Case Study – An Overview

Crib share is a recently established startup that specialized in property management. Crib share identifies homeowners who want to rent out their property and clients who want to rent a home or apartment for a short period of time normally not more than 3 months. Running the day-to-day activities at crib share involves managing staff and clients looking for property.

When a new staff member joins crib share, they fill a registration form giving their personal details and the position. A sample registration form is shown below.



Crib share has branches in all the three cities of Malawi. Each branch has an appropriate number and type of staff including a Manager, Supervisors, and Assistants. The Manager is responsible for the day-to-day running of a branch and each Supervisor is responsible for supervising a group of staff called Assistants.

Each branch office offers a range of properties for rent. To offer property through Crib share, a property owner normally contacts the Crib share branch office nearest to the property for rent. The owner provides the details of the property and agrees an appropriate rent for the property with the branch Manager. Below is a form that homeowners use to provide details about their property.

Property Number PG16 Type First Rooms 4 Rent 450 Address	Owner Number C093 (If known)		
	Person/Business Name Tony Shaw Address 12 Park FL		
		5 Novar Dries, Glangow, G12 9AX	Glasgow G4 OGR
			Tel No _0141-225-7025
Enter details where applicable			
Type of business			
Contact Name			
Managed by staff	Registered at branch		
David Ford	163 Main St., Glasgow		

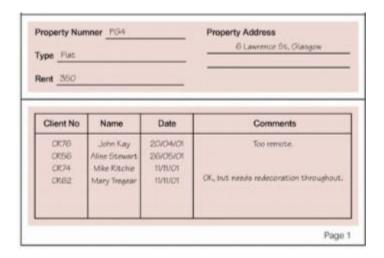
Once a property is registered, Crib share provides services to ensure that the property is rented out for maximum return for both the property owner and of course, Crib share. These services include interviewing prospective renters (called clients), organizing viewings of the property by clients, advertising the property in the daily newspapers or social media (when necessary), and negotiating the lease. Once rented, Crib share assumes responsibility for the property including the collection of rent.

Members of the public interested in renting a property must first contact their nearest Crib share branch office to register as clients of Crib share. However, before registration is accepted, a prospective client is normally interviewed to record personal details and preferences of the client in terms of property requirements. Below is an example of a registration form that clients fill before renting a property from Crib share.



Once registration is complete, clients are provided with weekly reports that list properties currently available for rent.

Clients may request to view one or more properties from the list and after viewing will normally provide a comment on the suitability of the property. Below is an example of a client viewing form.



Once a client has identified a suitable property, a member of staff draws up a lease. Below is an example of a risk between a client and Crib share.



At the end of a rental period a client may request that the rental be continued, however this requires that a new lease be drawn up. Alternatively, a client may request to view alternative properties for the purposes of renting.

Tasks

In your groups, read the case study and come up with the following diagrams.

- i. A context diagram (10 marks)
- ii. A level zero diagram (20 marks)
- iii. An ERD diagram normalized to the 3NF. (20 marks)

Assignment is due on 27^{th} April 2023 and submission is by email. Group presentations will start from 28^{th} April 2023.

