


Osbourne (N1)

Area: 393.900 m² / 4239sq/ft (structural / excluding garage)

DRG NO	REV	DRAWING TITLE	SCALE	SHEET	DATE	REV DATE
N1-A-00	C7	Drawing Index	N/A	A3		12-12-22
N1-A-01	C2	Sub-structure plan (3 storey)	1:50	A1	19-05-21	01-03-22
N1-A-02	C3	Ground floor plan	1:50	A1	19-05-21	06-04-22
N1-A-03	C2	First floor plan	1:50	A1	19-05-21	03-10-22
N1-A-04	C1	Second floor plan	1:50	A1	19-05-21	03-02-22
N1-A-05	C1	Joist plan	1:50	A1	08-07-21	03-02-22
N1-A-06	C1	Roof plan	1:50	A1	08-07-21	03-02-22
N1-A-07	C1	Sections	1:50	A1	08-07-21	03-02-22
N1-A-08	C1	Front + Side elevations	1:50	A1	08-07-21	03-02-22
N1-A-09	C1	Rear + Side elevations	1:50	A1	08-07-21	03-02-22
N1-A-10	C4	M&E layout	1:50	A1	10-09-21	15-11-22
N1-A-11	C3	M&E layout	1:50	A1	10-09-21	12-12-22
N1-A-12	C3	Floor finishes	-	A1	10-09-21	16-09-22
N1-A-13	C2	Cloaks, bathroom and en-suite Detailed Layouts and Elevations	1:20 / 50	A1	10-09-21	16-09-22
N1-A-14	C1	Cloaks, bathroom and en-suite Detailed Layouts and Elevations	1:20 / 50	A1	10-09-21	03-02-22
N1-A-15	C3	Sales plans	1:50	A1	03-11-21	16-09-22
N1-A-16	C1	Oriel bay window detail	1:20	A1	03-11-21	03-02-22

C7	Updates as noted on plans.	12-12-22	CW
C6	Updates as noted on plans.	15-11-22	CW
C5	Updates as noted on plans.	03-10-22	CW
C4	Updates as noted on plans.	16-09-22	CW
C3	Updates as noted on plans.	06-04-22	CW
C2	Updates as noted on plans.	01-03-22	CW
C1	Issued for CONSTRUCTION	03-02-22	CW
T1 / T6	Issued for TENDER	10-09-21 / 18-01-22	CW
REV:	REVISION DESCRIPTION	DATE	AUTHOR



CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North Of Lisvane Road

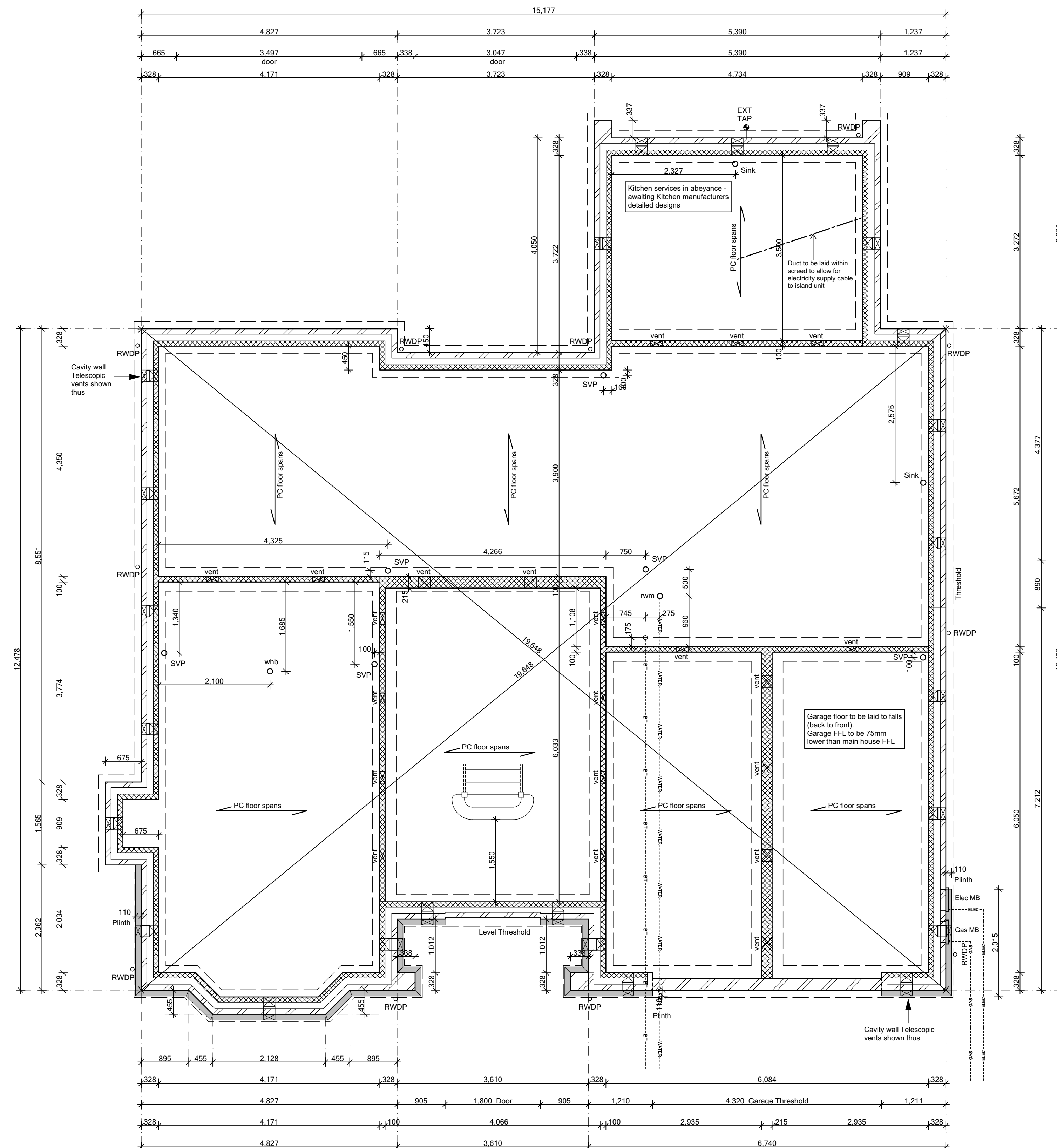
HOUSETYPE NAME:
Osbourne (N1)

DRAWING TITLE:
Cover Sheet

SCALE: 1:50 @ A3 DATE: Aug 2021 DRAWN BY: CHECKED BY:


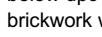





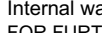

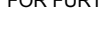

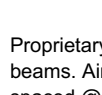







JOB NO: 801 DRAWING NO: N1-A-00 REVISION: C7

STATUS:
CONSTRUCTION



SUB-STRUCTURE PLAN

GROUNDWORKS legend

	<p>Installed incoming Water service to Rising Water Main 750mm BGL. To be positioned 125mm min from inner skin of the external wall</p>		<p>EXTERNAL WALLS BELOW DPC 32mm cavity wall construction for a minimum of 3 courses below DPC comprising of 103mm FL quality outer leaf brickwork with a 128mm cavity & 100mm blockwork as noted by the Structural Engineer.</p>
	<p>Incoming Electric service</p>		<p>FOR FURTHER DETAILS REFER TO ENGINEERS DRAWINGS</p>
	<p>Incoming Gas service</p>		<p>FOR FURTHER DETAILS REFER TO ENGINEERS DRAWINGS</p>
	<p>Incoming BT service</p>		<p>FOR FURTHER DETAILS REFER TO ENGINEERS DRAWINGS</p>
	<p>Incoming Virgin media service</p>		<p>FOR FURTHER DETAILS REFER TO ENGINEERS DRAWINGS</p>
	<p>Soil and Vent Pipe 100mm dia with red bend</p>		<p>Proprietary telescopic vents. Vents to be positioned between bris. Air bricks to be located 450mm from any corner and spaced @ max 2000mm c/s. (1912/52mm brick dim)</p>
	<p>Stub stack 100mm dia with red bend and Durgu</p>		
	<p>Sealed floor connector for WC</p>		
	<p>Sealed floor connector for Wash Hand Basin</p>		
	<p>Sealed floor connector for Sink</p>		
	<p>Sealed floor connector for Shower</p>		
	<p>Back Inlet Gully</p>		
	<p>Rain Water Pipe</p>		

THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULL SPECIFICATION INCLUDED IN THE HOUSE TYPE PACK

C2	Duct to kitchen island added	01-03-22	CW
C1	Issued for CONSTRUCTION	03-02-22	CW
T3	Level threshold removed from rear bi-fold doors.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV:	REVISION DESCRIPTION	DATE	AUTHOR
------	----------------------	------	--------



CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:

Land North of Lisvane Road

HOUSETYPE NAME:
OSBOURNE (N1)

DRAWING TITLE:

Sub-Structure Plan

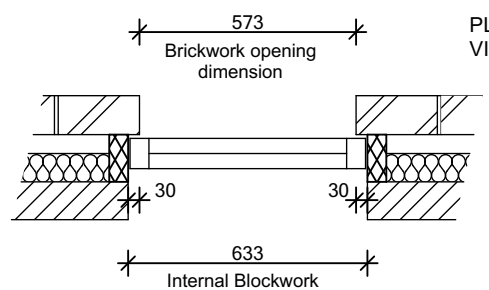
SCALE:	DATE:	DRAWN BY:	CHECKED BY:
1:50 @ A1	May 2021	AD	

JOB NO: 801	DRAWING NO: N1-A-01	REVISION: C2
-----------------------	-------------------------------	------------------------

STATUS:
CONSTRUCTION

Plot No.
As - 3.
Ha - .

CHECK REVEAL SETTING OUT



Check reveal $\pm 30\text{mm}$ either side (doors + windows).
(Internal blockwork opening $\pm 60\text{mm}$ of brickwork dim)
Window width = $\pm 25\text{mm}$ each side of brick s/d dim
i.e window width 623mm
Inner blockwork opening $\pm 10\text{mm}$ of window size

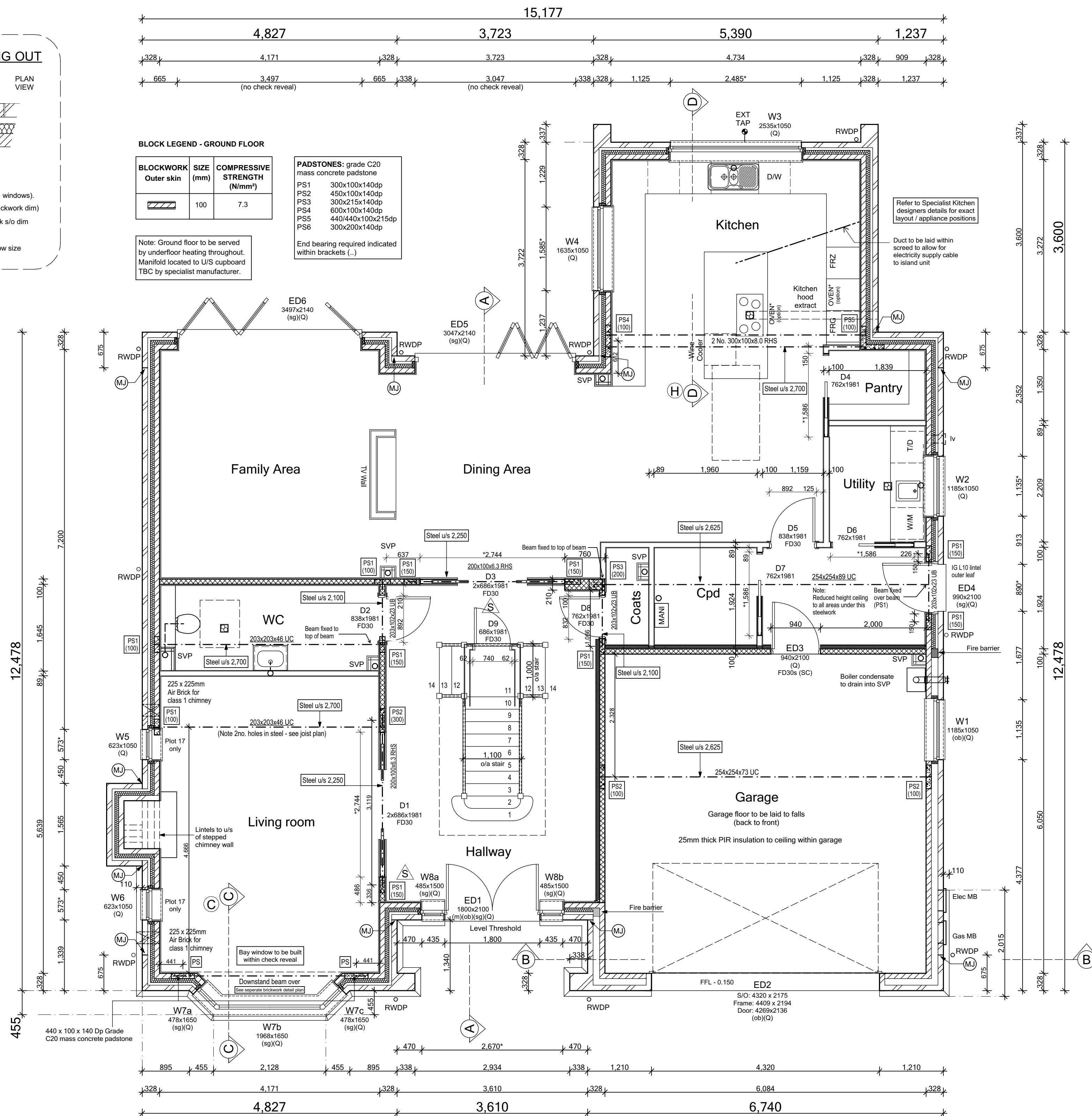
BLOCK LEGEND - GROUND FLOOR

BLOCKWORK	SIZE (mm)	COMPRESSIVE STRENGTH (N/mm ²)
	100	7.3

Note: Ground floor to be served by underfloor heating throughout.
Manifold located to U/S cupboard TBC by specialist manufacturer.

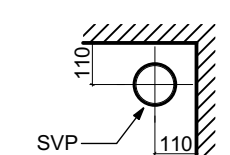
PADSTONES: grade C20 mass concrete padstone
PS1 300x100x140dp
PS2 450x100x140dp
PS3 300x215x140dp
PS4 600x100x140dp
PS5 440x440x100x215dp
PS6 300x200x140dp

End bearing required indicated within brackets (...)

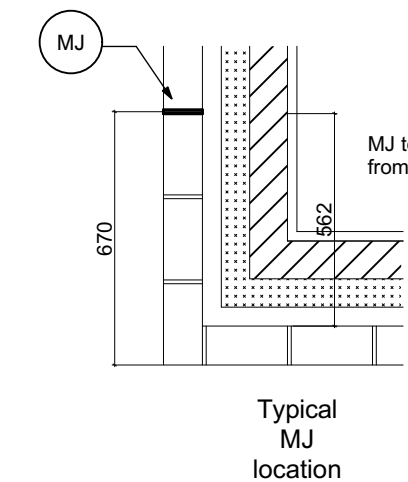


GROUND FLOOR PLAN

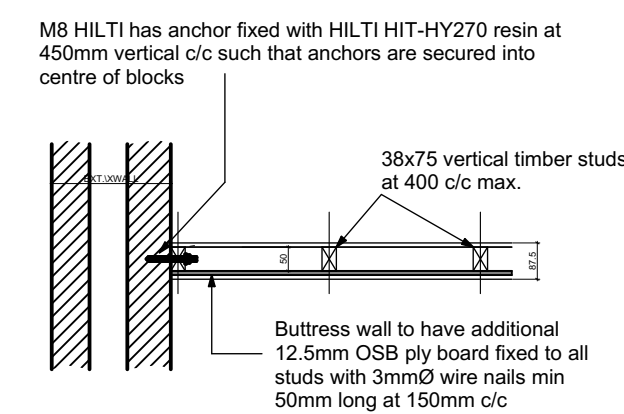
Note: SVP or Stub stacks are to be centered 110mm min off adjacent wall



SVP Position

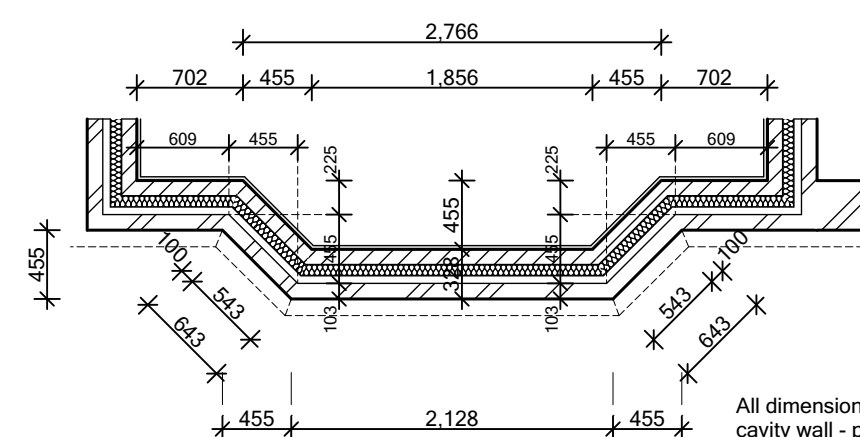


Typical MJ location



Typical Stud Buttress Wall as per Engineers detail

Dimensions in italics are taken to inner face of the outer brickwork skin



Bay Window Brickwork Dims (GF)

Block Finish:
• Movement joints at max. 12m c/c's
• Outer leaf in brickwork
• Inner leaf blockwork strength (min.) 7.3N/mm²

Render / Cladding Finish:
• Movement joints at max. 6m c/c's (subject to manufacturers requirements)
• Outer leaf blockwork strength (min.) 3.5N/mm² with blockwork density less than 1500kg/m³
• Inner leaf blockwork strength (min.) 7.3N/mm²

Bedjoint reinforcement to enhance MJ's
This is for render/cladding finish with blockwork density less than 1500kg/m³.
• Bed joint reinforcement on outer leaf at 225mm vertical centres - movement joints at max. 10m c/c's
• Bed joint reinforcement on outer leaf at 455mm vertical centres - movement joints at max. 5m c/c's
Bedjoint reinforcement at Openings
• Bed joint reinforcement will be required above and below window/door openings as standard practice.
• Usually first two courses of the external leaf above and below openings and 600mm minimum pass edge of window/door opening where possible.

SPECIFICATION

	SMOKE DETECTOR	120mm facing brickwork or 100mm reconstructed stone
	HEAT DETECTOR	Cavity - 50/50mm clear residual cavity Wall fix - 450mm dia vertically & 900mm horizontally Cavity insulation - 75mm foil backed PUR insulation Inner skin - 100mm block Internal finish - 12.5mm plasterboard on plaster dates
	ELECTRIC METER	
	GAS METER	As main wall - both skins in blockwork
	GAS METER Unvented hot	
	BOILER with flue outlet	
	SVP within boxing	
	STUB STACK and Cavity with boxing	
	INTERNAL DRAINAGE	
	RAIN WATER PIPE	
	EXTRACTOR FAN (ceiling)	
	EXTRACTOR FAN (wall)	
	VENT (unobstructed)	
	FIRE DOORS to be 30 minute fire integrity	
	FD30 (sc)	with self-closing device
	MOVEMENT JOINT (PS) in render only	
	CONCRETE PADSTONE	refer to structural engineers details
	FINISH DIMENSIONS	critical dimensions taken to the finished face & not point of furniture

THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULL SPECIFICATION INCLUDED IN THE HOUSE TYPE PACK

N1 - 3 storey

Ref.	Width	Height	Notes
ED1	1800	2100	Linked to W8a & b (m)(ob)(sg)(Q)
ED2	4320	2175	(ob)(Q)
ED3	940	2100	(Q) FD30s
ED4	990	2100	(sg)(Q)
ED5	3047	2140	(sg)(Q) * threshold detail
ED6	3497	2140	(sg)(Q) * threshold detail

Ref.	Width	Height	Notes
W1	1185	1050	(Q)(ob)
W2	1185	1050	(Q)
W3	2535	1050	(Q)
W4	1635	1050	(Q)
W5	623	1050	(Q) PLOT 17 ONLY
W6	623	1050	(Q) PLOT 17 ONLY
W7a	478	1650	Timber frame bay (sg)(Q)
W7b	1968	1650	Timber frame bay (sg)(Q)
W7c	478	1650	Timber frame bay (sg)(Q)
W8a	485	1500	Linked to ED1 (sg)(Q)
W8b	485	1500	Linked to ED1 (sg)(Q)

Ref.	Width	Height	Notes
W9	1298	1350	
W10a	478	1575	Timber frame bay
W10b	1968	1575	Timber frame bay
W10c	478	1575	Timber frame bay
W11	623	1050	(ob)
W12	2197	1350	
W13	1298	1350	(ob)
W14	2197	1350	(ob)
W15	623	1050	(ob)
W16	623	1050	(ob)
W17a	478	1575	Timber frame bay ?
W17b	1968	1575	Timber frame bay ?
W17c	478	1575	Timber frame bay ?

(ew)	ESCAPE WINDOW	(see General notes)
(m)	PART M THRESHOLD	(see General notes)
(ob)	OBSCURE GLAZING	(see General notes)
(sg)	SAFETY GLAZING	(see General notes)
(Q)	SECURE DOORSET/WINDOW	(see General notes)

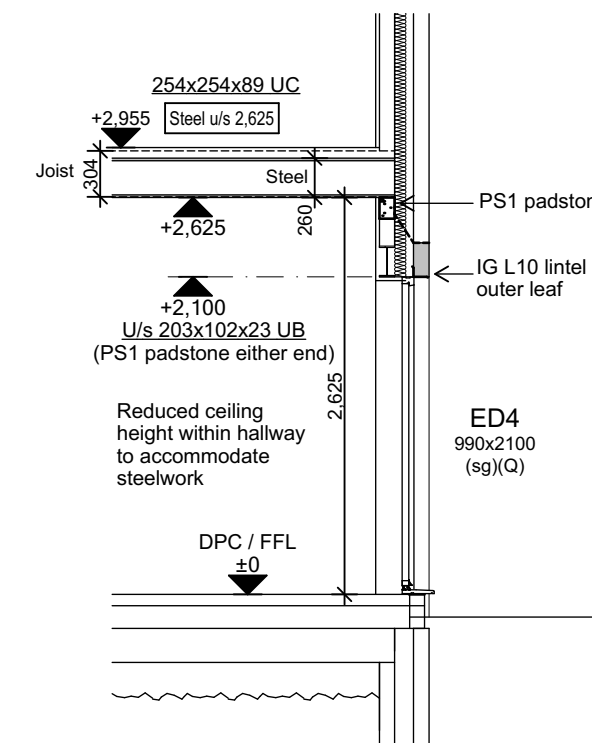
UNITS REFERENCES TAKEN FROM IG QUOTATION SCHEDULE
details may be subject to change with final design, always cross check with IG information

SYSTEM 1 Background ventilators and intermittent extract fans

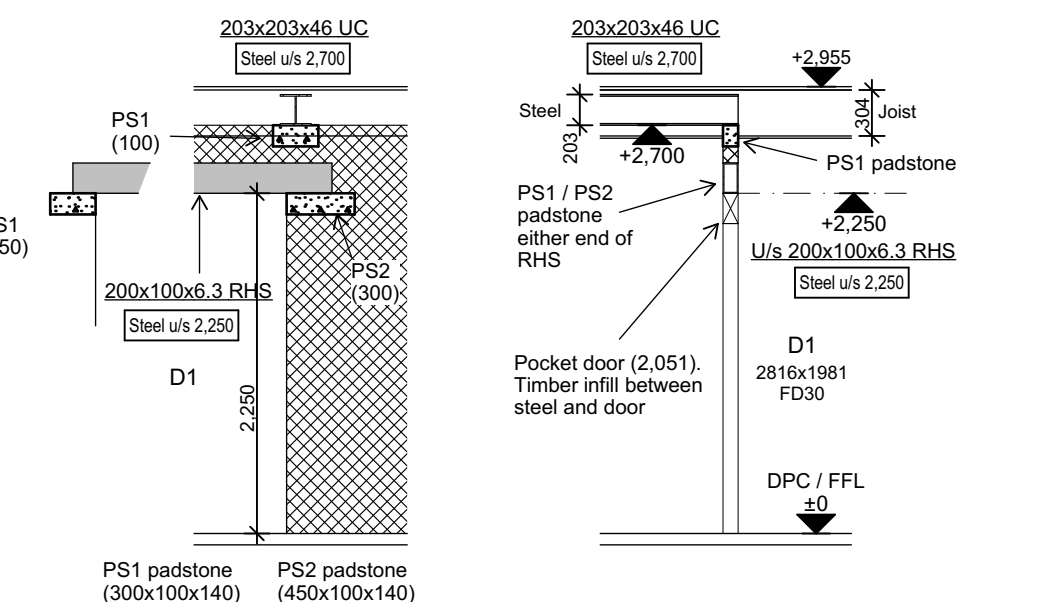
ADF Table 5.2a 'B' leakier than 5.
Background ventilators: at least 5000mm² in each habitable room.
2500mm² in each wet room.

N1 Total equivalent ventilator area = 205,000mm²

Ref.	Structural Opening	Door Size (leaf)	Notes
D1	2744	2051	2x688x1981 S/C Pocket / sliding *TBC by specialist
D2	892	2040	638x1981 115mm lining
D3	2744	2051	2x688x1981 S/C Pocket / sliding *TBC by specialist
D4	1586	2051	762x1981 S/C Pocket / sliding *TBC by specialist
D5	892	2040	638x1981 115mm lining
D6	1586	2051	762x1981 S/C Pocket / sliding *TBC by specialist
D7	1586	2051	762x1981 S/C Pocket / sliding *TBC by specialist
D8	816	2040	762x1981 225mm lining
D9	740	2040	688x1981 115mm lining



Coats/cpd/hallway Steelwork (Section)



Living Room Steelwork (Elevation + Section)

REV.	REVISION DESCRIPTION	DATE	AUTHOR
C3	Sliding door studwork updated to 100mm.	06-04-22	CW
C2	Duct to kitchen island & breakfast bar added	01-03-22	CW
C1	Issued for CONSTRUCTION	03-02-22	CW
T5	Carbon monoxide alarm added to Living Room.	17-01-22	CW
T4	Steelwork & joists, WC basin & semi-exposed garage wall updated. Insulation added to garage ceiling.	22-12-21	CW
T3	Level threshold removed from rear bi-fold doors.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

Trower Davies
Architectural Consultants

CLIENT:
Eidenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

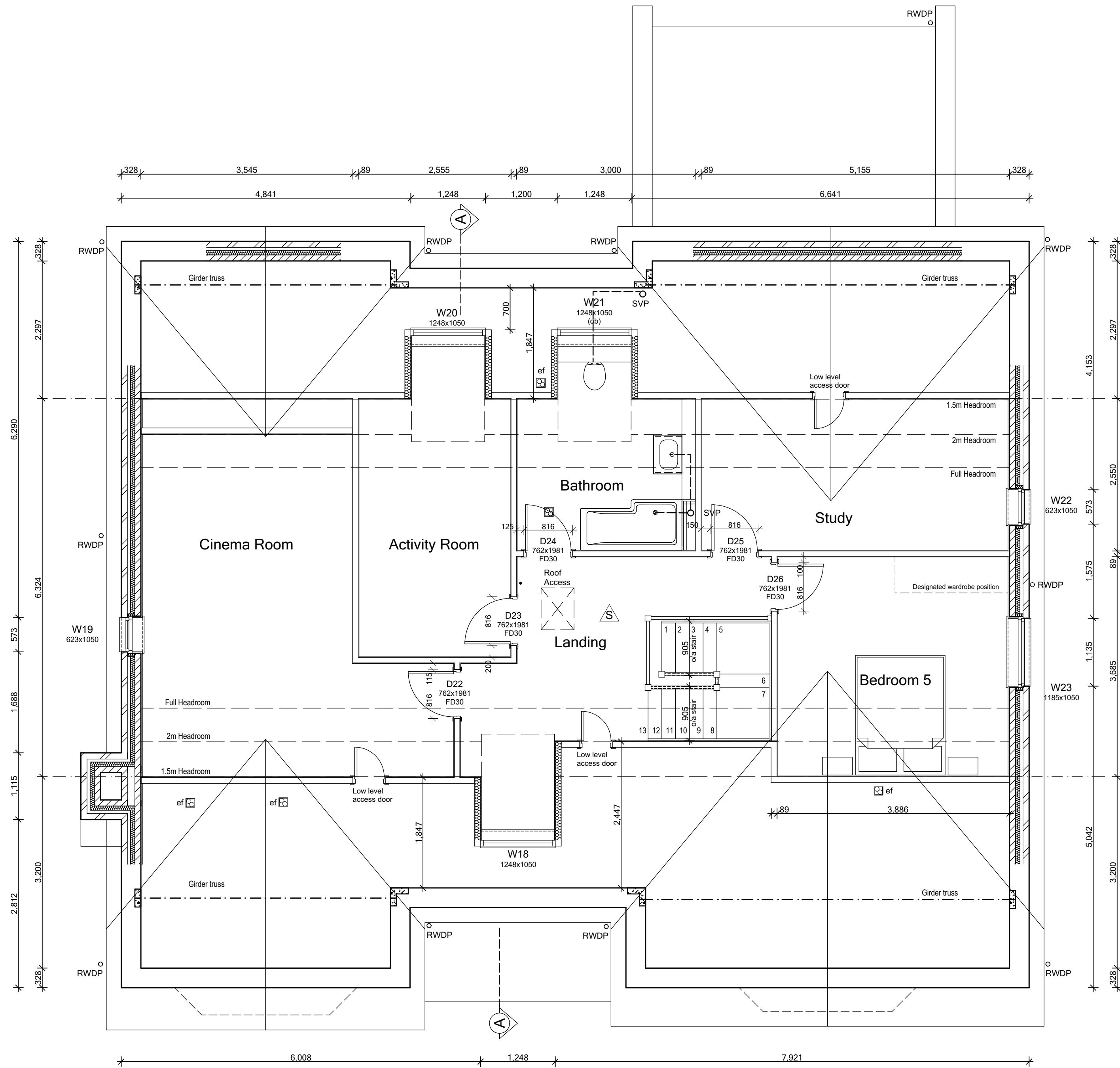
PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
OSBOURNE (N1)

DRAWING TITLE:
Ground Floor Plan

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
1:50 @ A1	May 2021	AD	
JOB NO:	DRAWING NO:	REVISION:	
801	N1-A-02	C3	
STATUS:			
CONSTRUCTION			

Plot No.
As - 3.
Ha - .



SECOND FLOOR PLAN

SPECIFICATION

SMOKE DETECTOR
S
△

HEAT DETECTOR
H
△

ELECTRIC METER
Elec
□

GAS METER
Gas
□

GAS METER Universal box
Gas
□

BOILER with flue outlet
B
□

SVP within boxing
SVP
□

STUB STACK and Gargo within boxing
STUB
□

INTERNAL DRAINAGE
ID
□

RAIN WATER PIPE
RWP
□

EXTRACTOR FAN (ceiling)
ef
□

EXTRACTOR FAN (wall)
ef
□

EXTRACTOR FAN (kitchen hood)
chef
□

VENT (tumble dryer)
lv
□

FIRE DOORS - to be 30 minute fire integrity with self-closing device
FD30
□

MOVEMENT JOINT (0% in Render only)
mj
□

CONCRETE PADSTONE (see to structural engineer's assn)
ps
□

FINISH DIMENSIONS
critical dimensions taken to the finished face & not point of structural
550
□

EXTERNAL WALL (PARTIAL FILLS) - 300mm Cavity wall
Outer skin - 100mm facing brickwork or 100mm reconstituted stone.
Cavity - 50/50mm clear residual cavity
Wall ties - @ 450mm c/c's vertically & 900mm horizontally.
Cavity insulation - 75mm foil backed PUR insulation
Inner skin - 100mm block
Internal finish - 12.5mm plasterboard on plaster dabs.

TILE HANGING
As main wall - both skins in blockwork

REFER TO ELEVATIONS AND SITE MATERIAL LAYOUT TO CONFIRM FINISHES

SEMI EXPOSED GARAGE WALL
As main wall - both skins in blockwork

SEMI EXPOSED GARAGE WALL - 100mm thick
Garage skin - 100mm block
Internal finish (House) - insulated plasterboard

INTERNAL WALL - 100/140/15mm Dense blockwork with min compressive strength of 3.5N/mm² or as otherwise noted

INTERNAL PARTITION - 80x38mm timber vertical studs. Wall to achieve 30min fire and 40dB

INTERNAL PARTITION - 100x38mm timber vertical studs. Wall to achieve 30min fire and 40dB

Structural Load Bearing Studwork - 100x50mm vertical timber studs at 450mm c/c's with 12.5mm OSB sheathing. Wall to achieve 30min fire and 40dB. refer to details

INTERNAL PARTITION - Butress stud wall of 80x38mm timber vertical studs @ max 450mm c/c's with 12.5mm OSB sheathing. Wall to achieve 30min fire and 40dB. refer to details

Butress Stud

ESCAPE WINDOW to comply with Building Regulations AD Part B
(ew)
(sq)

SAFETY GLAZING to comply with Building Regulations AD Part N
(ob)

OBSCURE GLAZING refer to spec for pattern type

THRESHOLD to comply with Building Regulation AD Part M
(m)

FIXED GLAZING non-opening window
(fx)

CAVITY BARRIER at party wall junctions

THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULLSPECIFICATION INCLUDED IN THE HOUSE TYPE PACK

Second Floor Internal Openings				
Ref.	Structural Opening Width	Height	Door Size (leaf)	Notes
D22	816	2040	762x1981	115mm lining
D23	816	2040	762x1981	115mm lining
D24	816	2040	762x1981	115mm lining
D25	816	2040	762x1981	115mm lining
D26	816	2040	762x1981	115mm lining

Brick Finish:

- Movement joints at max. 12m c/c's
- Outer leaf in brickwork
- Inner leaf blockwork strength (min.) 7.3N/mm²

Render / Cladding Finish:

- Movement joints at max. 6m c/c's (subject to manufacturers requirements)
- Outer leaf blockwork strength (min.) 3.5N/mm² with blockwork density less than 1500kg/m³
- Inner leaf blockwork strength (min.) 7.3N/mm²

Bedjoint reinforcement to enhance MJ's
This is for render/cladding finish with blockwork density less than 1500kg/m³.

- Bed joint reinforcement on outer leaf at 225mm vertical centres - movement joints at max. 10m c/c's
- Bed joint reinforcement on outer leaf at 450mm vertical centres - movement joints at max. 5m c/c's

Bedjoint reinforcement at Openings

- Bed joint reinforcement will be required above and below window/door openings as standard practise.
- Usually first two courses of the external leaf above and below openings and 600mm minimum pass edge of window/door opening where possible.

C1	Issued for CONSTRUCTION	03-02-22	CW
T4	Wardrobes & sanitary items updated, roof access doors adjusted in line with truss design.	22-12-21	CW
T3	Wardrobe note added.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Tender Issue	10-09-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR
------	----------------------	------	--------



CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
OSBOURNE (N1)

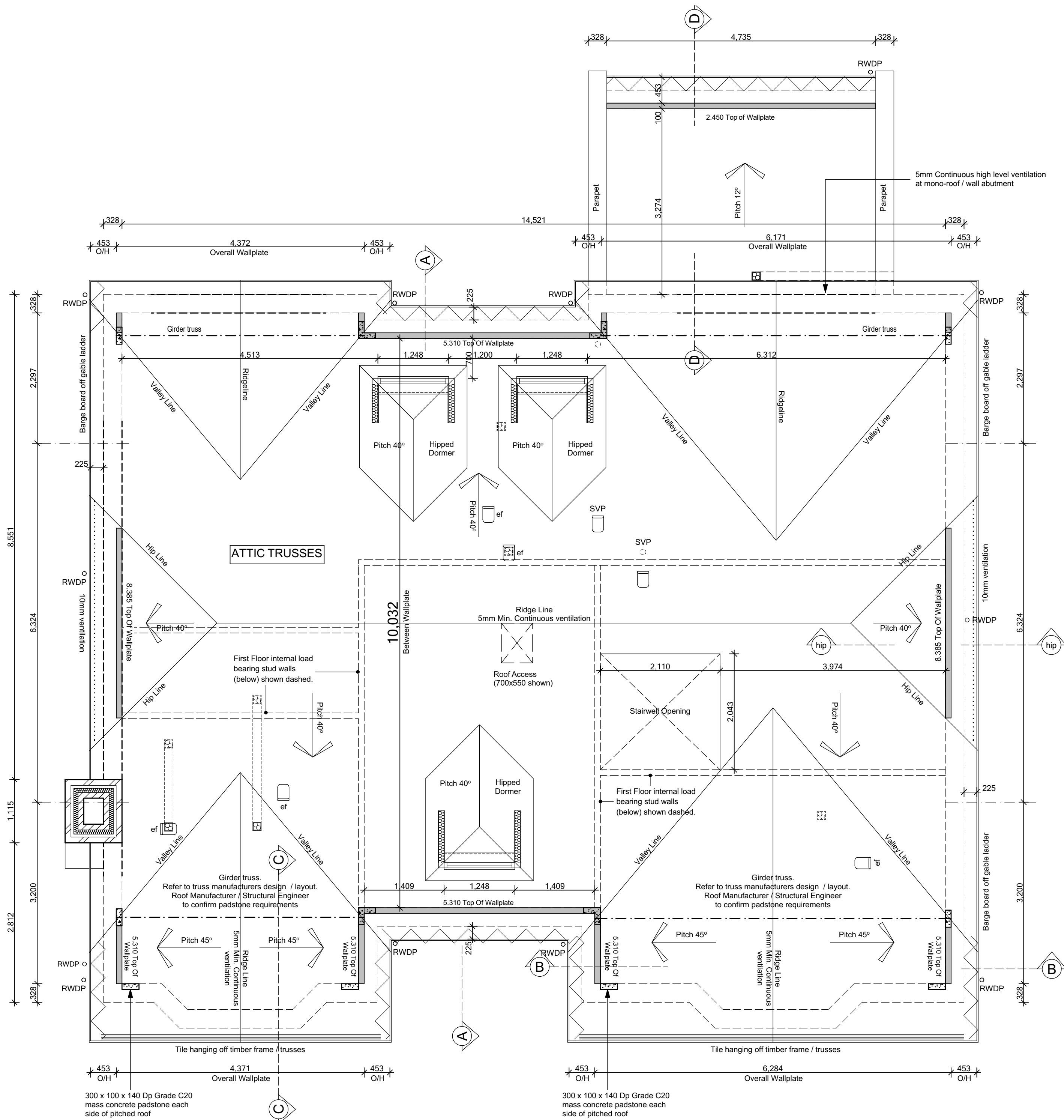
DRAWING TITLE:
Second Floor Plan

SCALE: 1:50 @ A1
DATE: May 2021
DRAWN BY: AD
CHECKED BY:

JOB NO: 801
DRAWING NO: N1-A-04
REVISION: C1

STATUS:
CONSTRUCTION

Plot No.
As - 3.
Ha - .



ROOF PLAN (N1)

ROOF legend

- Prefabricated trussed rafters (to BS 5268 Part 11 1985) to be designed by specialist supplier. Main roof finish secured in accordance with manufacturer's recommendation regarding pitch and exposure.
- Pitch 7°
 - ROOF PITCH
 - VENTILATION 5mm continuous
 - VENTILATION 10mm continuous
 - VENTILATION 25mm continuous
 - EXTRACTOR FAN ducted to tile vent
 - SVP SVP terminating at approved tile vent
 - BF BOILER OUTLET terminating at roof
 - CODE 4 LEAD FLASHING with proprietary cavity tray system
 - PARTY WALL built up to u/s of roof covering and fire stopped
 - WALL PLATE 100x50mm to be bedded on mortar and strapped to masonry. Whenever practicable wall plates to be in lengths not less than 3m and jointed with half-lapped joints
- THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULLSPECIFICATION INCLUDED IN THE HOUSE TYPE PACK

C1	Issued for CONSTRUCTION	03-02-22	CW
T3	Missing load-bearing studs added.	22-12-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR
------	----------------------	------	--------



CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
OSBOURNE (N1)

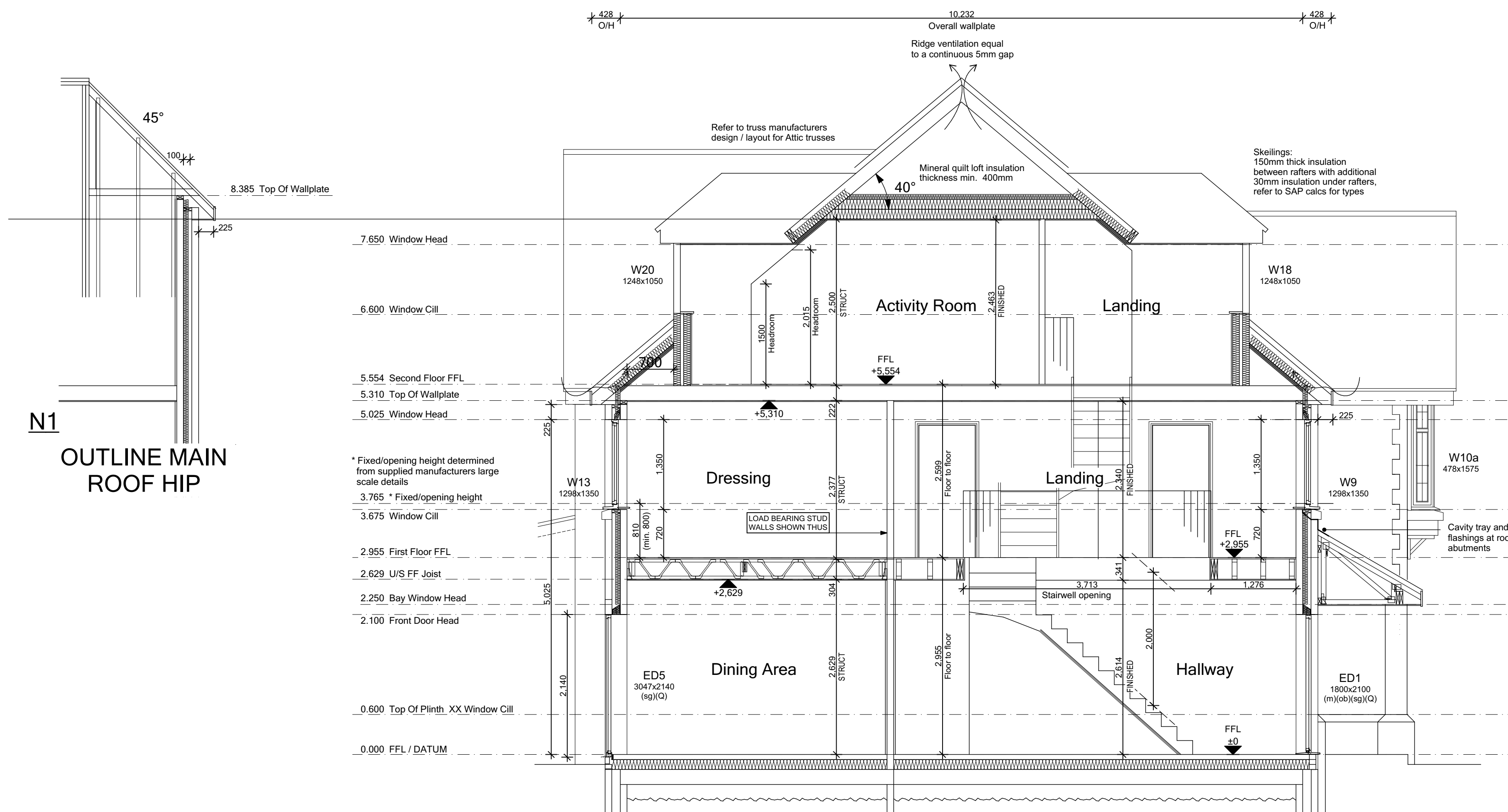
DRAWING TITLE:
Roof Layout

SCALE: 1:50 @ A1
DATE: July 2021
DRAWN BY: AD/CW
CHECKED BY:

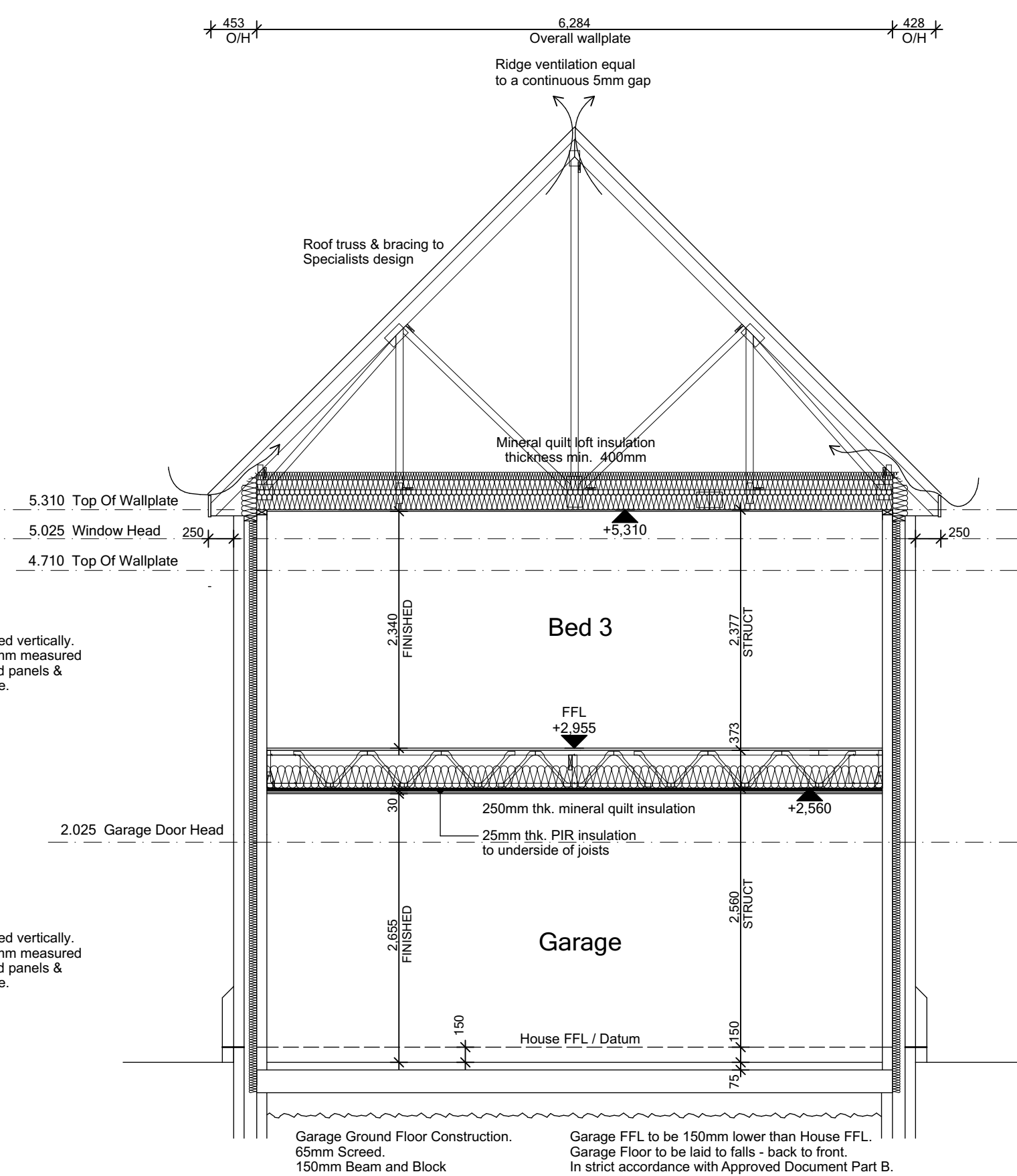
JOB NO: 801
DRAWING NO: N1-A-06
REVISION: C1

STATUS:
CONSTRUCTION

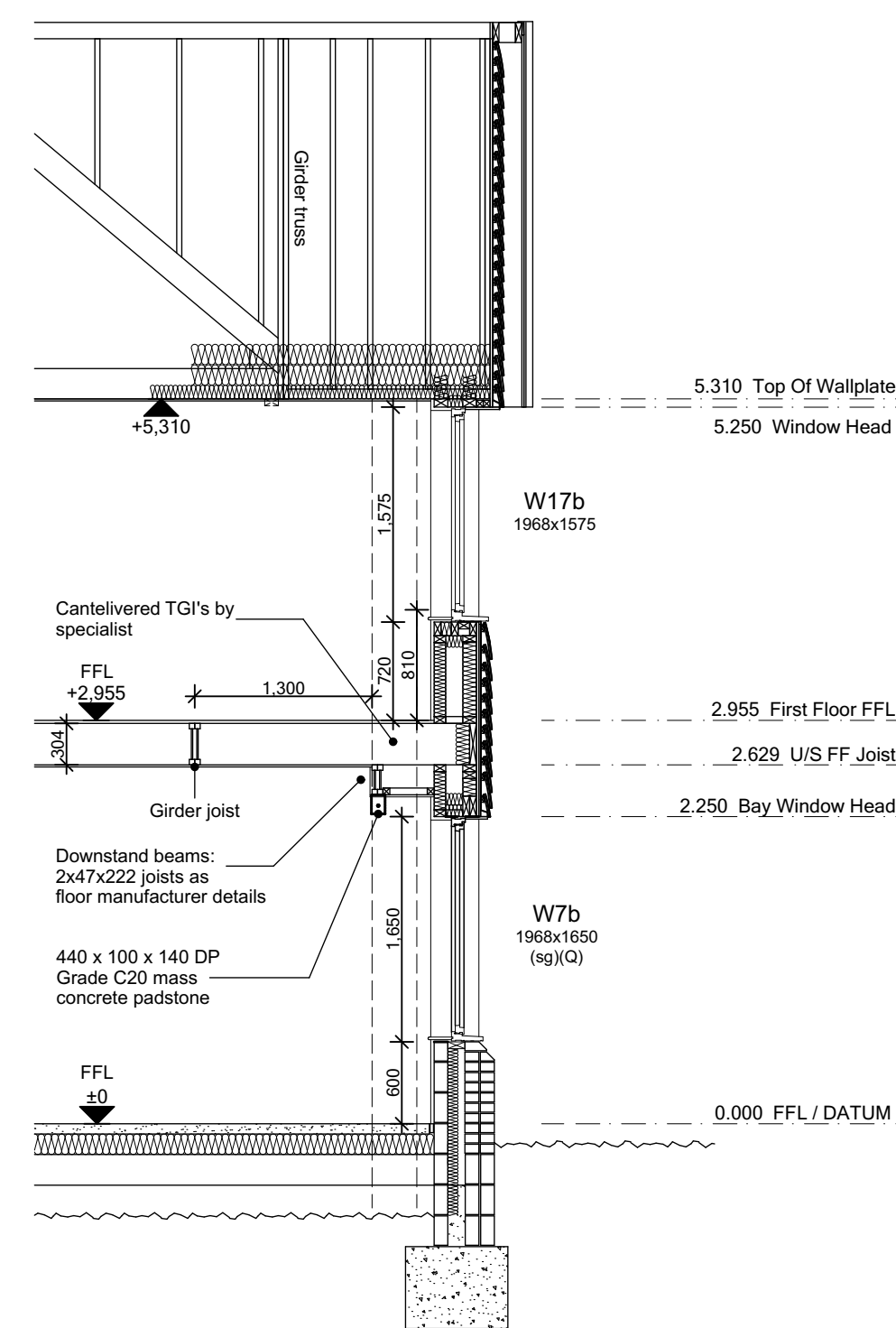
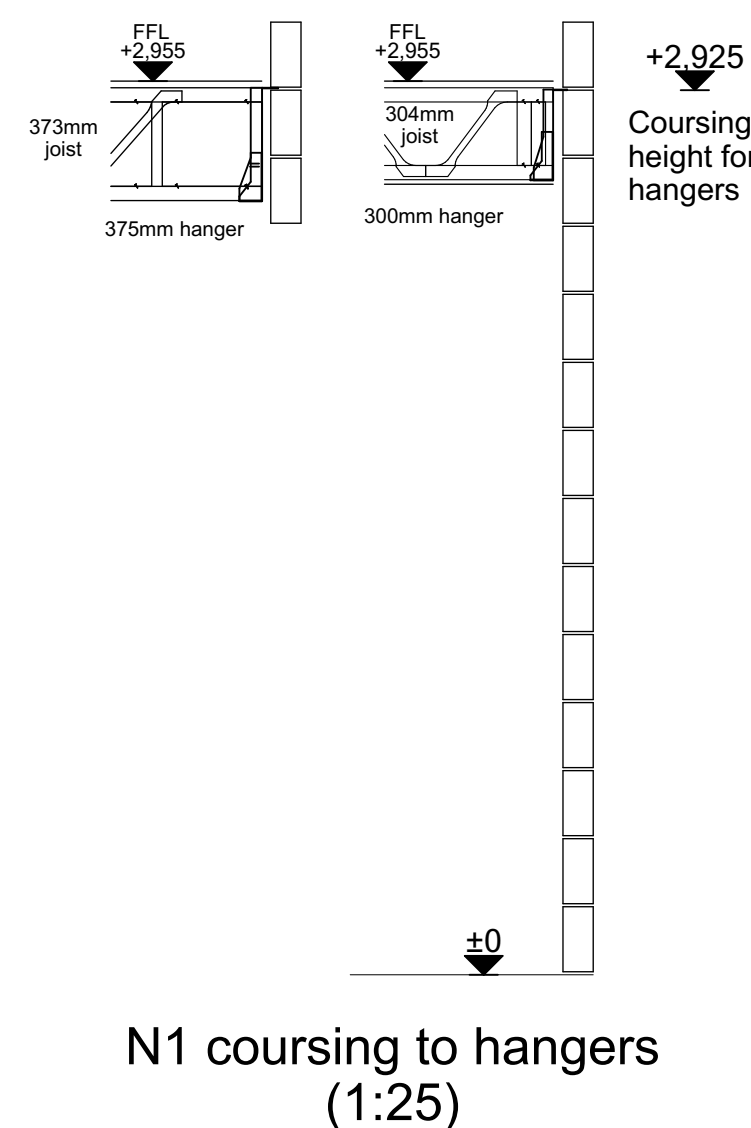
Plot No.
As - 3.
Ha - .



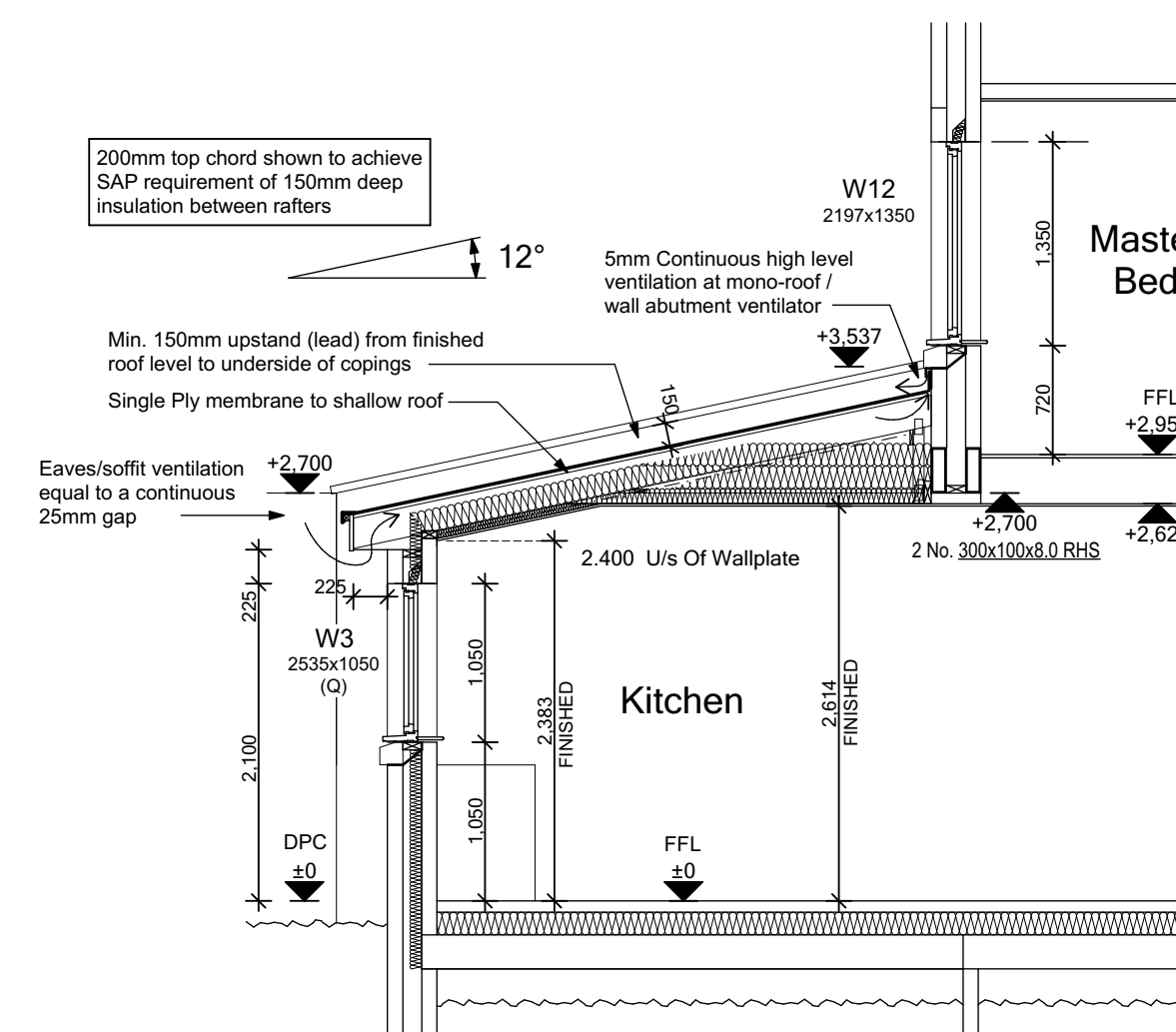
TYPICAL SECTION A-A



TYPICAL SECTION B-B



TYPICAL SECTION C-C



TYPICAL SECTION D-D

Plot No.
As - 3.
Ha - .

C1	Issued for CONSTRUCTION	03-02-22	CW
T4	Specialist trusses + joists added, first floor FFL adjusted to suit courting / hangers, staircase parameters updated, insulation added to garage ceiling.	22-12-21	CW
T3	Level threshold removed from rear bi-fold doors.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR
------	----------------------	------	--------



CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
OSBOURNE (N1)

DRAWING TITLE:
Sections

SCALE: 1:50 @ A1 DATE: July 2021 DRAWN BY: AD/CW CHECKED BY:

JOB NO: 801 DRAWING NO: N1-A-07 REVISION: C1

STATUS:
CONSTRUCTION

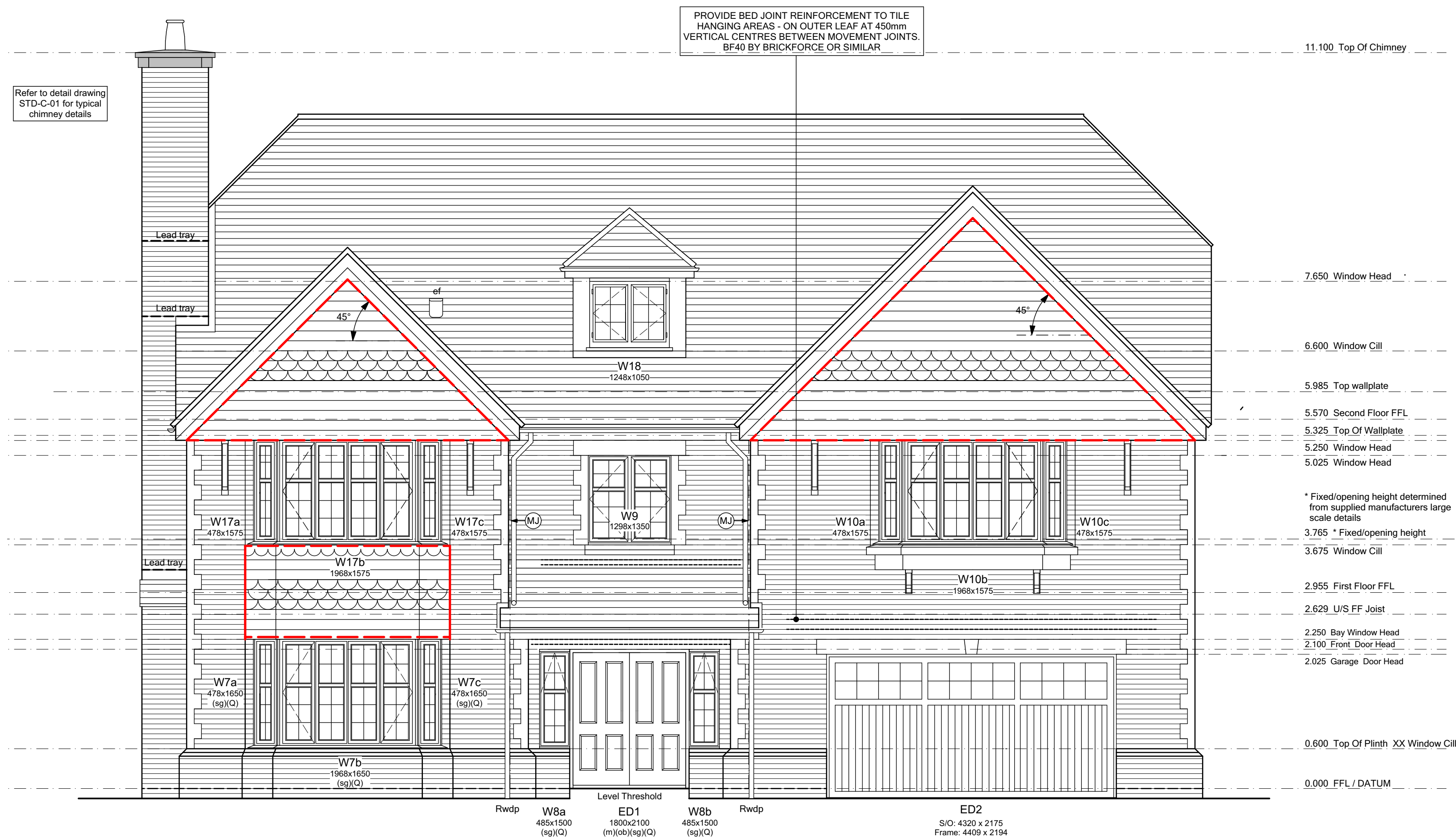


Side Elevation

ELEVATION legend

- bfr BOILER OUTLET and metal guard (due terminal min 300mm from any opening or RWP)
- chef COOKER HOOD extractor fan ducted thru' wall
- ef EXTRACTOR FAN ducted thru' wall
- v VENT ducted thru' wall for tumble dryer / washer dryer
- ef EXTRACTOR FAN ducted to the vent
- svp SVP terminating at approved tile vent
- wl EXTERNAL WALL LIGHT refer to spec for type/style
- (ew) ESCAPE WINDOW to comply with Building Regulations AD Part 5
- (sg) SAFETY GLAZING to comply with Building Regulations AD Part 5
- (ob) OBSCURE GLAZING refer to spec for pattern/type
- (m) THRESHOLD to comply with Building Regulation AD Part 5
- (fx) FIXED GLAZING non-opening window
- (m) THRESHOLD to comply with Building Regulation AD Part 5
- G GAS METER wall mounted
- G GAS METER Universal box
- E ELECTRIC METER wall mounted
- MJ MOVEMENT JOINT

- Brick Finish:
- Movement joints at max. 12m c/c's
 - Outer leaf in brickwork.
 - Inner leaf blockwork strength (min.) 7.3N/mm²
- Render / Cladding Finish:
- Movement joints at max. 6m c/c's (subject to manufacturers requirements)
 - Outer leaf blockwork strength (min.) 3.6N/mm² with blockwork density less than 1500kg/m³
 - Inner leaf blockwork strength (min.) 7.3N/mm²
- Bedjoint reinforcement to enhance MJ's
- This is for render/cladding finish with blockwork density less than 1500kg/m³.
- Bed joint reinforcement on outer leaf at 225mm vertical centres - movement joints at max. 10m c/c's
 - Bed joint reinforcement on outer leaf at 450mm vertical centres - movement joints at max. 8m c/c's
- Bedjoint reinforcement at Openings
- Bed joint reinforcement will be required above and below window/door openings as standard practise.
 - Usually first two courses of the external leaf above and below openings and 600mm minimum pass edge of window/door opening where possible.



Front Elevation

CAVITY FIRE BARRIERS SET WITHIN EXTERNAL CLADDING

HORIZONTAL INTUMESCENT STRIPS IN CLADDING CAVITIES. VENTILATION TO BE MAINTAINED. TENMAT OR SIMILAR APPROVED.

VERTICAL CAVITY BARRIERS IN CLADDING CAVITIES.

FIRE STOPPING AROUND ALL OPENINGS SET WITHIN CLADDING. HORIZONTAL AND VERTICAL STOPPING.

ALL DUCTING AND FLUES ETC (MVs / BOILER FLUES) PENETRATING THE CLADDING TO BE FIRE PROTECTED. PROVIDE FIRE BARRIER TO THE ENTIRE PERIMETER OF FLUE / DUCT WITHIN THE CONCEALED CAVITY.

C1	Issued for CONSTRUCTION	03-02-22	CW
T4	First floor FFL adjusted to suit coursing / hangers. Chimney updated with stone requirements & remove lead tray, landing window adjusted & utility door handed. Lower lead tray added to chimney.	22-12-21	CW
T3	General updates to Clients comment.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR
------	----------------------	------	--------



CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
OSBOURNE (N1)

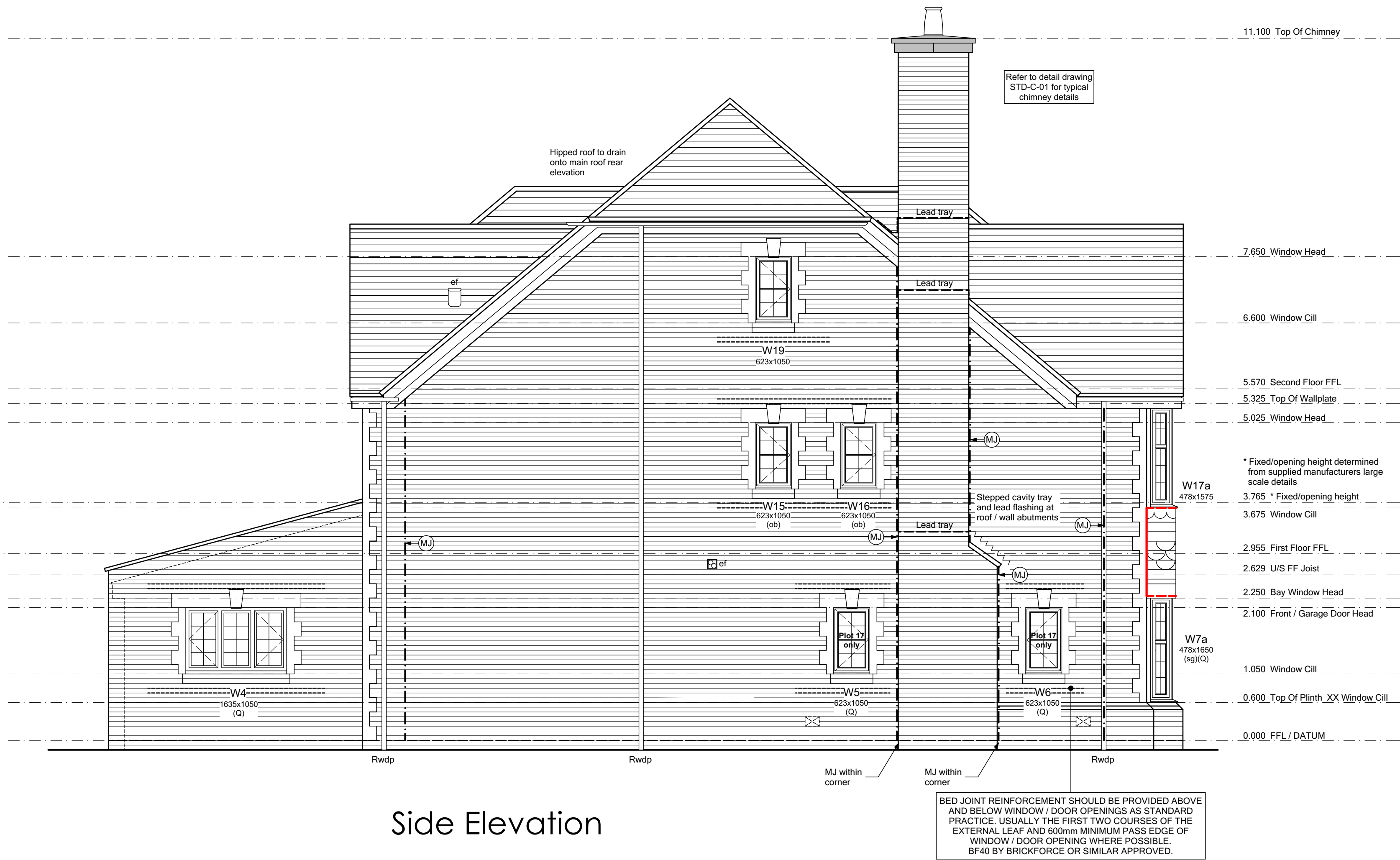
DRAWING TITLE:
Front & Side Elevations

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
1:50 @ A1	July 2021	AD/CW	

JOB NO:	DRAWING NO:	REVISION:
801	N1-A-08	C1

STATUS:
CONSTRUCTION

Plot No.
As - 3.
Ha - .



Side Elevation

ELEVATION legend

- BOILER OUTLET and metal guard (see terminal min 300mm from any opening or RWP)
- EXTRACTOR FAN ducted thru' wall
- VENT ducted thru' wall for tumble dryer / washer dryer
- EXTRACTOR FAN ducted to the vent
- SVP terminating at approved tile vent
- EXTERNAL WALL LIGHT refer to spec for type/style
- ESCAPE WINDOW to comply with Building Regulations AD Part N
- SAFETY GLAZING to comply with Building Regulations AD Part N
- OBSCURE GLAZING refer to spec for pattern/type
- THRESHOLD to comply with Building Regulation AD Part M
- FIXED GLAZING non-opening window
- THRESHOLD to comply with Building Regulation AD Part M
- GAS METER wall mounted
- GAS METER Universal box
- ELECTRIC METER wall mounted
- MOVEMENT JOINT

Brick Finish:

- Movement joints at max. 12m c/c's
- Outer leaf in brickwork.
- Inner leaf blockwork strength (min.) 7.3N/mm²

Render / Cladding Finish:

- Movement joints at max. 6m c/c's (subject to manufacturers requirements)
- Outer leaf blockwork strength (min.) 3.6N/mm² with blockwork density less than 1500kg/m³
- Inner leaf blockwork strength (min.) 7.3N/mm²

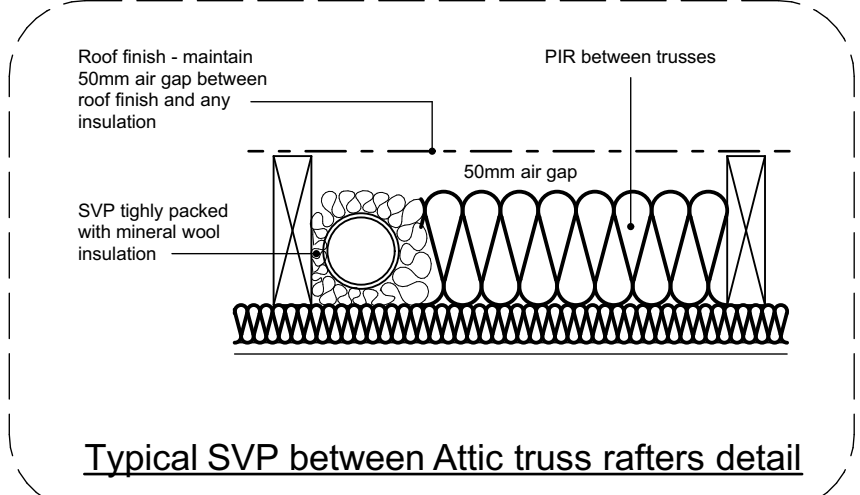
Bed joint reinforcement to enhance MJ's

This is for render/cladding finish with blockwork density less than 1500kg/m³.

- Bed joint reinforcement on outer leaf at 225mm vertical centres - movement joints at max. 10m c/c's
- Bed joint reinforcement on outer leaf at 450mm vertical centres - movement joints at max. 8m c/c's

Bed joint reinforcement at Openings

- Bed joint reinforcement will be required above and below window/door openings as standard practice.
- Usually first two courses of the external leaf above and below openings and 600mm minimum pass edge of window/door opening where possible.



Rear Elevation

CAVITY FIRE BARRIERS SET WITHIN EXTERNAL CLADDING

HORIZONTAL INTUMESCENT STRIPS IN CLADDING CAVITIES. VENTILATION TO BE MAINTAINED. 'TENMAT' OR SIMILAR APPROVED.

VERTICAL CAVITY BARRIERS IN CLADDING CAVITIES.

FIRE STOPPING AROUND ALL OPENINGS SET WITHIN CLADDING. HORIZONTAL AND VERTICAL STOPPING.

ALL DUCTING AND FLUES ETC (MVs / BOILER FLUES) PENETRATING THE CLADDING TO BE FIRE PROTECTED. PROVIDE FIRE BARRIER TO THE ENTIRE PERIMETER OF FLUE / DUCT WITHIN THE CONCEALED CAVITY.

C1	Issued for CONSTRUCTION. SVP note and detail added.	03-02-22	CW
T4	First floor FFL adjusted to suit coursing / hangers. Chimney updated with stone requirements & remove lead tray.	22-12-21	CW
T3	Level threshold removed from rear bi-fold doors, lower lead tray added to chimney.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR
------	----------------------	------	--------



CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
OSBOURNE (N1)

DRAWING TITLE:
Rear & Side Elevations

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
1:50 @ A1	July 2021	AD/CW	

JOB NO:	DRAWING NO:	REVISION:
801	N1-A-09	C1

STATUS:
CONSTRUCTION

Plot No.
As - 3.
Ha - .

ELECTRICAL legend

- Single switched socket - Above
- Double switched socket - Above
- Single switched socket
- Double switched socket
- Double switched socket with USB sockets
- Infrastructure to be provided for provision of future car charging point.
- Switched fused spur for cooker hood
- Switched fused spur with neon indicator
- Switched fused spur for kitchen extractor
- Boiler isolation switch
- Switched fused spur socket
- High level switched socket
- Shaver socket without light
- Gas point
- Consumer Unit - to be fitted at 1300mm from floor level
- Smoke detector - Mains operated
- Carbon monoxide detector interlinked system
- Extractor fan (wall)
- Switched fused spur for future alarm
- Switched fused spur for future start/stop
- Handheld shower
- Media output TV/Sat/Internet above kitchen worktop
- 3 Pole fan isolator
- High level unswitched socket
- Low level unswitched socket
- Double pole isolator switch
- 32 amp Double pole isolator switch for hob above worktop
- Cooker outlet plate
- Room Thermostat
- Nest GEN 3 Smart Programmable Thermostat
- Master phone socket
- Media output TV/Sat/Internet
- Openreach output TV/Sat/Internet
- Door bell
- Bell push
- All appliance sockets connected to a central control panel located above worktop level
- Heat detector
- Extractor fan (ceiling)
- Switched fused spur for under floor heating manifold
- Radiator
- Shower valve

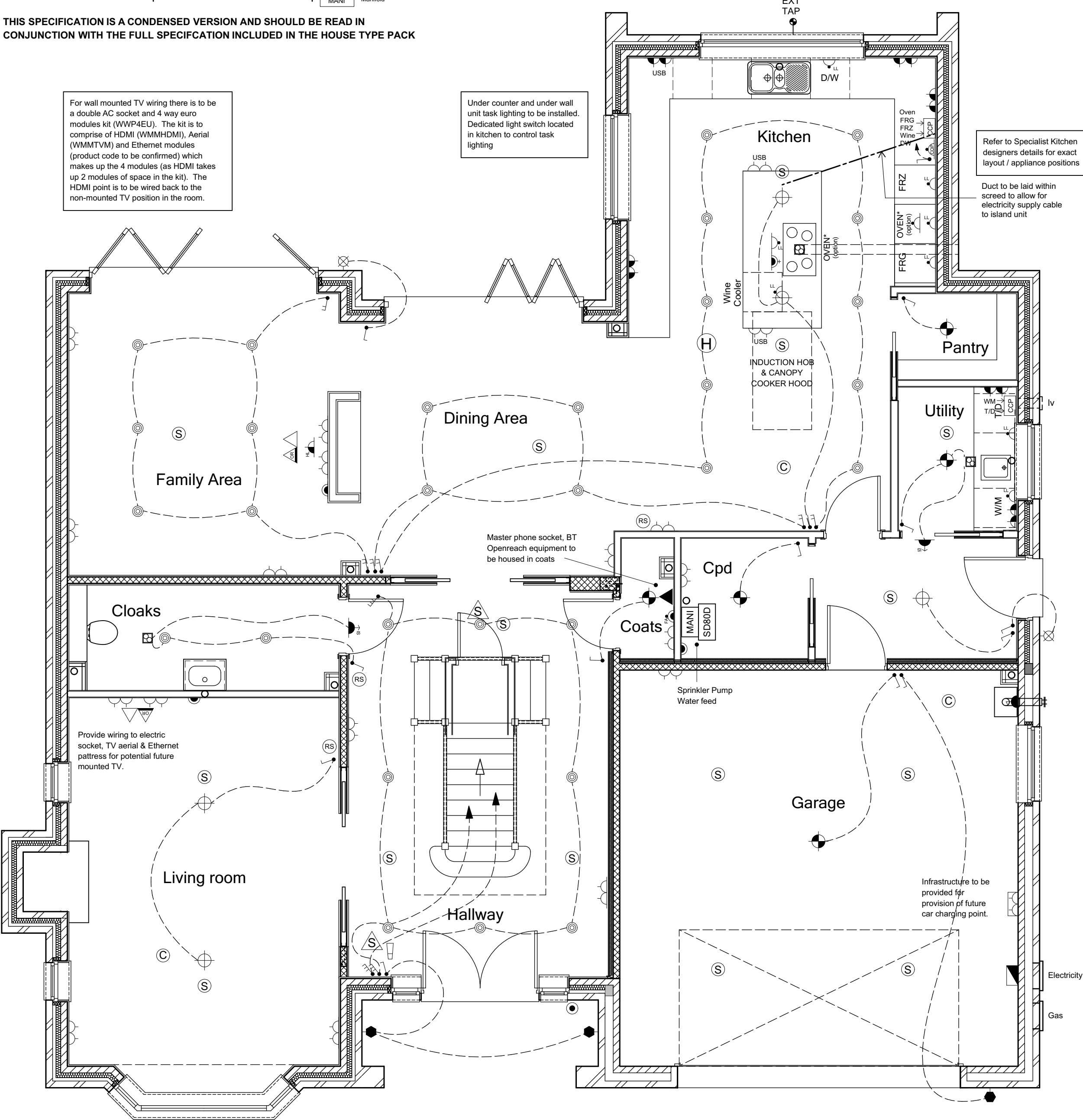
LIGHTING legend

- One way switch
- Two way switch
- Three way switch
- Pull chord switch
- Switch at high level with neon light
- Dimmer switch
- Ceiling lighting point (Pendant type)
- Ceiling lighting point (Batten type)
- External wall mounted lighting point
- 3 way spotlight
- Recessed Spotlight
- External wall mounted lighting point (PEC)
- Wall mounted light
- Pinet Lighting
- Ceiling lighting point (pendant type) - In attic space
- Ceiling spotlight point (pendant type)

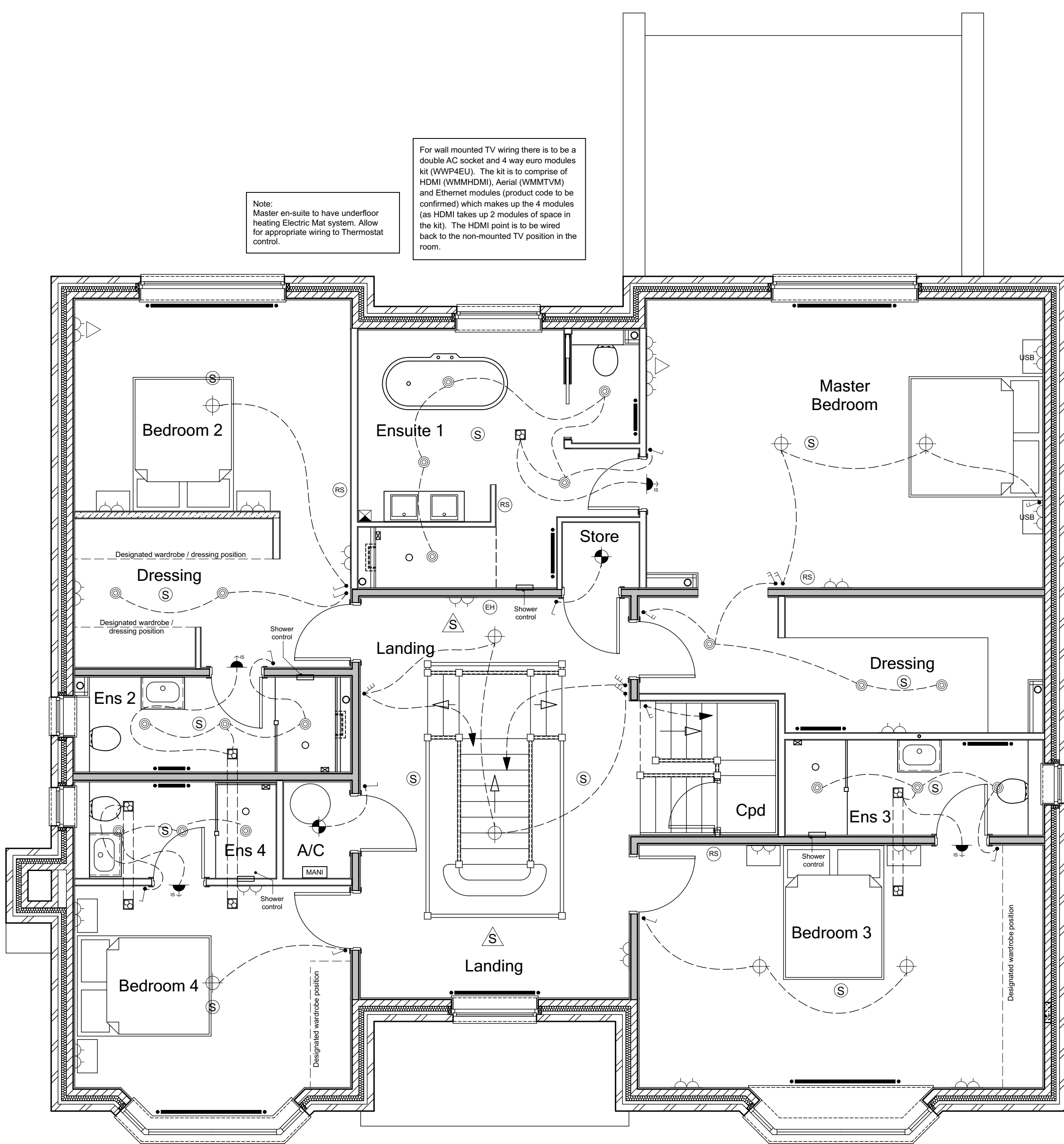
HEATING legend

- Evo Home controller
- Room thermostat
- Manifold

THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULL SPECIFICATION INCLUDED IN THE HOUSE TYPE PACK



GROUND FLOOR PLAN



FIRST FLOOR PLAN

C4	Pendants added over kitchen island.	15-11-22	CW
C3	Cloaks lower rail removed, manifolds & room stats added in line with Specialist heating design.	16-09-22	CW
C2	Duct to kitchen island & breakfast bar added, kitchen electrics updated.	01-03-22	CW
C1	Issued for CONSTRUCTION	03-02-22	CW
T5	Consumer Unit relocated as instructed, car charging legend updated.	17-01-22	CW
T4	Wardrobes & sanitary items updated.	22-12-21	CW
T3	Updates to equipment in garage, wardrobe note.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV:	REVISION DESCRIPTION	DATE	AUTHOR
------	----------------------	------	--------



CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
OSBOURNE (N1)

DRAWING TITLE:
Ground & First Floor Plan
M&E Layout

SCALE: 1:50 @ A1
DATE: Sept 2021
DRAWN BY: CW
CHECKED BY:

JOB NO: 801
DRAWING NO: N1-A-10
REVISION: C4

STATUS:
CONSTRUCTION

Plot No.
As - 3.
Ha - .

ELECTRICAL legend

- Single switched socket - Above worktop
- Double switched socket - Above worktop
- Single switched socket
- Double switched socket
- Double switched socket with USB sockets
- Infrastructure to be provided for provision of future car charging point.
- Switched fused spur for cooker hood
- Switched fused spur with neon indicator
- Switched fused spur for kitchen extractor
- Boiler isolation switch
- Switched fused spur socket
- High level switched socket
- Shaver socket without light
- Gas point
- Consumer Unit - to be fitted at 1300mm from floor level
- Smoke detector - Mains operated
- Carbon monoxide detector interlinked system
- Extractor fan (wall)
- Switched fused spur for future alarm
- Switched fused spur for future startlift
- Handheld shower
- Media output TV/Sat/Internet above kitchen worktop
- 3 Pole fan isolator
- High level unswitched socket
- Low level unswitched socket
- Double pole isolator switch
- 32 amp Double pole isolator switch for hob above worktop
- Cooker outlet plate
- Room Thermostat
- Nest GEN 3 Smart Programmable Thermostat
- Master phone socket
- Media output TV/Sat/Internet
- Openreach output TV/Sat/Internet
- Door bell
- Bell push
- All appliance sockets connected to a central control panel located above worktop level
- Heat detector
- Extractor fan (ceiling)
- Switched fused spur for under floor heating manifold
- Radiator
- Shower valve

LIGHTING legend

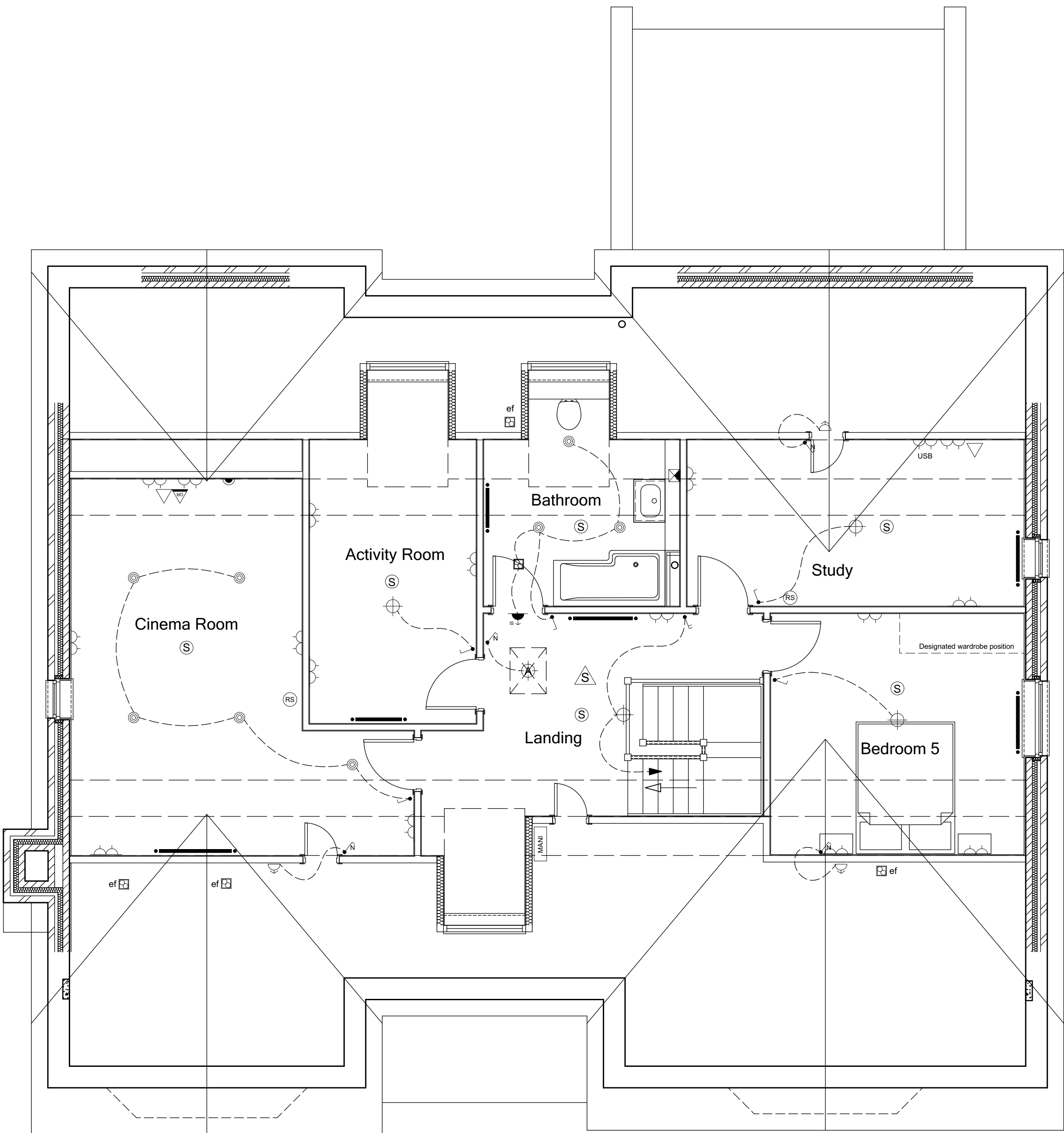
- One way switch
- Two way switch
- Three way switch
- Pull chord switch
- Switch at high level with neon light
- Dimmer switch
- Ceiling lighting point (Pendant type)
- Ceiling lighting point (Batten type)
- External wall mounted lighting point.
- 3 way spotlight
- Recessed Spotlight
- External wall mounted lighting point (PEC)
- Wall mounted light
- Pinmet Lighting
- Ceiling lighting point (pendant type) - In attic space
- Ceiling sprinkler point (pendant type)

HEATING legend

- Evo Home controller
- Room thermostat
- Manifold

THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULL SPECIFICATION INCLUDED IN THE HOUSE TYPE PACK

For wall mounted TV wiring there is to be a double AC socket and 4 way euro modules kit (WWP4EU). The kit is to comprise of HDMI (WMMHDMI), Aerial (WMMTVN) and Ethernet modules (product code to be confirmed) which makes up the 4 modules (as HDMI takes up 2 modules of space in the kit). The HDMI point is to be wired back to the non-mounted TV position in the room.



SECOND FLOOR PLAN

C3	Loft lighting added.	12-12-22	CW
C2	Manifolds & room stats added in line with Specialist heating design.	16-09-22	CW
C1	Issued for CONSTRUCTION	09-02-22	CW
T5	Consumer Unit relocated as instructed, car charging legend updated.	17-01-22	CW
T4	Wardrobes & sanitary items updated.	22-12-21	CW
T3	Wardrobe note added.	05-11-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV:	REVISION DESCRIPTION	DATE	AUTHOR
------	----------------------	------	--------



CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
OSBOURNE (N1)

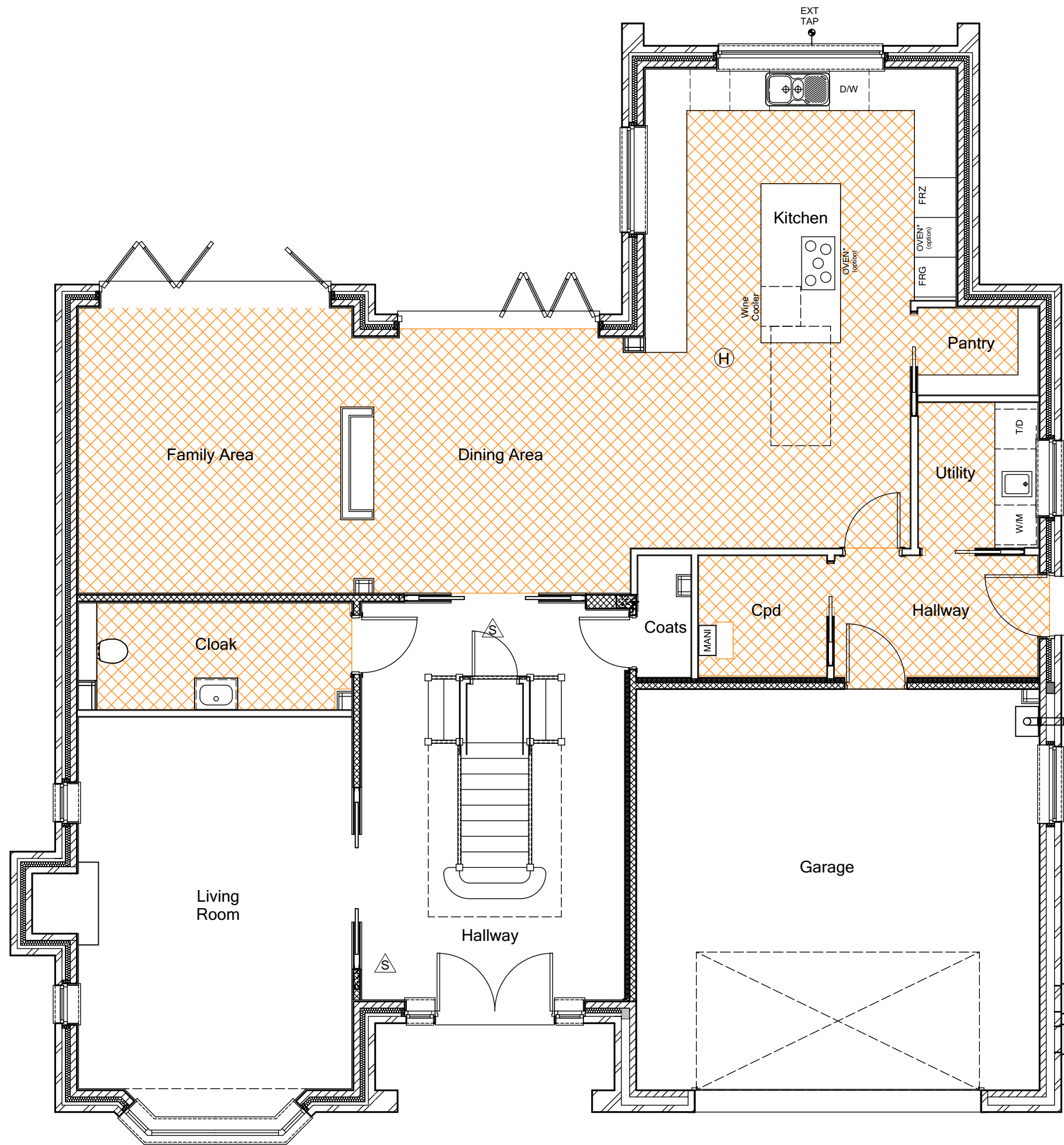
DRAWING TITLE:
Second Floor Plan
M&E Layout

SCALE: 1:50 @ A1 DATE: Sept 2021 DRAWN BY: CW CHECKED BY:

JOB NO: 801 DRAWING NO: N1-A-11 REVISION: C3

STATUS:
CONSTRUCTION

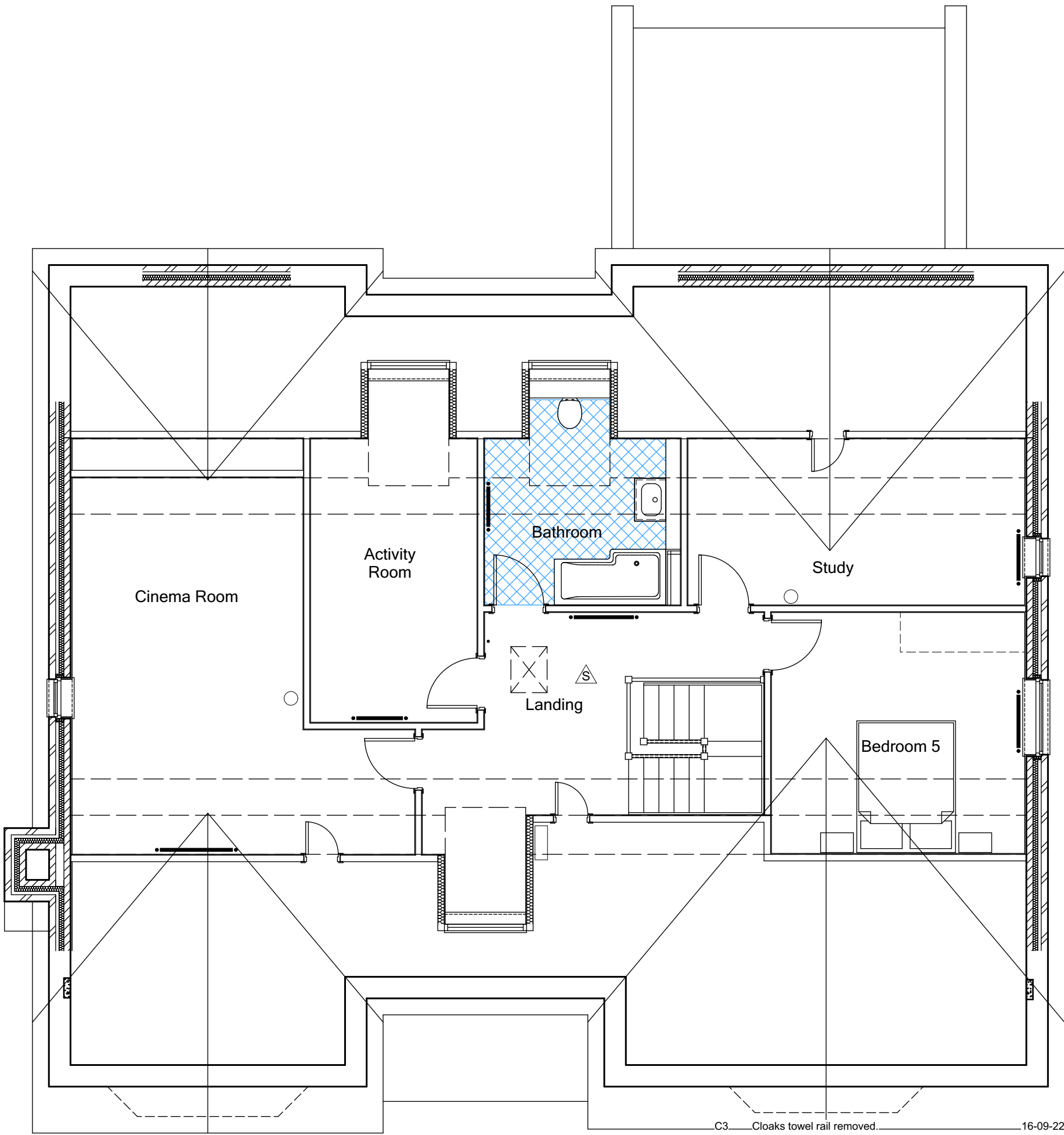
Plot No.
As - 3.
Ha - .



GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

FLOOR FINISH legend

- Customer choice of vinyl strip / ceramic flooring
- Vinyl strip flooring

THIS SPECIFICATION IS A CONDENSED VERSION
AND SHOULD BE READ IN CONJUNCTION WITH
THE FULL SPECIFICATION INCLUDED IN THE HOUSE
TYPE PACK

C3	Cloaks towel rail removed.	16-09-22	CW
C2	Breakfast bar added	01-03-22	CW
C1	Issued for CONSTRUCTION. Updates to show only floor finishes.	03-02-22	CW
T3	Wardrobes & sanitary items updated, landing window adjusted.	22-12-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV:	REVISION DESCRIPTION	DATE	AUTHOR
------	----------------------	------	--------



CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
OSBOURNE (N1)

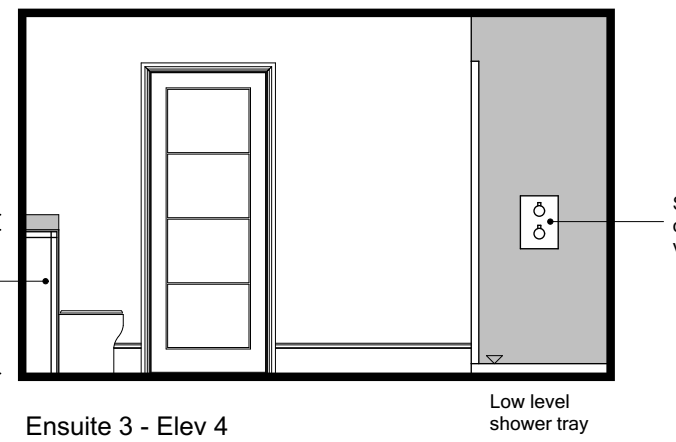
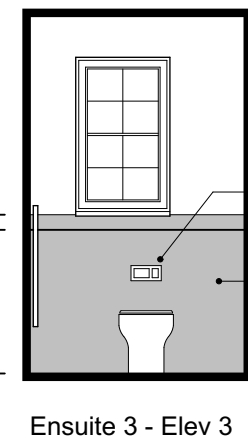
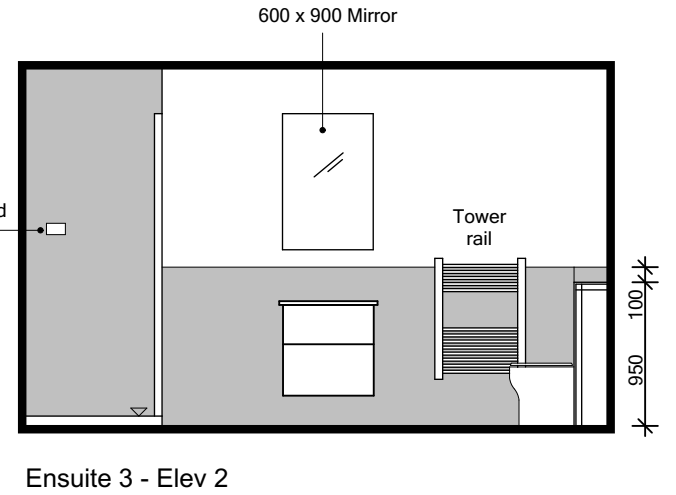
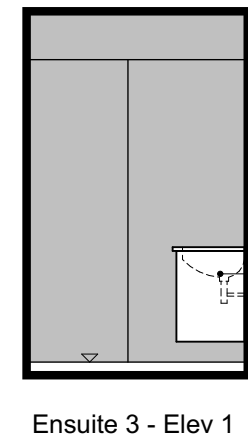
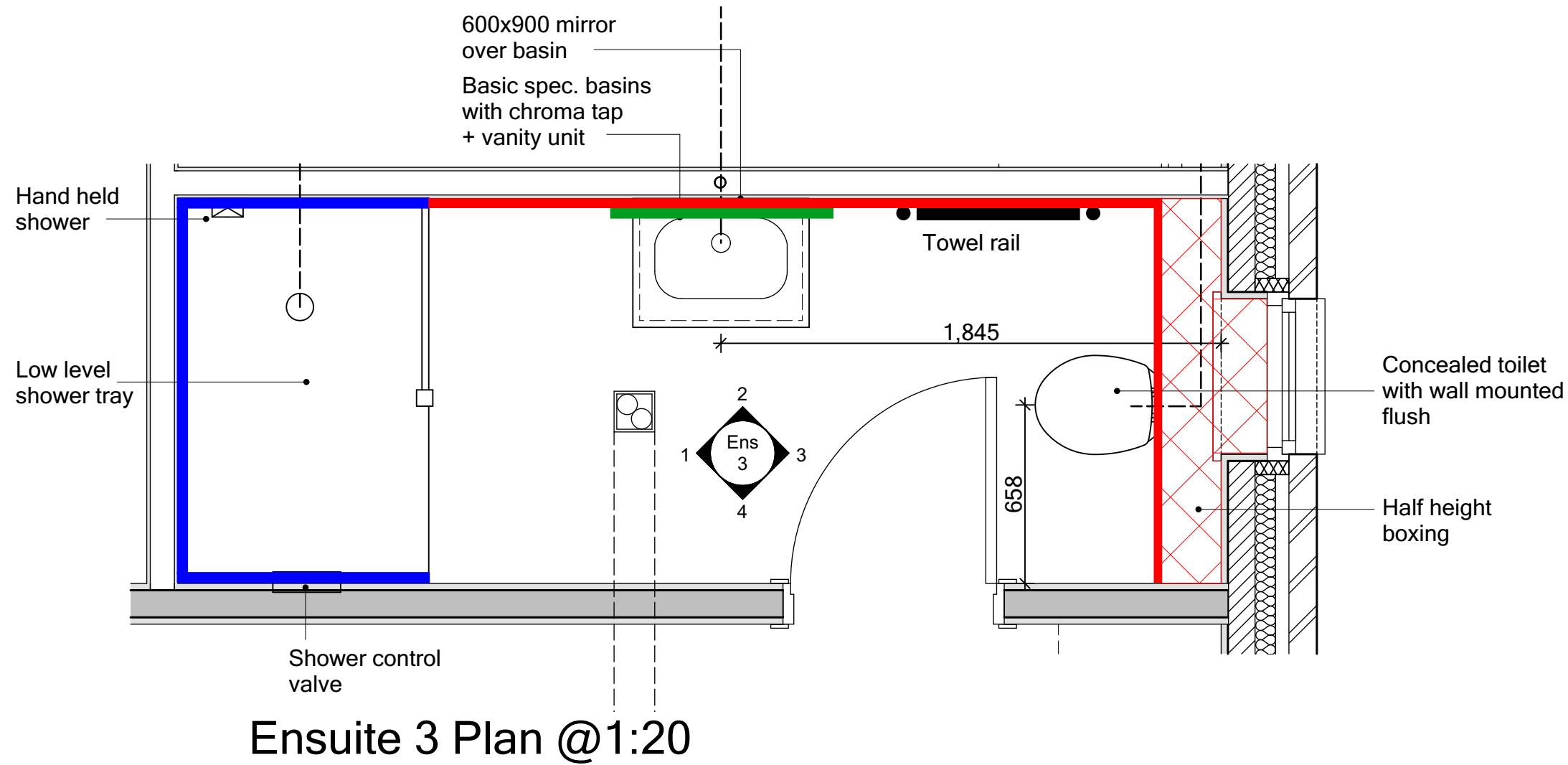
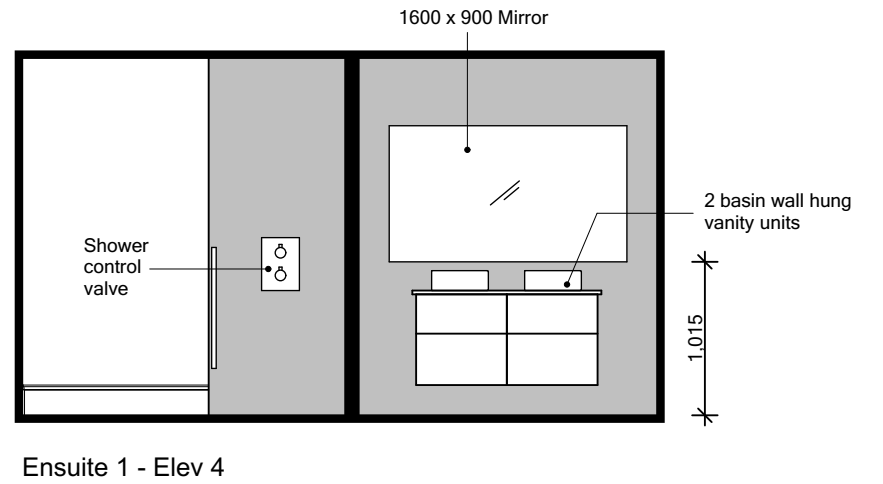
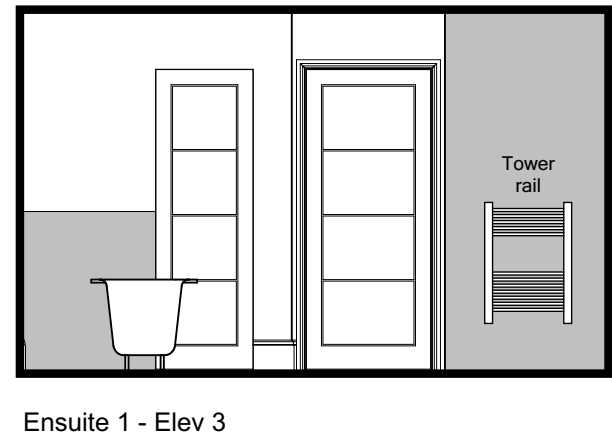
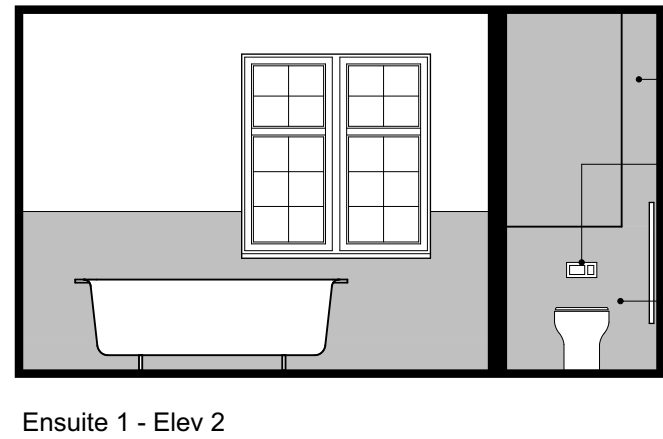
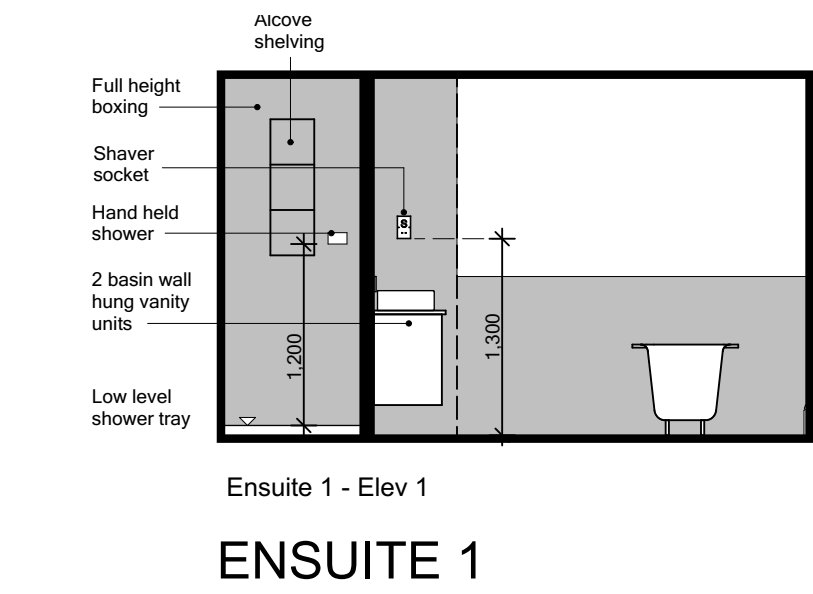
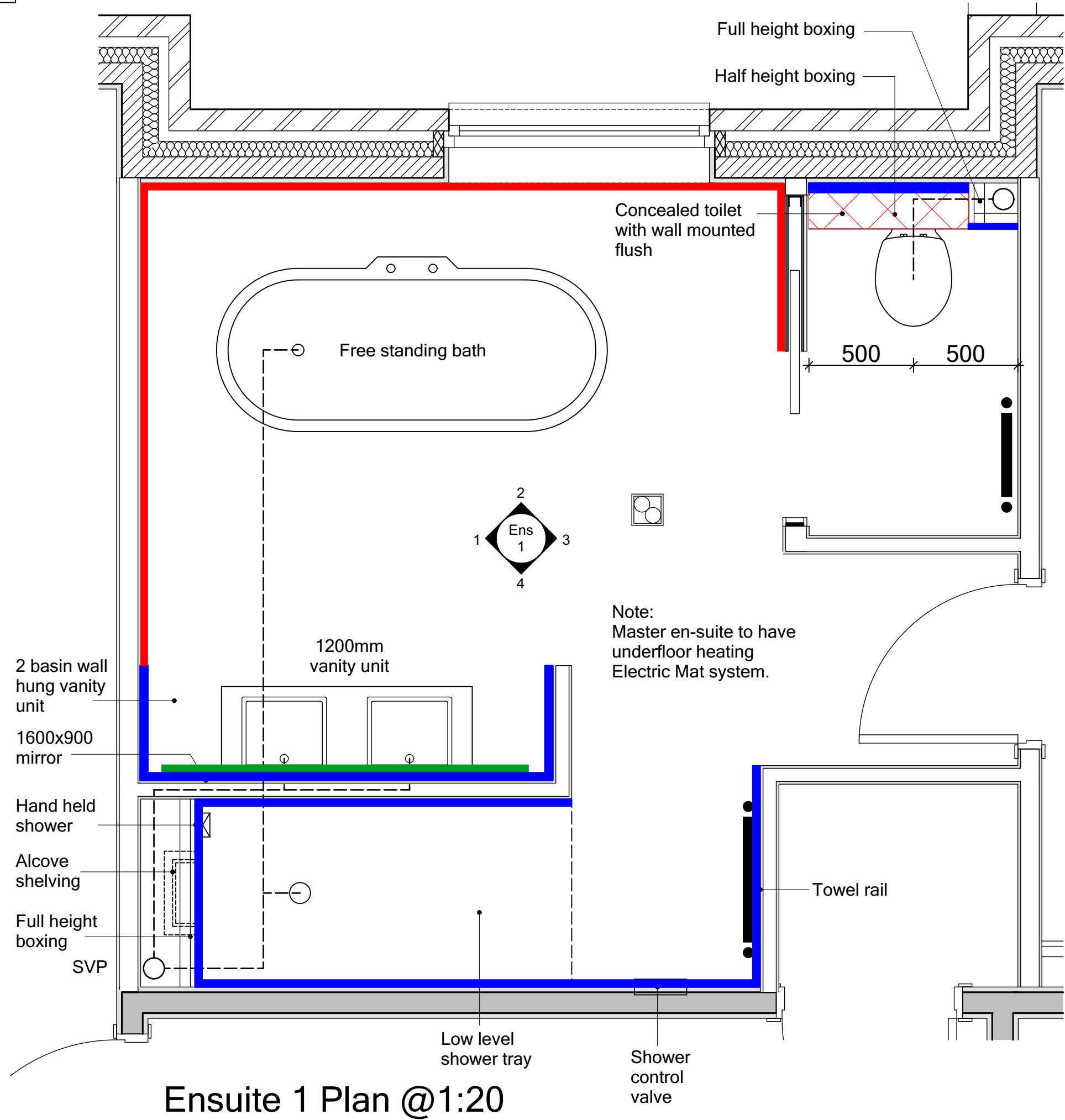
DRAWING TITLE:
Ground, First & Second Floor Plan
Floor finishes

SCALE: NTS @ A1 DATE: Sept 2021 DRAWN BY: CW CHECKED BY:

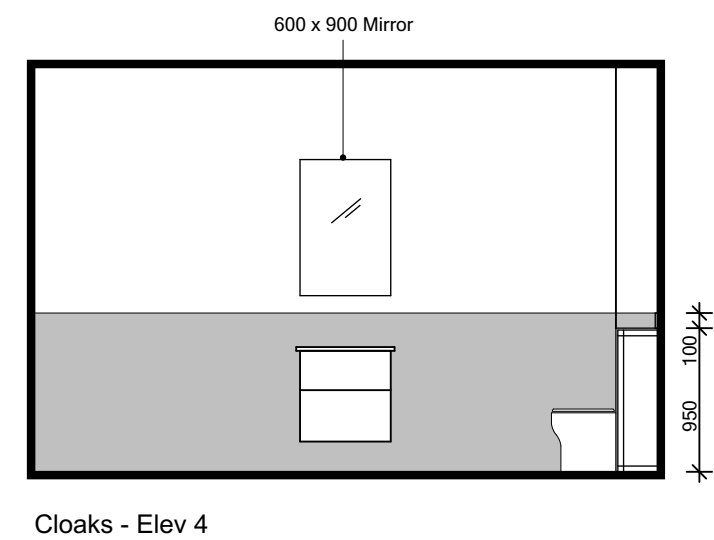
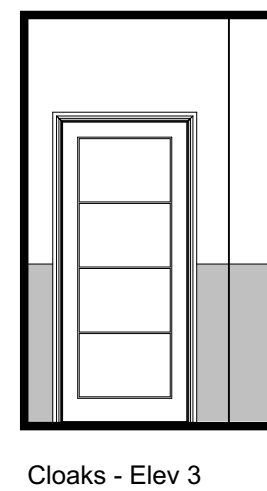
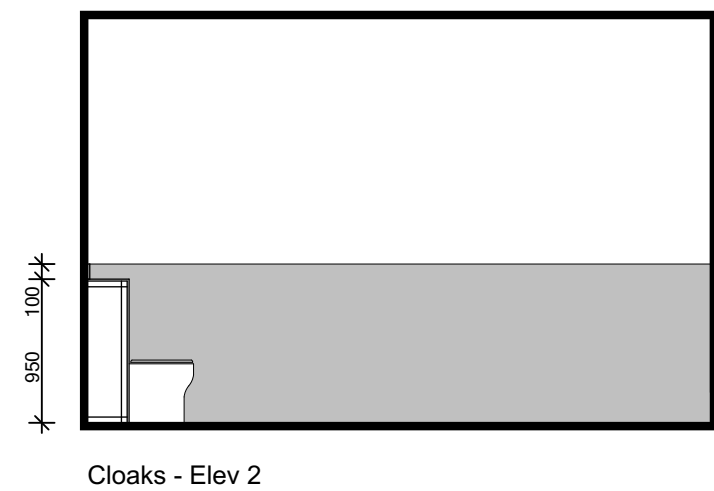
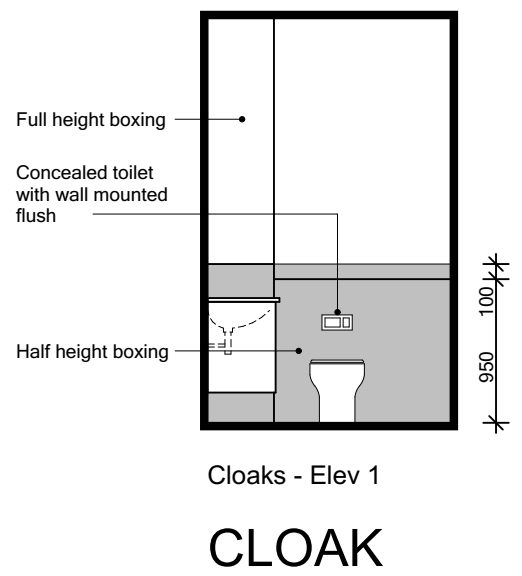
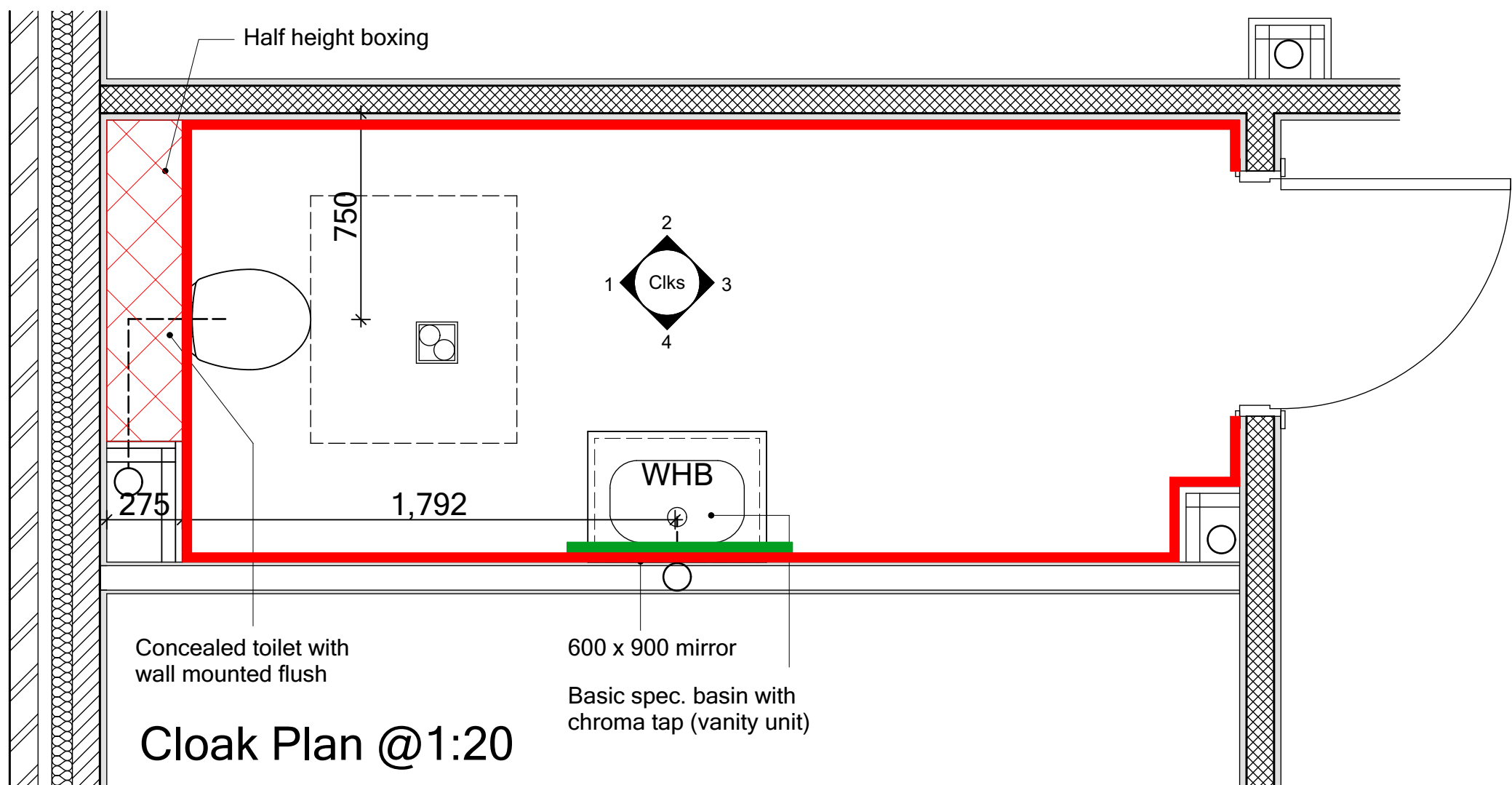
JOB NO: 801 DRAWING NO: N1-A-12 REVISION: C3

STATUS:
CONSTRUCTION

Plot No.
As - 3.
Ha - .



ENSUITE 3



WC/bath/Ens FINISH legend

- Tiling to top of Boxing / window sill
- Half Height Tiling
- Full Height Tiling
- Mirror positioned above WHB - refer to detail

THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULL SPECIFICATION INCLUDED IN THE HOUSE TYPE PACK

Plot No.
As - 3.
Ha - .

C2	Cloaks towel rail removed.	16-09-22	CW
C1	Issued for CONSTRUCTION.		
	Color updates to show wall finishes.	03-02-22	CW
T3	Sanitary items & tiling updated.	22-12-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV	REVISION DESCRIPTION	DATE	AUTHOR
-----	----------------------	------	--------



CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

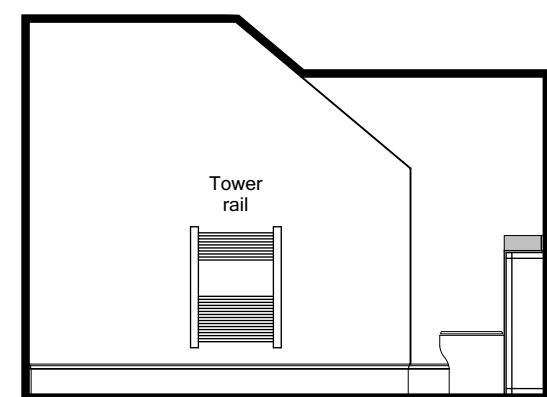
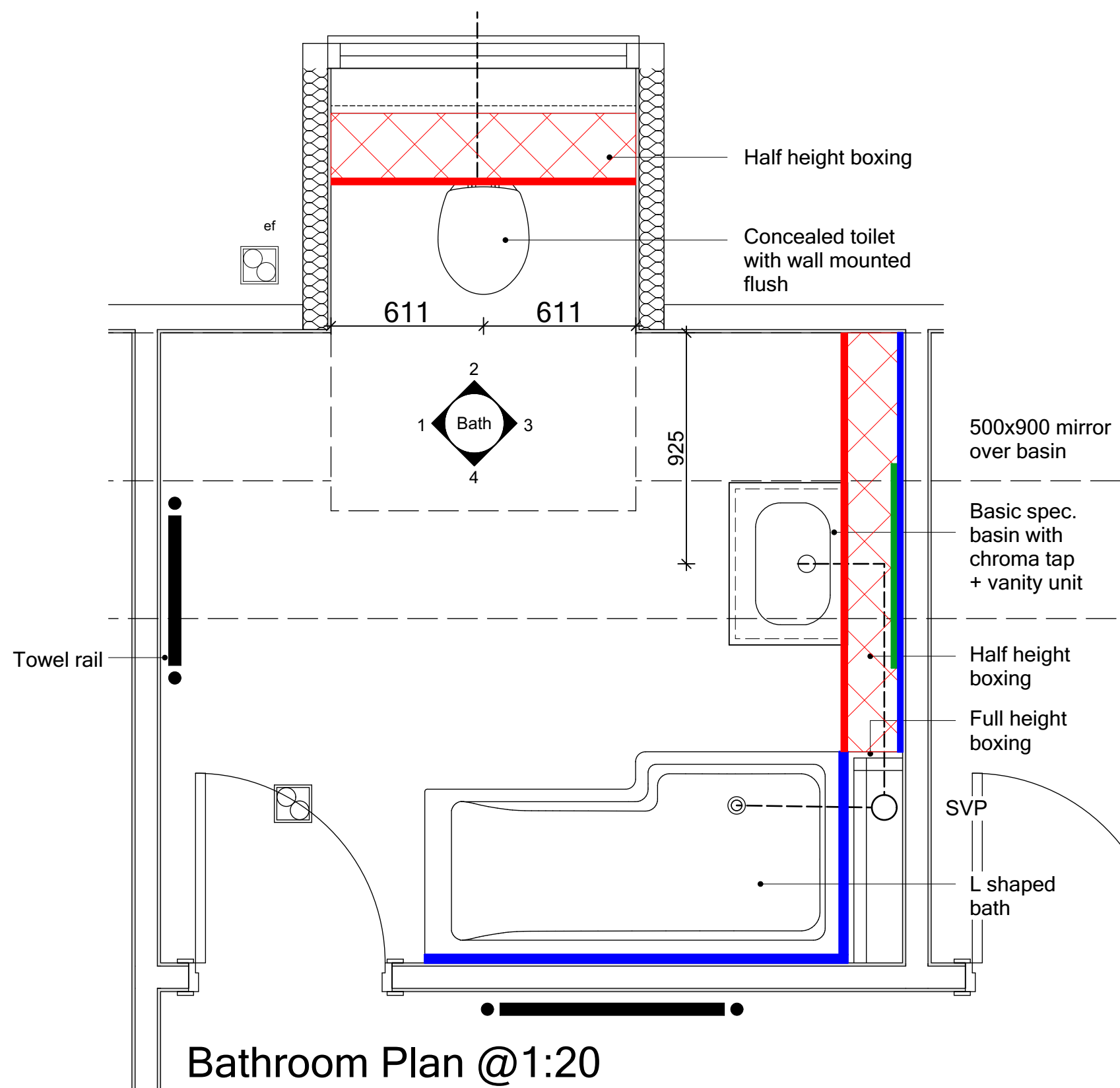
HOUSETYPE NAME:
OSBOURNE (N1)

DRAWING TITLE:
Cloaks, Bathroom & En-suite Detailed
Layouts and Internal Elevations

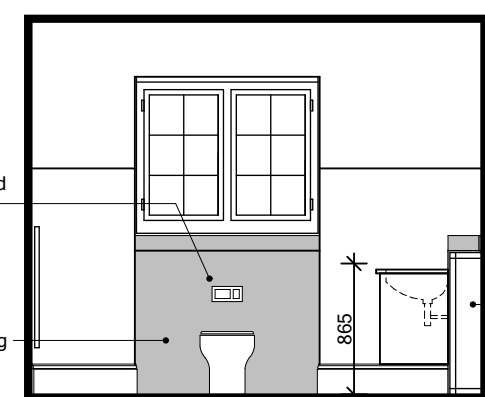
SCALE: 1:20 / 50 @ A1
DATE: Sept 2021
DRAWN BY: CW
CHECKED BY:

JOB NO: 801
DRAWING NO: N1-A-13
REVISION: C2

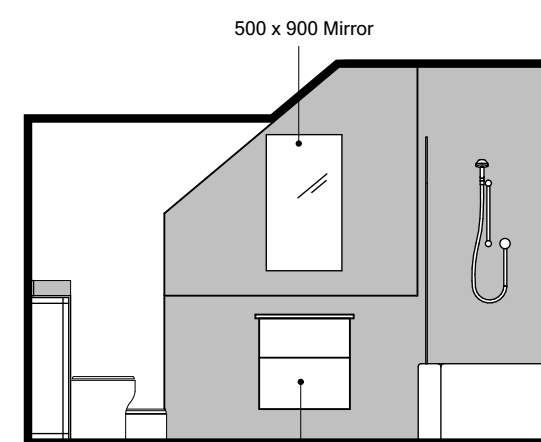
STATUS:
CONSTRUCTION



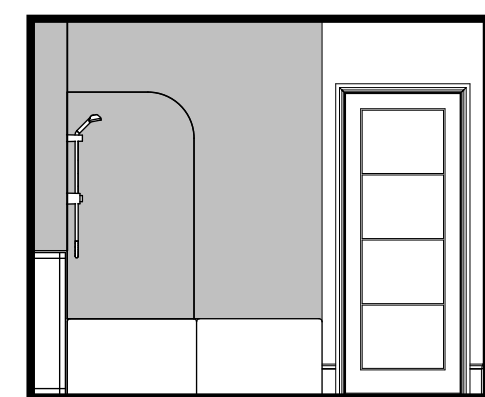
BATHROOM



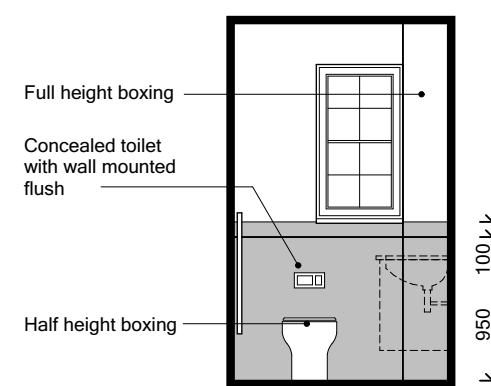
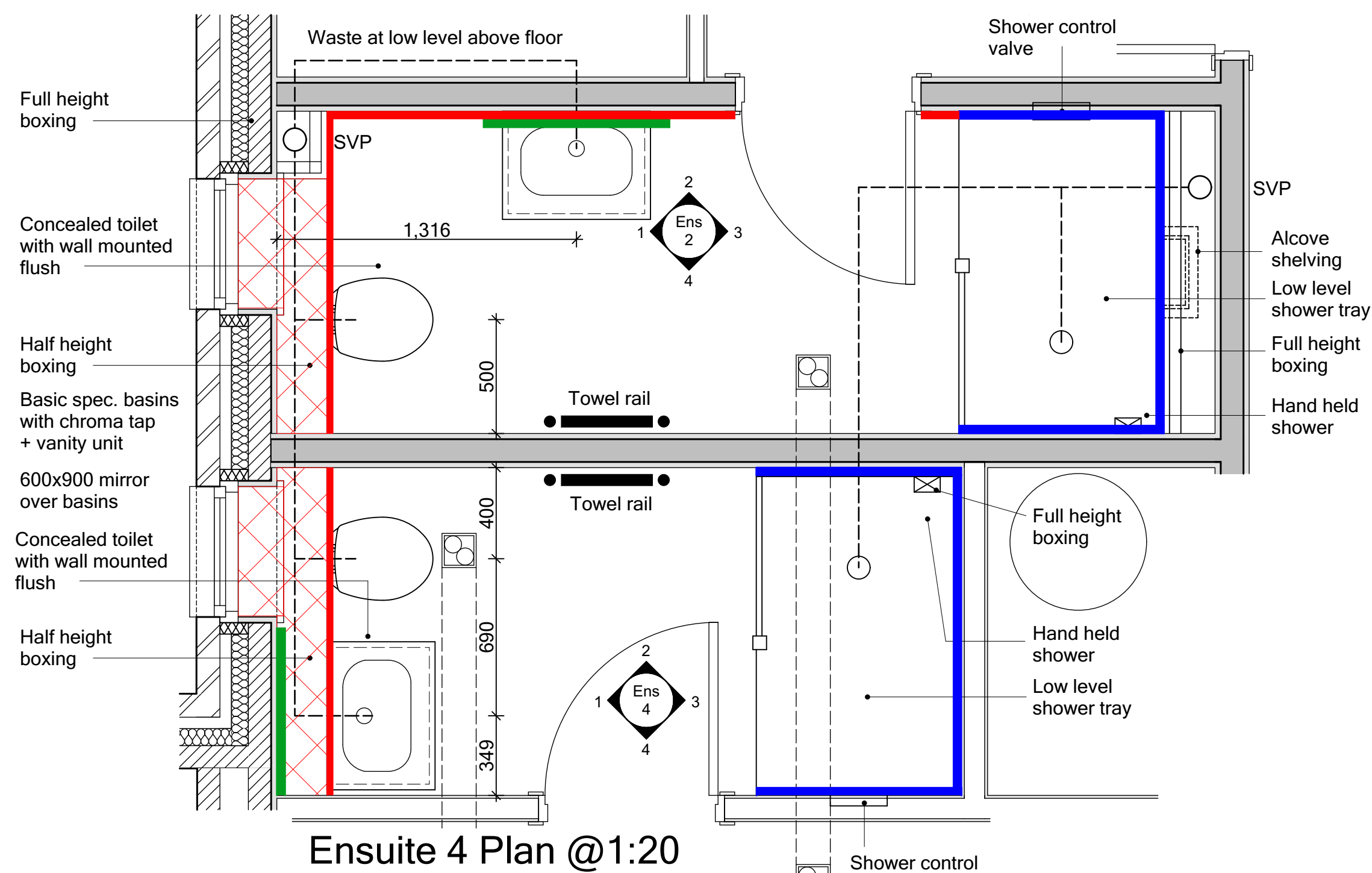
Bathroom - Elev 2



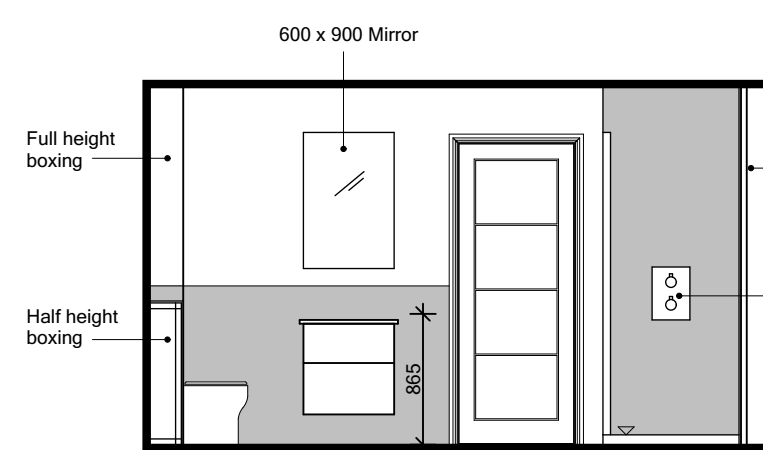
Bathroom - Elev 3



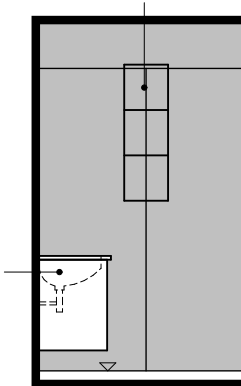
Bathroom - Elev 4



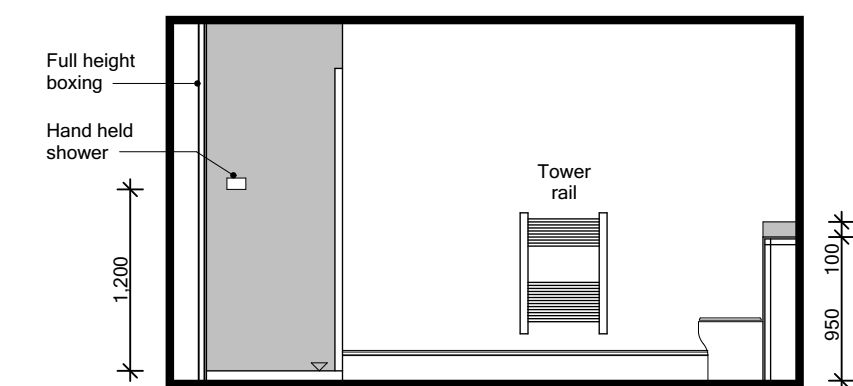
ENSUITE 2



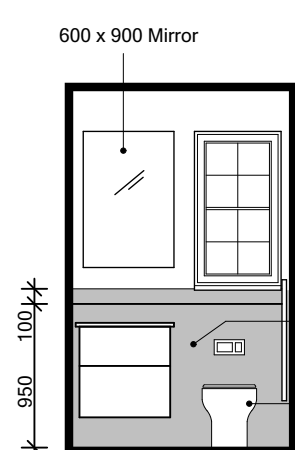
Ensuite 2 - Elev 2



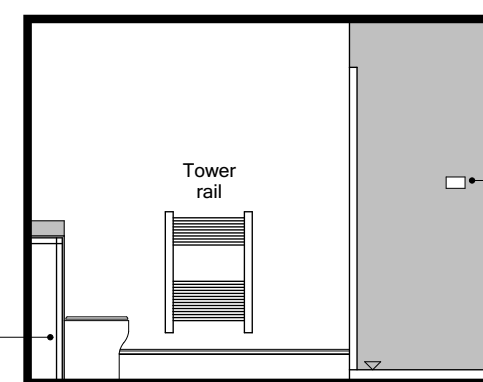
Ensuite 2 - Elev 3



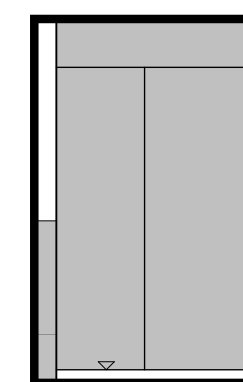
Ensuite 2 - Elev 4



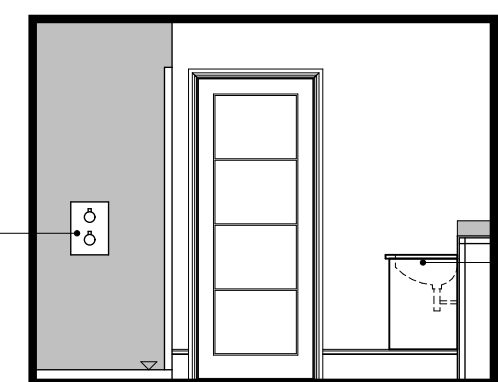
ENSUITE 4



Ensuite 4 - Elev 2



Ensuite 4 - Elev 3



Ensuite 4 - Elev 4

WC/bath/Ens FINISH legend

- Tiling to top of Boxing / window cill
- Half Height Tiling
- Full Height Tiling
- Mirror positioned above WHB - refer to detail

THIS SPECIFICATION IS A CONDENSED VERSION AND SHOULD BE READ IN CONJUNCTION WITH THE FULL SPECIFICATION INCLUDED IN THE HOUSE TYPE PACK

C1	Issued for CONSTRUCTION. Color updates to show wall finishes.	03-02-22	CW
T3	Sanitary items & tiling updated.	22-12-21	CW
T2	General updates to Clients comment.	22-10-21	CW
T1	Issued for TENDER	10-09-21	CW

REV	REVISION DESCRIPTION	DATE	AUTHOR
-----	----------------------	------	--------



CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
OSBOURNE (N1)

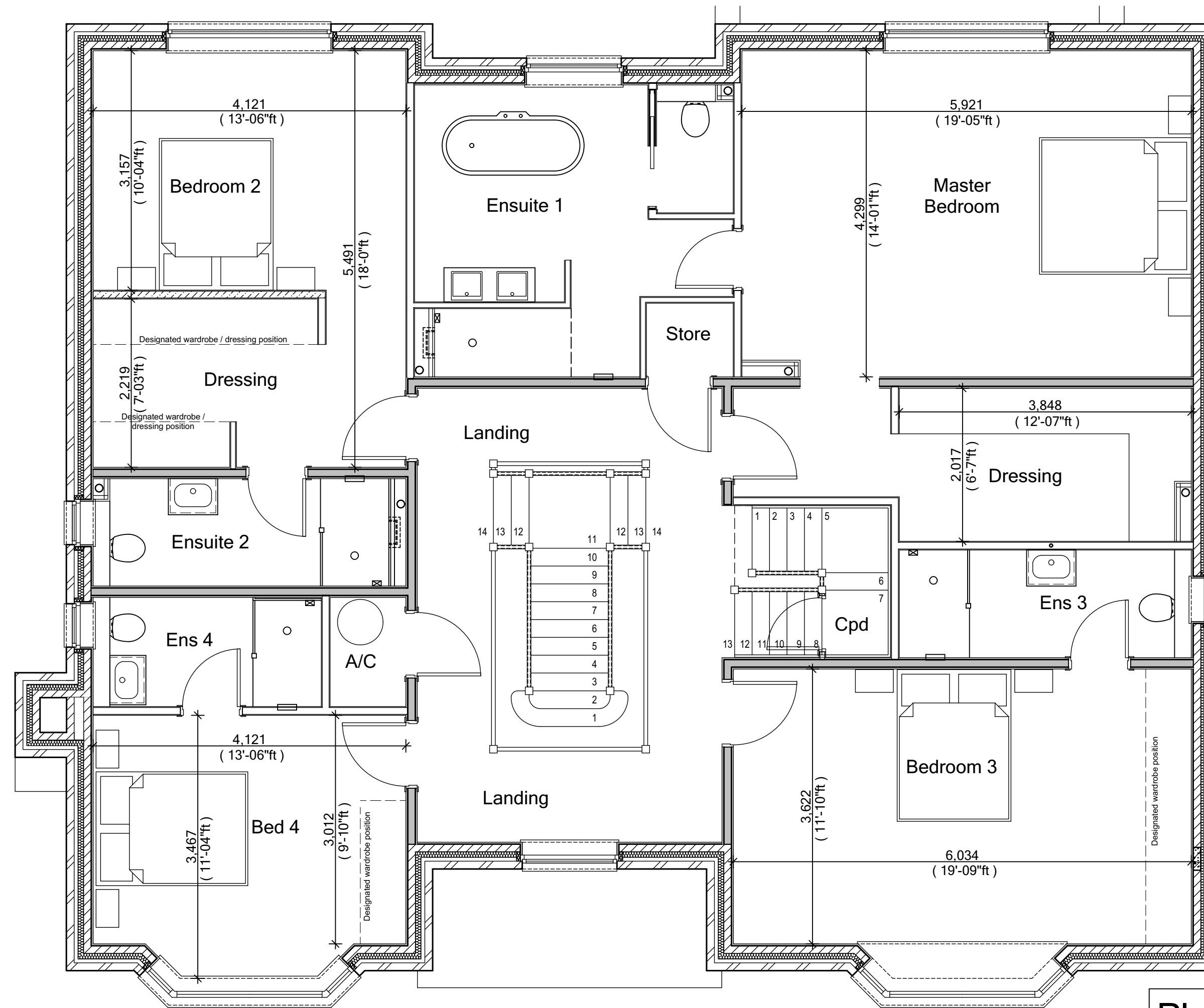
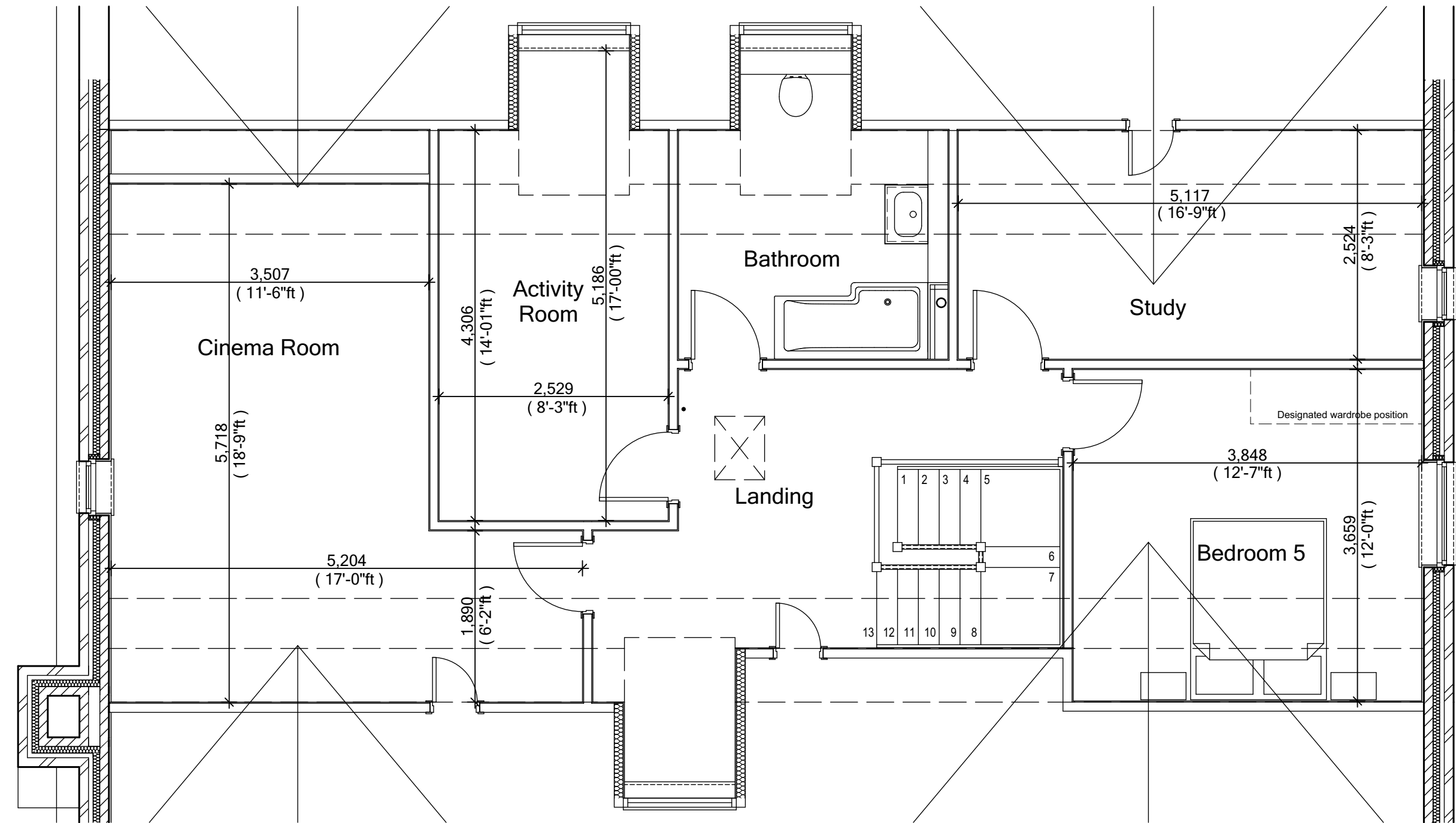
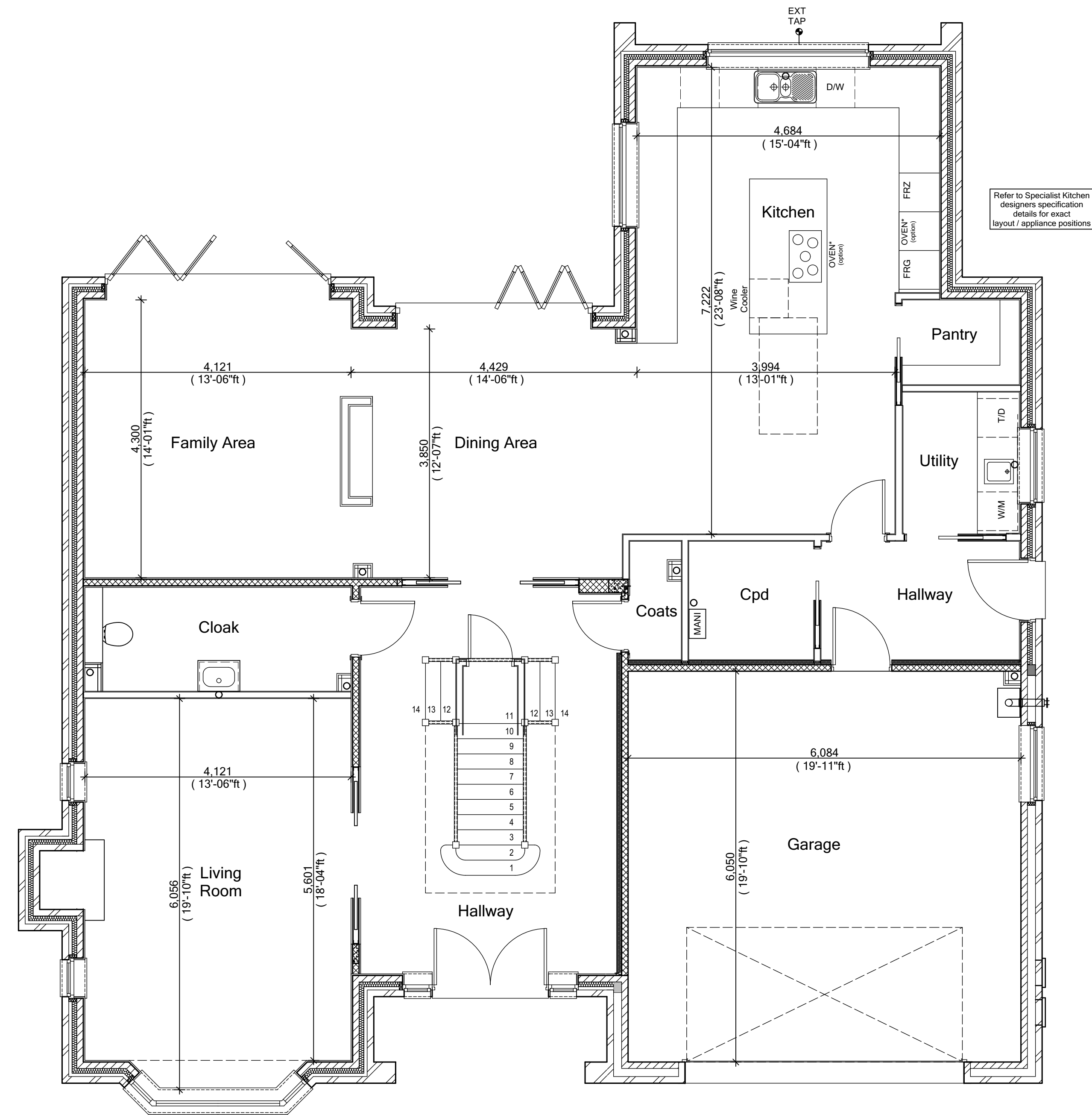
DRAWING TITLE:
Cloaks, Bathroom & En-suite Detailed
Layouts and Internal Elevations

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
1:20 / 50 @ A1	Sept 2021	CW	

JOB NO:	DRAWING NO:	REVISION:
801	N1-A-14	C1

STATUS:
CONSTRUCTION

Plot No.
As - 3.
Ha - .



C2	Breakfast bar added	01-03-22	CW
C1	Issued for CONSTRUCTION	03-02-22	CW
T2	Landing window, wardrobes & sanitary items updated.	22-12-21	CW
T1	Issued for TENDER	05-11-21	CW

REV.	REVISION DESCRIPTION	DATE	AUTHOR

Trower Davies
Architectural Consultants

CLIENT:
Edenstone Group
Building 102, Wales 1, Business Park
Magor
NP26 3DG

PROJECT DETAILS:
Land North of Lisvane Road

HOUSETYPE NAME:
OSBOURNE (N1)

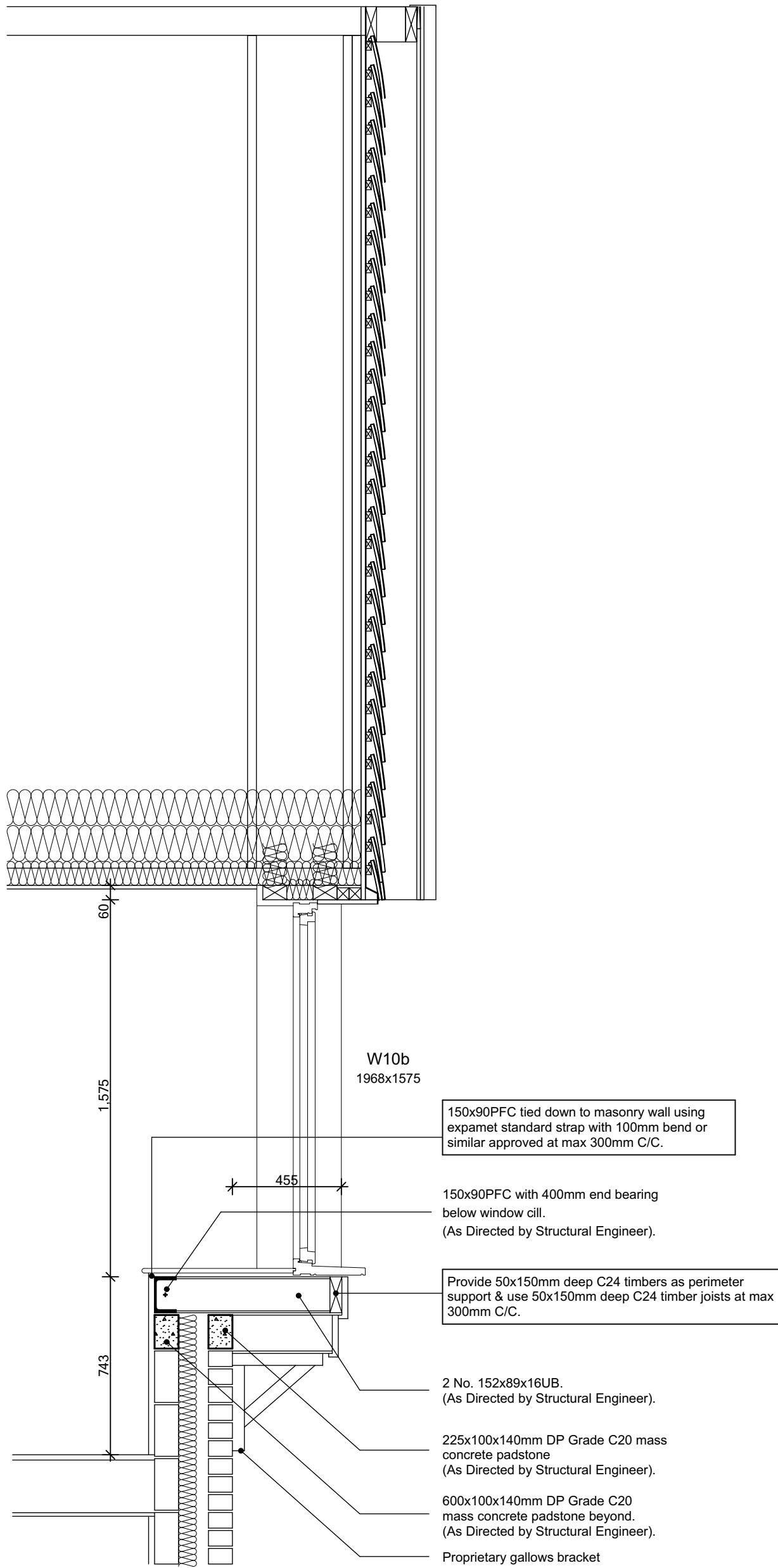
DRAWING TITLE:
Ground, First & Second Floor Plan
Sales Layouts

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
1:50 @ A1	Nov 2021	CW	

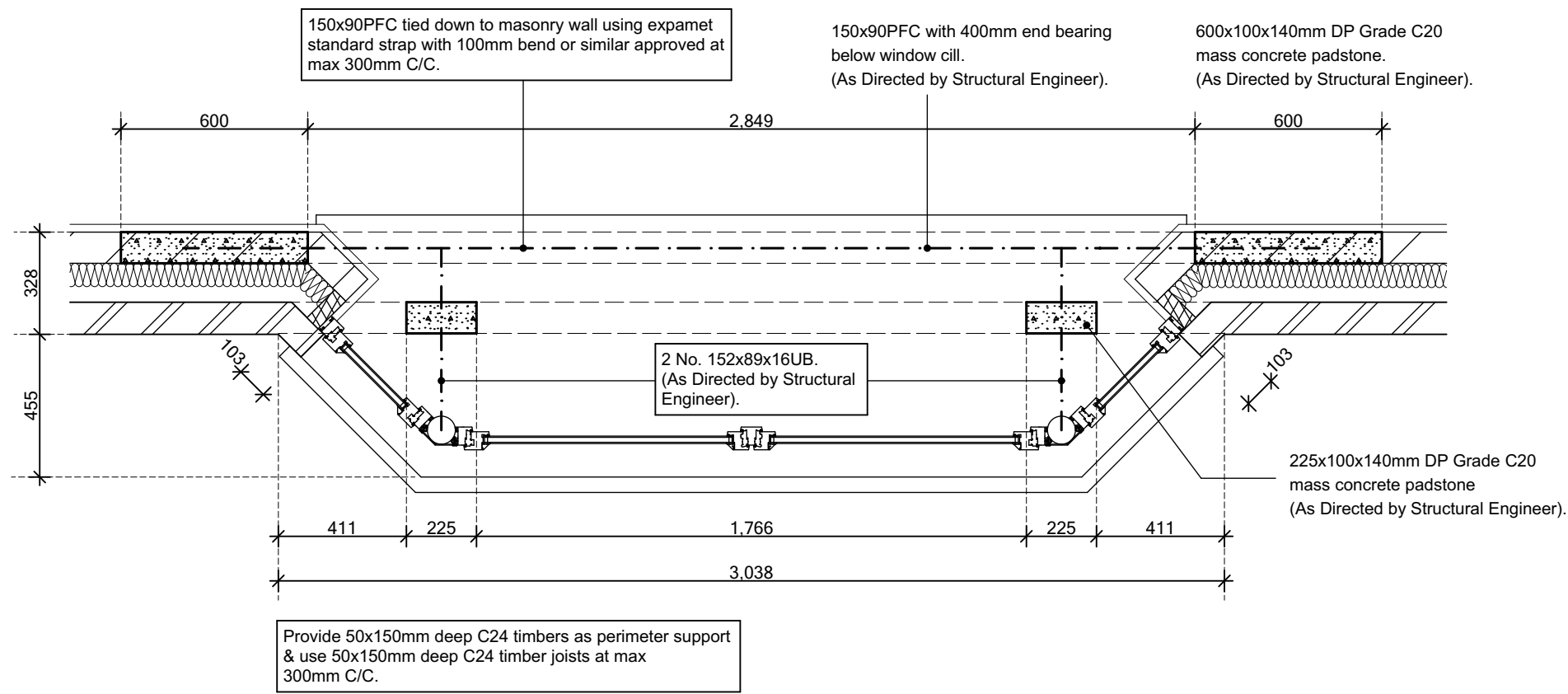
JOB NO:	DRAWING NO:	REVISION:
801	N1-A-15	C2

STATUS:
CONSTRUCTION

Plot No.
As - 3.
Ha - .




Oriel Window Generic Section Detail



W10a - W10c Oriel Window Detail

Detail subject to
Structural Engineers
Review

C1 T1	Issued for CONSTRUCTION Issued for TENDER	03-02-22 05-11-21	CW CW
REV:	REVISION DESCRIPTION	DATE	AUTHOR
			
CLIENT: Edenstone Group Building 102, Wales 1, Business Park Magor NP26 3DG			
PROJECT DETAILS: Land North of Lisvane Road			
HOUSETYPE NAME: OSBOURNE (N1)			
DRAWING TITLE: Oriol Bay Window Details			
SCALE: 1:20 @ A1	DATE: Nov 2021	DRAWN BY: CW	CHECKED BY:
JOB NO: 801	DRAWING NO: N1-A-16	REVISION: C1	
STATUS: CONSTRUCTION			

Plot No.
As - 3.
Ha - .