

BOOK ONE

The Cliffs at Sunrise Design Guidelines

Cooler in the summer, warmer in the winter



IRONHORSE

CRAFTED FOR LIFE

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1 PREFACE & DEFINITIONS



1.1 PREFACE

1.1.1 Book One of the Design Guidelines for Single-Family Homes details the objectives of the original master plan envisioned for Ironhorse and applies to all single-family residential construction on homesites within Ironhorse. The Ironhorse Architectural Control Committee is responsible for applying and interpreting these Design Guidelines.

1.1.2 Nothing in these Design Guidelines shall override laws and codes. Owner is responsible for meeting all applicable codes, laws, ordinances, regulations, etc. of government entities having jurisdiction over their project at Ironhorse. Any discrepancies shall be brought to the attention of the ACC immediately.

1.1.3 Book One contains the residential Design Guidelines for single-family Homesites. Non-residential, multifamily residential, the cottages, builder neighborhoods, and all other improvements by the master developer (Development Team LLC.) at Ironhorse are not governed by Book One of the Design Guidelines and are not subject to these Design Guidelines.

1.1.4 It is the responsibility of the lot owner to ensure they have the most current set of Architectural Design Guidelines. Before commencing the design process, it is in the owner's best interest to obtain the most current edition from the ACC staff.

1.1.5 The preservation of the existing foliage is a high priority for Ironhorse. Tree removal is to be avoided whenever possible. The ACC may approve tree removal within the Development Area to accommodate buildings, driveways, and utilities. All trees to be removed must be identified on the site

plan. Unauthorized tree removal is subject to fines of up to \$2,000 per tree and replacement at a ratio of 3:1.

1.1.6 No Decision made by the ACC will set precedence for any other application presented to the ACC.

1.2 DEFINITIONS

Applicant

An Owner or Owner's representative who is authorized to represent and/or act upon any application matters or submittals.

ACC

The Ironhorse Architectural Control Committee.

Architect

A licensed Utah Architect or experienced home designer. Who must provide:

Three sets of Architectural plans to the ACC complete with a site plan, landscape plan, floor plans, elevations, roof plan and building sections tied to existing grades. These plans should demonstrate an ability to integrate a home into sloped lots and work with the existing terrain. The plans should clearly demonstrate a knowledge of how to design a home on a sloped lot with in the required height limitations.

Area of Disturbance

This area is the portion of the lot that is impacted or changed in some way from its original form. The allowable Area of Disturbance is dependent on the particular lot, defined later in the Design Guidelines. Any areas that are graded and revegetated are considered to be included in the Area of Disturbance.

Development Area

An area designated on the recorded plat drawing of a Homesite, which is effectively the area within the building setbacks on homesites designated area of approximately will be determined on final plat map by the ACC.

The area outside the development area should not be disturbed (graded, trampled, used as storage during construction, etc.). See section 4.2.3

Building Height

The maximum allowable height of buildings is 24 feet to top of plate as outlined by Cedar City, and 32 feet to the peak of the roof from the adjoining ground as outlined by the ACC. Height is measured as the vertical distance from any roof or roof element to Finished Grade, measured parallel to the ground. See Cedar City's PC Zone for further clarification.

Community

The Cliffs at Sunrise, Ironhorse Communities.

Construction Site

The Homesite and associated portion of the ROW (right of way) at the road located between an implied extension of the side property lines.

Construction Activity

Any site disturbance, construction, addition or alteration of any building, landscaping or any other improvement on any Homesite.

Contractor

A licensed construction contractor, general contractor, “builder” subcontractor, and/or unlicensed individual engaged by Owner to make improvements on a Homesite.

Design Guidelines or Guidelines

Book One of the Design Guidelines for Single-Family Homes.

Design Review

The entire design review process defined herein from submittal to design approval, ending with issuance of the ACC Approval Letter.

Dwelling

Building(s) used for residential purposes by one family.

Excavation

Any disturbance of the surface of the land (except to the extent reasonably necessary for planting of approved vegetation or soils testing) including construction excavating, any trenching or removal of any earth, rock or other material from the land or any grading of the surface of the ground. Any addition of rock, earth, gravel or other material to the surface of the land, which increases the elevation of the surface of the land.

Homesite

A platted, single-family residential lot.

Improvement(s)

Any construction or alteration of any physic element on a Homesite including re-painting and refinishing, any excavation or fill, landscape planting, sign and any structure of any type.

Owner

The owner of the Homesite.

Project

Any activity involving construction or making an improvement(s) on a Homesite, structure or residence.

Residence

Refers to a building(s) used for residential purposes by one family.

Site Coverage / Maximum Site Coverage

The percentage of a site that is covered by the built environment. This area includes any buildings or other impervious surfaces, including but not limited to driveways, patios, and walkways. The maximum allowable site coverage is defined based upon lot details later in this document.

Structure

Any physical element constructed on a Homesite including buildings, fences, manholes, etc.

2 INTRODUCTION



2.1 Ironhorse was conceived and carefully master planned as a residential community set within a natural mountain environment. The primary goals of this development are: to preserve the beauty of Ironhorse and its setting; to maintain a pleasant and desirable environment; to establish and preserve a harmonious design for the community; and to protect and promote the value of property. Therefore, all architectural design, buildings, site planning, landscaping, exterior alterations, construction, improvements and use of all new construction, development and additions, changes or alterations to existing buildings, improvements, landscaping and exterior design and development are subject to design review.

2.2 In accordance with the requirements of the Ironhorse Declaration of Covenants, Conditions, and Restrictions (CC&R's), this document sets forth the Architectural, Site Planning, and Landscape Guidelines that shall state the general design theme of all single-family, whole-ownership residential homesite improvements within Ironhorse. This document also describes specific design requirements, the design review process and construction regulations for Ironhorse.

2.3 The Ironhorse Architectural Control Committee (ACC) has adopted rules and regulations concerning the general design theme and specific design requirements for all buildings, improvements and landscaping in Ironhorse. Owners shall strictly adhere to these Design Guidelines which shall be solely and exclusively interpreted, modified or revised by the ACC.

2.4 All residences and improvements at Ironhorse shall fit harmoniously within the context of the design vocabulary of the guidelines and the unique topography, native vegetation and dramatic setting. The visual impacts of improvements on adjacent property owners, from roads, and common areas is a major concern of the ACC.

2.5 It is strongly recommended that an owner retain competent professional services for planning and design. A thorough analysis and understanding of the various design considerations and documents involved, as well as the ability to convey to the Committee, through drawings and other media, the concept and design of a proposed Improvement, are all important elements of the design review process. If an owner elects to do his own design or to retain non-professional services, and the result in either case is not approved by the committee, the committee has the right to require that an owner thereafter utilize the professional design services of an architect, engineer, landscape architect, or other design professional.

Architect/Designer Demonstrated Qualifications:

In order for an architect or home designer to do work within Ironhorse, they must have the ability to design within the parameters of the Guidelines including designing to existing topographical conditions within the Ironhorse Community. To qualify, they must:

Provide three sets of Architectural plans to the ACC complete with a site plan, Landscape plan, floor plans, elevations, roof plan and building sections tied to existing grades. These plans should demonstrate an ability to integrate a home into sloped lots and work with the existing terrain. The plans should clearly demonstrate a knowledge of how to design a home on a sloped lot with in the required height limitations.

This document may be amended from time to time at the discretion of the Ironhorse Architectural Control Committee. It is the responsibility of the Owner and their Design Team to ensure they are working with the most current ACC documents.

3 VISION STATEMENT



3.1 It is the purpose to harmoniously blend architectural beauty with the already established landscaping and wildlife.

Ironhorse is the vision of strongly protecting the natural integrity of well-established wildlife and surrounding vegetation while providing peaceful surrounding of homes that are artfully crafted to visually blend in with the surrounding beauty.

Incorporating these quaint neighboring communities and amenities within the surrounding native vegetation, including both wildlife and walking trails, and an abundance of beautiful views from every angle are alluring qualities of Ironhorse and its legacy.

Homes crafted from exquisite design are the architectural vision within this community. Built from quality materials and with the utmost pride, these homes must meet the respectful standards of this community while representing each individual homeowner's taste.

4 DESIGN THEME & PHILOSOPHY



4.1 Residential Design Theme

The design theme for The Cliffs at Sunrise is to present a balance of architecture and landscape that is inviting, relaxing, and comfortable. A place of direct simplicity and authenticity in contrast to today's more complex and hectic cities. In other words, we encourage homes that are:

- Unique: every house should look different and stand on its own.
- Taking cues from Frank Betz homes, Greene & Greene homes, and/or Donald Gardner homes.
- Styled from the Craftsman type and period.

4.2 Achieving Design Excellence

The quality of architectural design, site planning and landscape for each home contributes to making the whole community a more attractive place to live and a legacy of lasting value. The intent of the Design Guidelines is to promote and encourage:

- Excellent Craftsman or art deco design.
- A higher level of quality.
- A home that is in harmony with the setting.

Superior architecture, materials and craftsmanship are of the highest priority for home designs in Ironhorse which seek to create a sense of timeless quality. Our highest aspiration is to encourage thoughtful floor plans, high quality materials, interesting massing, fine detailing, excellent finishes, and enduring quality. It is particularly important that the overall form, massing, materials and color of Single-Family Homes be consistent with the Guidelines and support the overall community image that blends the natural landscape with the architecture. Within that overall fabric, diversity of expression is anticipated and encouraged. Individual homes, however, should not call undue attention to themselves with monumental elements, overwhelming massing, and other distracting features or characteristics.

4.3 Unique Home & Site Design

Of particular importance to the visual quality of each residential neighborhood is the design of driveways and garages. Ironhorse should strive to avoid a suburban pattern of repetitive driveways and garages marching down the street. Careful design consideration in site planning and overall massing must address the neighborhood streetscape as well as the design of the individual home. Driveways are to enter each site in a discreet manner, responding to topography and existing trees while avoiding extensive paved or graded areas. In general, garages are to be located and oriented, so they become subordinate to the home itself. The primary exposure to the street frontage must be the residence, rather than the garage doors as the dominant image. Orienting garage doors away from the street is encouraged. The percentage of the street frontage elevation that can be faced with garage doors is restricted.

4.4 Balance of Structure & Landscape

The intent of the Design Guidelines for The Cliffs at Sunrise Homes is to promote variety and individual expression of design while assuring that the collective result creates a visually harmonious community and compatibility among neighboring properties within the community. The design of each home must respond to the unique characteristic of its site...the existing trees and vegetation, topography, natural drainage patterns, rock outcroppings, views, and sun orientation. While individual homes can add richness to the community by expressing artistry and creativity in design, it is very important that each residence add to the overall visual harmony of the community by responding to the natural environment and expressing the design theme of Ironhorse. To accomplish these goals, it is important that architecture and landscape work together and that buildings do not dominate the site. This can be achieved by protecting the existing trees and topography to the maximum extent possible within the community.

4.5 Scale within Landscape

The Design Theme calls for a scale of architecture that is personal and intimate. Careful site planning to retain existing trees where possible. This can be further enhanced by transitional places that blur the line of indoor and outdoor, such as porches, decks, patios, and terraces. The design of The Cliffs at Sunrise Homes in Ironhorse should strive to enhance the solitude, privacy, and family retreat character of the environment.

4.6 Fine Details Through Wood

There is great opportunity to express care and craftsmanship in detailing. Wood used in a variety of creative ways ties to the tradition of the regional vernacular architecture. Vertical and horizontal wood siding board and batten siding, planks and siding with varied sizes and profiles offer an abundance of design opportunities to personalize individual residences. Timber trusses, beams, rafters, and corbel braces with careful connection details are encouraged.

5 ENVIRONMENTAL SENSITIVITY & ENERGY CONSERVATION



5.1 Energy Conserving Design

Owners are encouraged to incorporate energy conserving measures in design. Site orientation of buildings, size and orientation of windows and shading devices designed to take advantage of sun, shade and natural daylighting should minimize reliance on mechanical heating and cooling systems, reduce electrical power consumption as well as create comfortable living conditions.

5.2 Achieving Design Excellence

Owners are encouraged to incorporate conservation measures in the design of Homesite improvements that reduce the consumption of natural resources. These measures include reduction of light pollution, water conservation and protection of native vegetation on the Homesite.

5.3 Insulation

Upgraded insulation is encouraged. Increased insulation can reduce the demand for heating and cooling making homes more comfortable.

Insulated windows and glazing are strongly encouraged. Windows with “thermal breaks” and insulated glazing significantly reduce energy usage and make houses more comfortable.

5.4 Energy Star Program

Owners are encouraged to meet Energy Star standards, incorporate Energy Star Certified Appliances and choose Energy Star labeled windows. The on-line source of information about Energy Star programs is www.energystar.gov/products/

No solar applications are permitted within the Cliffs at Sunrise under any circumstance. The ACC is reviewing solar shingle applications for a potential future amendment but is not expressing or implying any sort of guarantee or promise.

Thermal solar collector panels and wind generators are not permitted at Ironhorse.

6 SITE PLANNING GUIDELINES



6.1 SITE PLANNING GUIDELINES

6.1.1 The Site Planning Guidelines are intended to protect and promote a sense of harmony with the beauty and serenity of the existing natural environment at Ironhorse, the land and the structures are intended to blend together. In addition, each Homesite should complement the others nearby. Grading and excavation are restricted to the minimum necessary as dictated by the ACC. The ACC will determine the Development Area for each lot before purchase.

6.1.2 The community of Ironhorse is intended to have an understated, rural mountain character that is respectful of the land and blends with the natural environment. Without exception all existing natural vegetation, flora, fauna, outcroppings and other features of the land are considered precious and worthy of preserving and protecting to the extent possible when building and occupying a home at Ironhorse.

6.1.3 The principal site planning criteria for Ironhorse:

- Site planning must result in functional and aesthetically pleasing improvements benefiting the community.
- Where possible, preserve and protect existing trees, vegetation, rock outcroppings, and groundcover.
- Minimize impact on nearby Homesites.
- Grading and drainage; pad and over lot grading prohibited.
- **Grading is limited to the lot boundaries.** Grading and excavation are restricted to the minimum necessary as dictated by the ACC.

- Garage orientation away from street accessed from a winding, meandering driveway is encouraged.
- Fences and walls are only allowed around the sides and rear of the home beginning from the front of the home. Dog runs, dog houses, pools, hot tubes, trash enclosures, and AC condenser pad enclosures attached to the main structure shall be veiled.
- Building Orientation.
- Retaining walls are required to be made of true stone or veneered entirely with approved style stone within the Cliffs at Sunrise. No other retaining wall materials will be permitted.
- Detached structures such as garages, storage containers and any other structure not approved by the ACC. Mother-in-law apartments (Casitas), guest homes, pool houses and storage sheds must adhere to ACC regulations.

6.1.4 Site Development will be developed under two separate types of Homesites, those utilizing the Development Area and those that utilize the standard Cedar City yard setback standards. Each is explained below.

6.2 BUILDING SITING & SETBACKS

6.2.1 Front and side setbacks—as generally defined and measured by the Cedar City PC Zone—have been established to maintain a balance between buildings and the natural setting, while still providing flexibility in building configuration and location relative to protected existing vegetation and topography. Balconies, porches, roof overhangs, and chimneys may partially occur within setbacks—see the Code for specific dimensions allowed. Owners shall be aware that the Ironhorse Design Guidelines may also contain other setback requirements that are more restrictive than those described in the Cedar City PC Zone Code.

6.2.2 In order to accommodate individual site conditions, there is some flexibility in the side setbacks for garages.

6.2.3 Front setbacks must be a minimum of 25 feet from the right of way, with a maximum setback of 50 feet.

6.2.4 Each home should be located to provide a sensitive response to views, and sun exposure. Homes should also be located to avoid presenting a solid wall of structures facing the street. Homes on individual Homesites should be offset from their neighbors to develop an interesting, undulating streetscape.

6.3 MAXIMUM SITE COVERAGE

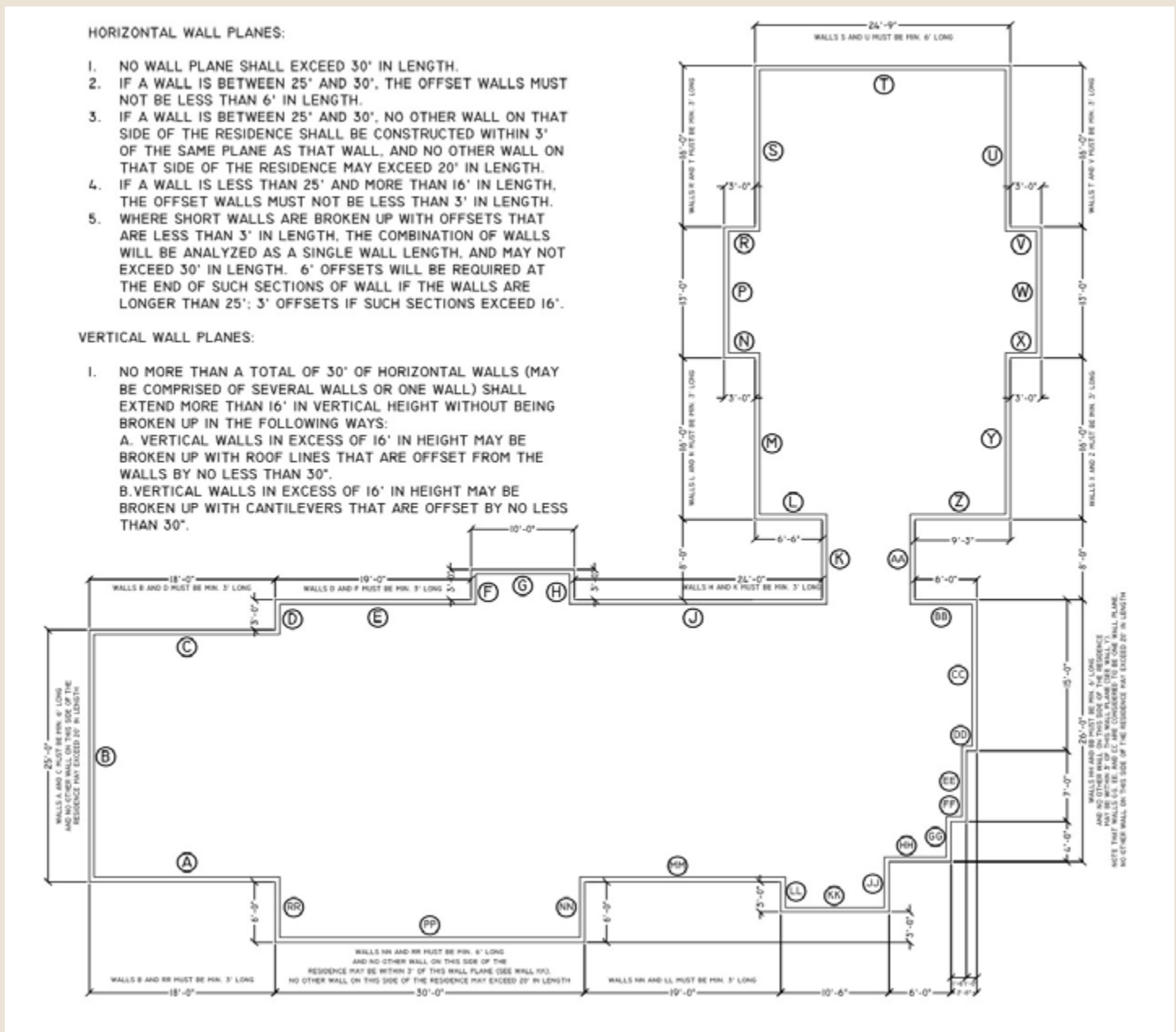
The Maximum Site Coverage at all Single-Family Homesites within Ironhorse shall not exceed 10,000 SF, unless otherwise permitted by the ACC through lot-specific variances for unusually deep lots.

6.4 OBLIGATION TO MAINTAIN UNIMPROVED SITE

Once the land has been purchased, the responsibility is the owner(s) to maintain the property. No storage is permitted on the site, unless it is for the purpose of construction as mentioned within the construction regulations.

6.5 EXCESSIVELY SLOPES BUILDING SITE

The overall height of a terraced or stepped structure shall not exceed 35 feet measured from the original grade to all roofline high points and continuous around the home exterior. The intent is to reduce the height of stepped retaining walls on the uphill and downhill sides of the site. In order to position and set the home into the landscape, home designs should break up horizontal and vertical wall elements. A site plan with a certified topographic survey is required at the time plans are submitted to the ACC, and a stamped and certified survey is required after the foundation has been poured for verification. In addition, plans must meet all height requirements by Cedar City.



Example of Wall Plane Rules for Horizontal & Vertical Wall Elements

6.6 TREE REMOVAL GUIDELINES FOR THE CLIFFS AT SUNRISE

Tree removal is to be avoided whenever possible. The ACC may approve tree removal within lots in order to accommodate buildings, driveways, and utilities. All trees to be removed must be identified on the site plan.

Unauthorized tree removal is subject to fines of up to \$2,000.00 per tree and replacement at a ratio of 3:1.

6.7 SITE WORK

6.7.1 The natural topography in the development areas varies from Homesite to Homesite and creativity is needed in the design process. **Typically, Structures should be nestled into the land, remaining low, so as to be part of the site rather than being perched on it, thus creating unnecessary height.** Step buildings and Improvements, down slopes, using split and multi-level solutions wherever possible to follow existing contours and achieve a balance of cut and fill, limit structures to the areas on the site where drainage, soil, and geological conditions will provide a safe foundation.

6.7.2 Consider the impact of the proposed Residence on adjacent properties with respect to privacy, view preservation, and ease of access.

6.7.3 The following general limitations will apply in the absence of special circumstances justifying exceptions as may be approved by the Committee:

- Cut and fill may not be exposed following completion of construction, landscaping and/or retaining walls may be required to mitigate cut and fill conditions;
- No change in natural or existing drainage patterns for surface waters shall be made upon any lot that could adversely affect another owner;
- Retaining walls and other walls not directly supporting a building Structure, except screen Walls, shall not exceed six (6) feet in height, measured from the lowest natural grade adjacent to the wall.

6.8 GRADING & DRAINAGE

6.8.1 Grading must be done with minimum disturbance of the existing vegetation on the Homesite. Structures, roads, driveways or any Improvement should be designed to fit the existing contours of the site, minimizing Excavation rather than altering the site to fit a poorly designed Structure or Improvement. Surface drainage shall not drain to adjoining lots or open spaces except as established by natural drainage patterns, nor cause a condition that could lead to offsite soil erosion on open spaces.

6.8.2 When a change in the drainage way within a given homesite is absolutely necessary, avoid right angle diversions, and create a positive drainage in a logical and natural manner. Minimize soil erosion in disturbed areas through the use of native rock to simulate natural stream beds and plant materials.

6.8.3 It is the intent of these Guidelines to discourage excessive cut and fill. Any alterations to washes carrying 50 cubic feet per second or more resulting from a 100-year storm may require

special consideration for approval by the Committee.

6.8.4 Over lot grading is prohibited on Homesites within the cliffs at sunrise, unless indicated by the acc that it is allowed.

6.8.5 Washes and Drainage Easements. These natural drainage-ways occur frequently throughout the custom lots and should not be obstructed. Structures and other Improvements should be sited to avoid these washes, although they can be sited at the edge of a wash. Bridging by buildings, and other Improvements designed so as not to obstruct 100-year storm flows, are encouraged. **Washes may be re-routed within the development area but must never change the point it naturally leaves the site.**

6.9 DRIVEWAYS & PARKING

6.9.1 A minimum of 1 foot on either side of the garage is required, it is encouraged to intersect the street at a minimum angle of sixty (60) degrees and in such a way as not to interfere with drainage in the street right of way. Concrete, concrete pavers, natural pavers, Flagstone, Bomanite, and colored concrete patterns are encouraged. Asphalt may be used but only with 1-foot concrete ribbons on both sides of the length of the driveway. Only one driveway entrance will be permitted for each homesite.

6.9.2 Driveway configurations should be efficient while providing for convenient access, garage entry, and turning movements. Expansive entry courts should be avoided in order to preserve the natural site and maintain an informal and understated community image. In general, site disturbance should be kept to a minimum whenever possible. Where possible, meandering and winding the driveway onto the property with gentle turns that respect the existing land forms and vegetation to save larger trees and preserve rock outcroppings is encouraged.

6.9.3 Parking Spaces: Each Residence shall contain parking space within the Homesite for at least two automobiles in an enclosed garage. A minimum of two (2) additional parking spaces should be provided to accommodate guest parking. No on-street parking will be permitted at the cliffs at sunrise. No exterior parking or storage of recreation vehicles, boats, camping trailers, or atv's of any kind are permitted. No storage containers are permitted for use of enclosed parking or storage.

6.10 SITE UTILITIES

Site utilities should be located on each lot with great sensitivity, taking care to limit the Area of Disturbance and keeping future maintenance of the utilities in mind. In general, locating utilities under or immediately adjacent to driveways helps to accomplish these goals. Septic systems and propane tanks are not permitted within The Cliffs at Sunrise communities.

6.11 BLUE STAKES

Blue Stakes: it is required by law to call Blue Stakes no matter how deep you are digging, since many cables and pipes lie at extremely shallow depths. Call before you dig, dial 811 from anywhere in Utah, or submit your request online at www.bluestakes.org.

6.12 PUBLIC UTILITY EASEMENTS

Public Utility Easements – Utah Code 54-3-27: a public utility easement provides utility companies the right to install, maintain, operate, repair, remove, replace, or relocate public utility facilities. If a property owner places improvement that interfere with the easement rights, the property owner shall bear the risk of loss or damage to those improvements resulting from the utilities needing to be installed, maintained, operated, repaired, removed, replaced, or relocated.

6.13 RETAINING WALLS WITHIN THE CLIFFS AT SUNRISE

Retaining walls are limited to 6' in height. If any retaining wall is over 4' in height, an engineered and stamped rock wall detail must be provided. The stone selected for the construction of retaining walls should reflect the same stone used on the home, in order to maintain continuity between the site and home. Retaining walls are required to be made of indigenous stone or veneered entirely with indigenous stone. No other retaining wall materials will be permitted. If the retaining wall needs to be higher than 6', a four-foot set back is required before starting the second wall.

6.14 FENCES & SITE WALLS WITHIN THE CLIFFS AT SUNRISE

6.14.1 Fencing is required at The Cliffs at Sunrise Subdivision. It must be installed while constructing the new home.

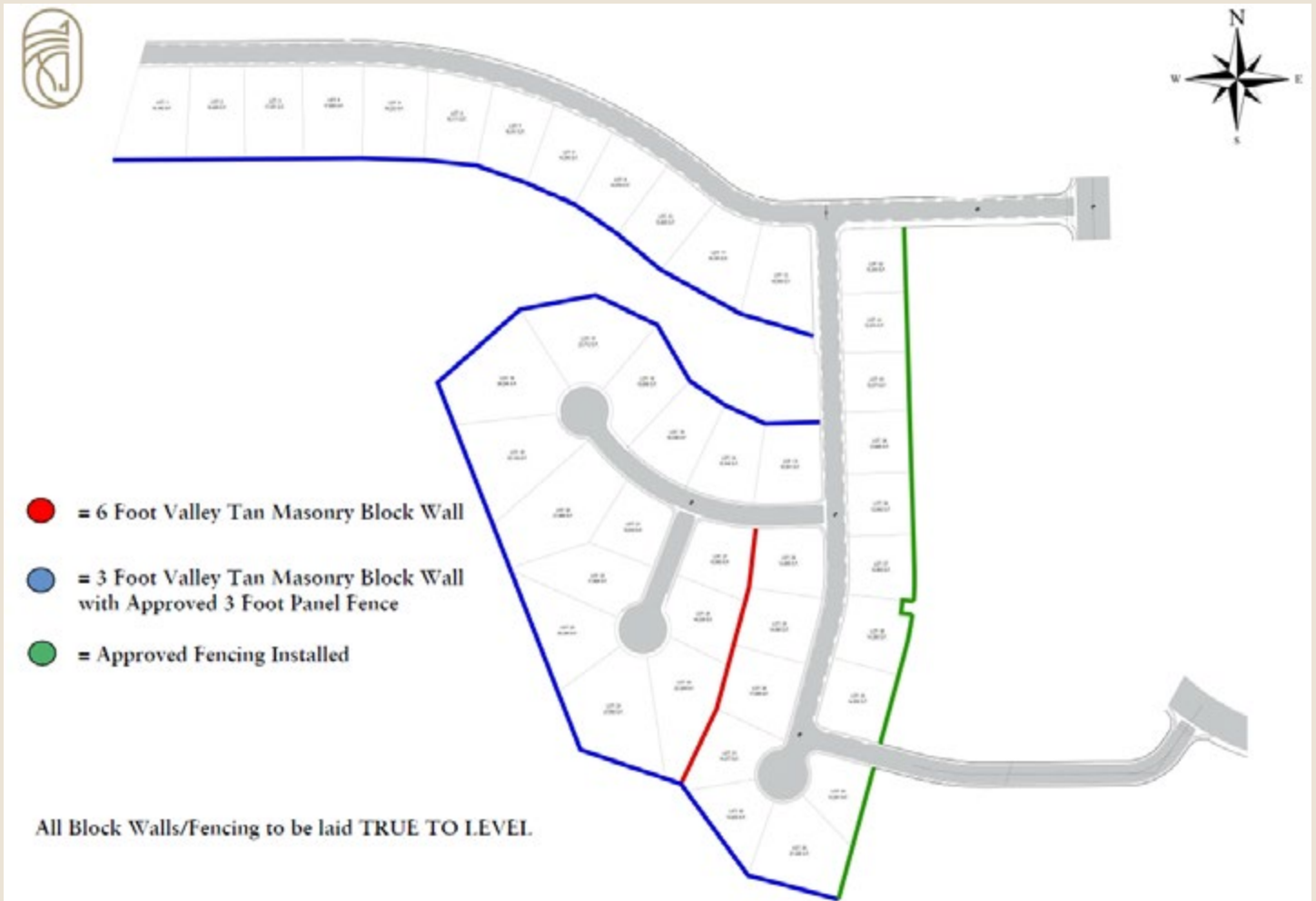
Fences within the Cliffs at Sunrise will be permitted with the following restrictions:

- Fences are to be constructed of masonry using the “Valley Tan” color. Property fences will not exceed six (6') feet in height.
- Property walls and panel fencing will not exceed six (6') feet in height.
- No walls or fences are allowed in front yards or that are built further forward on the lot than the front wall of the home.

As shown in the following exhibit. Lots that over look the cliffs or natural area (denoted by the blue line) are required to have a three foot masonry wall (valley tan color) with Pre Fab Fence Panel (detail sheet) placed on top of the three foot wall. A detail sheet will be provided. The lots that back up to other lots are allowed to continue with a 6' masonry wall (valley tan color.) They are denoted by the red colored line. The lots backing to the Blackstone Luxury Townhomes will have their back wall already installed.

When building the required wall on uneven ground, the wall must be laid “true to level” and be done in a step fashion. Fence design must be approved by ACC.

If property is not fenced, and any hot tubs, pools, etc. must have a safety fence around them and screened from view that will be constructed of masonry or a pre-approved fence by the ACC.



6.15 EQUIPMENT SCREEN WALLS

Screen Walls shall be of permanent construction. All Screen walls are to be finished to match the other wall surfaces of the building. Both sides of the Screen Wall must be finished. The walls are to be high enough to screen the objects and/or equipment located behind them. The use of wood Screen Walls should be a visual extension of the architecture or the Residence. Screen walls must step with the topography. Approved landscaping may be used as a substitute for required Screen Walls. All Screen Walls must be located within the Development Area or setback lines. Screen walls to be limited in height to 72" above the surrounding finish grades.

6.16 OUTSIDE FIRE PITS & FIREPLACES

Fire pits and fireplaces should be contained within the patio and should be an integral part of the design of the Residence.

6.17 BARBECUES

Fire pits and fireplaces should be contained within the patio and should be an integral part of the design of the Residence.

6.18 WATER TANKS

Above ground water tanks are not allowed at Ironhorse. Water tanks are to be inground/underground and will require the approval of the ACC.

6.19 TRANSMISSION ANTENNAS

No transmission antennas of any kind or nature, or other devices for the transmission of television or radio signals, or job site camera device, or any other form of electromagnetic radiation, including but not limited to, satellite dishes, internet dishes, microwave antennas, radio towers, television antennas or cell phone towers shall be placed or maintained upon any structure or Homesite.

6.20 REFUSE CONTAINERS

No transmission antennas of any kind or nature, or other devices for the transmission of television or radio signals, or job site camera device, or any other form of electromagnetic radiation, including but not limited to, satellite dishes, internet dishes, microwave antennas, radio towers, television antennas or cell phone towers shall be placed or maintained upon any structure or Homesite.

6.21 FLAG POLES

A vertical flag pole, no more than 25' in height is permissible with the following guidelines:

- The American Flag may be flown at any time, in accordance with the guidelines as outlined in United States Code Title 4, Chapter 1.
- Flag and flagpole must be properly illuminated, but not with an excessive light source.
- Flag must be in good repair at all times it is being flown.

6.22 SITE LIGHTING

6.22.1 The Ironhorse philosophy of the predominance of undisturbed natural landscape extends to nighttime as well as daytime views. The committee has established the following guidelines for residential site lighting that apply to The Cliffs at Sunrise.

6.22.2 Site lighting means lighting mounted either on the ground or on-site walls for the purpose of providing security or decorative accent lighting. Site lighting must be confined to areas enclosed by walls or in the vicinity of the main entrance.

6.22.3 Security lighting means lighting intended to provide bright general illumination of the area adjacent to a Residence during emergency situations. Security lighting should only be on during emergencies.

6.22.4 Building-mounted lighting means lighting built into or attached to buildings either on walls, ceilings, eaves or fascia's for the purpose of providing general illumination, area illumination, or security illumination. Building mounted lighting must be directed downward away from adjacent lots, streets and open spaces and may not be used to light walls or building elements for decorative purposes.

6.22.5 All exterior lighting must provide for significant shielding of light sources; no bare lamps or visual lighting source will be permitted.

6.22.6 Only lamps with a maximum of 3,000k (Kelvin) output will be allowed unless express approval is received from the Committee.

6.22.7 No lighting will be permitted in Natural Parks or outside areas of the cliffs at sunrise.

6.23 BASKETBALL BACKBOARDS

Backboards attached to the face of a garage are not permitted.

6.24 SEASONAL DECORATIONS

Seasonal decorations are allowed from November 1st until January 15th but are required to remain respectful of the many different races, religions and ethnicities that will be celebrated during the holiday season. If something is deemed obtrusive or offensive, the ACC will request it be removed.

6.25 SWIMMING POOLS & SPAS, EQUIPMENT & ENCLOSURES

Consideration should be given in designing pool and spa areas to provide for privacy for the lot owner's neighbors. Pools and spas should also be screened from the street or adjacent properties or Natural Parks. Pools must be properly enclosed and constructed according to City and County regulations. The pool, patio, any perimeter walls, fences and gates should be considered an integral part of the building elevations. Pool cannot be drained onto adjacent property.

6.26 DOG RUNS & DOG HOUSES

6.26.1 Dog runs are permitted within The Cliffs at Sunrise community, provided they are constructed of high-quality materials (see Fences and walls above) and in colors to complement their associated residences. Dog runs shall be attached to residences—not free-standing—and are to be approved by the ACC prior to construction. Dog runs shall be screened from the street and neighboring homesites.

6.26.2 Dog houses are permitted and may be located within the homesite but are required to be screened from the street.

6.27 ADDRESS IDENTIFICATION

6.28.1 Individual address identification devices for each approved Residence may be installed by the Lot Owner. Such devices must utilize the same materials and colors as the Residence and must reflect its design character. The address sign may be illuminated if the light source provides only a low level of illumination. The identification shall not exceed Eight (8") Inches in size.

6.28 WILDLIFE MITIGATION

Fire safety and defensible space provisions on Homesites are the responsibility of the Homesite Owner.

6.29 FIRE SAFETY & DEFENSIBLE SPACE

6.29.1 These provisions on Homesites are the responsibility of the Homesite Owner. Please refer to Cedar City codes, regulations, and ordinances and those of other jurisdictions.

6.29.2 Portions of Ironhorse are in wildfire hazard areas. It is important that Owners be aware of the possibility of wildfire. The threat of wildfire can be reduced with thoughtful planning and maintenance of a defensible space around the building. With this in mind, the following fire safety standards have been implemented:

- Potential fire fuel (such as dead limbs, leaves, needles and other material) is to be removed from areas immediately surrounding built structures.
- Owners are to select building and landscape planting materials that provide low fuel for potential fires.

6.29.3 The maintenance of a 30-foot safety zone in all directions around the building is strongly encouraged. Within this zone, the following fire prevention action is recommended:

- Regularly dispose of slash and debris materials resulting from thinning operations.
- Exterior wood building materials are to comply with all fire safety standards and procedures established by Cedar City, other applicable State and Local Codes.

7 ARCHITECTURAL GUIDELINES



7.1 STYLE DESCRIPTION

7.1.1 The architectural character in all Ironhorse communities is Craftsman inspired. The goal at Ironhorse is to maintain a refined, understated elegance in the community emphasizing quality of construction, natural colors and materials, preservation of the natural environment and distinctive design creativity within the palette of the Design Guidelines.

7.1.2 All homes in Ironhorse shall be custom designs. Homes shall be designed in no discernible “style” other than the Ironhorse architectural vernacular defined in these guidelines. Architectural motifs such as “Santa Fe”, “Spanish”, “Classical”, “Colonial”, “Mediterranean”, “Victorian”, or any other derivative style are not appropriate at Ironhorse. “Ultramodern” or “high tech” are equally inappropriate for exterior styles, but no restrictions on the use of modern technological conveniences or the character of private interior spaces are intended.

7.1.3 The style homes within the Cliffs at Sunrise will be craftsman or modified craftsman with obvious craftsman details within each plan. High quality materials, detailing and design excellence are strongly encouraged. The Design Guidelines expressly prohibit crude, primitive, agricultural, cluttered, dilapidated, unfinished and/or unrefined structures, designs, improvements and/or site work. Shacks, stables, barns and barn shaped roof forms are not permitted.

7.1.4 All other identifiable architectural styles and building types are discouraged at Ironhorse. The following are not permitted including:

- Southwest Territorial and adobe styles, other desert vernacular, Spanish Colonial
- A-frames, geodesic domes and all other stylistic geometric forms and building types

- Swiss Chalet and Bavarian styles; small cabins; Fake styles/Tuscan
- Premanufactured buildings, metal buildings
- Ornate and formal architecture
- Architectural styles from and identified with other places, regions, countries and/or era
- Other architectural styles may be added to this list at the discretion of the ACC

7.1.5 The following constitute the principal architectural design criteria for Ironhorse:

- Horizontal massing is discouraged; vertical proportions encouraged.
- Massing should respond to the natural topography of the site.
- Sloped roofs are required.
- Gable roofs are encouraged.
- Large roof overhangs are discouraged

7.1.6 Maximum building height: The overall height of a terraced or stepped structure shall not exceed thirty-two feet (32') measured from the original grade to all roofline high points and continuously around the home exterior. The intent is to reduce the height of stepped retaining walls on the uphill and downhill sides of the site. In order to position and set the home into the landscape, home designs should break up horizontal and vertical wall elements.

7.1.7 A site plan with a certified topographic survey is required at the time plans are submitted to the ACC, and a stamped and certified survey is required after the foundation has been poured for verification.

7.1.8 In addition, plans must meet all height requirements by Cedar City.

7.1.9 Multiple architectural elements are encouraged to add interest to each elevation, especially front and/or rear elevations facing streets, roads, and when open to views from the community.

Architectural Details, Features, Fenestration, etc.:

- Many large windows, multiple window compositions, and entirely glazed window- walls are highly encouraged.
- Small, “punched” windows are discouraged. If punched windows are used, they must be grouped together.
- Substantial deck guardrail, beams, etc. are encourage.
- Interior window coverings visible from the exterior must be a neutral color keeping with the design guidelines of earth tones. No bright colors will be accepted. (must match exterior)
- Window boxes are not permitted.

7.2 ARCHITECTURAL MATERIALS

Characteristic of and highly encouraged at The Cliffs at Sunrise Communitie:

- Brick of natural colors are approved within the specified color scheme (reds to dark browns).
- Hardie board or equal.

- Wood shake.
- Stucco or vinyl siding is not permitted within any areas of The Cliffs at Sunrise.
- Exposed foundation walls are required to be veneered with stone.
- Dark roofs, natural roof materials, non-reflective and specifically approved substitutes are allowed.

7.3 ARCHITECTURAL CHARACTER

- Craftsman
- Greene & Greene Style
- Frank Betz Style
- Some design elements styles not listed above will be considered by the ACC on a very limited basis

7.3.1 Other styles or clarifications may be added to or removed from this list at the discretion of the ACC.

7.4 BUILDING SIZES - SCALE & FLOOR AREA

7.4.1 Homes must be the appropriately proportioned for the lot. All home sizes must be approved by ACC. There will be no homes approved with less than 1,800 SF on the main level.

7.4.2 The maximum overall square footages of Single-Family Homes is based on the size of the Home site.

7.5 BUILDING HEIGHT

In addition to the height requirements listed above, all single-family homes within Ironhorse are limited to the height restrictions defined by Cedar City Setback Standards. Additionally, homes on sensitive ridge sites should not break ridge line views.

7.6 EXTERIOR WALLS

7.6.1 There are a variety of exterior wall types that may be incorporated into the buildings at Ironhorse. In general, it is supportive of the design theme to have multiple exterior wall materials on any building elevation to add interest. Often, the use of a single material on the walls of a building component or secondary element of the building form can add emphasis to the composition of additive forms. However, the use of a single material over all or most of an entire home is not supportive of the design theme.

7.6.2 The following wall materials may be considered for buildings:

- *Stone:* stone indigenous to the region, such as weathered granite, sandstone, limestone shall be used to tie buildings to their sites and may also be used to express structural mass walls and chimneys. The stone must be laid in a manner that appears structural, with careful fitting of individual pieces. Larger stones should be set at the bottoms of walls, with smaller stones appearing closer to the tops of walls. Stone walls should avoid a “mosaic” or “quilted” pattern and should instead strive to appear load-bearing, as opposed to a thin veneer. All stone must be real, no faux stone will be allowed on any buildings.

- *Brick*: Natural colors within the approved color pallet of reds to dark browns.
- *Wood Shingles*: Shingles can add a refinement, varied texture, and pattern to wall surfaces.
- *Wood Board and Batten*: Vertical board and batten, as well as reversed wide battens over boards, may be used in varied sizes and widths.
- *Wood Siding*: Various sizes and profiles of wood siding may be used in horizontal or vertical patterns. Diagonal siding is prohibited.
- *Ornamental and Structural Steel*: These materials may be used as accent elements to reinforce the structural expression and crafted nature of Ironhorse residences. Appropriate uses include metal banding at column bases, steel or wrought iron cross-ties, and connectors at connections.

7.6.3 No vinyl siding will be permitted in The Cliffs at Sunrise. metal siding may be allowed with ACC approval.

7.7 EXTERIOR SURFACE MATERIALS AND WINDOWS

7.7.1 Consideration is to be given by the Owner/designer to the weathering capability of all exterior surfaces, material and items of construction.

7.7.2 Natural building materials like stone should be true stone or veneered entirely with an approved style stone.

7.7.3 Masonry walls will be permitted within the cliffs at sunrise.

7.7.4 No reflective glass is allowed. Although all glass is reflective at times, gray or bronze tinted glass is recommended to minimize reflections. Large decorative windows, special wall patterns or trim treatments shall be approved by the Committee during the early development of the design.

7.8 COLORS & FINISHES

7.8.1 Muted earth tone colors must be chosen to blend with the natural environment as seen from a distance. Darker colors that recede visually and blend with the native vegetation, tree bark and tree shadows are strongly encouraged. Light colors and anything white are not permitted. Subdued accent colors may be used pending committee approval on an individual basis. Color palettes that are representative of muted, natural earth tone colors will be encouraged.

7.8.2 *Details and Trim*: The color of details and trim offers the opportunity to establish individual identity and interest. These colors are to be subtle and are to avoid bright, vivid, or intense primary colors. Light colors and bright white are prohibited. Trim around windows and doors and at porches can either be the same as the primary wall material, or a light, soft color to reflect light and to enhance shadow patterns. Window frame colors will be earth tones.

7.8.3 Sizes of window components in multi-pane assemblies must be authentic or simulated to appear authentic, using internal spacer bars to simulate true divided lights. Highly- reflective glass is not permitted within Ironhorse. Stained glass and glass block may be used if not visible from the street.

7.8.4 Care should be given to the size, type and organization of all windows. They should never appear like surface “holes” cut into the side of a box. Rather they should be architectural features and, wherever possible, grouped into recessed areas or bordered by projections which provide a shadow pattern. Scattered windows tend to create awkward face-like shapes and should be avoided. Deep window surrounds are preferred. The style of the window should generally be consistent on all sides of the home.

7.9 ROOFS

7.9.1 Roofs shall have a minimum pitch of 4:12 (a slope of 4 inches vertical in 12 inches horizontal) and maximum pitch of 12:12 is required. Primary shed roofs shall have a single slope with a minimum pitch of 4:12. Secondary roofs and roofs over minor building elements and components such as porches and dormers may have lesser pitches, down to a minimum pitch of 4:12.

7.9.2 The ACC may, at its discretion, approve roof forms that have pitches of less than 4:12 if it determines that such lesser pitch is aesthetically compatible with the subject building’s form and other roof areas, the building form and roofs areas on buildings in the vicinity of the subject building, and the overall design theme of the community.

7.9.3 Roofs play a very significant role in the architecture of Ironhorse, both functionally and aesthetically. From a distance roofs must blend-in visually with the overall color and texture of the surrounding vegetation and natural features of the Homesite.

7.9.4 All roofs must be a dark color in order to visually recede into the background and natural setting.

7.9.5 Sloped roofs are to be constructed of non-reflective materials which are commonly used in the area, colored in earth tones that complement the natural environment.

7.9.6 Vents, skylights, curbs and flashing and other acceptable equipment are to be painted to match the roof. Roof vents must be clustered and concealed as much as possible and generally located on the rear of the roof. Caution is suggested regarding the selection of material, color and its ability to weather for roof fascia and edge material. Roof flashing is to be of metal, painted to match the wall or roof. For skylights, care should be taken to select darker glass tones that blend with the roof. Skylights should not be visible from adjacent lots. Approval of skylight location and color is subject to Committee review on an individual basis.

7.9.7 Roof materials may be premium grade asphalt shingle, other primary roofing material will be by approval by the ACC. Asphalt shingle color will be dark in color in the brown to dark red range and must be approved by the ACC.

7.9.8 No tile roofs, aluminum roofs, metal roofs, or wood roofs will be permitted at The Cliffs at Sunrise. Metal may be used as an accent roofing material for the primary roof with the approval of the ACC and must be a textured metal of an approved color.

7.9.9 All materials and a detailed roof plan must be submitted for review and approved by the ACC before a final approval of the entire home will be granted.

7.10 DORMERS

7.10.1 Dormers are allowed as both functional and aesthetic elements of the architecture. Non-functional dormers are discouraged. Placement, shape, and size of dormers should take into consideration the scale and proportions of the primary building as well as interior spaces and functions. Dormer materials may be selected from the exterior wall materials and roofing materials used on the building.

7.10.2 Dormers shall be relatively small in proportion to the overall scale of the roof. They should have gable or shed roofs.

7.11 CHIMNEY CAPS, FLUES & ROOF VENTS

7.11.1 Custom Chimney caps are required to hide or disguise the typical pre-manufactured chimney caps or exposed flue liners. Pre-manufactured chimney caps exposed to view are not allowed.

7.11.2 Chimney shall be in proportion with the building.

7.11.3 Chimneys may be finished with stone, brick, or wood siding to match or strongly relate to the same material used on the building, or they may be finished with wood shingles or shakes.

7.11.4 Large flues and vents are to be consolidated when feasible and enclosed within a chimney-type enclosure. Small flues such as plumbing vents, kitchen cool top vents and roof vents may be exposed if painted to match the adjacent roof.

7.12 GUTTERS & DOWNSPOUTS

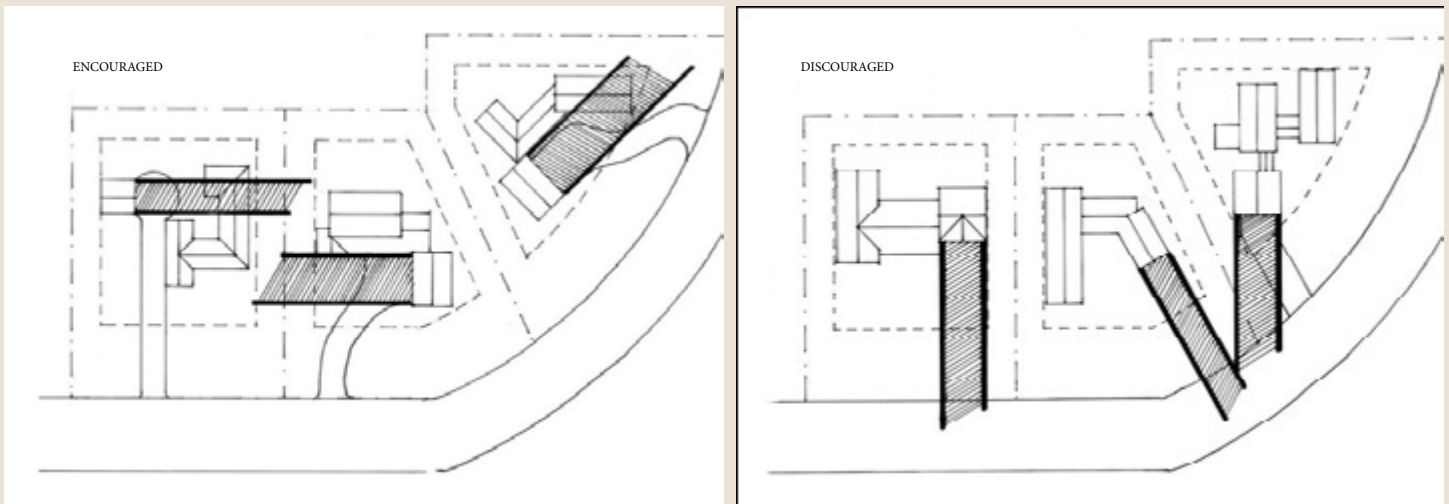
Gutters, downspouts, and flashing will be fabricated from metal in the light tans to brown color range.

7.13 GARAGES & PARKING

7.13.1 It is the intention of the Custom Lots in the cliffs at sunrise to minimize the impact of garages on the overall streetscape; therefore, side entry garages will be encouraged when lot size and topography permits.

7.13.2 Strong consideration should be given to the location and orientation of the garage so that garage doors avoid fronting directly onto the adjacent street. Various techniques should be considered, such as rotating the garage.

7.13.3 Garages doors should be appropriate to the style of the home in both look and material.



7.13.4 No more than 3 standard-sized, single-bay garage doors may be visible from the street. Double-bay doors are only permitted when turned 90 degrees from the street. One oversized garage door may be permitted by the ACC.

7.13.5 Garage location, access, and automobile turning movements must consider existing trees in the site layout. Garages and parking areas should also consider snow shed and snow storage to prevent injury to residents and damage to automobiles.

7.14 PORCHES

Perhaps more than any single component of residential design, porches provide a personality and welcome invitation to the community. They also extend the opportunity for outdoor living in the receptive climate of Ironhorse. Therefore, it is encouraged that single-Family Homes incorporate at least one porch.

7.15 WIDE, OVERHUNG EAVES REQUIRED

The eaves are the edges of the roof which overhang the face of a wall and, normally, project beyond the side of a building. The eaves form an overhang to throw water clear of the walls and should be highly decorated as part of the craftsman architectural style.

7.16 ACCESSORY BUILDING

Accessory buildings are permitted but limited to those functions specifically permitted in other sections of the Guidelines. Accessory buildings that are permitted include barns, gazebos, playhouses, storage sheds, mother-in-law apartments (also known as casita or granny flat) and all other similar structures. Mother-in-law apartments are to be in architectural keeping with the design of the main home, be single story only and not exceed seven-hundred (700) Sq. feet in size, unless approved by the ACC. The mother-in-law apartment is not to be used for short term rentals like Airbnb. Sheds are approved but limited to a maximum size of 12 x 16 feet unless otherwise approved by the ACC. Accessory functions such as tennis courts, sport courts, etc. are restricted but may be approved by the ACC.

7.17 PLAY EQUIPMENT

Play equipment such as; children's houses, trampolines, swing sets and slides are permitted, but all

equipment needs to be screened from public view.

7.18 EXTERIOR EQUIPMENT & SATELLITE DISHES

7.18.1 *Exterior Equipment.* All exterior mechanical, electrical, and other utility equipment such as air conditioning units, metering devices, transformers, natural gas service lines, and the like shall be completely screened from public view and adjacent homes. Wall-mounted utilities shall be screened using landscaping or materials similar to the exterior walls or painted a color similar to the exterior wall material where the equipment is placed.

7.18.2 *Satellite and Internet Dishes.* Satellite and internet dishes are permitted if one meter or less in diameter. All satellite dishes located in inconspicuous areas to the fullest extent practical. Dish locations shall be shown on documents submitted to the ACC for approval. Location for any dish must be approved by the ACC prior to installation.

7.19 HOT TUBS

7.19.1 Built-in hot tubs should be completely integrated in the architectural design and not visible. Freestanding exterior hot tubs may be considered if they are completely screened from all public view.

7.19.2 Any hot tub, Jacuzzi, sauna or spa should be integral to a ground level deck/patio area and landscaping, located in the rear yard. Installed so that it is not immediately visible to adjacent property owners and not create a nuisance.

7.20 EXTERIOR BUILDING LIGHTING

7.20.1 Many of the Homesites in the cliffs at sunrise are located on hillsides looking over the Valley. Sensitivity to the visual impacts to other residents should be taken into consideration in design of exterior and interior lighting. All exterior building lighting within the community shall, at a minimum, comply with the overall intent and general requirements of the Cedar City Code. Owners and designers are encouraged to review the Code for specific exterior lighting requirements not described in these Guidelines.

In general, the Code requires that exterior lighting be:

- Architecturally integrated with the character of the residence.
- Directed downward and away from adjoining properties and public areas.
- Energy-efficient, and fully concealed or recessed so that the light source is not visible from off-site.
- Lighting must not exceed 3,000k.

7.20.2 Lighting is the responsibility of the Owner. Lighting Guidelines which restrict the impact of visible illumination and light source glare on adjacent Homesites and community shall be followed.

7.21 ARCHITECTURAL SCREENING, SUN SHADE DEVICES, TRELLISES

Approval from the Committee is required for special screening or shading devices. These elements are considered an integral part of each building elevation even though they may be installed after the building is completed or occupied. Any exterior roll down type window shading device must be integrated

into the roof fascia design. Installation of these devices without prior approval of the Committee may require their removal at the Owner's expense. Awnings are not permitted unless approved by the ACC prior to installation. Brightly colored window shading, steel or plastic shutters, or wall mounted shading devices (inside or out) are not permitted. Attached retractable awnings are discouraged unless integrated into the overall structural design components of the covered porch system. Awnings and umbrellas must meet the intent of the approved List of Colors and Materials.

7.22 AIR CONDITIONING UNITS, ELECTRIC METERS, & MISC. CONTROLS

All ground mounted air conditioning is to be completely screened from public view and adjacent homes. Screening devices may be considered but must be approved in writing by the Committee before construction. The screening devices must be permanent and high enough to completely screen the equipment. No air conditioner may be mounted on the roof unless it is completely screened by parapet walls and is approved in writing by the Committee. Wall-mounted utilities shall be screened using landscaping or materials similar to the exterior walls or painted a color similar to the exterior wall material where the equipment is placed.

8 LANDSCAPE GUIDELINES



8.1 SPILL SLOPES

Spill slopes are applicable to many of the lots at Ironhorse, but not all. If it is applicable it will be shown on the lot map that provides lot specific information. If a spill slope is applicable to a lot, then it will be necessary to install a retaining wall by the new lot owners. This is to be installed anywhere up to the line that enters the natural park area. No building or alterations can take place in the natural park area. The specific retaining wall block that is required will be provided by the ACC.

8.2 REVEGETATION AT THE CLIFFS AT SUNRISE

Revegetation is required of all disturbed areas. Revegetation shall include planting of native trees and shrubs to a density similar to the surrounding Natural Park from plants listed on the Native Plant List. Hydroseeding of disturbed areas to provide erosion control and establish grasses, wildflowers and shrubs is required. The seeding specification includes both native grasses and shrubs that are intended to blend with the native vegetation.

8.3 TREES

8.3.1 For conifers, a minimum of 6' height is required with a single trunk and symmetrical form. For single-leader deciduous trees, a minimum caliper of 3-4" is required, along with symmetrical form. For multi-trunked trees, the minimum caliper shall be 1", with a minimum height of 8'.

8.3.2 A minimum of 4 new trees are required, 2 deciduous trees and 2 evergreen trees.

8.3.3 For both deciduous and evergreen trees, staking is an option but not required. After one full growing season all staking is to be removed. All trees shall be drip- irrigated with multiple emitters. Tree protection from Antlered animals (Deer & Elk) is recommended. A black fencing material (Tenex C-Flex Black, polypropylene at 7.5 feet tall x 1.77" x 1.99" netting) works best along with steel fence

posts.

8.3.4 If a home is being built on multiple lots the requirement is increased by the number of lots being utilized.

8.3.5 Annual flower and vegetable beds are only permitted within 10' of the home, in the Immediate Landscape.

8.4 LAWN AREAS IN THE CLIFFS AT SUNRISE

In order to minimize the use of water and reinforce the integration of buildings with the natural environment the extensive use of lawns is not allowed. There is no secondary irrigation source, all water is potable water therefore irrigating lawns will be very expensive. Lawn areas are subject to the following design criteria:

- The intent of the landscaping guidelines is to encourage the natural, native look of a high desert. Because of this, expansive lawns are not allowed.
- Expansive lawns suitable for athletic activities are not allowed.
- Lawns are only permitted within the Development Area.
- Lawn areas should be small and designed to conserve water.
- Curvilinear edges are encouraged in lieu of hardline edges or acute angles.
- All turn areas must be continuously-edged and contained by mechanical means such as wood, metal, concrete, plastic, etc.

8.5 FRONT LANDSCAPE COMPLETION TIMELINE

Within twelve (12) months of the time occupancy begins, it is required that all landscaping at the front of the home has been completed.

8.6 HARDSCAPE ELEMENTS

8.6.1 *Patio Design*, Approved materials for patios include concrete pavers, stone, colored concrete. Patios are encouraged to be constructed on sand beds, as opposed to concrete slabs.

8.6.2 *Fire pits and fireplaces* should be contained within the patio and should be an integral part of the design of the Residence. Fireplaces built into patio walls require approval by the committee as the chimney element must be sited to avoid obstructing views from adjacent properties.

8.6.3 *Hot Tubs* are permitted if designed and located to be totally screened from adjoining properties, and roadways. Landscaping is the preferred method of screening hot tubs from view. Consideration should be given in designing pool and spa areas to provide for privacy for the Lot Owner's neighbors. Pools and spas should also be screened from the street or adjacent properties or Natural Parks. Pools must be properly enclosed and constructed according to City and County regulations. The pool, patio, any perimeter walls, fences and gates should be considered an integral part of the building elevations. Pool cannot be drained onto adjacent property. Screen walls which are an extension of the architectural design may be used.

8.6.4 *Pools*, In-ground pools within Ironhorse should be located and designed to minimize site disturbance. Temporary swimming pools are permissible in the backyard screened from direct public view, but for no more than 4 consecutive months in a calendar year. Pools are not permissible in the front yard for any reason. No pools shall be drained onto adjacent property.

8.6.5 *Fountains*. Re-circulating, reflecting pools within hardscape areas may be permitted, so long as they are unobtrusive and are less than 30” in height.

8.6.6 The Cliffs at Sunrise philosophy of the predominance of undisturbed natural landscape extends to nighttime as well as daytime views. To preserve the beautiful views of City lights and the night sky, which tend to be obscured by excessive local lighting, the Committee has established the following guidelines for residential site lighting:

- Site lighting means lighting mounted either on the ground or on-site walls for the purpose of providing security or decorative accent lighting. Site lighting must be confined to areas enclosed by walls or in the vicinity of the main entrance.
- Security lighting means lighting intended to provide bright general illumination of the area adjacent to a Residence during emergency situations. Security lighting should only be on during emergencies.
- Building-mounted lighting means lighting built into or attached to buildings either on walls, ceilings, eaves or fascia’s for the purpose of providing general illumination, area illumination, or security illumination. Building mounted lighting must be directed downward away from adjacent lots, streets and open spaces and may not be used to light walls or building elements for decorative purposes.
- All exterior lighting must provide for significant shielding of light sources; no bare lamps or visual lighting source will be permitted.
- Only lamps with a maximum of 3,000k output will be allowed unless express approval is received from the Committee.
- No lighting will be permitted in the Natural Park or outside areas, unless enclosed by patio or building walls.

9 ARCHITECTURAL CONTROL COMMITTEE & PROCEDURES



9.1 ARCHITECTURAL CONTROL COMMITTEE

9.1.1 The Architectural Control Committee for Ironhorse (ACC) shall be initially comprised of three members, per the Ironhorse CC&R's. A quorum for conducting ACC business will consist of two members. A simple majority vote of the members in attendance will be required to approve, table, or deny a design proposal.

9.1.2 Members of the ACC will evaluate all design proposals in accordance with the Ironhorse Design Guidelines, as amended from time to time. The ACC members will use their knowledge of design and building in a mountain environment to interpret the merits of each proposal and its compliance with the Ironhorse Design Guidelines.

9.1.3 The Ironhorse Design Guidelines contain both absolute requirements and relatively general goals for suggested design principles. Typically, the absolute requirements are used for issues such as building height and setbacks. The interpretation and application of the more general requirements will be left to the discretion of the ACC. This will allow judgment, discretion, and flexibility to address the unique characteristics of each Single-Family Homesite. It should be understood, however, that the overall goal of the ACC is to apply the Design Guidelines in a fair and impartial manner to all properties in Ironhorse. Approval of any variances or deviations will take into consideration the special merit and design creativity, within an overall consistency with the Ironhorse Design Guidelines.

No decision made by the ACC will set precedence for any other application presented to the ACC.

9.1.4 Plans for new building, site, or landscape construction, as well as plans for renovation, expansion, or refurbishing of existing buildings and landscape must receive final approval by the ACC, prior to commencement of construction. Individual applicants are responsible for ensuring they are in

possession of and compliance with the latest version of the Guidelines.

Any proposed changes from the ACC-approved plans must be presented and approved by the ACC prior to any construction of that change. This includes changes to the site, landscape, and building exteriors. All changes must be drawn by the original architect/home designer and/or presented by the general contractor.

9.2 DESIGN REVIEW PROCESS

9.2.1 This portion of the Design Guidelines describes the Design Review Process. In order to help assure that the process is both positive and productive, there are a series of steps that begin prior to the start of design and carry to the completion of construction. Any additional steps required may result in additional review fees to cover the added time and cost of the review.

9.2.2 The following steps are to be followed for all projects within Ironhorse:

SKETCH PLAN REVIEW

During this step, the ACC staff, followed by the ACC, will review the Sketch Plan for the project. The Sketch Plan must convey the design intent of the project within the context of the site. One set of full-sized drawings at the scales indicated shall be submitted for review. In addition, a set of PDF plans to be sent to the ACC by email.

-- Specific information to be submitted must include:

A. Existing Site Plan - showing property boundaries, easements, existing and new grading building footprints and roof overhangs, all other improvements, Area of Disturbance, Maximum Site Coverage, and existing vegetation (1" = 20' minimum scale, with north indicated).

B. Proposed Site Plan - showing property boundaries, easements, existing and new grading building footprints and roof overhangs, all other improvements, Area of Disturbance, Maximum Site Coverage, and existing vegetation (1" = 20' minimum scale, with north indicated).

* Building footprints and driveway locations shall be staked for ACC review at the time of Sketch Plan submission.

C. Schematic Roof Plan - indicating walls, doors, windows, roof overhangs, elevations for each floor, etc.

D. Schematic Roof Plan - indicating roof pitch and direction of slope, materials, chimneys and major flues (called out as painted), ridges, valleys, hips and pitch breaks, and exterior walls below.

E. Schematic Building Exterior Elevations - with exterior materials graphically called out and described

F. Building Height Calculations - illustrating compliance with the Guidelines and Cedar City Code (same scale as Exterior Elevations). Designs should include all hidden building elevations.

G. Schematic Landscape Plan - showing location, type, and driplines of vegetation to remain, vegetation to be removed, and proposed vegetation; Area of Disturbance; and erosion control measures.

H. Roof Material Samples - to show quality and color of the proposed materials.

Responsibility: Applicant

-- ACC Staff reviews Sketch Plan and notifies Applicant of the results in writing whether or not the application is going to be forwarded along to the ACC, or whether there are issues regarding the Sketch Plan that must be addressed prior to review by the ACC.

Timing: Within approximately two weeks of Applicant's request.

-- ACC reviews Sketch Plan and notifies Applicant of the results in writing.

9.3 DESIGN REVIEW PROCESS

-- Within this step, the ACC will review the Applicant's architectural plans— prepared and stamped by a licensed Architect or Engineer—for the building(s), site improvement plans, and landscape plans that have been prepared to describe in detail, the design of the project. Applicants will be notified in writing of the ACC's Final Review Comments. The Final Plan Submittal shall convey the design intent in enough detail to illustrate the final design of the constructed project. Two sets of full- sized drawings at the scales indicated shall be submitted for review. In addition, a complete set of PDF plans are to be sent to the ACC via email. Specific information be submitted must include:

A. Site Plan - indicating access drive and parking, existing trees to be saved and those to be removed, site grading and drainage (with existing and final topography), utility locations and tie-in points, setbacks, Area of Disturbance, Maximum site Coverage calculations, property boundaries and easements, building configuration and roof plan, decks and terraces.

B. Foundation Plan - indicating top and bottom elevations of all walls, unexcavated areas, and crawl space areas.

C. Building Floor Plan - indicating overall building dimensions, room layouts, mechanical rooms and flue/duct chases, window and door locations, roof overhangs, meters and utility connections, satellite dish locations, and exterior lighting systems locations and cut sheets.

D. Roof Plan - indicating roof pitch and direction of slope, materials, chimneys and major flues (called out as painted), ridges, valleys, hips and pitch breaks, ridge vents (if used), snow guards and clips, gutters, and exterior walls below.

E. Exterior Building Elevations - indicating building height (with natural grade shown dashed); exterior materials indicated and described for walls, stairs, railings, flashing, chimney and sill caps, etc.; window and door locations and configurations; all exterior trim with sizes indicated; exterior express structural components; exterior lighting, meters and utility connections, satellite dish locations, shadow patterns (on separate drawings), and finished grade.

F. Building Sections - indicating roof, walls, floors, porches, terraces, patios, decks, exposed structure, room names, and finished grade (1/4" = 1'0" min. scale).

G. Landscape Plan - indicating existing trees to be saved and removed (show driplines); planting plan by species and size of all proposed trees, shrubs and ground cover; all "hardscape" and deck areas; driveway, maneuvering, and parking areas; retaining walls; fences and privacy walls; exterior lighting (and cut sheets); and irrigated areas on Irrigation Design Plan (1" = 20' minimum scale, with north indicated).

H. Application and Fees - with Application wet-stamped by the licensed Architect or Engineer who prepared the submittal. The application fee is \$250.

9.4 RESUBMITTALS

-- In the event of any disapproval by the ACC, of either a Preliminary or Final Submittal, a resubmission of plans should follow the same procedure as an original submittal. Any additional Architectural Committee fee shall accompany each submittal as required by the ACC.

Design approvals for each review step remain valid for one year only. Therefore, if an application lags the fulfillment of a preceding review phase by more than twelve months, that prerequisite steps must be repeated, unless waived by the ACC.

9.5 ARCHITECTURAL CONTROL COMMITTEE MEETING DATES

The Ironhorse Architectural Control Committee will generally convene on a semi-monthly basis for project review sessions, on the 1st and 3rd Tuesday of the month. Results of the project review sessions will be made in writing to all Applicants who submitted for Sketch or Final Plan Reviews in a timely fashion. Applicants who submit projects for review at least two weeks prior to the monthly Meetings will be accommodated. Projects submitted less than one week before meetings may be accommodated, at the discretion of the ACC. The ACC can set additional meetings as required to accommodate as they see fit.

9.6 VARIANCES TO DESIGN GUIDELINES

Requests for variances to the Ironhorse Design Guidelines shall be made in writing, at the time of Sketch Plan Submittal for the affected project. The ACC has sole discretion on the granting of variances under its control, and some regulations cannot be waived, regardless of hardship. Variances are generally discouraged, and Applicants must show undue hardship under regulations contained herein. Certain guidelines are required by the Cedar City Code and may fall under the City's jurisdiction. ACC responses to variances will be made in writing to the Applicant, approximately three weeks after the initial request. Any variance granted by the ACC cannot be used as precedent in subsequent requests by any applicant.

9.7 ARCHITECTURAL REVIEW COMMITTEE MEMBERSHIP DUTIES

The Committee shall initially consist of three members, per the Ironhorse CC&R's. Only the Ironhorse Architectural Review Committee will be responsible for enforcement of the Guidelines described herein, and for amending the Guidelines from time to time. Membership length and makeup shall be solely at the Committee's discretion, within the requirements of the Ironhorse CC&R's.

9.8 COMMITTEES ON-GOING INSPECTIONS OF WORKS PROCESS

The committee shall not be restricted in its compliance inspections of any Ironhorse homesite that is under construction. The committee or an authorized agent, may inspect a homesite without notification and may issue a notice whenever necessary. This notice will specify which aspects of an owner's home-site is not in strict compliance of the committee-approved plans, guidelines, and/or the governing documents (CC&Rs). Once a notice is issued, corrections will need to take place to ensure that all improvements are in line with the ACC.

10 CONSTRUCTION REGULATIONS



10.1 CONSTRUCTION COMMENCEMENT

10.1.1 No construction may begin within Ironhorse until the Final Construction Documents have been submitted to and approved by the ACC, the Building Permit has been issued by Cedar City, the Pre-Construction Meeting has taken place, and the compliance deposit has been received by the ACC. Final ACC approval is valid for one calendar year from the date of issue. If no construction has commenced after one year, Applicants must re-submit their proposals for re-approval by the ACC prior to construction start.

10.1.2 Once construction begins, it shall proceed forward at a reasonable pace until construction is complete. If a project is delayed with no work for what the ACC deems is an unreasonable amount of time (usually thirty days or more), fines shall be applied until construction renews and the ACC may request the site be re-vegetated until work commences again.

10.2 PROTECTION OF EXISTING NATURAL ENVIRONMENT IN THE CLIFFS AT SUNRISE

In order to ensure that the natural landscape of every Homesite is always preserved and the common nuisances which are inherent in any Site construction project are kept to a minimum, the regulations in this Section shall be enforced during any and all Homesite construction projects. Every Homesite Owner shall always be responsible for any and all Damage(s) resulting from violations of the Guidelines (including the following construction regulations) occurring in relation to such Owner's Homesite, whether the specific violation was caused by the Owner or such Owner's Architect(s) and/or Builder(s) performing within Ironhorse (regardless of whether the activities) causing the violation(s) are specifically located on the Owner's Homesite or elsewhere within Ironhorse).

10.4 EXCAVATION

Excavation will be limited to the development area.

10.5 TREE REMOVAL GUIDELINES

Tree removal is to be done only with the approval of the ACC according to the following Guidelines:

- Within the Natural Park, tree removal is to be avoided wherever possible, while still maintaining the health of the trees. In limited instances, the ACC may approve tree removal or thinning within the Natural Park for view corridors or solar exposure, provided it does not unreasonably increase visibility of buildings and other Improvements from off-site.
- The ACC may approve tree removal and/or selective tree thinning within the Development Area in order to accommodate buildings, driveways, sun exposure and selected views.
- Unauthorized tree removal is subject to fines up to \$2,000.00 per tree, payable to the HOA.

10.6 CONSTRUCTION & SALE SIGNS

10.6.1 Standardized construction signs are required for all exterior construction projects and homes within Ironhorse. The sign must be approved by the ACC. The sign must be removed when construction is complete.

10.6.2 All sales signs must be no larger than three feet (3') by two feet (2') in size and need to be approved by the ACC.

10.7 CONSTRUCTION PARKING

In an effort to foster Ironhorse as a quiet residential community and retreat for its residents, construction impact shall be kept to an absolute minimum. All construction parking within Ironhorse shall be either on-site within the approved Area of Disturbance, or--insofar as practical--on the street directly in front of the lot under construction. Street parking shall occur entirely on the paved portions of streets, within the area defined by extending the lot's property lines. To protect the fragile sage and wild grasses of the neighborhood, construction parking shall not take place outside the designated Area of Disturbance. Parking is also prohibited on street shoulders or in front of neighboring lots.

10.8 CONSTRUCTION ACTIVITY ACCESS

Each contractor will be responsible to make sure their deliveries have access to the job site.

10.9 DAMAGES DURING CONSTRUCTION

Each owner is responsible for protecting any subdivision improvements including, but not limited to the following: curbs, gutters, drains, streets, and sidewalks. Any damages caused by the owner(s) builder(s) or contractors will need to be repaired to the same level as before the damage was caused. The owner(s) of the site will be held financially responsible for all site restoration.

10.10 MATERIAL DELIVERIES

Each Contractor is responsible for their deliveries.

10.11 CONSTRUCTION SITE MANAGEMENT

10.11.1 All construction sites shall be kept clean and free of debris, with no trash or debris leaving the jobsite. Dust and dirt shall also be controlled and kept on-site, using water trucks or similar methods. Contractors are expected to address mud control at intersection of driveway and road and mitigate for tracking mud and debris onto street. Concrete wash-out from any source shall be performed on-site within a wash out pan provided by each contractor. Each site is to have a wash-out pan located in the Area of Disturbance. Washout areas shall be away from any catchment basins or drain inlets that may get clogged by the concrete. Construction site management shall follow the approved Construction Management Plan submitted for Final Review.

10.11.2 Regardless of whether they are kept in vehicles or crates, pets are not permitted within Ironhorse or on construction sites for non- residents.

10.11.3 Under no circumstance is any contractor, sub-contractor, or delivery to stop or park in the native areas behind curb. Parking is allowed only on the side of the road on which the project is being built. Material storage on site is to be placed as shown on the approved mitigation plan for each project.

10.11.4 An approved restroom facility is to be placed as per the mitigation plan and prior to the commencement of any construction taking place.

10.11.5 An approved dumpster is to be placed as per the mitigation plan and prior to the commencement of any construction taking place.

10.12 OSHA COMPLIANCE

Homesite Owner is responsible for any and all applicable Occupational Safety and Health Act (OSHA) regulations and guidelines being observed at all times by every person related to the construction or installation of improvements on the Homesite.

11 APPENDICES

Appendix 1: Approved List of Exposed Exterior Colors & Materials

Materials Allowed

- Stained wood
- Oil Finishes (Penofin)
- Tinted Glass
- Stone (Indigenous)
 - ◊ Brick
 - ◊ Hardie Board or Similar
 - ◊ Wood shake siding
- Heavy Timbers
- Peeled Log Beams, Columns, Trim accents
- Cedar Shingles*
- Roof Materials
 - ◊ Cedar Shakes**
 - ◊ Imitation Shakes*
 - ◊ Aluminum Zinc Alloy
 - ◊ Premium Asphalt Shingles

(NOTE: For asphalt to be considered, additional materials and additional architectural flourishes will be required. All materials must be submitted for review and then approved by the ACC before a final approval of the entire home will be granted. Example: CertainTeed Presidential Shake TL) *

- Wood*
- Windows
 - ◊ Wood, dark stained
 - ◊ Wood, metal clad with approved dark color
 - ◊ Aluminum, dark bronze or black anodized vinyl * Approved colors
- Steel Shapes, I, tube, L, [
- Prefinished Galvalume metal flashing, panels - dark color
- Painted metal finishes (dark)
- Faux an antiqued finishes (muted)
- Siding Alternatives: Wood Rain Screen Systems
- Wood: Rain Screen Systems
- Lamboo Matayerde, FSC Certified Products
- Precast Concrete

Materials Prohibited

- Painted Siding & Trim
- Faux Stone
- Stucco
- Exposed Concrete
- Corrugated Tin Walls & Roofs
- Veneer Plywood
- All Unfinished Materials
- All CMU
- Log Structures and Walls, Log Cabins
- Low Quality Asphalt & Composition Shingles
- Red Spanish Tile
- Reflective Metal Roofing
- Bright Copper Color / True Copper Material is acceptable
- Mirrored & Reflective Glass
- Types of Windows
 - ◊ Light colored frames
- Aluminum, clear & white
- Oxidized finishes, unfinished*

Colors Allowed

- Dark & medium tone colors
- Natural dark zinc color (browns)
- Earth tone colors, natural coloration*
- Muted colors
- Matte, dull, muted finishes
- Kynar 500 or Hylar 5000 for Galvanized or Galvanized coatings: Aged Bronze, Medium Bronze, Dark Bronze, Copper Brown, Charcoal Grey, Matte Black
- Natural Finishes
- Transparent & Semi-transparent finishes

Colors Prohibited

- Light colors with a white base
- White or any variation
- Primary colors, Bright colors
- Yellow
- Silver

- Glossy, Shiny finishes
- Opaque finishes & stains

Sitework Allowed

- Concrete (all finishes)
- Precast Concrete & Interlocking Pavers
- Stone, Flagstone
- Treated Timbers
- Gravel Rock beds

Sitework Prohibited

- Gravel Driveways
- Light Colored Stone Retaining Walls

Systems Allowed

- Design integrated photovoltaic cells specifically approved by the ACC
- Satellite Dishes (less than one meter; Fiber-optic cable TV service is available, and the ACC encourages homeowners to use this service, however, if an owner would like a satellite TV dish, the location must be indicated on the construction drawings and the location, along with screening elements, must be approved by the ACC).

Systems Prohibited

- Solar Collectors - Thermal
- Solar Collectors - PV
- Wind Generators
- Roof Mounted HVAC Units
- Transmission Antennas and Devices
- All other items not specifically approved by the ACC

Appendix 2: Checklist for Reviewing Submittals

STEP 1: SKETCH PLAN REVIEW

___ Completed Application

___ Non-refundable Architectural Control Fee: \$250

___ 3 sets of full-sized drawings (rolled, not folded)

___ Existing Site Conditions (1" = 20')

- Topography
- Boundaries
- Setbacks
- Easements

___ Proposed Site Plans (1" = 20')

- Property boundaries
- Easements
- Existing and new grading
- Building footprints with roof overhangs
- Area of Disturbance
- Maximum Site Coverage (Calculations)
- Existing vegetation

___ Schematic Building Floor Plans (1/8" = 1'-0")

- Walls, Doors, and Windows
- Roof overhangs
- Elevations for each floor

___ Schematic Building Roof Plans (1/8" = 1'-0")

- Roof Pitch and direction of slope
- Materials
- Chimneys and all Flues (called out as painted)
- Ridges, Valleys, Hips and Pitch Breaks
- Exterior Walls below (dashed)

___ Schematic Building Exterior Plans (1/8" = 1'-0")

- Exterior Materials called out

___ Building Height Calculations (1/8" = 1'-0")

- Must illustrate compliance with the guidelines and Cedar City

___ Schematic Landscape Plan (1" = 20')

- Location and type of existing vegetation
- Location and type of proposed vegetation
- Area of Disturbance
- Erosion Control Measures

___ Roof Material Samples (Actual Sample(s) Required)

- Must show full color range variations and high-quality construction

STEP 2: FINAL PLAN REVIEW

___ **Completed Application (Wet-stamped by Licensed Architect)**

___ **2 sets of full-sized drawings (rolled, not folded)**

___ **Submittal prepared by Licensed Architect**

___ **Site Plan (1" = 20')**

- Access drive and parking
- Trees to be saved and trees to be removed
- Site grading and drainage
- Existing and Final Topography
- Utility locations and tie-in points
- Setbacks
- Area of Disturbance
- Decks and Terraces

___ **Foundation Plan (1/4" = 1'-0")**

- Top and Bottom elevations of all walls
- Unexcavated areas
- Crawl space areas

___ **Building Floor Plans (1/4" = 1'-0")**

- Overall building dimensions
- Room layouts
- Mechanical rooms and flue/duct chases
- Window and door locations
- Roof overhangs
- Meters and utility connections
- Exterior lighting systems (locations shown and cut sheets provided)

___ **Roof Plan (1/4" = 1'-0")**

- Indicate all roof slopes and direction of slope
- Call out ridges, valleys, hips, and pitch breaks
- Show roof materials
- Indicate chimneys and mechanical flues
- Show exterior walls below (dashed)

___ **Exterior Building Elevations (1/4" = 1'-0")**

- Building Height Calculations

___ **Building Sections (1/4" = 1'-0")**

- Showing Roofs, Walls, Floors, Porches, Terraces, Patios, Decks, Exposed Structure, Room Names, and Finished Grade

___ **Landscape Plan (1" = 20')**

- Existing trees to be saved and those to be removed
- Proposed plantings (trees, shrubs, and groundcover) shown by species and size
- All hardscape and deck areas
- Driveway and parking areas
- Retaining walls
- Fences and privacy walls
- Exterior lighting (and cut sheets)
- Irrigated areas shown on Irrigation Plan



ARCHITECTURAL CONTROL COMMITTEE APPLICATION FORM

PRINT

CLEAR

GENERAL INFORMATION

ACC Meeting Date: Type of Review: Draft Final Resubmission

Submission Date:

Lot #: Street Name: Physical Address:

APPLICANT INFORMATION

Applicant 1: Cell Phone #:

Applicant 2: Email Address:

Address: City/Town:

State: Zip Code:

ARCHITECT INFORMATION

Name of Architect: Phone #:

Company Name: Email Address:

Address: City/Town:

State: Zip Code:

PROJECT INFORMATION

 Total Lot Size: Square Feet

Allowable Total Maximum Site Coverage: Square Feet

Proposed Total Maximum Site Coverage: Square Feet

 Number of Bedrooms:

Number of Parking Spaces (Including Garage):

 Allowable Total Floor Area: Square Feet

 Proposed Total Floor Area: Square Feet

Allowable Maximum Building Height: Square Feet

Proposed Maximum Building Height: Square Feet

SIGNATURE SECTION

Applicant 1: Date:

Applicant 2: Date:



ARCHITECTURAL CONTROL COMMITTEE FINAL INSPECTION REQUEST FORM

PRINT

CLEAR

INSPECTION TIME

Date: Best Time Available: Morning Afternoon Evening

Lot #: Street Name: Physical Address:

APPLICANT INFORMATION

Name: Cell Phone #:

Email Address:

Plan Date Stamped: General Contractor:

TYPE OF INSPECTION REQUESTED:

Building & Wall Foundation Survey and Inspection

Site setbacks/interior yard expansion & encroachment staking

Rough utility locations

Excavation Inspection

Including foundation elevation

Color & Material Inspection

Exterior finish approval

Stone work approval

Final flat work/driveway/surface and area approval

Finish exterior wall material & color (mock-up or partial sample) approval

Final Approval and Inspection

INSPECTION REQUIREMENTS:

For each inspection, please have the following present and available at the time of the inspection for inspection to be valid:

- Approved stamped plans and all necessary reports and materials needed for the requested inspection (i.e. certification, surveys, and color samples).
- Allow for a 2-day lead time when scheduling an inspection.

SIGNATURE SECTION

Name of Individual Requesting Inspection:

Signature:

Date: