

सत्यमेव जयते

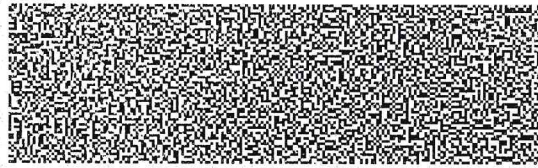
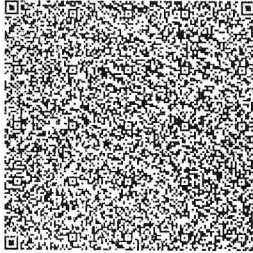
INDIA NON JUDICIAL

**Government of Karnataka**

e-Stamp

Certificate No. : IN-KA60279371687375Q  
 Certificate Issued Date : 05-Oct-2018 06:24 PM  
 Account Reference : NONACC (FI)/ kacrsf108/ J P NAGAR3/ KA-BN  
 Unique Doc. Reference : SUBIN-KAKACRSFL0858611158389000Q  
 Purchased by : VENKATARAMANA SUBBAIAH  
 Description of Document : Article 30 Lease of Immovable Property  
 Description : RENTAL AGREEMENT  
 Consideration Price (Rs.) : 0  
 (Zero)  
 First Party : VENKATARAMANA SUBBAIAH  
 Second Party : M SIVANRAJ  
 Stamp Duty Paid By : VENKATARAMANA SUBBAIAH  
 Stamp Duty Amount(Rs.) : 100  
 (One Hundred only)

ವಾರುಣಿ ಮಹಿಳಾ ವಿಕಾಸ ಸಂಘ (ವಿ.)  
 VARUNI MAHILA VIKASA CO-OP. SOCIETY LTD  
 No. 20, 'Radhesham Nivas', 3rd Cross  
 Jambu Nagar, J.S. Dinne, J.P. Naga  
 8th Phase, BANGALORE - 560 076.  
 Mob : 96639 33995



Please write or type below this line

**RENTAL AGREEMENT**

THIS RENTAL AGREEMENT is made and executed on this the 5<sup>th</sup> day of October month of 2018 (05-10-2018) by and between:-

...2

**Statutory Alert:**

1. The authenticity of this Stamp Certificate should be verified at "www.shallastamp.com". Any discrepancy in the details on this Certificate are as per, said on the website renders it invalid.
2. The user or checking the legitimacy is on the users of the certificate.
3. In case of any discrepancy please inform the Competent Authority.

**Mr. VENKATARAMANA SUBBAIAH**

Aged about 33 years  
Residing at No.388, 2<sup>nd</sup> Floor,  
5<sup>TH</sup> Main, Chamundeshwari Layout,  
Bettadasanapura main road,  
Electronic City Phase-1,  
Bangalore-560100.

Hereinafter called the Owner of the one part

**Mr. M. SIVANRAJ**

Aged about 28 years  
No. 90A Ambedkar Street,  
Periyur Nagar,  
Avinasilingam College (P),  
Coimbatore-641043.  
Ph:- 9578044569/7904326681.

Hereinafter called the Tenant on the other part

WHEREAS, the terms "Owner" and "Tenant" shall mean and include their respective heirs, executors, legal representatives, administrators etc.,

WHEREAS, the first party is the absolute owner of **House situated at No.388, 1<sup>st</sup> Floor, 5<sup>TH</sup> Main, Chamundeshwari Layout, Bettadasanapura main road, Electronic City Phase-1, Bangalore-560100**, which is morefully described in the Schedule hereunder and hereinafter referred to as **SCHEDULE PROPERTY**, which the Tenant desires to take the premises for **Residential Purpose** and the owner desires to let out the same to the Tenant on rental basis on the following terms and conditions:-

**TERMS AND CONDITIONS:-**

1. The Tenancy period commenced on **20<sup>th</sup> day of August month of 2018** upto **11 (Eleven) months** and thereafter the tenancy shall be continued by mutual consent of both the parties by making fresh agreement or renewal agreement.
2. The Tenant has paid **Rs.30,000/- (Rupees Thirty thousand only)** to the owner towards **Interest free refundable security deposit amount** by way of cash.



The security deposit amount shall be refunded to the Tenant at the time of terminating this tenancy, without any interest subject to deductions of arrears of rent, electricity, if any, etc.,

3. The Tenant shall pay rental amount of **Rs. 6,500/- (Rupees Six Five hundred Thousand only) including water** to the owner on or before **10<sup>th</sup> day** of every month of English calendar every month regularly and promptly. The rental amount shall be increased by **5%** for once in every 11 months.
4. The Tenant shall use the house premises for Residential purpose only.
5. The Owner has provided separate meter for the **Electricity & Water** charges consumed by the Tenant and this charges shall be paid directly to the concerned department.
6. The Tenant shall neither Sub-let, under let, transfer, nor assigns the rented portion of the schedule premises to any other person.
7. The Tenant shall not run any business or any activities which is illegal and prohibited under law in the premises. The Tenant shall not store any dangerous goods or articles which are prohibited by law in the premises.
8. The owner or his/her representative/s shall have liberty to inspect the premises at intervals in presence of the Tenant. The Tenant shall not encroach or use any other portion other than the portion let out to him as per the schedule herein and the Tenant shall not make any alterations to the structure of the schedule premises.
9. The Tenant shall keep the premises including Electrical, sanitary, and the surroundings in good and clean condition without any damages to the property or shall bear the repair charges if any, failing which the same shall be deducted from the security deposit amount. The Tenant shall hand over the premises in the same condition as it was while letting out, with newly paint failing which the owner will deduct painting charges at the time of the vacating the schedule premises.

10.If the owner or the Tenant wishes to terminate this tenancy, they shall give **2(Two) months** prior notice to either of them before vacating the premises.

11.The Tenant paying the rent regularly and also observing his part of covenants under this agreement shall be entitled to the peaceful possession and enjoyment of the schedule premises without any disturbance from the owner.

### **SCHEDULE**


All that piece and parcel of House situated at **House situated at No.388, 1<sup>st</sup> Floor, 5<sup>TH</sup> Main, Chamundeshwari Layout, Bettadasanapura main road, Electronic City Phase-1, Bangalore-560100** constructed with Sheet roof, Consisting of, 1hall 1 kitchen,1 bedroom 1Bathroom & toilet, along with facility of Electricity & Water.

Extra fittings:- 2 Tube lights, 2 Fans, 1Geyser.

IN WITNESS WHEREOF, THE OWNER and the TENANT have signed this RENTAL AGREEMENT on the day, month and the year first above written.

### **Witnesses :-**

1) 

  
**(VENKATARAMANA SUBBAIAH)**  
Owner

2)

**(M. SIVANRAJ)**  
Tenant