

# Highclere (N4)

Area: 404.102 m² / 4349sq/ft (structural / excluding garage)

DRG NO	REV	DRAWING TITLE	SCALE	SHEET	DATE	REV DATE
N4-A-00	C4	Drawing Index	N/A	A3		16-09-22
N4-A-01	C2	Sub-structure plan (3 storey)	1:50	A1	11-05-21	01-03-22
N4-A-02	C2	Ground floor plan	1:50	A1	11-05-21	01-03-22
N4-A-03	C3	First floor plan	1:50	A1	11-05-21	16-09-22
N4-A-04	C1	Second floor plan	1:50	A1	11-05-21	03-02-22
N4-A-05	C1	Joist plan	1:50	A1	11-05-21	03-02-22
N4-A-06	C1	Roof plan	1:50	A1	11-05-21	03-02-22
N4-A-07	C1	Sections	1:50	A1	11-05-21	03-02-22
N4-A-08	C1	Front + Side elevations	1:50	A1	11-05-21	03-02-22
N4-A-09	C1	Rear + Side elevations	1:50	A1	11-05-21	03-02-22
N4-A-10	C3	M&E layout	1:50	A1	10-09-21	16-09-22
N4-A-11	C2	M&E layout	1:50	A1	10-09-21	16-09-22
N4-A-12	C2	Floor finishes	-	A1	10-09-21	16-09-22
N4-A-13	C2	Cloaks, bathroom and en-suite Detailed Layouts and Elevations	1:20 / 50	A1	10-09-21	16-09-22
N4-A-14	C1	Cloaks, bathroom and en-suite Detailed Layouts and Elevations	1:20 / 50	A1	10-09-21	03-02-22
N4-A-15	C2	Sales plans	1:50	A1	03-11-21	16-09-22

C4

Updates as noted on plans.

16-09-22

CW

C3

Updates as noted on plans.

06-04-22

CW

C2

Updates as noted on plans.

01-03-22

CW

C1

Issued for CONSTRUCTION

03-02-22

CW

T1 / T8

Issued for TENDER

10-09-21 / 18-01-22

CW

REV:

REVISION DESCRIPTION

DATE

AUTHOR



Trower Davies

Architectural Consultants

CLIENT:

Edenstone Group

Building 102, Wales 1, Business Park

Magor

NP26 3DG

PROJECT DETAILS:

Land North Of Lisvane Road

HOUSETYPE NAME:

Highclere (N4)

DRAWING TITLE:

Cover Sheet

SCALE:

1:50 @ A3

DATE:

Aug 2021

DRAWN BY:

CHECKED BY:

JOB NO:

801

DRAWING NO:

N4-A-00

REVISION:

C4

STATUS:

CONSTRUCTION

GROUNDWORKS legend

RWM

Insulated incoming Water service to Rising Water Main 750mm BGL. To be positioned 125mm min from inner skin of the external wall

-----ELEC

Incoming Electric service

-----OAS

Incoming Gas service

-----BT

Incoming BT service

-----VM

Incoming Virgin media service

SVP

Soil and Vent Pipe 100mm dia with rest bend

STUB

Stub stack 100mm dia with rest bend and Durgoo

WC

Sealed floor connector for WC

WHB

Sealed floor connector for Wash Hand Basin

SINK

Sealed floor connector for Sink

Sealed floor connector for Shower

BIG

Back Inlet Gully

RWP

Rain Water Pipe

EXTERNAL WALLS BELOW DPC

328mm cavity wall construction for a minimum of 3 courses below dpc comprising of 103mm FL quality outer leaf brickwork with a 128mm cavity & 100mm blockwork as noted by the Structural Engineer.

FOR FURTHER DETAILS REFER TO ENGINEERS DRAWINGS

INTERNAL WALLS BELOW DPC

Internal walls to be 100 / 215mm blockwork

FOR FURTHER DETAILS REFER TO ENGINEERS DRAWINGS

VENT

Proprietary telescopic vents. Vents to be positioned between beams. Air bricks to be located 450mm from any corner and spaced @ max 2000mm cts. (1912.5mm brick dim)

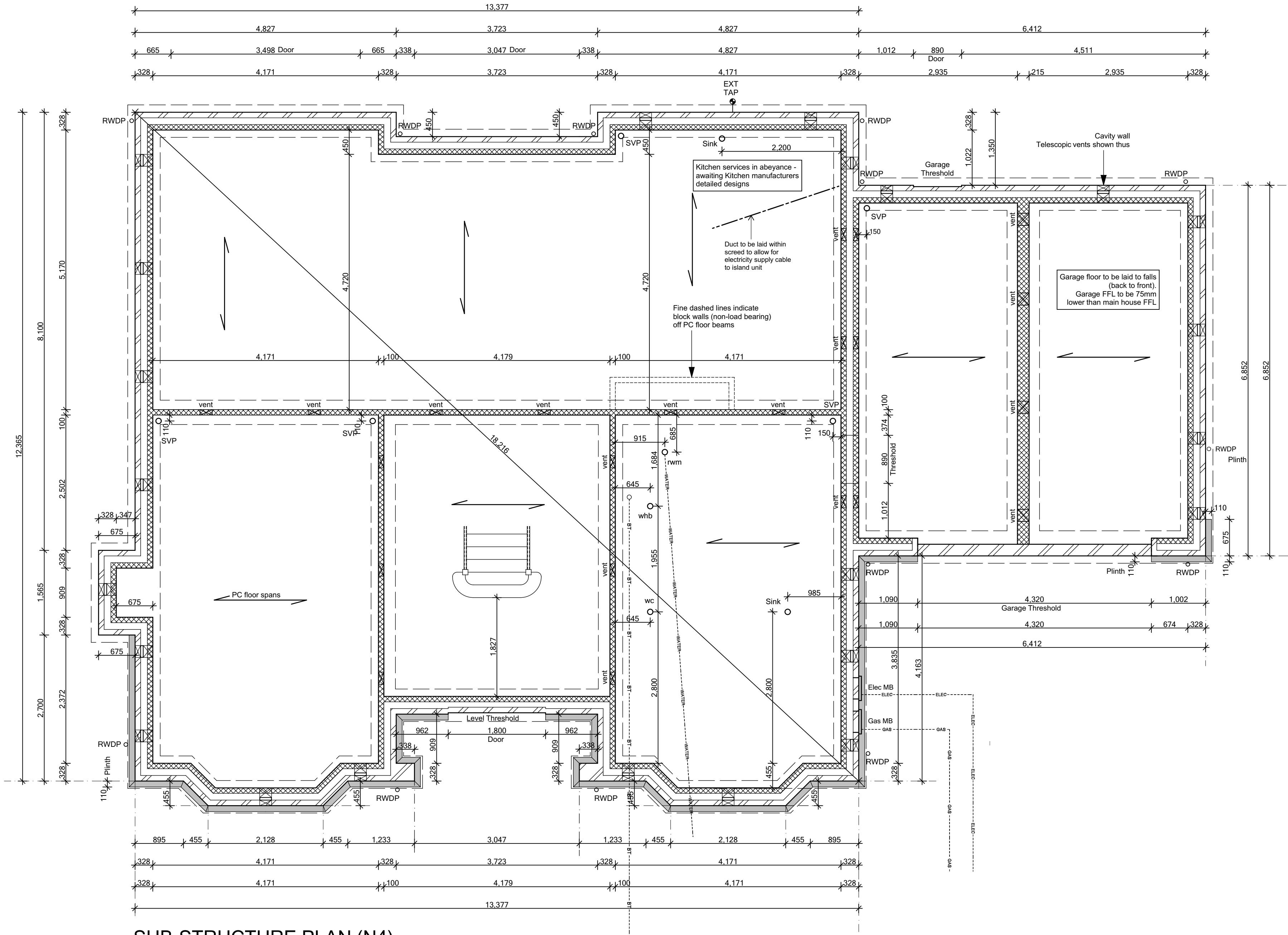
The openings should be not less than either 1500mm²/M run of external wall or 500mm²/M² of floor area, whichever gives the greater opening area. Any pipes needed to carry ventilating air should have a diameter of at least 100mm. Ventilation openings should incorporate suitable grilles which prevent the entry of vermin.

Based on a vent with 6000mm² opening area

Perimeter	71.6	(x1500mm²/M)	= 18 vents
Area	201	(x500mm²/M²)	= 17 vents
Perimeter/Area (PA) ratio	= 0.35		

NOTE:  
STRUCTURAL ENGINEERS DRAWINGS TAKE PRECEDENCE OVER THIS DRAWING. ALWAYS CROSS CHECK WITH STRUCTURAL ENGINEERS DRAWINGS. ALTERNATIVE SLAB, FOUNDATIONS, ADDITIONAL SLEEPER WALLS ETC MAY BE REQUIRED DEPENDING ON SITE CONDITIONS.

THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULL SPECIFICATION INCLUDED IN THE HOUSE TYPE PACK



SUB-STRUCTURE PLAN (N4)

C2	Duct to kitchen island added	01-03-22	CW
C1	Issued for CONSTRUCTION	03-02-22	CW
T3	Level threshold removed from rear bi-fold doors.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:  
Edenstone Group  
Building 102, Wales 1, Business Park  
Magor  
NP26 3DG

PROJECT DETAILS:  
Land North of Lisvane Road

HOUSETYPE NAME:  
HIGHCLERE (N4)

DRAWING TITLE:  
Sub-Structure Plan

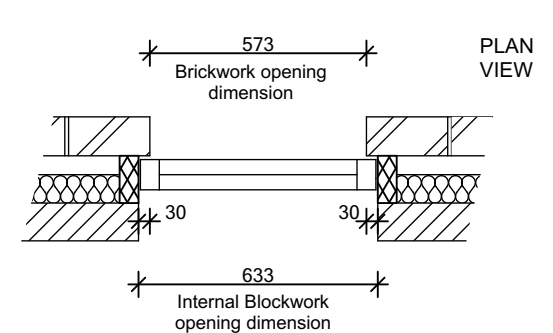
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1:50 @ A1	May 2021	AD	

JOB NO:	DRAWING NO:	REVISION:
801	N4-A-01	C2

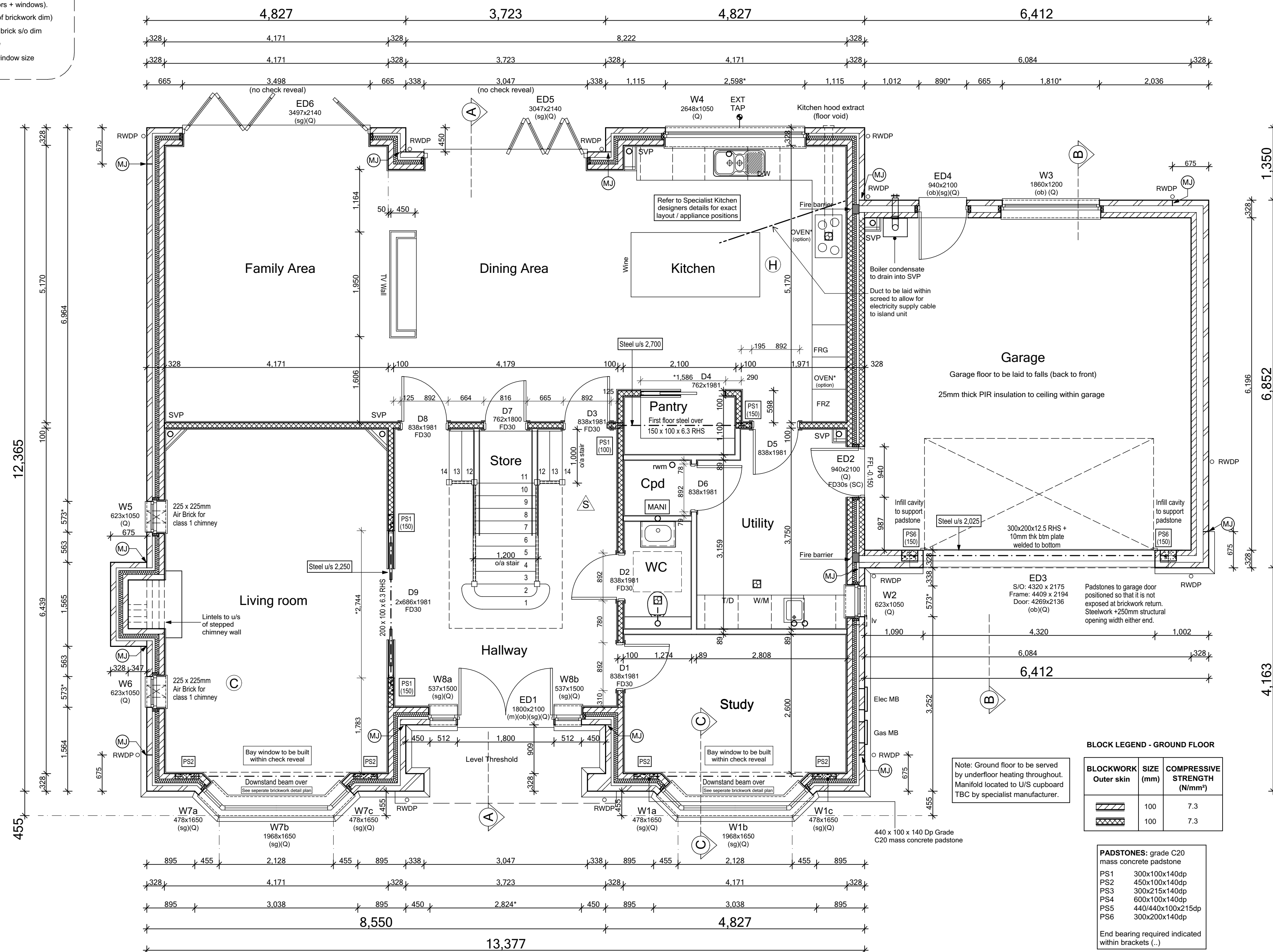
STATUS:  
CONSTRUCTION

Plot No.  
As - 1.  
Ha - .

## CHECK REVEAL SETTING OUT

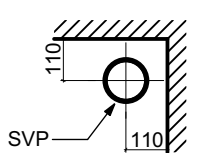


Check reveal +30mm either side (doors + windows).  
(Internal blockwork opening +60mm of brickwork dim)  
Window width = +25mm each side of brick s/o dim  
*i.e window width 623mm*  
Inner blockwork opening +10mm of window size

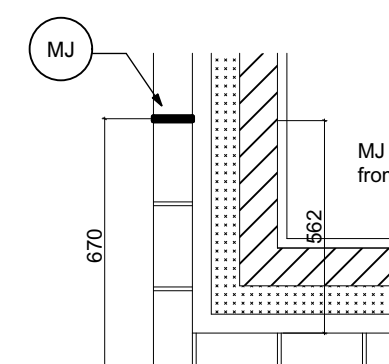


### GROUND FLOOR PLAN (N4)

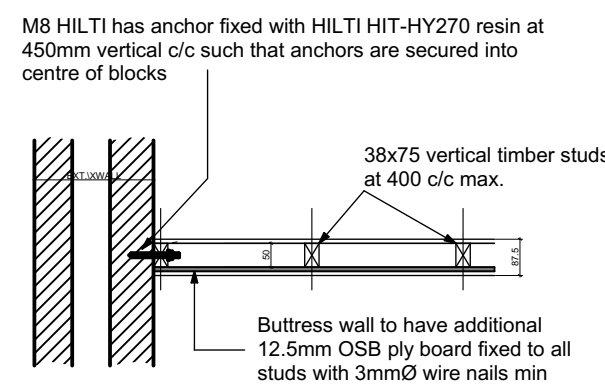
Note  
SVP or Stub stacks are to  
be centered 110mm min off  
adjacent wall



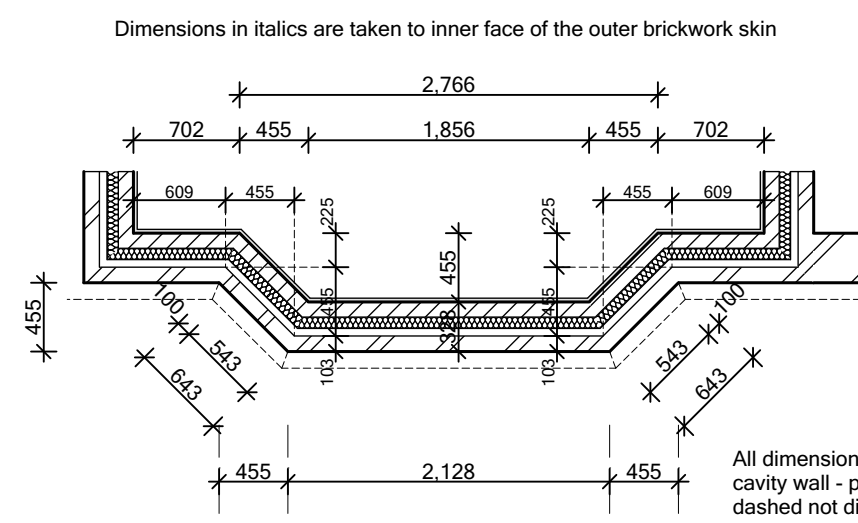
SVP Position



Typical  
MJ  
location



Typical Stud Buttress Wall  
as per Engineers detail



### Bay Window Brickwork Dims (GF)

- Movement joints at max. 12m c/c's
- Outer leaf in brickwork.
- Inner leaf blockwork strength (min.) 7.3N/mm<sup>2</sup>

- Movement joints at max. 6m c/c's (subject to manufacturers requirements)
- Outer leaf blockwork strength (min.) 3.6N/mm<sup>2</sup> with blockwork density less than 1500kg/m<sup>3</sup>
- Inner leaf blockwork strength (min.) 7.3N/mm<sup>2</sup>

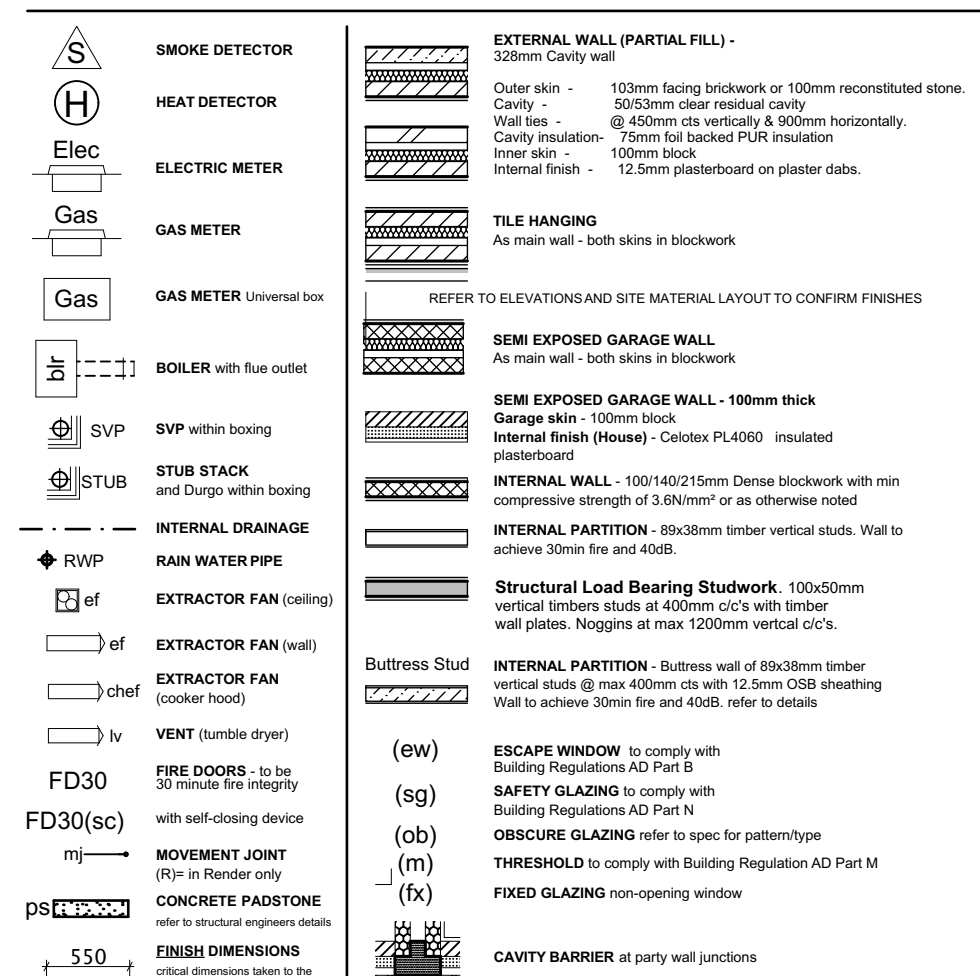
**Bedjoint reinforcement to enhance M/J's**  
This is for render/cladding finish with blockwork density less than 1500kg/m<sup>3</sup>.

- Bed joint reinforcement on outer leaf at 225mm vertical centres - movement joints at max. 10m c/c's
- Bed joint reinforcement on outer leaf at 450mm vertical centres - movement joints at max. 8m c/c's

**Bedjoint reinforcement at openings**

- Bed joint reinforcement will be required above and below window/door openings as standard practice
- Usually first two courses of the external leaf above and below openings and 600mm minimum pass edge of window/door opening where possible.

## SPECIFICATION



THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULLSPECIFICATION INCLUDED IN THE HOUSE TYPE PACK

External Door Schedule			
Ref:	Structural Opening		Notes
	Width	Height	
ED1	1800	2100	Linked to W8a & b (m)(ob)(sg)(Q)
ED2	940 <sup>Exc</sup>	2100	(Q) FD30s
ED3	4320	2175	(ob)(Q)
ED4	940 <sup>Exc</sup>	2100	(ob)(sg)(Q)
ED5	3047	*2140	(sg)(Q) * threshold detail
ED6	3497	*2140	(sg)(Q) * threshold detail

Window Schedule			
Ref.	Structural Opening		Notes
	Width	Height	
W1a	478	1650	Timber frame bay (sg/Q)
W1b	1968	1650	Timber frame bay (sg/Q)
W1c	478	1650	Timber frame bay (sg/Q)
W2	823	1050	(Q)
W3	1860	1200	(sg) (Q)
W4	2648	1050	(Q)
W5	623	1050	(Q)
W6	623	1050	(Q)
W7a	478	1650	Timber frame bay (sg/Q)
W7b	1968	1650	Timber frame bay (sg/Q)
W7c	478	1650	Timber frame bay (sg/Q)
W8a	537	1500	Linked to ED1 (sg/Q)
W8b	537	1500	Linked to ED1 (sg/Q)
W8c	478	1575	Timber frame bay
W8d	1968	1575	Timber frame bay
W8e	478	1575	Timber frame bay

W11c	478	1973	Timber frame bay
W12	1860	1350	
W13	1298	1050	(ob)
W14	1973	1350	(ob)
W15	1298	1350	
W16	1973	1350	
W17	1248	1050	Dormer
W18	1248	1050	Dormer
W19	1248	1050	Dormer (ob)
W20	623	1050	

(ew)	ESCAPE WINDOW	(see General notes)
(m)	PART 'M' THRESHOLD	(see General notes)
(ob)	OBSURE GLAZING	
(sg)	SAFETY GLAZING	(see General notes)
(Q)	SECURE DOORSET/WINDOW	(see General notes)

LINTEL REFERENCES TAKEN FROM IG QUOTATION SCHEDULE  
 details may be subject to change with final design, always cross check with IG information

**SYSTEM 1** Background ventilators and intermittent extract fans

Background ventilators: at least 5000mm<sup>2</sup> in each habitable room  
2500mm<sup>2</sup> in each wet room.

**N4** Total equivalent ventilator area = **210,000mm<sup>2</sup>**

Ground Floor Internal Openings				
Ref.	Structural Opening		Door Size	Notes
	Width	Height	(leaf) W x H	
D1	892	2040	838x1981	150mm lining
D2	892	2040	838x1981	150mm lining
D3	892	2040	838x1981	150mm lining
D4	*1586	*2051	762x1981	<i>S/C Pocket / sliding</i>
D5	892	2040	838x1981	150mm lining
D6	892	2040	838x1981	115mm lining
D7	816	1830	762x1981	150mm lining
D8	892	2040	838x1981	150mm lining
D9	*2744	*2051	2x686x1981	<i>S/C Pocket / sliding</i> *TBC by specialist

C2	Duct to kitchen island added, dishwasher updated in line with Specialists design.	01-03-22	CW
C1	Issued for CONSTRUCTION. Adjustments within kitchen to Specialists design.	03-02-22	CW
T6	Carbon monoxide alarm added to Living Room.	17-01-22	CW
T5	Garage ceiling insulation added re revised SAPS.	04-01-22	CW
T4	WC basin updated.	15-12-21	CW
T3	Level threshold removed from rear bi-fold doors.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TFENDER	10-09-21	CW

REV:	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:  
Edenstone Group  
Building 102, Wales 1, Business Park  
Magor  
NP26 3DG

PROJECT DETAILS:

Land North of Lisvane Road

HOUSETYPE NAME:  
HIGHCLERE (N4)

DRAWING TITLE:  
Ground Floor Plan.

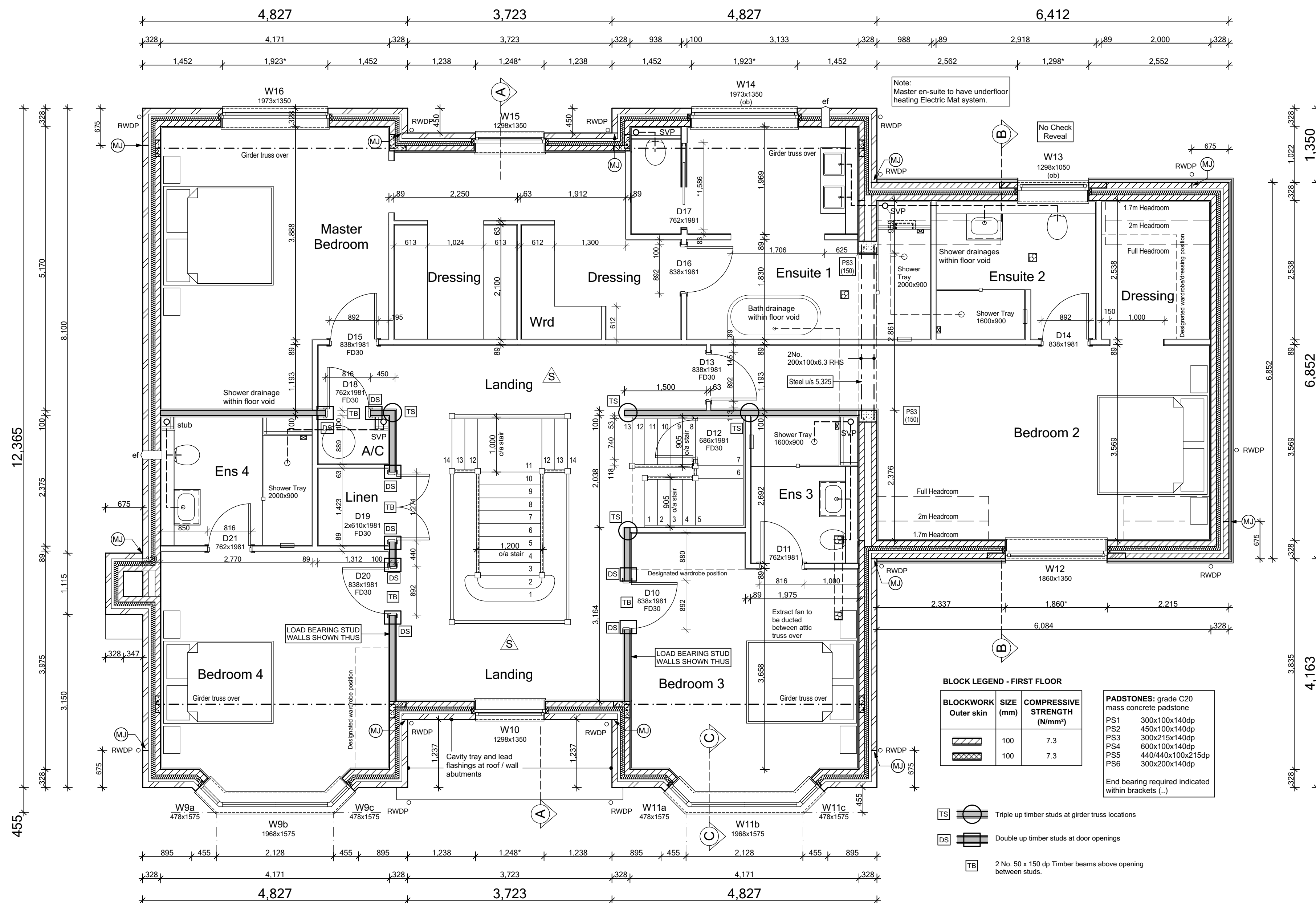
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JOB NO:	DRAWING NO:	REVISION:
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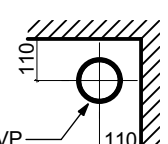
STATUS:  
CONSTRUCTION

Plot No.
As - 1.
Ha - .

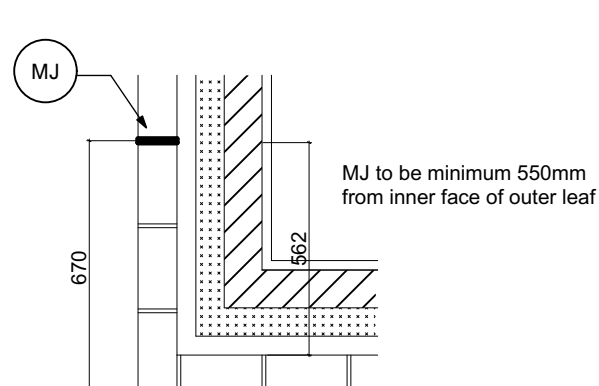


FIRST FLOOR PLAN (N4)

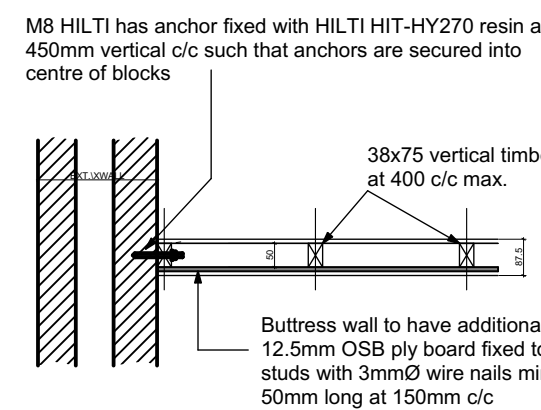
Note  
SVP or Stub stacks are to be centered 110mm min off adjacent wall



SVP Position



Typical MJ location



Typical Stud Buttress Wall as per Engineers detail

**Brick Finish:**

- Movement joints at max. 12m c/c's
- Outer leaf in brickwork.
- Inner leaf blockwork strength (min.) 7.3N/mm²

**Render / Cladding Finish:**

- Movement joints at max. 6m c/c's (subject to manufacturers requirements)
- Outer leaf blockwork strength (min.) 3.6N/mm² with blockwork density less than 1500kg/m³
- Inner leaf blockwork strength (min.) 7.3N/mm²

**Bed joint reinforcement to enhance MJ's**

This is for render/cladding finish with blockwork density less than 1500kg/m³

- Bed joint reinforcement on outer leaf at 225mm vertical centres - movement joints at max. 10m c/c's
- Bed joint reinforcement on outer leaf at 450mm vertical centres - movement joints at max. 8m c/c's

**Bed joint reinforcement at Openings**

- Bed joint reinforcement will be required above and below window/door openings as standard practice.
- Usually first two courses of the external leaf above and below openings and 500mm minimum pass edge of window/door opening where possible.

## SPECIFICATION

	SMOKE DETECTOR		EXTERNAL WALL (PARTIAL FILL) - 328mm Cavity wall
	HEAT DETECTOR		EXTERNAL WALL (FULL) - 100mm facing brickwork or 100mm reconstructed also
	ELECTRIC METER		EXTERNAL WALL (FULL) - 100mm facing brickwork or 100mm reconstructed also
	GAS METER		EXTERNAL WALL (FULL) - 100mm facing brickwork or 100mm reconstructed also
	GAS METER Universal box		EXTERNAL WALL (FULL) - 100mm facing brickwork or 100mm reconstructed also
	BOILER with flue outlet		EXTERNAL WALL (FULL) - 100mm facing brickwork or 100mm reconstructed also
	SVP within boxing		EXTERNAL WALL (FULL) - 100mm facing brickwork or 100mm reconstructed also
	STUB STACK and Drain within boxing		EXTERNAL WALL (FULL) - 100mm facing brickwork or 100mm reconstructed also
	RAIN WATER PIPE		EXTERNAL WALL (FULL) - 100mm facing brickwork or 100mm reconstructed also
	EXTRACTOR FAN (ceiling)		EXTERNAL WALL (FULL) - 100mm facing brickwork or 100mm reconstructed also
	EXTRACTOR FAN (wall)		EXTERNAL WALL (FULL) - 100mm facing brickwork or 100mm reconstructed also
	EXTRACTOR FAN (cooler hood)		EXTERNAL WALL (FULL) - 100mm facing brickwork or 100mm reconstructed also
	VENT (tumble dryer)		EXTERNAL WALL (FULL) - 100mm facing brickwork or 100mm reconstructed also
	FIRE DOORS - to be self-closing device		EXTERNAL WALL (FULL) - 100mm facing brickwork or 100mm reconstructed also
	MOVEMENT JOINT (R) in Render only		EXTERNAL WALL (FULL) - 100mm facing brickwork or 100mm reconstructed also
	CONCRETE PADSTONE refer to structural engineers details		EXTERNAL WALL (FULL) - 100mm facing brickwork or 100mm reconstructed also
	FINISH DIMENSIONS refer to structural engineers details		EXTERNAL WALL (FULL) - 100mm facing brickwork or 100mm reconstructed also
	Dimension indicates opening size with brick check reveals, where openings are in render add 50mm		EXTERNAL WALL (FULL) - 100mm facing brickwork or 100mm reconstructed also

THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULL SPECIFICATION INCLUDED IN THE HOUSE TYPE PACK

Ref.	Structural Opening	Notes
Width	Height	
ED1	1800 2100	Linked to W8a & b (m)(ob)(sg)(Q)
ED2	940 1800	(Q) FD30s
ED3	4320 2175	(ob)(Q)
ED4	940 1800	(ob)(sg)(Q)
ED5	3047 2140	(sg)(Q) threshold detail
ED6	3497 2140	(sg)(Q) threshold detail

Ref.	Structural Opening	Notes
Width	Height	
W1a	478 1650	Timber frame bay (sg)(Q)
W1b	1968 1650	Timber frame bay (sg)(Q)
W1c	478 1650	Timber frame bay (sg)(Q)
W2	623 1050	(Q)
W3	1860 1200	(ob)(Q)
W4	2648 1050	(Q)
W5	623 1050	(Q)
W6	623 1050	(Q)
W7a	478 1650	Timber frame bay (sg)(Q)
W7b	1968 1650	Timber frame bay (sg)(Q)
W7c	478 1650	Timber frame bay (sg)(Q)
W8a	537 1500	Linked to ED1 (sg)(Q)
W8b	537 1500	Linked to ED1 (sg)(Q)
W8c	478 1575	Timber frame bay (sg)(Q)
W8d	1968 1575	Timber frame bay (sg)(Q)
W8e	478 1575	Timber frame bay (sg)(Q)
W10	1298 1350	(ob)
W11a	478 1575	Timber frame bay (sg)(Q)
W11b	1968 1575	Timber frame bay (sg)(Q)
W11c	478 1575	Timber frame bay (sg)(Q)
W12	1860 1350	(ob)
W13	1298 1050	(ob)
W14	1873 1350	(ob)
W15	1298 1350	(ob)
W16	1973 1350	(ob)
W17	1248 1050	Dormer
W18	1248 1050	Dormer
W19	1248 1050	Dormer (ob)
W20	623 1050	(ob)

(ew)	ESCAPE WINDOW	(see General notes)
(m)	PART 'M' THRESHOLD	(see General notes)
(ob)	OBSCURE GLAZING	(see General notes)
(sg)	SAFETY GLAZING	(see General notes)
(Q)	SECURE DOORSET/WINDOW	(see General notes)

## SYSTEM 1 Background ventilators and intermittent extract fans

ADF Table 5.2a 'B' weaker than 5.  
Background ventilators: at least 5000mm² in each habitable room.  
2500mm² in each wet room.

**N4** Total equivalent ventilator area = 210,000mm²

Ref.	Structural Opening	Door Size (leaf) - W x H	Notes
Width	Height		
D10	892 2040	838x1981	115mm lining
D11	816 2040	762x1981	115mm lining
D12	740 2040	686x1981	115mm lining
D13	892 2040	838x1981	88mm lining
D14	892 2040	838x1981	115mm lining
D15	892 2040	838x1981	115mm lining
D16	892 2040	838x1981	115mm lining
D17	1586 2057	762x1981	3/4" c/c Pocket, sliding *TBC by specialist
D18	816 2040	762x1981	150mm lining
D19	1274 2040	2x610x1981	150mm lining
D20	892 2040	838x1981	150mm lining
D21	816 2040	762x1981	115mm lining



CLIENT:  
Edenstone Group  
Building 102, Wales 1, Business Park  
Magor  
NP26 3DG

PROJECT DETAILS:  
Land North of Lisvane Road

HOUSE TYPE NAME:  
HIGHCLERE (N4)

DRAWING TITLE:  
First Floor Plan.

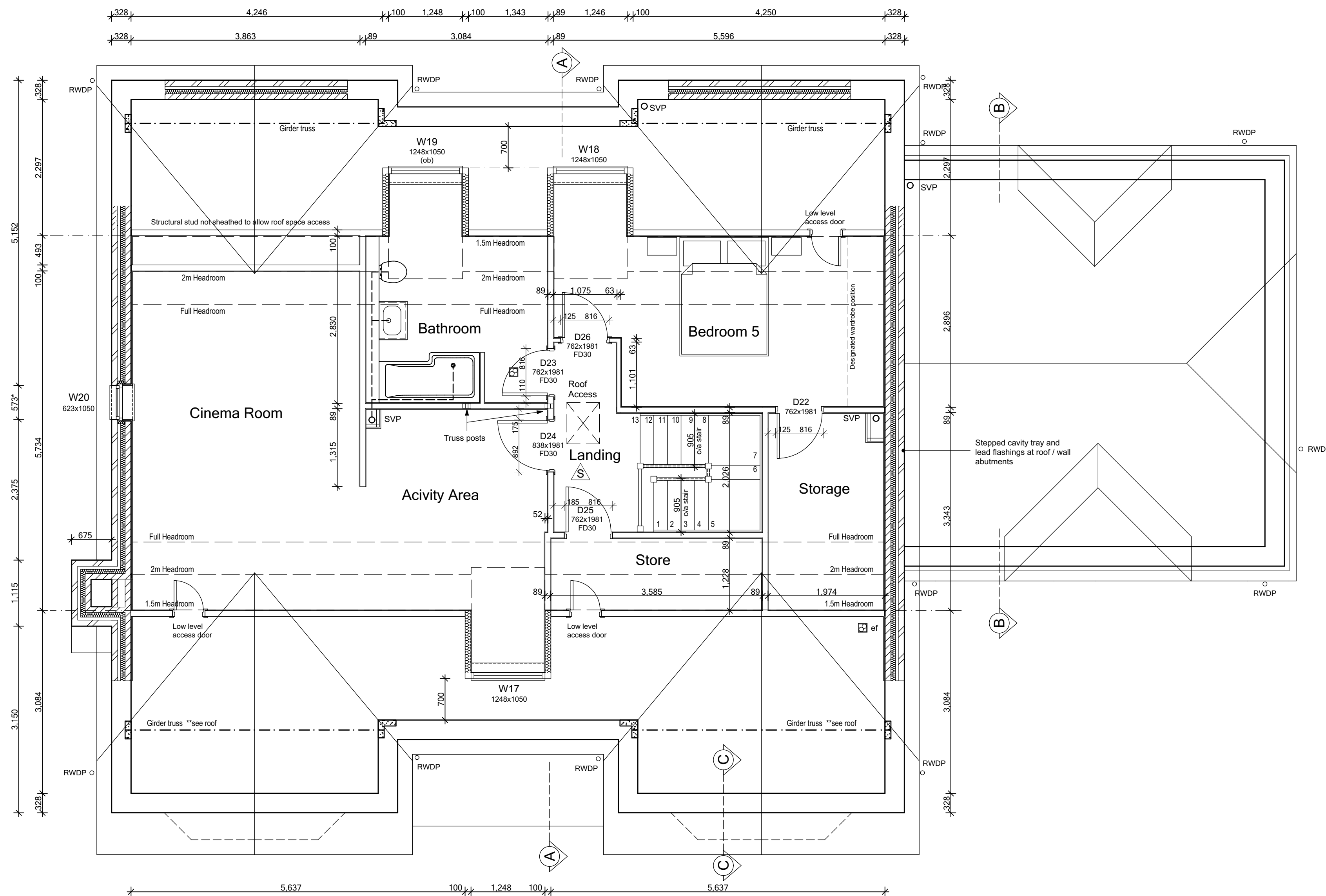
SCALE: DATE: DRAWN BY: CHECKED BY:  
1:50 @ A1 May 2021 AD

JOB NO: DRAWING NO: REVISION:  
801 N4-A-03 C3

STATUS:  
CONSTRUCTION

Plot No.  
As - 1.  
Ha - .





## SECOND FLOOR PLAN (N4)

## SPECIFICATION

[illegible]

THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULLSPECIFICATION INCLUDED IN THE HOUSE TYPE PACK

Second Floor Internal Openings				
Ref.	Structural Opening		Door Size (leaf) - W x H	Notes
	Width	Height		
D22	816	2040	762x1981	115mm lining
D23	816	2040	762x1981	115mm lining
D24	892	2040	838x1981	115mm lining
D25	816	2040	762x1981	115mm lining
D26	816	2040	762x1981	88mm lining

C1	Issued for CONSTRUCTION	03-02-22	CW
T6	Roof access adjusted.	18-01-22	CW
T5	Activity / bathroom / landing studwork adjusted to incorporate truss structural elements.	04-01-22	CW
T4	Roof space access & sanitary items updated.	15-12-21	CW
T3	Wardrobe notation adjusted	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV:	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:  
Edenstone Group  
Building 102, Wales 1, Business Park  
Magor  
NP26 3DG

PROJECT DETAILS:

Land North of Lisvane Road

HOUSETYPE NAME:  
HIGHCLERE (N4)

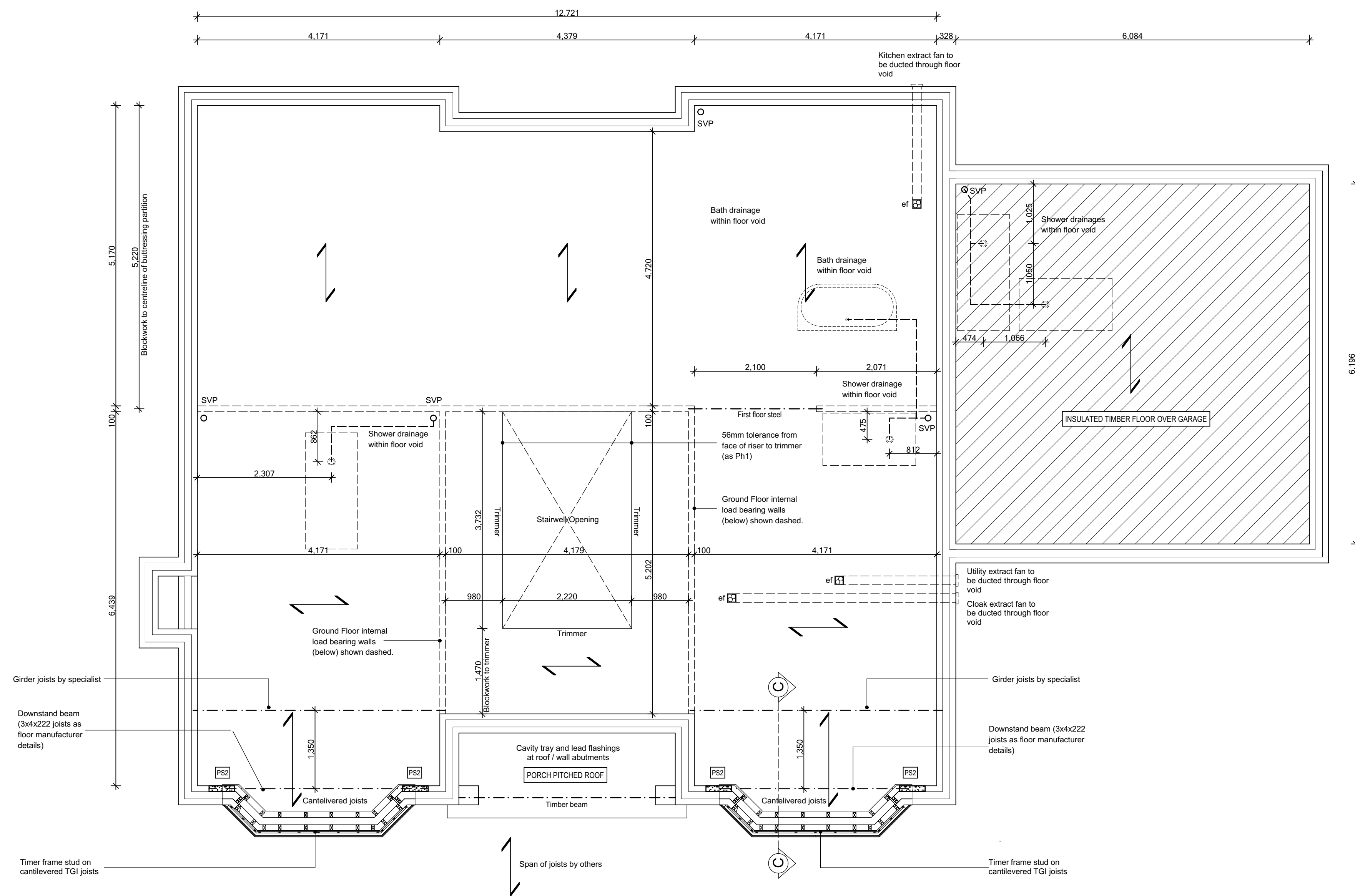
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Second Floor Plan.

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
1:50 @ A1	May 2021	AD	

JOB NO:	DRAWING NO:	REVISION:
801	N4-A-04	C1

STATUS:  
**CONSTRUCTION**

Plot No.  
As - 1.  
Ha - .



FIRST FLOOR JOIST PLAN (N4)

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**JOIST legend**

**FLOOR CONSTRUCTION**  
22mm T & G moisture resistant floorboards on 220mm deep Engineered Joist system by specialist, ceilings to be lined with 15mm Gyproc wallboard. Floor to achieve 40db as required in Building Regulations, Part E. NOTE: insulation may be required between joist, always check joist manufactures literature for details


 **SEMI EXPOSED FLOOR/CEILING**  
Ceiling to be lined with 2 layers of 12.5mm plasterboard, 200mm mineral wool laid between floor joists.

 **JOIST SPAN** Indicative direction indicated - refer to joist manufactures layout

— · — PIPEWORK within floor zone

ef  **EXTRACT FANS** ducted through floor zone.

 **DRAINAGE STAGGERED** through floor zone.



TRIMMED STAIR OPENING

**FOR JOIST LAYOUT REFER TO JOIST  
MANUFACTURER'S DRAWINGS**

C1	Issued for CONSTRUCTION	03-02-22	CW
T5	Roof access updated.	18-01-22	CW
T4	Bath and floor drainage updated.	15-12-21	CW
T3	Specification shower tray + drainage dimensions added.	11-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV:	REVISION DESCRIPTION	DATE	AUTHOR
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NP26 3DG

PROJECT DETAILS:

Land North of Lisvane Road

HOUSETYPE NAME:  
HIGHCLERE (N4)

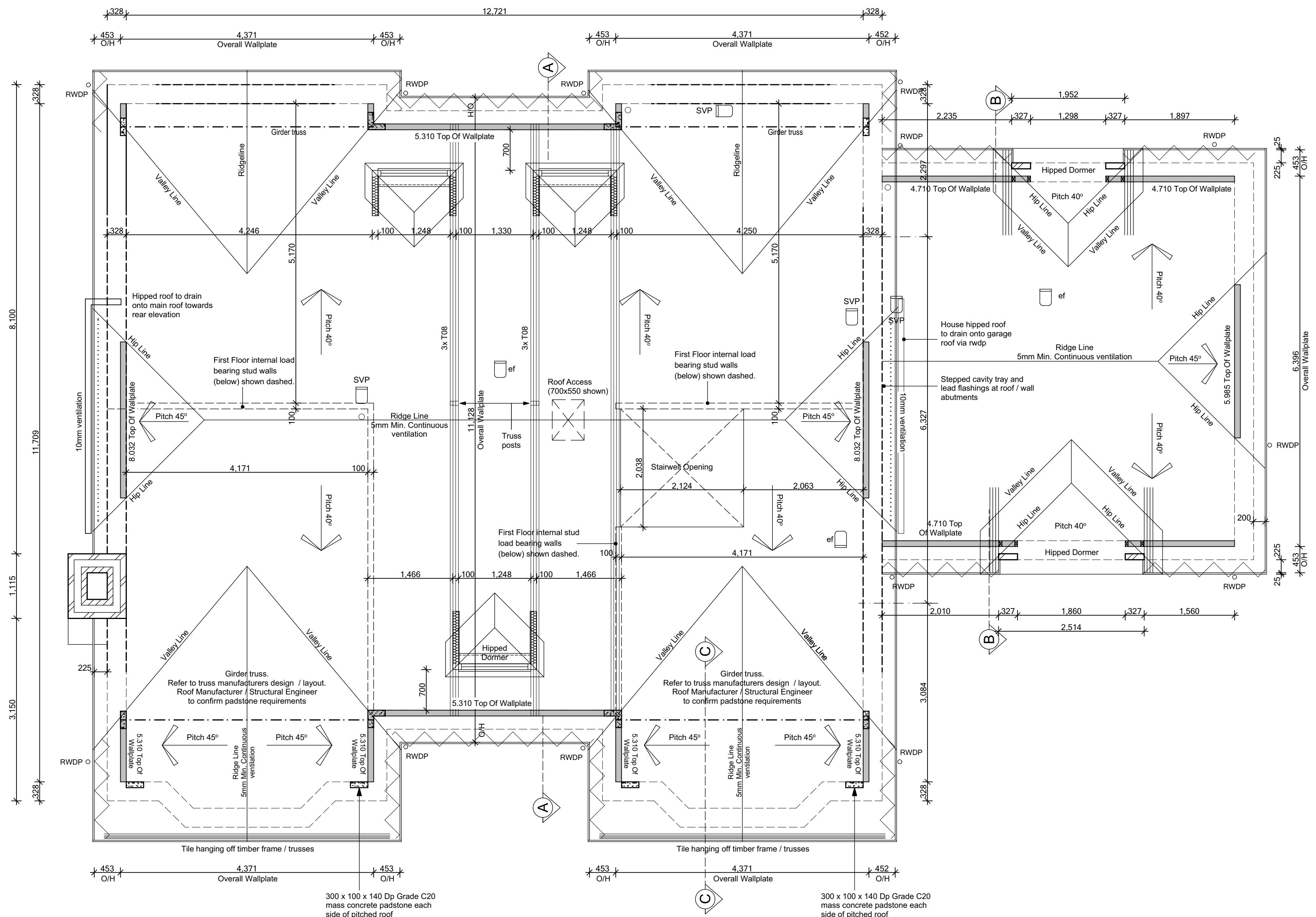
DRAWING TITLE:  
**Joist Layout.**

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
1:50 @ A1	June 2021	AD/CW	

JOB NO: <b>801</b>	DRAWING NO: <b>N4-A-05</b>	REVISION: <b>C1</b>
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STATUS:  
**CONSTRUCTION**

Plot No.  
As - 1.  
Ha - .



ROOF PLAN (N4)

**ROOF legend**

Prefabricated trussed rafters (to BS 5268 Part 1:1985) to be designed by specialist supplier. Main roof finish secured in accordance with manufacturer's recommendation regarding pitch and exposure.

**ROOF PITCH**

**VENTILATION** 5mm continuous  
VENTILATION 10mm continuous  
VENTILATION 25mm continuous

**EXTRACTOR FAN** ducted to tile vent

**SVP** terminating at approved tile vent

**BOILER OUTLET** terminating at roof

**CODE 4 LEAD FLASHING** with proprietary cavity tray system

**PARTY WALL** built up to eaves of roof covering and fire stopped

**WALL PLATE** 100x50mm to be bedded on mortar and strapped to masonry. Whenever practicable wall plates to be in lengths not less than 3m and jointed with half-lapped joints

**THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULL SPECIFICATION INCLUDED IN THE HOUSE TYPE PACK**

C1	Issued for CONSTRUCTION	03-02-22	CW
T5	Garage hipped dormers updated, trusses repositioned.	18-01-22	CW
T4	T08 and structural points added.	04-01-22	CW
T3	Lower roof dormers updated in line with detail.	15-12-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:  
Edenstone Group  
Building 102, Wales 1, Business Park  
Magor  
NP26 3DG

PROJECT DETAILS:  
Land North of Lisvane Road

HOUSETYPE NAME:  
HIGHCLERE (N4)

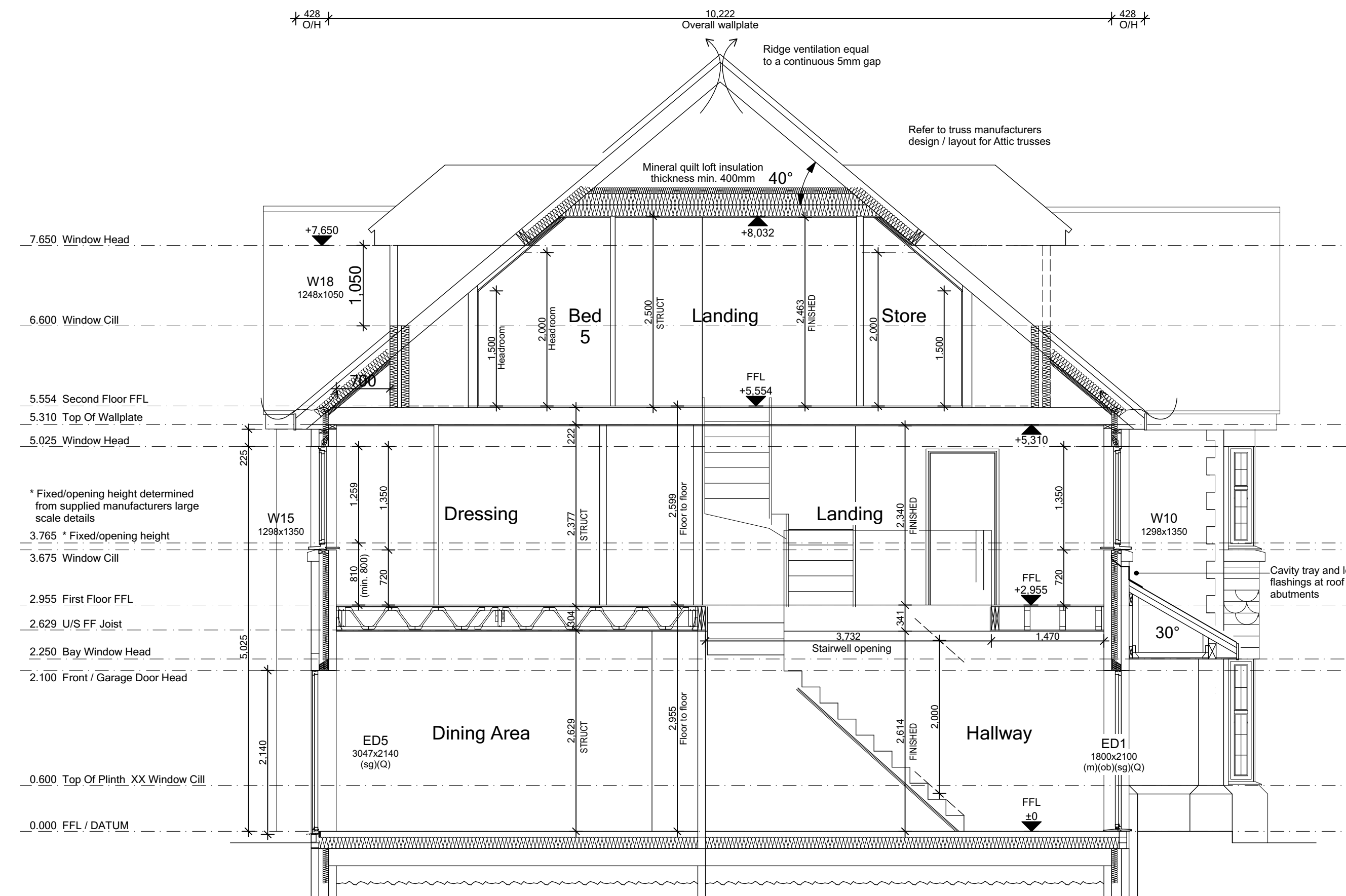
DRAWING TITLE:  
Roof Layout.

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
1:50 @ A1	June 2021	AD/CW	

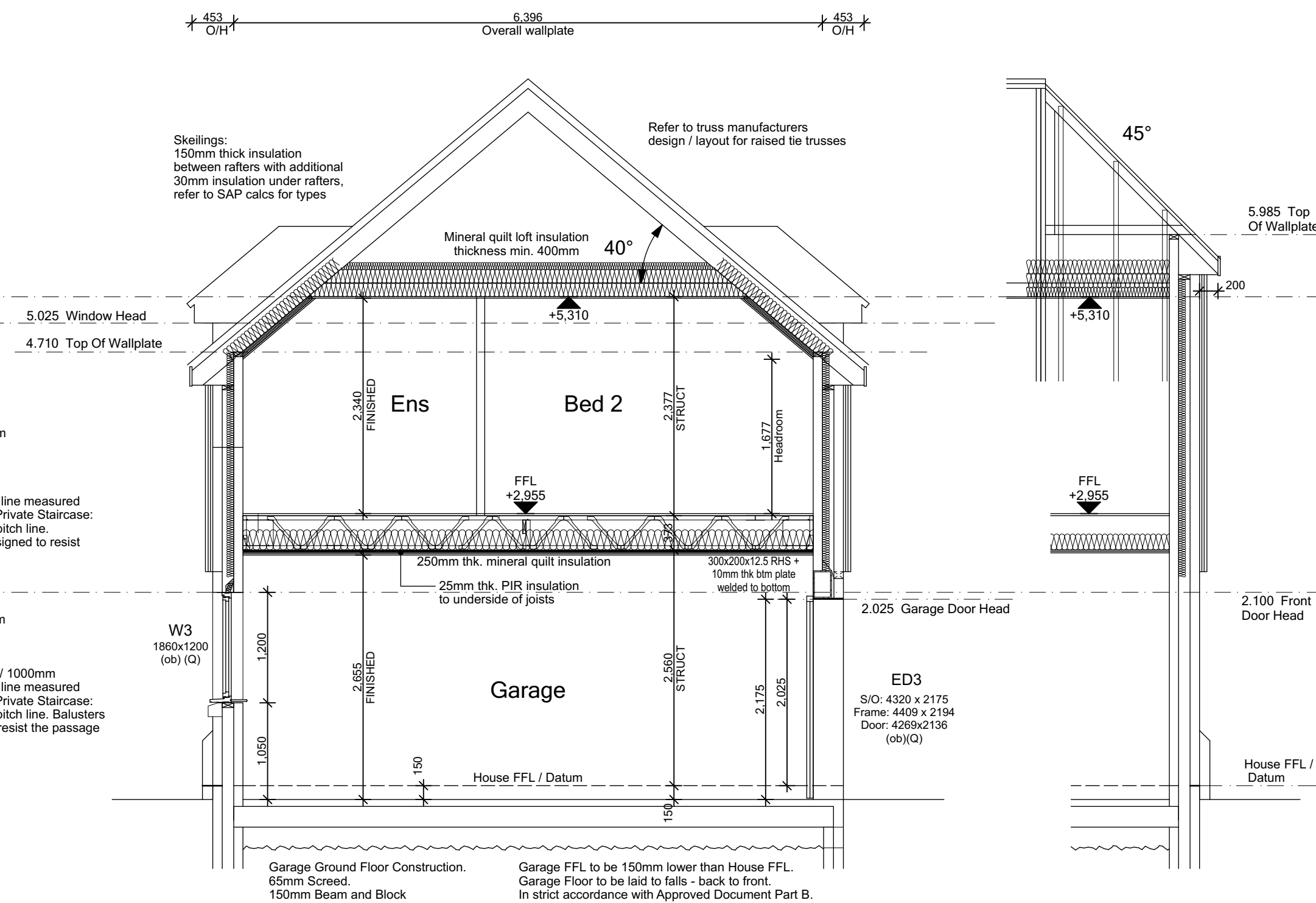
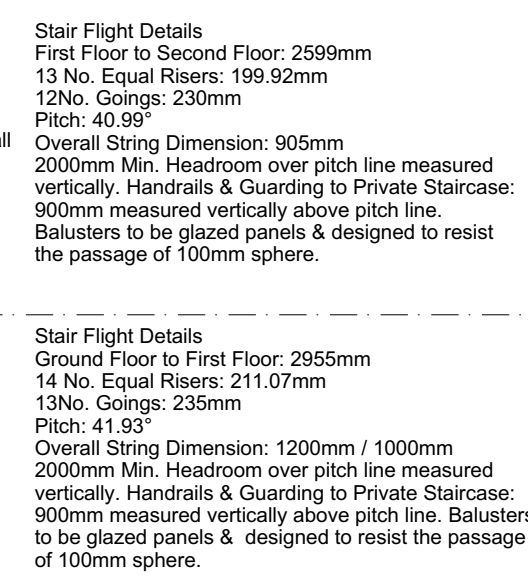
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801	N4-A-06	C1

STATUS:  
CONSTRUCTION

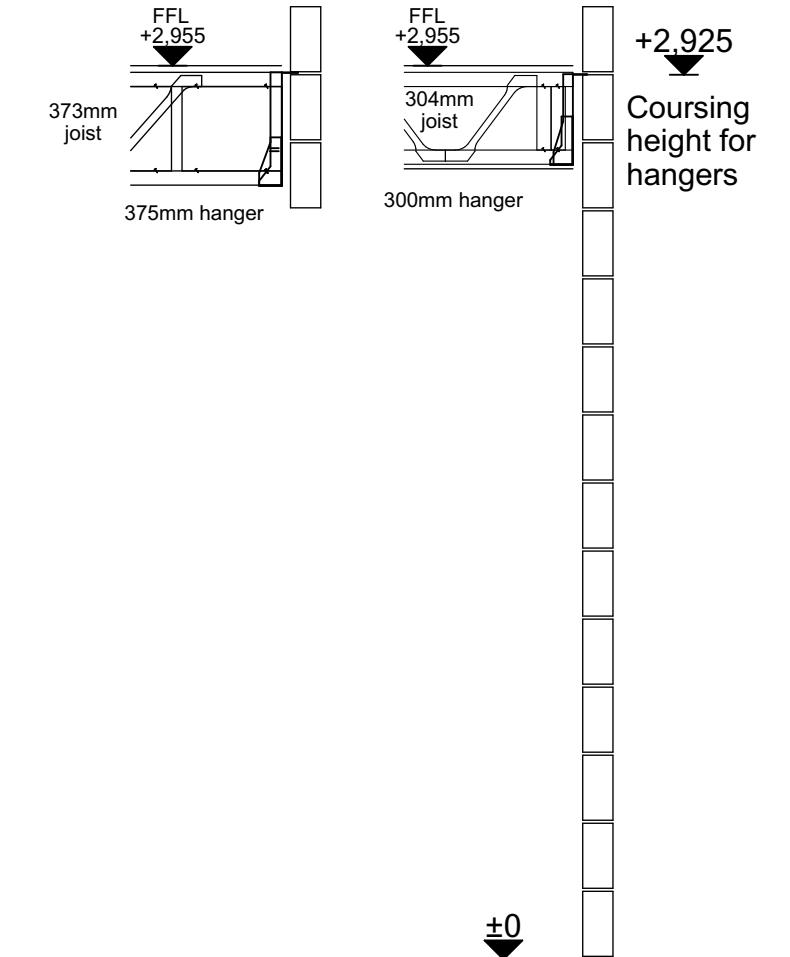
Plot No.  
As - 1.  
Ha - .



TYPICAL SECTION A-A

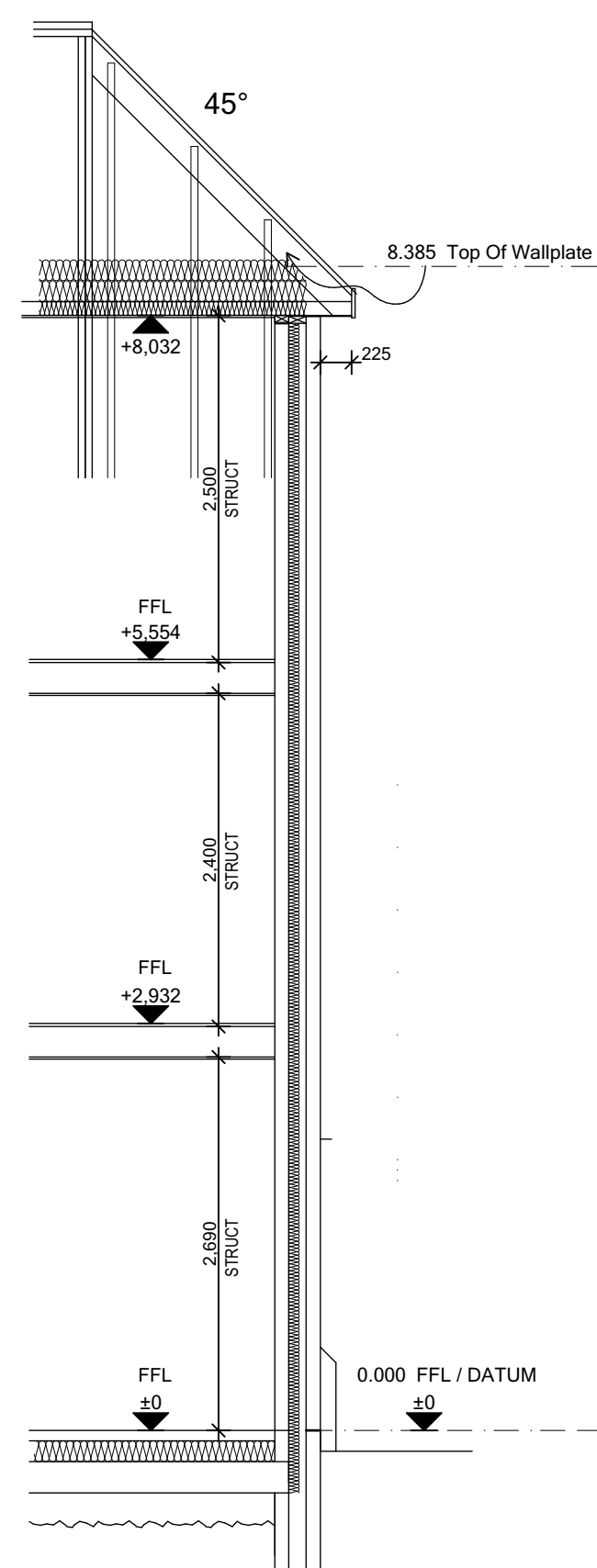


TYPICAL SECTION B-B

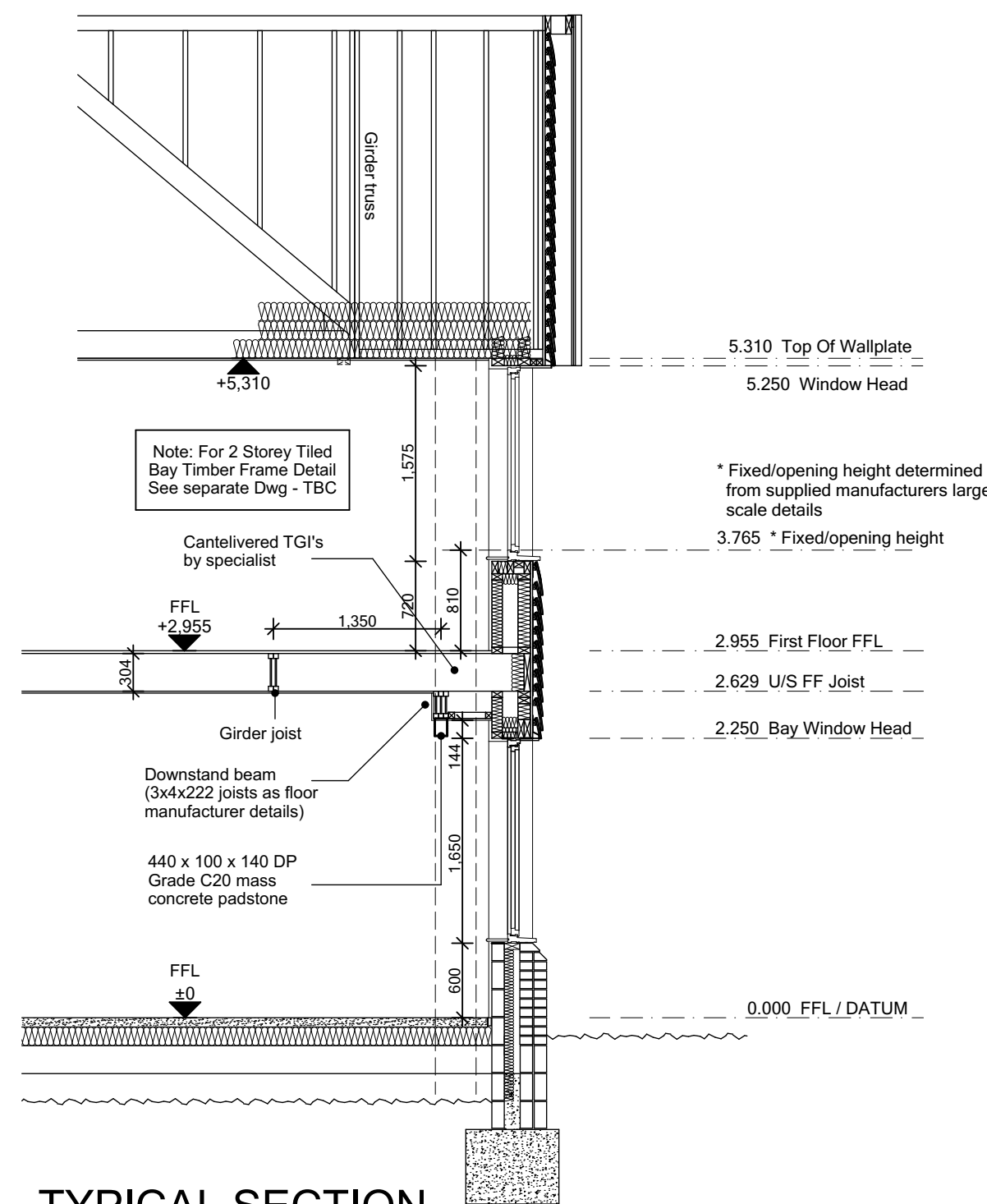


N4 coursing to hangers  
(1:25)

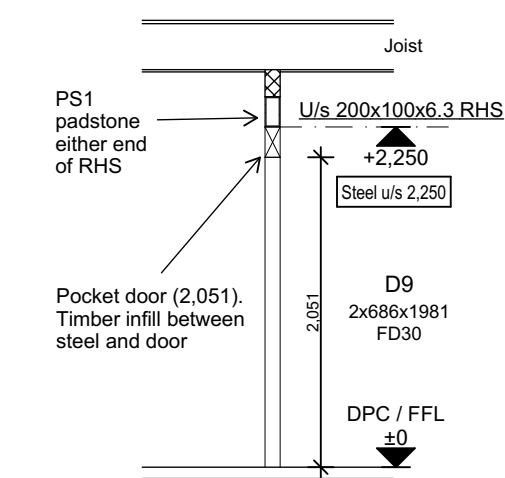
## OUTLINE GARAGE ROOF HIP



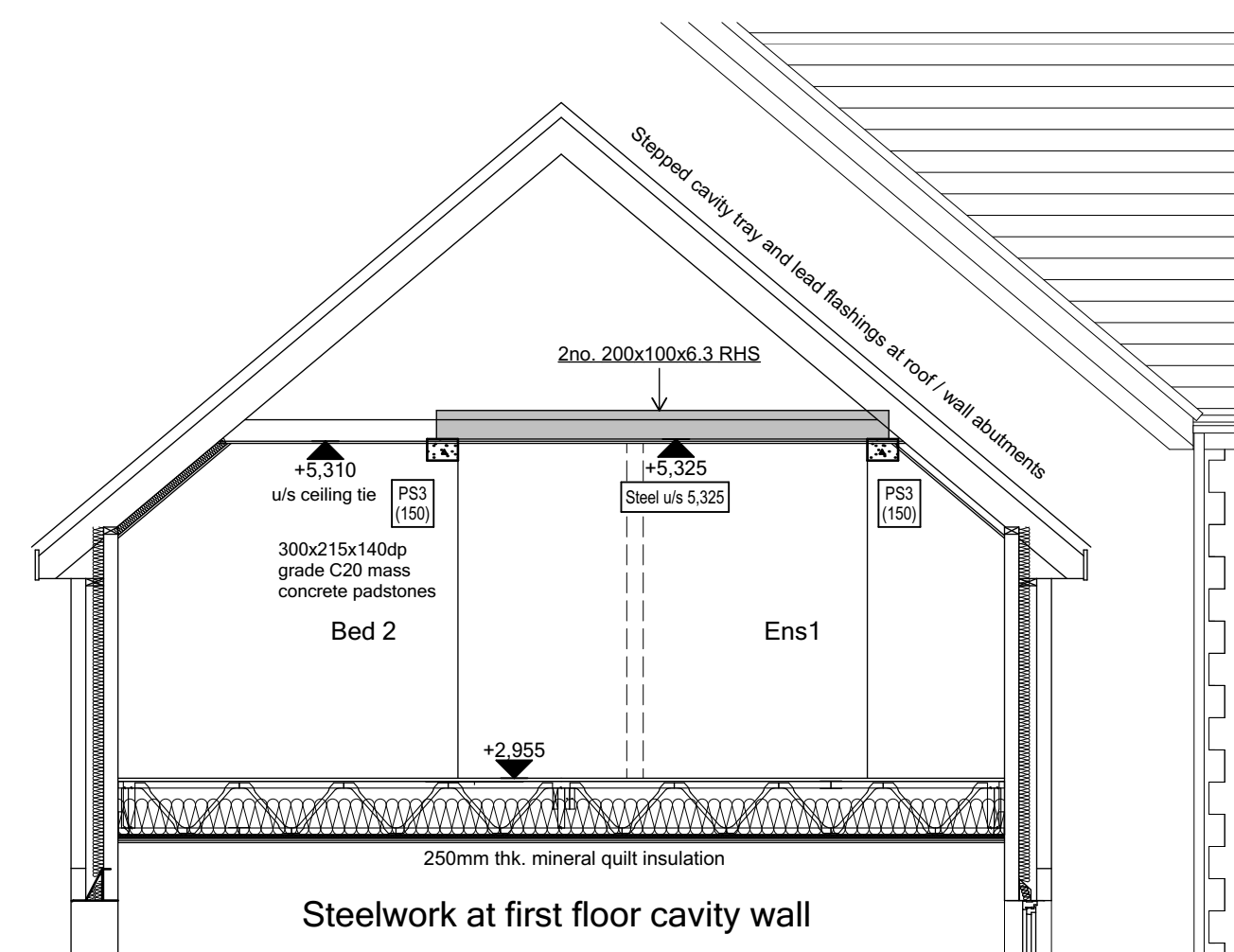
## OUTLINE MAIN ROOF HIP



TYPICAL SECTION  
C-C



### Pocket Door Steelwork



### Steelwork at first floor cavity wall

C1	Issued for CONSTRUCTION	03-02-22	CW
T5	Garage ceiling insulation added re revised SAPS.	04-01-22	CW
T4	Specialist joists added, first floor FFL adjusted to suit coursing / hangers. Staircase parameters updated. Landing window updated	15-12-21	
T3	Level threshold removed from rear bi-fold doors.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV:	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:  
Edenstone Group  
Building 102, Wales 1, Business Park  
Magor  
NP26 3DG

PROJECT DETAILS:

Land North of Lisvane Road

HOUSETYPE NAME:  
HIGHCLERE (N4)

DRAWING TITLE:

Sections

SCALE: 1:50 @ A1      DATE: June 2021      DRAWN BY: AD/CW      CHECKED BY:

JOB NO: 801	DRAWING NO: N4-A-07	REVISION: C1
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STATUS:  
**CONSTRUCTION**

Plot No.  
As - 1.  
Ha - .



CAVITY FIRE BARRIERS SET WITHIN EXTERNAL CLADDING

HORIZONTAL INTUMESCENT STRIPS IN CLADDING CAVITIES. VENTILATION TO BE MAINTAINED. 'TENMAT' OR SIMILAR APPROVED.

VERTICAL CAVITY BARRIERS IN CLADDING CAVITIES.

FIRE STOPPING AROUND ALL OPENINGS SET WITHIN CLADDING. HORIZONTAL AND VERTICAL STOPPING.

ALL DUCTING AND FLUES ETC (MV's / BOILER FLUES) PENETRATING THE CLADDING TO BE FIRE PROTECTED. PROVIDE FIRE BARRIER TO THE ENTIRE PERIMETER OF FLUE / DUCT WITHIN THE CONCEALED CAVITY.

- Brick Finish:
- Movement joints at max. 12m c/c's
  - Outer leaf in brickwork.
  - Inner leaf blockwork strength (min.) 7.3N/mm<sup>2</sup>
- Render / Cladding Finish:
- Movement joints at max. 6m c/c's (subject to manufacturers requirements)
  - Outer leaf blockwork strength (min.) 3.6N/mm<sup>2</sup> with blockwork density less than 1500kg/m<sup>3</sup>
  - Inner leaf blockwork strength (min.) 7.3N/mm<sup>2</sup>
- Bedjoint reinforcement to enhance MJ's
- This is for render/cladding finish with blockwork density less than 1500kg/m<sup>3</sup>.
- Bed joint reinforcement on outer leaf at 225mm vertical centres - movement joints at max. 10m c/c's
  - Bed joint reinforcement on outer leaf at 450mm vertical centres - movement joints at max. 8m c/c's
- Bedjoint reinforcement at Openings
- Bed joint reinforcement will be required above and below window/door openings as standard practise.
  - Usually first two courses of the external leaf above and below openings and 600mm minimum pass edge of window/door opening where possible.

11.100 Top Of Chimney

7.650 Window Head

6.600 Window Cill

5.570 Second Floor FFL

5.325 Top Of Wallplate

5.250 Window Head

3.675 Window Cill

2.955 First Floor FFL

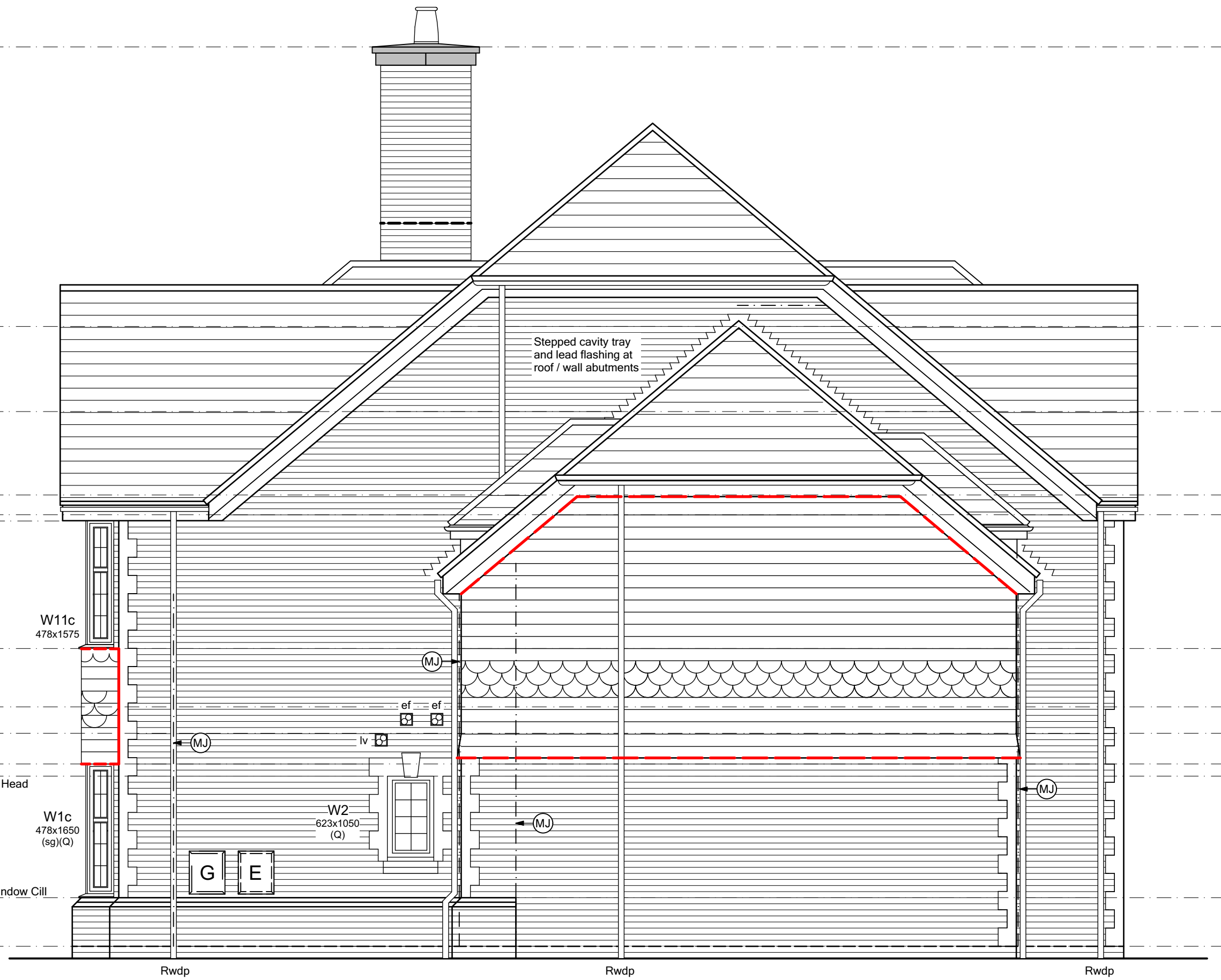
2.629 U/S FF Joist

2.250 Bay Window Head

2.100 Front / Garage Door Head

0.600 Top Of Plinth XX Window Cill

0.000 FFL / DATUM



Side Elevation

ELEVATION legend

- blr BOILER OUTLET and metal flue (see terminal for 300mm non-vent opening)
- chf COOKER HOOD extractor fan ducted thru' wall
- ef EXTRACTOR FAN ducted thru' wall
- lv VENT ducted thru' wall for tumble dryer / washer dryer
- ef EXTRACTOR FAN ducted to the vent
- svp SVP terminating at approved tile vent
- wl EXTERNAL WALL LIGHT refer to spec for type/style
- (ew) ESCAPE WINDOW to comply with Building Regulations AD Part B
- (sg) SAFETY GLAZING to comply with Building Regulations AD Part N
- (ob) OBSCURE GLAZING refer to spec for pattern/type
- (m) THRESHOLD to comply with Building Regulation AD Part M
- (fx) FIXED GLAZING non-opening window
- (m) THRESHOLD to comply with Building Regulation AD Part M
- G GAS METER wall mounted
- G GAS METER Universal box
- E ELECTRIC METER wall mounted
- MJ MOVEMENT JOINT



Front Elevation

C1	Issued for CONSTRUCTION	03-02-22	CW
T5	Rwdp to side elevation hipped roof added in line with plans.	17-01-22	CW
T4	First floor FFL adjusted to suit coursing / hangers. Chimney updated - lead tray & stone requirements. Garage dormers updated in line with detail, W9 landing window updated.	15-12-21	CW
T3	Lower lead tray added to chimney.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR
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 **Trower Davies**  
Architectural Consultants

CLIENT:  
Edenstone Group  
Building 102, Wales 1, Business Park  
Magor  
NP26 3DG

PROJECT DETAILS:  
Land North of Lisvane Road

HOUSETYPE NAME:  
HIGHCLERE (N4)

DRAWING TITLE:  
Front & Side Elevations

SCALE: 1:50 @ A1  
DATE: June 2021  
DRAWN BY: AD/CW  
CHECKED BY:

JOB NO: 801  
DRAWING NO: N4-A-08  
REVISION: C1

STATUS:  
CONSTRUCTION

Plot No.  
As - 1.  
Ha - .

CAVITY FIRE BARRIERS SET WITHIN EXTERNAL CLADDING

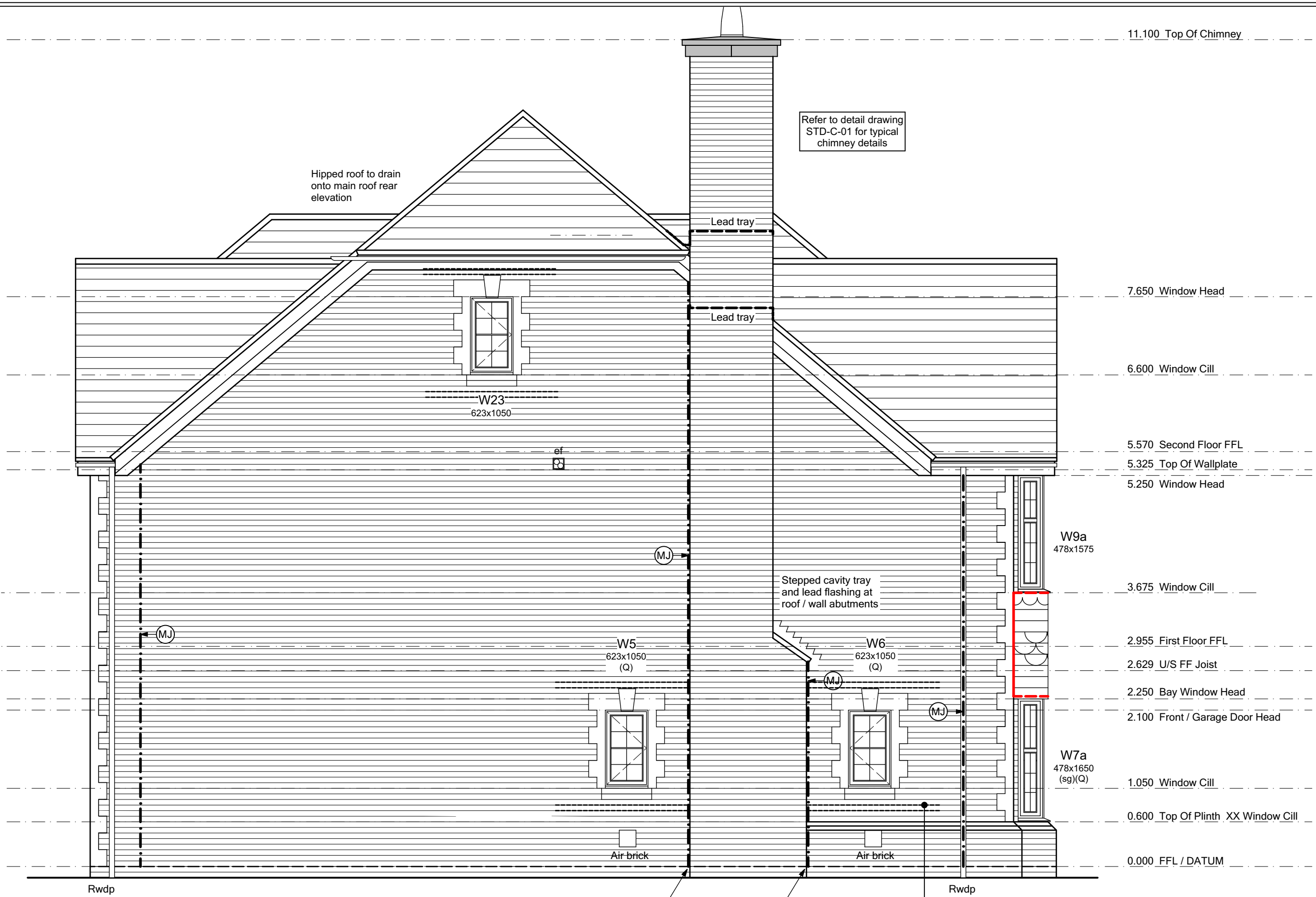
HORIZONTAL INTUMESCENT STRIPS IN CLADDING CAVITIES. VENTILATION TO BE MAINTAINED. 'TENMAT' OR SIMILAR APPROVED.

VERTICAL CAVITY BARRIERS IN CLADDING CAVITIES.

FIRE STOPPING AROUND ALL OPENINGS SET WITHIN CLADDING. HORIZONTAL AND VERTICAL STOPPING.

ALL DUCTING AND FLUES ETC (MV's / BOILER FLUES) PENETRATING THE CLADDING TO BE FIRE PROTECTED. PROVIDE FIRE BARRIER TO THE ENTIRE PERIMETER OF FLUE / DUCT WITHIN THE CONCEALED CAVITY.

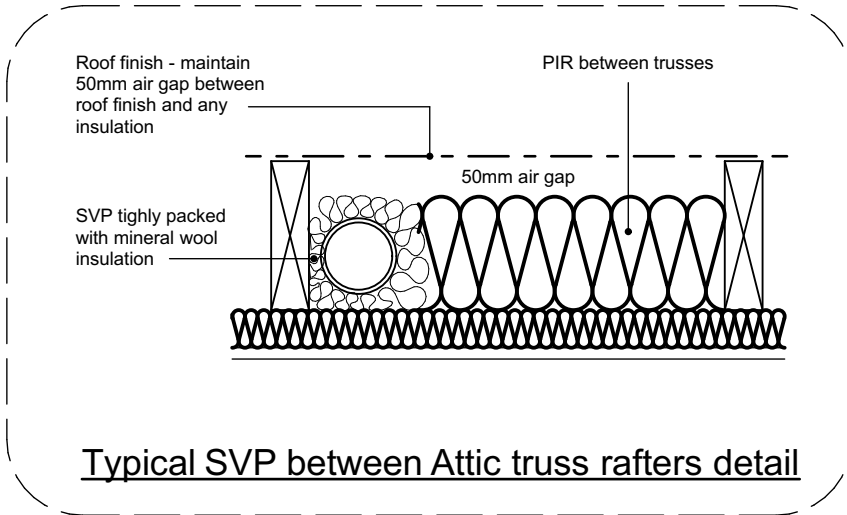
- Brick Finish:
- Movement joints at max. 12m c/c's
  - Outer leaf in brickwork.
  - Inner leaf blockwork strength (min.) 7.3N/mm<sup>2</sup>
- Render / Cladding Finish:
- Movement joints at max. 6m c/c's (subject to manufacturers requirements)
  - Outer leaf blockwork strength (min.) 3.6N/mm<sup>2</sup> with blockwork density less than 1500kg/m<sup>3</sup>
  - Inner leaf blockwork strength (min.) 7.3N/mm<sup>2</sup>
- Bedjoint reinforcement to enhance MJ's
- This is for render/cladding finish with blockwork density less than 1500kg/m<sup>3</sup>.
- Bed joint reinforcement on outer leaf at 225mm vertical centres - movement joints at max. 10m c/c's
  - Bed joint reinforcement on outer leaf at 450mm vertical centres - movement joints at max. 8m c/c's
- Bedjoint reinforcement at Openings
- Bed joint reinforcement will be required above and below window/door openings as standard practise.
  - Usually first two courses of the external leaf above and below openings and 600mm minimum pass edge of window/door opening where possible.



Side Elevation

ELEVATION legend

- blr BOILER OUTLET (see detail drawing STD-C-01 for typical chimney details)
- chef COOKER HOOD extractor fan ducted thru' wall
- ef EXTRACTOR FAN ducted thru' wall
- lv VENT ducted thru' wall for tumble dryer / washer dryer
- ef EXTRACTOR FAN ducted to the vent
- svp SVP terminating at approved tile vent
- wl EXTERNAL WALL LIGHT refer to spec for type/style
- ew ESCAPE WINDOW to comply with Building Regulations AD Part B
- sg SAFETY GLAZING to comply with Building Regulations AD Part N
- ob OBSCURE GLAZING refer to spec for pattern/type
- (m) THRESHOLD to comply with Building Regulation AD Part M
- (fx) FIXED GLAZING non-opening window
- (m) THRESHOLD to comply with Building Regulation AD Part M
- G GAS METER wall mounted
- G GAS METER Universal box
- E ELECTRIC METER wall mounted
- MJ MOVEMENT JOINT



11.050 Top Of Chimney

7.650 Window Head

6.600 Window Cill

5.570 Second Floor FFL

5.325 Top Of Wallplate

5.025 Window Head

3.675 Window Cill

2.955 First Floor FFL

2.629 U/S FF Joist

2.250 Bay Window Head

2.100 Front / Garage Door Head

1.050 Window Cill

0.600 Top Of Plinth XX Window Cill

0.000 FFL / DATUM

Rear Elevation

PROVIDE BED JOINT REINFORCEMENT TO TILE HANGING AREAS - ON OUTER LEAF AT 450mm VERTICAL CENTRES BETWEEN MOVEMENT JOINTS. BF40 BY BRICKFORCE OR SIMILAR

SVP terminating thro' roof covering min. 900mm above dormer window head height. Only the SVP at head of run needs to be vented via roof (btd on site), other SVP's can be terminated with an AAV within roof void.

BED JOINT REINFORCEMENT SHOULD BE PROVIDED ABOVE AND BELOW WINDOW / DOOR OPENINGS AS STANDARD PRACTICE. USUALLY THE FIRST TWO COURSES OF THE EXTERNAL LEAF AND 600mm MINIMUM PASS EDGE OF WINDOW / DOOR OPENING WHERE POSSIBLE. BF40 BY BRICKFORCE OR SIMILAR APPROVED.

C1	Issued for CONSTRUCTION	03-02-22	CW
T4	First floor FFL adjusted to suit coursing / hangers. Chimney updated - lead tray & stone requirements. Garage dormers updated in line with detail, W9 landing window updated.	15-12-21	CW
T3	Level threshold removed from rear bi-fold doors, lower lead tray added to chimney.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR
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 **Trower Davies**  
Architectural Consultants

CLIENT:  
Edenstone Group  
Building 102, Wales 1, Business Park  
Magor  
NP26 3DG

PROJECT DETAILS:  
Land North of Lisvane Road

HOUSETYPE NAME:  
HIGHCLERE (N4)

DRAWING TITLE:  
Rear & Side Elevations

SCALE: 1:50 @ A1 DATE: June 2021 DRAWN BY: AD/CW CHECKED BY:

JOB NO: 801 DRAWING NO: N4-A-09 REVISION: C1

STATUS:  
CONSTRUCTION

Plot No.  
As - 1.  
Ha - .



ELECTRICAL legend

- Single switched socket - Above worktop
- Double switched socket - Above worktop
- Single switched socket
- Double switched socket with USB sockets
- Infrastructure to be provided for provision of future car charging point.
- Switched fused spur 1900mm above finished floor level for cooker hood
- Switched fused spur for kitchen extractor
- Boiler isolation switch
- Switched fused spur socket
- High level switched socket
- Shaver socket without light
- Consumer Unit - to be fitted at 1350mm from floor level
- Smoke detector - Mains operated
- Carbon monoxide detector interlinked system
- Extractor fan (wall)
- Switched fused spur for future alarm
- Switched fused spur for future stairlift
- Handheld shower
- Media output TV/Sat/Internet above kitchen worktop
- 3 Pole fan isolator
- High level unswitched socket
- Low level unswitched socket
- Double pole isolator switch
- 32 amp Double pole isolator switch for hob above worktop
- Cooker outlet plate
- Room Thermostat
- Nest GEN 3 Smart Programmable Thermostat
- Master phone socket
- Media output TV/Sat/Internet
- Openreach output TV/Sat/Internet
- Door bell
- Bell push
- All appliance sockets connected to a central control panel located above worktop level
- Heat detector
- Extractor fan (ceiling)
- Switched fused spur for under floor heating manifold
- Radiator
- Shower valve

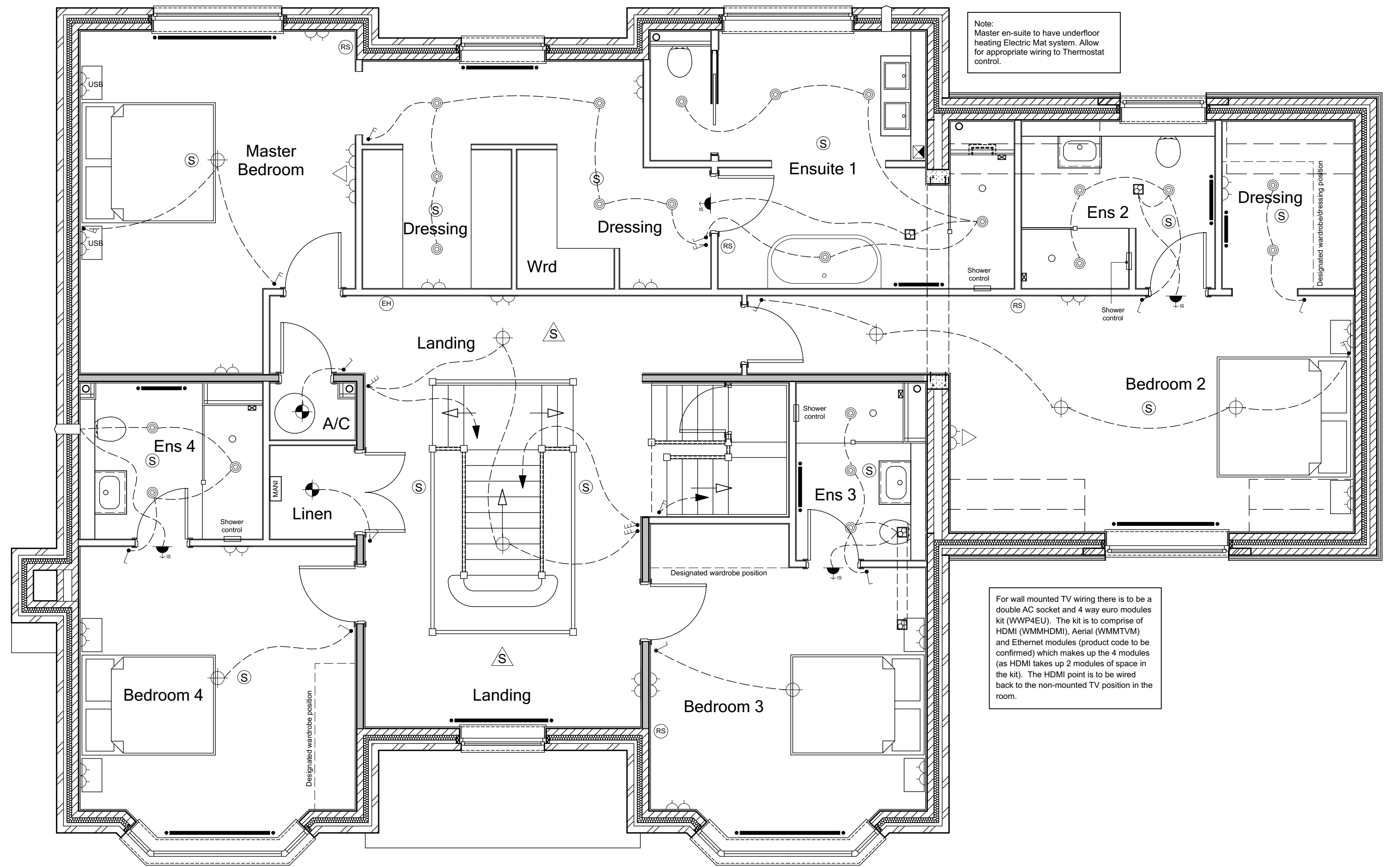
LIGHTING legend

- One way switch
- Two way switch
- Three way switch
- Pull chord switch
- Switch at high level with neon light
- Dimmer switch
- Ceiling lighting point (Pendant type)
- Ceiling lighting point (Batten type)
- External wall mounted lighting point.
- 3 way spotlight
- Recessed Spotlight
- External wall mounted lighting point (PEC)
- Wall mounted light
- Pinmet Lighting
- Ceiling lighting point (pendant type) - in attic space
- Ceiling sprinkler point (pendant type)

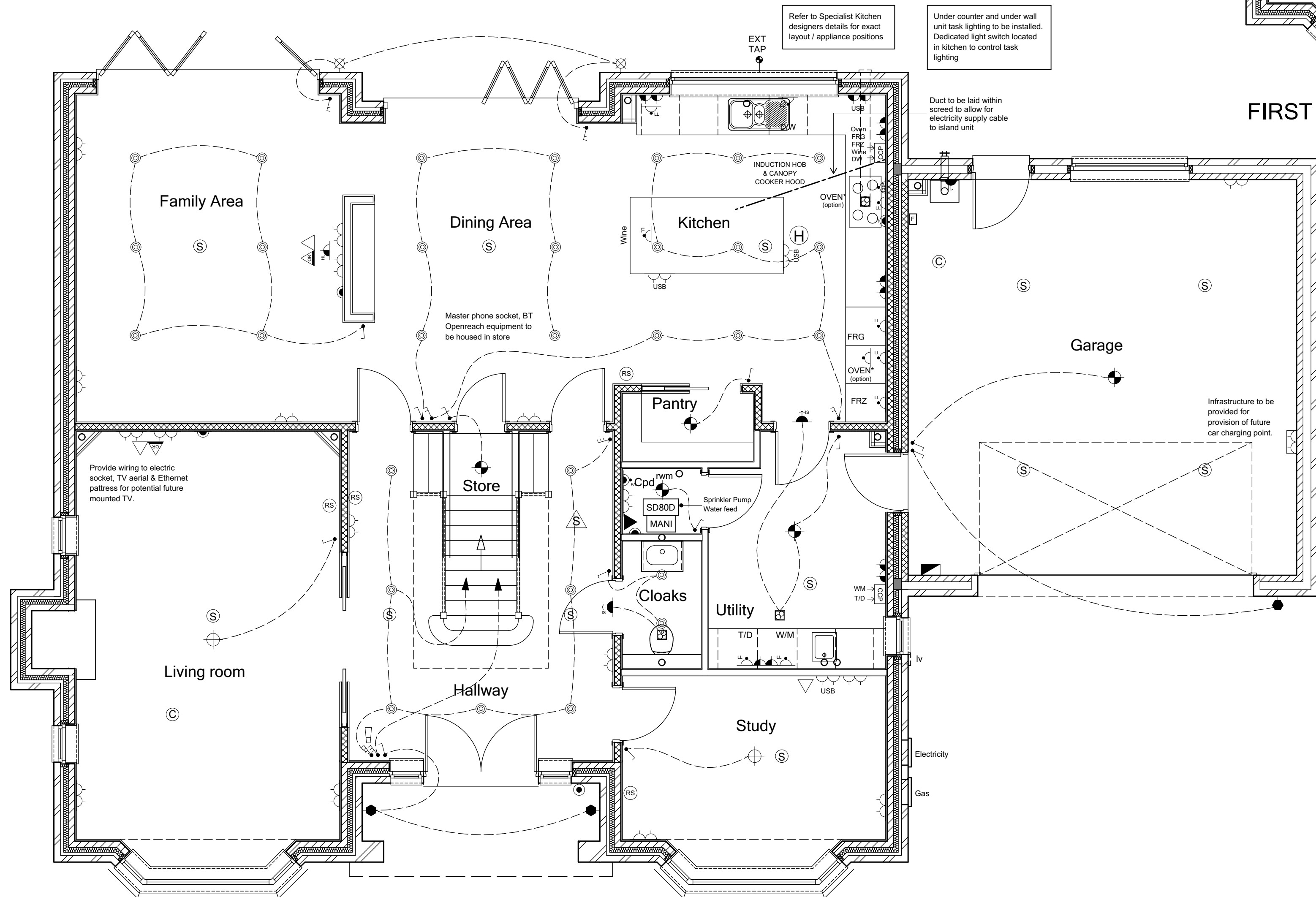
HEATING legend

- Evo Home controller
- Room thermostat
- Manifold

THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULL SPECIFICATION INCLUDED IN THE HOUSE TYPE PACK



FIRST FLOOR PLAN (N4)



GROUND FLOOR PLAN (N4)

C3	Cloaks lower rail removed, manifolds & room stats added in line with Specialist heating design. FF landing lights = u/s up'd updated.	16-09-22	CW
C2	Duct to kitchen island added, kitchen updated in line with Specialists design.	01-03-22	CW
C1	Issued for CONSTRUCTION	03-02-22	CW
T5	Consumer Unit relocated as instructed, car charging legend updated.	17-01-22	CW
T4	Wardrobes, sanitary items & landing window updated	15-12-21	CW
T3	Updates to equipment in cpd & garage.	03-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:  
Edenstone Group  
Building 102, Wales 1, Business Park  
Magor  
NP26 3DG

PROJECT DETAILS:  
Land North of Lisvane Road

HOUSETYPE NAME:  
HIGHCLERE (N4)

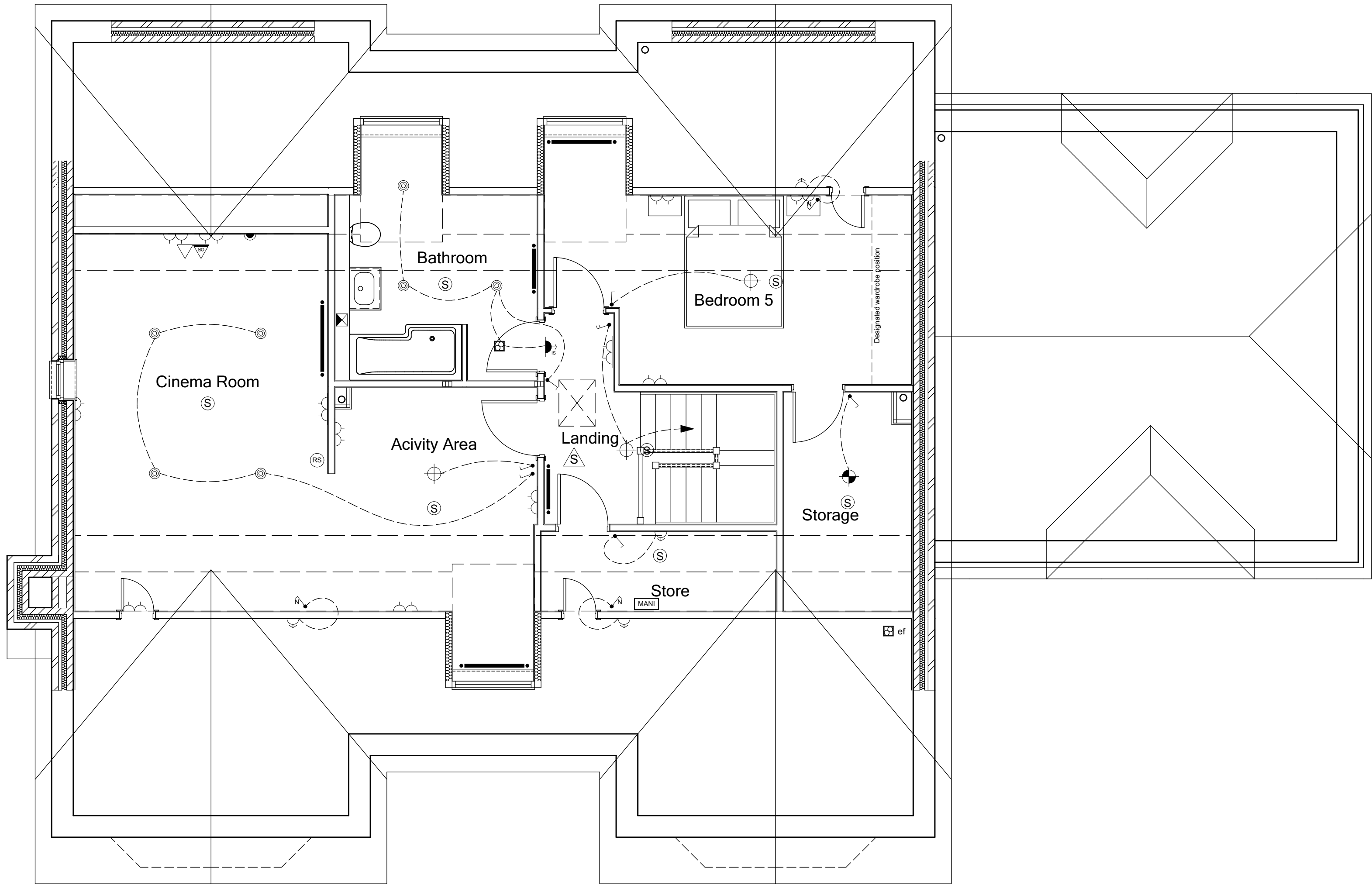
DRAWING TITLE:  
Ground & First Floor Plan  
M&E Layout

SCALE: 1:50 @ A1 DATE: Sept 2021 DRAWN BY: CW CHECKED BY:

JOB NO: 801 DRAWING NO: N4-A-10 REVISION: C3

STATUS:  
CONSTRUCTION

Plot No.  
As - 1.  
Ha - .



SECOND FLOOR PLAN (N4)

ELECTRICAL legend	LIGHTING legend
<div><div>Single switched socket - Above worktop</div><div>Double switched socket - Above worktop</div><div>Single switched socket</div><div>Double switched socket</div><div>Double switched socket with USB sockets</div><div>Infrastructure to be provided for provision of future car charging point</div><div>Switched fused spur 1000mm above finished floor level for cooker hood</div><div>Switched fused spur with neon indicator</div><div>Switched fused spur for kitchen extractor</div><div>Boiler isolation switch</div><div>Switched fused spur socket</div><div>High level switched socket</div><div>Shaver socket without light</div><div>Gas point</div><div>Consumer Unit - to be fitted at 1350mm from floor level</div><div>Smoke detector - Mains operated</div><div>Carbon monoxide detector interlinked system</div><div>Extractor fan (wall)</div><div>Extractor fan (ceiling)</div><div>Switched fused spur for future alarm</div><div>Switched fused spur for future stairlift</div><div>Handheld shower</div></div> <div><div>Media output TV/Sat/Internet above kitchen worktop</div><div>3 Pole fan isolator</div><div>High level unswitched socket</div><div>Low level unswitched socket</div><div>Double pole isolator switch</div><div>32 amp Double pole isolator switch for hob above worktop</div><div>Cooker outlet plate</div><div>Room Thermostat</div><div>Neel GEN 3 Smart Programmable Thermostat</div><div>Master phone socket</div><div>Media output TV/Sat/Internet</div><div>Openreach output TV/Sat/Internet</div><div>Door bell</div><div>Bell push</div><div>All appliance sockets connected to a central control panel located above worktop level</div><div>Heat detector</div><div>Extractor fan (ceiling)</div><div>Switched fused spur for under floor heating manifold</div><div>Radiator</div><div>Shower valve</div></div>	<div><div>One way switch</div><div>Two way switch</div><div>Three way switch</div><div>Pul chord switch</div><div>Switch at high level with neon light</div><div>Dimmer switch</div><div>Ceiling lighting point (Pendant type)</div><div>Ceiling lighting point (Batten type)</div><div>External wall mounted lighting point</div><div>3 way spotlight</div><div>Recessed Spotlight</div><div>External wall mounted lighting point (PEC)</div><div>Wall mounted light</div><div>Pelmet Lighting</div><div>Ceiling lighting point (pendant type) - in attic space</div><div>Ceiling sprinkler point (pendant type)</div></div> <div><div>EH</div><div>RS</div><div>MANI</div><div>Evo Home controller</div><div>Room thermostat</div><div>Manifold</div></div>
HEATING legend	

THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULL SPECIFICATION INCLUDED IN THE HOUSE TYPE PACK

C2	Manifolds & room stats added in line with Specialist heating design.	16-09-22	CW
C1	Issued for CONSTRUCTION	03-02-22	CW
T6	Consumer Unit relocated as instructed, car charging legend updated.	17-01-22	CW
T5	Activity / bathroom / landing studwork adjusted to incorporate truss structural elements.	04-01-22	CW
T4	Wardrobes & sanitary items updated.	15-12-21	CW
T3	Wardrobe notation added.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV:	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:  
Edenstone Group  
Building 102, Wales 1, Business Park  
Magor  
NP26 3DG

PROJECT DETAILS:  
Land North of Lisvane Road

HOUSETYPE NAME:  
HIGHCLERE (N4)

DRAWING TITLE:  
Second Floor Plan  
M&E Layout

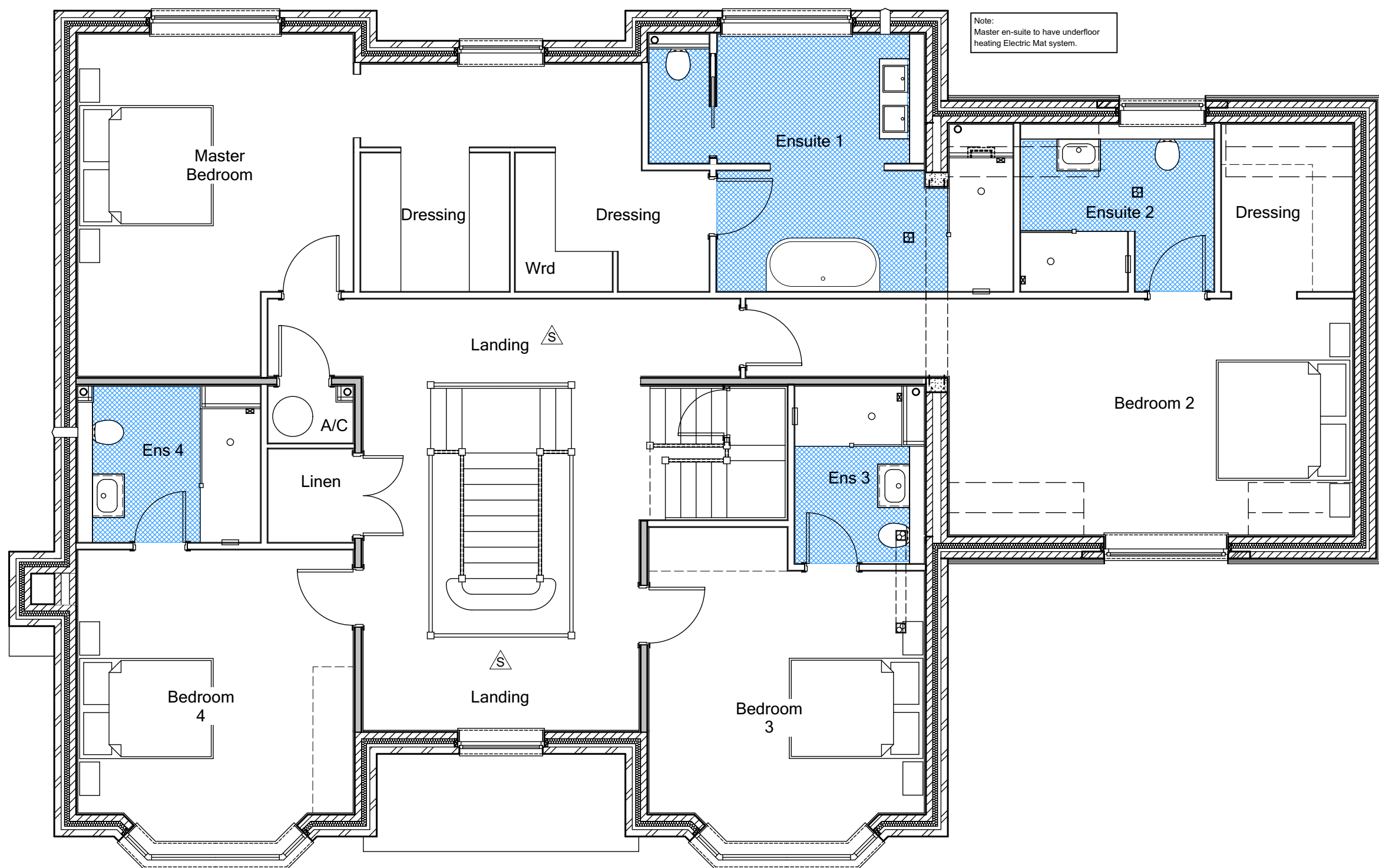
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DRAWN BY: CW  
CHECKED BY:

JOB NO: 801  
DRAWING NO: N4-A-11  
REVISION: C2

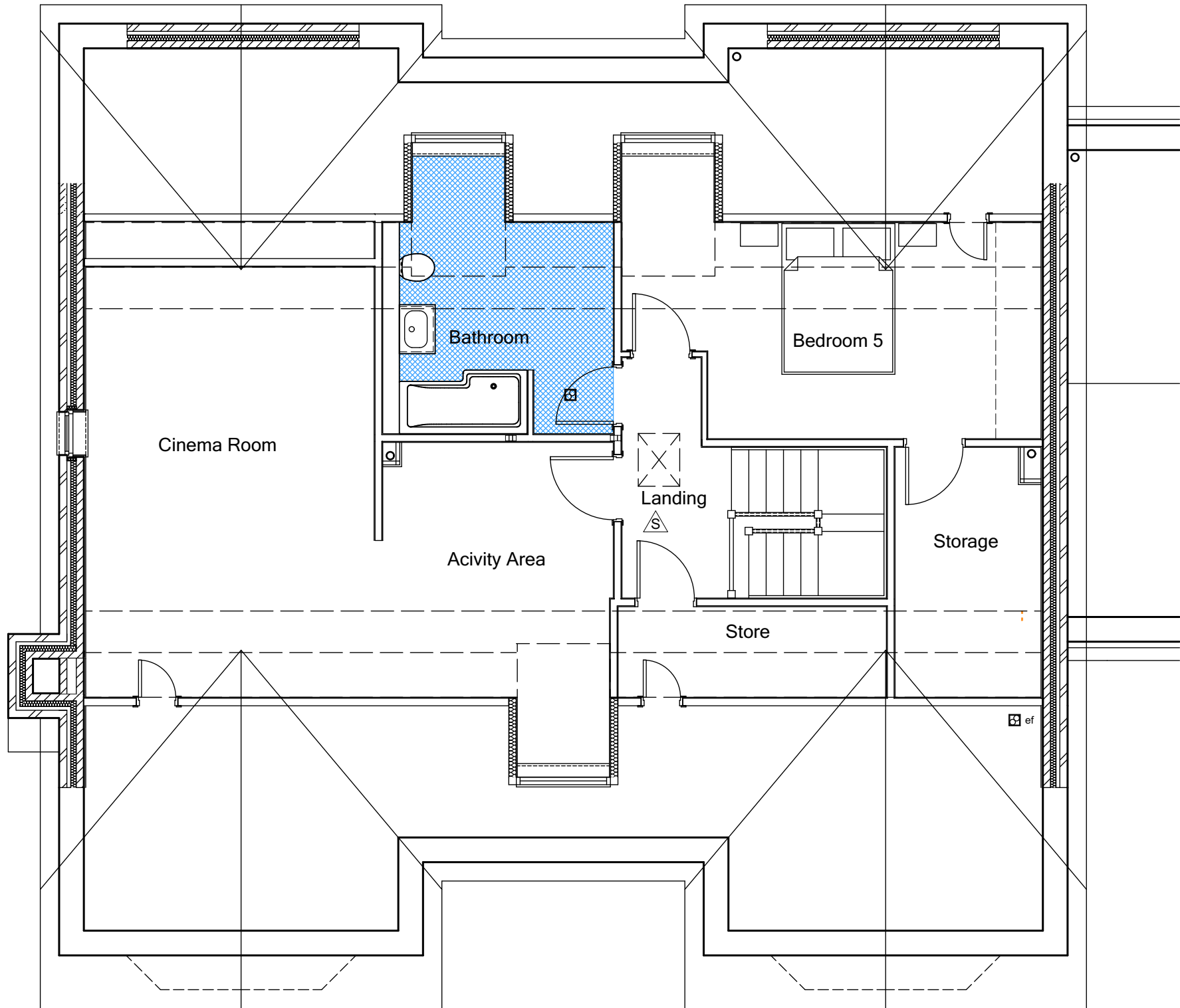
STATUS:  
CONSTRUCTION

Plot No.  
As - 1.  
Ha - .

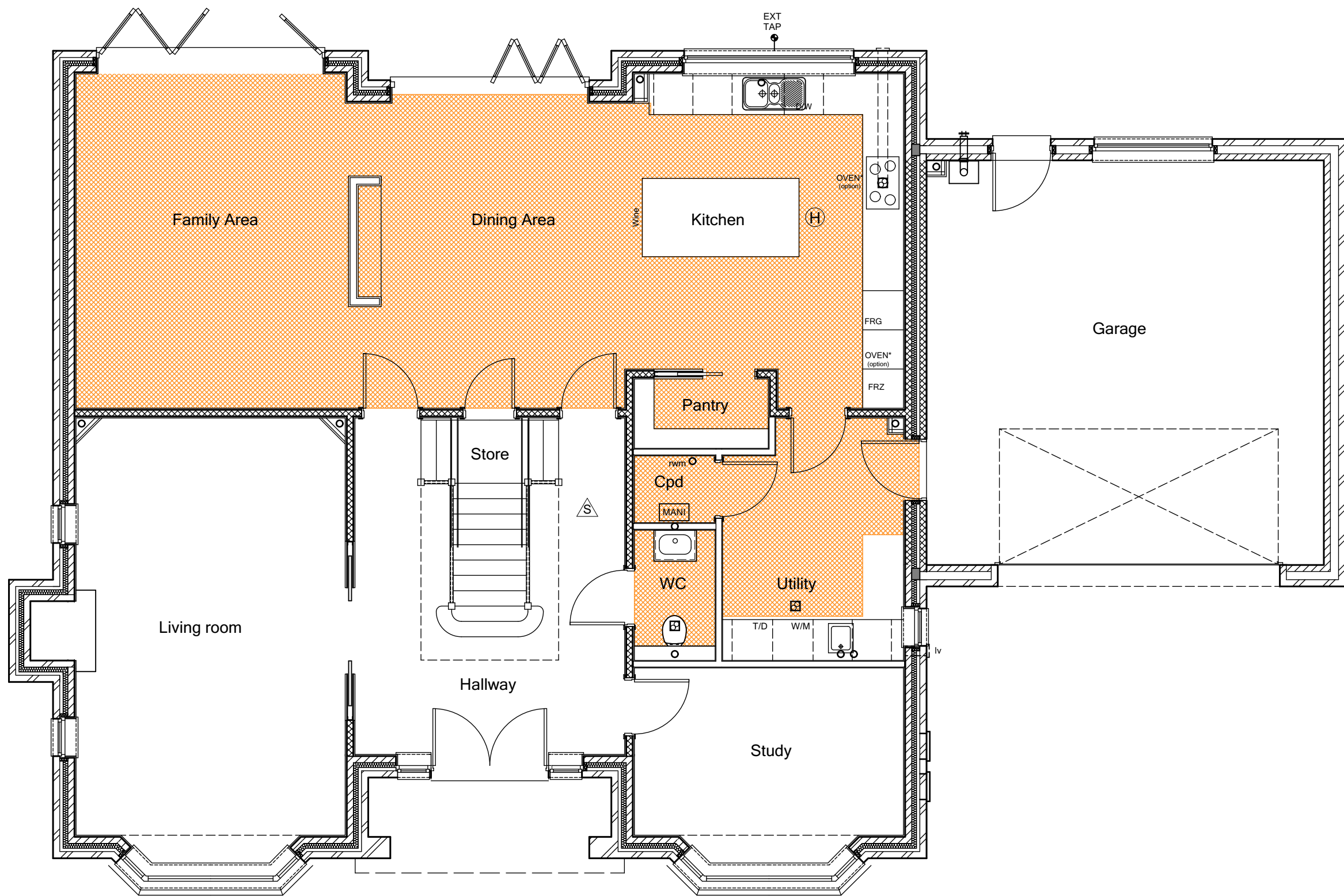




FIRST FLOOR PLAN (N4)



SECOND FLOOR PLAN (N4)



GROUND FLOOR PLAN (N4)

FLOOR FINISH legend

- Customer choice of vinyl strip / ceramic flooring
- Vinyl strip flooring

THIS SPECIFICATION IS A CONDENSED VERSION  
AND SHOULD BE READ IN CONJUNCTION WITH  
THE FULL SPECIFICATION INCLUDED IN THE HOUSE  
TYPE PACK

C2	D12 relocated & first floor ults cpdb.	16-09-22	CW
C1	Issued for CONSTRUCTION. Updates to show only floor finishes.	03-02-22	CW
T4	Activity / bathroom / landing studwork adjusted to incorporate truss structural elements.	04-01-22	CW
T3	Wardrobes, sanitary items & landing window updated.	15-12-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV:	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:  
Edenstone Group  
Building 102, Wales 1, Business Park  
Magor  
NP26 3DG

PROJECT DETAILS:  
Land North of Lisvane Road

HOUSETYPE NAME:  
HIGHCLERE (N4)

DRAWING TITLE:  
Ground, First & Second Floor Plan  
Floor finishes

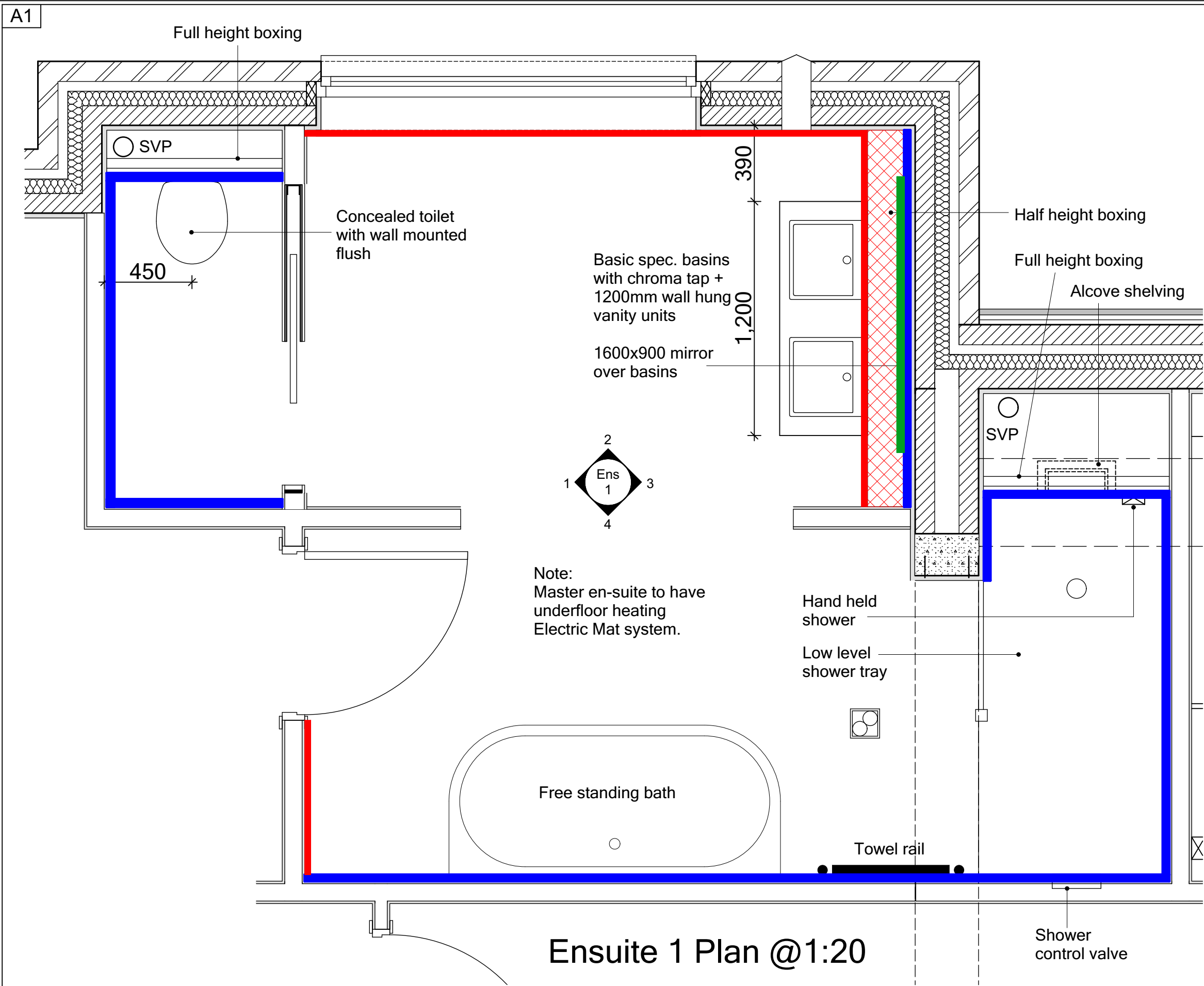
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JOB NO: 801      DRAWING NO: N4-A-12      REVISION: C2

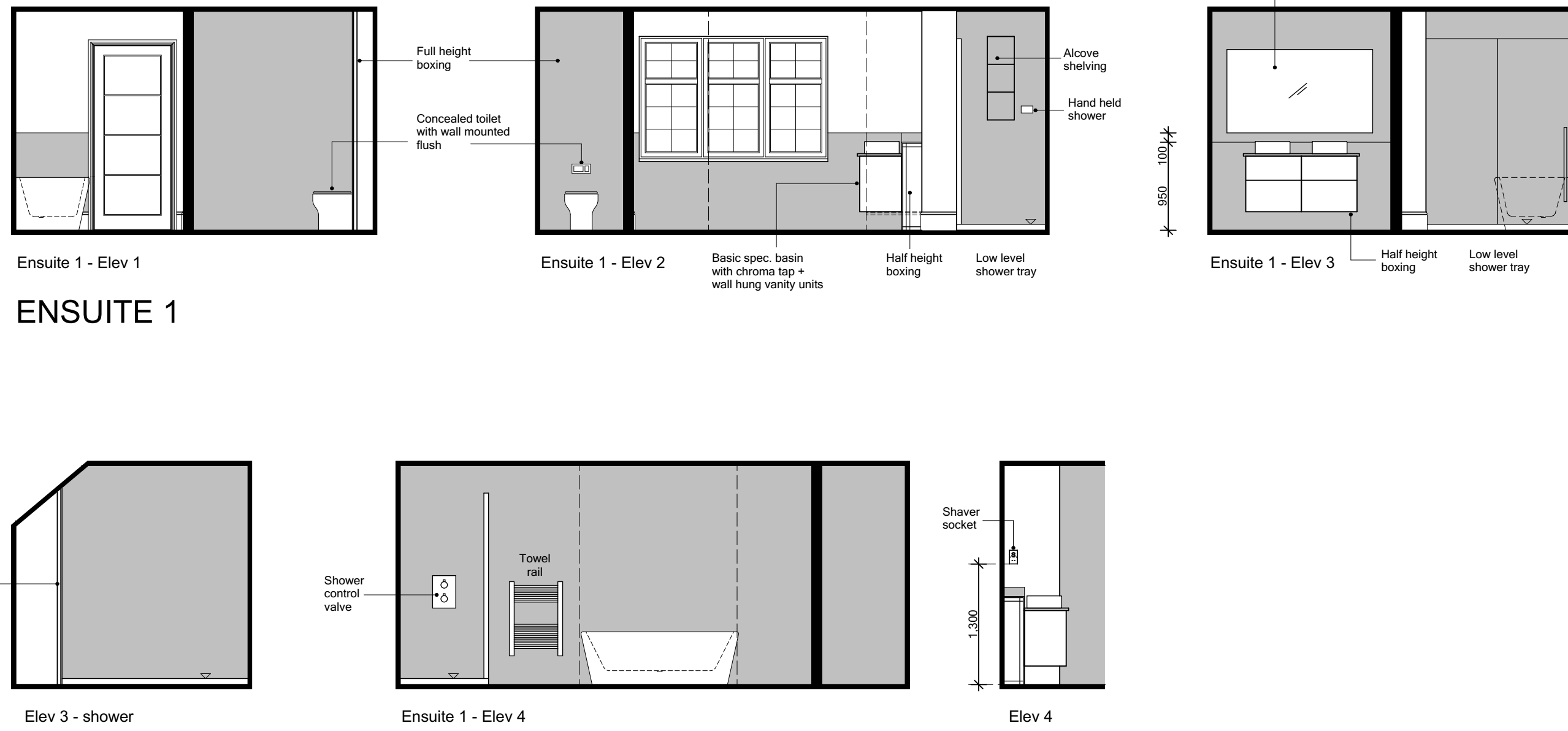
STATUS:  
CONSTRUCTION

Plot No.  
As - 1.  
Ha - .



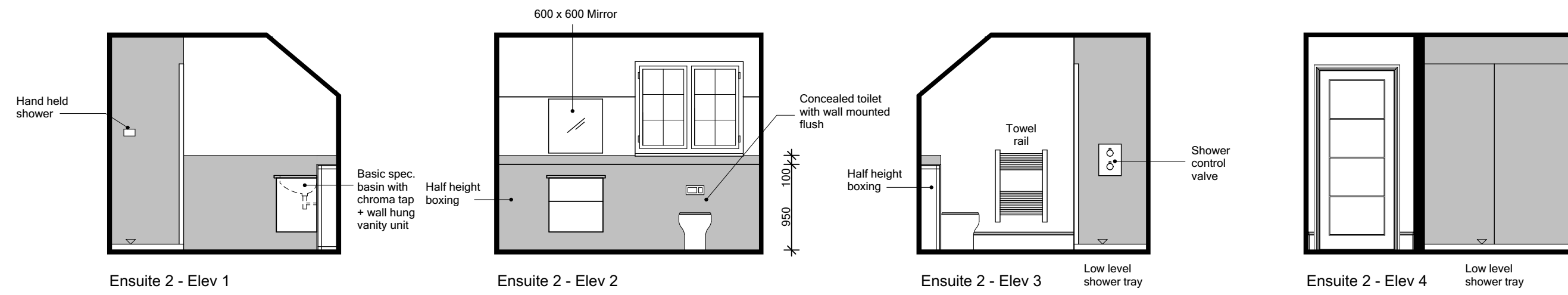


Ensuite 1 Plan @1:20

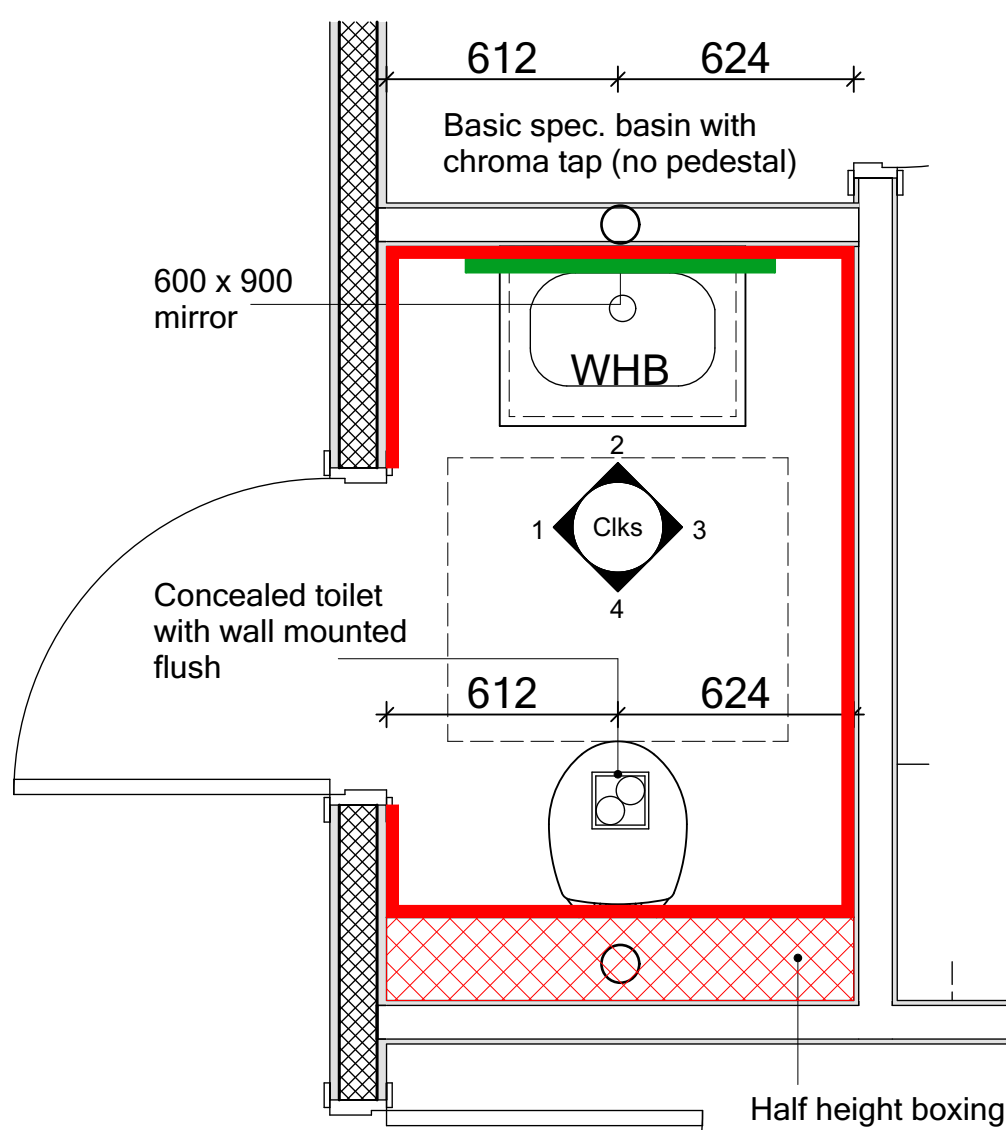


ENSUITE 1

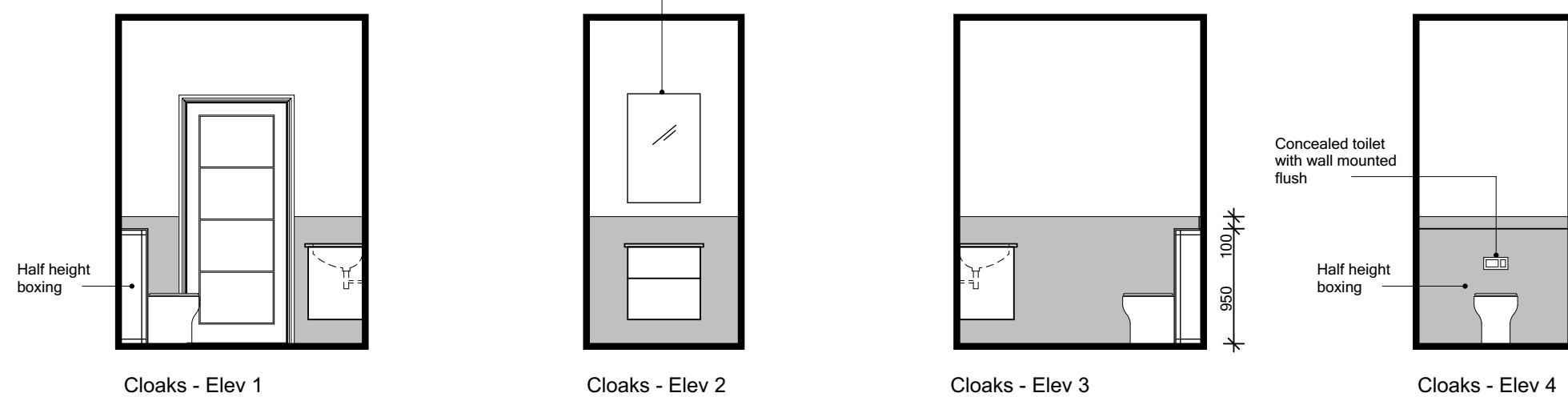
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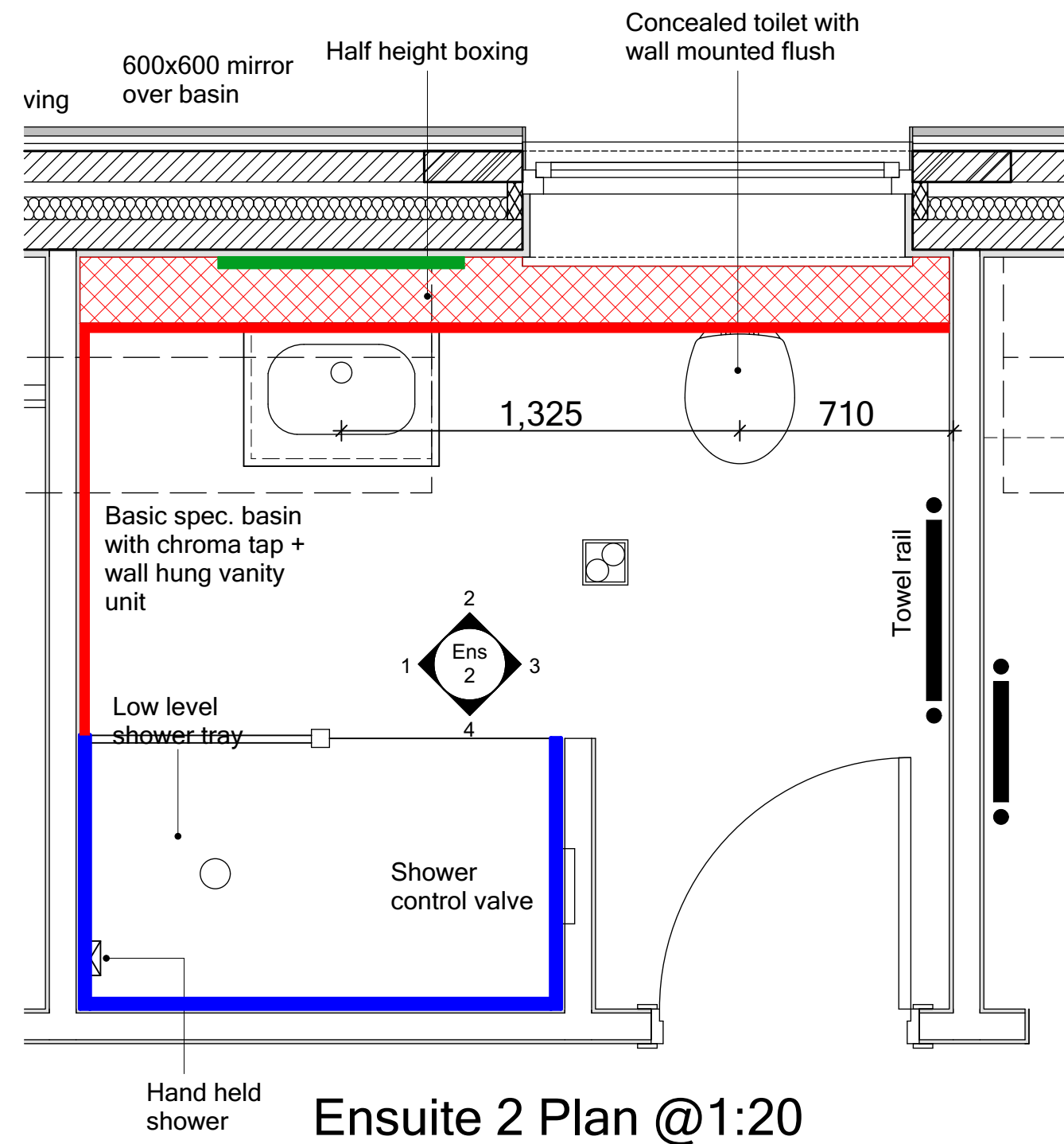
ENSUITE 2



Cloak Plan @1:20



CLOAK



Ensuite 2 Plan @1:20

WC/bath/Ens FINISH legend



THIS SPECIFICATION IS A CONDENSED VERSION  
AND SHOULD BE READ IN CONJUNCTION WITH  
THE FULL SPECIFICATION INCLUDED IN THE HOUSE  
TYPE PACK

C2	Cloaks towel rail removed.	16-09-22	CW
C1	Issued for CONSTRUCTION.		
	Color updates to show wall finishes.	03-02-22	CW
T3	Sanitary items & tiling updated.	15-12-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:  
Edenstone Group  
Building 102, Wales 1, Business Park  
Magor  
NP26 3DG

PROJECT DETAILS:  
Land North of Lisvane Road

HOUSETYPE NAME:  
HIGHCLERE (N4)

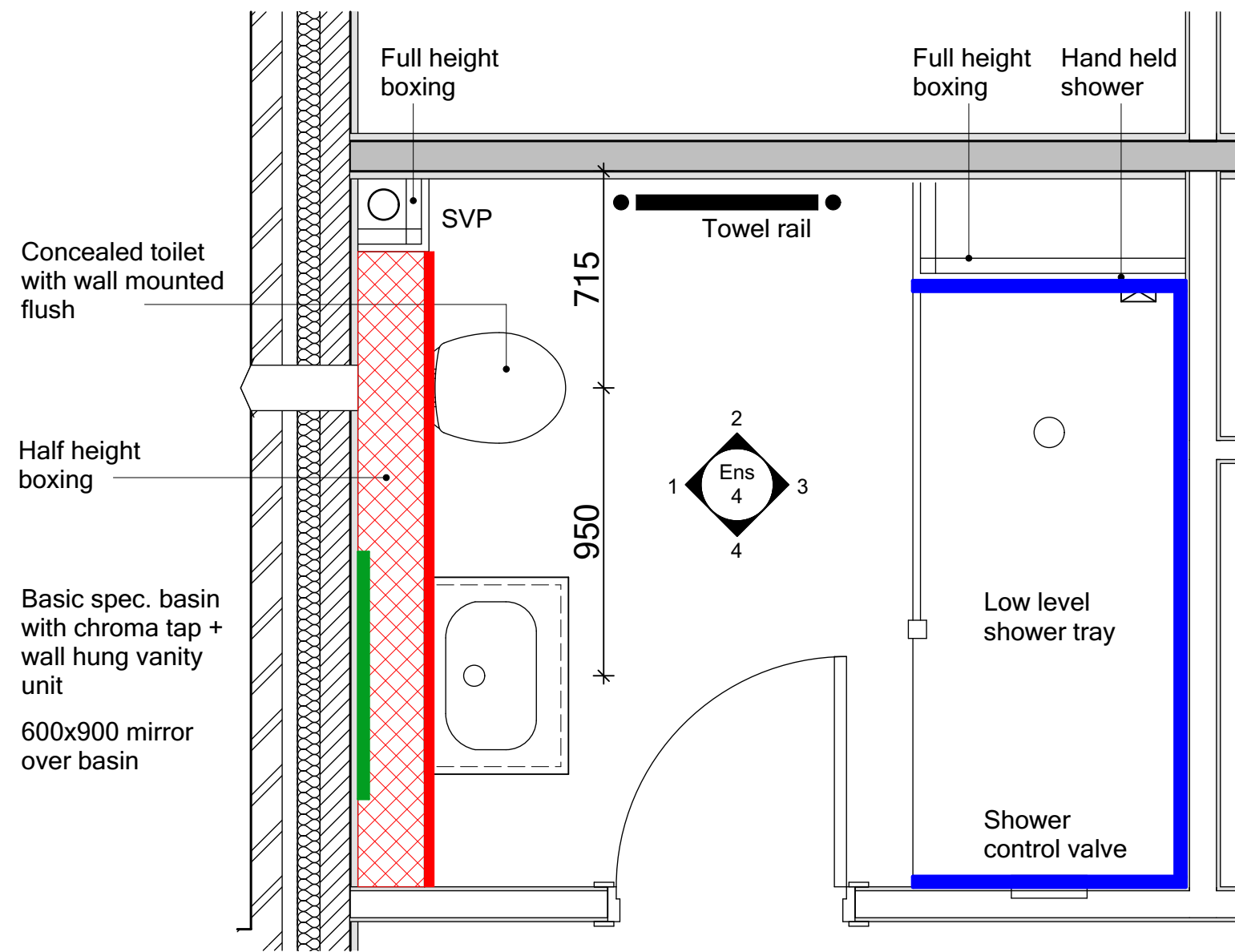
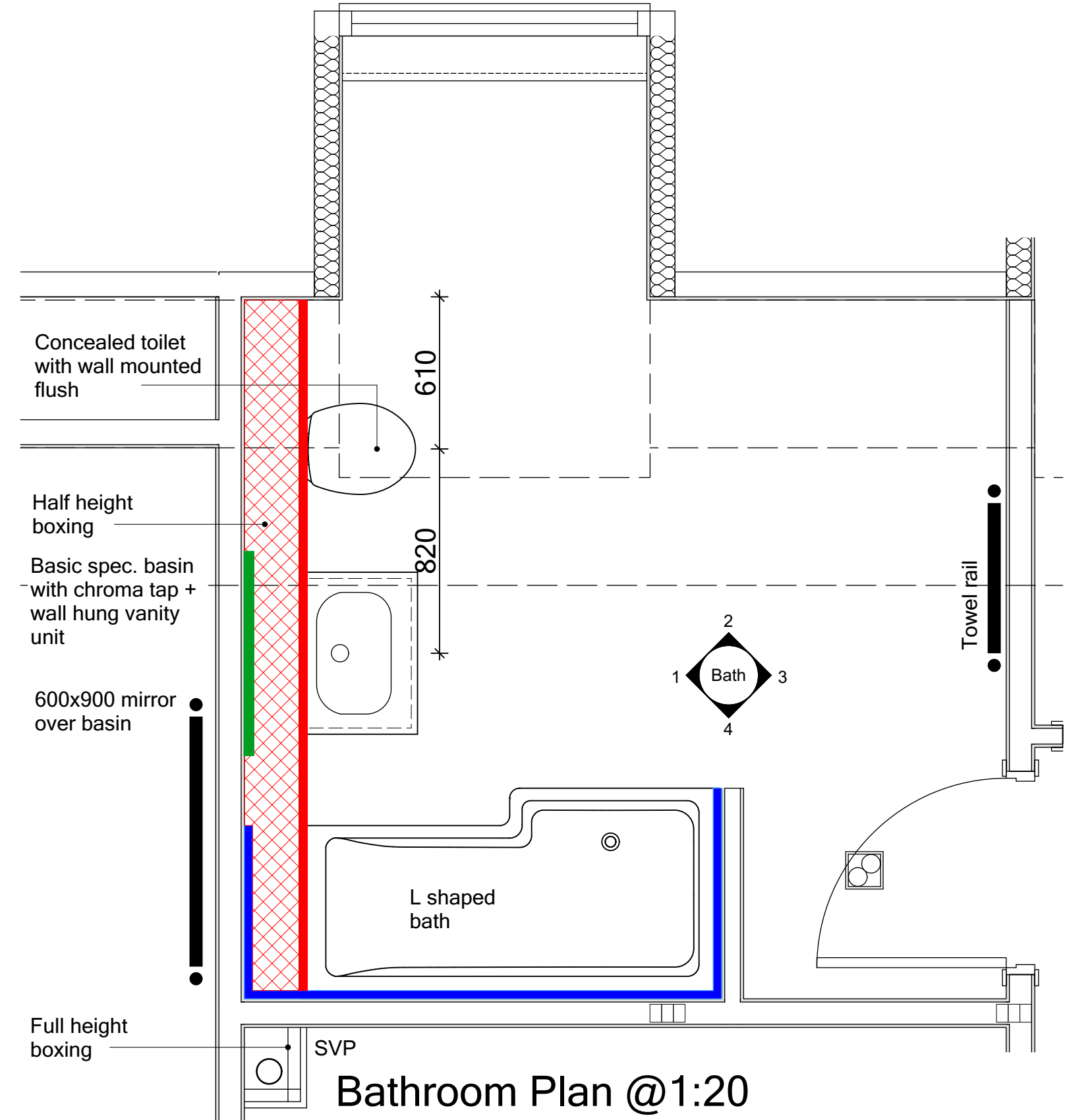
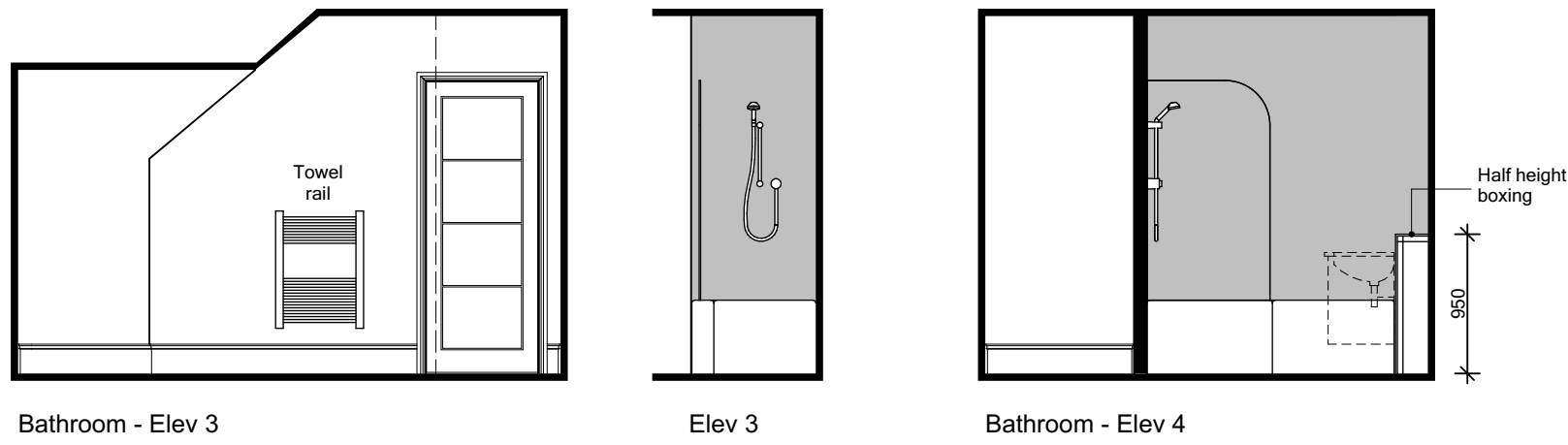
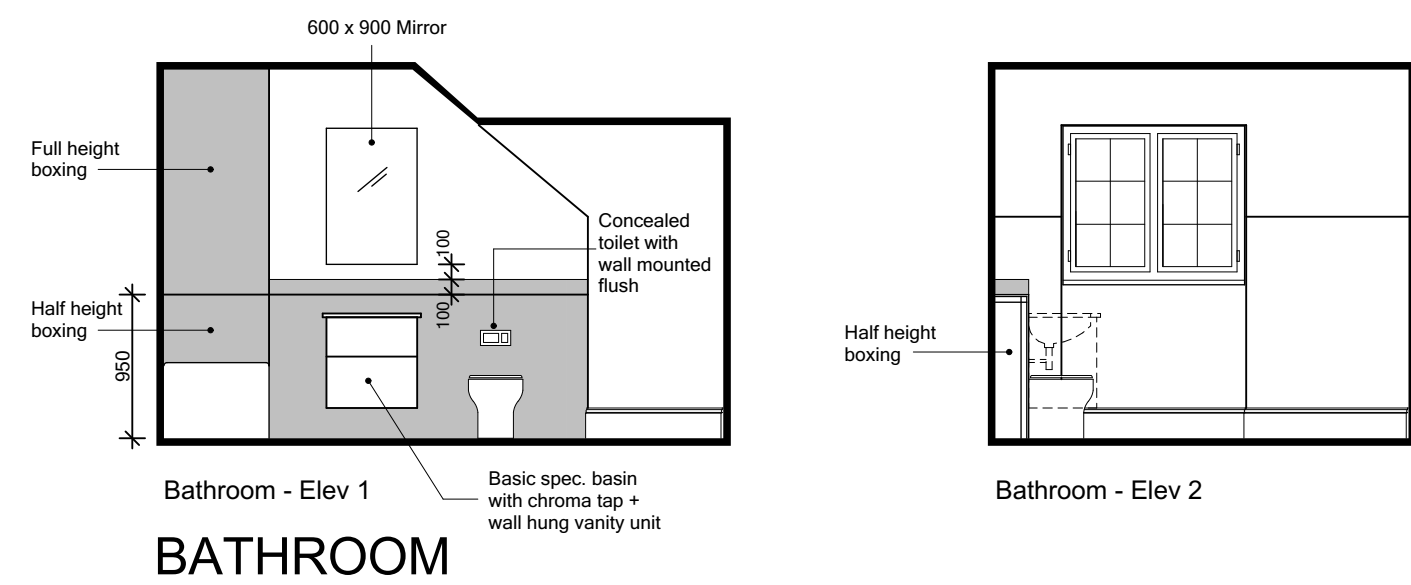
DRAWING TITLE:  
Cloaks, Bathroom & En-suite Detailed  
Layouts and Internal Elevations

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
1:20 / 50 @ A1	Sept 2021	CW	

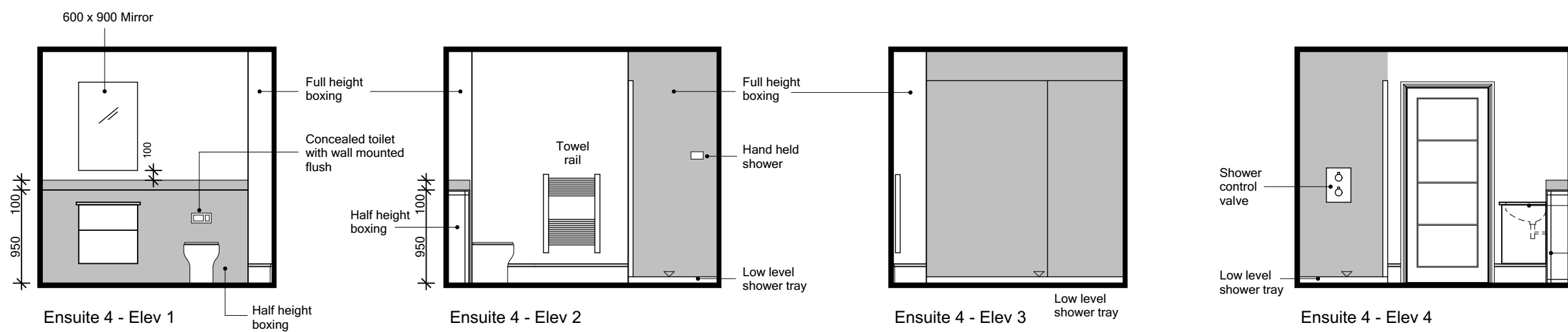
JOB NO:	DRAWING NO:	REVISION:
801	N4-A-13	C2

STATUS:  
CONSTRUCTION

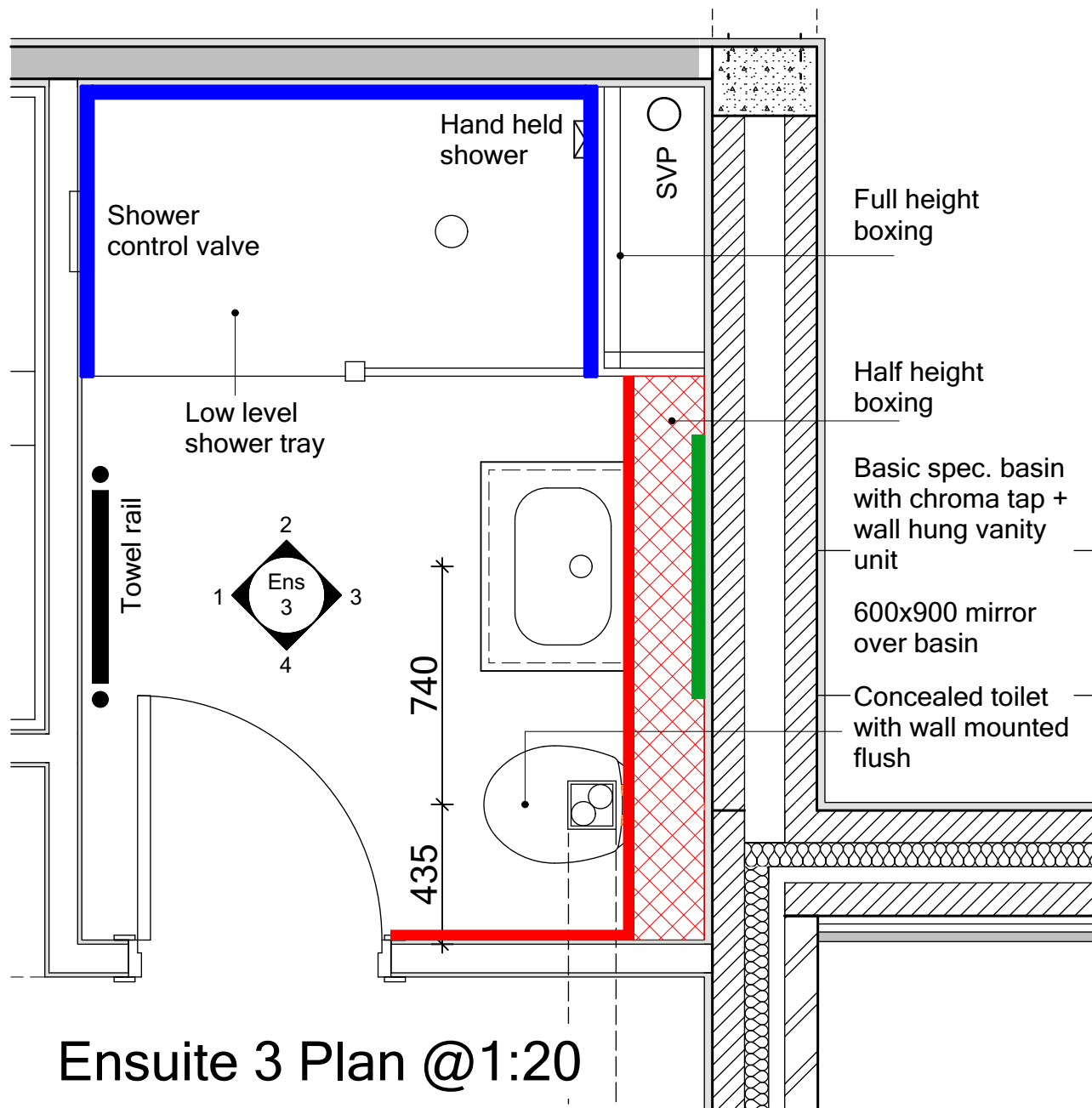
Plot No.  
As - 1.  
Ha - .



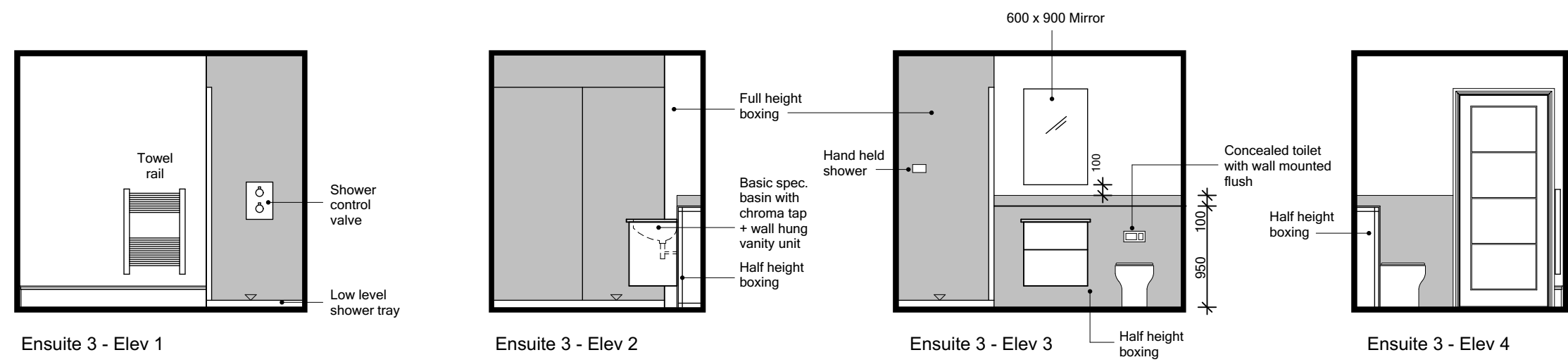
Ensuite 4 Plan @1:20



ENSUITE 4



Ensuite 3 Plan @1:20



ENSUITE 3

WC/bath/Ens FINISH legend

- Tiling to top of boxing / window sill
- Half Height Tiling
- Full Height Tiling
- Mirror positioned above WBS - refer to detail

THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULL SPECIFICATION INCLUDED IN THE HOUSE TYPE PACK

C1	Issued for CONSTRUCTION. Color updates to show wall finishes.	03-02-22	CW
T3	Sanitary items & tiling updated.	15-12-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:  
Edenstone Group  
Building 102, Wales 1, Business Park  
Magor  
NP26 3DG

PROJECT DETAILS:  
Land North of Lisvane Road

HOUSETYPE NAME:  
HIGHCLERE (N4)

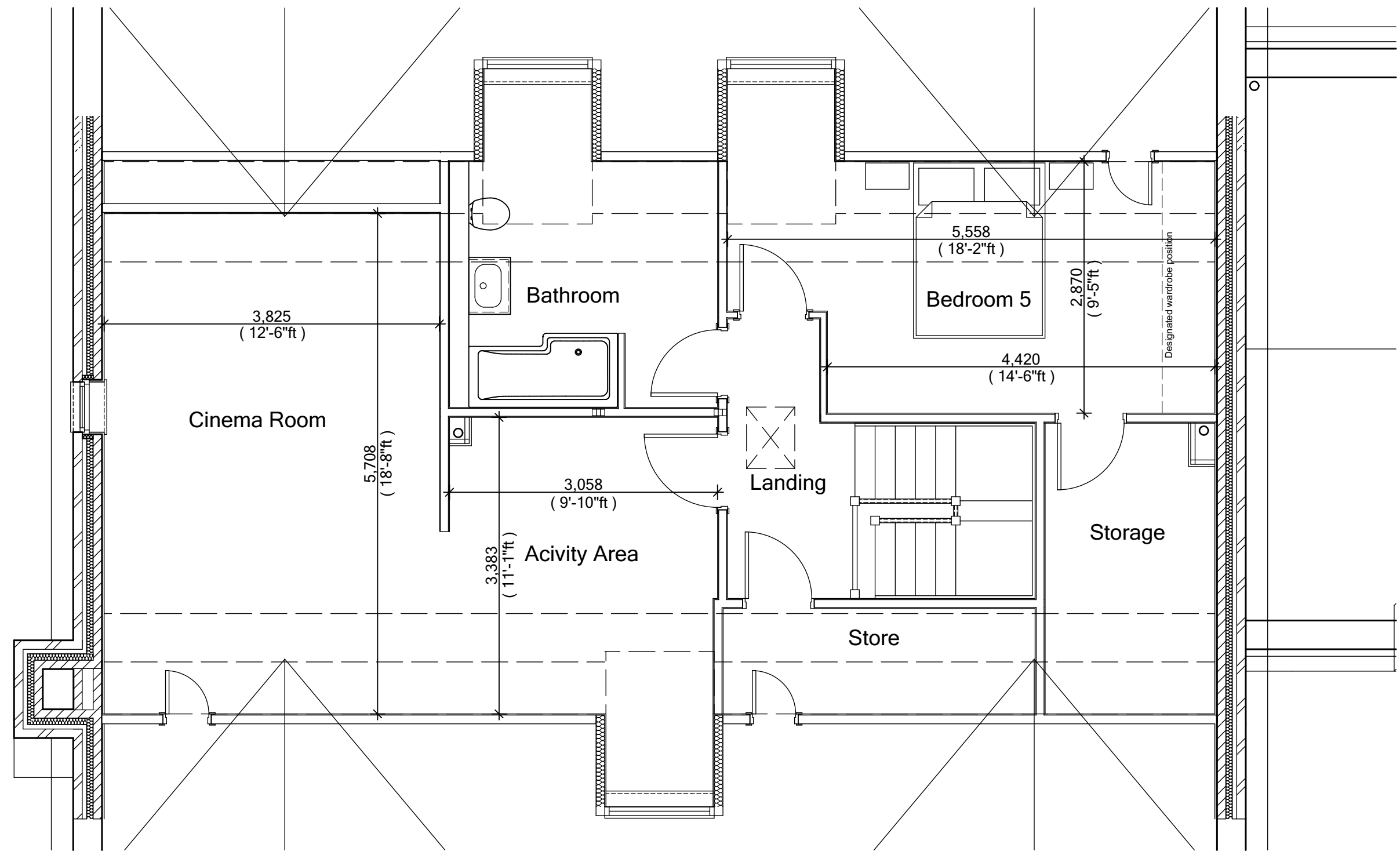
DRAWING TITLE:  
Cloaks, Bathroom & En-suite Detailed  
Layouts and Internal Elevations

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
1:20 / 50 @ A1	Sept 2021	CW	

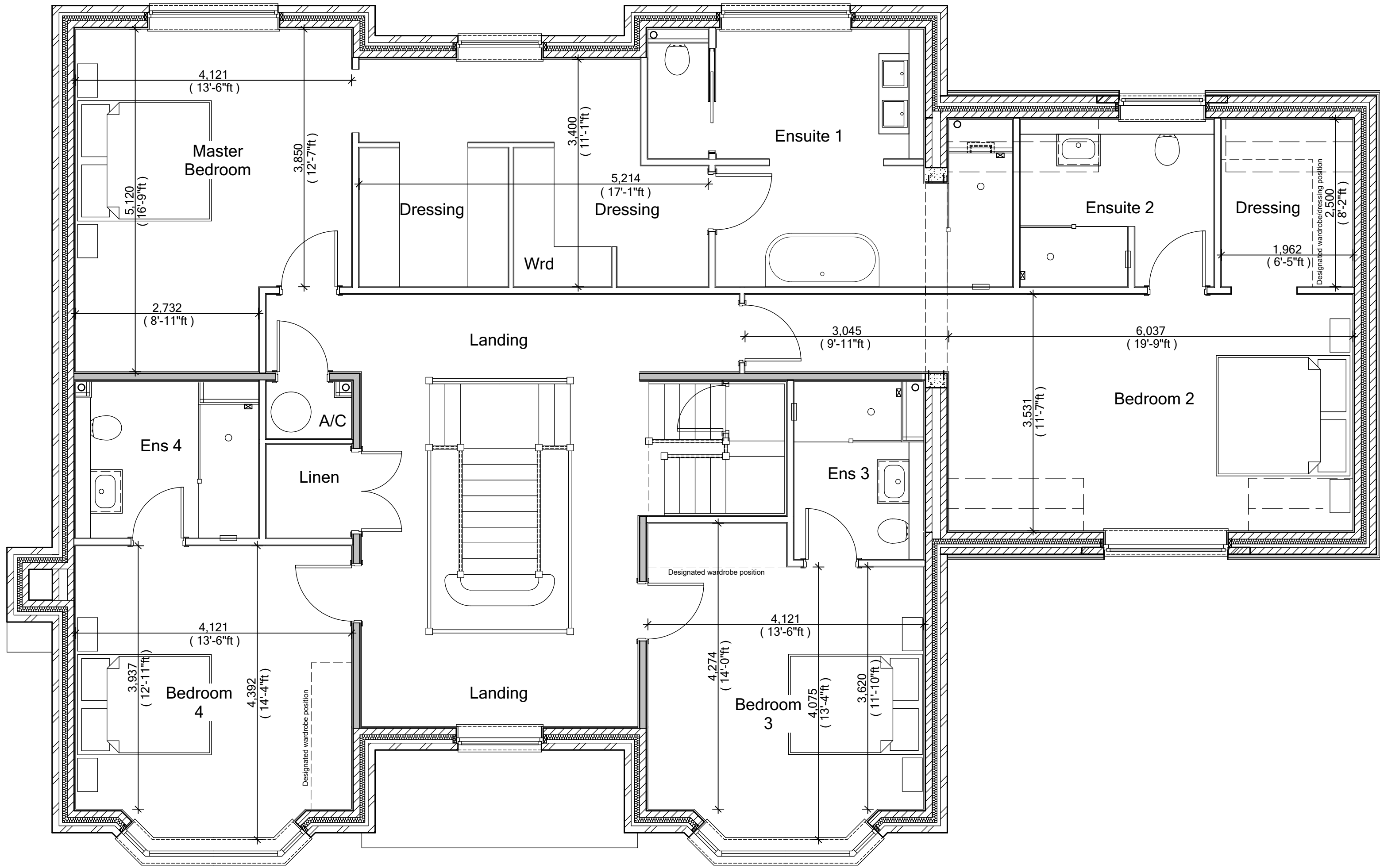
JOB NO:	DRAWING NO:	REVISION:
801	N4-A-14	C1

STATUS:  
CONSTRUCTION

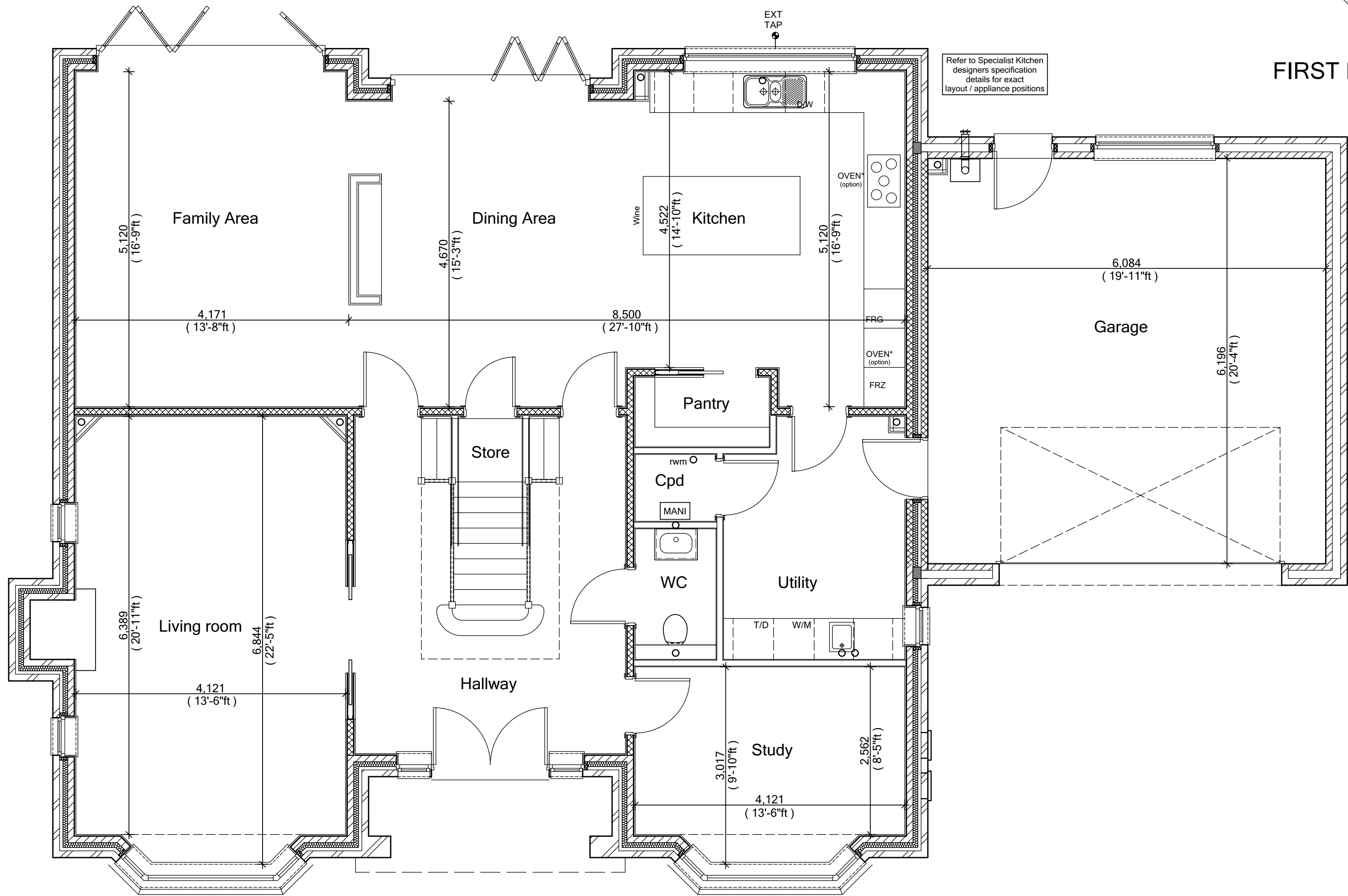
Plot No.  
As - 1.  
Ha - .



PART SECOND FLOOR PLAN



FIRST FLOOR PLAN (N4)



GROUND FLOOR PLAN (N4)

C2	D12 relocated & first floor u/s cpdb.	16-09-22	CW
C1	Issued for CONSTRUCTION	03-02-22	CW
T3	Activity / bed 5 studwork adjusted to incorporate truss structural elements.	04-01-22	CW
T2	Wardrobes, sanitary items & landing window updated.	15-12-21	CW
T1	Issued for TENDER	05-11-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:  
Edenstone Group  
Building 102, Wales 1, Business Park  
Magor  
NP26 3DG

PROJECT DETAILS:  
Land North of Lisvane Road

HOUSETYPE NAME:  
HIGHCLERE (N4)

DRAWING TITLE:  
Ground, First & Second Floor Plans  
Sales Layouts

SCALE: 1:50 @ A1  
DATE: Nov 2021  
DRAWN BY: CW  
CHECKED BY:

JOB NO: 801  
DRAWING NO: N4-A-15  
REVISION: C2

STATUS:  
CONSTRUCTION