

Chartwell (N3)

Area: 308.174 m² / 3317sq/ft (structural / excluding garage)

DRG NO	REV	DRAWING TITLE	SCALE	SHEET	DATE	REV DATE
N3-A-00	C7	Drawing Index	N/A	A3		12-12-22
N3-A-01	C2	Sub-structure plan (3 storey)	1:50	A1	26-05-21	01-03-22
N3-A-02	C2	Ground floor plan	1:50	A1	26-05-21	01-03-22
N3-A-03	C3	First floor plan	1:50	A1	26-05-21	12-12-22
N3-A-04	C2	Second floor plan	1:50	A1	26-05-21	21-04-22
N3-A-05	C4	Joist & Roof plan	1:50	A1	26-05-21	12-12-22
N3-A-06	C1	Sections	1:50	A1	26-05-21	03-02-22
N3-A-07	C1	Front + Side elevations	1:50	A1	26-05-21	03-02-22
N3-A-08	C2	Rear + Side elevations	1:50	A1	26-05-21	01-03-22
N3-A-09	C5	M&E layout	1:50	A1	10-09-21	12-12-22
N3-A-10	C3	Floor finishes	-	A1	10-09-21	16-09-22
N3-A-11	C2	Cloaks, bathroom and en-suite Detailed Layouts and Elevations	1:20 / 50	A1	10-09-21	16-09-22
N3-A-12	C1	Cloaks, bathroom and en-suite Detailed Layouts and Elevations	1:20 / 50	A1	10-09-21	03-02-22
N3-A-13	C2	Sales plans	1:50	A1	03-11-21	01-03-22

C7

Updates as noted on plans.

12-12-22

CW

C6

Updates as noted on plans.

15-11-22

CW

C5

Updates as noted on plans.

16-09-22

CW

C4

Updates as noted on plans.

09-08-22

CW

C3

Updates as noted on plans.

21-04-22

CW

C2

Updates as noted on plans.

01-03-22

CW

C1

Issued for CONSTRUCTION

03-02-22

CW

T1 / T7

Issued for TENDER

10-09-21 / 18-01-22

CW

REV:

REVISION DESCRIPTION

DATE

AUTHOR



Trower Davies

Architectural Consultants

CLIENT:

Edenstone Group

Building 102, Wales 1, Business Park

Magor

NP26 3DG

PROJECT DETAILS:

Land North Of Lisvane Road

HOUSETYPE NAME:

Chartwell (N3)

DRAWING TITLE:

Cover Sheet

SCALE:

DATE:

DRAWN BY:

CHECKED BY:

1:50 @ A3

Aug 2021

JOB NO:

DRAWING NO:

REVISION:

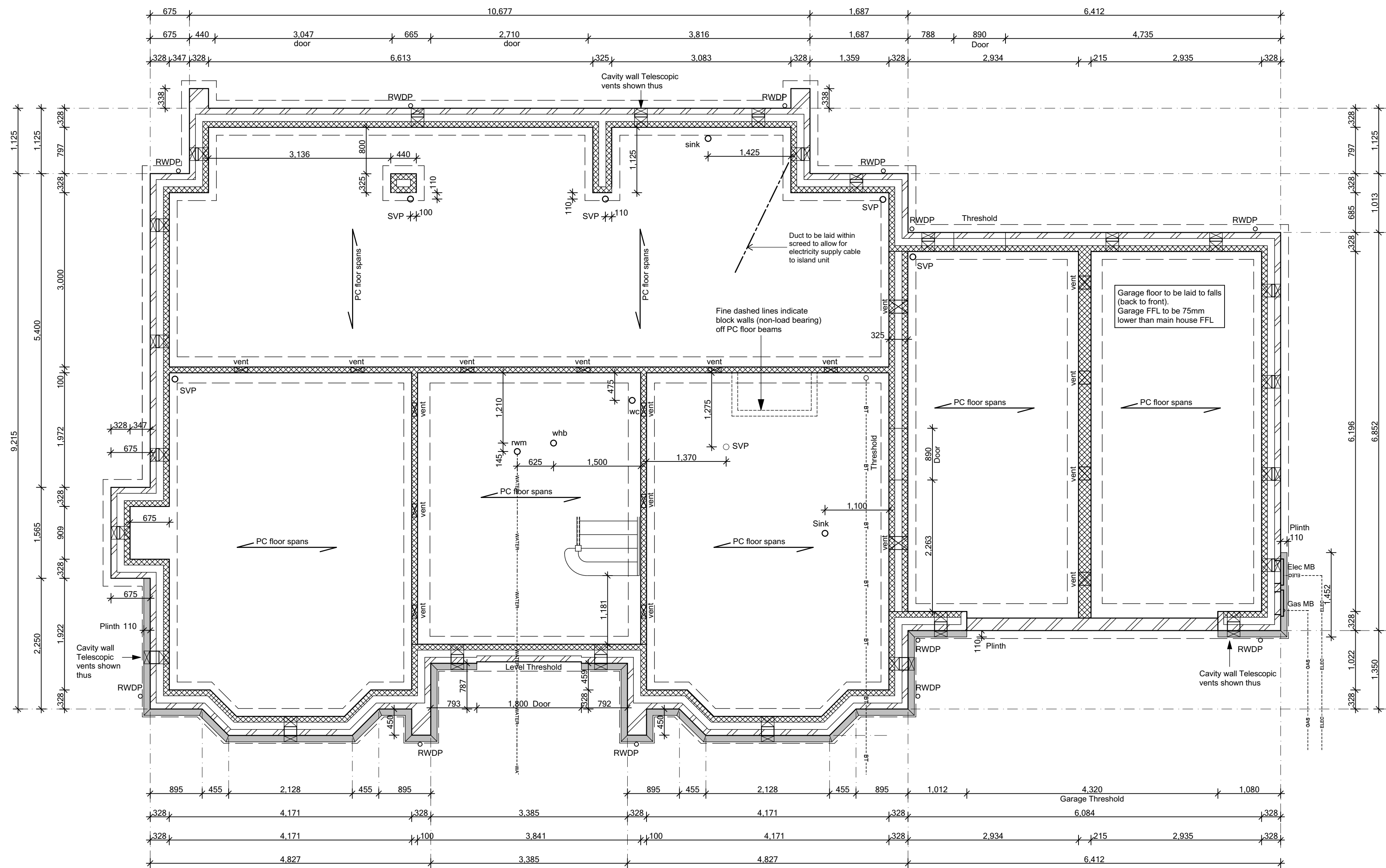
801

N3-A-00

C7

STATUS:

CONSTRUCTION



SUB-STRUCTURE PLAN

GROUNDWORKS legend

RWM Insulated incoming Water service to Rising Water Main 750mm BGL. To be positioned 125mm min from inner side of the external wall.

ELEC Incoming Electric service

Gas Incoming Gas service

BT Incoming BT service

VM Incoming Virgin media service

SVP Soil and Vent Pipe 100mm dia with rest bend

STUB Sub stack 100mm dia with rest bend and Dargo

WC Sealed floor connector to WC

WHB Sealed floor connector for Wash Hand Basin

SINK Sealed floor connector for Sink

SINK Sealed floor connector for Shower

BIC Back Inlet Gully

RWP Rain Water Pipe

EXTERNAL WALLS BELOW DPC 225mm cavity wall construction for a minimum of 3 courses below dpc comprising of 103mm FL quality outer leaf brickwork with a 125mm cavity & 100mm blockwork as noted by the Structural Engineer. FOR FURTHER DETAILS REFER TO ENGINEERS DRAWINGS

INTERNAL WALLS BELOW DPC Internal walls to be 100 / 225mm blockwork FOR FURTHER DETAILS REFER TO ENGINEERS DRAWINGS

VENT Proprietary telescopic vents. Vents to be positioned between beams. All bricks to be located 450mm from any corner and spaced @ max 2000mm cts. (1912.6mm brick dia)

The openings should be not less than either 1500mm/M run of external wall or 500mm/M² of floor area, whichever gives the greater opening area. Any doors needed to carry ventilating air should have a diameter of at least 100mm. Ventilation openings should incorporate suitable grilles which prevent the entry of vermin.

Based on a vent with 6000mm² opening area

Perimeter 71.6 (x1500mm/M) = 18 vents

Area 201 (x500mm/M²) = 17 vents

Perimeter/Area (PA) ratio = 0.35

NOTE: STRUCTURAL ENGINEERS DRAWINGS TAKE PRECEDENCE OVER THIS DRAWING. ALWAYS CROSS CHECK WITH STRUCTURAL ENGINEERS DRAWINGS. ALTERNATIVE SLAB, FOUNDATIONS, ADDITIONAL SLEEPERWALLS ETC MAY BE REQUIRED DEPENDING ON SITE CONDITIONS.

THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULL SPECIFICATION INCLUDED IN THE HOUSE TYPE PACK

C2	Duct to kitchen island added	01-03-22	CW
C1	Issued for CONSTRUCTION SVP removed.	03-02-22	CW
T3	Level threshold removed from rear bi-fold doors.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
CHARTWELL (N3)

DRAWING TITLE:
Ground Floor Plan
'General Arrangement'

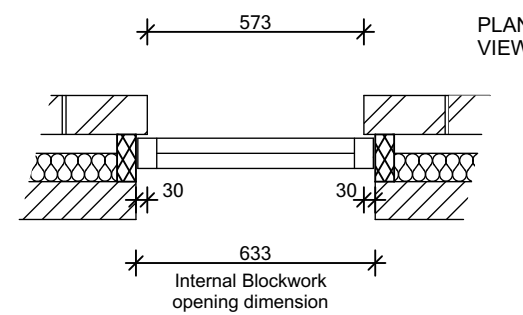
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JOB NO: 801 DRAWING NO: N3-A-01 REVISION: C2

STATUS:
CONSTRUCTION

Plot No.
As - 4, 5.
Ha - .

CHECK REVEAL SETTING OUT



Check reveal +30mm either side (doors + windows).
(Internal blockwork opening +60mm of brickwork dim)
Window width = +25mm each side of brick s/o dim
i.e window width 623mm
Inner blockwork opening +10mm of window size

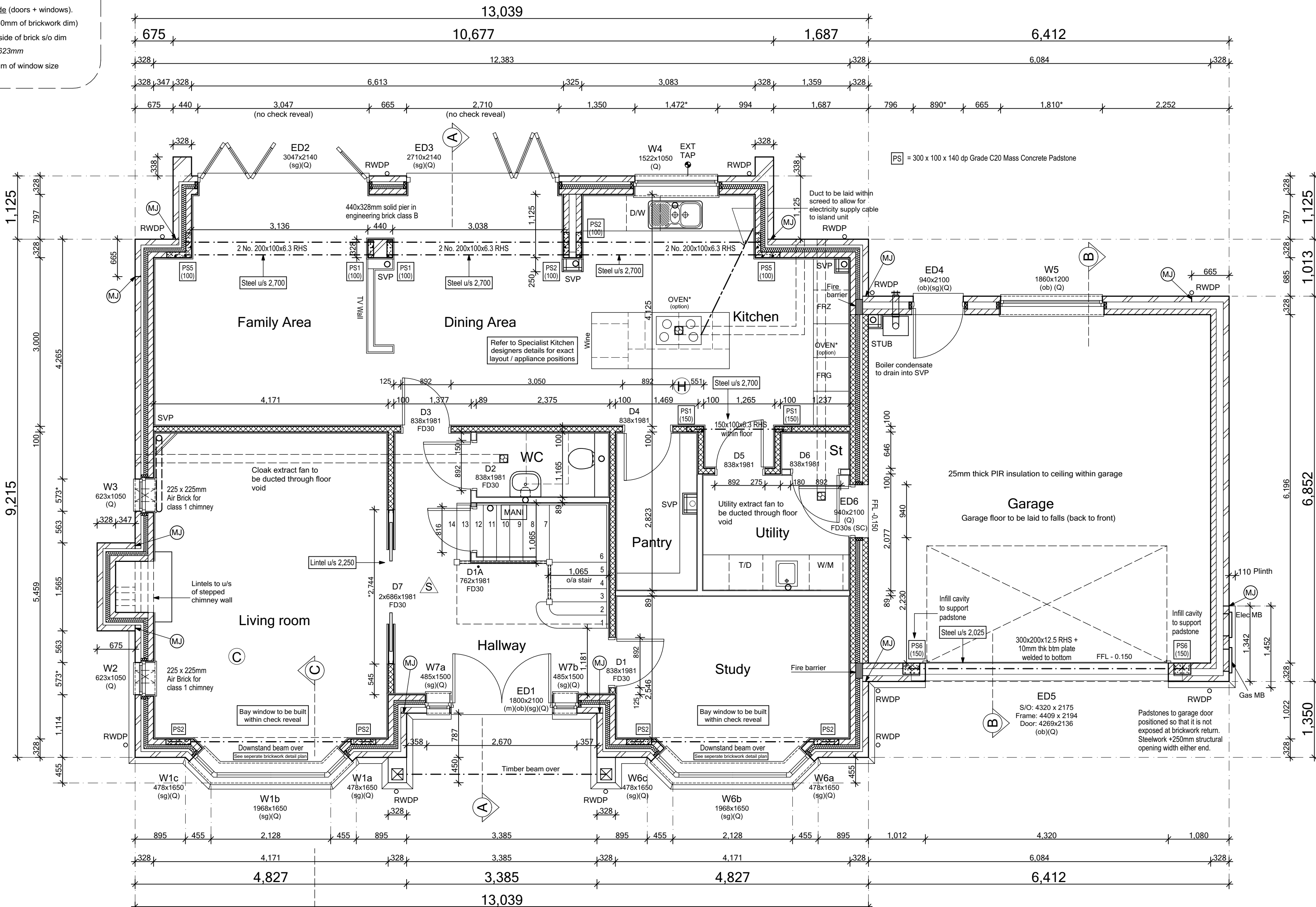
Ref.	Structural Opening	Door Size (leaf) - W x H	Lintel	Notes
D1	892	2040	838x1981	TBC
D1A	816	2040	762x1981	Stud
D2	892	2040	838x1981	Stud
D3	892	2040	838x1981	TBC
D4	892	2040	838x1981	TBC
D5	892	2040	838x1981	TBC
D6	892	2040	838x1981	Stud
D7	*2744	*2051	2x686x1981	TBC

SPECIFICATION

	SMOKE DETECTOR
	HEAT DETECTOR
	ELECTRIC METER
	GAS METER
	GAS METER Universal box
	BOILER with flue outlet
	SVP within boxing
	STUB STACK and Duct within boxing
	INTERNAL DRAINAGE
	RAIN WATER PIPE
	EXTRACTOR FAN (ceiling)
	EXTRACTOR FAN (wall)
	EXTRACTOR FAN (cooler hood)
	VENT (bumble dryer)
	FIRE DOORS - to be 30 minute fire integrity with self-closing device
	MOVEMENT JOINT (to be in render only)
	CONCRETE PADSTONE refer to structural engineers details
	FINISH DIMENSIONS critical dimensions shown in the
	Dimension indicates opening size with brick check reveals, where openings are in render add 50mm

	EXTERNAL WALL (PARTIAL FILL) - 300mm Cavity wall
	EXTERNAL WALL (FULL FILL) - 100mm facing brickwork or 100mm reconstructed stone
	Cavity - 50/50mm clear residual cavity
	Wall Ins - 600mm c/s vertically & 800mm horizontally
	Cavity insulation - 75mm foil backed PUR insulation
	Inner skin - 100mm block
	Internal finish - 12.5mm plasterboard on plaster dabs
	TILE HANGING As main wall - both skins in blockwork
	SEMI EXPOSED GARAGE WALL As main wall - both skins in blockwork
	SEMI EXPOSED GARAGE WALL - 100mm thick Garage skin - 100mm block Internal finish (House) - insulated plasterboard
	INTERNAL WALL - 100/140/210mm Dense blockwork with min compressive strength of 3.0N/mm ² or as otherwise noted
	INTERNAL PARTITION - 80/38mm timber vertical studs. Wall to achieve 30min fire and 40dB
	INTERNAL PARTITION - 100/38mm timber vertical studs. Wall to achieve 30min fire and 40dB
	Structural Load Bearing Studwork - 100x50mm vertical timber studs at 400mm c/c with 12.5mm OSB sheathing
	INTERNAL PARTITION - Buttress stud wall of 80/38mm timber vertical studs @ max 400mm c/c with 12.5mm OSB sheathing
	ESCAPE WINDOW - to comply with Building Regulations AD Part B
	SAFETY GLAZING - to comply with Building Regulations AD Part H
	OBSCURE GLAZING - refer to spec for pattern/type
	THRESHOLD - to comply with Building Regulation AD Part M
	FIXED GLAZING - non-opening window
	CAVITY BARRIER at party wall junctions

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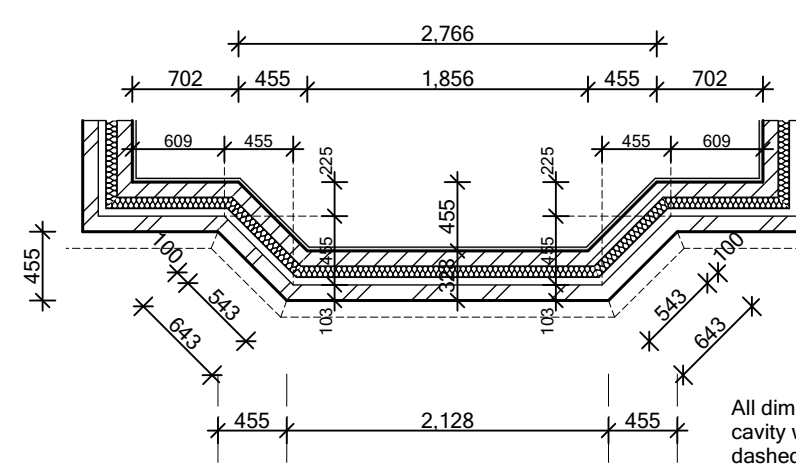
BLOCK LEGEND - GROUND FLOOR

BLOCKWORK	SIZE (mm)	COMPRESSIVE STRENGTH (N/mm ²)
	100	7.3
	100	7.3

PADSTONES:	grade C20 mass concrete padstone
PS1	300x100x140dp
PS2	450x100x140dp
PS3	300x215x140dp
PS4	600x100x140dp
PS6	440/440x100x215dp
PS6	300x200x140dp

Note: Ground floor to be served by underfloor heating throughout. Manifold located to U/S cupboard TBC by specialist manufacturer.

Dimensions in italics are taken to inner face of the outer brickwork skin



Bay Window Brickwork Dims (GF)

- Brick Finish:
- Movement joints at max. 12m c/c's
 - Outer leaf in brickwork.
 - Inner leaf blockwork strength (min.) 7.3N/mm²
- Render / Cladding Finish:
- Movement joints at max. 6m c/c's (subject to manufacturers requirements)
 - Outer leaf blockwork strength (min.) 3.0N/mm² with blockwork density less than 1500kg/m³
 - Inner leaf blockwork strength (min.) 7.3N/mm²

- Bedjoint reinforcement to enhance MJ's
- This is for render/cladding finish with blockwork density less than 1500kg/m³.
- Bed joint reinforcement on outer leaf at 225mm vertical centres - movement joints at max. 10m c/c's
 - Bed joint reinforcement on outer leaf at 450mm vertical centres - movement joints at max. 8m c/c's
- Bedjoint reinforcement at Openings
- Bed joint reinforcement will be required above and below window/door openings as standard practise.
 - Usually first two courses of the external leaf above and below openings and 600mm minimum pass edge of window/door opening where possible.

Plot No.
As - 4, 5.
Ha - .

N3 (3 storey)			
External Door Schedule			
Ref.	Structural Opening	Width	Height
ED1	1800	2100	Linked to W7a & b (m)(ob)(sg)(Q)
ED2	3047	2140	(sg)(Q) * level threshold detail
ED3	2710	2140	(sg)(Q) * level threshold detail
ED4	840	2100	(ob)(sg)(Q)
ED5	4320	2175	(ob)(Q)
ED6	840	2100	(Q) FD30s
Window Schedule			
Ref.	Structural Opening	Width	Height
W1a	478	1650	Timber frame bay (sg)(Q)
W1b	1968	1650	Timber frame bay (sg)(Q)
W1c	478	1650	Timber frame bay (sg)(Q)
W2	623	1050	(Q)
W3	623	1050	(Q)
W4	1522	1050	(Q)
W5	1860	1200	(ob)(Q)
W6	478	1650	Timber frame bay (sg)(Q)
W6b	1968	1650	Timber frame bay (sg)(Q)
W6c	478	1650	Timber frame bay (sg)(Q)
W7a	485	1500	Linked to ED1 (sg)(Q)
W7b	485	1500	Linked to ED1 (sg)(Q)
W8	1298	1350	(ob)
W9	478	1575	Timber frame bay
W9b	1968	1575	Timber frame bay
W9c	478	1575	Timber frame bay
W10	1860	1350	(ob)
W11	1298	1350	(ob)
W12	1298	1350	(ob)
W13	1860	1350	(ob)
W14	1860	1350	Timber frame bay
W15a	478	1575	Timber frame bay
W15b	1968	1575	Timber frame bay
W15c	478	1575	Timber frame bay
W16	1248	1050	Dommer
W17	1248	1050	Dommer (ob)
W18	1248	1050	Dommer
W19	1248	1050	Dommer
(ew)	ESCAPE WINDOW	(see General notes)	
(m)	PART M THRESHOLD	(see General notes)	
(ob)	OBSCURE GLAZING	(see General notes)	
(sg)	SAFETY GLAZING	(see General notes)	
(Q)	SECURE DOORSET/WINDOW	(see General notes)	
LINTIL REFERENCES TAKEN FROM IG QUOTATION SCHEDULE details may be subject to change with final design, always cross check with IG information			
SYSTEM 1 Background ventilators and intermittent extract fans			
ADF Table 5.2a 'b' leakier than 5. Background ventilators: at least 5000mm ² in each habitable room. 2500mm ² in each wet room.			
N3	Total equivalent ventilator area = 160,000mm ²		

REV.	REVISION DESCRIPTION	DATE	AUTHOR
C2	Duct to kitchen island added, kitchen updated in line with Specialists design, cooker MV updated.	01-03-22	CW
C1	Issued for CONSTRUCTION.		
T6	Living Room SVP removed, kitchen studwork added.	05-02-22	CW
T5	Carbon monoxide alarm added to Living Room.	17-01-22	CW
T4	WC basin updated.	22-12-21	CW
T3	Living Room lintel information added.	18-11-21	CW
T2	Level threshold removed from rear bi-fold doors, kitchen MV repositioned.	05-11-21	CW
T1	General updates to Clients comment.	22-10-21	CW
	Issued for TENDER	10-09-21	CW

Trower Davies
Architectural Consultants

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Building 102, Wales 1, Business Park
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PROJECT DETAILS:
Land North of Lisvane Road

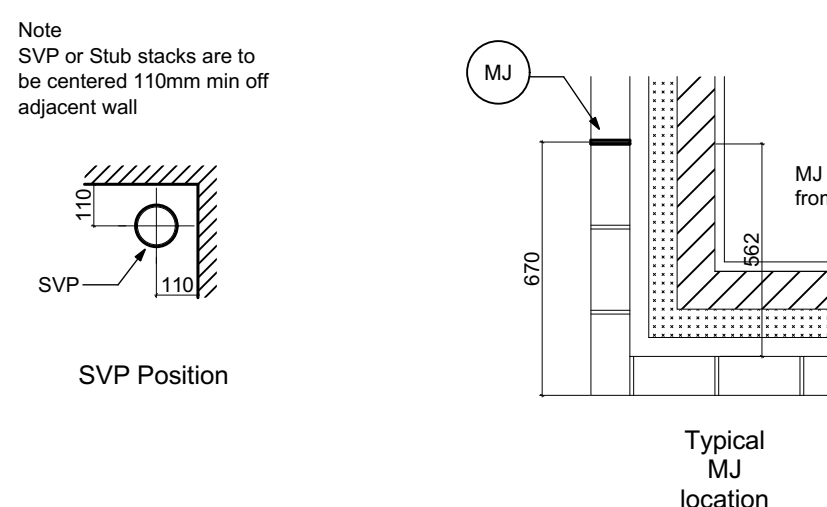
HOUSETYPE NAME:
CHARTWELL (N3)

DRAWING TITLE:
Ground Floor Plan
'General Arrangement'

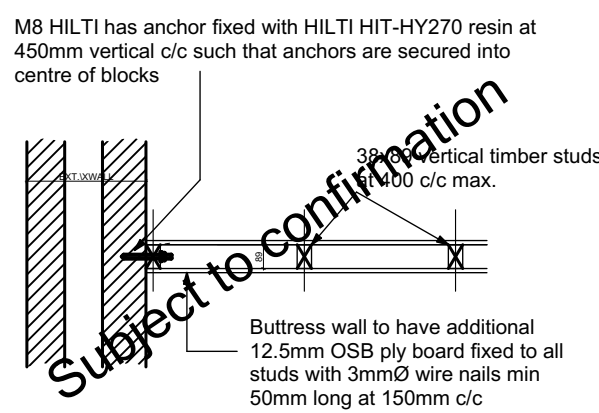
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DATE: May 2021
DRAWN BY: AD
CHECKED BY:

JOB NO: 801
DRAWING NO: N3-A-02
REVISION: C2

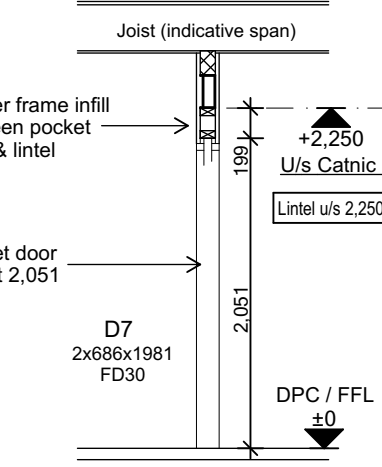
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CONSTRUCTION



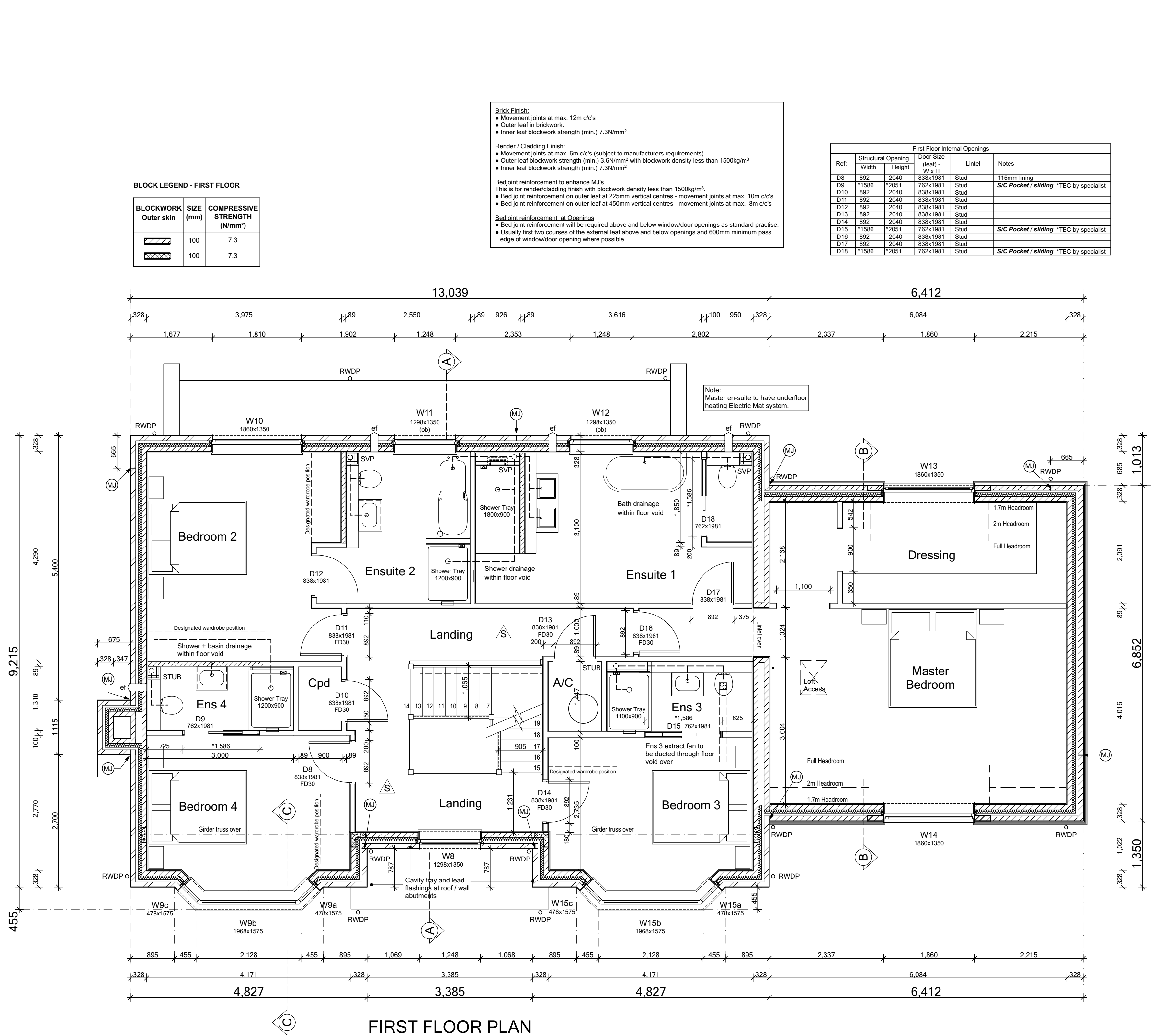
Typical MJ location



Typical Stud Buttress Wall as per Engineers detail



Living Room Lintel



FIRST FLOOR PLAN

SPECIFICATION

SMOKE DETECTOR
HEAT DETECTOR
ELECTRIC METER
GAS METER
GAS METER Universal box
BOILER with flue outlet
SVP within boxing
STUB STACK and drop within boxing
INTERNAL DRAINAGE
RAIN WATER PIPE
EXTRACTOR FAN (ceiling)
EXTRACTOR FAN (lower level)
VENT (under dryer)
FIRE DOORS to be 20 minute fire integrity
MOVEMENT JOINT PIP in Render only
CONCRETE PADSTONE refer to structural engineers details
FINISH DIMENSIONS critical dimensions refer to the finished face & red point of furniture

EXTERNAL WALL (PARTIAL FILL) - 200mm cavity wall
Outer skin - 100mm facing brickwork or 100mm reconstructed stone.
Cavity - 50/50mm clear residual cavity @ 600mm c/c vertically & 800mm horizontally.
Inner skin - 75mm full backed PUR insulation
Internal finish - 12.5mm plasterboard on plaster dabs.

TILE HANGING
As main wall - both skins in blockwork

REFER TO ELEVATIONS AND SITE MATERIAL LAYOUT TO CONFIRM FINISHES

SEMI EXPOSED GARAGE WALL
As main wall - both skins in blockwork

SEMI EXPOSED GARAGE WALL - 100mm thick
Garage skin - 100mm block
Internal finish (House) - insulated plasterboard

INTERNAL WALL - 100/140/215mm Dense blockwork with min compressive strength of 3.6N/mm² or as otherwise noted

INTERNAL PARTITION - 80x30mm timber vertical studs. Wall to achieve 30min fire and 40dB.

INTERNAL PARTITION - 100x30mm timber vertical studs. Wall to achieve 30min fire and 40dB.

Structural Load Bearing Studwork 100x50mm vertical timbers studs at 400mm c/c's with timber wall plates. Noggins at max 1200mm vertical c/c's.

INTERNAL PARTITION - Butress stud wall of 80x30mm timber vertical studs @ max 400mm c/c's with 12.5mm OSB sheathing. Wall to achieve 30min fire and 40dB. refer to details.

ESCAPE WINDOW to comply with Building Regulations AD Part B
SAFETY GLAZING to comply with Building Regulations AD Part N
OBSCURE GLAZING refer to spec for pattern type
THRESHOLD to comply with Building Regulation AD Part M
FIXED GLAZING non-opening window

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N3 (3 storey)

External Door Schedule			
Ref.	Structural Opening	Notes	
Width	Height		
ED1	1800 2100	Linked to W7a & b (m)(ob)(sg)(Q)	
ED2	3047 *2140	(sg)(Q) * level threshold detail	
ED3	2710 *2140	(sg)(Q) * level threshold detail	
ED4	340 2100	(ob)(sg)(Q)	
ED5	4320 2175	(ob)(Q)	
ED6	340 2100	(Q) FD30s	
Window Schedule			
Ref.	Structural Opening	Notes	
Width	Height		
W1a	478 1650	Timber frame bay (sg)(Q)	
W1b	1968 1650	Timber frame bay (sg)(Q)	
W1c	478 1650	Timber frame bay (sg)(Q)	
W2	623 1050	(Q)	
W3	623 1050	(Q)	
W4	1522 1050	(Q)	
W5	1860 1200	(ob)(Q)	
W6a	478 1650	Timber frame bay (sg)(Q)	
W6b	1968 1650	Timber frame bay (sg)(Q)	
W6c	478 1650	Timber frame bay (sg)(Q)	
W7a	485 1500	Linked to ED1 (sg)(Q)	
W7b	485 1500	Linked to ED1 (sg)(Q)	
W8	1298 1350	(ob)	
W9a	478 1575	Timber frame bay	
W9b	1968 1575	Timber frame bay	
W9c	478 1575	Timber frame bay	
W10	1860 1350	(ob)	
W11	1298 1350	(ob)	
W12	1298 1350	(ob)	
W13	1860 1350	(ob)	
W14	1860 1350	(ob)	
W15a	478 1575	Timber frame bay	
W15b	1968 1575	Timber frame bay	
W15c	478 1575	Timber frame bay	
W16	1248 1050	Dormer (ob)	
W17	1248 1050	Dormer (ob)	
W18	1248 1050	Dormer	
W19	1248 1050	Dormer	
(ew)	ESCAPE WINDOW	(see General notes)	
(m)	PART M THRESHOLD	(see General notes)	
(ob)	OBSCURE GLAZING	(see General notes)	
(sg)	SAFETY GLAZING	(see General notes)	
(Q)	SECURE DOORSET/WINDOW	(see General notes)	
LIMIT REFERENCES TAKEN FROM IG QUOTATION SCHEDULE			
details may be subject to change with final design, always cross check with IG information			

SYSTEM 1 Background ventilators and intermittent extract fans	
ADF Table 5.2a 'B' leakier than 5. Background ventilators: at least 5000mm ² in each habitable room. 2500mm ² in each wet room.	
N3	Total equivalent ventilator area = 160,000mm ²



CLIENT:
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NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
CHARTWELL (N3)

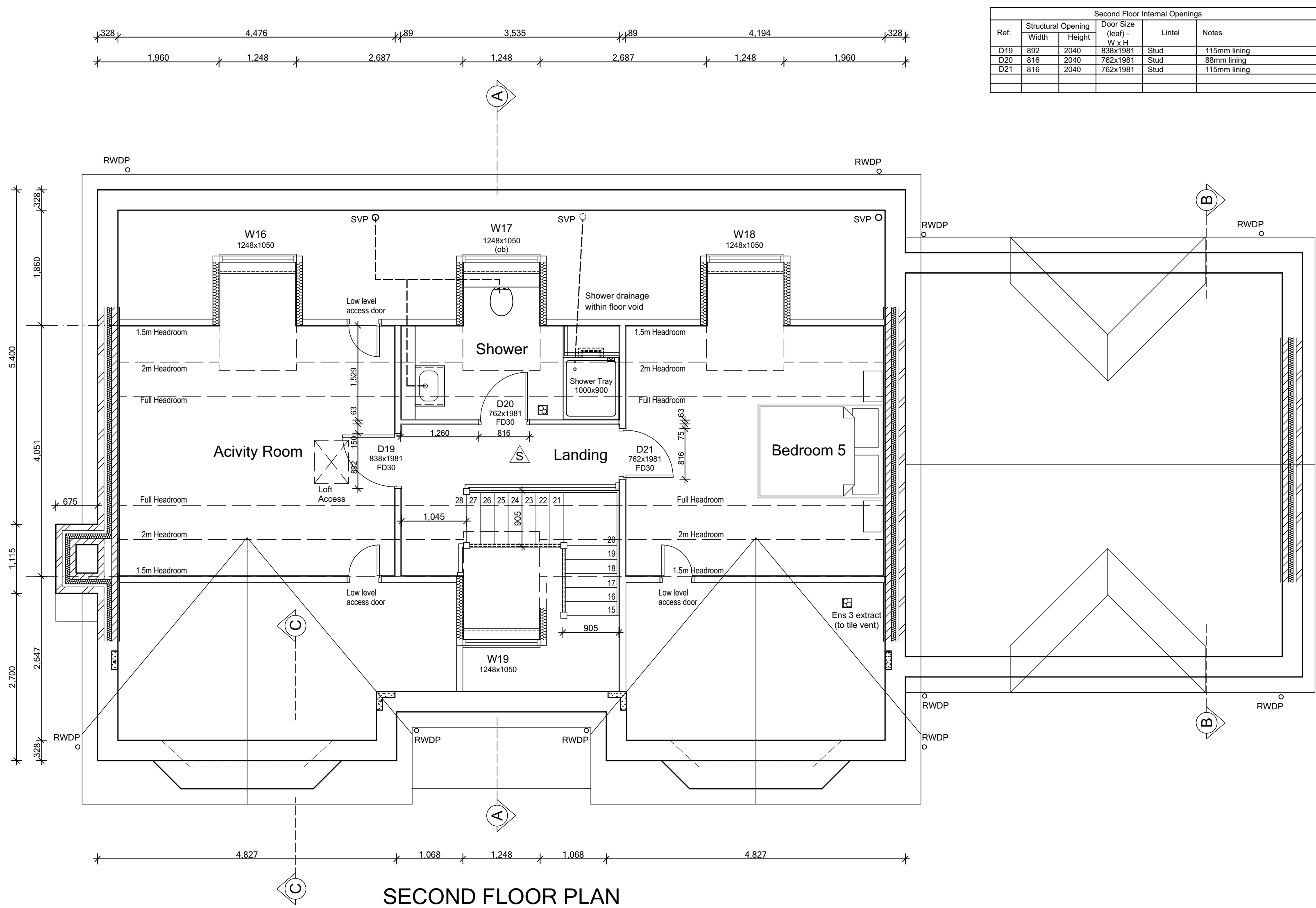
DRAWING TITLE:
First Floor Plan
'General Arrangement'

SCALE: 1:50 @ A1
DATE: May 2021
DRAWN BY: AD
CHECKED BY:

JOB NO: 801
DRAWING NO: N3-A-03
REVISION: C3

STATUS:
CONSTRUCTION

Plot No.
As - 4, 5.
Ha - .



Second Floor Internal Openings					
Ref.	Structural Opening	Door Size (leaf) - W x H	Lintel	Notes	
D19	892	2040	838x1981	Stud	115mm lining
D20	816	2040	762x1981	Stud	88mm lining
D21	816	2040	762x1981	Stud	115mm lining

SPECIFICATION

	SMOKE DETECTOR		EXTERNAL WALL (PARTIAL FILL) - 325mm Cavity wall
	HEAT DETECTOR		SVP within boeing
	ELECTRIC METER		STUB STACK and Derge within boeing
	GAS METER		INTERNAL DRAINAGE
	GAS METER Universal box		RAIN WATER PIPE
	BOILER with flue outlet		EXTRACTOR FAN (ceiling)
	SVP within boeing		EXTRACTOR FAN (wall)
	STUB STACK and Derge within boeing		EXTRACTOR FAN (cooker hood)
	INTERNAL DRAINAGE		VENT (tumble dryer)
	RAIN WATER PIPE		FIRE DOORS - to be 30 minute fire integrity with self-closing device
	EXTRACTOR FAN (ceiling)		MOVEMENT JOINT (R) in Render only
	EXTRACTOR FAN (wall)		CONCRETE PADSTONE refer to structural engineers details
	EXTRACTOR FAN (cooker hood)		FINISH DIMENSIONS critical dimensions taken to the finished face & not point of finishes
	VENT (tumble dryer)		Dimension indicates opening size with brick check reveals, where openings are in render add 50mm
	FIRE DOORS - to be 30 minute fire integrity with self-closing device		
	MOVEMENT JOINT (R) in Render only		
	CONCRETE PADSTONE refer to structural engineers details		
	FINISH DIMENSIONS critical dimensions taken to the finished face & not point of finishes		
	Dimension indicates opening size with brick check reveals, where openings are in render add 50mm		
			ESCAPE WINDOW - to comply with Building Regulations AD Part B
			SAFETY GLAZING to comply with Building Regulations AD Part N
			OSCURE GLAZING refer to spec for pattern/type
			THRESHOLD to comply with Building Regulation AD Part M
			FIXED GLAZING non-opening window
			CAVITY BARRIER at party wall junctions

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C2	Padstone position updated in line with roof plan.	21-04-22	CW
C1	Issued for CONSTRUCTION. Shower tray size updated.	03-02-22	CW
T4	Loft access (doors + hatch) adjusted in line with truss design.	22-12-21	CW
T3	Wardrobe notation added.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR
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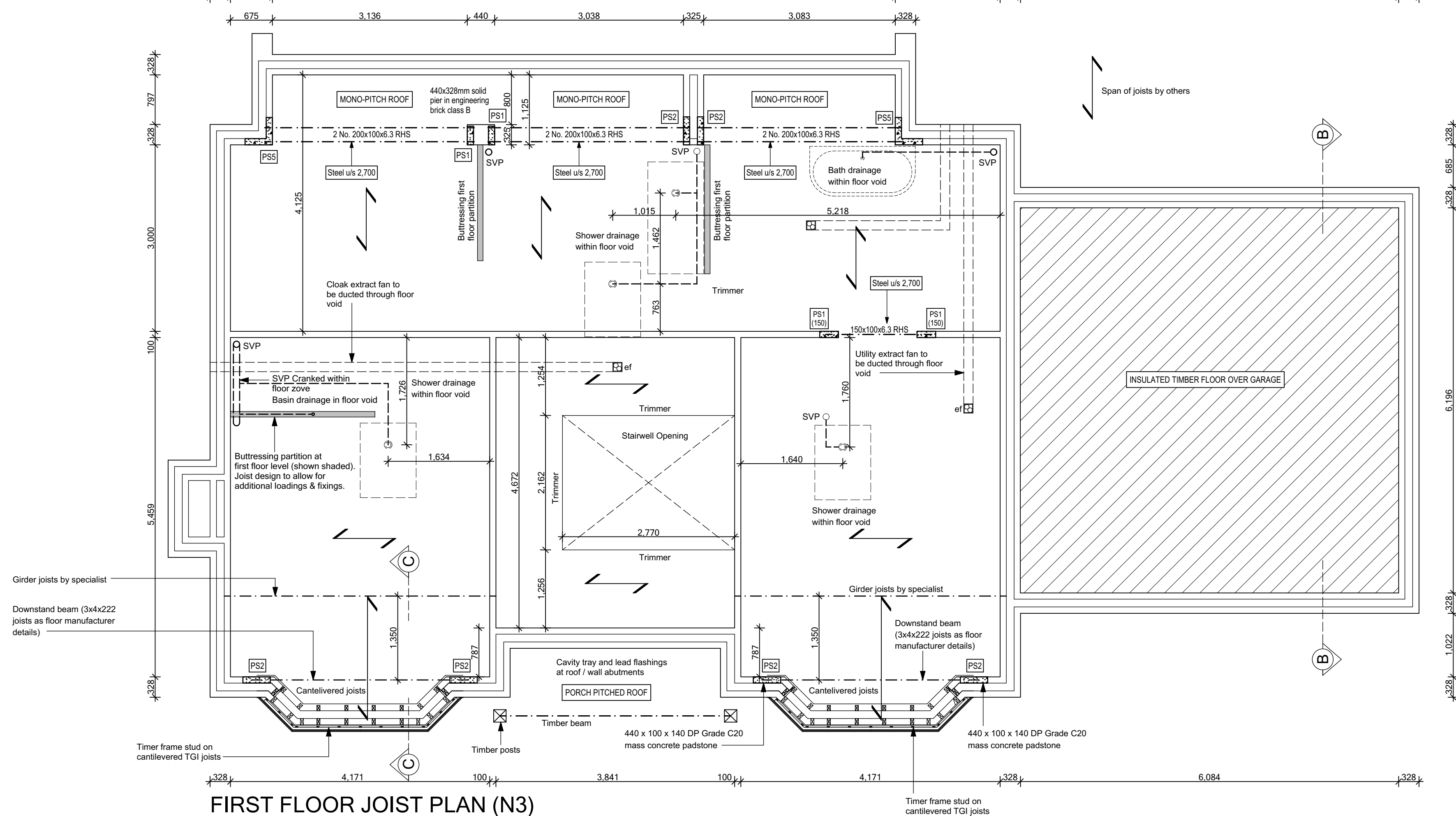
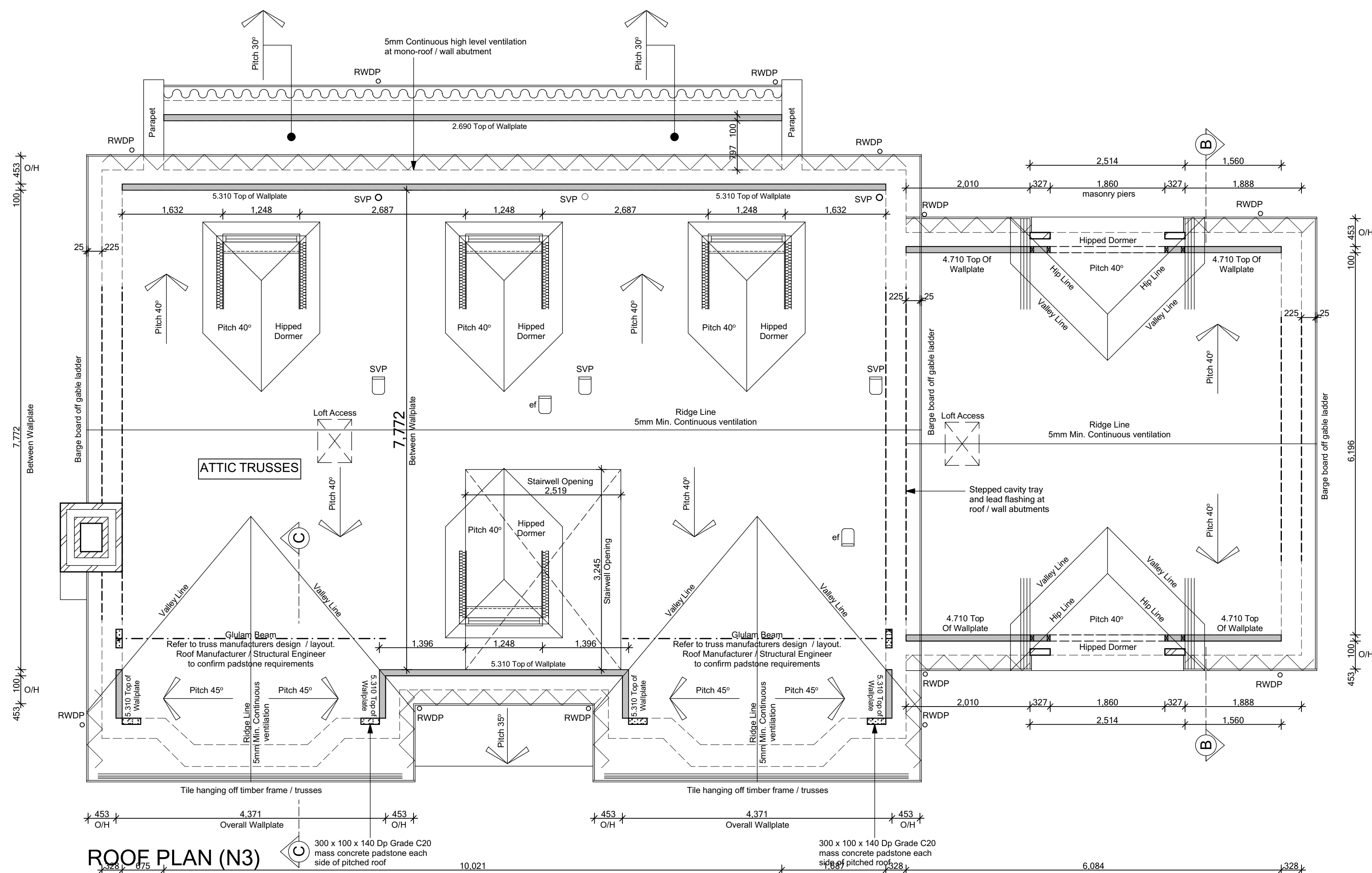
PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
CHARTWELL (N3)

DRAWING TITLE:
Second Floor Plan
'General Arrangement'

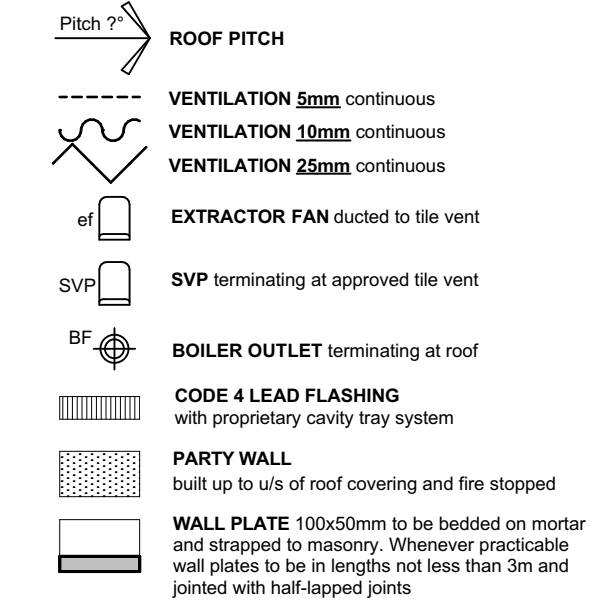
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1:50 @ A1	May 2021	AD	
JOB NO:	DRAWING NO:	REVISION:	
801	N3-A-04	C2	
STATUS: CONSTRUCTION			

Plot No.
As - 4, 5.
Ha - .



ROOF legend

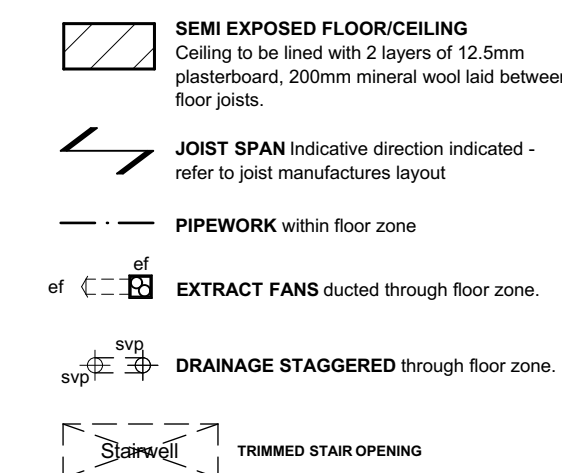
Prefabricated trussed rafters (to BS 5268 Part 11 1985) to be designed by specialist supplier. Main roof finish secured in accordance with manufacturer's recommendation regarding pitch and exposure.



THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULLSPECIFICATION INCLUDED IN THE HOUSE TYPE PACK

JOIST legend

FLOOR CONSTRUCTION
22mm T & G moisture resistant floorboards on 220mm deep Engineered joist system by specialist, ceilings to be lined with 15mm Gyproc wallboard. Floor to achieve 40db as required in Building Regulations, Part E. NOTE; insulation may be required between joist, always check joist manufactures literature for details



FOR JOIST LAYOUT REFER TO JOIST
MANUFACTURER'S DRAWINGS

C4	Loft access added to Master Bedroom.	21-12-22	CW
C3	Glulam beam / padstone position updated.	21-12-22	CW
C2	Cooker MV position updated, ducted within floor void.	01-03-22	CW
C1	Issued for CONSTRUCTION.		
	Ensure shower drainage updated, SVP removed.	03-02-22	CW
T6	Garage hipper dormer updated, trusses repositioned.	17-01-22	CW
T5	Loft access adjusted in line with truss design, dormer updated to detail.	22-12-21	CW
T4	Specification show tray + drainage dimensions added.	11-11-21	CW
T3	Kitchen ceiling MV removed.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV:	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:

Land North of Lisvane Road

HOUSETYPE NAME:
CHARTWELL (N3)

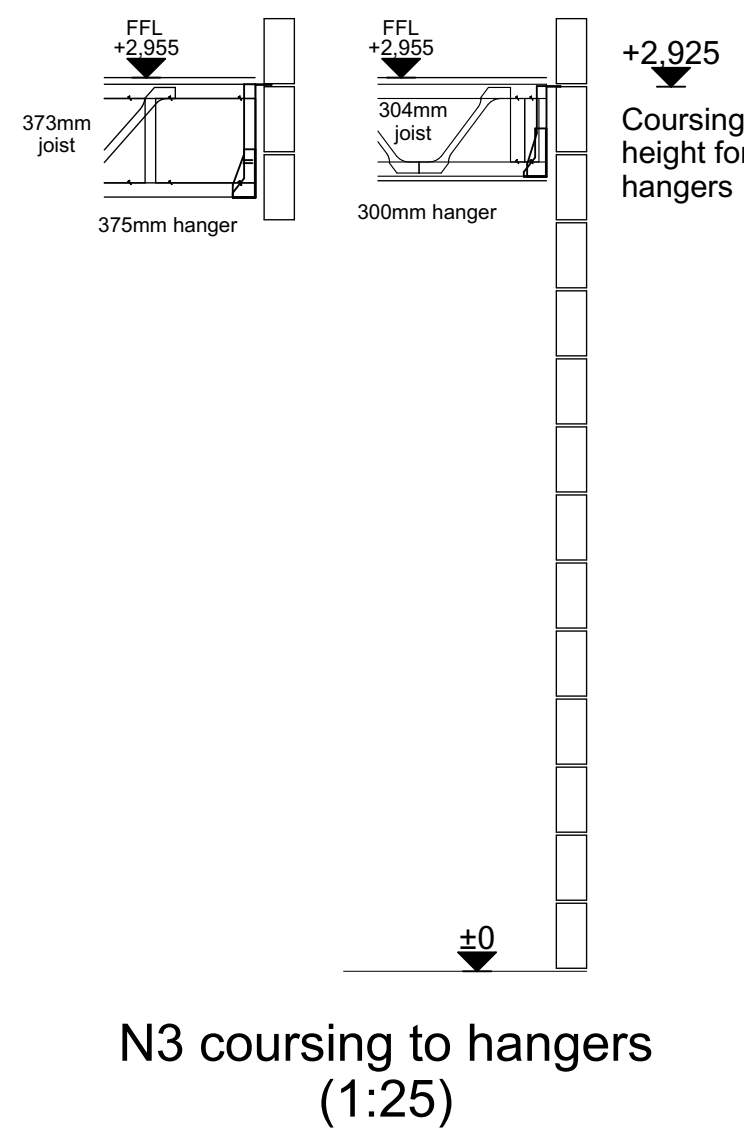
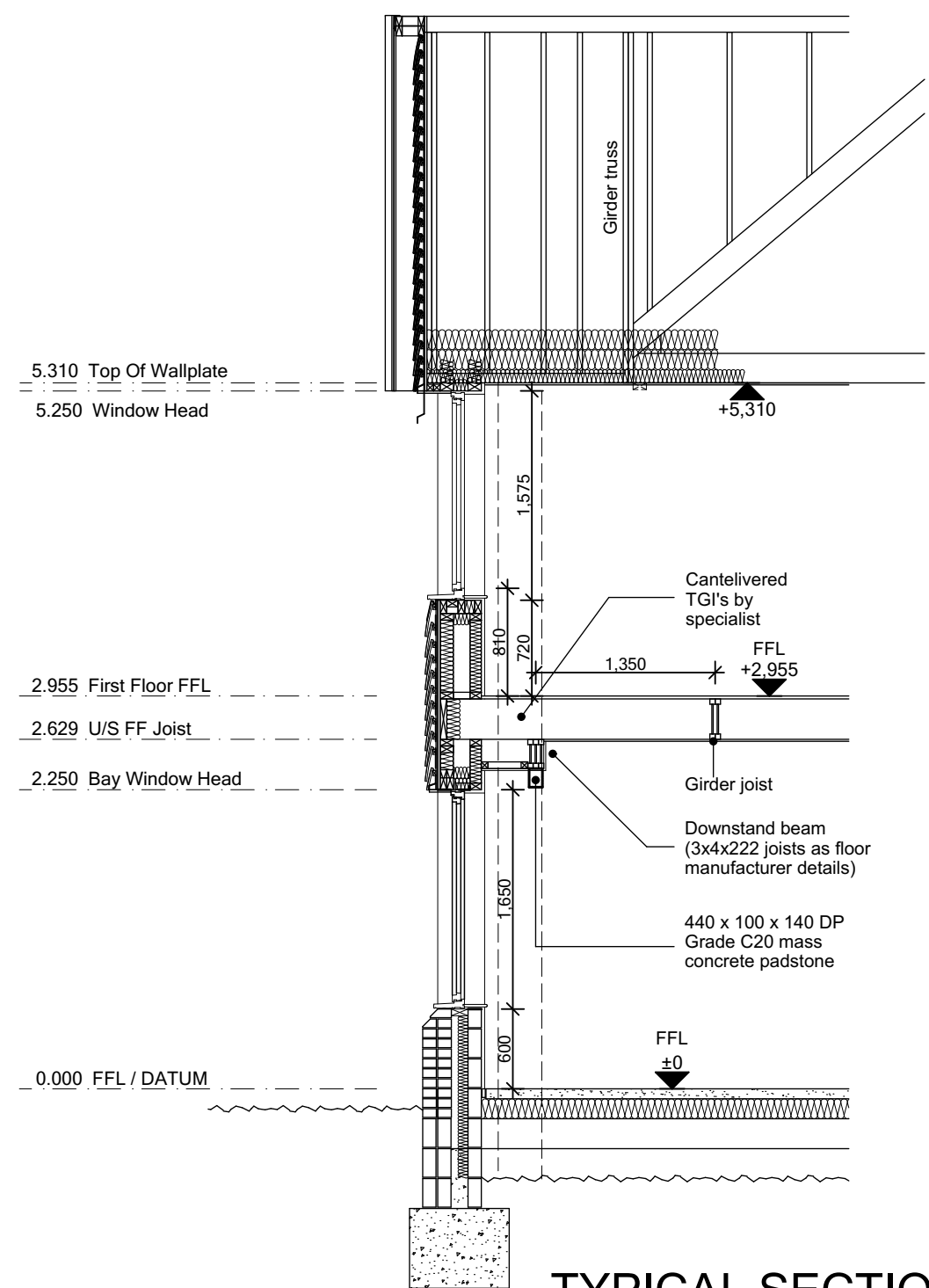
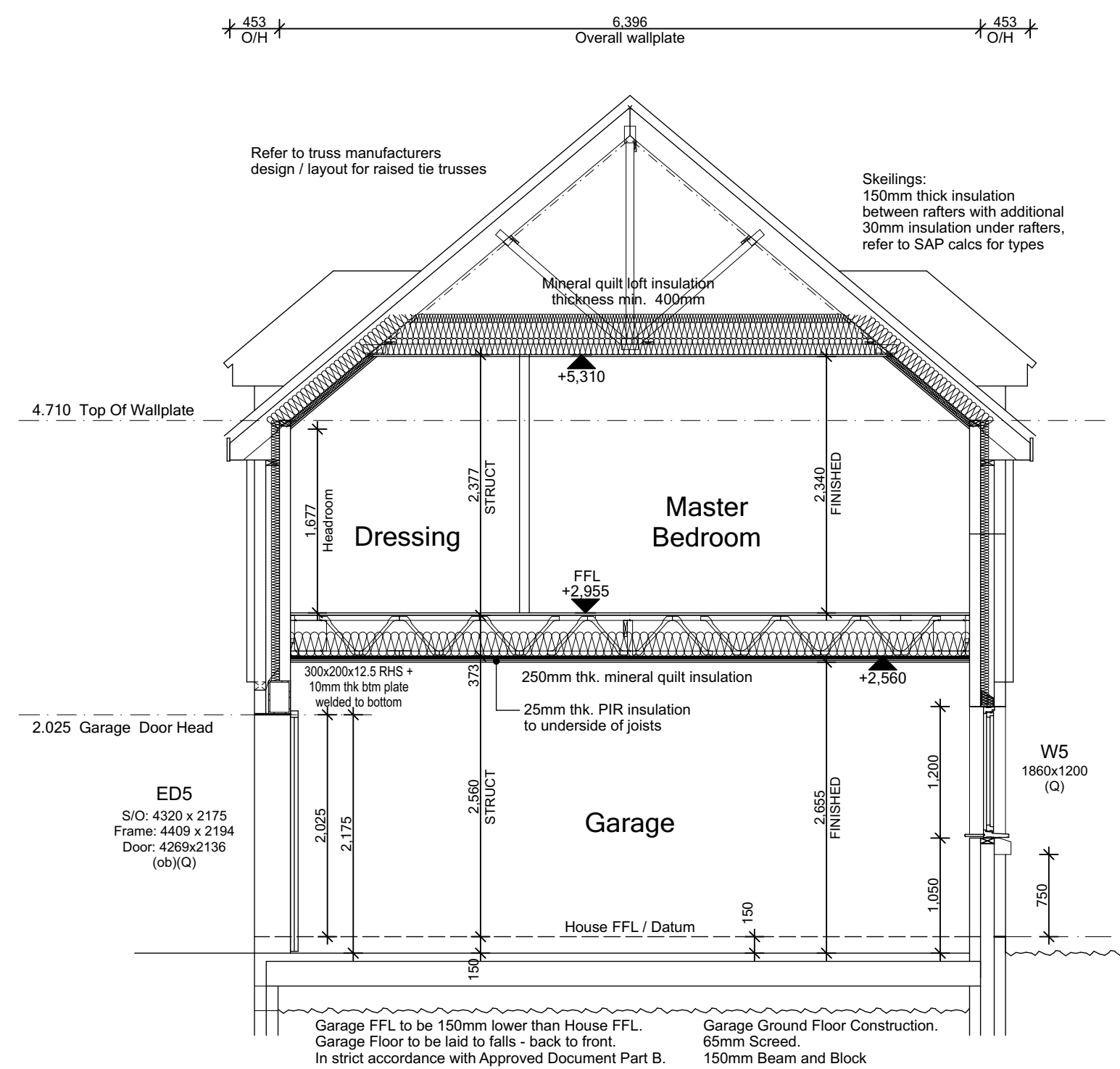
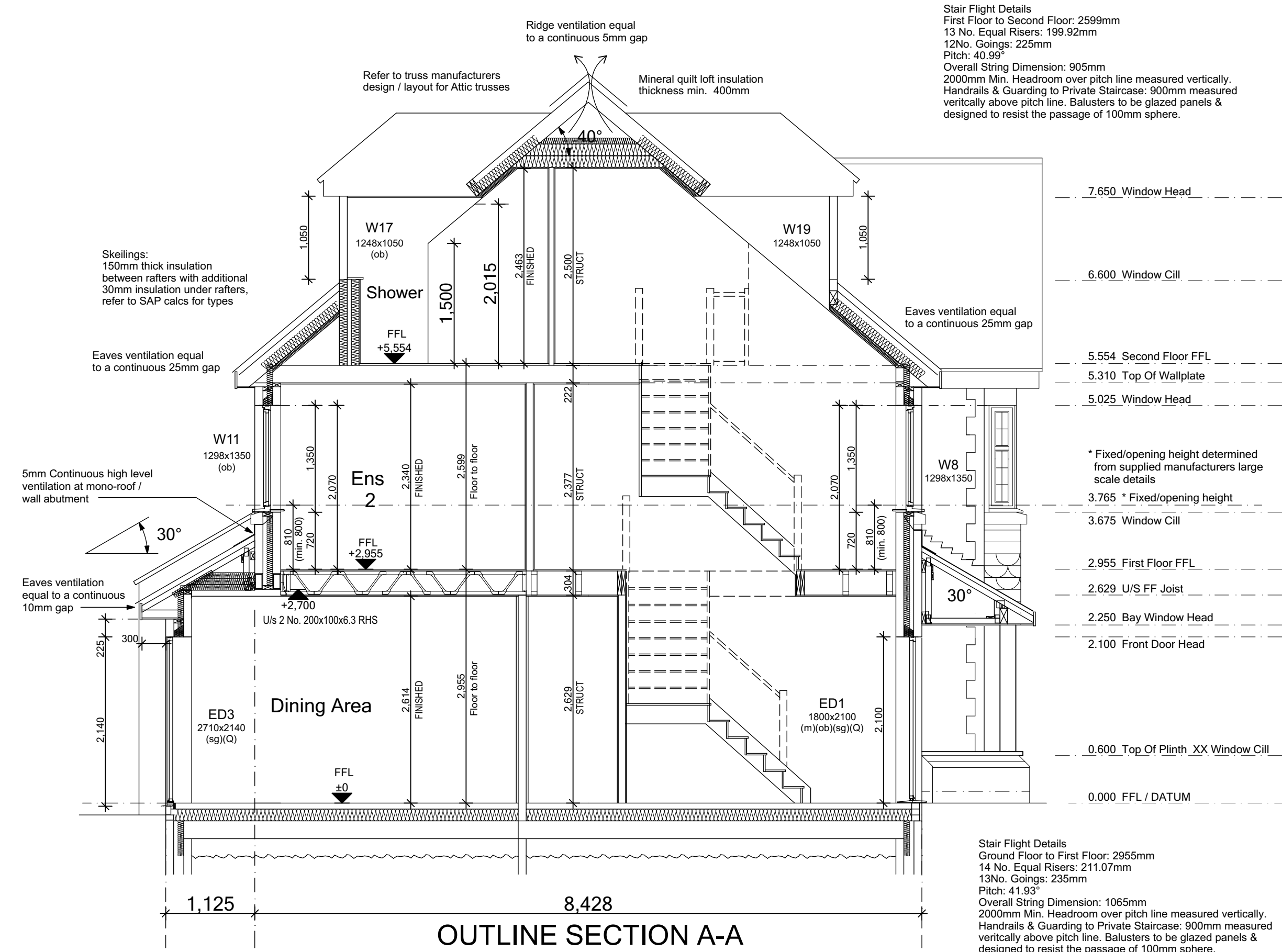
DRAWING TITLE:

First Floor Joist Plan
Roof Plan

SCALE: 1:50 @ A1 DATE: May 2021 DRAWN BY: AD CHECKED BY:

JOB NO: 801	DRAWING NO: N3-A-05	REVISION: C4
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STATUS:
CONSTRUCTION



C1	Issued for CONSTRUCTION	03-02-22	CW
T4	Specialist trusses + joists added, first floor FFL adjusted to suit coursing / hangers. Staircase parameters updated. Entrance canopy repositioned. Insulation added to garage ceiling. Level threshold removed from rear bi-fold doors.	22-12-21 05-11-21	CW CW
T3	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV:	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
CHARTWELL (N3)

DRAWING TITLE:
Sections

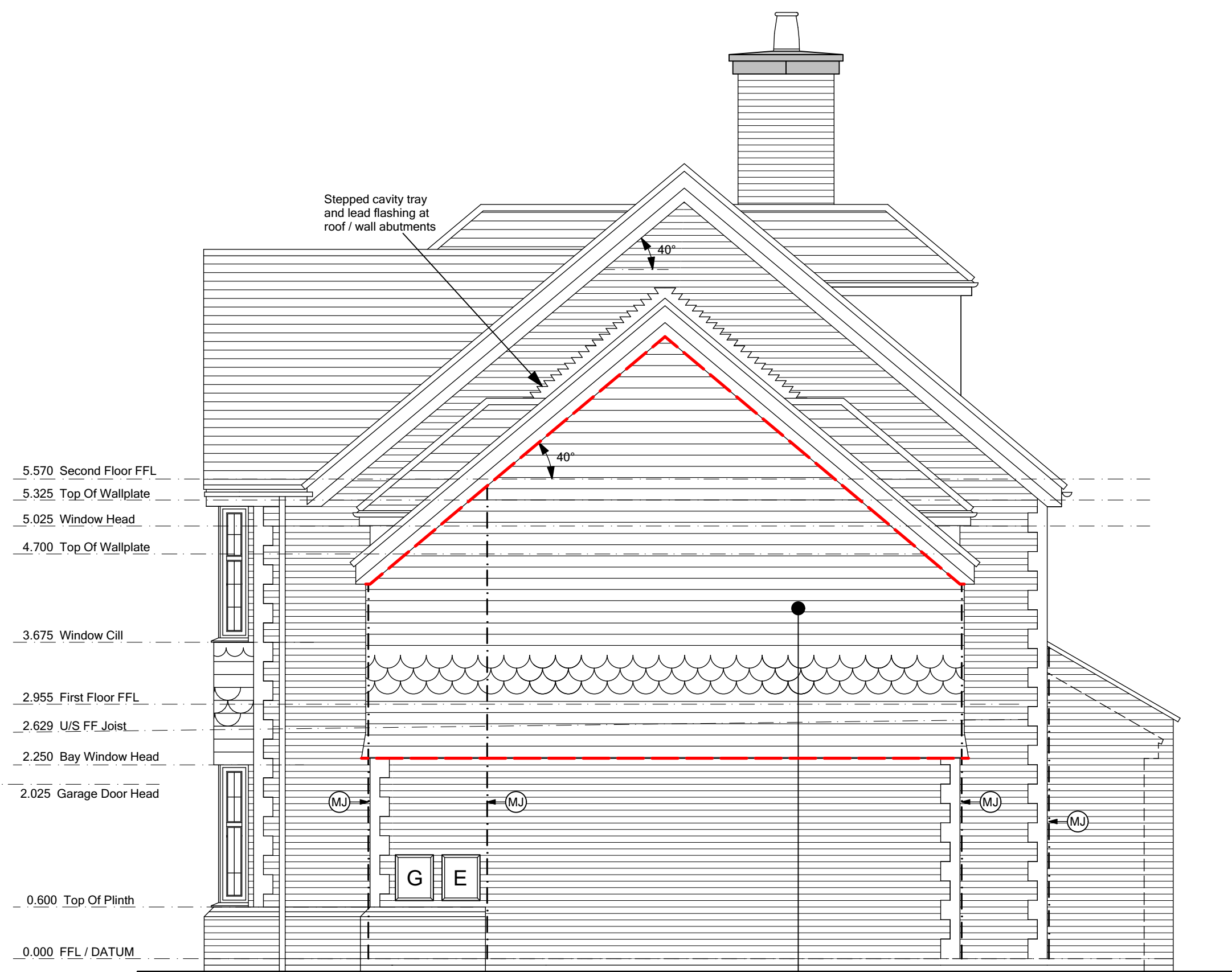
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DATE: May 2021
DRAWN BY: AD
CHECKED BY:

JOB NO: 801
DRAWING NO: N3-A-06
REVISION: C1

STATUS:
CONSTRUCTION



Front Elevation



Side Elevation

ELEVATION legend

- br BRICK OUTLET and metal panel (due terminal cut, shown for any opening)
- chf COOKER HOOD extractor fan ducted thru wall
- ef EXTRACTOR FAN ducted thru wall
- iv VENT ducted thru wall for tumble dryer / washer dryer
- ef EXTRACTOR FAN ducted to the vent
- sfp SFP terminating at approved tile vent
- wi EXTERNAL WALL LIGHT refer to spec for type/style
- ew ESCAPE WINDOW comply with Building Regulations AD Part B
- sg SAFETY GLAZING to comply with Building Regulations AD Part N
- ob OBSCURE GLAZING refer to spec for pattern/type
- m THRESHOLD to comply with Building Regulation AD Part M
- fx FIXED GLAZING non-opening window
- m THRESHOLD to comply with Building Regulation AD Part M
- G GAS METER wall mounted
- G GAS METER Universal box
- E ELECTRIC METER wall mounted
- MJ MOVEMENT JOINT

Brick Finish:

- Movement joints at max. 12m c/c's
- Outer leaf in brickwork
- Inner leaf blockwork strength (min.) 7.3N/mm²

Render / Cladding Finish:

- Movement joints at max. 6m c/c's (subject to manufacturers requirements)
- Outer leaf blockwork strength (min.) 3.6N/mm² with blockwork density less than 1500kg/m³
- Inner leaf blockwork strength (min.) 7.3N/mm²

Bedjoint reinforcement to enhance MJ's

This is for render/cladding finish with blockwork density less than 1500kg/m³

- Bed joint reinforcement on outer leaf at 225mm vertical centres - movement joints at max. 10m c/c's
- Bed joint reinforcement on outer leaf at 450mm vertical centres - movement joints at max. 8m c/c's

Bedjoint reinforcement at Openings

- Bed joint reinforcement will be required above and below window/door openings as standard practise.
- Usually first two courses of the external leaf above and below openings and 600mm minimum pass edge of window/door opening where possible.

CAVITY FIRE BARRIERS SET WITHIN EXTERNAL CLADDING


HORIZONTAL INTUMESCENT STRIPS IN CLADDING CAVITIES. VENTILATION TO BE MAINTAINED. 'TENMAT' OR SIMILAR APPROVED.

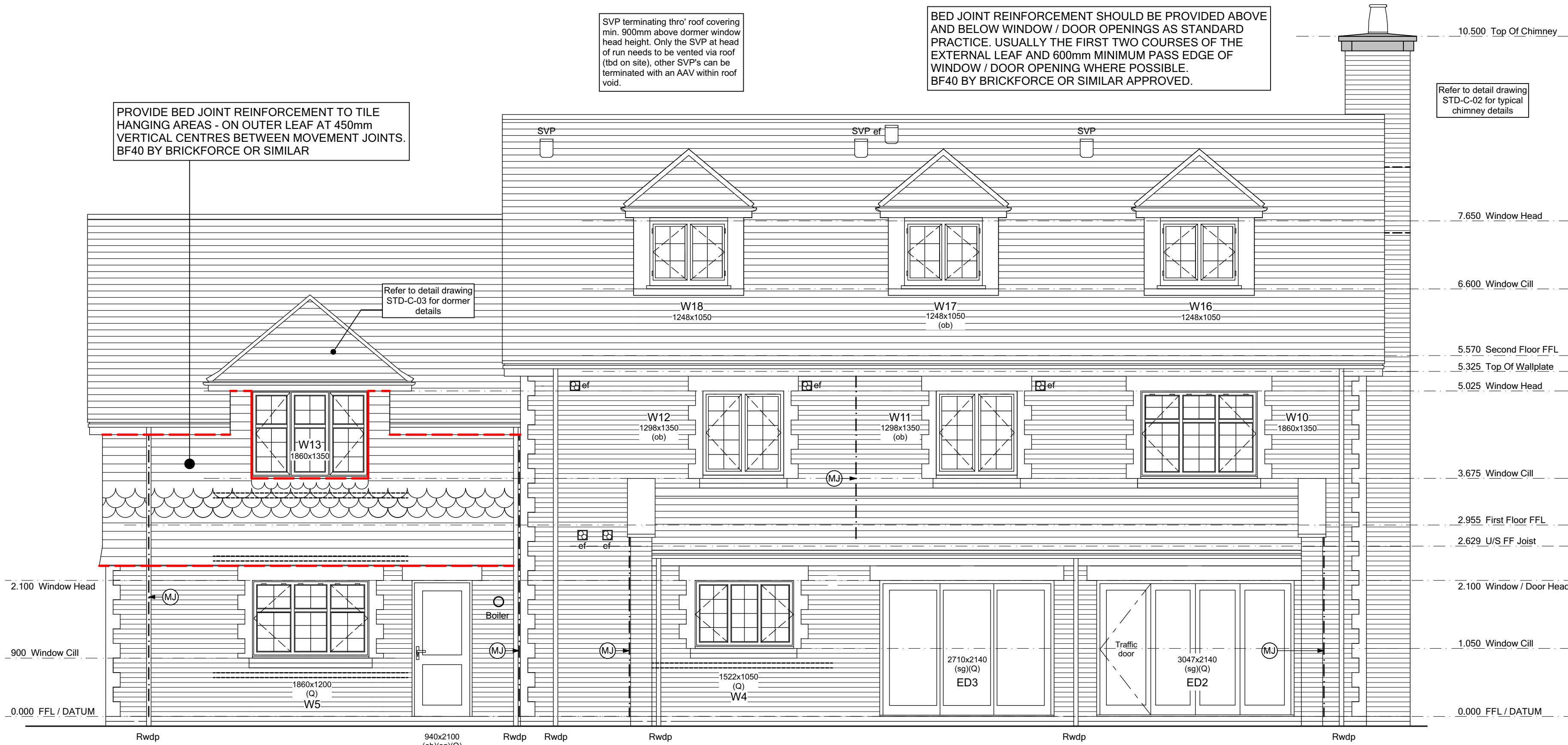
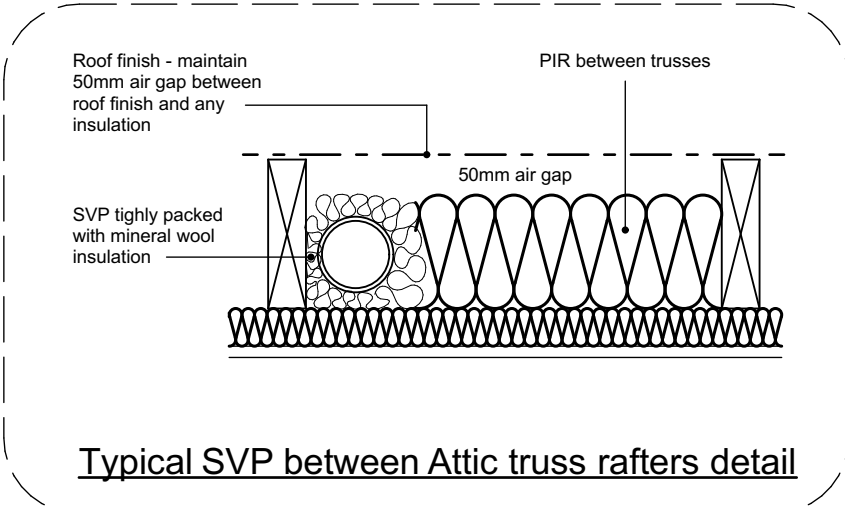
VERTICAL CAVITY BARRIERS IN CLADDING CAVITIES.

FIRE STOPPING AROUND ALL OPENINGS SET WITHIN CLADDING. HORIZONTAL AND VERTICAL STOPPING.

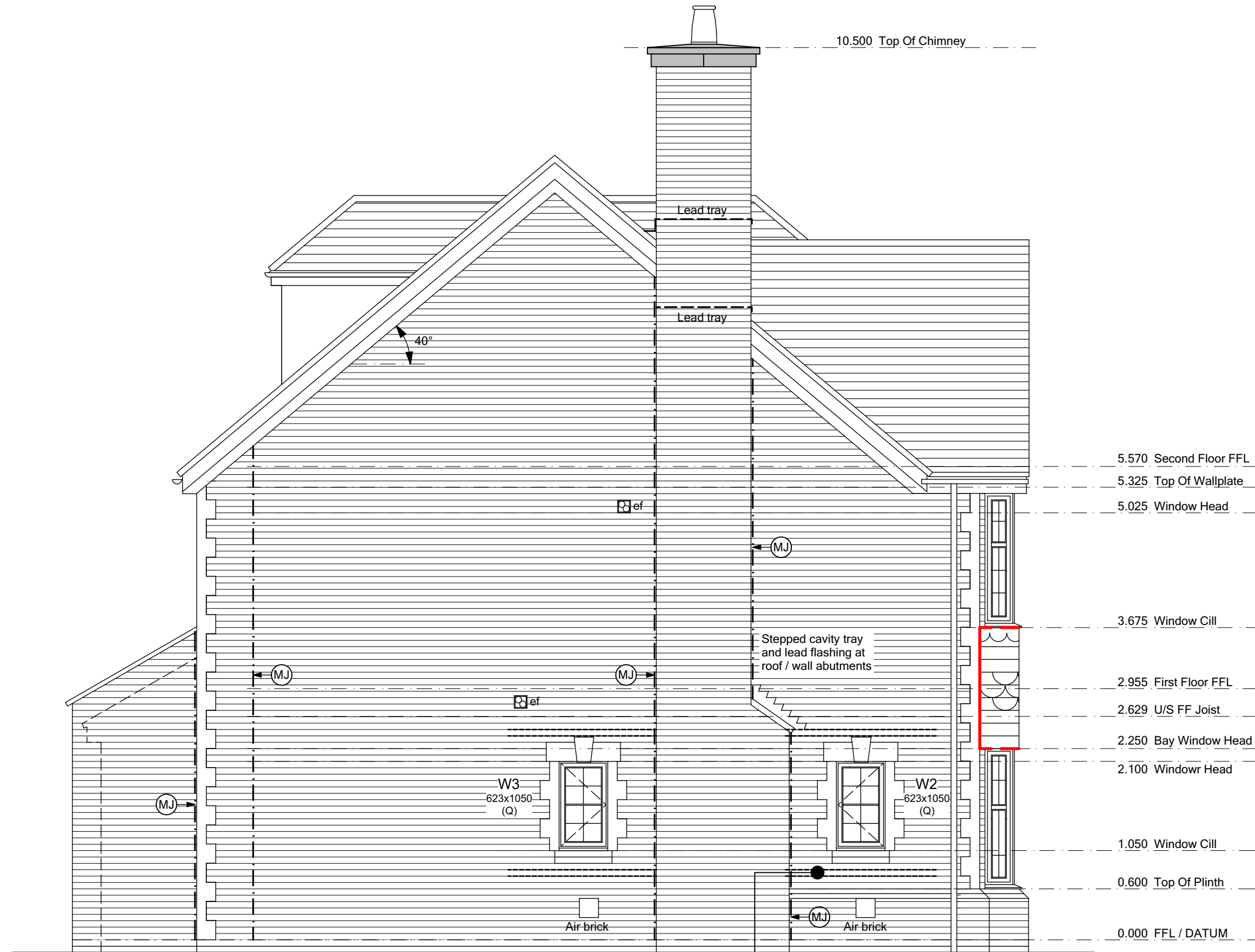
ALL DUCTING AND FLUES ETC (MV's / BOILER FLUES) PENETRATING THE CLADDING TO BE FIRE PROTECTED. PROVIDE FIRE BARRIER TO THE ENTIRE PERIMETER OF FLUE / DUCT WITHIN THE CONCEALED CAVITY.

C1	Issued for CONSTRUCTION	03-02-22	CW
T4	First floor FFL adjusted to suit coursing / hangers, Chimney updated - lead tray & stone requirements, Garage dormers updated in line with detail, W8 updated.	22-12-21	CW
T3	Lower lead tray added to chimney.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR
			
CLIENT: Edenstone Group Building 102, Wales 1, Business Park Magor NP26 3DG			
PROJECT DETAILS: Land North of Lisvane Road			
HOUSETYPE NAME: CHARTWELL (N3)			
DRAWING TITLE: Front & Side Elevation			
SCALE: 1:50 @ A1	DATE: May 2021	DRAWN BY: AD	CHECKED BY:
JOB NO: 801	DRAWING NO: N3-A-07	REVISION: C1	
STATUS: CONSTRUCTION			



Rear Elevation



Side Elevation

BED JOINT REINFORCEMENT SHOULD BE PROVIDED ABOVE AND BELOW WINDOW / DOOR OPENINGS AS STANDARD PRACTICE. USUALLY THE FIRST TWO COURSES OF THE EXTERNAL LEAF AND 600mm MINIMUM PASS EDGE OF WINDOW / DOOR OPENING WHERE POSSIBLE. BF40 BY BRICKFORCE OR SIMILAR APPROVED.

ELEVATION legend

- bdr BOILER OUTLET and metal pipe (due terminal cut, above roof any opening c/c)
- chef COOKER HOOD extractor fan ducted thro' wall
- ef EXTRACTOR FAN ducted thro' wall
- iv VENT ducted thro' wall for tumble dryer / washer dryer
- ef EXTRACTOR FAN ducted to the vent
- svp SVP terminating at approved tile vent
- wi EXTERNAL WALL LIGHT refer to spec for type/style
- (bw) ESCAPE WINDOW to comply with Building Regulations AD Part B
- (sg) SAFETY GLAZING to comply with Building Regulations AD Part N
- (ob) OBSCURE GLAZING refer to spec for pattern/type
- (m) THRESHOLD to comply with Building Regulation AD Part M
- (fx) FIXED GLAZING non-opening window
- (m) THRESHOLD to comply with Building Regulation AD Part M
- G GAS METER wall mounted
- G GAS METER Universal box
- E ELECTRIC METER wall mounted
- MJ MOVEMENT JOINT

Brick Finish:

- Movement joints at max. 12m c/c's
- Outer leaf in brickwork
- Inner leaf blockwork strength (min.) 7.3N/mm²

Render / Cladding Finish:

- Movement joints at max. 6m c/c's (subject to manufacturers requirements)
- Outer leaf blockwork strength (min.) 3.6N/mm² with blockwork density less than 1500kg/m³
- Inner leaf blockwork strength (min.) 7.3N/mm²

Bedjoint reinforcement to enhance MJ's

This is for render/cladding finish with blockwork density less than 1500kg/m³

- Bed joint reinforcement on outer leaf at 225mm vertical centres - movement joints at max. 10m c/c's
- Bed joint reinforcement on outer leaf at 450mm vertical centres - movement joints at max. 8m c/c's

Bedjoint reinforcement at Openings

- Bed joint reinforcement will be required above and below window/door openings as standard practise.
- Usually first two courses of the external leaf above and below openings and 600mm minimum pass edge of window/door opening where possible.

CAVITY FIRE BARRIERS SET WITHIN EXTERNAL CLADDING

HORIZONTAL INTUMESCENT STRIPS IN CLADDING CAVITIES. VENTILATION TO BE MAINTAINED. 'TENMAT' OR SIMILAR APPROVED.

VERTICAL CAVITY BARRIERS IN CLADDING CAVITIES.

FIRE STOPPING AROUND ALL OPENINGS SET WITHIN CLADDING. HORIZONTAL AND VERTICAL STOPPING.

ALL DUCTING AND FLUES ETC (MV's / BOILER FLUES) PENETRATING THE CLADDING TO BE FIRE PROTECTED. PROVIDE FIRE BARRIER TO THE ENTIRE PERIMETER OF FLUE / DUCT WITHIN THE CONCEALED CAVITY.

C2	Cooker MV updated to rear elevation.	01-03-22	CW
C1	Issued for CONSTRUCTION. SVP note and detail added.	03-02-22	CW
T4	First floor FFL adjusted to suit coursing / hangers. Chimney updated - lead tray & stone requirements. Garage dormers updated in line with detail, W9 updated.	22-12-21	CW
T3	Level threshold removed from rear bi-fold doors, lower lead tray added to chimney, kitchen MV repositioned.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

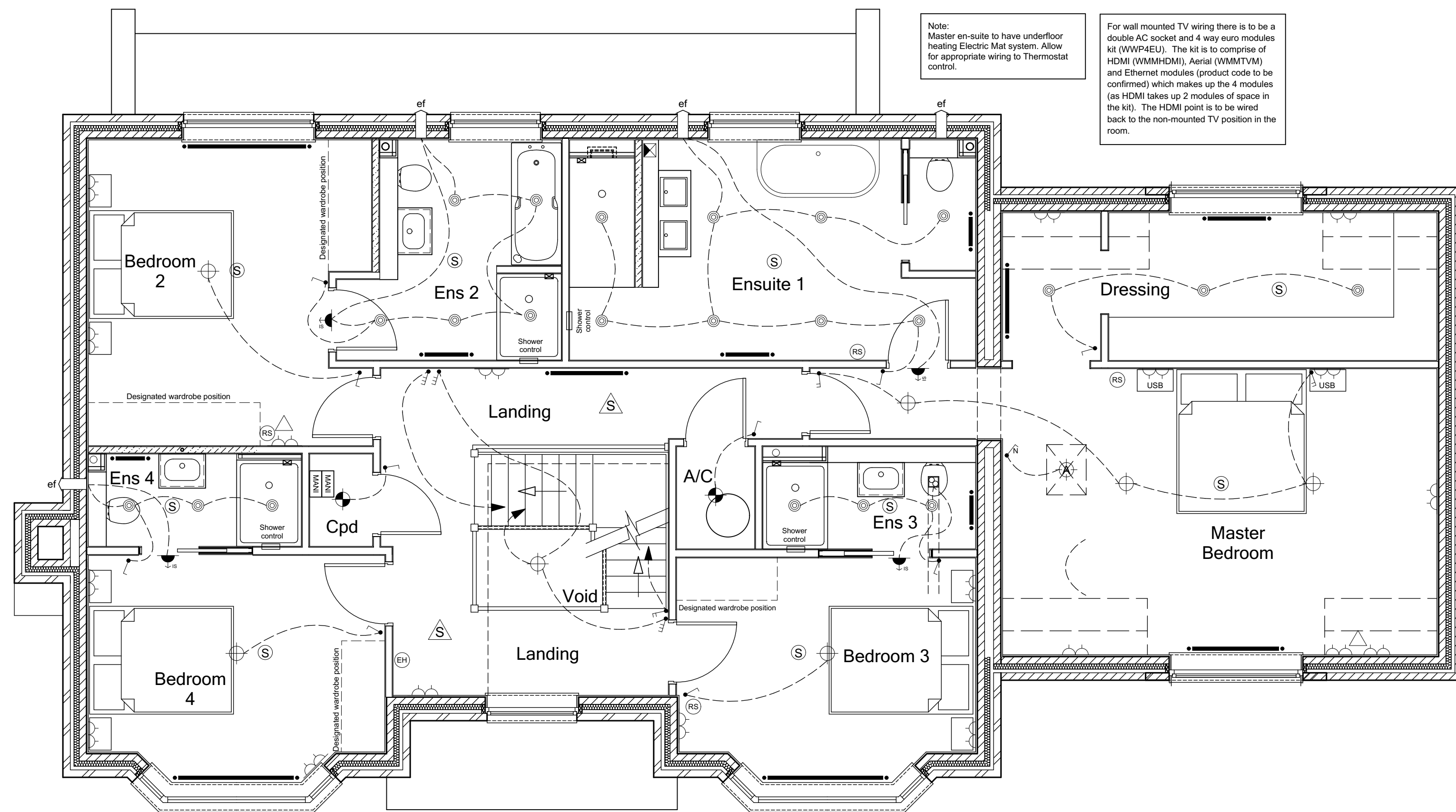
HOUSETYPE NAME:
CHARTWELL (N3)

DRAWING TITLE:
Rear & Side Elevation

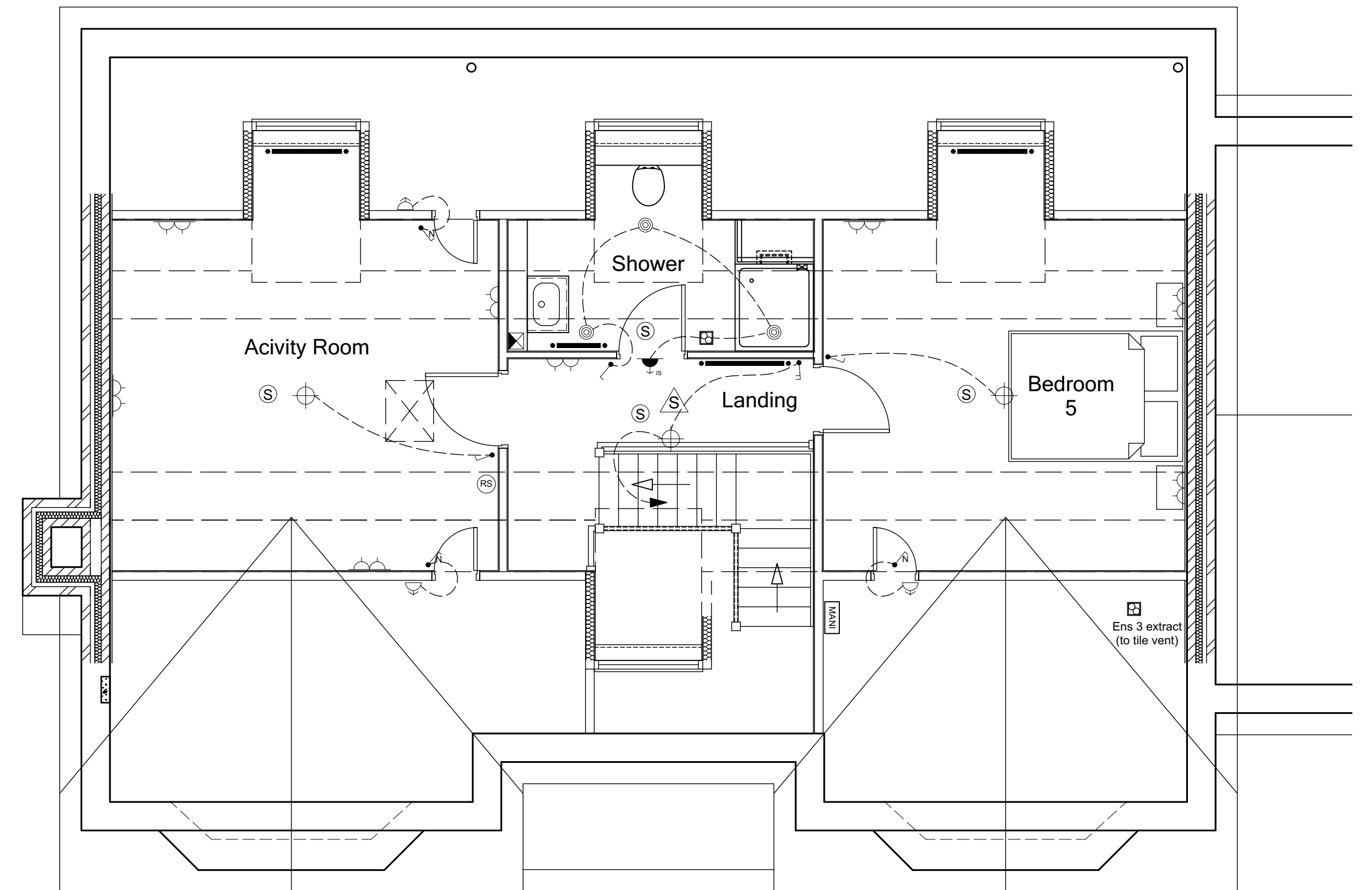
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DATE: May 2021
DRAWN BY: AD
CHECKED BY:

JOB NO: 801
DRAWING NO: N3-A-08
REVISION: C2

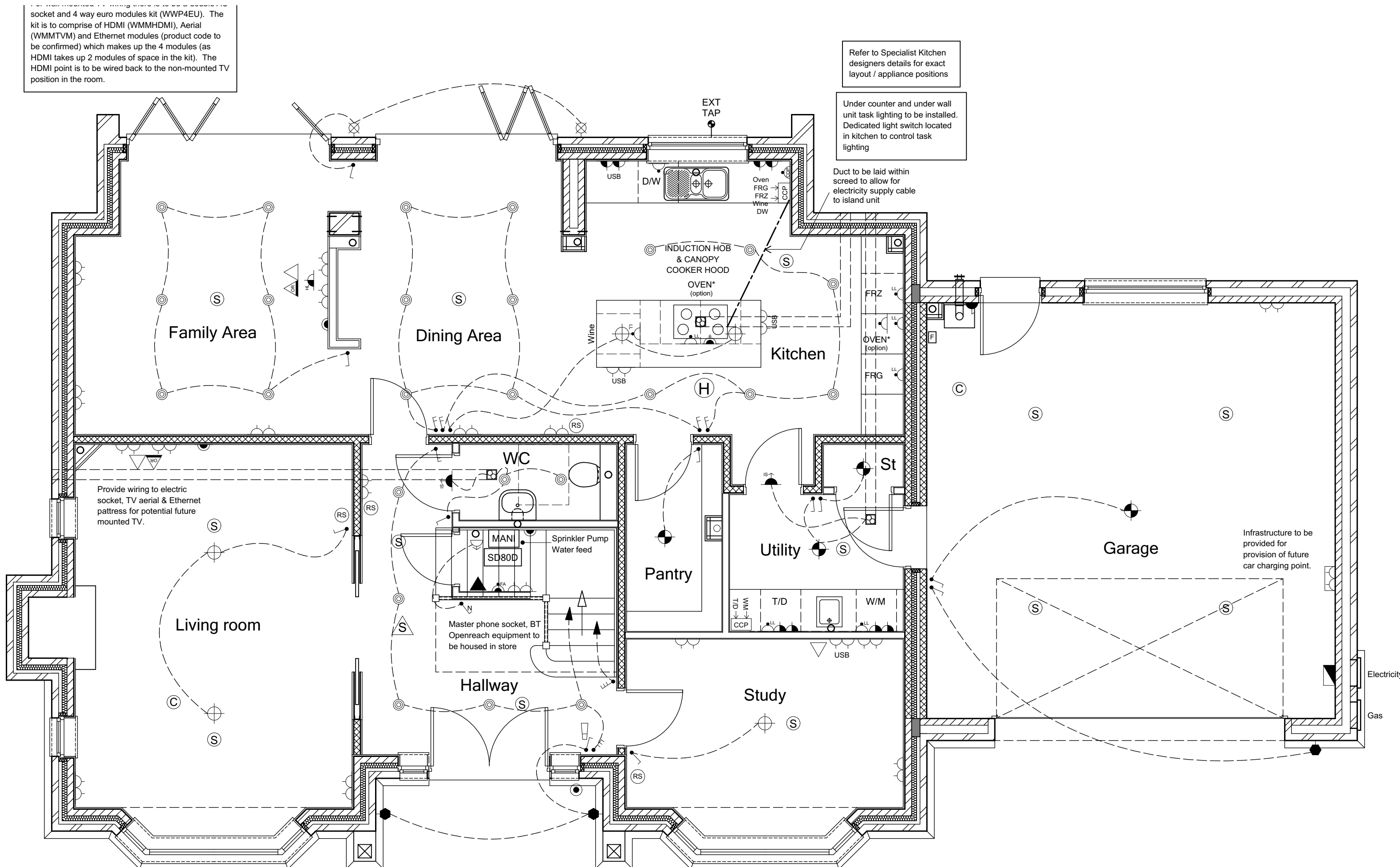
STATUS:
CONSTRUCTION



FIRST FLOOR PLAN



SECOND FLOOR PLAN



GROUND FLOOR PLAN

ELECTRICAL legend

- Single switched socket - Above worktop
- Double switched socket - Above worktop
- Single switched socket
- Double switched socket
- Double switched socket with USB sockets
- Infrastructure to be provided for provision of future car charging point.
- Switched fused spur 1900mm above finished floor level for cooker hood
- Switched fused spur with neon indicator
- Switched fused spur for kitchen extractor
- Boiler isolation switch
- Switched fused spur socket
- High level switched socket
- Shaver socket without light
- Gas point
- Consumer Unit - to be fitted at 1500mm from floor level
- Smoke detector - Mains operated
- Carbon monoxide detector interlinked system
- Extractor fan (wall)
- Switched fused spur for future alarm
- Switched fused spur for future startlift
- Handheld shower
- Media output TV/Sat/Internet above kitchen worktop
- 3 Pole fan isolator
- High level unswitched socket
- Low level unswitched socket
- Double pole isolator switch
- 32 amp Double pole isolator switch for hob above worktop
- Cooker outlet plate
- Room Thermostat
- Nest GEN 3 Smart Programmable Thermostat
- Master phone socket
- Media output TV/Sat/Internet
- Openreach output TV/Sat/Internet
- Door bell
- Bell push
- All appliance sockets connected to a central control panel located above worktop level
- Heat detector
- Extractor fan (ceiling)
- Switched fused spur for under floor heating manifold
- Radiator
- Shower valve

THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULL SPECIFICATION INCLUDED IN THE HOUSE TYPE PACK

LIGHTING legend

- One way switch
- Two way switch
- Three way switch
- Pull chord switch
- Switch at high level with neon light
- Dimmer switch
- Ceiling lighting point (Pendant type)
- Ceiling lighting point (Batten type)
- External wall mounted lighting point
- 3 way spotlight
- Recessed Spotlight
- External wall mounted lighting point (PFC)
- Wall mounted light
- Pinet Lighting
- Ceiling lighting point (pendant type) - In attic space
- Ceiling lighting point (pendant type)

HEATING legend

- Evo Home controller
- Room thermostat
- Manifold

C5	Loft access + lighting added to Master Bedroom.	12-12-22	CW
C4	Pendants added over kitchen island, FF landing light updated.	15-11-22	CW
C3	Cloaks towel rail removed, manifolds & room stats added in line with Specialist heating design, bed 2 TV added.	16-09-22	CW
C2	Duct to kitchen island added, kitchen updated in line with Specialists design, cooker MV updated.	01-03-22	CW
C1	Adjustments within kitchen to Specialists design. Consumer Unit relocated as instructed, car charging legend updated.	17-01-22	CW
T4	Wardrobes, sanitary items & landing window updated.	22-12-21	CW
T3	Updates to equipment in garage.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
CHARTWELL (N3)

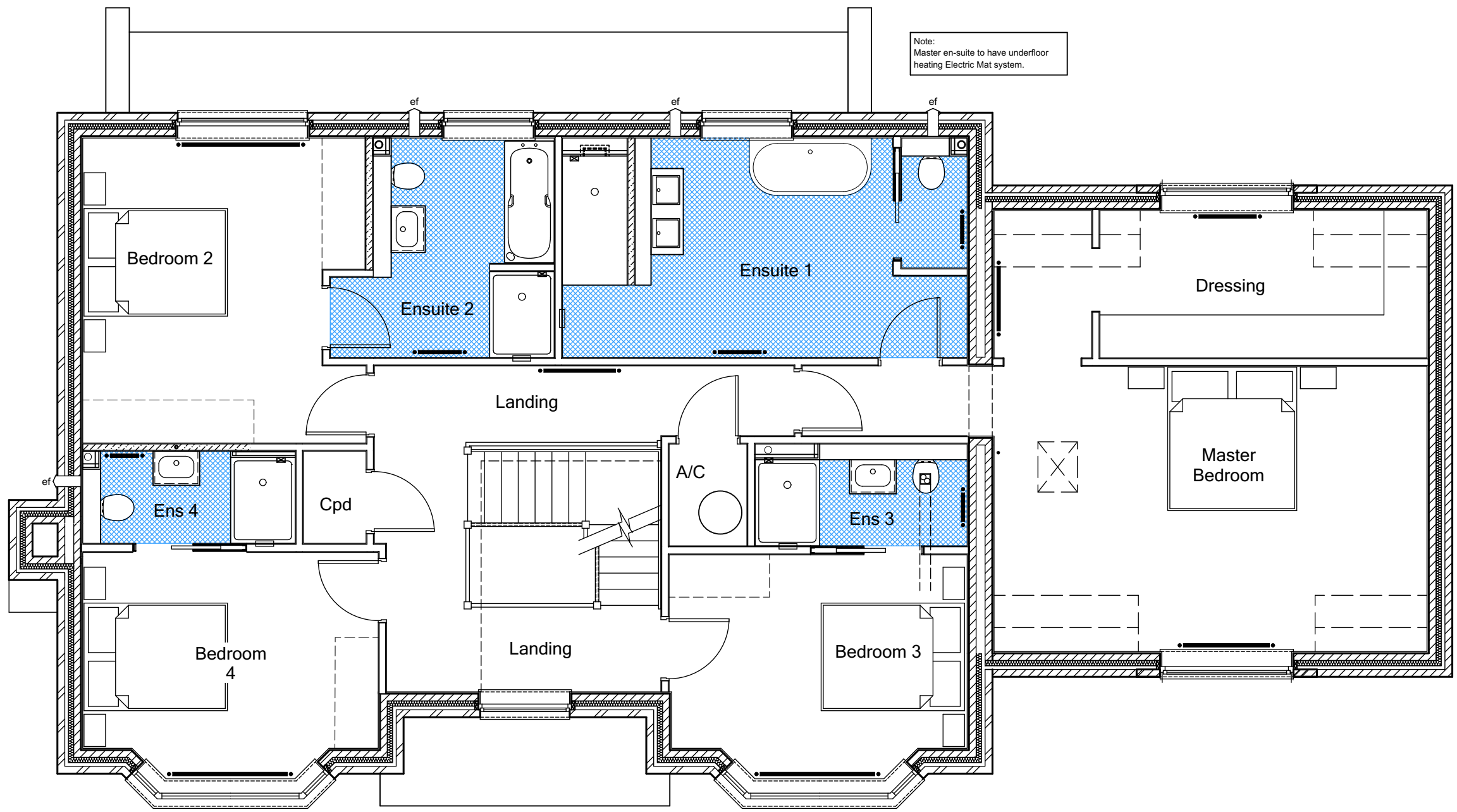
DRAWING TITLE:
Ground, First & Second Floor Plan
M&E Layout

SCALE: 1:50 @ A1 DATE: Sept 2021 DRAWN BY: CW CHECKED BY:

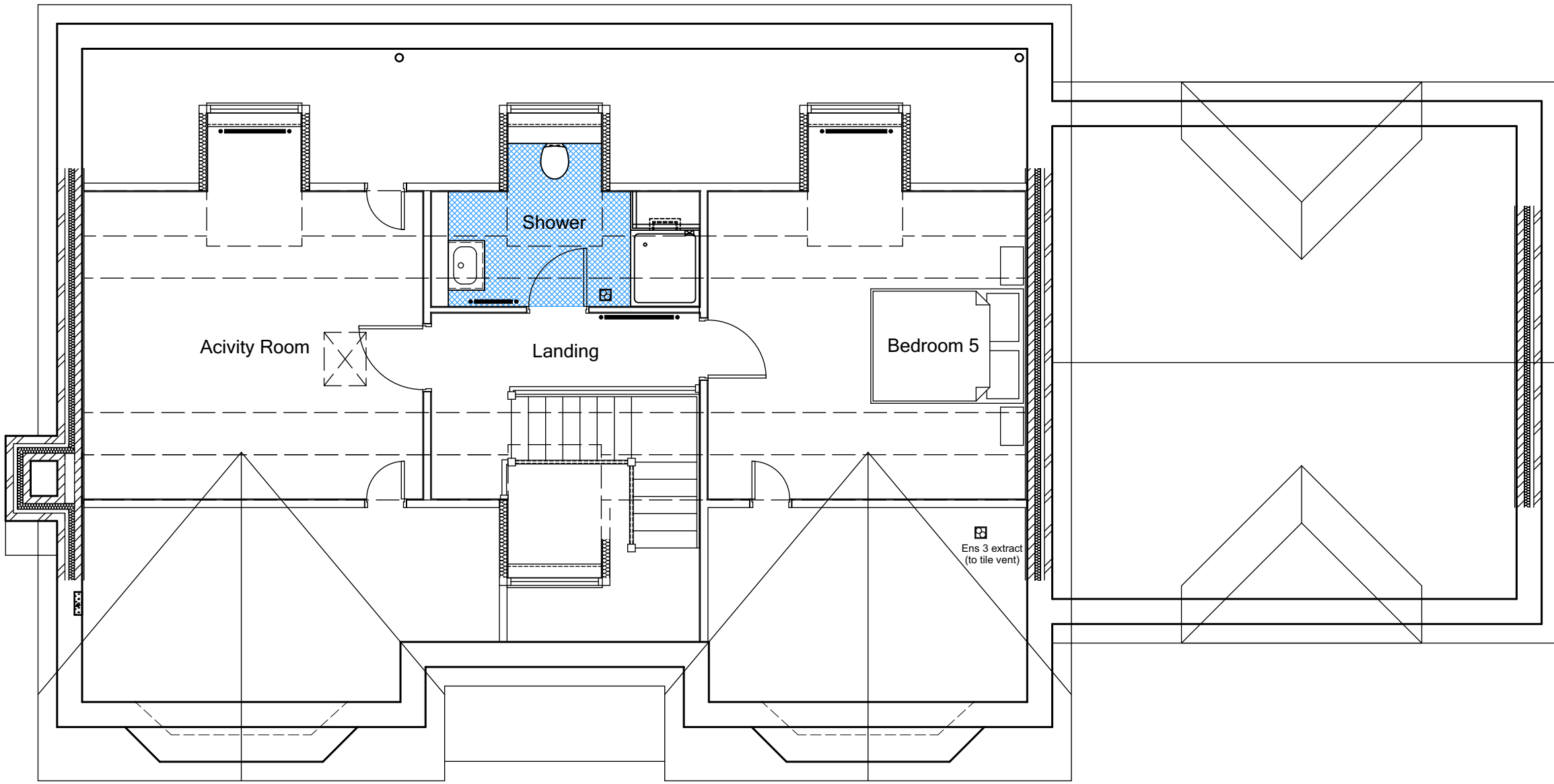
JOB NO: 801 DRAWING NO: N3-A-09 REVISION: C5

STATUS:
CONSTRUCTION

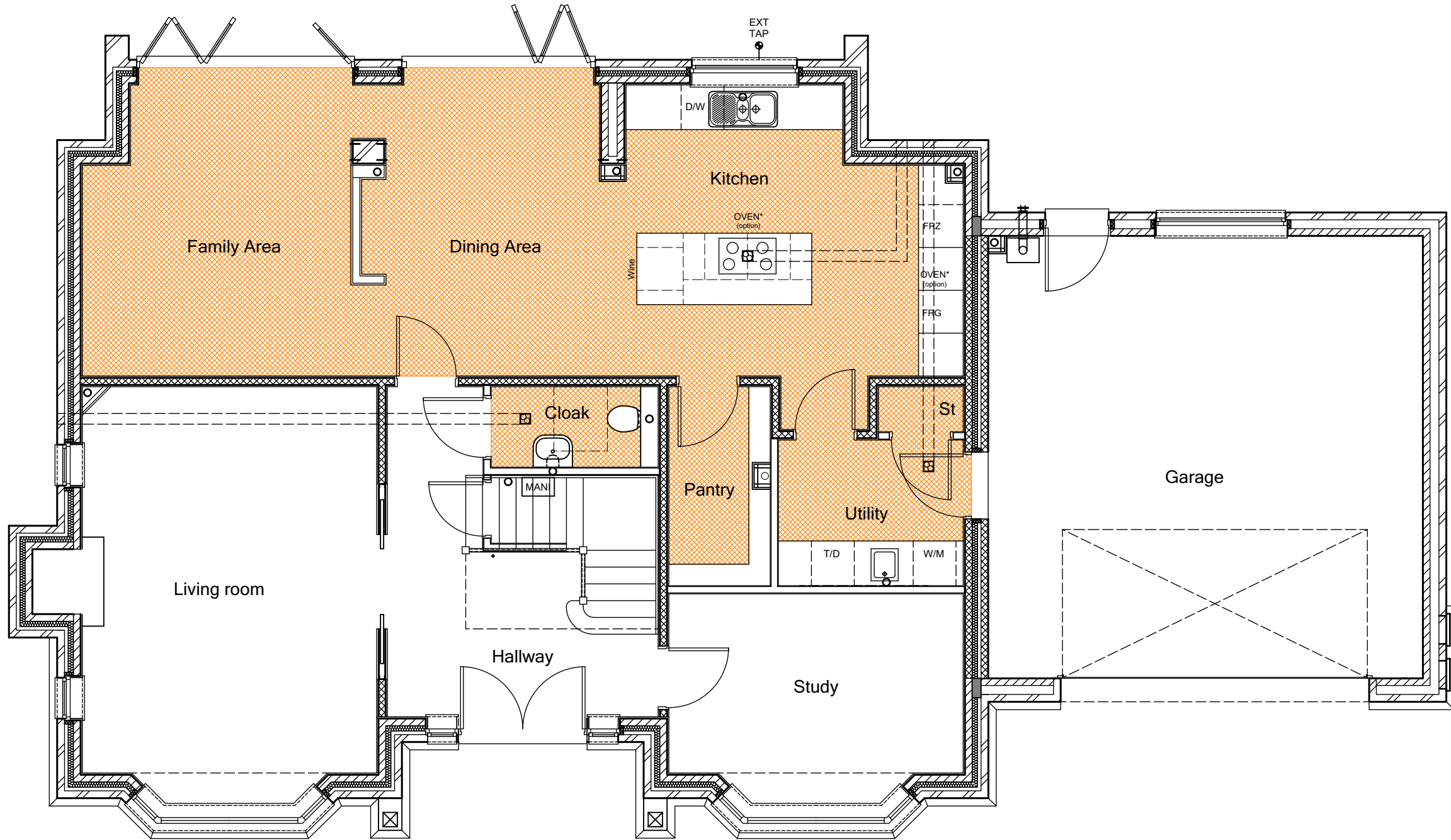
Plot No.
As - 4, 5.
Ha - .



FIRST FLOOR PLAN



SECOND FLOOR PLAN



GROUND FLOOR PLAN

FLOOR FINISH legend

- Customer choice of vinyl strip / ceramic flooring
- Vinyl strip flooring

THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULL SPECIFICATION INCLUDED IN THE HOUSE TYPE PACK

C3	Cloaks towel rail removed.	16-09-22	CW
C2	Kitchen updated in line with Specialists design.	01-03-22	CW
C1	Issued for CONSTRUCTION.		
T4	Updates to show only floor finishes.	03-02-22	CW
T3	Updates to show only floor finishes.	02-02-22	CW
T2	Wardrobes, sanitary items & landing window updated.	22-12-21	CW
T1	General updates to Clients comment.	10-09-21	CW
T1	Issued for TENDER		

REV:	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
CHARTWELL (N3)

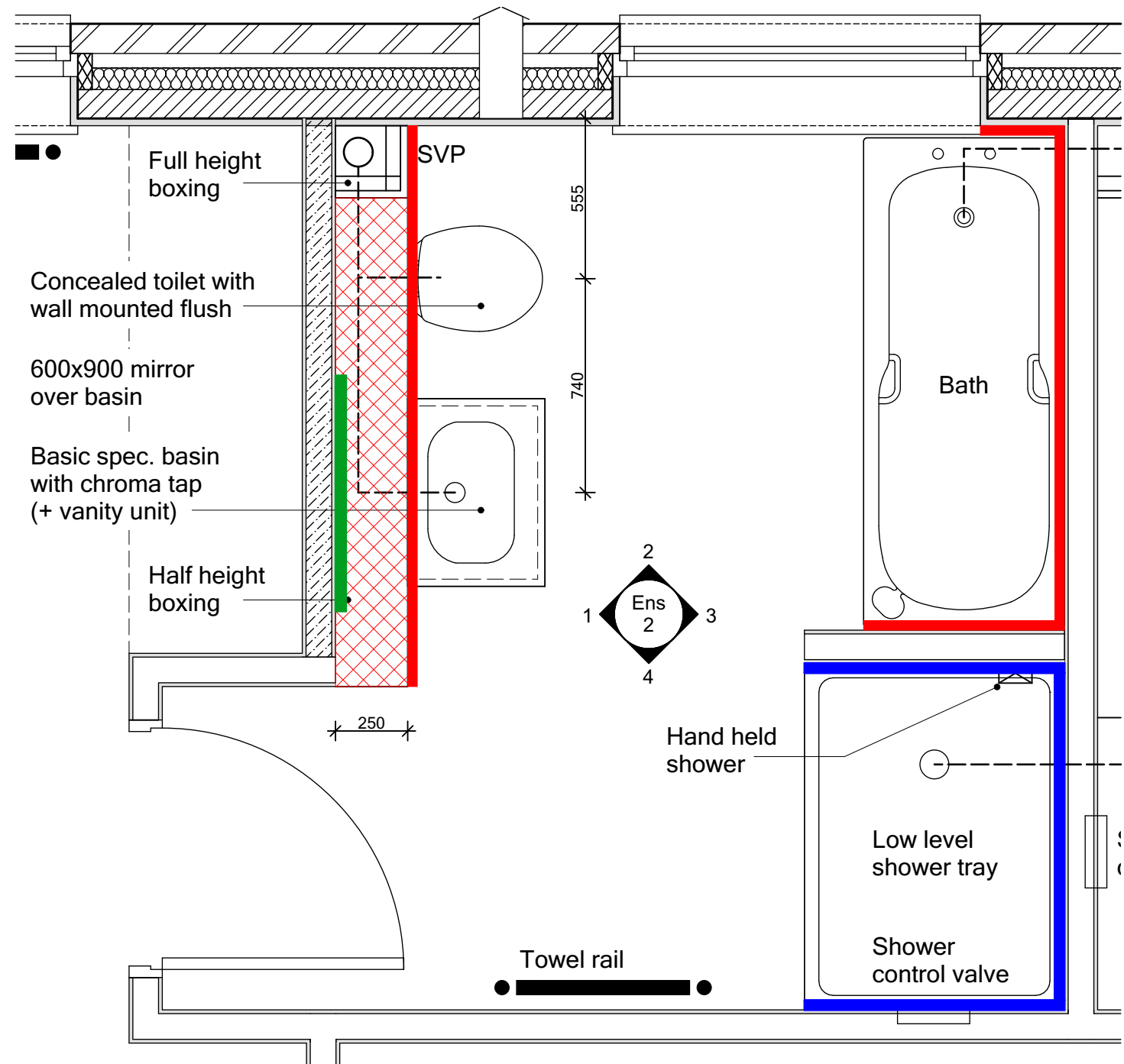
DRAWING TITLE:
Ground, First & Second Floor Plan
Floor finishes

SCALE: NTS @ A1
DATE: Sept 2021
DRAWN BY: CW
CHECKED BY:

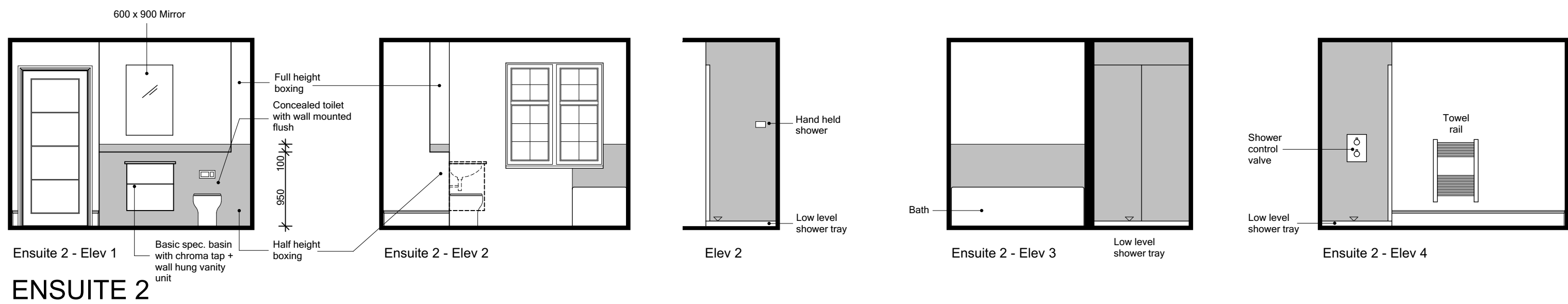
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DRAWING NO: N3-A-10
REVISION: C3

STATUS:
CONSTRUCTION

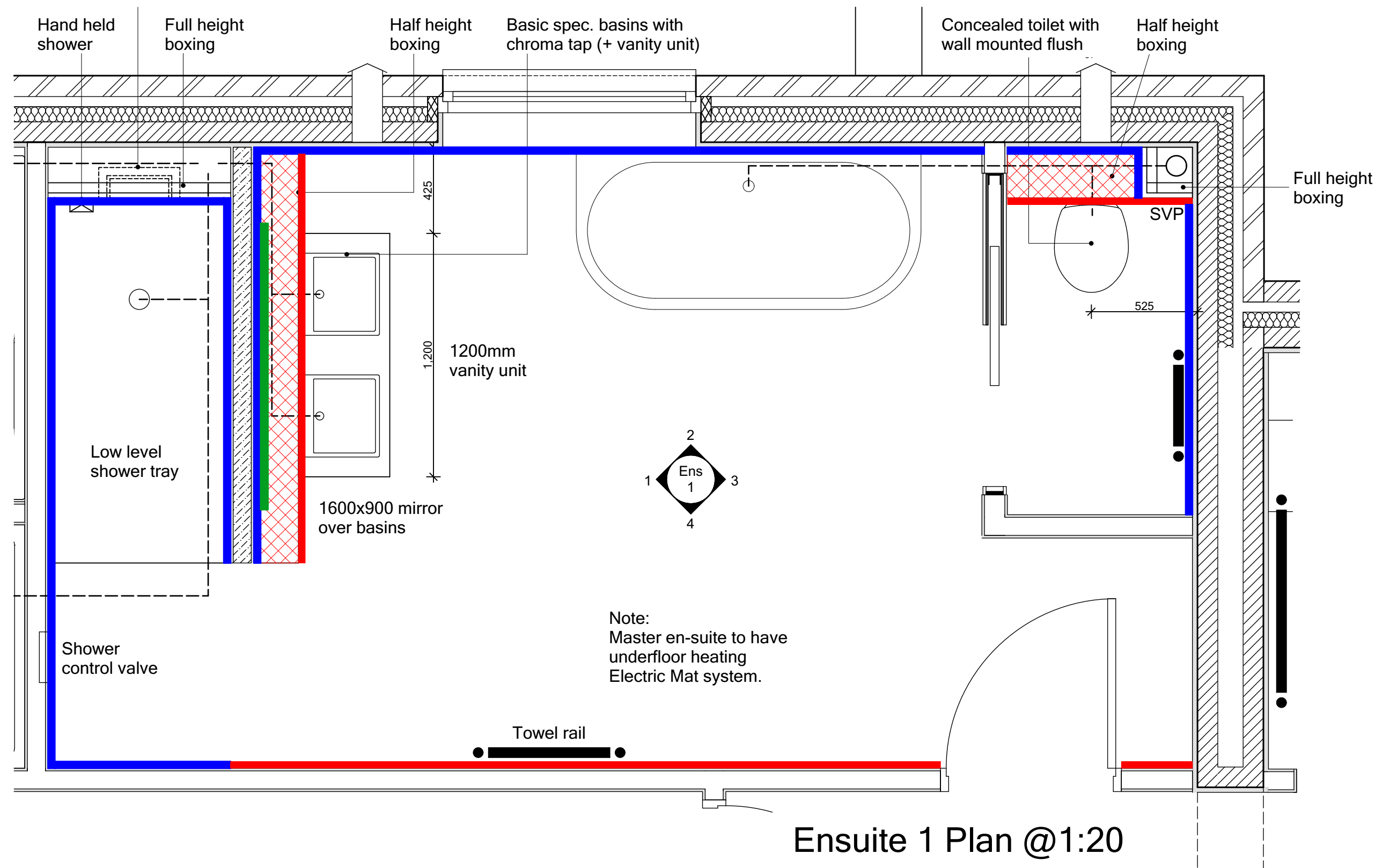
Plot No.
As - 4, 5.
Ha - .



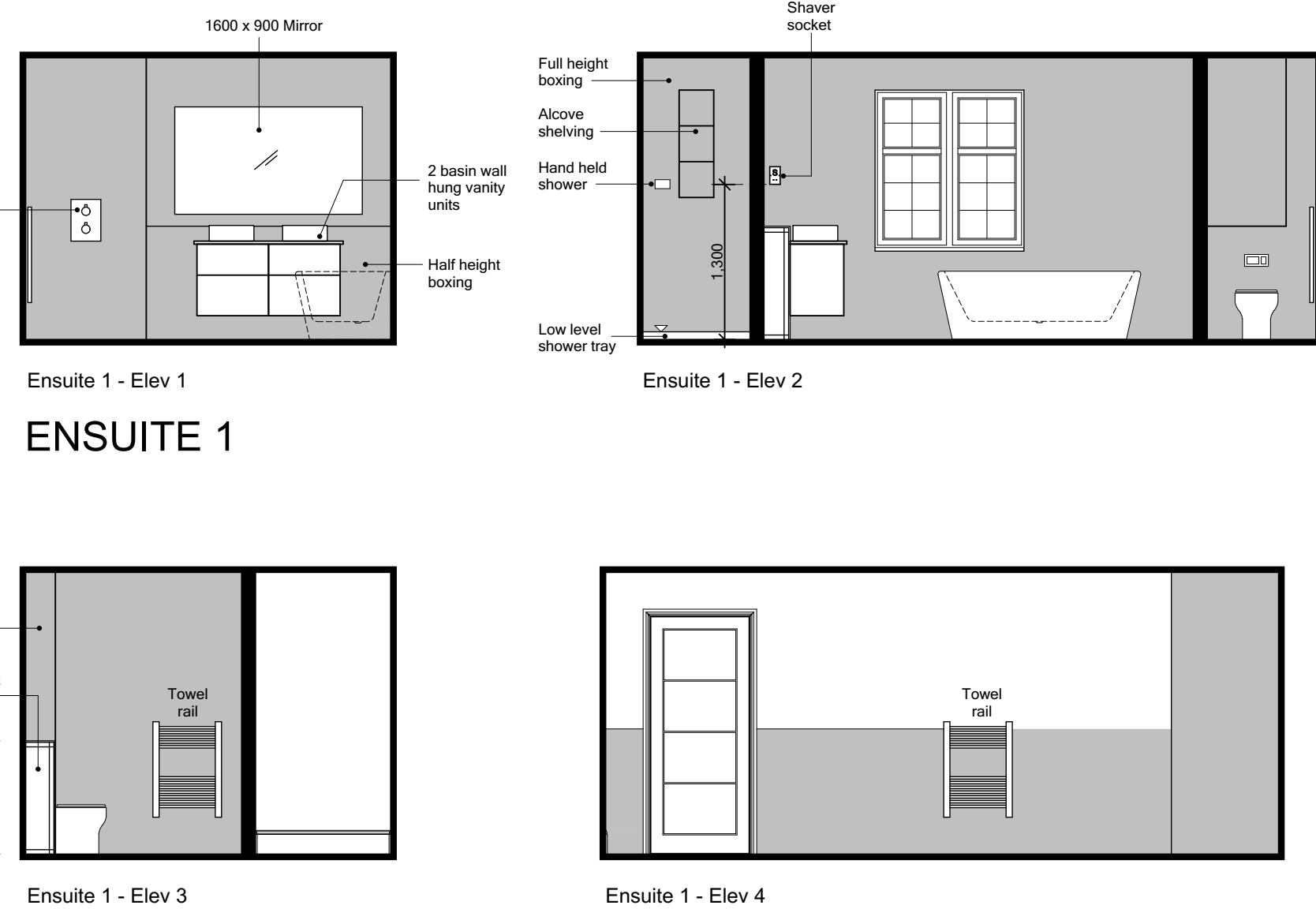
Ensuite 2 Plan @1:20



ENSUITE 2



Ensuite 1 Plan @1:20



ENSUITE 1

WC/bath/Ens FINISH legend

- Tiling to top of Boxing / window sill
- Half Height Tiling
- Full Height Tiling
- Mirror positioned above WHB - refer to detail

THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULL SPECIFICATION INCLUDED IN THE HOUSE TYPE PACK

C2	Cloaks towel rail removed.	16-09-22	CW
C1	Issued for CONSTRUCTION.		
	Color updates to show wall finishes.	03-02-22	CW
T3	Sanitary items & tiling updated.	22-12-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
CHARTWELL (N3)

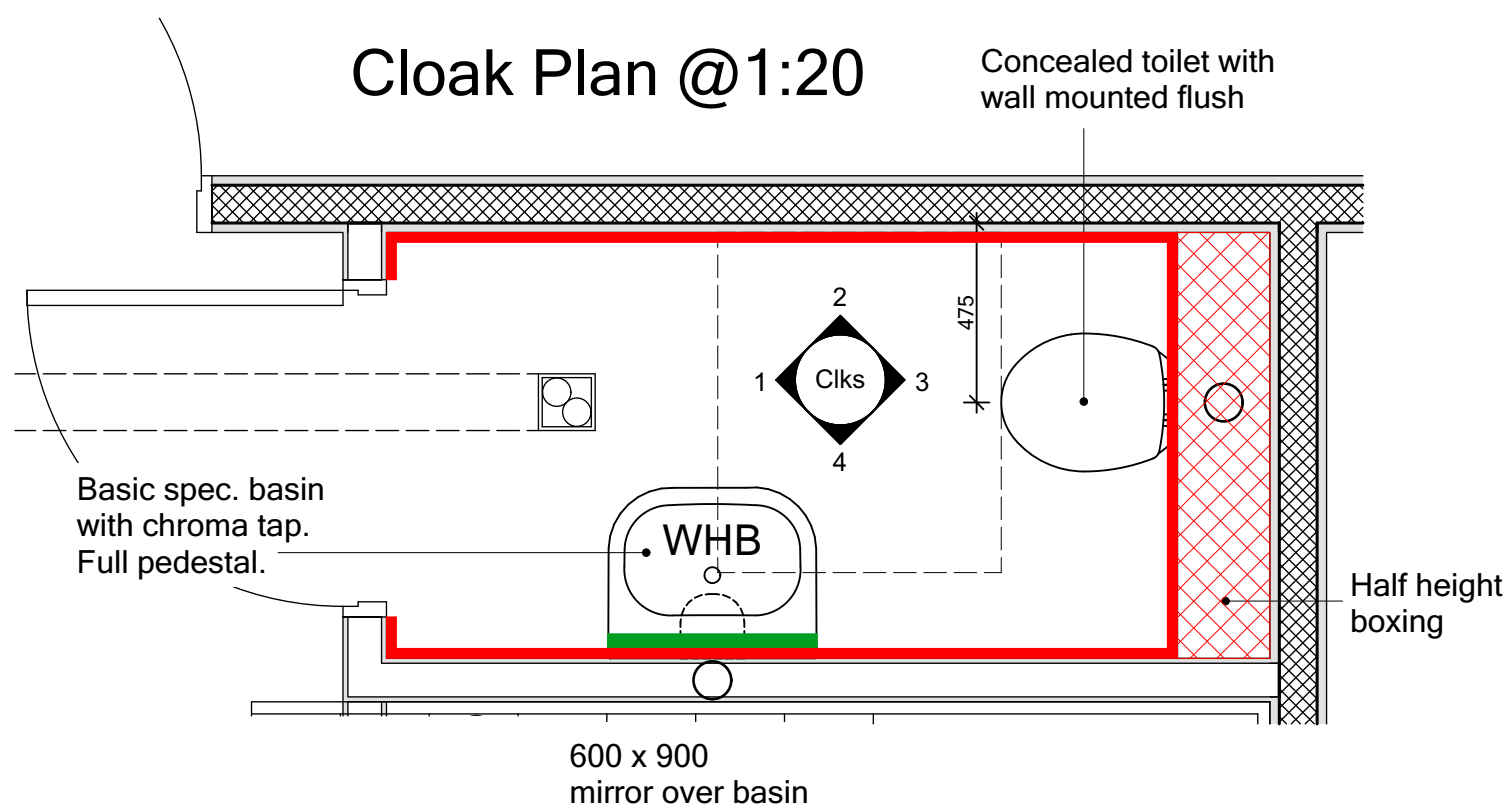
DRAWING TITLE:
Cloaks, Bathroom & En-suite Detailed
Layouts and Internal Elevations

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
1:20 / 50 @ A1	Sept 2021	CW	

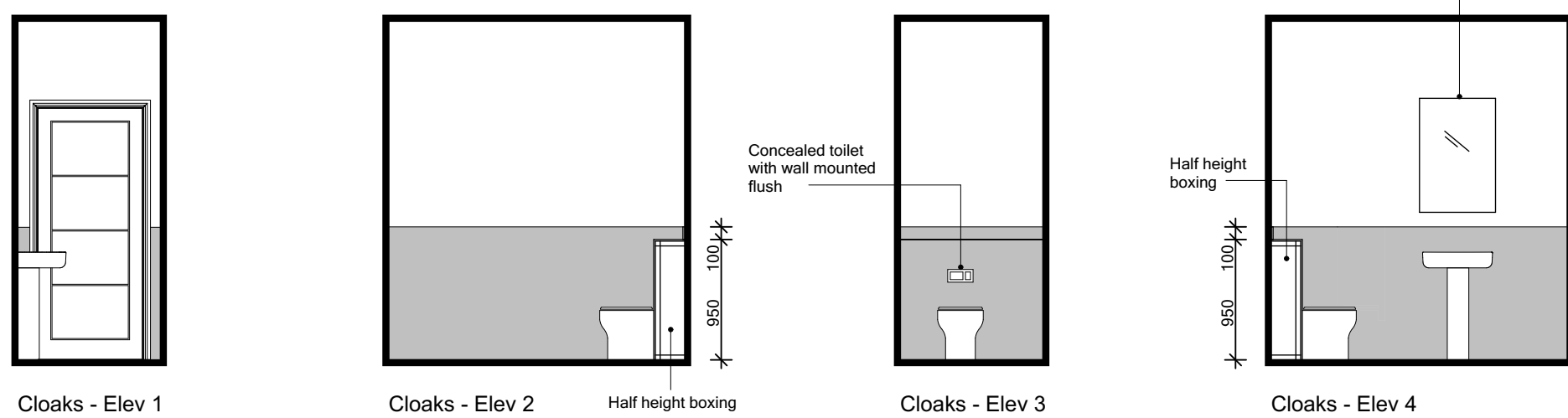
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801	N3-A-11	C2

STATUS:
CONSTRUCTION

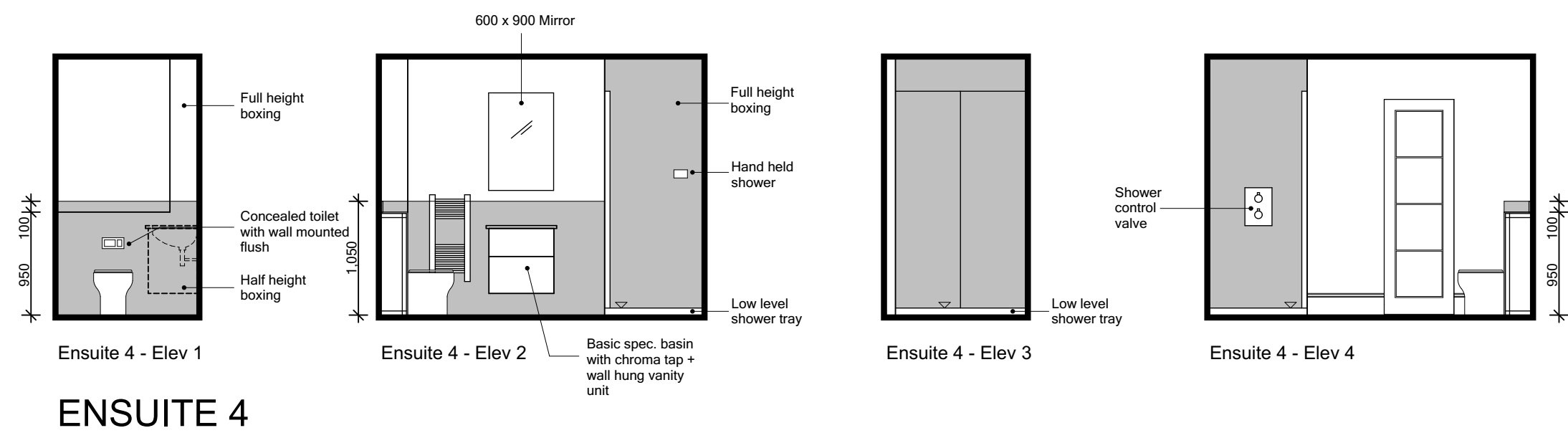
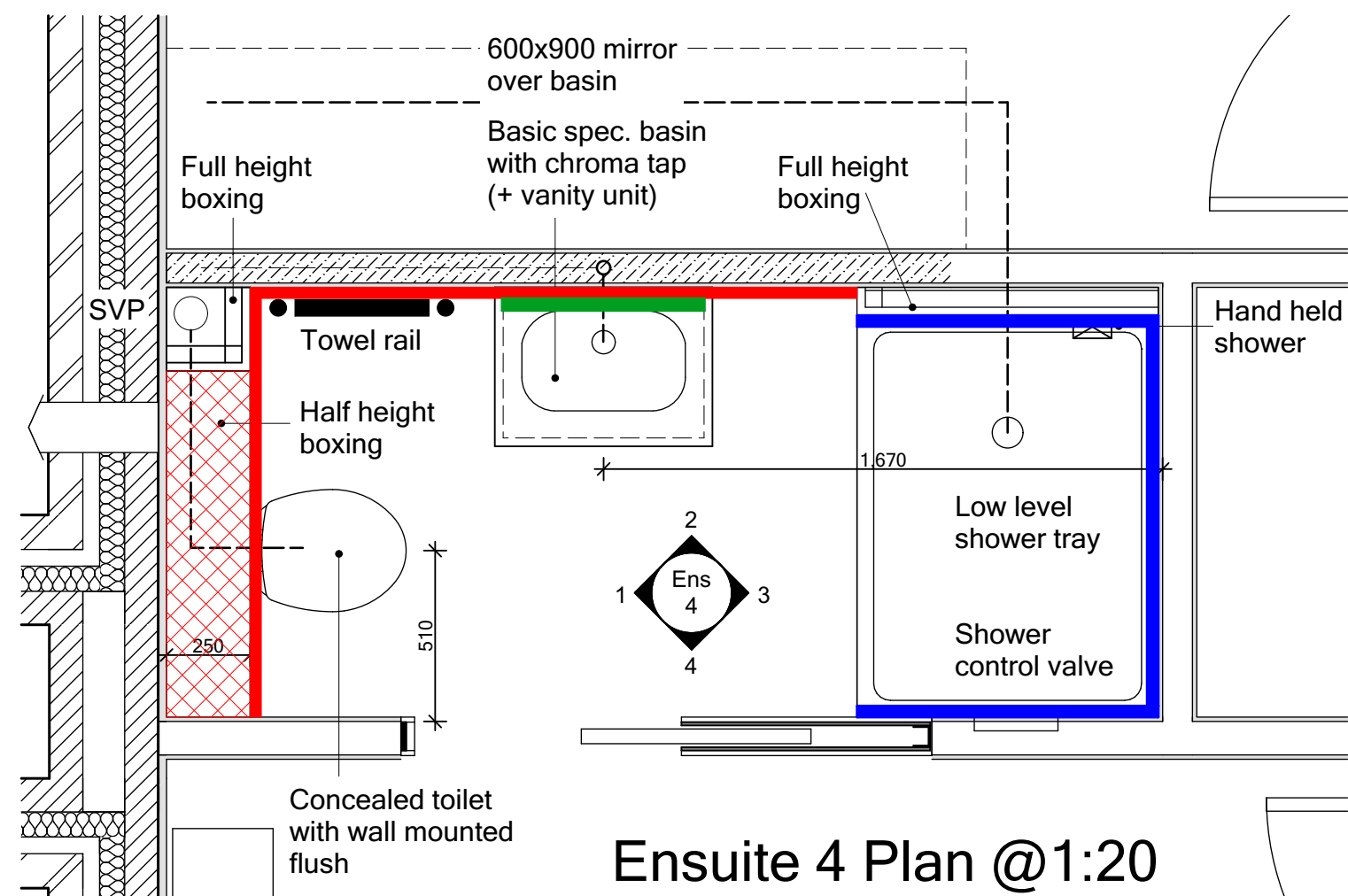
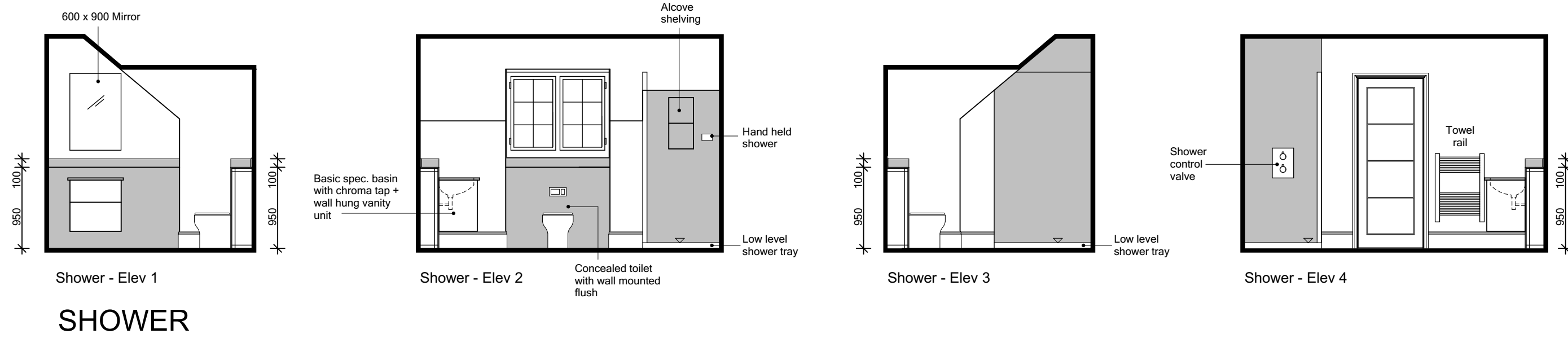
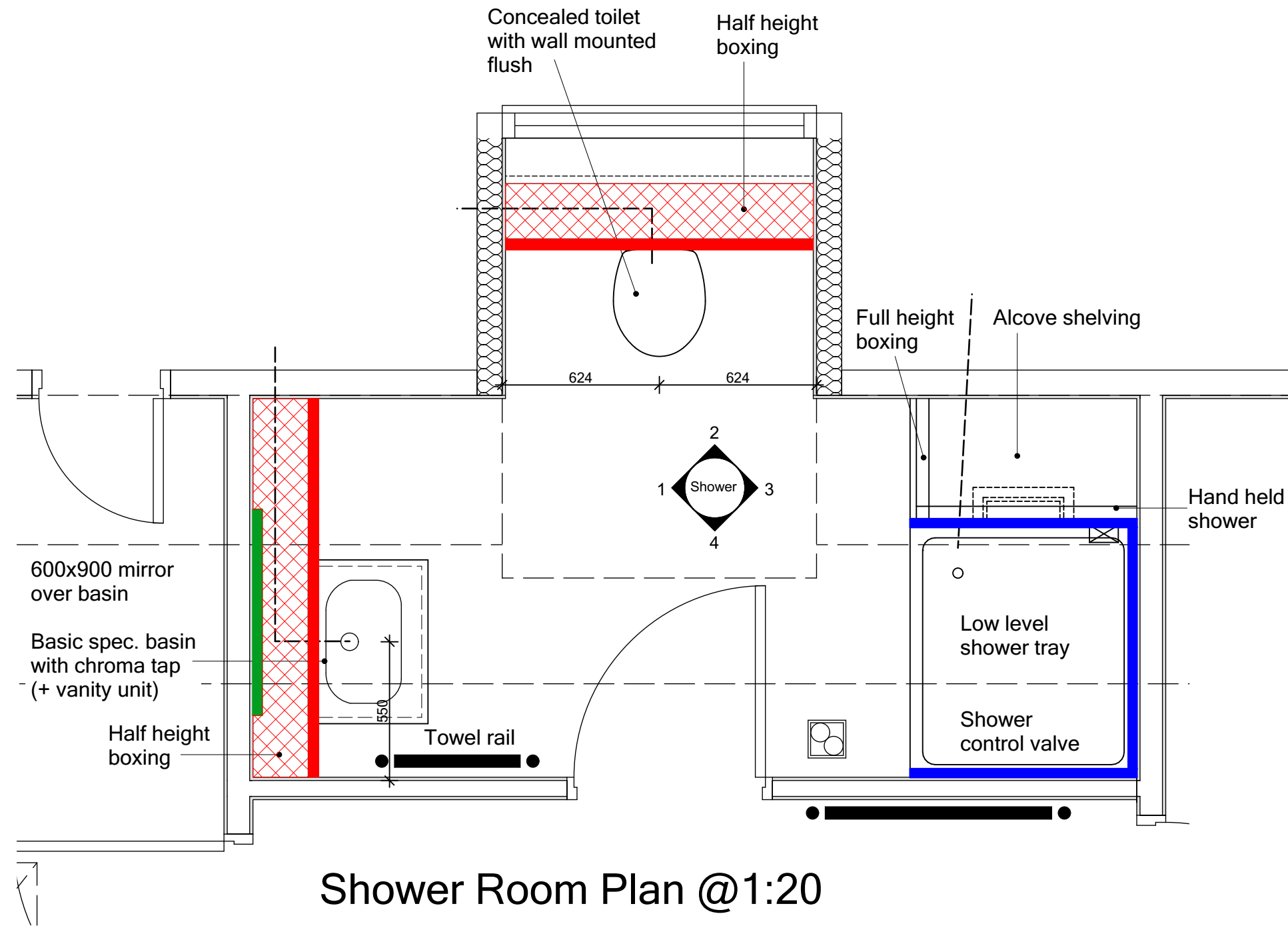
Plot No.
As - 4, 5.
Ha - .



Cloak Plan @1:20



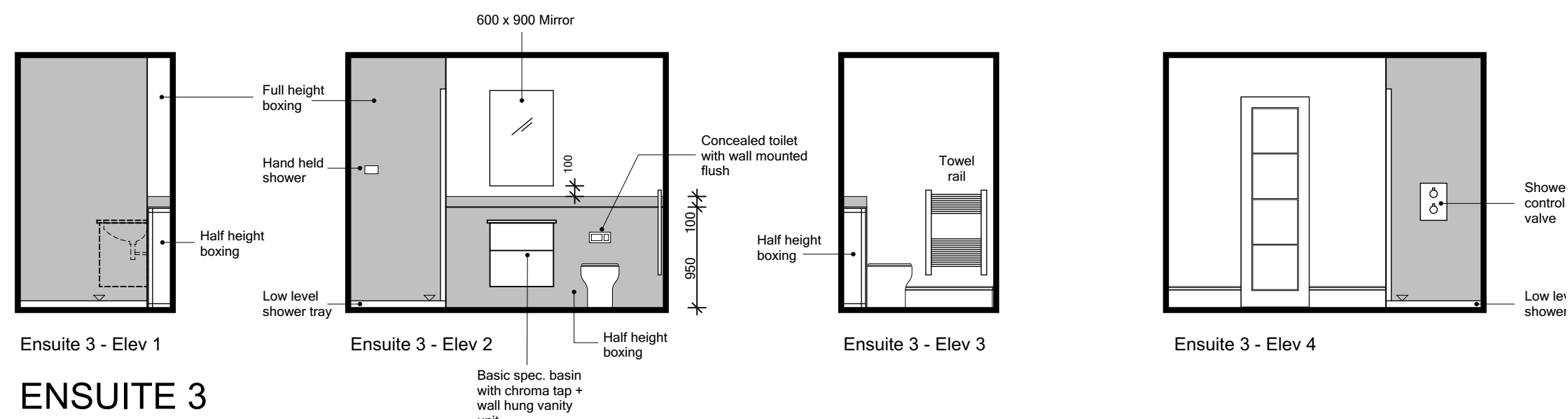
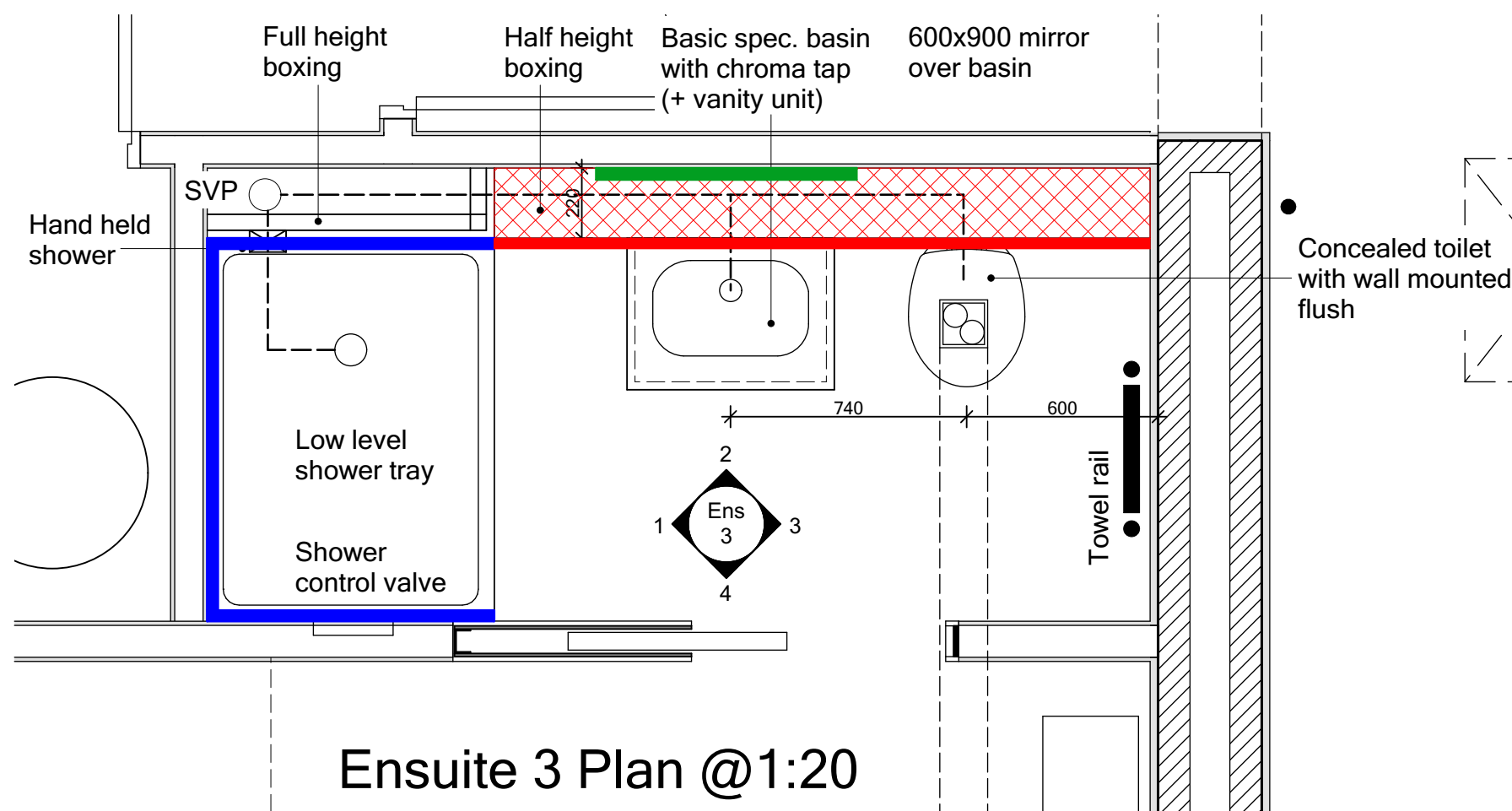
CLOAK



WC/bath/Ens FINISH legend

- Tiling to top of Boxing / window cill
- Half Height Tiling
- Full Height Tiling
- Mirror positioned above WHB - refer to detail

THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULL SPECIFICATION INCLUDED IN THE HOUSE TYPE PACK



C1	Issued for CONSTRUCTION. Color updates to show wall finishes.	03-02-22	CW
T3	Sanitary items & tiling updated.	22-12-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR
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CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
CHARTWELL (N3)

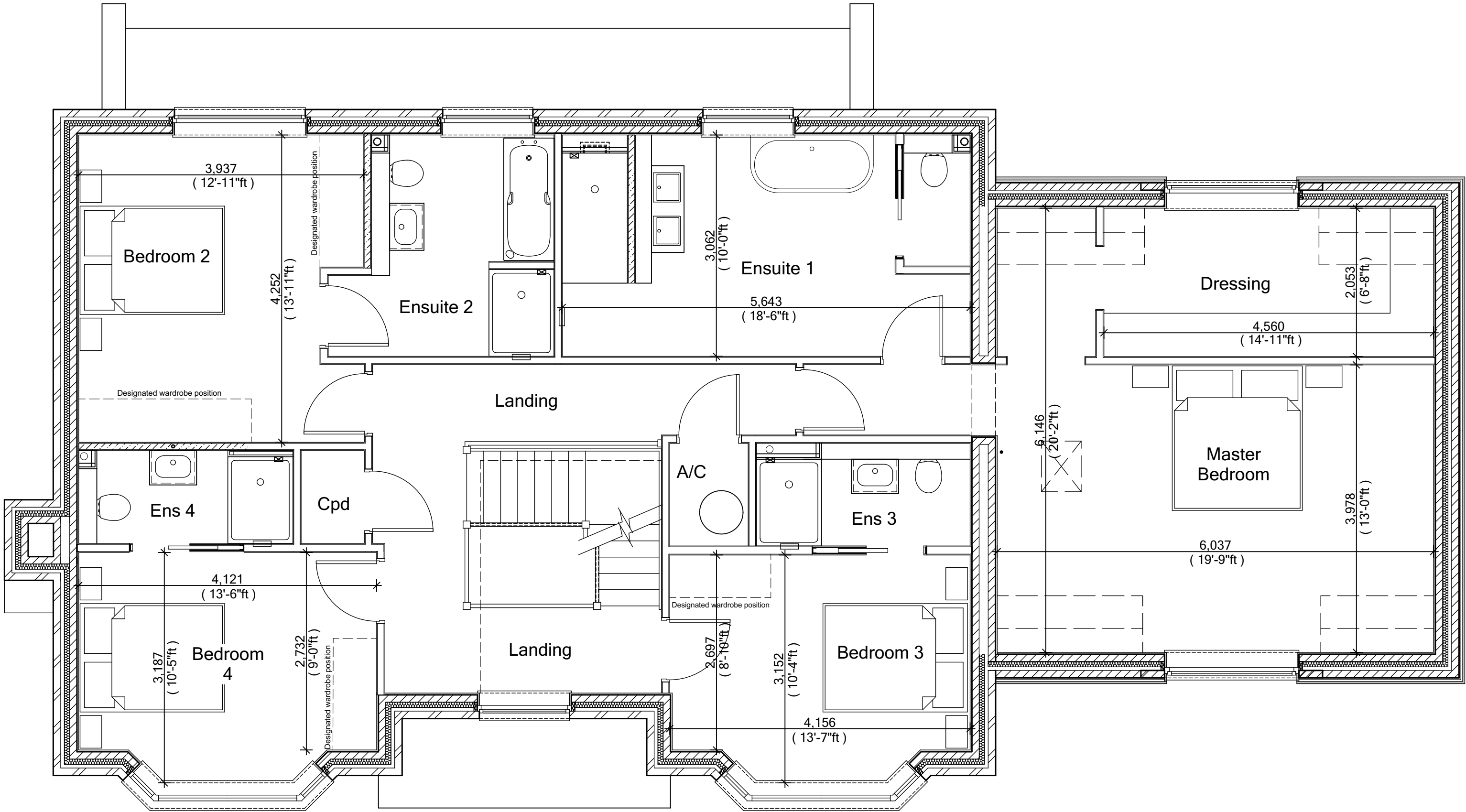
DRAWING TITLE:
Cloaks, Bathroom & En-suite Detailed
Layouts and Internal Elevations

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
1:20 / 50 @ A1	Sept 2021	CW	

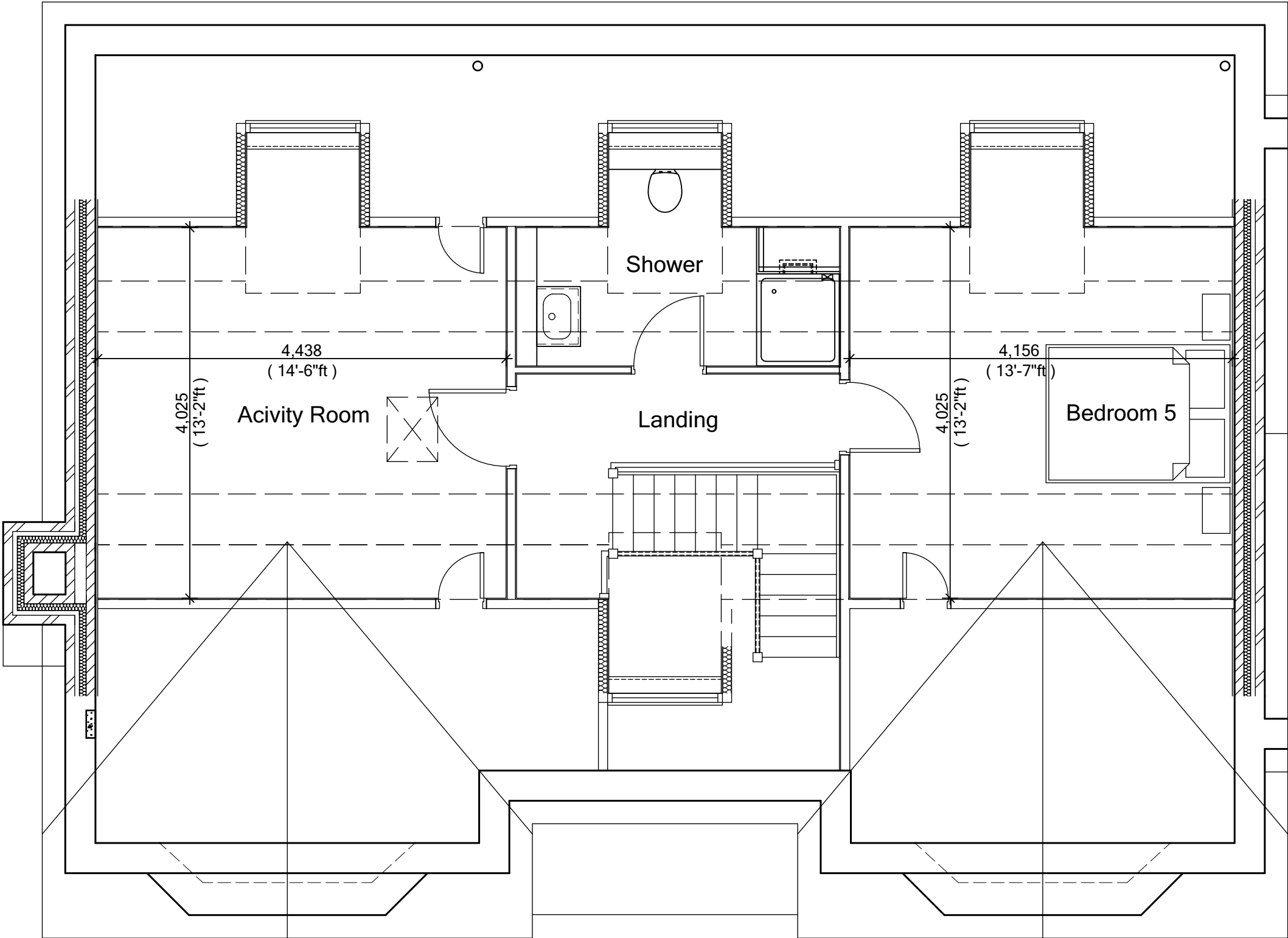
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801	N3-A-12	C1

STATUS:
CONSTRUCTION

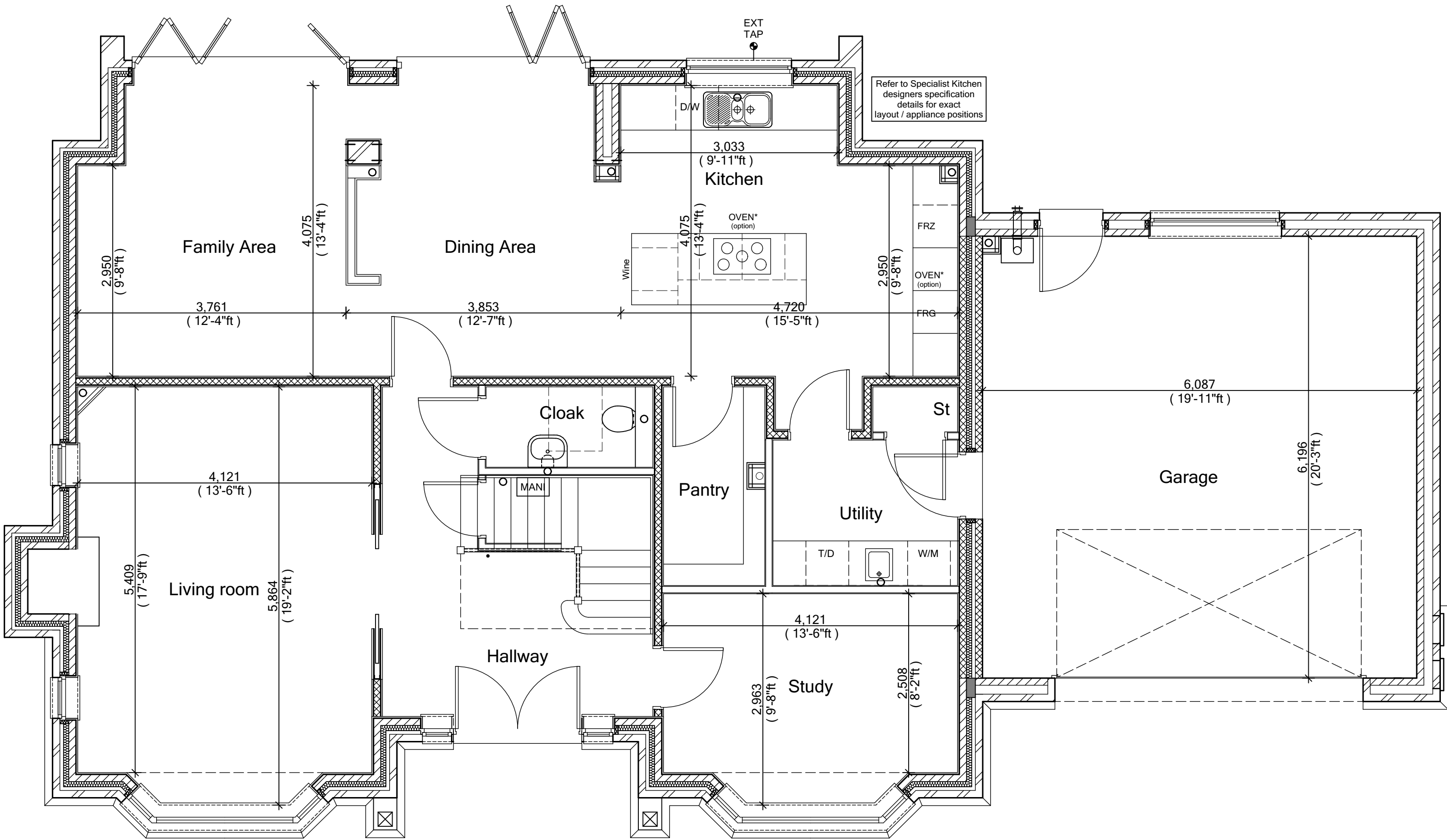
Plot No.
As - 4, 5.
Ha - .



FIRST FLOOR PLAN



SECOND FLOOR PLAN



GROUND FLOOR PLAN

Plot No.
As - 4, 5.
Ha - .

C2	Kitchen updated in line with Specialists design.	01-03-22	CW
C1	Issued for CONSTRUCTION	03-02-22	CW
T2	Wardrobes, sanitary items and landing window updated.	22-12-21	CW
T1	Issued for TENDER	05-11-21	CW
REV:	REVISION DESCRIPTION	DATE	AUTHOR
<div>Trower Davies Architectural Consultants</div>			
CLIENT: Edenstone Group Building 102, Wales 1, Business Park Magor NP26 3DG			
PROJECT DETAILS: Land North of Lisvane Road			
HOUSETYPE NAME: CHARTWELL (N3)			
DRAWING TITLE: Ground, First & Second Floor Plans Sales Layouts			
SCALE: 1:50 @ A1	DATE: Nov 2021	DRAWN BY: CW	CHECKED BY:
JOB NO: 801	DRAWING NO: N3-A-13	REVISION: C2	
STATUS: CONSTRUCTION			