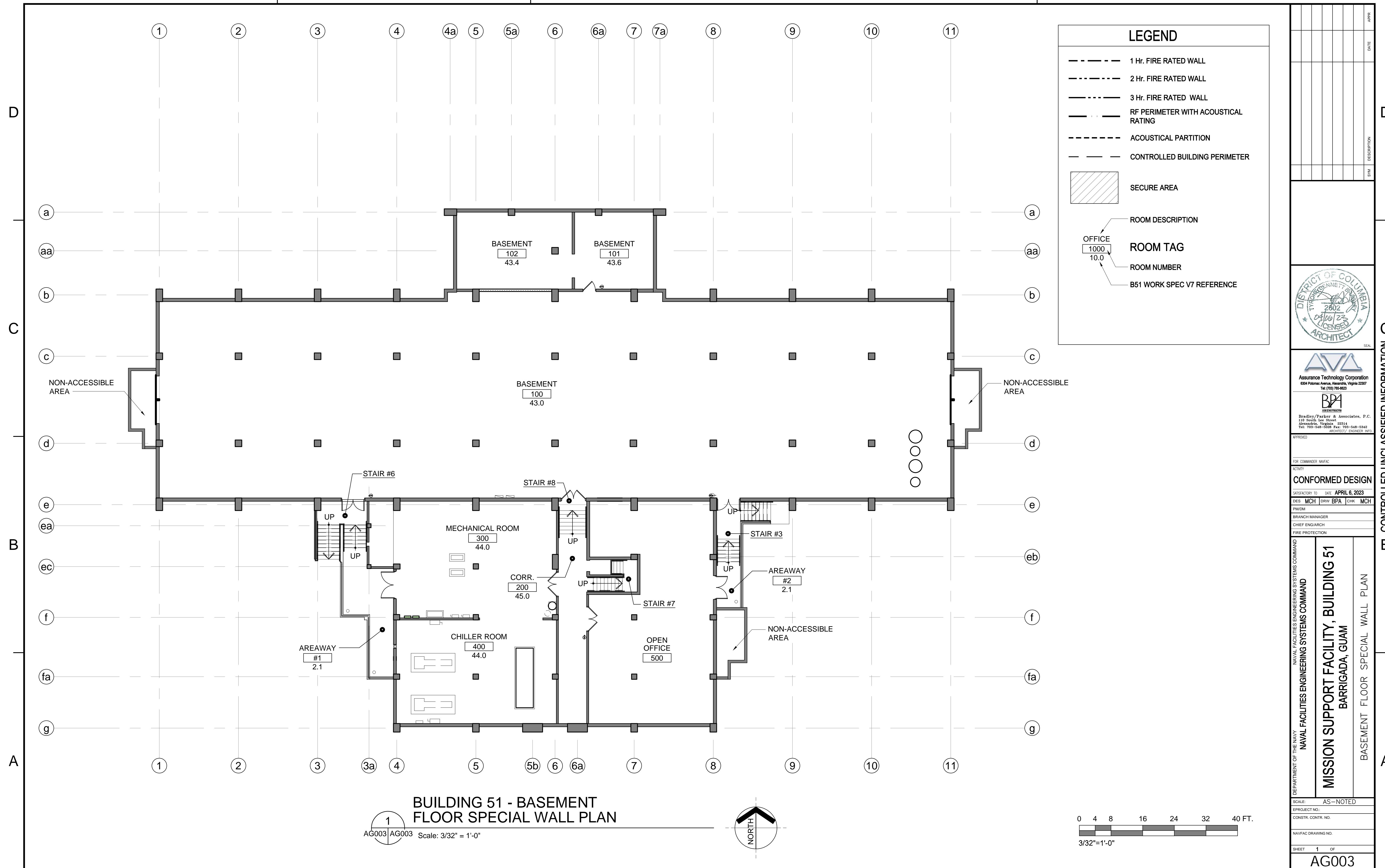
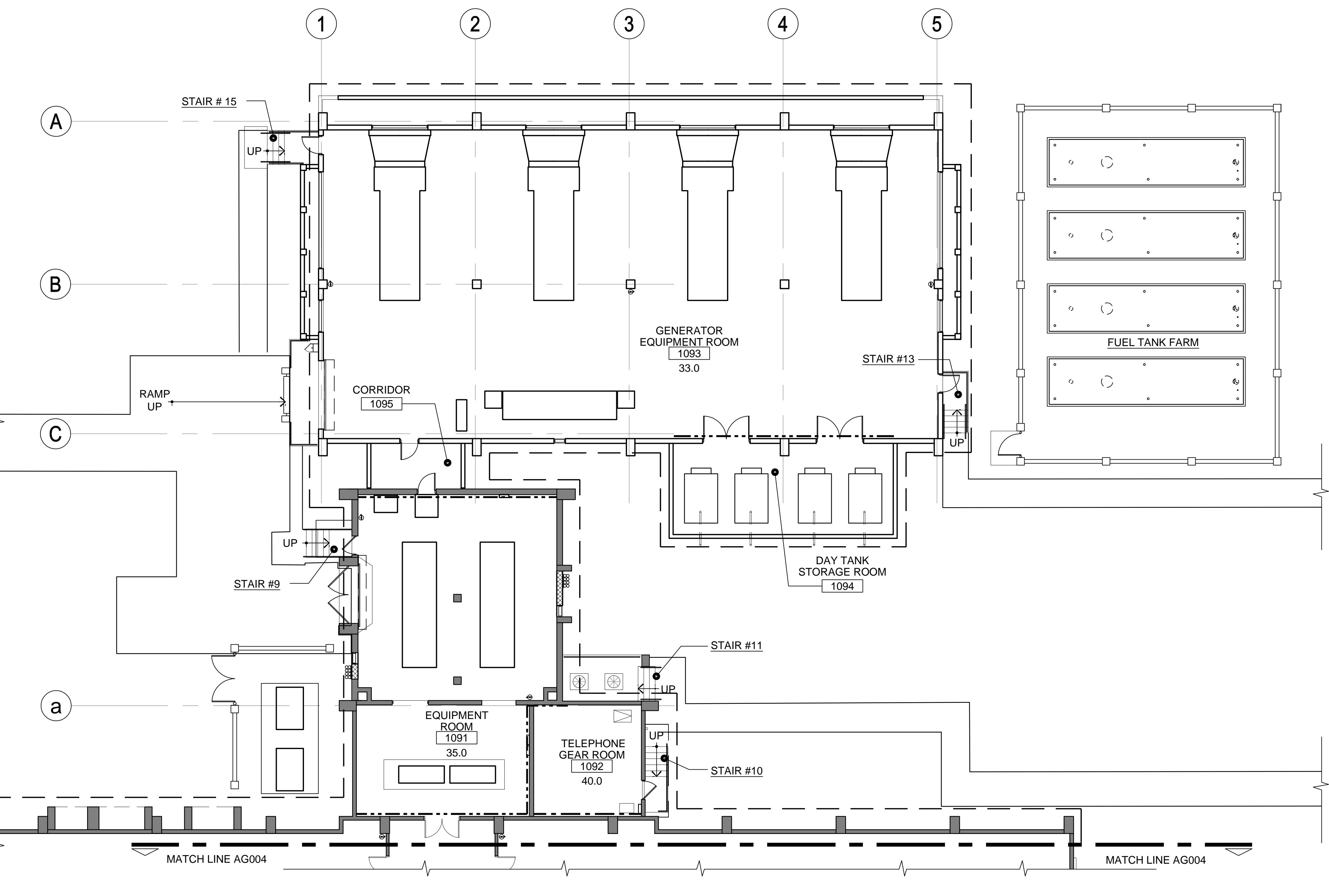


3 CONTROLLED UNCLASSIFIED INFORMATION



D



LEGEND	
—	1 Hr. FIRE RATED WALL
—	2 Hr. FIRE RATED WALL
—	3 Hr. FIRE RATED WALL
—	RF PERIMETER WITH ACOUSTICAL RATING
—	ACOUSTICAL PARTITION
—	CONTROLLED BUILDING PERIMETER
	SECURE AREA
—	ROOM DESCRIPTION
OFFICE 1000 10.0	ROOM TAG
ROOM NUMBER	B51 WORK SPEC V7 REFERENCE

APR	DATE
SW	DESCRIPTION
DRAWING REVISION: 25 AUGUST 2020	
Assurance Technology Corporation 6004 Potomac Avenue, Alexandria, Virginia 22307 Tel: (703) 765-8623	
Bradley Parker & Associates, P.C. 110 South Lee Street Alexandria, Virginia 22314 Tel: 703-548-2626 Fax: 703-548-5342 ARCHITECT/ ENGINEER INFO.	
APPROVED	
FOR COMMANDER NAVFAC	
ACTIVITY	
CONFORMED DESIGN	
SATISFACTORY TO DATE APRIL 6, 2023	
DES	MCH DRW BPA CHK MCH
PM/DM	
BRANCH MANAGER	
CHIEF ENGR/ARCH	
FIRE PROTECTION	
DEPARTMENT OF THE NAVY	
NAVAL FACILITIES ENGINEERING SYSTEMS COMMAND	
MISSION SUPPORT FACILITY, BUILDING 51	
BARRIGADA, GUAM	
FIRST FLOOR SPECIAL WALL PLAN	
DRAWING NO. AG005	
SCALE AS-NOTED	
EPROJECT NO.	
CONSTR. CONTR. NO.	
NAVFAC DRAWING NO.	
SHEET OF	

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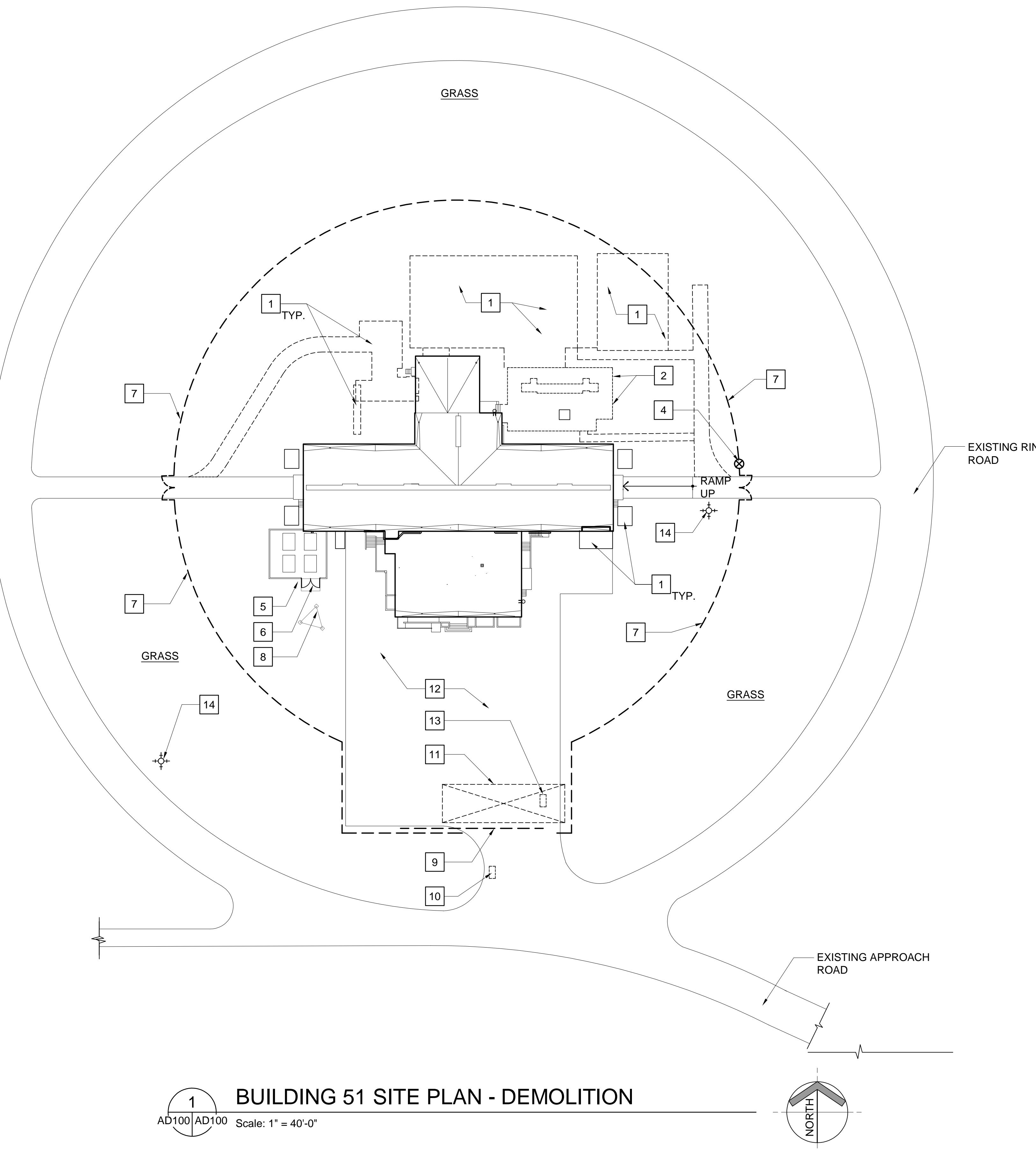
B

A

C C

B B

A A



SHEET NOTES

- S1. COORDINATE SITE DEMOLITION WITH WORK SHOWN ON CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS.
- S2. COORDINATE SITE DEMOLITION WITH UNEXPLODED ORDNANCE INVESTIGATION CONDUCTED UNDER SEPARATE CONTRACT.
- S3. COORDINATE SITE DEMOLITION WITH WORK SHOWN BY ALL DISCIPLINES AND TRADES.
- S4. REFER TO CIVIL ENGINEERING DOCUMENTS FOR SITE TOPOGRAPHY.
- S5. REFER TO GENERAL NOTE 22/SHEET AG001.

CONSTRUCTION NOTES

1. PREPARE AREA TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE WORK AND EXTENTS OF SITE PREPARATION WITH LIMITS OF NEW CONSTRUCTION.
2. REMOVE 10'-0" TALL PAINTED CONCRETE BLOCK SCREEN WALL AND ASSOCIATED GATES. REMOVE ALL PIERS, FOOTERS, FOUNDATIONS AND EQUIPMENT PADS. COORDINATE EQUIPMENT DEMO WITH ELECTRICAL DRAWINGS.
3. NOT USE
4. REMOVE EXISTING TURNSTILE AND ASSOCIATED SECURITY CONTROLS, CONDUIT AND WIRING. COORDINATE DEMOLITION OF SECURITY CONTROLS WITH ELECTRICAL AND TECHNICAL SECURITY DRAWINGS. PATCH AND REPAIR CONCRETE PAD; LEAVE READY TO ACCEPT NEW WORK.
5. 10'-0" TALL PAINTED CONCRETE BLOCK SCREEN WALL. PATCH, REPAIR, CLEAN AND REFINISH SCREEN WALL.
6. REMOVE AND REPLACE CHAIN-LINK GATE AND HARDWARE.
7. 10'-0" TALL CHAIN-LINK FENCE WITH SECURITY CABLE AND SWING GATES TO BE REMOVED. REFER TO CIVIL ENGINEERING DRAWINGS.
8. ANTENNA TOWER TO REMAIN.
9. REMOVE AND REPLACE ROLLING CHAIN-LINK GATE, HARDWARE AND ASSOCIATED SECURITY CONTROLS, CONDUIT AND WIRING. COORDINATE DEMOLITION OF SECURITY CONTROLS WITH ELECTRICAL AND TECHNICAL SECURITY DRAWINGS.
10. REMOVE ROLLING GATE CONTROLS AND ASSOCIATED MOUNTING POST, SECURITY CONTROLS, CONDUIT AND WIRING. COORDINATE DEMOLITION OF SECURITY CONTROLS WITH ELECTRICAL AND TECHNICAL SECURITY DRAWINGS.
11. REMOVE ASPHALTIC SURFACE AND SOIL TO ACCOMMODATE INSTALLATION OF ROLLING GATE UNDERGROUND EXIT CONTROLS.
12. PATCH AND REPAIR ASPHALT PARKING AREA. RESTRIPE MARK HANDICAP SPACES AND PROVIDE PARKING BLOCKS. REFER TO CIVIL ENGINEER DRAWINGS FOR PARKING, TRAFFIC PATTERNS AND ASSOCIATED MARKINGS.
13. REMOVE ROLLING GATE CONTROLS, ASSOCIATED MOUNTING POST, SECURITY CONTROLS, CONDUIT AND WIRING, BOLLARDS AND CONCRETE PAD. COORDINATE DEMOLITION OF SECURITY CONTROLS WITH ELECTRICAL AND TECHNICAL SECURITY DRAWINGS.
14. EXISTING FIRE HYDRANT (FH) TO REMAIN -- REFER TO SHT. C100.

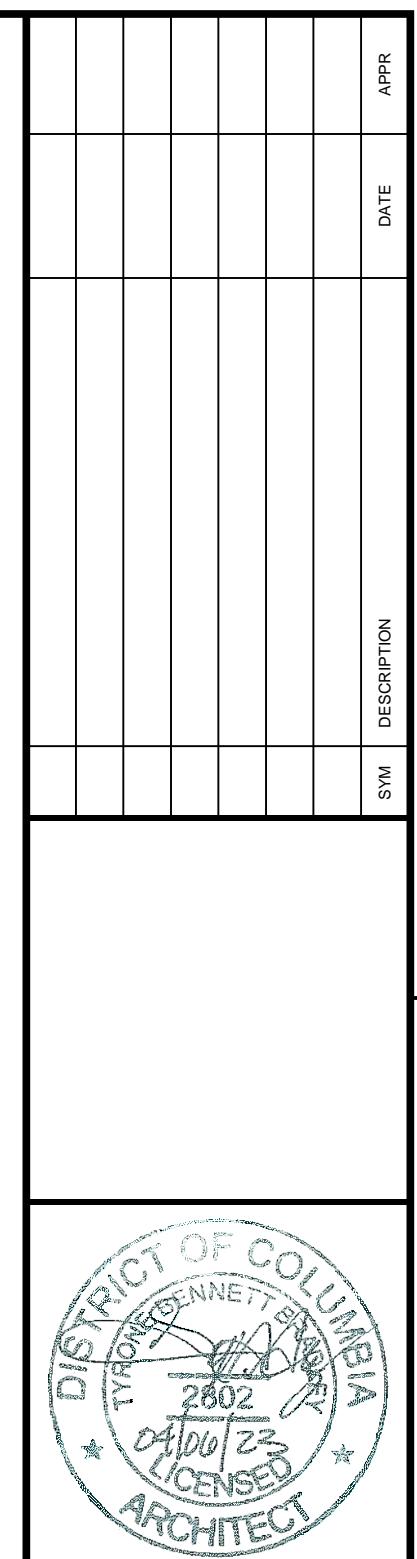
**MISSION SUPPORT FACILITY, BUILDING 51
BARRIGADA, GUAM**

DEPARTMENT OF THE NAVY
NAVAL FACILITIES ENGINEERING SYSTEMS COMMAND

BUILDING 51 SITE PLAN - DEMOLITION

SCALE: AS-NOTED
EPROJCT NO.:
CONSTR. CONTR. NO.:
NAVFAC DRAWING NO.:
SHEET OF
AD100

DRAWFORM REVISION: 25 AUGUST 2020



Assurance Technology Corporation
6304 Potomac Avenue, Alexandria, Virginia 22307
Tel: (703) 765-6263

Bradley Parker & Associates, P.C.
110 South Lee Street, Suite 2314
McLean, Virginia 22101
Tel: 703-548-0528 Fax: 703-548-5342 ARCHITECT/ ENGINEER INFO

APPROVED

FOR COMMANDER NAVFAC

ACTIVITY

CONFORMED DESIGN

SATISFACTORY TO DATE APRIL 6, 2023

DES MCH DRW BPA CHK MCH

PM/DM

BRANCH MANAGER

CHIEF ENGIARCH

FIRE PROTECTION

NAVAL FACILITIES ENGINEERING SYSTEMS COMMAND
BUILDING 51 SITE PLAN - DEMOLITION
DEPARTMENT OF THE NAVY
NAVAL FACILITIES ENGINEERING SYSTEMS COMMAND

SHEET NOTES

- S1. COORDINATE DEMOLITION WITH WORK SHOWN BY ALL DISCIPLINES AND TRADES.
 - S2. REFER TO GENERAL NOTE 22/ SHEET AG001.

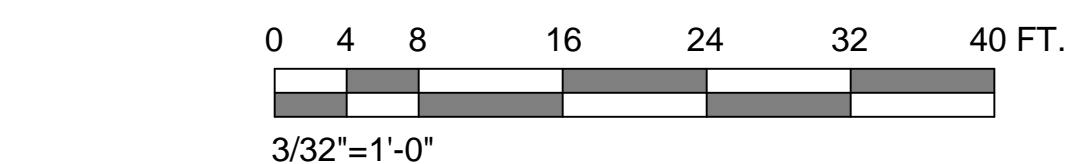
CONSTRUCTION NOTES

1. REMOVE 6'-0" X 6'-0" PORTION OF CMU WALL TO PROVIDE ACCESS TO ADJACENT BASEMENT ROOMS.
 2. REMOVE DOOR FRAME AND HARDWARE.
 3. REMOVE STICK-FRAMED PARTITION TO INCLUDE GYPSUM BOARD FINISH, STUD FRAMING (INCLUDING SILL AND HEAD TRACKS) AND ATTACHMENT ANCHORS. PATCH AND REPAIR EXIST. SLAB.
 4. REMOVE DOOR PAIR, FRAME AND HARDWARE.
 5. REMOVE WATER SOFTENER SYSTEM. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. CONTRACTOR TO PATCH, REPAIR AND PREPARE SLAB.
 6. EXIST. STEEL PLATE WELDED TO STEEL ANGLES ATTACHED TO CONCRETE WALL TO REMAIN.
 7. REMOVE CABLE TRAY DISTRIBUTION SYSTEM AND ASSOCIATED HANGERS. PATCH AND REPAIR SLAB ABOVE. COORDINATE DEMOLITION WITH ELECTRICAL WORK.
 8. REMOVE STEEL PIPE HANDRAIL AND ASSOCIATED MOUNTING BRACKETS. PATCH AND REPAIR CONCRETE WALL, LEAVE READY TO ACCEPT NEW WORK.
 9. BROOM CLEAN AREA, LEAVE SURFACES READY TO ACCEPT NEW WORK.
 10. REMOVE DOOR, FRAME, TYPHOON SHUTTER, TRACK AND ASSOCIATED HARDWARE. PATCH AND REPAIR HEAD, JAMB AND SILL, LEAVE READY TO ACCEPT NEW WORK.
 11. REFER TO MECHANICAL DRAWINGS FOR EQUIPMENT DEMOLITION IN THIS AREA.
 12. REMOVE ACOUSTICAL CEILING SYSTEM IN ITS ENTIRETY.
 13. REMOVE CARPET AND WALL BASE. BROOM CLEAN FLOOR, LEAVE READY TO ACCEPT NEW WORK.
 14. CLEAN PAINTED CONCRETE WALL AND PREPARE SURFACE TO ACCEPT NEW FINISH.
 15. REMOVE PORTION OF MASONRY WALL AS REQUIRED FOR INSTALLATION OF NEW LOUVER.
 16. REMOVE EXISTING OUTSIDE AIR GRILLES AND METAL SHROUD. PREPARE WALL TO BE INFILLED AND FINISHED TO MATCH EXISTING WALL.

LEGEND

The image contains four architectural symbols for door and window removal:

- CONSTRUCTION TO REMAIN:** A solid horizontal bar with two vertical brackets at its ends.
- CONSTRUCTION TO BE REMOVED:** A dashed horizontal line with two vertical brackets at its ends.
- DOOR TO REMAIN:** A diagonal line connecting two vertical brackets, representing a door frame.
- DOOR AND FRAME TO BE REMOVED:** A dashed diagonal line connecting two vertical brackets, representing a door and its frame.

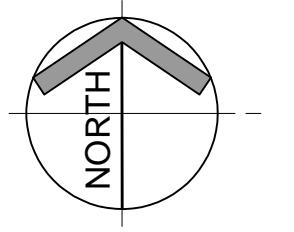


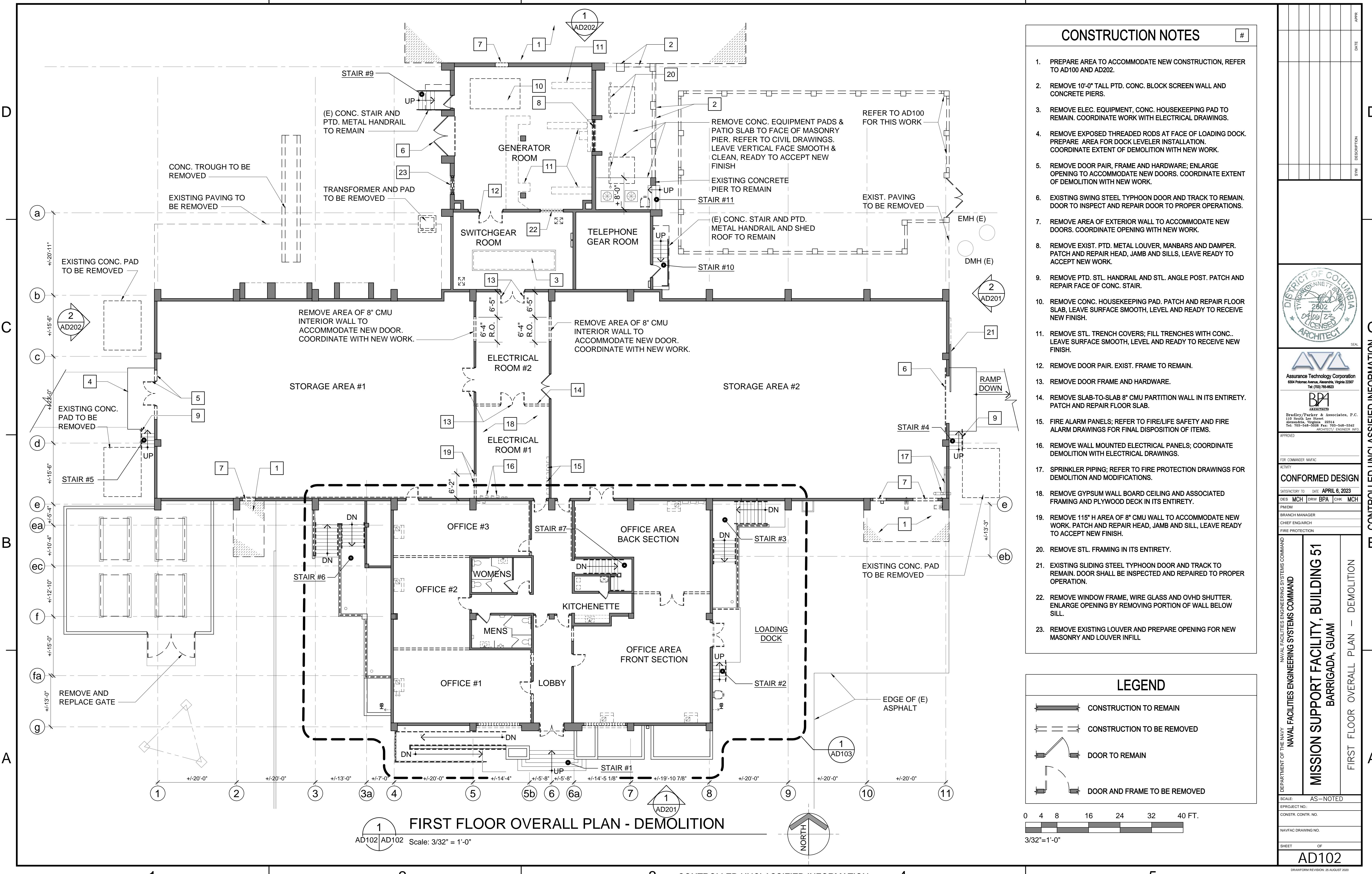
BASEMENT FLOOR OVERALL PLAN - DEMOLITION

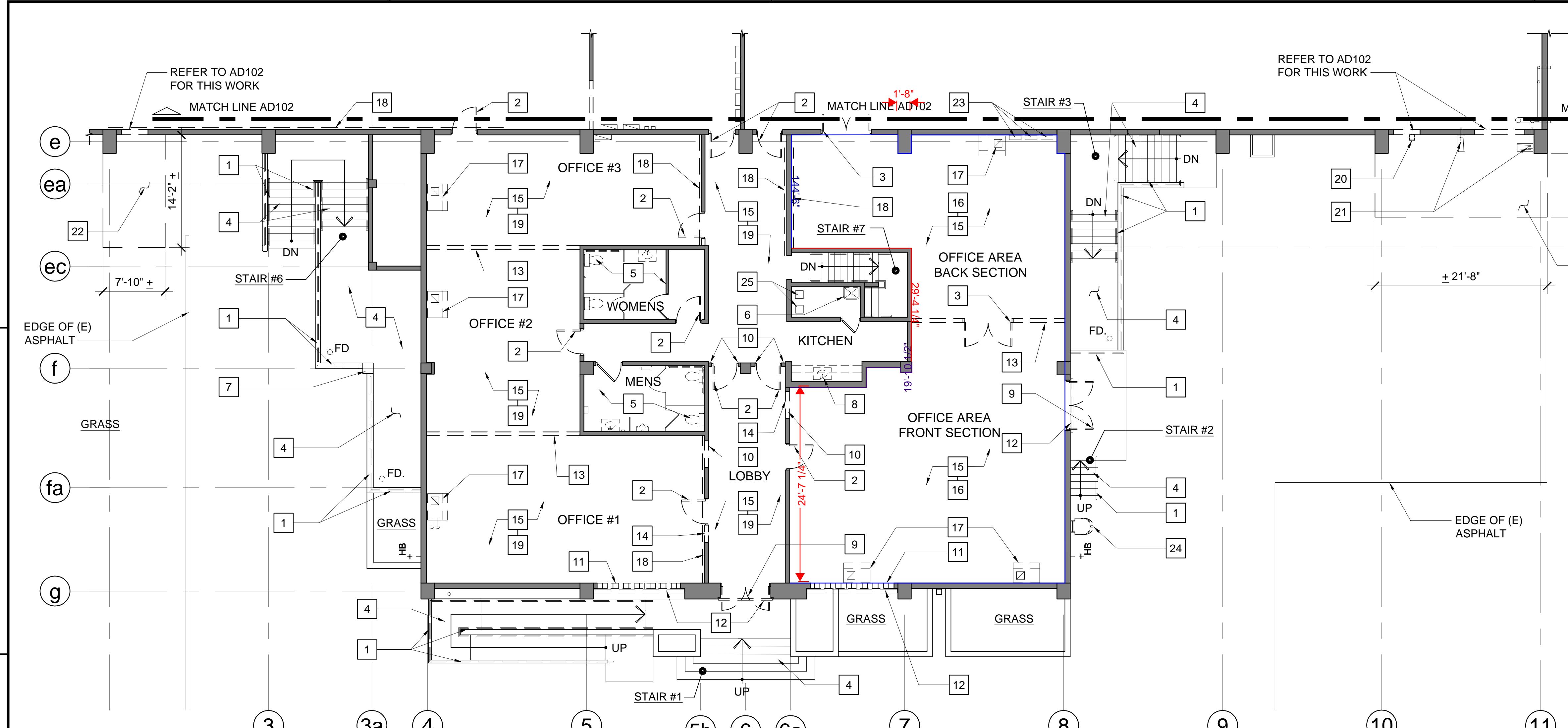
D101 AD101 Scale: 3/32" = 1'-0"

AD101 AD101 Scale: 3/32" = 1'-0"

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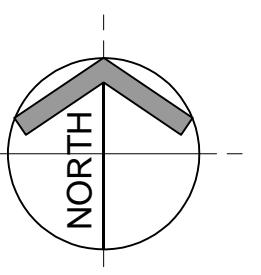






PARTIAL FIRST FLOOR PLAN - DEMOLITION

AD103 Scale: 1/8" = 1'-0"

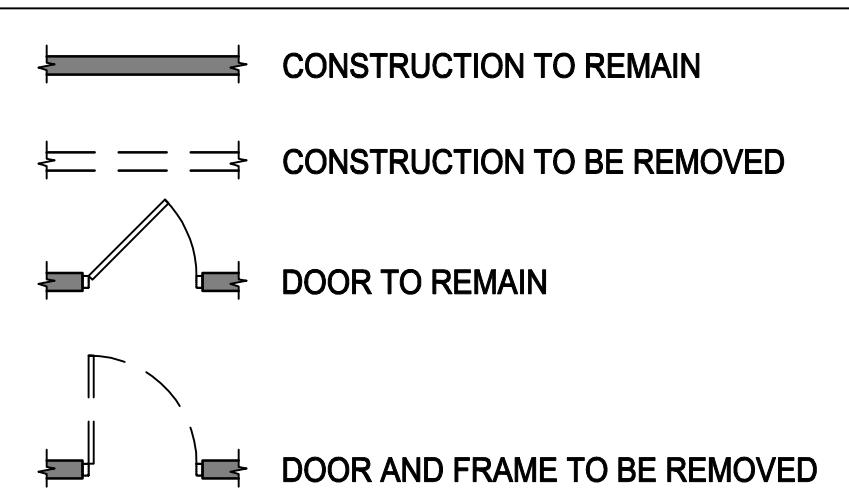


SHEET NOTES

- S1. COORDINATE DEMOLITION WITH WORK SHOWN BY ALL DISCIPLINES AND TRADES.
- S2. WALL CONSTRUCTION IS COMPRISED OF 2-LAYERS OF 5/8" GYPSUM WALL BOARD ON BOTH SIDES OF 3 5/8" STUDS AND 1-LAYER OF 9 GA. EXPANDED METAL (SECURE SIDE AT STUDS).
- S3. ABANDONED PENETRATIONS LESS THAN 6" AND WITH AN AREA LESS THAN 96 SQ. IN. SHALL BE PACKED SOLID WITH NON-SHRINK/ NON-METALLIC GROUT. THE AREA SHALL BE LEFT SMOOTH AND LEVEL WITH THE ROOF DECK, TOP AND BOTTOM.
- S4. REFER TO GENERAL NOTE 22/SHEET AG001.

CONSTRUCTION NOTES	
1. REMOVE STEEL PIPE GUARDRAILS, HANDRAILS AND ASSOCIATED MOUNTING BRACKETS. PATCH AND REPAIR CONCRETE WALLS AND CURBS; LEAVE READY TO RECEIVE NEW WORK.	7. REMOVE DAVIT HOIST BASE AND ANCHOR BOLTS. PATCH AND REPAIR CONCRETE CURB, LEAVE READY TO ACCEPT NEW WORK.
2. REMOVE DOOR FRAME AND HARDWARE.	8. REMOVE COUNTER-TOP, BASE CABINETS, WALL-HUNG CABINETS, SINK, FIXTURES AND PIPING. CAP PIPES IN ACCORDANCE WITH PLUMBING DRAWINGS. PATCH AND REPAIR SLAB; LEAVE READY TO ACCEPT NEW FINISHES.
3. REMOVE DOOR PAIR, FRAME AND HARDWARE.	9. REMOVE EXTERIOR DOOR PAIR FRAME AND HARDWARE.
4. REMOVE NON-SLIP FINISH AT CONCRETE STAIR TREADS, RISERS, LANDINGS AND RAMPS, LEAVE SURFACE CLEAN, SMOOTH AND READY TO ACCEPT NEW FINISH.	10. REMOVE AREA OF EXISTING WALL TO ACCOMMODATE NEW OPENING.
5. REMOVE CERAMIC FLOOR TILE, CERAMIC TILE BASE AND PLUMBING FIXTURES. PATCH AND REPAIR FLOORS AND WALLS, LEAVE READY TO ACCEPT NEW FINISHES AND FIXTURES. UNLESS OTHERWISE NOTED TOILET ROOM PARTITIONS AND ACCESSORIES ARE TO REMAIN IN PLACE.	11. REMOVE GLASS BLOCK SET IN MASONRY WALL. PATCH AND REPAIR HEAD, JAMB AND SILL; LEAVE READY TO ACCEPT NEW WORK.
6. REMOVE JANITOR'S SINK, FIXTURE AND ASSOCIATED PIPING. CAP PIPES IN ACCORDANCE WITH PLUMBING DRAWINGS AND PATCH AND REPAIR FLOOR SLAB.	12. REMOVE TYPHOON SHUTTER, TRACK AND ASSOCIATED HARDWARE. PATCH AND REPAIR HEAD, JAMB AND SILL; LEAVE READY TO ACCEPT NEW WORK.
	13. REMOVE METAL-FRAMED PARTITION IN ITS ENTIRETY.
	14. REMOVE AREA OF EXISTING WALL ADJACENT TO DOOR TO ACCOMMODATE NEW WORK (NOTE S2). COORDINATE EXTENT OF DEMOLITION WITH NEW WORK.
	15. REMOVE ACOUSTICAL CEILING SYSTEM IN ITS ENTIRETY.
	16. REMOVE CARPET AND WALL BASE; BROOM CLEAN AREA AND LEAVE READY TO ACCEPT NEW WORK.
	17. REMOVE FLOOR MOUNTED FAN COIL UNIT AND ASSOCIATED PIPING, POWER, CONTROLS AND DUCTWORK. PATCH AND REPAIR SLABS AND WALLS TO MATCH ADJACENT CONSTRUCTION; LEAVE READY TO ACCEPT NEW WORK.
	18. REMOVE GYPSUM WALL BOARD TO EXPOSE METAL FRAMING. REMOVE OUTLET BOXES, CONDUIT AND WIRING WITHIN WALL CAVITY.
	19. REMOVE VINYL COMPOSITION TILE (VCT) FLOORING AND WALL BASE. BROOM CLEAN AREA AND LEAVE READY TO ACCEPT NEW WORK.
	20. REMOVE DOWNSPOUT.
	21. EXTEND PIPING AS INDICATED ON FIRE PROTECTION DRAWINGS.
	22. REMOVE ASPHALT PAVING AND PREPARE AREA TO RECEIVE NEW WORK. COORDINATE WITH CIVIL DRAWINGS.
	23. REMOVE INTRUSION DETECTION SYSTEM AND CCTV POWER AND CONTROL PANELS (TOTAL OF 4). REMOVE ASSOCIATED CONDUIT AND WIRING AS INDICATED IN T.S.S. DRAWINGS. PATCH AND REPAIR WALL TO MATCH ADJACENT AREAS.
	24. REMOVE WALL MOUNTED LADDER, CAGE AND ASSOCIATED HARDWARE IN ITS ENTIRETY. PREPARE WALL FOR NEW LADDER.
	25. REMOVE PORTION OF EXISTING FLOOR SLAB AS REQUIRED FOR NEW MECHANICAL DUCTWORK. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

LEGEND



MISSION SUPPORT FACILITY, BUILDING 51 BARRIGADA, GUAM	
DEPARTMENT OF THE NAVY NAVAL FACILITIES ENGINEERING SYSTEMS COMMAND	NAVAL FACILITIES ENGINEERING SYSTEMS COMMAND
PARTIAL FIRST FLOOR PLAN - DEMOLITION	
SCALE: AS-NOTED	
PROJECT NO.:	
CONSTR. CONTR. NO.:	
NAVFAC DRAWING NO.:	
SHEET OF	
AD103	DRAWING REVISON: 25 AUGUST 2020

SHEET NOTES

- S1. CONTRACTOR SHALL MAINTAIN WEATHER-TIGHT INTEGRITY OF THE BUILDING THROUGHOUT THE DURATION OF CONSTRUCTION.
 - S2. DO NOT STACK BUILDING MATERIALS IN SUCH A MANNER THAT WOULD CREATE CONCENTRATED LOADS ON THE FLOOR AND/OR ROOF STRUCTURES.
 - S3. ABANDONED ROOF PENETRATIONS LESS THAN 6" X 6" OR WITH AN AREA LESS THAN 96 SQ. IN. SHALL BE PACKED SOLID WITH NON-SHRINK/ NON-METALLIC GROUT. THE AREA SHALL BE LEFT SMOOTH AND LEVEL WITH THE ROOF DECK, TOP AND BOTTOM.
 - S4. REFER TO GENERAL NOTE 22/ SHEET AG001.

CONSTRUCTION NOTES

1. REMOVE METAL LADDER, SAFETY CAGE, MOUNTING BRACKETS AND BOLTS. PATCH AND REPAIR WALL SURFACES; LEAVE SURFACE CLEAN SMOOTH AND READY TO ACCEPT NEW FINISHES.
 2. STAIR CANOPY TO REMAIN.
 3. REMOVE ABANDONED GOOSENECK AND ASSOCIATED PIPE SLEEVE PENETRATION (REFER TO NOTE S3).
 4. REMOVE ABANDONED PIPE SLEEVE PENETRATIONS (REFER TO NOTE S3).
 5. ROOF CURB TO REMAIN.
 6. REMOVE ROOFING ASSEMBLY TO EXPOSE CONCRETE DECK , TO INCLUDE MULTI-LAYER BUILT-UP ASPHALT ROOFING AND RIGID INSULATION (REFER TO NOTE S1 & S2).
 7. CLEAN AND CLEAR 8" X 8" SQUARE SUPPER OPENING AND LEAVE READY TO ACCEPT NEW WORK.
 8. REMOVE METAL COPING AND MOUNTING ACCESSORIES.
 9. REMOVE ALL SURFACE MOUNTED CONDUIT AND MOUNTING HARDWARE. COORDINATE DEMOLITION WITH ELECTRICAL AND TECHNICAL SECURITY DRAWINGS. PATCH AND REPAIR CONCRETE EAVE.
 10. 8-INCH DIAMETER CAST IRON SCUPPER TO REMAIN.
 11. VENT PIPE TO REMAIN.
 12. EXHAUST, FAN AND HOOD MOUNTED ON 16" CURB TO REMAIN.
 13. REMOVE ABANDONED ROOF CURB PATCH OPENING AS INDICATED ON DRAWING 2B, SHEET A-515.
 14. FIRE ALARM ANTENNA TO REMAIN.
 15. REMOVE 10" DIAMETER DOWNSPOUT EXTENSIONS AND ASSOCIATED SUPPORTS AND HANGERS.
 16. REMOVE MECHANICAL PIPING.

1 ROOF PLAI
AD104 AD104 Scale: 3/32" = 1'-0"

A compass rose icon with a vertical line labeled "NORTH".

A horizontal scale bar representing 40 feet. The scale is marked at intervals of 4 feet (0, 4, 8, 16, 24, 32, 40 FT.). The first 3/32 inches (approximately 1 inch) is shaded gray, while the remaining 39 1/32 inches are white.

