



# PROPERTY INSPECTION REPORT FORM

Binsr Demo	08/13/2025
Name of Client	Date of Inspection
251 N Bristol Ave, Los Angeles, CA 90049	
Address of Inspected Property	
Binsr	x1eV652bbBfgZutt6FUgWpNfGp42
Name of Inspector	TREC License #
XYZ Inspections	222b0f0f0c647b5f549373d4495a72ed60e473
Name of Sponsor (if applicable)	TREC License #

## PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

## RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector **IS** required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component OR constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector **IS NOT** required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

## RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

*Please Note:* Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

## **REPORT LIMITATIONS**

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection **IS NOT** :

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

## **NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS**

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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### **ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

Report Identification:

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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## I. STRUCTURAL SYSTEMS



## A. Foundations

Type of Foundation(s) :

Comments :

### Location: 2nd Floor Living Room

A supplementary post was observed installed beneath the first-floor joists, seemingly providing support to the first-floor structure. Further evaluation by a licensed contractor is recommended to determine if repairs or replacement of the first-floor joist system are necessary.

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### Additional Finding:

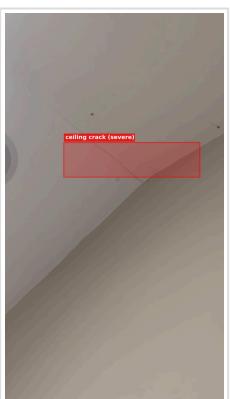
#### Location: Living Room

Significant cracking was observed in the ceiling in the Living Room that may indicate underlying structural movement or damage. A licensed contractor or structural engineer should be engaged to evaluate the extent and cause of the cracking and to recommend necessary repairs. This condition may represent a safety risk and should be addressed promptly.

*Original image: ceiling crack at Living Room*



*Annotated image: ceiling crack at Living Room*



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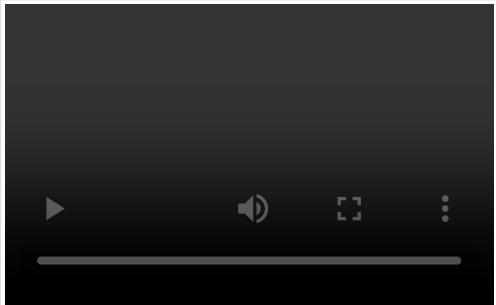
### Location: Living Room

Visible indications of atypical settlement or foundation movement were present. A comprehensive evaluation by a licensed structural engineer is strongly recommended, with subsequent repairs performed as determined necessary.

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### Additional Finding:

The entry panel to the underlying space exhibited damage. Restoration of this compromised panel is advised.





## B. Grading and Drainage

Comments :

For the purpose of this evaluation, the primary facade of the structure is defined as the side depicted in the report's cover image. Any directional references, such as 'left' or 'right' of the building, are to be interpreted from the perspective of an observer standing in the front yard, facing the main entrance.

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### Additional Finding:

#### Location: Gutters

One of the gutters was observed to be improperly installed and hanging off the structure. This can lead to ineffective drainage and potential water damage to the property.

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#### Location: Roof

A gutter hanger was observed to be missing or damaged. It is recommended to properly secure or replace the gutter hangers to ensure the intended stability and proper alignment of the gutter system.



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#### Location: Back of house

The inspector recommends that gutter replacement/repair be performed by a licensed contractor to ensure proper attachment, flashing, and drainage performance. Obtain quotes and confirm contractor licensing and insurance prior to work.



## C. Roof Covering Materials

*Types of Roof Covering :*

*Viewed From :*

*Comments :*

### **Location:** Roof

Several roof shingles were observed to be broken. This condition may lead to water intrusion and should be addressed promptly to maintain the roof's integrity.

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### **Location:** Roof

Based on the age and type of shingle, the roof has exceeded its expected service life. Even with current repairs, the design of the shingle is beyond its intended lifespan. It is recommended to consult a qualified roofing professional for suggestions and quotes regarding roof replacement.



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### **Additional Finding:**

### **Location:** Dining Room

The chimney flashing was identified as damaged, missing, or loose. This condition can result in water intrusion. It is recommended to consult a qualified roofing or chimney contractor to repair or replace the flashing.

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### **Additional Finding:**

### **Location:** Roof

One or more composition roof shingles exhibited cracking and/or brittleness. Cracked and brittle shingles typically indicate that the roof is nearing the end of its useful life. It is recommended to have a qualified licensed roofing contractor further evaluate and perform necessary repairs.

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### **Location:** Roof

Cracked tiles were observed in various locations on the roof. It is recommended that a qualified roofing contractor assess and repair these areas as necessary. This type of roofing system typically benefits from annual evaluations and prompt repairs.



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### **Location:** Bedroom

**Location:** Roof

Inspector flagged the broken roof tiles as a maintenance item for repair/replacement. Refer to the Roofing Material Integrity comment for details and recommended actions.

**Additional Finding:**

**Location:** Living Room

Observations indicate the presence of openings or gaps within the flashing or sealant materials. Such breaches can compromise the water-resistant barrier of the roof, potentially leading to water penetration. It is recommended to engage a certified roofing contractor to address and repair these areas to prevent future moisture intrusion.



**Location:** front side of home

Damaged or missing flashing creates a condition conducive to moisture penetration, which could lead to structural damage. Without proper flashing, water may compromise the window frame and trim. While not all windows require flashing, its presence significantly improves runoff control. It is recommended to consult a qualified contractor to install or repair flashing to prevent moisture intrusion.

**D. Roof Structures and Attics**

*Viewed From :*

*Approximate Average Depth of Insulation :*

*Comments :*

**Location:** Dining Room

The plumbing vent displayed insufficient clearance from a rooftop deck. For proper ventilation and to prevent sewer gases from entering recreational areas, vents should typically extend at least 6 feet above a rooftop deck. It is recommended to consult with a licensed professional to ensure appropriate vent height and mitigate potential health concerns.





## E. Walls (Interior and Exterior)

Comments :

The brick veneer lacked visible weep openings. Without these provisions, moisture may become trapped behind the brick, potentially leading to concealed damage. It is recommended to consult a qualified masonry professional to assess the need for weep openings and to perform any necessary installations.

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**Location:** Bedroom South

Full access to certain sides of the structure was obstructed, preventing a complete evaluation of these areas during the inspection. These sections are therefore excluded from the scope of this report.

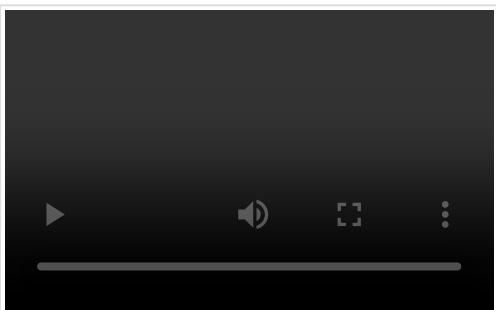
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An exterior vent cover on the building's facade exhibited damage during the inspection. It is advised to have such covers repaired or replaced promptly to mitigate the risk of pest intrusion, moisture entry, or operational failure.

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**Additional Finding:**

Evidence of prior repairs was noted on the exterior cladding. It is advisable to consult with the property owner to ascertain the nature of these repairs and whether any associated moisture intrusion incidents were reported.



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**Location:** Back Yard

Stucco damage was observed. Gaps or cracks in stucco can allow for moisture intrusion, accelerating deterioration. It is recommended that a qualified contractor evaluate and perform necessary repairs.

*Original image: stucco damage at Back Yard*





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**Location:** Living Room Bathroom Northeast

The primary material composing the exterior wall surfaces.



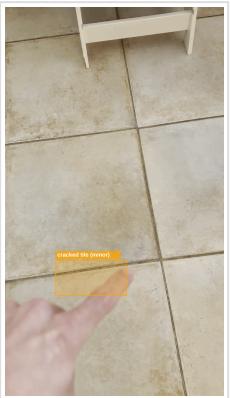
## F. Ceilings and Floors

Comments :

### Location: Kitchen

Two small cracks were observed in the kitchen floor tile. Cracked tile can allow moisture to penetrate the substrate and may deteriorate further over time. Recommend repair or replacement of the affected tile(s) by a qualified flooring contractor and verify the integrity of the surrounding substrate and grout. Obtain estimates as needed.

Annotated image: cracked tile at Kitchen



Original image: cracked tile at Kitchen



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### Additional Finding:

### Location: Living Room

Significant drywall imperfections, including damage, cracking, or inconsistencies, were noted in the referenced area(s). It is advisable to inquire with the current homeowner(s) regarding any past alterations. Repairs should be undertaken by a drywall contractor as desired.

Original image: ceiling crack at Living Room



*Annotated image: ceiling crack at Living Room*



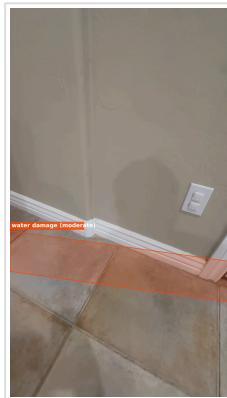
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**Additional Finding:**

**Location:** Living Room

Water damage was observed on the subflooring during the assessment. This damage may signify a historical or ongoing leak. It is advised to consult with the seller regarding the nature of the damage and any prior repairs. Alternatively, monitor the affected area for any subsequent deterioration.

*Annotated image: water damage at Living Room*



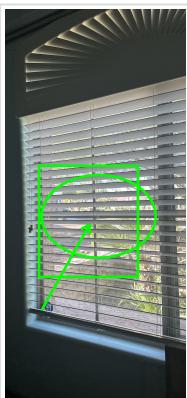
*Original image: water damage at Living Room*



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**Location:** 1st Floor Southeast

It is advised to engage a certified pest control company to address any wood-destroying organisms. Upon completion, have the affected areas repaired by a licensed building or remodeling contractor.





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**Additional Finding:****Location:** 1st Floor Crawlspace

The joists were reinforced (sistered) using inappropriate fasteners. It is advised to consult a licensed contractor to properly secure the joists with the correct fasteners, ensuring their intended structural stability.





**Compromised Entryway Door**  
The entry panel to the underlying space exhibited damage. Restoration panel is advised.  
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Videos (1)

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## G. Doors (Interior and Exterior)

Comments :

### Additional Finding:

#### Location: Living Room

The handle lock on one or more exterior entryways was found to be inoperable or challenging to use. Replacement of the locking doorknob by a qualified professional is recommended.

*Annotated image: hardware issue at Living Room*



*Original image: hardware issue at Living Room*



#### Location: Living Room

Various exterior door hardware components, including locksets, hinges, and pulls, were observed to be inoperable, damaged, loose, or absent. It is advised that a qualified contractor perform necessary repairs or replacements.

*Original image: broken door handle at Living Room*



*Annotated image: broken door handle at Living Room*



**Location:** Living Room

The door handle is either damaged or missing. It is recommended that a qualified professional evaluate and repair or replace it as necessary.

*Original image: broken door handle at Living Room*



*Annotated image: broken door handle at Living Room*



The deadbolt mechanism exhibits difficulty in proper operation. It is recommended to consult a qualified locksmith for necessary adjustments or replacement of the lock.



## H. Windows

*Comments :*

**Location:** Front room / Master bedroom / First Floor

A glass pane on one or more windows was broken. It is recommended to replace broken windows to restore their intended function.

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**Location:** Back Yard

The damaged glass pane may expose sharp edges and reduce the thermal barrier against the elements. Further evaluation by a qualified contractor is recommended to repair or replace the damaged window as needed.



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**Location:** First Floor, second bedroom

A glass pane on one or more windows was broken. It is recommended to replace broken windows to restore their intended function.

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**Location:** Back Yard

A missing insect screen was observed on the backside of the house (window or door). Replace or reinstall a properly fitted screen to restore insect protection and normal function. If the opening is part of a door, ensure the replacement screen is installed to allow safe operation and proper sealing.



## I. Stairways (Interior and Exterior)

*Comments :*

## J. Fireplaces and Chimneys

Comments :

### **Location:** Chimney

Stucco damage was observed. Gaps or cracks in stucco can allow for moisture intrusion, accelerating deterioration. It is recommended that a qualified contractor evaluate and perform necessary repairs.

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The chimney cap displayed signs of corrosion. Regular maintenance, such as sealing, is recommended to prevent further damage and extend its longevity.



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### **Additional Finding:**

#### **Location:** Chimney Structures

The stucco on the chimney was observed to be coming off in certain areas. This can expose the underlying structure to weather elements and potential damage.

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#### **Location:** Chimney

Stucco on the chimney is peeling and exhibiting deterioration. This condition can allow moisture penetration and should be evaluated and repaired by a qualified contractor experienced with exterior stucco and chimney finishes.

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#### **Location:** Chimney

Stucco on the chimney was observed to be peeling and deteriorating in multiple areas. This can expose underlying materials to moisture, increasing the risk of further deterioration or water intrusion. It is recommended that a qualified contractor or chimney specialist evaluate the chimney and perform necessary repairs to the stucco/finish to prevent additional damage.

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#### **Location:** chimney

A vapor or moisture barrier appears to be absent or improperly installed behind the stucco finish system. This condition could facilitate moisture penetration to the interior framing, potentially resulting in structural damage. Further evaluation and necessary remediation by a qualified and licensed contractor are recommended.

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#### **Location:** Chimney

Signs of moisture intrusion were noted around the chimney chase. It is recommended to consult a licensed chimney contractor to evaluate the flashing and/or other components to identify the source and mitigate further moisture intrusion.

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#### **Location:** Chimney

Substandard repairs were observed on the exterior siding system. This condition can lead to moisture penetration into interior wall cavities. It is recommended that a qualified licensed contractor perform appropriate repairs.

**Location:** Chimney

The exterior finish on the chimney is stucco, as observed during the inspection. The stucco finish was noted peeling and exposing the underlying substrate.

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**Location:** Chimney

The observed leakage could cause additional damage to the framing member and floor decking. Water staining and dampness were noted in one or more areas, as confirmed by a moisture meter. This condition increases the risk of insect infestation, mildew, and decay. It is recommended to consult a licensed contractor to identify and rectify the source of the dampness, which may involve improving exterior drainage, installing a waterproofing system, or sealing foundation cracks.

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**Location:** Chimney

Various sections of the exterior cladding and/or trim exhibited damage, instability, or warping. It is recommended that a qualified contractor undertake the necessary repairs, replacements, or installations of these components.

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**Location:** Chimney

Stucco damage was observed. Gaps or cracks in stucco can allow for moisture intrusion, accelerating deterioration. It is recommended that a qualified contractor evaluate and perform necessary repairs.

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**Location:** Chimney

Signs of moisture intrusion were noted around the chimney chase. It is recommended to consult a licensed chimney contractor to evaluate the flashing and/or other components to identify the source and mitigate further moisture intrusion.



## K. Porches, Balconies, Decks, and Carports

Comments :

### Additional Finding:

#### Location: West

The surface of the entryway was covered with an outdoor carpet material, which prevented a comprehensive inspection of the underlying structure.

### Additional Finding:

#### Location: 1st Floor Primary Bedroom

Portions of the outdoor living area covering show signs of damage or deterioration. It is recommended to consult with a qualified contractor for evaluation and necessary repairs.

### Additional Finding:

Aluminum

Composite

### Additional Finding:

#### Location: Back Yard

Uneven paver stones were observed in the backyard, creating a potential trip hazard to occupants and visitors. This condition presents an immediate safety concern and should be corrected. Recommend evaluation and repair by a qualified hardscape contractor or landscaper to re-level, reset, or replace affected pavers to eliminate the trip hazard.

*Annotated image: uneven pavers at Back Yard*



*Original image: uneven pavers at Back Yard*



## L. Other

Comments :

### Additional Finding:

#### Location: 1st Floor Living Room

The cabinetry exhibited damage in various areas. Repairs or replacement of any damaged sections are recommended to be performed by a qualified individual.

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One or more cabinet doors were observed to be damaged, faulty, or otherwise amiss. Repairs by a qualified contractor are recommended.

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#### Location: Kitchen 1st Floor

The paint finish exhibited signs of failure or peeling in one or more locations. It is recommended that a qualified contractor perform the necessary repairs.

*Original image: damaged toe kick at Kitchen*



*Annotated image: damaged toe kick at Kitchen*



Report Identification:

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I  NI  NP  D

## II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring :

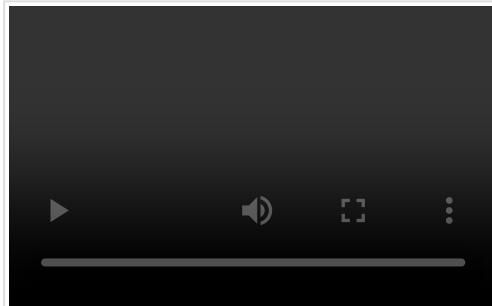
Comments:

Ground-Fault Circuit Interrupter (GFCI) breakers in the panel did not trip when tested. Replacement of the affected breaker(s) is recommended, to be conducted by a licensed electrician.

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### Additional Finding:

Aluminum wiring was noted. Aluminum wiring was used between 1965 and 1975 as a substitute for copper. Thermal expansion and oxidation can lead to loose connections, overheating, or arcing. It is recommended that a qualified electrician evaluate and repair as needed.



C. Other

Comments:

## III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems :

Energy Sources :

Comments:

**Location:** upstairs above the master bedroom

The HVAC system serving the upstairs master bedroom was observed to be operating normally.

B. Cooling Equipment

Type of Systems :

Comments:

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### Additional Finding:

Consider further evaluation by a qualified contractor to address the outdoor unit's excessive noise. The sound could originate from a loose grate or panel, a damaged fan blade, or an internal component. Repairs should be made as needed.

**C. Duct Systems, Chases, and Vents**

*Comments:*

**D. Other**

*Comments:*

## **IV. PLUMBING SYSTEMS**



## A. Plumbing Supply, Distribution Systems and Fixtures

*Location of water meter :*

*Location of main water supply valve :*

*Static water pressure reading :*

*Type of supply piping material :*

*Comments:*

### **Location:** Exterior

The exterior hose bib (outdoor faucet) was observed to be non-operational or not functioning properly at the time of inspection. Repair or replacement is recommended to restore function and prevent water intrusion or damage. Recommend evaluation and repair by a licensed plumber or qualified handyperson.

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### **Location:** Front side of the house

The handle for the exterior spigot was damaged or missing. Repairs or replacement as needed are recommended to be performed by a qualified individual to ensure proper operation.

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### **Location:** Exterior

The exterior hose bib was observed to be non-functional. It is recommended to have a licensed plumber evaluate the unit and perform necessary repairs or replacement to restore proper water flow and prevent potential water damage.

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The exterior hose bib was observed to be non-functional. Replacement or repair by a licensed plumber is recommended to restore proper operation and prevent water intrusion or damage.

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### **Location:** Exterior

The exterior spigot was not functional at the time of inspection, despite its shutoff valve being in the open position. We recommend consulting with the sellers regarding the presence of a secondary shutoff or having a licensed plumbing professional perform an evaluation.

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### **Location:** Front yard

The exterior hose bib is not functioning properly. Repair or replacement is recommended to restore water flow and prevent potential water damage. Consult a licensed plumber for evaluation and repair.

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### **Location:** Hose bib

A vapor or moisture barrier appears to be missing or not installed behind the stucco finish system. This condition could allow moisture to penetrate to the interior framing and cause damage. It is recommended that a qualified licensed contractor further evaluate and perform necessary repairs.

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### **Location:** Exterior

Inspector recommends repairing or replacing the exterior hose bib to make it fully operational. Confirm functionality after repair and check for leaks. Obtain quotes from a licensed plumber or qualified contractor as needed.



**Location:** Front of house

The exterior hose bib located at the front of the house requires replacement. Replace the damaged/failed exterior faucet to prevent leaks and potential water intrusion. It is recommended that a qualified plumber or licensed contractor replace the unit and verify the isolation valve operation.

**Location:** Back Yard

The handle for the exterior spigot was damaged or missing. Repairs or replacement as needed are recommended to be performed by a qualified individual to ensure proper operation.

*Annotated image: defective hose bib at Back Yard*



*Original image: defective hose bib at Back Yard*



**Location:** northwest side of the house

An exterior hose bib (outdoor faucet) was missing on the northwest side of the house. This limits water access and may leave an exposed plumbing stub. Recommend a licensed plumber or qualified contractor install a properly functioning exterior hose bib, verify the isolation/shutoff valve, and cap or seal any exposed plumbing until replacement. Obtain estimates as needed.

**Location:** Front of house

The broken exterior hose bib on the front side of the house should be repaired or replaced by a licensed plumbing professional. Verify the isolation/shutoff valve and confirm the hose bib is fully operational and leak-free after repairs.

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**Location:** Front of house

An exterior component on the front side of the house was observed to be non-functional. A licensed contractor should evaluate the specific component and perform repair or replacement as needed to restore proper operation and prevent related damage.

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**Additional Finding:**

**Location:** Master Bathroom

The observed leakage could cause additional damage to the framing member and floor decking. Water staining and dampness were noted in one or more areas, as confirmed by a moisture meter. This condition increases the risk of insect infestation, mildew, and decay. It is recommended to consult a licensed contractor to identify and rectify the source of the dampness, which may involve improving exterior drainage, installing a waterproofing system, or sealing foundation cracks.

*Annotated image: water damage at Master Bathroom*



*Original image: water damage at Master Bathroom*



**Location:** Master Bathroom

The shower door was observed to be striking the adjoining glass and is misaligned. This condition can cause damage to the glass or hardware and may lead to failure if not corrected. It is recommended that a qualified glass/frameless-shower contractor or handyman evaluate the door alignment, adjust hinges or track, and install additional support or reinforcement as necessary to prevent further damage.

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*Original image: shower door issue at Master Bathroom*



*Annotated image: shower door issue at Master Bathroom*



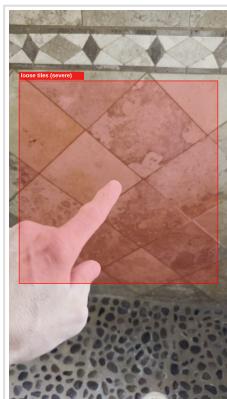
**Location:** Master Bathroom Shower

Loose tiles were observed in the master bathroom shower and were reported as a potential safety hazard. Loose or detached tiles can fall or create sharp edges and often indicate compromised substrate or prior water intrusion. It is recommended to discontinue use of the shower until a qualified tile contractor or licensed plumber assesses the condition, secures or replaces loose tiles, and evaluates the underlying substrate for moisture damage or continued leaks. Prompt repair is advised to prevent injury and further deterioration.

*Original image: loose tiles at Master Bathroom Shower*



*Annotated image: loose tiles at Master Bathroom Shower*



## B. Drains, Wastes, and Vents

*Type of drain piping material :*

*Comments:*

## C. Water Heating Equipment

*Energy Sources :*

*Capacity :*

*Comments:*

Report Identification:

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I    NI    NP    D

         **D. Hydro-Massage Therapy Equipment**

*Comments:*

         **E. Gas Distribution Systems and Gas Appliances**

*Location of gas meter :*

*Type of gas distribution piping material :*

*Comments:*

         **F. Other**

*Comments:*

## **V. APPLIANCES**

         **A. Dishwashers**

*Comments:*

         **B. Food Waste Disposers**

*Comments:*

**Location:** 1st Floor Bedroom

The bushing for the electrical supply wiring on the food waste disposer was missing. This condition could potentially expose live wiring. It is recommended to have the bushing reinstalled.

         **C. Range Hood and Exhaust Systems**

*Comments:*

**Location:** 1st Floor Bedroom

A damaged or missing vent cover could allow debris and small pests to enter. It is recommended to repair or replace the vent cover to ensure proper operation.



Vented / Ducted

         **D. Ranges, Cooktops, and Ovens**

*Comments:*



## E. Microwave Ovens

*Comments:*

**Location:** Kitchen

The microwave oven appeared to be non-operational or was malfunctioning. It is advised that a qualified appliance technician evaluate and perform necessary repairs or replacement.

*Original image: appliance defect at Kitchen*



*Annotated image: appliance defect at Kitchen*



## F. Mechanical Exhaust Vents and Bathroom Heaters

*Comments:*



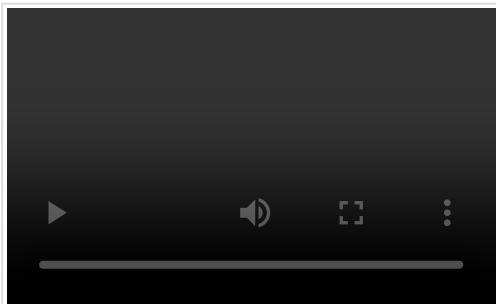
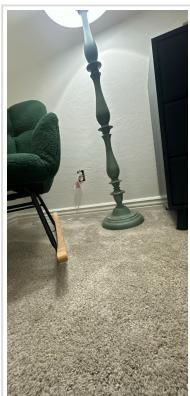
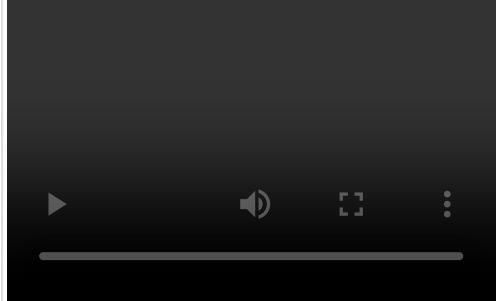
## G. Garage Door Operators

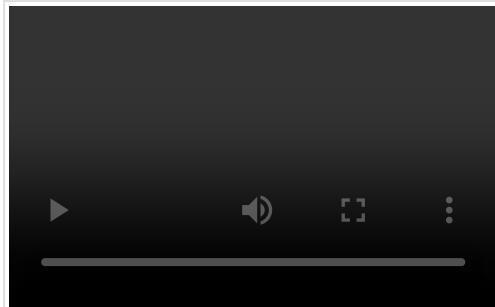
*Comments:*



## H. Dryer Exhaust Systems

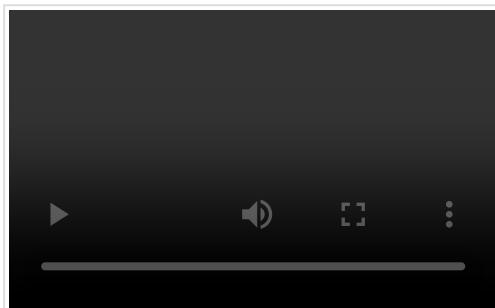
Comments:





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One or more components of the washing machine were not connected, rendering the appliance non-operational. The operability of the appliance presents a limitation to this inspection. It is recommended to consult the seller to ensure the unit is properly installed and verify operation prior to property transfer.





*Comments:*

The handle on the wine refrigerator was loose. It is recommended to consult a handyman to secure the handle.

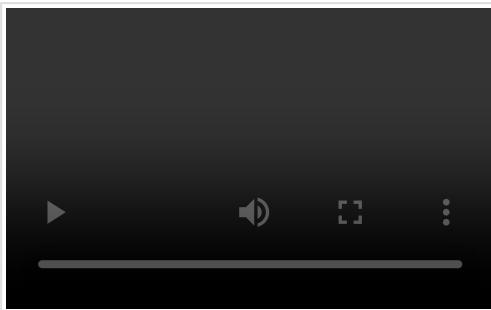
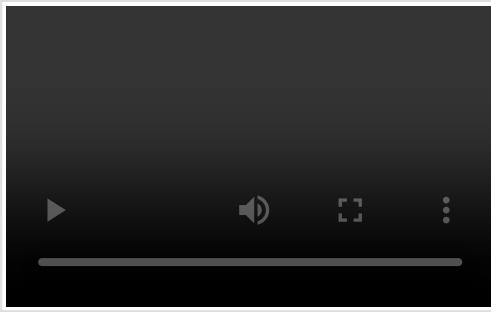
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**Additional Finding:**

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The refrigeration unit's door handle was missing or loose. Repair or replacement is recommended as desired.





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The water line supplying the refrigeration unit was observed to be leaking at the time of inspection. This condition may cause damage to finished areas of the home. It is recommended to consult a licensed plumber to repair or replace the line to the refrigeration unit to ensure proper function.

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Report Identification:

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

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