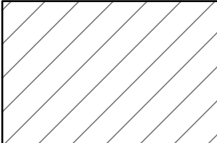


# LEGEND

---	1 Hr. FIRE RATED WALL
- - - - -	2 Hr. FIRE RATED WALL
— · — · —	3 Hr. FIRE RATED WALL
=====	RF PERIMETER WITH ACOUSTICAL RATING
-----	ACOUSTICAL PARTITION
— — — — —	CONTROLLED BUILDING PERIMETER
	SECURE AREA

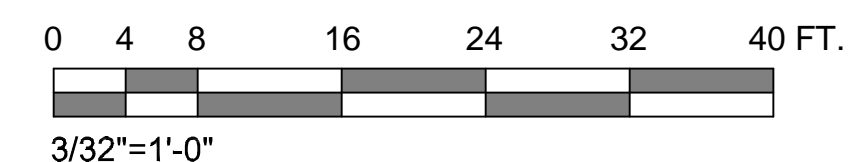
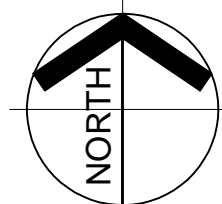
  

ROOM DESCRIPTION	
ROOM TAG	OFFICE
ROOM NUMBER	1000
B51 WORK SPEC V7 REFERENCE	10.0

[illegible]

**BUILDING 51 - BASEMENT  
FLOOR SPECIAL WALL PLAN**

AG003 | AG003 Scale: 3/32" = 1'-0"

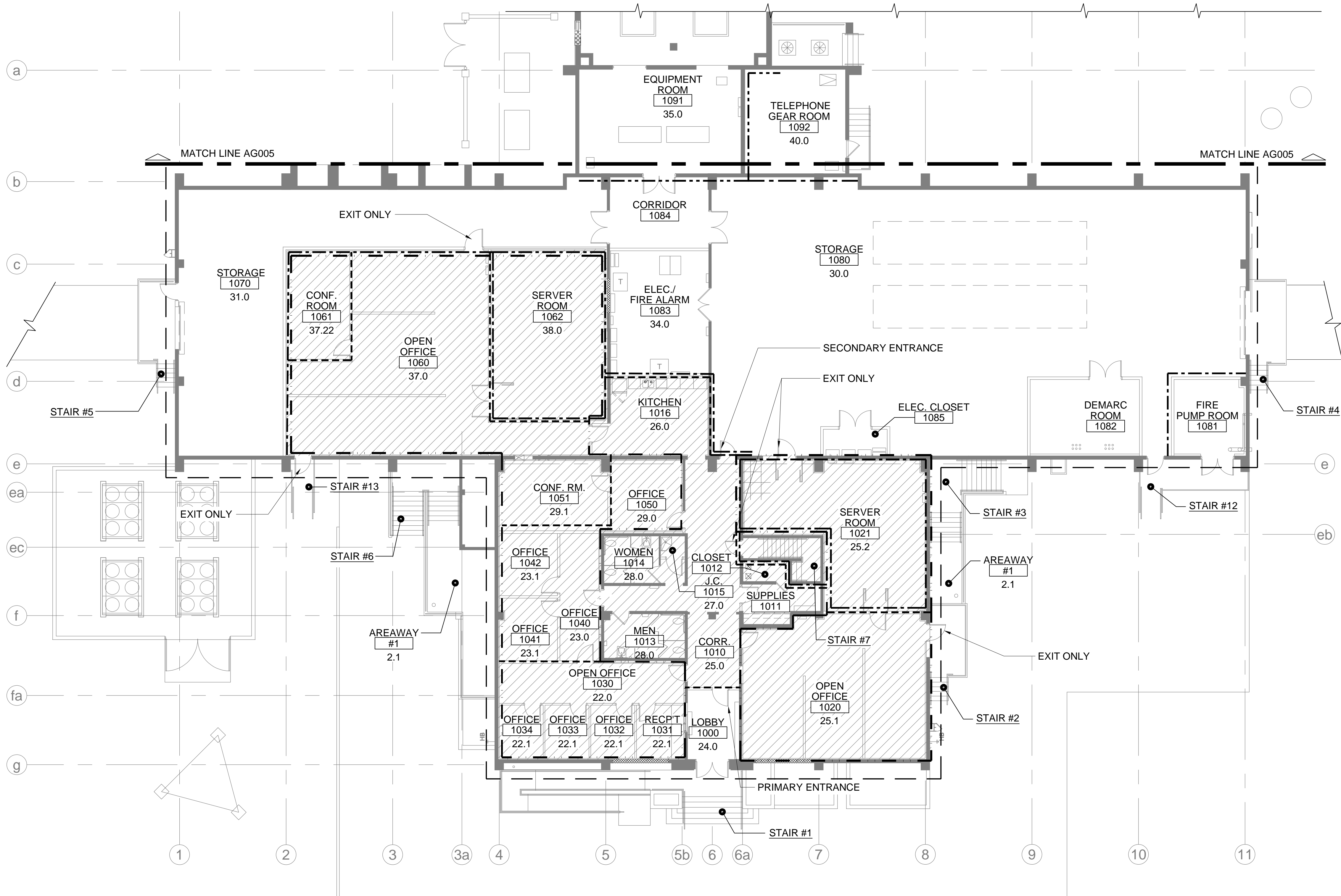


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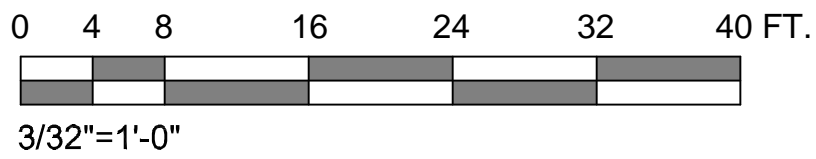
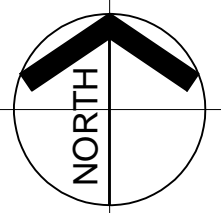
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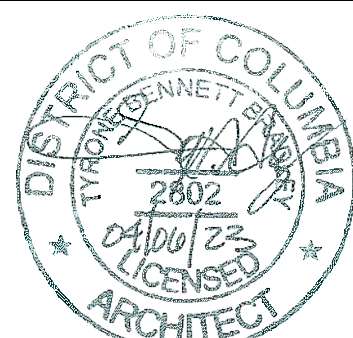
1  
AG004 AG004 Scale: 3/32" = 1'-0"

**BUILDING 51 - PARTIAL FIRST FLOOR SPECIAL WALL PLAN**



**LEGEND**

- 1 Hr. FIRE RATED WALL
- 2 Hr. FIRE RATED WALL
- 3 Hr. FIRE RATED WALL
- RF PERIMETER WITH ACOUSTICAL RATING
- ACOUSTICAL PARTITION
- CONTROLLED BUILDING PERIMETER
- SECURE AREA
- ROOM DESCRIPTION
- ROOM TAG**
- ROOM NUMBER
- B51 WORK SPEC V7 REFERENCE



**Assurance Technology Corporation**  
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Tel: 703-546-7068 Fax: 703-546-5342  
ARCHITECT / ENGINEER INFO

APPROVED

FOR COMMANDER NAVFAC

ACTIVITY

**CONFORMED DESIGN**

SATISFACTORY TO DATE **APRIL 6, 2023**

DES MCH DRW BPA CHK MCH

PM/DM

BRANCH MANAGER

CHIEF ENGINEER

FIRE PROTECTION

DEPARTMENT OF THE NAVY

NAVAL FACILITIES ENGINEERING SYSTEMS COMMAND

NAVAL FACILITIES ENGINEERING SYSTEMS COMMAND

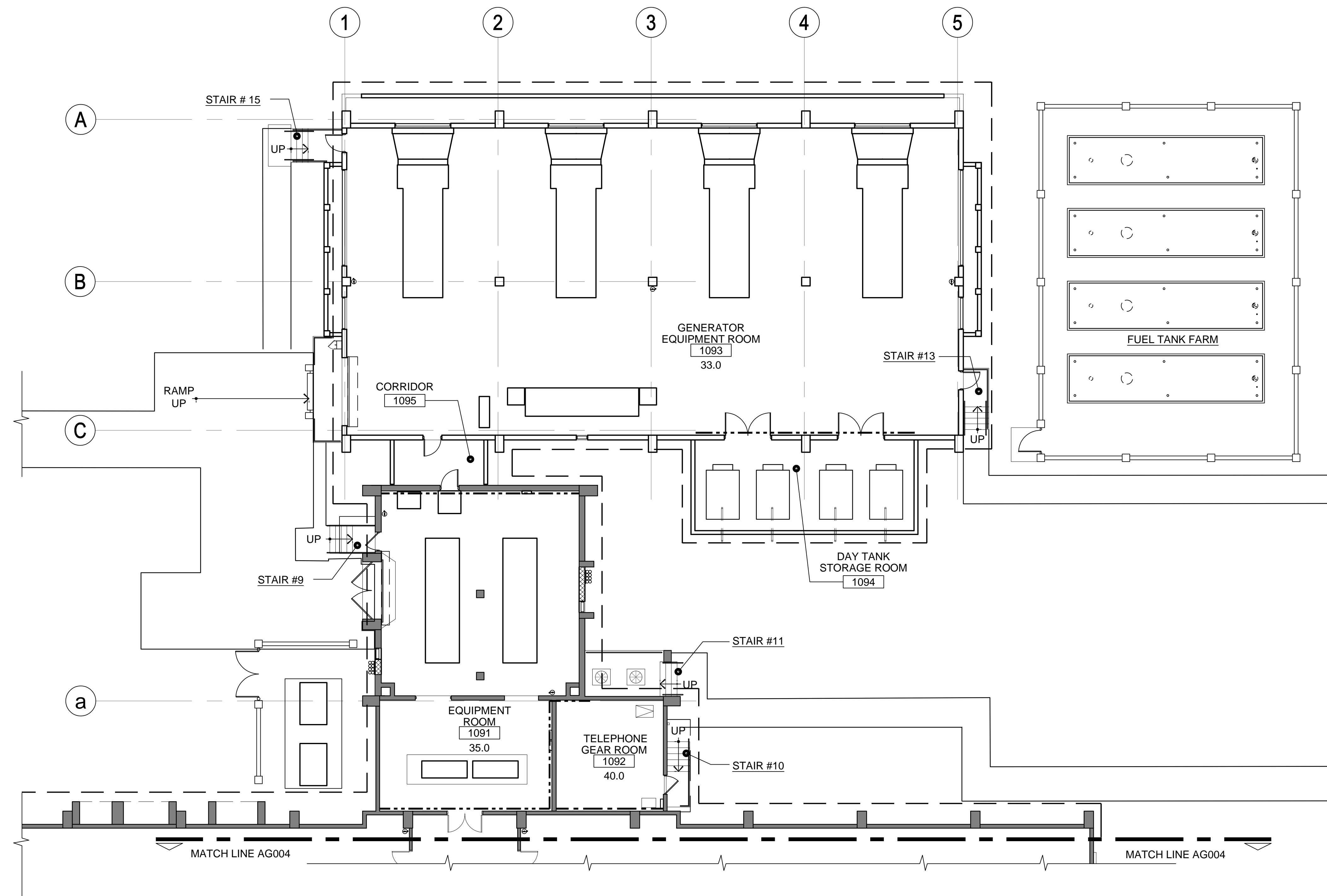
**MISSION SUPPORT FACILITY, BUILDING 51**

**BARRIGADA, GUAM**

FIRST FLOOR SPECIAL WALL PLAN

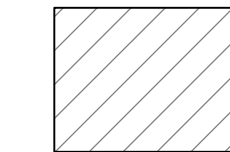
AG004

DRAWING REVISION: 25 AUGUST 2020



## LEGEND

- |           |                                     |
|-----------|-------------------------------------|
| — — — — — | 1 Hr. FIRE RATED WALL               |
| — — — — — | 2 Hr. FIRE RATED WALL               |
| — — — — — | 3 Hr. FIRE RATED WALL               |
| — — — — — | RF PERIMETER WITH ACOUSTICAL RATING |
| — — — — — | ACOUSTICAL PARTITION                |
| — — — — — | CONTROLLED BUILDING PERIMETER       |

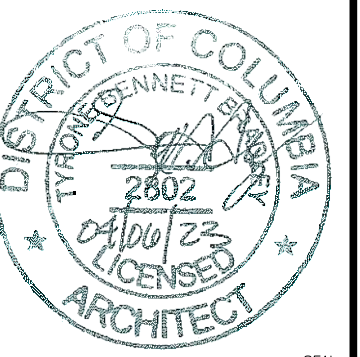


ROOM DESCRIPTION

ROOM TAG

ROOM NUMBER

B51 WORK SPEC V7 REFERENCE



PROVED

R COMMANDER NAVFAC

IVITY

## CONFORMED DESIGN

DISFACTORY TO DATE **APRIL 6, 2023**

ES	MCH	DRW	BPA	CHK	MCH
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M/DM

CHIEF ENG/ARCH

## RE PROTECTION

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51

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NAME	DATE	FILE
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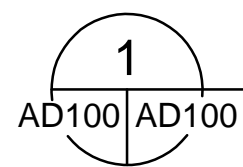
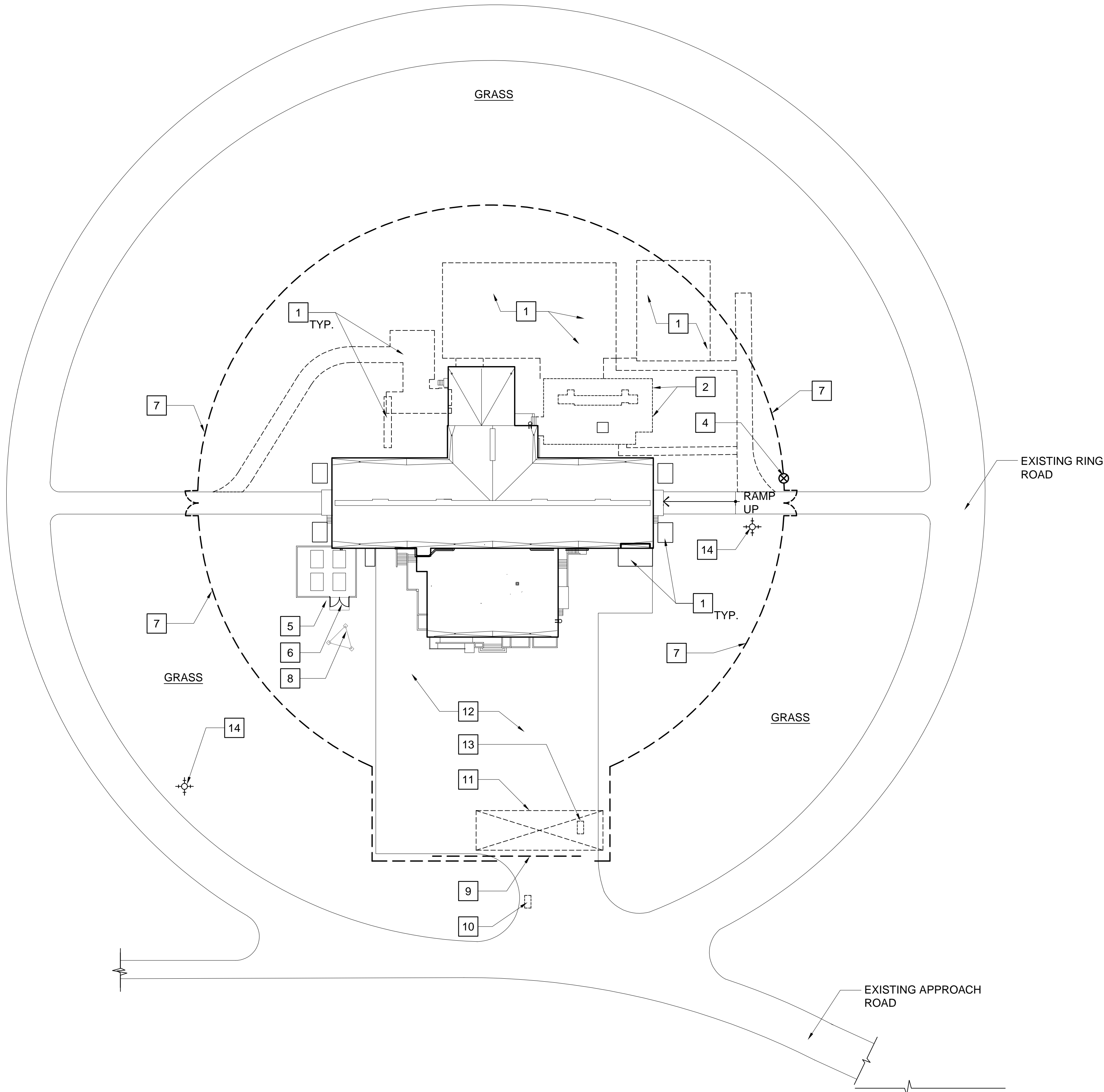


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**BUILDING 51 SITE PLAN - DEMOLITION**

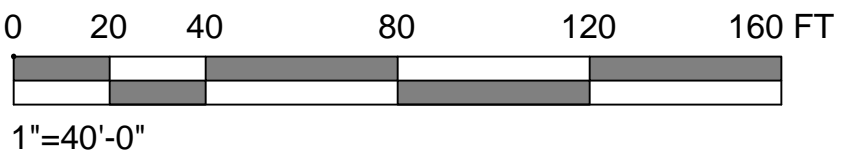
AD100/AD100 Scale: 1" = 40'-0"

**SHEET NOTES**

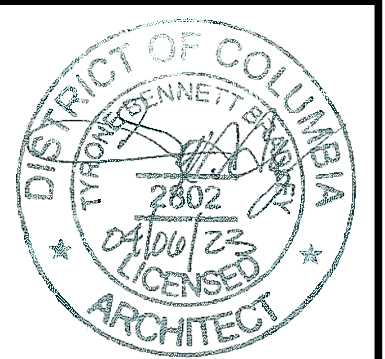
- S1. COORDINATE SITE DEMOLITION WITH WORK SHOWN ON CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS.
- S2. COORDINATE SITE DEMOLITION WITH UNEXPLODED ORDINANCE INVESTIGATION CONDUCTED UNDER SEPARATE CONTRACT.
- S3. COORDINATE SITE DEMOLITION WITH WORK SHOWN BY ALL DISCIPLINES AND TRADES.
- S4. REFER TO CIVIL ENGINEERING DOCUMENTS FOR SITE TOPOGRAPHY.
- S5. REFER TO GENERAL NOTE 22/ SHEET AG001.

**CONSTRUCTION NOTES**

- 1. PREPARE AREA TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE WORK AND EXTENTS OF SITE PREPARATION WITH LIMITS OF NEW CONSTRUCTION.
- 2. REMOVE 10'-0" TALL PAINTED CONCRETE BLOCK SCREEN WALL AND ASSOCIATED GATES. REMOVE ALL PIERS, FOOTERS, FOUNDATIONS AND EQUIPMENT PADS. COORDINATE EQUIPMENT DEMO WITH ELECTRICAL DRAWINGS.
- 3. NOT USE
- 4. REMOVE EXISTING TURNSTILE AND ASSOCIATED SECURITY CONTROLS, CONDUIT AND WIRING. COORDINATE DEMOLITION OF SECURITY CONTROLS WITH ELECTRICAL AND TECHNICAL SECURITY DRAWINGS. PATCH AND REPAIR CONCRETE PAD; LEAVE READY TO ACCEPT NEW WORK.
- 5. 10'-0" TALL PAINTED CONCRETE BLOCK SCREEN WALL. PATCH, REPAIR, CLEAN AND REFINISH SCREEN WALL.
- 6. REMOVE AND REPLACE CHAIN-LINK GATE AND HARDWARE.
- 7. 10'-0" TALL CHAIN-LINK FENCE WITH SECURITY CABLE AND SWING GATES TO BE REMOVED. REFER TO CIVIL ENGINEERING DRAWINGS.
- 8. ANTENNA TOWER TO REMAIN.
- 9. REMOVE AND REPLACE ROLLING CHAIN-LINK GATE, HARDWARE AND ASSOCIATED SECURITY CONTROLS, CONDUIT AND WIRING. COORDINATE DEMOLITION OF SECURITY CONTROLS WITH ELECTRICAL AND TECHNICAL SECURITY DRAWINGS.
- 10. REMOVE ROLLING GATE CONTROLS AND ASSOCIATED MOUNTING POST, SECURITY CONTROLS, CONDUIT AND WIRING. COORDINATE DEMOLITION OF SECURITY CONTROLS WITH ELECTRICAL AND TECHNICAL SECURITY DRAWINGS.
- 11. REMOVE ASPHALTIC SURFACE AND SOIL TO ACCOMMODATE INSTALLATION OF ROLLING GATE UNDERGROUND EXIT CONTROLS.
- 12. PATCH AND REPAIR ASPHALT PARKING AREA. RESTRIPE MARK HANDICAP SPACES AND PROVIDE PARKING BLOCKS. REFER TO CIVIL ENGINEER DRAWINGS FOR PARKING, TRAFFIC PATTERNS AND ASSOCIATED MARKINGS.
- 13. REMOVE ROLLING GATE CONTROLS, ASSOCIATED MOUNTING POST, SECURITY CONTROLS, CONDUIT AND WIRING, BOLLARDS AND CONCRETE PAD. COORDINATE DEMOLITION OF SECURITY CONTROLS WITH ELECTRICAL AND TECHNICAL SECURITY DRAWINGS.
- 14. EXISTING FIRE HYDRANT (FH) TO REMAIN -- REFER TO SHT. C100.



SYN	DESCRIPTION	DATE	APPR



APPROVED	
FOR COMMANDER NAVFAC	
ACTIVITY	
<b>CONFORMED DESIGN</b>	
SATISFACTORY TO	DATE <b>APRIL 6, 2023</b>
DES <b>MCH</b>	DRW <b>BPA</b> CHK <b>MCH</b>
PM/DM	
BRANCH MANAGER	
CHIEF ENGINEER	
FIRE PROTECTION	

DEPARTMENT OF THE NAVY	NAVAL FACILITIES ENGINEERING SYSTEMS COMMAND	NAVAL FACILITIES ENGINEERING SYSTEMS COMMAND
<b>MISSION SUPPORT FACILITY, BUILDING 51</b>		
<b>BARRIGADA, GUAM</b>		
BUILDING 51 SITE PLAN - DEMOLITION		

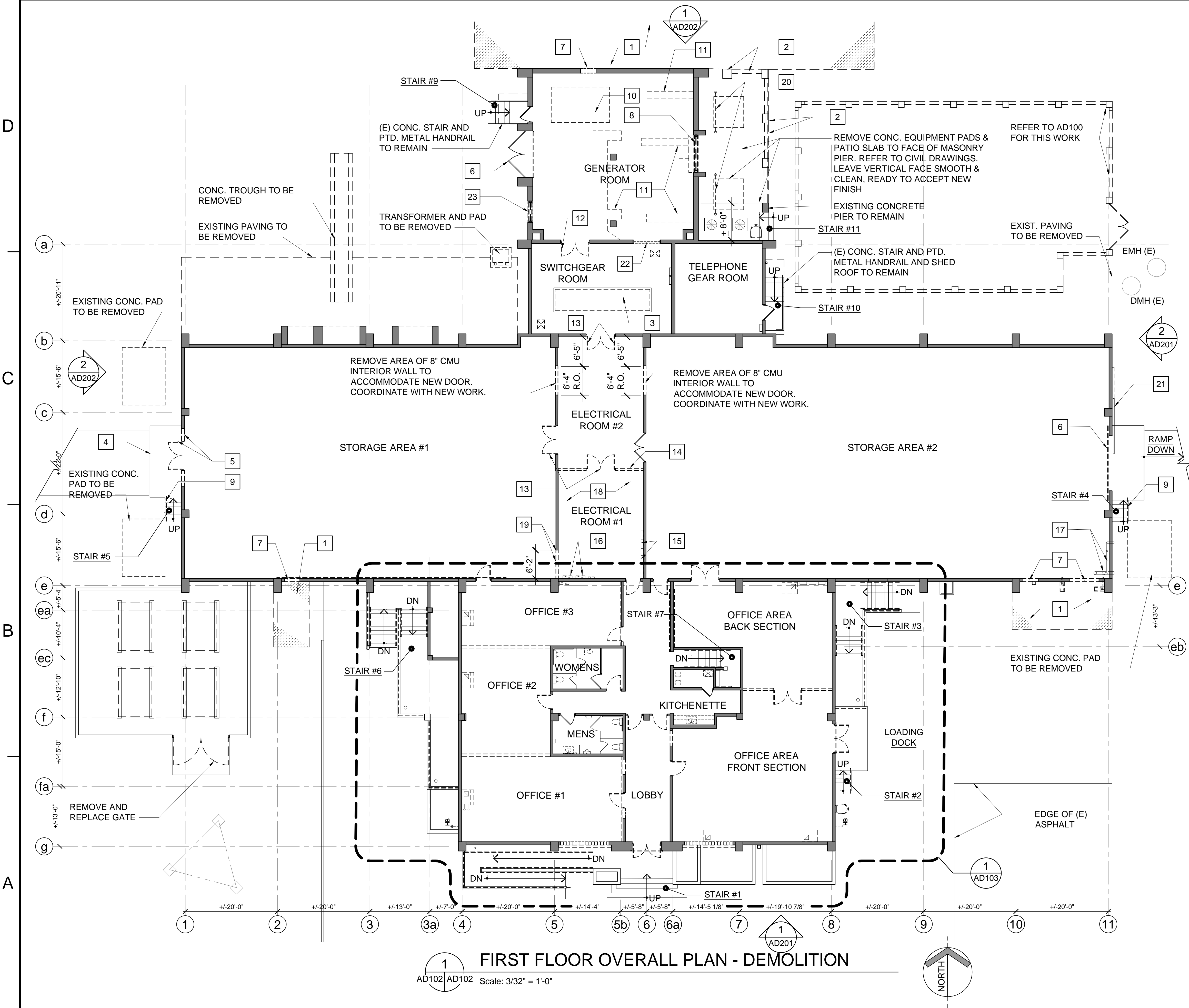
SCALE:	AS-NOTED
PROJECT NO.:	
CONSTR. CONTR. NO.	
NAVFAC DRAWING NO.	
SHEET	OF

**AD100**

DRAWFORM REVISION: 25 AUGUST 2020







- ### CONSTRUCTION NOTES
1. PREPARE AREA TO ACCOMMODATE NEW CONSTRUCTION, REFER TO AD100 AND AD202.
  2. REMOVE 10'-0" TALL PTD. CONC. BLOCK SCREEN WALL AND CONCRETE PIERS.
  3. REMOVE ELEC. EQUIPMENT, CONC. HOUSEKEEPING PAD TO REMAIN. COORDINATE WORK WITH ELECTRICAL DRAWINGS.
  4. REMOVE EXPOSED THREADED RODS AT FACE OF LOADING DOCK. PREPARE AREA FOR DOCK LEVELER INSTALLATION. COORDINATE EXTENT OF DEMOLITION WITH NEW WORK.
  5. REMOVE DOOR PAIR, FRAME AND HARDWARE; ENLARGE OPENING TO ACCOMMODATE NEW DOORS. COORDINATE EXTENT OF DEMOLITION WITH NEW WORK.
  6. EXISTING SWING STEEL TYPHOON DOOR AND TRACK TO REMAIN. DOOR TO INSPECT AND REPAIR DOOR TO PROPER OPERATIONS.
  7. REMOVE AREA OF EXTERIOR WALL TO ACCOMMODATE NEW DOORS. COORDINATE OPENING WITH NEW WORK.
  8. REMOVE EXIST. PTD. METAL LOUVER, MANBARS AND DAMPER. PATCH AND REPAIR HEAD, JAMB AND SILLS, LEAVE READY TO ACCEPT NEW WORK.
  9. REMOVE PTD. STL. HANDRAIL AND STL. ANGLE POST. PATCH AND REPAIR FACE OF CONC. STAIR.
  10. REMOVE CONC. HOUSEKEEPING PAD. PATCH AND REPAIR FLOOR SLAB, LEAVE SURFACE SMOOTH, LEVEL AND READY TO RECEIVE NEW FINISH.
  11. REMOVE STL. TRENCH COVERS; FILL TRENCHES WITH CONC.. LEAVE SURFACE SMOOTH, LEVEL AND READY TO RECEIVE NEW FINISH.
  12. REMOVE DOOR PAIR. EXIST. FRAME TO REMAIN.
  13. REMOVE DOOR FRAME AND HARDWARE.
  14. REMOVE SLAB-TO-SLAB 8" CMU PARTITION WALL IN ITS ENTIRETY. PATCH AND REPAIR FLOOR SLAB.
  15. FIRE ALARM PANELS; REFER TO FIRE/LIFE SAFETY AND FIRE ALARM DRAWINGS FOR FINAL DISPOSITION OF ITEMS.
  16. REMOVE WALL MOUNTED ELECTRICAL PANELS; COORDINATE DEMOLITION WITH ELECTRICAL DRAWINGS.
  17. SPRINKLER PIPING; REFER TO FIRE PROTECTION DRAWINGS FOR DEMOLITION AND MODIFICATIONS.
  18. REMOVE GYPSUM WALL BOARD CEILING AND ASSOCIATED FRAMING AND PLYWOOD DECK IN ITS ENTIRETY.
  19. REMOVE 115" H AREA OF 8" CMU WALL TO ACCOMMODATE NEW WORK. PATCH AND REPAIR HEAD, JAMB AND SILL, LEAVE READY TO ACCEPT NEW FINISH.
  20. REMOVE STL. FRAMING IN ITS ENTIRETY.
  21. EXISTING SLIDING STEEL TYPHOON DOOR AND TRACK TO REMAIN. DOOR SHALL BE INSPECTED AND REPAIRED TO PROPER OPERATION.
  22. REMOVE WINDOW FRAME, WIRE GLASS AND OVHD SHUTTER. ENLARGE OPENING BY REMOVING PORTION OF WALL BELOW SILL.
  23. REMOVE EXISTING LOUVER AND PREPARE OPENING FOR NEW MASONRY AND LOUVER INFILL.

### LEGEND

	CONSTRUCTION TO REMAIN
	CONSTRUCTION TO BE REMOVED
	DOOR TO REMAIN
	DOOR AND FRAME TO BE REMOVED

0 4 8 16 24 32 40 FT.  
3/32"=1'-0"

APPROVED	DATE	APPROVED
FOR COMMANDER NAVFAC		
ACTIVITY		
CONFORMED DESIGN	DATE	APRIL 6, 2023
DES	MCH	DRW BPA
CHK	MCH	
BRANCH MANAGER		
CHIEF ENGINEER		
FIRE PROTECTION		
NAVAL FACILITIES ENGINEERING SYSTEMS COMMAND		
NAVAL FACILITIES ENGINEERING SYSTEMS COMMAND		
MISSION SUPPORT FACILITY, BUILDING 51		
BARRIGADA, GUAM		
FIRST FLOOR OVERALL PLAN - DEMOLITION		
SCALE: AS-NOTED		
PROJECT NO.		
CONSTR. CONTR. NO.		
NAVFAC DRAWING NO.		
SHEET	OF	
AD102		
DRAWING REVISION: 25 AUGUST 2020		

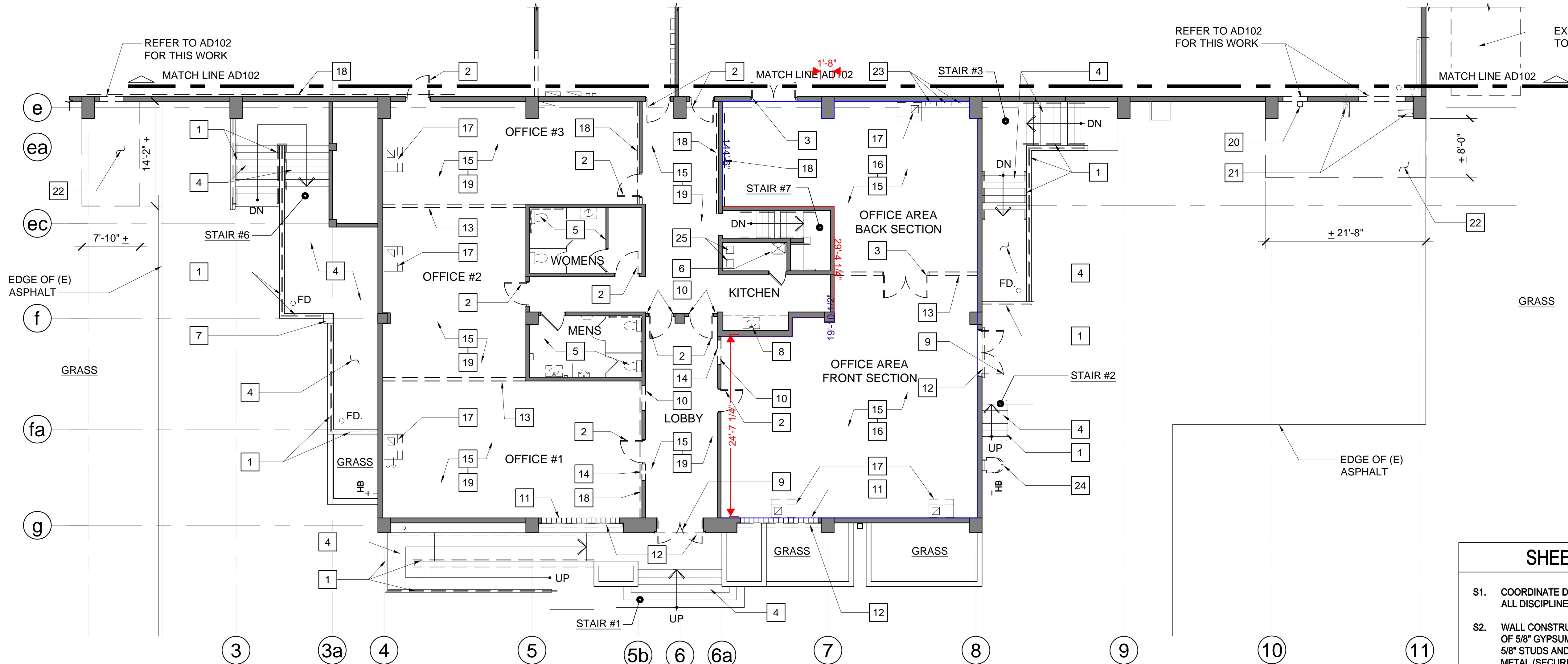


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1 PARTIAL FIRST FLOOR PLAN - DEMOLITION  
AD103/AD103 Scale: 1/8" = 1'-0"

CONSTRUCTION NOTES

#

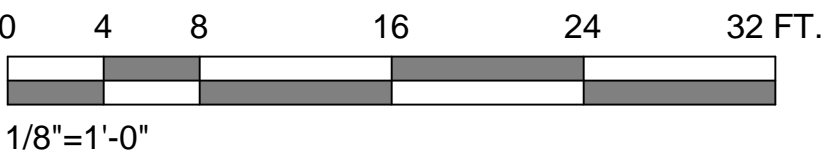
- |  |   |  |  |
|--|---|--|--|
| 1. REMOVE STEEL PIPE GUARDRAILS, HANDRAILS AND ASSOCIATED MOUNTING BRACKETS. PATCH AND REPAIR CONCRETE WALLS AND CURBS; LEAVE READY TO RECEIVE NEW WORK.   | 7. REMOVE DAVIT HOIST BASE AND ANCHOR BOLTS. PATCH AND REPAIR CONCRETE CURB, LEAVE READY TO ACCEPT NEW WORK.  | 14. REMOVE AREA OF EXISTING WALL ADJACENT TO DOOR TO ACCOMMODATE NEW WORK (NOTE S2). COORDINATE EXTENT OF DEMOLITION WITH NEW WORK.  | 21. EXTEND PIPING AS INDICATED ON FIRE PROTECTION DRAWINGS.  |
| 2. REMOVE DOOR FRAME AND HARDWARE.   | 8. REMOVE COUNTER-TOP, BASE CABINETS, WALL-HUNG CABINETS, SINK, FIXTURES AND PIPING. CAP PIPES IN ACCORDANCE WITH PLUMBING DRAWINGS. PATCH AND REPAIR SLAB; LEAVE READY TO ACCEPT NEW FINISHES. | 15. REMOVE ACOUSTICAL CEILING SYSTEM IN ITS ENTIRETY.  | 22. REMOVE ASPHALT PAVING AND PREPARE AREA TO RECEIVE NEW WORK. COORDINATE WITH CIVIL DRAWINGS.  |
| 3. REMOVE DOOR PAIR, FRAME AND HARDWARE.   | 9. REMOVE EXTERIOR DOOR PAIR FRAME AND HARDWARE.  | 16. REMOVE CARPET AND WALL BASE; BROOM CLEAN AREA AND LEAVE READY TO ACCEPT NEW WORK.  | 23. REMOVE INTRUSION DETECTION SYSTEM AND CCTV POWER AND CONTROL PANELS (TOTAL OF 4). REMOVE ASSOCIATED CONDUIT AND WIRING AS INDICATED IN T.S.S. DRAWINGS. PATCH AND REPAIR WALL TO MATCH ADJACENT AREAS. |
| 4. REMOVE NON-SLIP FINISH AT CONCRETE STAIR TREADS, RISERS, LANDINGS AND RAMPS, LEAVE SURFACE CLEAN, SMOOTH AND READY TO ACCEPT NEW FINISH.  | 10. REMOVE AREA OF EXISTING WALL TO ACCOMMODATE NEW OPENING.  | 17. REMOVE FLOOR MOUNTED FAN COIL UNIT AND ASSOCIATED PIPING, POWER, CONTROLS AND DUCTWORK. PATCH AND REPAIR SLABS AND WALLS TO MATCH ADJACENT CONSTRUCTION; LEAVE READY TO ACCEPT NEW WORK. | 24. REMOVE WALL MOUNTED LADDER, CAGE AND ASSOCIATED HARDWARE IN ITS ENTIRETY. PREPARE WALL FOR NEW LADDER.   |
| 5. REMOVE CERAMIC FLOOR TILE, CERAMIC TILE BASE AND PLUMBING FIXTURES. PATCH AND REPAIR FLOORS AND WALLS, LEAVE READY TO ACCEPT NEW FINISHES AND FIXTURES. UNLESS OTHERWISE NOTED TOILET ROOM PARTITIONS AND ACCESSORIES ARE TO REMAIN IN PLACE. | 11. REMOVE GLASS BLOCK SET IN MASONRY WALL. PATCH AND REPAIR HEAD, JAMB AND SILL; LEAVE READY TO ACCEPT NEW WORK.   | 18. REMOVE GYPSUM WALL BOARD TO EXPOSE METAL FRAMING. REMOVE OUTLET BOXES, CONDUIT AND WIRING WITHIN WALL CAVITY.  | 25. REMOVE PORTION OF EXISTING FLOOR SLAB AS REQUIRED FOR NEW MECHANICAL DUCTWORK. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.  |
| 6. REMOVE JANITOR'S SINK, FIXTURE AND ASSOCIATED PIPING. CAP PIPES IN ACCORDANCE WITH PLUMBING DRAWINGS AND PATCH AND REPAIR FLOOR SLAB.   | 12. REMOVE TYPHOON SHUTTER, TRACK AND ASSOCIATED HARDWARE. PATCH AND REPAIR HEAD, JAMB AND SILL; LEAVE READY TO ACCEPT NEW WORK.  | 19. REMOVE VINYL COMPOSITION TILE (VCT) FLOORING AND WALL BASE. BROOM CLEAN AREA AND LEAVE READY TO ACCEPT NEW WORK.   |  |
|  | 13. REMOVE METAL-FRAMED PARTITION IN ITS ENTIRETY.  | 20. REMOVE DOWNSPOUT.  |  |

SHEET NOTES

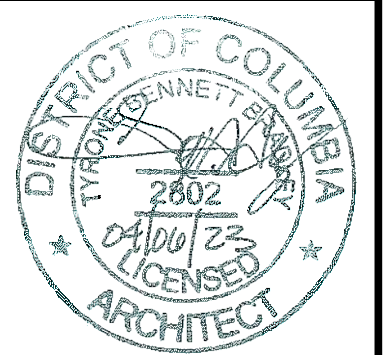
- S1. COORDINATE DEMOLITION WITH WORK SHOWN BY ALL DISCIPLINES AND TRADES.
- S2. WALL CONSTRUCTION IS COMPRISED OF 2-LAYERS OF 5/8" GYPSUM WALL BOARD ON BOTH SIDES OF 3 5/8" STUDS AND 1-LAYER OF 9 GA. EXPANDED METAL (SECURE SIDE AT STUDS).
- S3. ABANDONED PENETRATIONS LESS THAN 6" AND WITH AN AREA LESS THAN 96 SQ. IN. SHALL BE PACKED SOLID WITH NON-SHRINK/ NON-METALLIC GROUT. THE AREA SHALL BE LEFT SMOOTH AND LEVEL WITH THE ROOF DECK, TOP AND BOTTOM.
- S4. REFER TO GENERAL NOTE 22/ SHEET AG001.

LEGEND

- CONSTRUCTION TO REMAIN
- CONSTRUCTION TO BE REMOVED
- DOOR TO REMAIN
- DOOR AND FRAME TO BE REMOVED



SYN	DESCRIPTION	DATE	APPR



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Bradley/Parker & Associates, P.C.  
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Tel: 703-346-7058 Fax: 703-548-5343  
ARCHITECT/ ENGINEER INFO

APPROVED	FOR COMMANDER NAVFAC
ACTIVITY	CONFORMED DESIGN
SATISFACTORY TO DATE	APRIL 6, 2023
DES	MCH
DRW	BPA
CHK	MCH
PM/DM	
BRANCH MANAGER	
CHIEF ENGINEER	
FIRE PROTECTION	

DEPARTMENT OF THE NAVY  
NAVAL FACILITIES ENGINEERING SYSTEMS COMMAND  
NAVAL FACILITIES ENGINEERING SYSTEMS COMMAND  
MISSION SUPPORT FACILITY, BUILDING 51  
BARRIGADA, GUAM  
PARTIAL FIRST FLOOR PLAN - DEMOLITION

SCALE:	AS-NOTED
PROJECT NO.:	
CONSTR. CONTR. NO.	
NAVFAC DRAWING NO.	
SHEET	OF
AD103	

DRAWING REVISION: 25 AUGUST 2020

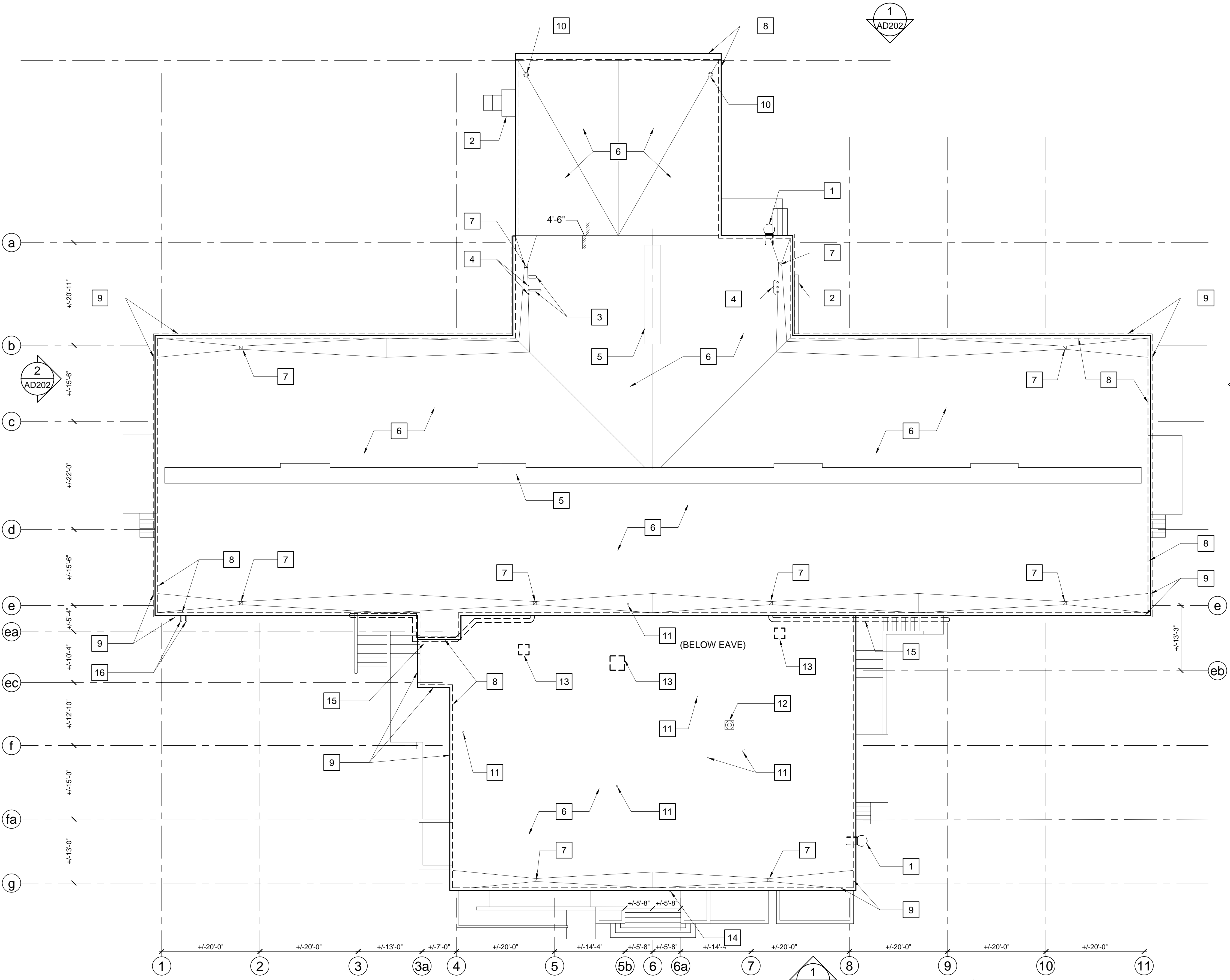


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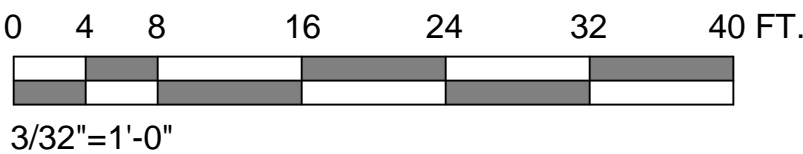
1 ROOF PLAN - DEMOLITION  
AD104 AD104 Scale: 3/32" = 1'-0"

SHEET NOTES

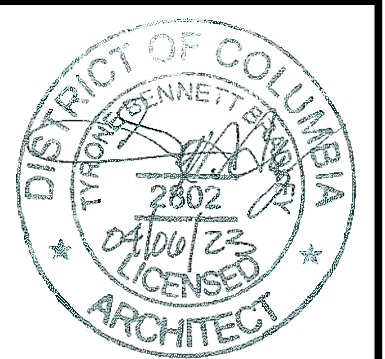
- S1. CONTRACTOR SHALL MAINTAIN WEATHER-TIGHT INTEGRITY OF THE BUILDING THROUGHOUT THE DURATION OF CONSTRUCTION.
- S2. DO NOT STACK BUILDING MATERIALS IN SUCH A MANNER THAT WOULD CREATE CONCENTRATED LOADS ON THE FLOOR AND/OR ROOF STRUCTURES.
- S3. ABANDONED ROOF PENETRATIONS LESS THAN 6" X 6" OR WITH AN AREA LESS THAN 96 SQ. IN. SHALL BE PACKED SOLID WITH NON-SHRINK/ NON-METALLIC GROUT. THE AREA SHALL BE LEFT SMOOTH AND LEVEL WITH THE ROOF DECK, TOP AND BOTTOM.
- S4. REFER TO GENERAL NOTE 22/ SHEET AG001.

CONSTRUCTION NOTES #

- 1. REMOVE METAL LADDER, SAFETY CAGE, MOUNTING BRACKETS AND BOLTS. PATCH AND REPAIR WALL SURFACES; LEAVE SURFACE CLEAN SMOOTH AND READY TO ACCEPT NEW FINISHES.
- 2. STAIR CANOPY TO REMAIN.
- 3. REMOVE ABANDONED GOOSENECK AND ASSOCIATED PIPE SLEEVE PENETRATION (REFER TO NOTE S3).
- 4. REMOVE ABANDONED PIPE SLEEVE PENETRATIONS (REFER TO NOTE S3).
- 5. ROOF CURB TO REMAIN.
- 6. REMOVE ROOFING ASSEMBLY TO EXPOSE CONCRETE DECK, TO INCLUDE MULTI-LAYER BUILT-UP ASPHALT ROOFING AND RIGID INSULATION (REFER TO NOTE S1 & S2).
- 7. CLEAN AND CLEAR 8" X 8" SQUARE SUPPER OPENING AND LEAVE READY TO ACCEPT NEW WORK.
- 8. REMOVE METAL COPING AND MOUNTING ACCESSORIES.
- 9. REMOVE ALL SURFACE MOUNTED CONDUIT AND MOUNTING HARDWARE. COORDINATE DEMOLITION WITH ELECTRICAL AND TECHNICAL SECURITY DRAWINGS. PATCH AND REPAIR CONCRETE EAVE.
- 10. 8-INCH DIAMETER CAST IRON SCUPPER TO REMAIN.
- 11. VENT PIPE TO REMAIN.
- 12. EXHAUST, FAN AND HOOD MOUNTED ON 16" CURB TO REMAIN.
- 13. REMOVE ABANDONED ROOF CURB PATCH OPENING AS INDICATED ON DRAWING 2B, SHEET A-515.
- 14. FIRE ALARM ANTENNA TO REMAIN.
- 15. REMOVE 10" DIAMETER DOWNSPOUT EXTENSIONS AND ASSOCIATED SUPPORTS AND HANGERS.
- 16. REMOVE MECHANICAL PIPING.



DATE	DESCRIPTION	BY	CHK	APP



Assurance Technology Corporation  
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ARCHITECT/ ENGINEER INFO

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CONFORMED DESIGN
SATISFACTORY TO DATE APRIL 6, 2023
DES MCH DRW BPA CHK MCH
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CHIEF ENGINEER
FIRE PROTECTION

DEPARTMENT OF THE NAVY  
NAVAL FACILITIES ENGINEERING SYSTEMS COMMAND  
NAVAL FACILITIES ENGINEERING SYSTEMS COMMAND  
MISSION SUPPORT FACILITY, BUILDING 51  
BARRIGADA, GUAM  
ROOF PLAN - DEMOLITION

SCALE: AS-NOTED
PROJECT NO.:
CONSTR. CONTR. NO.:
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