

## Case Study – An Overview

Crib share is a recently established startup that specialized in property management. Crib share identifies homeowners who want to rent out their property and clients who want to rent a home or apartment for a short period of time normally not more than 3 months. Running the day-to-day activities at crib share involves managing staff and clients looking for property.

When a new staff member joins crib share, they fill a registration form giving their personal details and the position. A sample registration form is shown below.

<b>Staff Number</b> <u>5G5</u>	<b>Branch Number</b> <u>5003</u>
<b>Full Name</b> <u>Eusan Branul</u>	<b>Branch Address</b> <u>163 Main St, Glasgow</u>
<b>Sex</b> <u>F</u> <b>DOB</b> <u>3-Jun-40</u>	<b>Telephone Number(s)</b> <u>0141-339-2176 / 0141-339-4439</u>
<b>Position</b> <u>Manager</u>	
<b>Salary</b> <u>24000</u>	
<b>Enter details where applicable</b>	<b>Manager Start Date</b> <u>01-Jun-90</u>
<b>Supervisor Name</b> _____	<b>Manager Bonus</b> <u>2350</u>

Crib share has branches in all the three cities of Malawi. Each branch has an appropriate number and type of staff including a Manager, Supervisors, and Assistants. The Manager is responsible for the day-to-day running of a branch and each Supervisor is responsible for supervising a group of staff called Assistants.

Each branch office offers a range of properties for rent. To offer property through Crib share, a property owner normally contacts the Crib share branch office nearest to the property for rent. The owner provides the details of the property and agrees an appropriate rent for the property with the branch Manager. Below is a form that homeowners use to provide details about their property.

<b>Property Number</b> <u>PG16</u> <b>Type</b> <u>Flat</u> <b>Rooms</b> <u>4</u> <b>Rent</b> <u>450</u> <b>Address</b> <u>5 Novar Drive,</u> <u>Glasgow, G12 8AX</u>  	<b>Owner Number</b> <u>CO83</u> <b>(If known)</b> <b>Person/Business Name</b> <u>Tony Sklar</u> <b>Address</b> <u>12 Park Pl,</u> <u>Glasgow G4 0QR</u> <b>Tel No</b> <u>0141-225-7025</u>
	<b>Enter details where applicable</b> <b>Type of business</b> _____ <b>Contact Name</b> _____
<b>Managed by staff</b> <u>David Ford</u>	<b>Registered at branch</b> <u>103 Main St, Glasgow</u>

Once a property is registered, Crib share provides services to ensure that the property is rented out for maximum return for both the property owner and of course, Crib share. These services include interviewing prospective renters (called clients), organizing viewings of the property by clients, advertising the property in the daily newspapers or social media (when necessary), and negotiating the lease. Once rented, Crib share assumes responsibility for the property including the collection of rent.

Members of the public interested in renting a property must first contact their nearest Crib share branch office to register as clients of Crib share. However, before registration is accepted, a prospective client is normally interviewed to record personal details and preferences of the client in terms of property requirements. Below is an example of a registration form that clients fill before renting a property from Crib share.

<b>Client Number</b> <u>CR74</u> <b>(Enter if known)</b> <b>Full Name</b> <u>Mike Ritchie</u>	<b>Branch Number</b> <u>BO03</u> <b>Branch Address</b> <u>103 Main St, Glasgow</u>  
<b>Enter property requirements</b> <b>Type</b> <u>Flat</u> <b>Max Rent</b> <u>750</u>	<b>Registered By</b> <u>Ann Beech</u> <b>Date Registered</b> <u>16-Nov-99</u>

Once registration is complete, clients are provided with weekly reports that list properties currently available for rent.

Clients may request to view one or more properties from the list and after viewing will normally provide a comment on the suitability of the property. Below is an example of a client viewing form.

Property Number <u>PG4</u>		Property Address <u>6 Lawrence St, Glasgow</u>																		
Type <u>Flat</u>																				
Rent <u>350</u>																				
<table border="1"><thead><tr><th>Client No</th><th>Name</th><th>Date</th><th>Comments</th></tr></thead><tbody><tr><td>CR76</td><td>John Kay</td><td>20/04/01</td><td rowspan="4">Too remote.  OK, but needs redecoration throughout.</td></tr><tr><td>CR56</td><td>Aline Stewart</td><td>26/05/01</td></tr><tr><td>CR74</td><td>Mike Ritchie</td><td>19/11/01</td></tr><tr><td>CR62</td><td>Mary Tregear</td><td>15/11/01</td></tr></tbody></table>				Client No	Name	Date	Comments	CR76	John Kay	20/04/01	Too remote.  OK, but needs redecoration throughout.	CR56	Aline Stewart	26/05/01	CR74	Mike Ritchie	19/11/01	CR62	Mary Tregear	15/11/01
Client No	Name	Date	Comments																	
CR76	John Kay	20/04/01	Too remote.  OK, but needs redecoration throughout.																	
CR56	Aline Stewart	26/05/01																		
CR74	Mike Ritchie	19/11/01																		
CR62	Mary Tregear	15/11/01																		
Page 1																				

Once a client has identified a suitable property, a member of staff draws up a lease. Below is an example of a risk between a client and Crib share.

Client Number <u>CR74</u> (Enter if known)	Property Number <u>PG16</u>
Full Name <u>Mike Ritchie</u> (Please print)	Property Address <u>5 Nova Dr, Glasgow</u>
Client Signature _____	
Enter payment details	Rent Start <u>01/06/01</u>
Monthly Rent <u>450</u>	Rent Finish <u>31/05/02</u>
Payment Method <u>Cheque</u>	Duration <u>1 year</u>
Deposit Paid (Y or N) <u>Yes</u>	

At the end of a rental period a client may request that the rental be continued, however this requires that a new lease be drawn up. Alternatively, a client may request to view alternative properties for the purposes of renting.

## Tasks

In your groups, read the case study and come up with the following diagrams.

- i. A context diagram **(10 marks)**
- ii. A level zero diagram **(20 marks)**
- iii. An ERD diagram normalized to the 3NF. **(20 marks)**

*Assignment is due on 27<sup>th</sup> April 2023 and submission is by email. Group presentations will start from 28<sup>th</sup> April 2023.*

