. Door must be pressed/pulled firmly to fully latch closed.

SE master bedroom W closet door rubs/catches frame when opening/closing.

Master 3/4 bath S entry door is missing/removed, entry way had a barn door in place at the exterior side.

(2) Note: Screen/storm doors and all related items not inspected, considered beyond scope of this inspection.

8.4 (1) Living room S window is obstructed, window not fully operated/inspected due to limited access at time of inspection.

Various windows at NE sunroom have interior storm windows in place, windows cannot be opened in present condition.

Hall full bath N window is obstructed, window not fully operated/inspected due to limited access at time of inspection.

NE bedroom E window is missing various hardware and is screwed shut at exterior side, windows inoperable in present condition.

NE bedroom N right window crank appears to be stripped, window cannot be opened in present condition.

SE master bedroom E window is missing various hardware and is screwed shut at exterior side, windows inoperable in present condition.

Garage W window has interior storm window in place, window cannot be opened in present condition, obstructed with various storage in place.

Various exterior casement windows on E side of home are inoperable with screws observed securing windows shut on exterior.

Moisture stains observed at window panes are not always visible. Detection can depend on atmospheric changes, lighting variations, and cleanliness of windows. Although a reasonable effort has been made to detect evidence of failed seals, this inspection company cannot guaranty the discovery in every case. It should also be noted that it is not possible to guaranty against future window pane leakage.



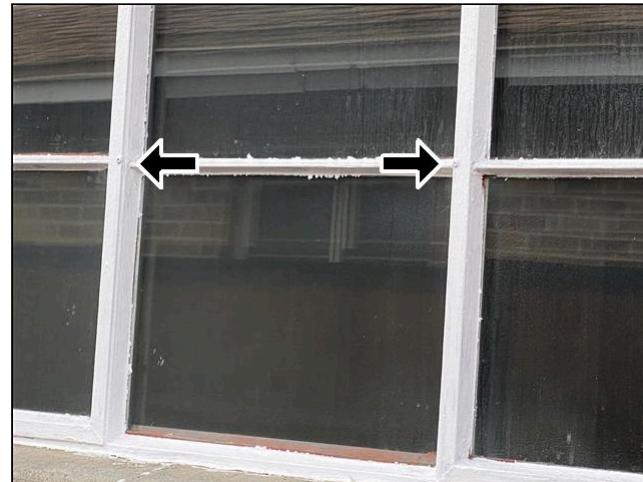
8.4 Item 1(Picture)



8.4 Item 2(Picture)



8.4 Item 3(Picture)



8.4 Item 4(Picture)



8.4 Item 5(Picture)

(2) Note: Window screens and all related items not inspected, considered beyond scope of this inspection.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. GARAGE

		IN	NI	NP	AR	Styles & Materials
9.0	GARAGE DOOR OPERATORS (Report whether or not doors will reverse when eye sensors are obstructed)			•		AUTO OPENER: N/A
9.1	CEILINGS		•			MANUFACTURER: NONE
9.2	WALLS	•				GARAGE DOOR TYPE: MANUAL HINGED (BI-FOLD TYPE) DOUBLE DOORS
9.3	FLOORS	•				
9.4	FOUNDATIONS (Report type of foundation as and if visible.)	•				
9.5	MISCELLANEOUS		•			

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

IN NI NP AR

Comments:

9.0 Garage has no automatic overhead door opener installed in place at time of inspection.

Custom manual bi-fold man doors in place of standard overhead door, operation appears functional though doors bind when opening/closing at time of inspection.



9.0 Item 1(Picture)

9.1 Ceilings in finished garage are sheetrock/plaster covered and structural members are not visible. Inspector could not see behind these coverings.

Ceiling in finished garage has open hole/cut out observed at NE corner area attic access entry with no proper access/cover panel in place, presently considered potential breach of fire barrier.

Garage ceiling has various moisture stains observed in several areas throughout.



9.1 Item 1(Picture)

9.2 Walls in finished garage are sheetrock/plaster covered and structural members are not visible as viewed from extremely limited means due to various storage in place. Inspector could not see behind these coverings.

9.3 Garage has concrete floor with no control joints and various cracks observed as viewed from extremely limited means due to various storage in place. Inspector could not see behind these coverings.

9.4 Please note that this inspection was limited to the readily visible portions of the garage only.

Garage appears built on concrete slab as viewed from garage only. Inspector is unable to determine what type of foundation is in place whether monolith or stemwall due to finished floor coverings in place.

9.5 Garage area has extremely limited access observed at time of inspection, i.e. storage, boxes, etc. Not all related item areas of garage inspected at time of inspection due to limited access.

Recommend inspecting garage interior upon final walk-through for any potential concerns which may have been concealed with storage/boxes, etc. at time of initial inspection.



9.5 Item 1(Picture)



9.5 Item 2(Picture)



9.5 Item 3(Picture)



9.5 Item 4(Picture)

10. ATTIC AND ROOF STRUCTURE

		IN	NI	NP	AR	Styles & Materials
10.0	ATTIC ACCESS	•				ATTIC INFO: SCUTTLE HOLE ATTIC ACCESS AT GARAGE CEILING
10.1	ROOF STRUCTURE AND ATTIC	•				METHOD USED TO OBSERVE ATTIC: FROM ENTRY LIMITED VISUAL FROM ACCESS AREA(S)
10.2	INSULATION	•				ROOF STRUCTURE: 2 X 6 RAFTERS LATERAL BRACING WITH WOOD PLANK DECKING/SHEATHING VISIBLE AS VIEWED FROM LIMITED MEANS DUE TO TYPE OF CONSTRUCTION/ INSTALLATION

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

IN NI NP AR

ATTIC INFO:

SCUTTLE HOLE
ATTIC ACCESS AT
GARAGE CEILING

METHOD USED TO OBSERVE ATTIC:

FROM ENTRY
LIMITED VISUAL FROM
ACCESS AREA(S)

ROOF STRUCTURE:

2 X 6 RAFTERS
LATERAL BRACING
WITH WOOD PLANK
DECKING/SHEATHING
VISIBLE AS VIEWED
FROM LIMITED MEANS
DUE TO TYPE OF
CONSTRUCTION/
INSTALLATION

CEILING STRUCTURE:

2X4

ATTIC INSULATION:

AGED
BLOWN
CELLULOSE
BATT

Comments:

10.0 Attic access is located at garage ceiling.

Attic access found open and has no fire rated cover in place, this is considered a fire wall breach and should be remedied properly for safety.



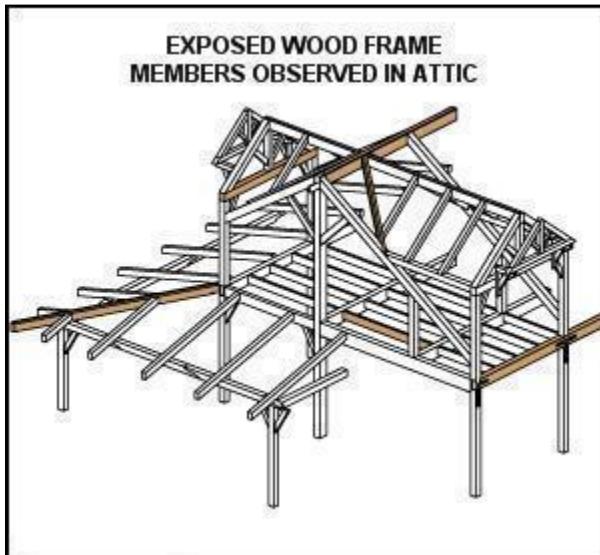
10.0 Item 1(Picture)

10.1 Attic access observed at garage upper E wall and garage partially open ceiling areas.

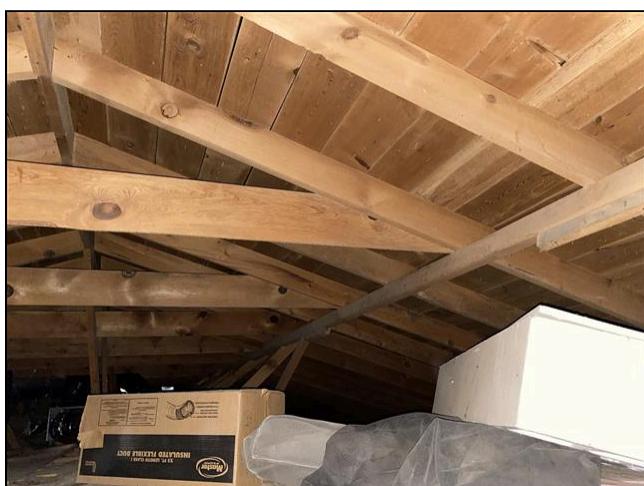
Attic has 2x6 wooden rafters with 2x4 wooden purling supports, wooden collar ties and 1x wood plank decking observed.

Attic has various open gaps observed at E end area surrounding the evaporative cooler shell where installed between the upper exterior divider walls in non-standard manner. Open gaps at subject area are considered conditions conducive to potential pest/moisture intrusion if left in present condition over prolonged period of time.

Due to configuration of framed members limited access observed in attic areas and it is not possible to inspect all areas of attic. There is no visible active moisture in attic at the time of inspection. The absence of visible indications of active moisture is not necessarily conclusive evidence that the roof is free from leaks.



10.1 Item 2(Picture)



10.1 Item 1(Picture)



10.1 Item 4(Picture)



10.1 Item 5(Picture)



10.1 Item 6(Picture)



10.1 Item 7(Picture)



10.1 Item 8(Picture)



10.1 Item 9(Picture)



10.1 Item 10(Picture)



10.1 Item 11(Picture)



10.1 Item 12(Picture)



10.1 Item 13(Picture)



10.1 Item 14(Picture)



10.1 Item 15(Picture)



10.1 Item 16(Picture)



10.1 Item 17(Picture)

10.2 Attic has (aged) blown and some batt insulation observed in place at most areas throughout excluding garage attic area which has no insulation, typical of most construction.



10.2 Item 1(Picture)



10.2 Item 2(Picture)



10.2 Item 3(Picture)



10.2 Item 4(Picture)

11. EXTERIOR COMPONENTS

Note: This is not an engineering structural report nor should it be construed to be. Report is a general overview of what is visible to the eye at the time of the inspection only. The inspection completed is not invasive nor was any invasive action performed. If structural concerns exist, suggest contacting licensed structural engineer. Please review the inspection agreement included with the inspection report. Inspector is limited to visible observations only at time of inspection made within a limited amount of time, no possible speculation, durability or life expectancy provided of the items inspected. Assessing the structural integrity of a building is beyond the scope of a typical home inspection. A certified professional engineer is recommended where there are structural concerns about the building. Inspection of structural components was limited by (but not limited to) the following conditions: Structural components concealed behind finished surfaces could not be inspected; Only a representative sampling if visible structural components were inspected. The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when eye sensors are obstructed during closing; The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility. Note: Stucco exterior and sheet rock interior walls will have various cracks occur over a period of time. Cracked corner beads and tape joints are typical of all home structures, although more so depending on settling, materials used and style/design of structure. Any and all comments are stated as is at time of inspection, bear in mind that settling will occur causing some cracks in foundation and wood members used are usually "green" freshly cut timbers which will shrink and twist over time. Home structures settle over a period of time which usually varies during the first 5-10 years.

		IN	NI	NP	AR	Styles & Materials
11.0	EAVES, SOFFITS AND FASCIAS	•				SIDING STYLE: BRICK STUCCO EXTERIOR SIDING
11.1	DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES AND APPLICABLE RAILINGS	•				SIDING MATERIAL: BRICK VENEER PAINTED CEMENT STUCCO WOOD BOARD & BATTEN SIDING
11.2	VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIOS, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)	•				APPURTEANCE: FRONT COVERED PORCH SIDEWALK REAR UNCOVERED PATIO WITH CONCRETE AND FLAGSTONE FLOOR
11.3	WALL CLADDING FLASHING AND TRIM	•				DRIVEWAY: AGED CONCRETE
11.4	DIVIDER FENCES AND GATES	•				

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

IN NI NP AR

Comments:

11.0 Wooden fascias with open wooden soffit eaves/overhangs with some cracked/weathering observed.

Wooden and masonite finishes soffit eaves/overhangs at rear N side of subject home has some weathering and some soffit areas have open gaps observed where meets front fascias.



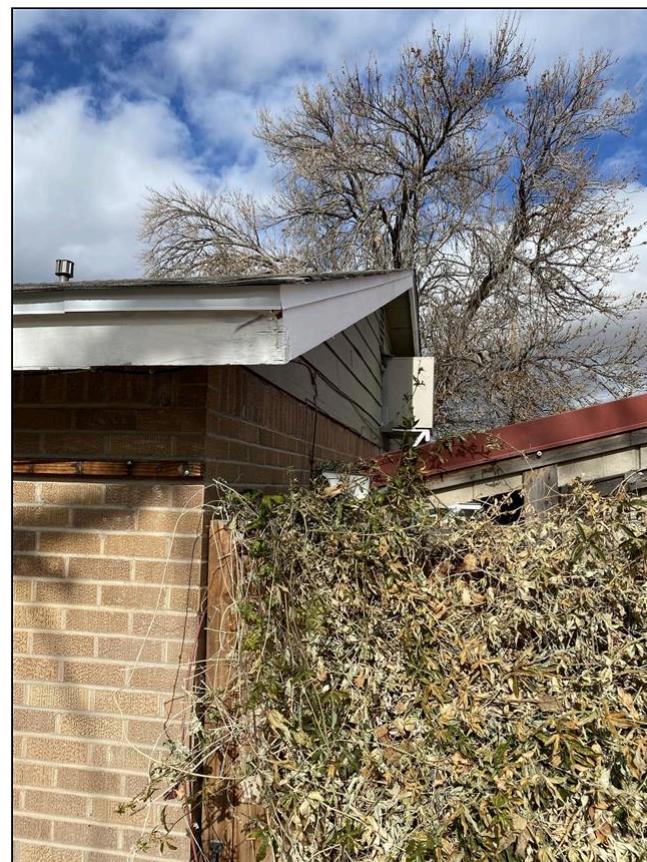
11.0 Item 1(Picture)



11.0 Item 2(Picture)



11.0 Item 3(Picture)



11.0 Item 4(Picture)



11.0 Item 5(Picture)



11.0 Item 6(Picture)



11.0 Item 7(Picture)

11.1 Front covered porch with concrete walk/floor in place.

Front covered porch has various cracking present and noticeable crack present at/near front exterior entry which has lip/offset observed, potential trip hazard.



11.1 Item 1(Picture)



11.1 Item 2(Picture)



11.1 Item 3(Picture)

11.2 Concrete walks and drives have moderate cracking and surface wear observed at exterior.

Front exterior concrete walks and drive have various cracks with some chips, surface wear and spalling observed.

Front exterior concrete walk/floor in front of porch area has steel pipe/post sticking up from ground, unknown source/purpose, potential hazard.

Slope of lot appears marginal for water drainage with level to lightly sloped lot. Since poor drainage

conditions can only be verified during inclement weather, i.e. rain/snow, adequate property drainage could not be fully confirmed at time of inspection.

Rear uncovered patio with concrete and flagstone walks/floors in place.

Rear uncovered patio outer NE area concrete walk/floor is uneven with various cracks and lip/offsets present, potential trip hazard.

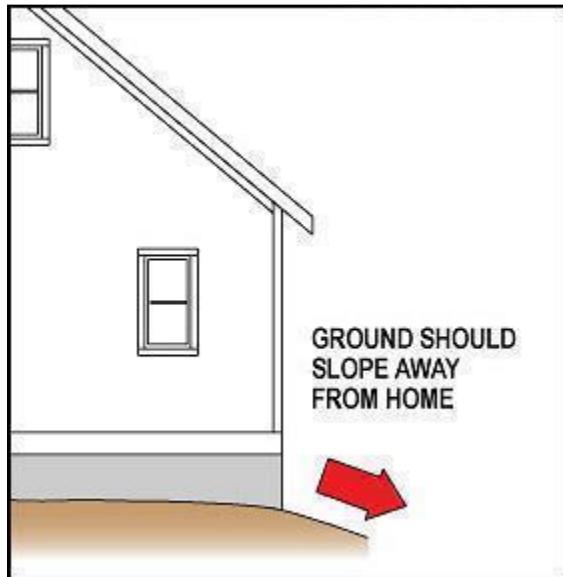
Rear outer uncovered patio at NW area has flagstone walk/floor present with some lip/offsets observed, potential trip hazard.

Rear W exterior concrete walk has various cracks with lip/offsets observed at NW corner area, potential trip hazard.

Any and all low spots, holes, bushes, trees, vines and vegetation growth, to include bark/wood chips located near structure considered conditions conducive to moisture intrusion and settling if left over prolonged period of time.

Recommend monitoring site drainage during and after heavy rains.

Recommend grading soil to slope away from foundation to avoid any potential negative/poor drainage and ponding near foundation.



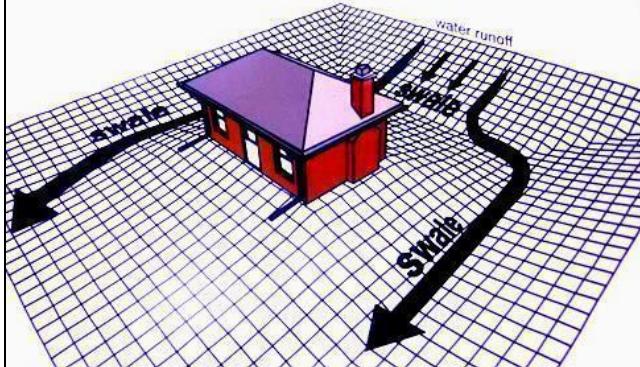
11.2 Item 1(Picture)



11.2 Item 2(Picture)

Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



11.2 Item 4(Picture)

11.2 Item 3(Picture)



11.2 Item 6(Picture)



11.2 Item 7(Picture)

11.2 Item 8(Picture)

**REAR UNCOVERED PATIO**

11.2 Item 9(Picture)

**REAR UNCOVERED PATIO**

11.2 Item 10(Picture)



11.2 Item 11(Picture)

11.3 The subject home has brick, stucco and board & batten siding exterior finish present.

Brick, stucco and board & batten siding exterior has various cracks/chips observed though appears recently repainted in various areas. Cracks should be viewed first hand by potential buyer. The vast majority of cracks should be monitored and maintained over time as needed, however potential buyer may wish to have these areas inspected/evaluated further by a reputable licensed contractor.

Brick exterior has some visible cracked mortar joints observed at front upper E end of garage doorway entry area.

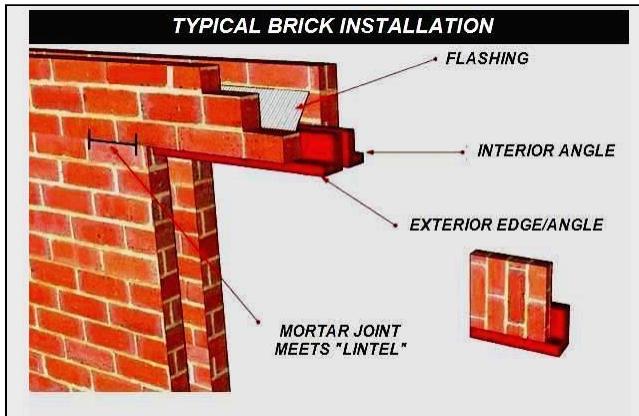
Brick exterior has some cracks with patched mortar joints observed on lower areas of window on side of home.

Stucco exterior has various cracks/chips observed at but not limited to window and door frame corner areas.

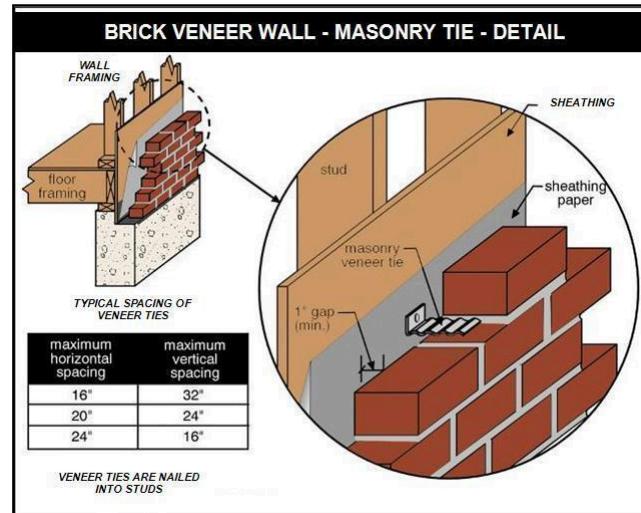
Wood lap board siding observed at upper pitched E and W sides of home.

Any unsealed areas to include cracks at window or door frame areas at exterior can permit moisture intrusion, which is the principle cause of deterioration of any surface, unfortunately this type of moisture

intrusion may only be obvious when there is rainfall, or with the use of a infrared imaging camera or related type equipment which is beyond the scope of this inspection. There is no humanly possible way for inspector to predict or foresee any future issues or events with regard to these areas, and no liability is assumed by inspector or inspection for these areas. If said items are in question it is strongly recommended contacting an expert in this specific field of said item in question.



11.3 Item 1(Picture)



11.3 Item 2(Picture)



11.3 Item 3(Picture)



11.3 Item 4(Picture)



11.3 Item 5(Picture)



11.3 Item 6(Picture)



11.3 Item 7(Picture)



11.3 Item 8(Picture)



11.3 Item 9(Picture)



11.3 Item 10(Picture)



11.3 Item 11(Picture)



11.3 Item 12(Picture)



11.3 Item 13(Picture)



11.3 Item 14(Picture)



11.3 Item 15(Picture)



11.3 Item 16(Picture)

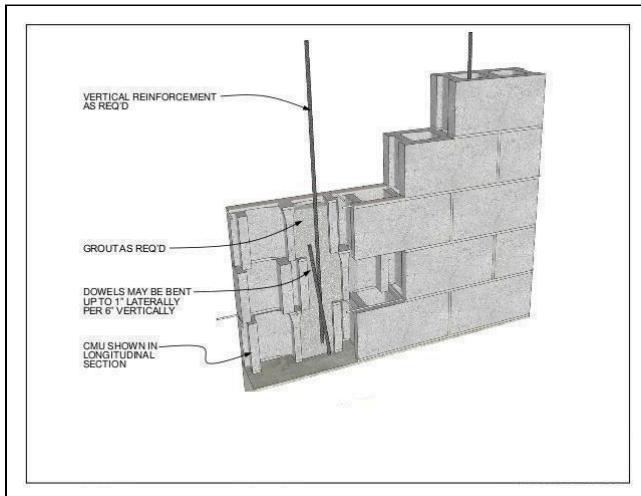
11.4 (1) Wooden front/rear divider gate observed at W side of home with some cracked/weathering observed.

Cinder block divider walls at rear yard outer perimeter of subject property has various cracked/chipped mortar joints observed.

Cinder block divider walls at rear yard outer perimeter of subject property elevated/raised at N side and unstruck mortar joints also known as (weeping mortar), wall also has various chipped mortar joints with some open gaps observed and should be properly filled/sealed.

Cinder block divider walls at rear yard outer perimeter of subject property, lower section has some open gaps at blocks where mortar joints have eroded over time and should be monitored/maintained, i.e. resealed/re-tucked, pointed and finished/sealed as needed to maintain and keep wall secured as needed.

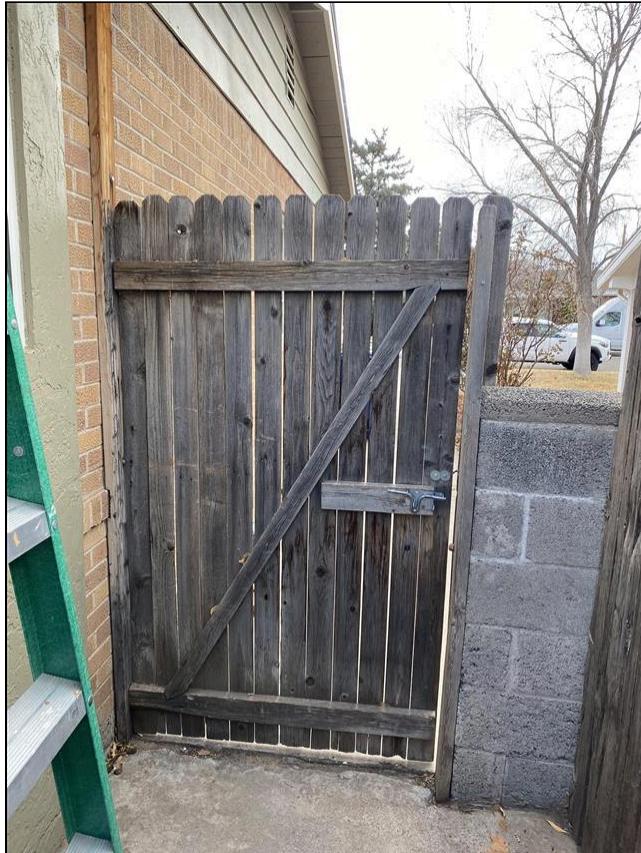
Wooden divider fencing at rear W side of home has various cracked/weathering and some direct wood/earth contact observed.



11.4 Item 1(Picture)



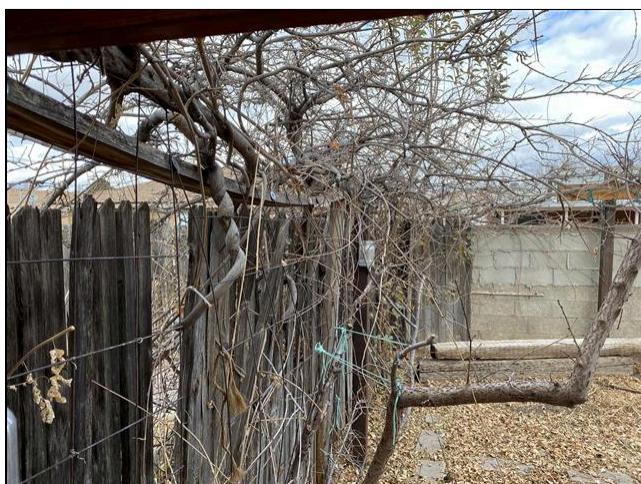
11.4 Item 2(Picture)



11.4 Item 3(Picture)



11.4 Item 4(Picture)



11.4 Item 5(Picture)



11.4 Item 6(Picture)



11.4 Item 7(Picture)



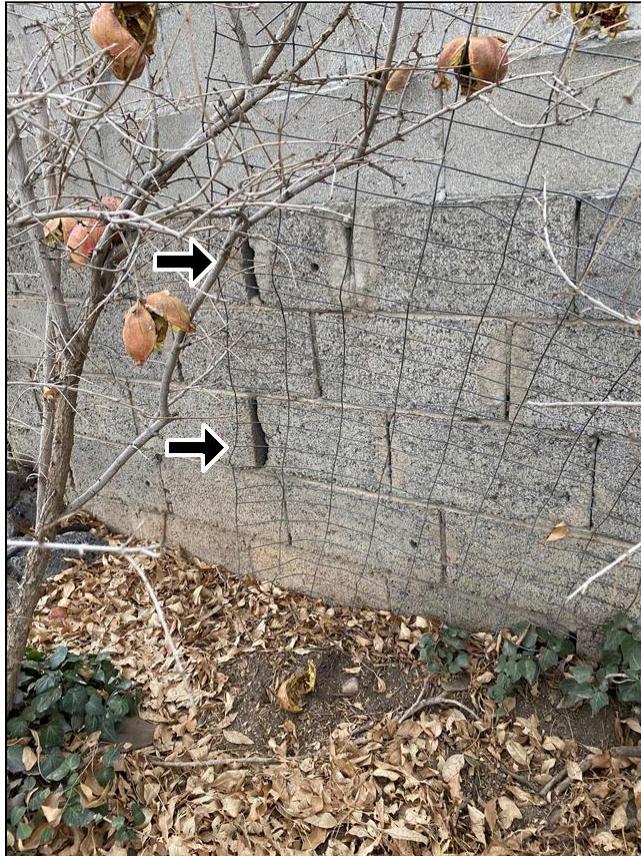
11.4 Item 8(Picture)



11.4 Item 9(Picture)



11.4 Item 10(Picture)



11.4 Item 11(Picture)



11.4 Item 12(Picture)

(2) Note: Any and all divider walls/fences at perimeter yard areas of home may change over time due to neighboring property groundscape/landscaping and is considered beyond the scope of this inspection.

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

12. STRUCTURAL COMPONENTS

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

		IN	NI	NP	AR	Styles & Materials
12.0	FOUNDATIONS (Report type of foundation as and if visible.)	•				FOUNDATION: POURED CONCRETE UNABLE TO DETERMINE WHETHER SUBJECT STRUCTURE HAS CONCRETE STEMWALL OR MONOLITH
12.1	COLUMNS,PIERS,POSTS	•				FOUNDATION WITH FINISHED WALLS AND FLOORING THOUGHOUT
12.2	FLOORS (Structural)	•				FLOOR STRUCTURE: CONCRETE SLAB
12.3	MISCELLANEOUS	•				WALL STRUCTURE: SOME BLOCK WALL CONSTRUCTION SOME WOOD FRAME WALL CONSTRUCTION

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

IN NI NP AR

Comments:

COLUMNS PIERS AND POSTS/SUPPORTS:
4X4 WOODEN POST
SUPPORT OBSERVED
SUPPORTS FRONT
PORCH COVER

METHOD USED TO OBSERVE

CRAWLSPACE:
NO CRAWLSPACE

12.0 (1) Please note that this inspection was limited to the readily visible portions of the structure only.

House appears built on concrete slab. Inspector is unable to determine what type of foundation is in place whether monolith or stemwall due to finished floor coverings in place.

A single inspection cannot determine whether movement of a foundation has ceased. Due to the type of construction, please understand that there are limited viewing areas of the foundation.

All structures are dependent on the soil beneath for support however soils are not uniform. Foundations typically conform to the structural standards of the year that the structure was built. It is considered beyond the scope of this inspection to confirm these standards or codes in place at the time of construction. Bear in mind cracks in concrete slab floors and/or foundations are common. It would be rare in fact to find a raised foundation wall that was not cracked, or a slab foundation that did not include some cracks concealed beneath carpeting/padding or other floor covering. Inspector looks for suspicious cracks that are clearly visible at time of inspection. However inspector is not a specialist, and in the absence of any visible major defects, inspector may not recommend that a foundation contractor, structural engineer, or a geologist be consulted, but this should not deter potential buyer from seeking the opinion of any such expert.

(2) Causes of foundation failure: **1) Evaporation:** Hot dry wind and intense heat will often cause the soil to shrink beneath foundation. This movement may cause cracks and appear throughout the structure. **2) Transpiration:** Tree roots may desiccate the soil beneath a home causing the soil to shrink and the home to settle. **3) Plumbing Leaks:** Water from plumbing leaks is often a cause of foundation problems. **4) Drainage:** Improper drainage is one of the leading causes of foundation failure. Excess moisture will erode or consolidate the soils and cause movement. **5) Inferior Foundation Construction:** Insufficient steel and inferior concrete will contribute to movement in the slab. **6) Inferior Ground Preparation:** Soft, low density soils and/or improperly compacted soil beneath a home is the leading cause of foundation failure. Cut and fill situations should be properly prepared before the soil is ready to support a structure. **7) Poor Soil Conditions:** Poor soil and its expansion and/or contraction contribute to foundation failure.

12.1 Wooden 4x4 post support observed at front covered porch has chipped blemish observed at top near beam tie-in above.



12.1 Item 1(Picture)

12.2 The subject home has concrete floor base observed.

Most floors experience a certain amount of cracking due to shrinkage in the process of drying. Floor coverings prevent detection of settlement in all but the most severe cases.

12.3 This is not an engineering structural report nor should it be construed to be. Report is a general overview of what is visible to the eye at the time of the inspection only. The inspection completed is not invasive nor was any invasive action performed. If structural concerns exist, it is recommended contacting licensed structural engineer.

Inspector is limited to visible observations only at time of inspection made within a limited amount of time, no possible speculation, durability or life expectancy provided on the items inspected. Assessing the structural integrity of a building is beyond the scope of a typical home inspection. Inspection of structural components was limited by (but not restricted to) the following conditions: Structural components concealed behind finished surfaces could not be inspected and only a representative sampling of visible structural components were inspected

Note: Brick/block, stucco and siding exterior to include mortar joints and sheetrock/plaster interior walls will have various cracks occur over a period of time. Cracked corner beads and tape joints are typical of all home structures, although more so depending on settling, materials used and style/design of structure. Bear in mind that settling will occur causing some cracks in foundation and wood members used are usually "green" freshly cut timbers which will shrink and twist over time.

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

13. MISCELLANEOUS

		IN	NI	NP	AR	Styles & Materials
13.0	LAUNDRY DRYER VENT	•				LAUNDRY DRYER VENTS: DRYER VENT NOT INSPECTED NOT VISIBLE PRIMARILY WHERE ROUTED IN WALL
13.1	FIREPLACE/CHIMNEY	•				TYPES OF FIREPLACES: SOLID FUEL
13.2	NOTED COMMENTS BY INSPECTOR	•				
13.3	SOLAR POWER/ENERGY		•			
13.4	MISCELLANEOUS (WARRANTY INFORMATION)	•				

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention Required

IN NI NP AR

Comments:

13.0 Note: Dryer vents with vertical duct are prone to lint build up.



13.0 Item 1(Picture)

13.1 Solid fuel wood burning fireplace at **NW den/great room N wall** with manufactured metal interior and no front enclosure door cover and no screens in place at time of inspection. For safety reasons, this fireplace and its chimney or pipe to which it is vented should be cleaned and inspected frequently as defects may develop over a short period of time. Fireplace has ash clean out observed at rear lower area of fireplace/chimney. Although not actually tested the fireplace appeared to be functional, however, cleaning may be necessary. Fireplace has no visible gas lines observed. Fireplace has no blower fan. Fireplace/chimney has stucco exterior with masonry flue pipe and metal rain cap and spark screen in place.

This inspection does not include a smoke test. Some fireplaces emit smoke into the home during use. If this

occurs, a reputable/qualified chimney sweep professional should be contacted for further evaluation and/or repairs as needed.

Chimney/fireplace interiors/liners and all related items not inspected/evaluated considered beyond scope of this inspection, should further evaluation be required recommend contacting reputable/licensed chimney sweep professional for further evaluation.



13.1 Item 1(Picture)



13.1 Item 2(Picture)



13.1 Item 3(Picture)



13.1 Item 4(Picture)



13.1 Item 5(Picture)



13.1 Item 6(Picture)

13.2 Note: The inspection ordered and performed was a mechanical and visual non-invasive structural inspection. Only the items listed in this report were inspected, unless otherwise noted.

Note: The inspector does not determine whether structural items are in need of repair or replacement. The inspector reports on the conditions of the items at the time of inspection. It is recommended that you review the report and all comments and determine the appropriate remedy for the conditions observed by the inspector.

Note: There is no crawlspace access observed.

Note: This company does not inspect for, nor verify certificates of occupancy, permits for construction or remodeling which is considered beyond the scope of this inspection.

Note: Any and all detached structures to include but not limited to rear E detached storage structure, rear NW detached pergola structure and related items not inspected or evaluated, excluded from and considered beyond scope of this inspection.



13.2 Item 1(Picture)



13.2 Item 2(Picture)

13.3 Solar heating sources and related items are not fully inspected. Typically special testing requirements apply and are excluded from, considered beyond the scope of typical home inspection. (Solar panels at rear NW area of roof appears to be disconnected/abandoned and no longer in use).



13.3 Item 1(Picture)



13.3 Item 2(Picture)



13.3 Item 3(Picture)



13.3 Item 4(Picture)

13.4 Items identified specifically in the warranty summary directly affect the warranty contract and typically will need to be repaired and/or replaced and re-inspected prior to closing. Some warranty companies accept licensed contractor's invoices for repairs, although it is recommended to follow up with warranty company of choice for clarification as this inspection company is not the exclusive provider of inspection services for any home warranty company. (The warranty summary is provided only as a courtesy in establishing the mechanical repairs for warranty only).

Reading the summary alone is not a substitute for reading the report in entirety. The entire inspection report , including the inspection agreement must be carefully read to fully assess the findings of the inspection. This list is not intended to determine which items may need to be addressed per the contractual requirements of the sale of property. Any and all areas of uncertainty regarding the contract should be clarified by consulting an attorney or real estate agent.

It is recommended that any deficiencies and the components/systems related to these deficiencies noted in the report be evaluated/inspected and repaired as needed by licensed contractors/professionals prior to the close of escrow. Further evaluation prior to the close of escrow is recommended so a properly licensed professional can evaluate our concerns further and inspect the remainder of the system or component for additional concerns that may be outside our area of expertise or the scope of the inspection. Please call our office for any clarifications or further questions.

For questions pertaining to the warranty contract or to schedule a re-inspection or service of the subject property, please contact the warranty provider if applicable:

AMERICAN HOME SHIELD

1-(800)-735-4663 www.ahsrealestate.com

FIRST AMERICAN HOME BUYERS PROTECTION CORPORATION

1-(866)-510-0070 www.firstam.com/warranty

GENERAL HOME WARRANTY INC.

(505)-489-2093 www.generalhomewarranty.com

OLD REPUBLIC HOME PROTECTION CO., INC.

1-(800)-445-6999 www.orhp.com

Warranty Summary

Attention To Detail LLC

**PO Box 11875
Albuquerque, NM 87192
505-275-6070**

Customer
Mac-Rufus Umeokolo

Address
5907 Princess Jeanne Ave NE
Albuquerque NM 87110

A home warranty is available for this home from an independent warranty company for an additional fee payable directly to the warranty company. Inspections Only! does not guarantee or warranty the items inspected. This summary is being provided as a courtesy to those that choose to purchase a home warranty. The summary will also be provided to the warranty company of your choice. Please refer to the warranty contract for specific information and coverage. The following items or discoveries indicate that these components do not function as intended or adversely affect the habitability of the dwelling; or appear to warrant further investigation by a specialist, or require subsequent observation. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function, efficiency, or safety of the home. It is strongly recommended that you have the appropriate licensed contractor further evaluate and/or repair the defects and the entire system in question before the close of escrow. This Summary is not the entire report. The complete report may include additional information of concern to the customer and may include other items that may affect warranty coverage. It is recommended that the customer read the complete report and warranty contract, should one be purchased.

1. ROOF SYSTEM, DRAINAGE, ROOF PENETRATIONS

1.0 ROOF COVERINGS

Attention Required

The roof has pitched shingle roof at front main portion of subject home while rear addition areas to include rear enclosed patio room is a flat/low slope design covered with built up roofing (asphalt and gravel). Due to the nature of the flat roof construction water will likely pond on the roof surface after normal rainfall.

The rear NE enclosed patio room roof covering is old and the life of covering is past the latter stages of life. While it could last a year or so, some areas may need patching with tar as leaks develop.

The roof has various surface wear with some degranulated worn parapet side walls at outer perimeter/tie-ins to other surrounding roof sections.

The tar and gravel roof areas has various gravel erosion with some bare areas observed which should be monitored/maintained, i.e. bare areas re-graveled over time as needed.

1.1 FLASHINGS

Attention Required

Tar and gravel roof has split gas line penetrations observed at NW area of rear roof.

Tar and gravel roof has various split gable/corner tie-in flashings observed.

Recommend resealing any and all split flashings as needed by qualified person or reputable licensed roof contractor.

Roof flashings can and will split open over time and ongoing maintenance of these items is strongly recommended.

1.4 ROOFING DRAINAGE SYSTEMS

Attention Required

Roof drainage gutters are full of debris at rear N side area of home and should be cleaned. The debris in gutters can also conceal rust, deterioration or leaks that are not visible until cleaned, and inspector is unable to determine if such conditions exist.

Roof gutters are not probed to determine excessive corrosion and are not tested.

3. COOLING

3.0 COOLING EQUIPMENT

Attention Required

(1) When a cooler is winterized, not tested, or not inspected, the inspector cannot determine operation. If concerns exist about the cooler(s), it is recommended that cooler be serviced and/or consulting with current homeowner to determine the condition prior to closing.

Evaporative cooler is installed in a non-standard manner, unit is installed in a manner that obstructs the side access panels from physically being able to be removed for service at interior, i.e. oiling left and right blower shaft pillow bushings, blower and motor pulley/belt adjustments, etc.

Overall recommend contacting reputable licensed HVAC technician for further evaluation and/or remedy/repair unit in a manner that allows for normal operation and accessibility to unit rather than having to remove part of pad and entering unit from E exterior side which is non-standard and limited for proper maintenance of unit.

4. PLUMBING SYSTEM

4.0 DRAIN, WASTE AND VENT SYSTEMS

Attention Required

(1) Hall full bath vanity sink drain is loose/set at non-standard angle, recommend licensed/reputable plumber for further evaluation and/or remedy/repair if/and as needed.

Laundry utility sink drain has improper "S" trap in place below utility sink.

4.1 WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Attention Required

(1) Kitchen faucet does not fully self retract after use at time of inspection, dish sprayer flex hose weight may need to be adjusted.

Hall full bath vanity faucet right/cold side handle is somewhat stiff/difficult to operate at time of inspection.

Hall full bath vanity faucet left/hot side handle is somewhat loose on stem at time of inspection.

Hall full bath shower leaks at lower arm connection where meets shower head fixture when operated at time of inspection.

4.2 HOT WATER SYSTEMS, CONTROLS

Attention Required

The Whirlpool (US/Craftmaster) brand gas fired water heater was located at the laundry utility room. This unit was manufactured approximately 13-14 +/- years ago. A temperature/pressure relief valve (T & P) was present. Due to possible lime build-up typical of T & P valves, inspector does not test them. For energy efficiency reasons, the plumbing pipes for water heater can be insulated though for safety please ensure that the pipe insulation does not come in contact with the water heater flue pipe or the draft hood/collar.

Water heater T & P valve termination line terminates at utility sink area on right side and termination is nearly at sink rim/backsplash area.

The discharge line from the T & P valve must run horizontal with a 1/4" per foot downward pitch towards the discharge end and it may terminate into a laundry utility sink providing the lowest portion of the discharge line remains a minimum of 2" above the flood level rim of the sink.

Water heater gas line has no visible gas drip leg present and gas line has smooth/non-rigid coupling at left side spliced gas line area, non-standard type - not approved for gas line distribution, many plumbers consider this type of coupling to be a safety hazard. Recommend contacting reputable gas licensed plumber/HVAC technician for further evaluation and/or repairs as needed.

4.5 GAS LINES

Attention Required

(1) Gas line on roof at NW area has no supports present below gas line which appears to be visibly bowed and without supports can cause tension on coupling connections.

Recommend installing some appropriate supports below gas line where routed on roof as needed.

5. ELECTRIC SYSTEM

5.0 SERVICE ENTRANCE CONDUCTORS

Attention Required

(2) Electrical service conductors clearance (outside) from ground is lower than 12 feet and may need correcting for safety. Opinions by licensed electricians on acceptable service entrance height varies between safe and unsafe. Inspector recommends contacting reputable licensed electrician for further information/evaluation and/or repairs as needed.

5.1 SERVICE/MAIN AND DISTRIBUTION PANELS

Attention Required

Problem(s) discovered in sub distribution panel/breaker box at laundry N wall right side such as circuits are not legibly labeled/identified, double lugged wiring at lead lugs on left and right sides, and any other problems that an electrician may discover while performing repairs need correcting. Recommend a licensed electrician inspect further and correct as needed.

Problem(s) discovered in main distribution panel/breaker box at rear N exterior at meter service entrance such as breakers are different brands, doubled wiring at upper right and lower left circuit breakers, double lugged wiring at lead lugs on left and right sides, panel breakers not fully identified/labelled, circuit wiring installed through panel box with no romex collar connector in place at lower right and any other problems that an electrician may discover while performing repairs need correcting. Recommend a licensed electrician inspect further and correct as needed.

Subject home has a Federal Pacific main distribution panel/breaker box at rear exterior meter service entrance area which is legal, but there is a possibility that the circuit breakers may not trip when shorted possibly causing an electrical hazard. Opinions by licensed electricians on this panel varies between safe and unsafe. Inspector recommends consult a licensed electrician for an opinion and correct if necessary. Further information regarding these panels can be obtained from the Consumer Products Safety Commission at: <http://www.inspect-ny.com/fpe/CPSC.htm>.

5.2 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)

Attention Required

(1) 1 switch at laundry E wall is loose/worn at pivot at time of inspection.

Laundry ceiling light fixture has 1 of 2 lights found inoperable at time of inspection, possible burnt bulb.

Laundry ceiling has romex wiring stapled to ceiling in non-standard manner.

2 switches at kitchen S end E wall are loose/worn at pivot areas at time of inspection.

1 of 2 switches at kitchen E wall (just right of kitchen sink/faucet area) is loose/worn at pivot area at time of inspection.

1 outlet at kitchen N wall inside of upper cabinets (above range hood) is obstructed, outlet not inspected due to limited access.

Hall full bath W vanity wall light fixture is loose on wall at time of inspection.

Attic light fixture(s) are plugged into multiple power strips and/or extension cords in non-standard manner.

Attic has various spliced wiring observed wrapped with tape and not all spliced wiring properly secured in electrical junction boxes for safety.

Attic has electrical outlet junction box at E end above furnace rear area which appears scorched, unable to determine damage if any at interior of junction box.

Overall recommend contacting reputable licensed electrician for further evaluation and/or remedy/repairs as needed for safety.

5.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Attention Required

(1) 1 GFCI outlet at hall full bath W vanity wall has constant power and does not trip when built in test button is operated, outlet will trip W vanity wall light fixture when tripped but not itself, has constant power.

Overall, recommend licensed/reputable electrician inspect/evaluate and repair if/and as needed for safety.

5.7 EXHAUST VENTING SYSTEMS (Kitchens, Baths and Laundry)

Attention Required

No ventilation (functional window to exterior or exhaust fan) observed at the hall full bath. Typically an exhaust fan or a functional window to exterior is needed for proper ventilation. Inspector does not inspect to determine what steps are needed to comply to meet current standards. Recommend repair as desired.

6. KITCHEN AND COMPONENTS

6.3 DISHWASHER

Attention Required

(1) Dishwasher operation functional at time of inspection though unit does not appear to be physically attached to counter top or cabinet sides.

6.5 RANGE HOOD

Attention Required

Unknown brand range hood/exhaust fan unit with single light feature present, (2 sets of switches above at front of unit wired in series and both operate light fixture in unit however fan not working, inoperable at time of inspection).

Recommend contacting reputable appliance technician for further evaluation and/or repairs/replacement as needed.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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Attention To Detail LLC

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