

BOOK ONE

IRON HORSE

DESIGN GUIDELINES
FOR

THE CLIFFS AT SUNRISE



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1 PREFACE & DEFINITIONS



1.1 Preface

1.1.1 Book One of the Design Guidelines for Single-Family Homes details the objectives of the original master plan envisioned for Iron Horse and applies to all single-family residential construction on homesites within Iron Horse. The Iron Horse Architectural Control Committee is responsible for applying and interpreting these Design Guidelines.

1.1.2 Nothing in these Design Guidelines shall override laws and codes. Owner is responsible for meeting all applicable codes, laws, ordinances, regulations, etc. of government entities having jurisdiction over their project at Iron Horse. Any discrepancies shall be brought to the attention of the ACC immediately.

1.1.3 Book One contains the residential Design Guidelines for single-family homesites. Non-residential, multifamily residential, the cottages, builder neighborhoods, and all other improvements by the master developer (Development Team LLC.) at Iron

Horse are not governed by Book One of the Design Guidelines and are not subject to these Design Guidelines.

1.1.4 It is the responsibility of the lot owner to ensure they have the most current set of Architectural Design Guidelines. Before commencing the design process, it is in the owner's best interest to obtain the most current edition from the ACC staff.

1.1.5 The preservation of the existing foliage is a high priority for Iron Horse. Tree removal is to be avoided whenever possible. The ACC may approve tree removal within the Development Area to accommodate buildings, driveways, and utilities. All trees to be removed must be identified on the site plan. Unauthorized tree removal is subject to fines of up to \$2,000 per tree and replacement at a ratio of 3:1.

1.1.6 No Decision made by the ACC will set precedence for any other application presented to the ACC.

1.2 Definitions

Applicant


An Owner or Owner's representative who is authorized to represent and/or act upon any application matters or submittals.

ACC

The Iron Horse Architectural Control Committee.

Architect

A licensed Utah Architect or experienced home designer. Who must provide:

-  three sets of Architectural plans to the ACC complete with a site plan, landscape plan, floor plans, elevations, roof plan and building sections tied to existing grades. These plans should demonstrate an ability to integrate a home into sloped lots and work with the existing terrain. The plans should clearly demonstrate a knowledge of how to design a home on a sloped lot within the required height limitations.

Area of Disturbance

This area is the portion of the lot that is impacted or changed in some way from its original form. The allowable Area of Disturbance is dependent on the particular lot, defined later in the Design Guidelines. Any areas that are graded and revegetated are considered to be included in the Area of Disturbance.

Development Area

An area designated on the recorded plat drawing of a Homesite, which is effectively the area within the building setbacks on homesites designated area of approximately will be determined on final plat map by the ACC.

The area outside the development area should not be disturbed (graded, trampled, used as storage during construction, etc.). See section 4.2.3

Building Height

The maximum allowable height of buildings is 24 feet to top of plate as outlined by Cedar City, and 32 feet to the peak of the roof from the adjoining ground as outlined by the ACC. Height is measured as the vertical distance from any roof or roof element to Finished Grade, measured parallel to the ground. See Cedar City's PC Zone for further clarification.

Community

The Cliffs at Sunrise, Iron Horse Communities.

Construction Site

The Homesite and associated portion of the ROW (right of way) at the road located between an implied extension of the side property lines.

Construction Activity

Any site disturbance, construction, addition or alteration of any building, landscaping or any other improvement on any Homesite.

Contractor

A licensed construction contractor, general contractor, “builder” subcontractor, and/or unlicensed individual engaged by Owner to make improvements on a Homesite.

Design Guidelines or Guidelines

Book One of the Design Guidelines for Single-Family Homes.

Design Review

The entire design review process defined herein from submittal to design approval, ending with issuance of the ACC Approval Letter.

Dwelling

Building(s) used for residential purposes by one family.

Excavation

Any disturbance of the surface of the land (except to the extent reasonably necessary for planting of approved vegetation or soils testing) including construction excavating, any trenching or removal of any earth, rock or other material from the land or any grading of the surface of the ground. Any addition of rock, earth, gravel or other material to the surface of the land, which increases the elevation of the surface of the land.

Homesite

A platted, single-family residential lot.

Improvement(s)

Any construction or alteration of any physical element on a Homesite including re-painting and refinishing, any excavation or fill, landscape planting, sign and any structure of any type.

Owner

The owner of the Homesite.

Project

Any activity involving construction or making an improvement(s) on a Homesite, structure or residence.

Residence

Refers to a building(s) used for residential purposes by one family.

Site Coverage / Maximum Site Coverage

The percentage of a site that is covered by the built environment. This area includes any buildings or other impervious surfaces, including but not limited to driveways, patios, and walkways. The maximum allowable site coverage is defined based upon lot details later in this document.

Structure

Any physical element constructed on a Homesite including buildings, fences, manholes, etc.

2 INTRODUCTION



2.1 Iron Horse was conceived and carefully master planned as a residential community set within a natural mountain environment. The primary goals of this development are: to preserve the beauty of Iron Horse and its setting; to maintain a pleasant and desirable environment; to establish and preserve a harmonious design for the community; and to protect and promote the value of property. Therefore, all architectural design, buildings, site planning, landscaping, exterior alterations, construction, improvements and use of all new construction, development and additions, changes or alterations to existing buildings, improvements, landscaping and exterior design and development are subject to design review.

2.2 In accordance with the requirements of the Iron Horse Declaration of Covenants, Conditions, and Restrictions (CC&R's), this document sets forth the Architectural, Site Planning, and Landscape Guidelines that shall state the general design theme of all single-family, whole-ownership residential homesite improvements within Iron Horse. This document also describes specific design requirements, the design review process and construction regulations for Iron Horse.


2.3 The Iron Horse Architectural Control Committee (ACC) has adopted rules and regulations concerning the general design theme and specific design requirements for all buildings, improvements and landscaping in Iron Horse. Owners shall strictly adhere to these Design Guidelines which shall be solely and exclusively interpreted, modified or revised by the ACC.

2.4 All residences and improvements at Iron Horse shall fit harmoniously within the context of the design vocabulary of the guidelines and the unique topography, native vegetation and dramatic setting. The visual impacts of improvements on adjacent property owners, from roads, and common areas is a major concern of the ACC.

2.5 It is strongly recommended that an owner retain competent professional services for planning and design. A thorough analysis and understanding of the various design considerations and documents involved, as well as the ability to convey to the Committee, through drawings and other media, the concept and design of a proposed Improvement, are all important elements of the design review process. If an owner elects to do his own design or to retain non-professional services, and the result in either case is not approved by the committee, the committee has the right to require that an owner thereafter utilize the professional design services of an architect, engineer, landscape architect, or other design professional.

Architect/Designer Demonstrated Qualifications:

In order for an architect or home designer to do work within Iron Horse, they must have the ability to design within the parameters of the Guidelines including designing to existing topographical conditions within the Iron Horse Community. To qualify, they must:

-  Provide three sets of Architectural plans to the ACC complete with a site plan, Landscape plan, floor plans, elevations, roof plan and building sections tied to existing grades. These plans should demonstrate an ability to integrate a home into sloped lots and work with the existing terrain. The plans should clearly demonstrate a knowledge of how to design a home on a sloped lot within the required height limitations.

This document may be amended from time to time at the discretion of the Iron Horse Architectural Control Committee. It is the responsibility of the Owner and their Design Team to ensure they are working with the most current ACC documents.

3 VISION STATEMENT



3.1 It is the purpose to harmoniously blend architectural beauty with the already established landscaping and wildlife.

Iron Horse is the vision of strongly protecting the natural integrity of well-established wildlife and surrounding vegetation while providing peaceful surrounding of homes that are artfully crafted to visually blend in with the surrounding beauty.

Incorporating these quaint neighboring communities and amenities within the surrounding native vegetation, including both wildlife and walking trails, and an abundance of beautiful views from every angle are alluring qualities of Iron Horse and its legacy.

Homes crafted from exquisite design are the architectural vision within this community. Built from quality materials and with the utmost pride, these homes must meet the respectful standards of this community while representing each individual homeowner's taste.

Our style is craftsman, but certain home styles such as; cottage, bungalow, traditional, shingle, mountain-wood and contemporary craftsman may be accepted by the ACC, provided that they lean heavily towards the craftsman style and details.

4 DESIGN THEME & PHILOSOPHY



4.1 Residential Design Theme

The design theme for The Cliffs at Sunrise is to present a balance of architecture and landscape that is inviting, relaxing, and comfortable. A place of direct simplicity and authenticity in contrast to today's more complex and hectic cities. In other words, we encourage homes that are:

- 🏡 Unique: every house should look different and stand on its own.
- 🏡 Taking cues from Frank Betz homes, Greene & Greene homes, and/or Donald Gardner homes.
- 🏡 Styled from the Craftsman type and period.

4.2 Achieving Design Excellence

The quality of architectural design, site planning and landscape for each home contributes to making the whole community a more attractive place to live and a legacy of lasting value. The intent of the Design Guidelines is to promote and encourage:

- 🏡 Excellent Craftsman or art deco design.
- 🏡 A higher level of quality.
- 🏡 A home that is in harmony with the setting.

Superior architecture, materials and craftsmanship are of the highest priority for home designs in Iron Horse which seek to create a sense of timeless quality. Our highest aspiration is to encourage thoughtful floor plans, high quality materials, interesting massing, fine detailing, excellent finishes, and enduring quality. It is

particularly important that the overall form, massing, materials and color of Single-Family Homes be consistent with the Guidelines and support the overall community image that blends the natural landscape with the architecture. Within that overall fabric, diversity of expression is anticipated and encouraged. Individual homes, however, should not call undue attention to themselves with monumental elements, overwhelming massing, and other distracting features or characteristics.

4.3 Unique Home & Site Design

Of particular importance to the visual quality of each residential neighborhood is the design of driveways and garages. Iron Horse should strive to avoid a suburban pattern of repetitive driveways and garages marching down the street. Careful design consideration in site planning and overall massing must address the neighborhood streetscape as well as the design of the individual home. Driveways are to enter each site in a discreet manner, responding to topography and existing trees while avoiding extensive paved or graded areas. In general, garages are to be located and oriented, so they become subordinate to the home itself. The primary exposure to the street frontage must be the residence, rather than the garage doors as the dominant image. Orienting garage doors away from the street is encouraged. The percentage of the street frontage elevation that can be faced with garage doors is restricted.

4.4 Balance of Structure & Landscape

The intent of the Design Guidelines for The Cliffs at Sunrise Homes is to promote variety and individual expression of design while assuring that the collective result creates a visually harmonious community and compatibility among neighboring properties within the community. The design of each home must respond to the unique characteristic of its site, the existing trees and vegetation, topography, natural drainage patterns, rock outcroppings, views, and sun orientation. While individual homes can add richness to the community by expressing artistry and creativity in design, it is very important that each residence add to the overall visual harmony of the community by responding to the natural environment and expressing the design theme of Iron Horse. To accomplish these goals, it is important that architecture and landscape work together and that buildings do not dominate the site. This can be achieved by protecting the existing trees and topography to the maximum extent possible within the community.

4.5 Scale within Landscape

The Design Theme calls for a scale of architecture that is personal and intimate. Careful site planning to retain existing trees and minimize site disturbance helps allow the visual balance of landscape and architecture. This can be further

enhanced by transitional places that blur the line of indoor and outdoor, such as porches, decks, patios, and terraces. The design of The Cliffs at Sunrise Homes in Iron Horse should strive to enhance the solitude, privacy, and family retreat character of the environment.

4.6 Fine Details through Wood

There is great opportunity to express care and craftsmanship in detailing. Wood used in a variety of creative ways ties to the tradition of the regional vernacular architecture. Vertical and horizontal wood siding board and batten siding, planks and siding with varied sizes and profiles offer an abundance of design opportunities to personalize individual residences. Timber trusses, beams, rafters, and corbel braces with careful connection details are encouraged.

5 ENVIRONMENTAL SENSITIVITY & ENERGY CONSERVATION



5.1 Energy Conserving Design

Owners are encouraged to incorporate energy conserving measures in design. Site orientation of buildings, size and orientation of windows and shading devices designed to take advantage of sun, shade and natural daylighting should minimize reliance on mechanical heating and cooling systems, reduce electrical power consumption as well as create comfortable living conditions.

5.2 Conservation of Natural Resources

Owners are encouraged to incorporate conservation measures in the design of Homesite improvements that reduce the consumption of natural resources. These measures include reduction of light pollution, water conservation and protection of native vegetation on the Homesite.

5.3 Insulation

Upgraded insulation is encouraged. Increased insulation can reduce the demand for heating and cooling making homes more comfortable.

Insulated windows and glazing are strongly encouraged. Windows with “thermal breaks” and insulated glazing significantly reduce energy usage and make houses more comfortable.

5.4 Energy Star Program

Owners are encouraged to meet Energy Star standards, incorporate Energy Star Certified Appliances and choose Energy Star labeled windows. The on-line source of information about Energy Star programs is www.energystar.gov/products/

No solar applications are permitted within the Cliffs at Sunrise under any circumstance. The ACC is reviewing solar shingle applications for a potential future amendment but is not expressing or implying any sort of guarantee or promise.

Thermal solar collector panels and wind generators are not permitted at Iron Horse.

6 SITE PLANNING GUIDELINES













6.1 Site Planning Guidelines

6.1.1 The Site Planning Guidelines are intended to protect and promote a sense of harmony with the beauty and serenity of the existing natural environment at Iron Horse, the land and the structures are intended to blend together. In addition, each Homesite should complement the others nearby. Grading and excavation are restricted to the minimum necessary as dictated by the ACC. The ACC will determine the Development Area for each lot before purchase.

6.1.2 The community of Iron Horse is intended to have an understated, rural mountain character that is respectful of the land and blends with the natural environment. Without exception all existing natural vegetation, flora, fauna, outcroppings and other features of the land are considered precious and worthy of preserving and protecting to the extent possible when building and occupying a home at Iron Horse.

6.1.3 The principal site planning criteria for Iron horse:


-  Site planning must result in functional and aesthetically pleasing improvements benefiting the community.
-  Preserve and protect existing natural environment, existing trees, vegetation, rock outcroppings, and groundcover.
-  Minimize impact on nearby Homesites.

-  Grading and drainage; pad and over lot grading prohibited.
-  **Grading is limited to the Development Area.** Grading and excavation are restricted to the minimum necessary as dictated by the ACC.
-  Garage orientation away from street accessed from a winding, meandering driveway.
-  Fences and walls are only allowed around the sides and rear of the home beginning from the front of the home. Rod iron fencing is to be used beginning from 15 feet from the rear of the home and along the back of the property. Dog runs, dog houses, pools, hot tubes, trash enclosures, and AC condenser pad enclosures attached to the main structure shall be veiled.
-  Building Orientation.
-  Retaining walls are required to be made of true stone or veneered entirely with approved style stone within the Cliffs at Sunrise. No other retaining wall materials will be permitted.
-  Detached structures such as garages, storage containers and any other structure not approved by the ACC. Mother-in-law apartments (Casitas), guest homes, pool houses and storage sheds must adhere to ACC regulations.



6.1.4 Site Development will be developed under two separate types of Homesites, those utilizing the Development Area and those that utilize the standard Cedar City yard setback standards. Each is explained below.

6.2 The Homesite





6.2.1 Each Homesite is divided into two areas - the Natural Park and the Development Area. The following site development standards deal with issues of siting, grading, excavation and landscaping.

-  The homesite development area within the Cliffs at sunrise is the entire lot adhering to setbacks set forth in design guidelines setback section.




6.2.2 The Natural Park within the Cliffs at Sunrise

-  The Natural park ensures beautiful views are maintained within iron horse, while also serving as a buffer between an owner's home and any publicly assessable areas.
-  The Natural Park is that portion of the Homesite which lies outside of the Development Area. No construction activity can take place in this area, except for minimal impact structures such as tree houses,


hammocks, children's play equipment, park benches, bird houses, day bed, string lights, a free-standing fireplace, ETC. Any additions to the Natural park area will need to be reviewed by the ACC.

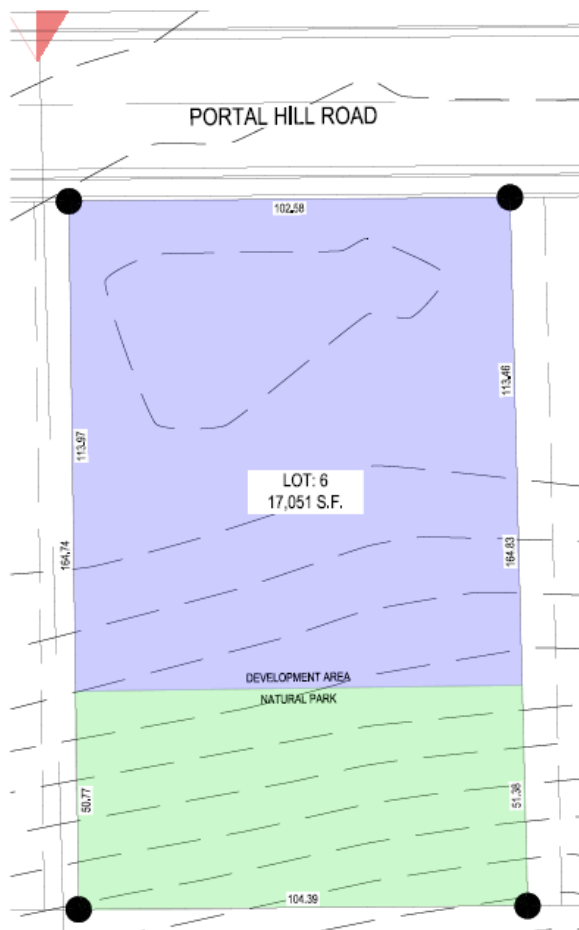
-  Irrigation of the Natural Park is not permitted since the existing indigenous vegetation does not require additional water, although planting additional native trees and vegetation is permitted.
-  Specific Fencing will be allowed to surround the natural park with ACC approval (reference section 6.17), but not other construction may take place.
-  The Natural Park shall remain untouched and any disturbed areas shall be revegetated with native species as dictated solely by the ACC. The Homesite Owner shall pay for all revegetation and any associated fines levied for disturbed areas by the ACC.
-  Natural Park designation does not apply to some of the lots at the Cliffs at Sunrise due to size and shape. Natural park area will be indicated on a map provided by the developer.

6.2.3 The Development Area for the Cliffs at Sunrise

-  The Development Area is the portion of each Homesite within which all Improvements, including utilities, must be built and/or located and the only place where alterations to the existing landscape may occur. A plot map has been prepared for each Homesite. This map indicates the boundaries of the Development Area. An appropriate Development Area is identified for each lot based on the natural features of the Homesite, views, relationship to adjacent building development areas, and topography. No modifications to the individual Homesite is permitted, except by approval of the Committee. The Development Area acts as a limit beyond which no construction activity may take place or materials are stored. Caution should be taken to fully understand these requirements prior to beginning design.
-  In cases where an owner owns two contiguous homesites and wants to combine the two homesites into a single homesite, the owner must receive the consent of the ACC. Any desire for a reconfiguration of the development area shall be requested by the applicant early in the design phase, and the committee must have approved the reconfiguration, at its sole discretion, prior to the preliminary submittal.
-  When combining more than one homesite, it will require an abandonment of the common property line before ACC approval. Reconfigured development areas may, at the committee's discretion, span the common homesite property line. Since it is likely that

reconfiguration of the development area may have greater effect on views from nearby homesites than in the case of a reconfiguration on a single homesite this will be considered during the approval of the envelope shape. Any necessary approvals from the city will be required prior to approval from the ACC.

-  The development area includes the home site and will begin at the front of the property and be divided across from the side property lines. Detailed information showing the development area and natural park will be provided before purchase. The development area includes all landscaping, installation of decks, patios, gazebos, pools, hot tubs, guest homes and any other approved detached structure.







6.3 The Road Margin

6.3.1 Protection of, grading and re-vegetation of the road margin is the responsibility of the Owner.

6.3.2 Create a natural-appearing streetscape with continuity throughout the project. Provide good plant growth as close as possible to the

pavement edge by applying a small amount of temporary irrigation to establish the natural-appearing plantings. Maintain or re-create natural appearing grading and slopes. Unnatural grading is strongly discouraged.

In the Road Margin:

-  Retaining walls must be made of stone or with concrete veneered with stone listed on the Approved Colors and Materials List.
-  No gates, entrance posts or columns or walls, mailboxes, or other similar improvements are allowed to be constructed in the Road Margin.
-  No trash enclosures may be constructed in the Road Margin.
-  One street address sign may be installed in the Road Margin with the approval of a specific design by ACC. The address sign may be illuminated if the light source provides only a low level of illumination and is completely hidden from all public ways and other Homesites.

6.4 Building Siting & Setbacks

6.4.1 Front and side setbacks—as generally defined and measured by the Cedar City PC Zone—have been established to maintain a balance between buildings and the natural setting, while still providing flexibility in building configuration and location relative to protected existing vegetation and topography. Balconies, porches, roof overhangs, and chimneys may partially occur within setbacks—see the Code for specific dimensions allowed. Owners shall be aware that the Iron Horse Design Guidelines may also contain other setback requirements that are more restrictive than those described in the Cedar City PC Zone Code.

6.4.2 In order to accommodate individual site conditions, there is some flexibility in the side setbacks for garages.

6.4.3 Front setbacks must be a minimum of 25 feet from the right of way, with a maximum setback of 50 feet.

6.4.4 Each home should be located to provide a sensitive response to existing trees, views, and sun exposure. Homes should also be located to avoid presenting a solid wall of structures facing the street. Homes on individual Homesites should be offset from their neighbors to develop an interesting, undulating streetscape.

6.5 Maximum Site Coverage

The Maximum Site Coverage at all Single-Family Homesites within Iron Horse shall not exceed 10,000 SF, unless otherwise permitted by the ACC through lot-specific variances for unusually deep lots.

6.6 Obligation to Maintain Unimproved Site

Once the land has been purchased, the responsibility is the owner(s) to maintain the property. No storage is permitted on the site, unless it is for the purpose of construction as mentioned within the construction regulations.

6.7 Area of Disturbance for The Cliffs at Sunrise

The Area around a project impacted by construction activity—or the Area of Disturbance—shall be limited to 40 feet area around the building excavation, with reasonable allowances made for practicality of construction and the safety requirements of authorities having jurisdiction. The Area of Disturbance must be shown on Site Plans submitted to the ACC, and the ACC may—at its discretion—require that the Area of Disturbance be reduced to lessen impacts on existing vegetation and particularly large trees.

6.8 Excessively Sloped Building Site

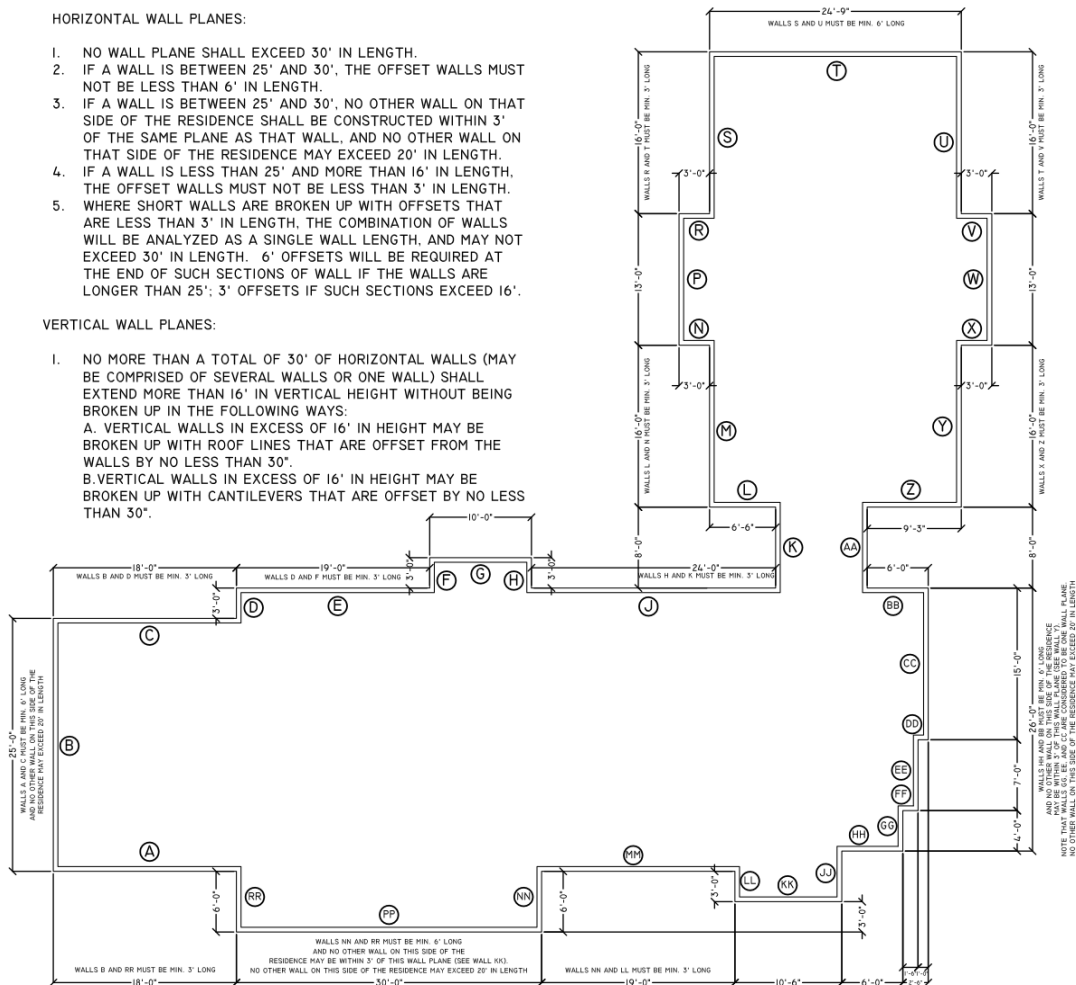
The overall height of a terraced or stepped structure shall not exceed 35 feet measured from the original grade to all roofline high points and continuous around the home exterior. The intent is to reduce the height of stepped retaining walls on the uphill and downhill sides of the site. In order to position and set the home into the landscape, home designs should break up horizontal and vertical wall elements. A site plan with a certified topographic survey is required at the time plans are submitted to the ACC, and a stamped and certified survey is required after the foundation has been poured for verification. In addition, plans must meet all height requirements by Cedar City.

HORIZONTAL WALL PLANES:

1. NO WALL PLANE SHALL EXCEED 30' IN LENGTH.
2. IF A WALL IS BETWEEN 25' AND 30', THE OFFSET WALLS MUST NOT BE LESS THAN 6' IN LENGTH.
3. IF A WALL IS BETWEEN 25' AND 30', NO OTHER WALL ON THAT SIDE OF THE RESIDENCE SHALL BE CONSTRUCTED WITHIN 3' OF THE SAME PLANE AS THAT WALL, AND NO OTHER WALL ON THAT SIDE OF THE RESIDENCE MAY EXCEED 20' IN LENGTH.
4. IF A WALL IS LESS THAN 25' AND MORE THAN 16' IN LENGTH, THE OFFSET WALLS MUST NOT BE LESS THAN 3' IN LENGTH.
5. WHERE SHORT WALLS ARE BROKEN UP WITH OFFSETS THAT ARE LESS THAN 3' IN LENGTH, THE COMBINATION OF WALLS WILL BE ANALYZED AS A SINGLE WALL LENGTH, AND MAY NOT EXCEED 30' IN LENGTH. 6' OFFSETS WILL BE REQUIRED AT THE END OF SUCH SECTIONS OF WALL IF THE WALLS ARE LONGER THAN 25'; 3' OFFSETS IF SUCH SECTIONS EXCEED 16'.

VERTICAL WALL PLANES:

1. NO MORE THAN A TOTAL OF 30' OF HORIZONTAL WALLS (MAY BE COMPRISED OF SEVERAL WALLS OR ONE WALL) SHALL EXTEND MORE THAN 16' IN VERTICAL HEIGHT WITHOUT BEING BROKEN UP IN THE FOLLOWING WAYS:
 - A. VERTICAL WALLS IN EXCESS OF 16' IN HEIGHT MAY BE BROKEN UP WITH ROOF LINES THAT ARE OFFSET FROM THE WALLS BY NO LESS THAN 30".
 - B. VERTICAL WALLS IN EXCESS OF 16' IN HEIGHT MAY BE BROKEN UP WITH CANTILEVERS THAT ARE OFFSET BY NO LESS THAN 30".



Example of Wall Plane Rules for Horizontal & Vertical Wall Elements

6.9 Tree Removal Guidelines for the Cliffs at Sunrise

Tree removal is to be avoided whenever possible. The ACC may approve tree removal within the Development Area in order to accommodate buildings, driveways, and utilities. All trees to be removed must be identified on the site plan.

Unauthorized tree removal is subject to fines of up to \$2,000.00 per tree and replacement at a ratio of 3:1.




6.10 Site Work

6.10.1 The natural topography in the development areas varies from Homesite to Homesite and creativity is needed in the design process. **Typically, Structures should be nestled into the land, remaining low, so as to be part of the site rather than being perched on it, thus creating unnecessary height.** Step buildings and Improvements, down slopes, using split and multi-level solutions wherever possible to follow existing contours and achieve a balance of cut and fill,

limit structures to the areas on the site where drainage, soil, and geological conditions will provide a safe foundation.

6.10.2 Consider the impact of the proposed Residence on adjacent properties with respect to privacy, view preservation, and ease of access.

6.10.3 The following general limitations will apply in the absence of special circumstances justifying exceptions as may be approved by the Committee:

-  Cut and fill may not be exposed following completion of construction, landscaping and/or retaining walls may be required to mitigate cut and fill conditions;
-  No change in natural or existing drainage patterns for surface waters shall be made upon any lot that could adversely affect another owner;
-  Retaining walls and other walls not directly supporting a building Structure, except Screen Walls, shall not exceed six (6) feet in height, measured from the lowest natural grade adjacent to the wall.

6.11 Grading & Drainage

6.11.1 Grading must be done with minimum disturbance of the existing vegetation on the Homesite. Structures, roads, driveways or any Improvement should be designed to fit the existing contours of the site, minimizing Excavation rather than altering the site to fit a poorly designed Structure or Improvement. Surface drainage shall not drain to adjoining lots or open spaces except as established by natural drainage patterns, nor cause a condition that could lead to offsite soil erosion on open spaces.

6.11.2 When a change in the drainage way within a given homesite is absolutely necessary, avoid right angle diversions, and create a positive drainage in a logical and natural manner. Minimize soil erosion in disturbed areas through the use of native rock to simulate natural stream beds and plant materials.

6.11.3 It is the intent of these Guidelines to discourage excessive cut and fill, and **no grading may be done outside the Development Area**. Any alterations to washes carrying 50 cubic feet per second or more resulting from a 100-year storm may require special consideration for approval by the Committee.

6.11.4 Over lot grading is prohibited on Homesites within the Cliffs at Sunrise, unless indicated by the acc that it is allowed.

6.11.5 Washes and Drainage Easements. These natural drainage-ways occur frequently throughout the custom lots and should not be obstructed. Structures and other Improvements should be sited to avoid these washes, although they can be sited at the edge of a wash. Bridging by buildings, and other Improvements designed so as not to obstruct 100-year storm flows, are encouraged. **Washes may be re-routed within the development area but must never change the point it naturally leaves the site.**

6.12 Driveways & Parking

6.12.1 A minimum of 1 foot on either side of the garage is required, it is encouraged to intersect the street at a minimum angle of sixty (60) degrees and in such a way as not to interfere with drainage in the street right of way. Concrete, concrete pavers, natural pavers, Flagstone, Bomanite, and colored concrete patterns are encouraged. Asphalt may be used but only with 1-foot concrete ribbons on both sides of the length of the driveway. Only one driveway entrance will be permitted for each homesite.

6.12.2 Driveway configurations should be efficient while providing for convenient access, garage entry, and turning movements. Expansive entry courts should be avoided in order to preserve the natural site and maintain an informal and understated community image. In general, site disturbance should be kept to a minimum whenever possible. Where possible, meandering and winding the driveway onto the property with gentle turns that respect the existing land forms and vegetation to save larger trees and preserve rock outcroppings is encouraged.

6.12.3 Parking Spaces: Each Residence shall contain parking space within the Homesite for at least two automobiles in an enclosed garage. A minimum of two (2) additional parking spaces should be provided to accommodate guest parking. No on-street parking will be permitted at the Cliffs at Sunrise. No exterior parking or storage of recreation vehicles, boats, camping trailers, or ATV's of any kind are permitted. No storage containers are permitted for use of enclosed parking or storage.

6.13 Site Utilities

Site utilities should be located on each lot with great sensitivity, taking care to limit the Area of Disturbance and keeping future maintenance of the utilities in mind. In general, locating utilities under or immediately adjacent to driveways helps to accomplish these goals. Septic systems and propane tanks are not permitted within The Cliffs at Sunrise communities.

6.14 Blue Stakes

Blue Stakes: it is required by law to call Blue Stakes no matter how deep you are digging, since many cables and pipes lie at extremely shallow depths. Call before you dig, dial 811 from anywhere in Utah, or submit your request online at www.bluestakes.org.

6.15 Public Utility Easements






Public Utility Easements – Utah Code 54-3-27: a public utility easement provides utility companies the right to install, maintain, operate, repair, remove, replace, or relocate public utility facilities. If a property owner places improvement that interfere with the easement rights, the property owner shall bear the risk of loss or damage to those improvements resulting from the utilities needing to be installed, maintained, operated, repaired, removed, replaced, or relocated.

6.16 Retaining Walls within The Cliffs at Sunrise

Retaining walls are limited to 6' in height. If any retaining wall is over 4' in height, an engineered and stamped rock wall detail must be provided. The stone selected for the construction of retaining walls should reflect the same stone used on the home, in order to maintain continuity between the site and home. Retaining walls are required to be made of indigenous stone or veneered entirely with indigenous stone. No other retaining wall materials will be permitted. If the retaining wall needs to be higher than 6', a four-foot set back is required before starting the second wall.

6.17 Fences & Site Walls within The Cliffs at Sunrise

6.17.1 Fences within The Cliffs at Sunrise will be permitted with the following restrictions:

-  Fences are to be constructed of masonry
-  Property fences will not exceed six (6') feet in height
-  No fences are allowed in front yards or that are built further forward on the lot than the front wall of the home.
-  Rod iron fences are required to be used to define or enclose property boundaries around the rear of the perimeter of the property. The use of rod iron fences will begin 15 feet behind the home (review the image below). The rod iron fence is required to match the selection made by the ACC. No fence is permitted to be built farther forward than the front wall of the home.
-  If property is not fenced, any hot tubs, pools, etc. must have a safety fence around them and screened from view that will be constructed of masonry or a pre-approved fence by the ACC.

6.21 Water Tanks

Above ground water tanks are not allowed at Iron Horse. Water tanks are to be inground/underground and will require the approval of the ACC.

6.22 Transmission Antennas




No transmission antennas of any kind or nature, or other devices for the transmission of television or radio signals, or job site camera device, or any other form of electromagnetic radiation, including but not limited to, satellite dishes, internet dishes, microwave antennas, radio towers, television antennas or cell phone towers shall be placed or maintained upon any structure or Homesite.

6.23 Refuse Containers

Details for location of refuse concealed containers will be provided by the Owner prior to completion of the design. Containers shall be appropriately concealed by a screen wall. Trash that is required to be placed at the front of the lot to be collected may be placed and kept at the curb after 5:00 PM on the day before the scheduled day of collection, but not sooner. Any trash containers shall be removed after pick-up on the day of collection.

6.24 Flag Poles

A vertical flag pole, no more than 25' in height is permissible with the following guidelines:

-  The American Flag may be flown at any time, in accordance with the guidelines as outlined in United States Code Title 4, Chapter 1.
-  Flag and flagpole must be properly illuminated, but not with an excessive light source.
-  Flag must be in good repair at all times it is being flown.

6.25 Site Lighting

6.25.1 The Iron Horse philosophy of the predominance of undisturbed natural landscape extends to nighttime as well as daytime views. The committee has established the following guidelines for residential site lighting that apply to The Cliffs at Sunrise.

6.25.2 Site lighting means lighting mounted either on the ground or on-site walls for the purpose of providing security or decorative accent lighting. Site lighting must be confined to areas enclosed by walls or in the vicinity of the main entrance.

6.25.3 Security lighting means lighting intended to provide bright general illumination of the area adjacent to a Residence during emergency situations. Security lighting should only be on during emergencies.

6.25.4 Building-mounted lighting means lighting built into or attached to buildings either on walls, ceilings, eaves or fascia's for the purpose of providing general illumination, area illumination, or security illumination. Building mounted lighting must be directed downward away from adjacent lots, streets and open spaces and may not be used to light walls or building elements for decorative purposes.

6.25.5 All exterior lighting must provide for significant shielding of light sources; no bare lamps or visual lighting source will be permitted.

6.25.6 Only lamps with a maximum of 3,000k (Kelvin) output will be allowed unless express approval is received from the Committee.

6.25.7 No lighting will be permitted in Natural Parks or outside areas of The Cliffs at Sunrise.

6.26 Basketball Backboards

Backboards attached to the face of a garage are not permitted.

6.27 Seasonal Decorations

Season decorations are allowed from November 1st until January 15th but are required to remain respectful of the many different races, religions and ethnicities that will be celebrated during the holiday season. If something is deemed obtrusive or offensive, the ACC will request it be removed.

6.28 Swimming Pools & Spas, Equipment & Enclosures

Consideration should be given in designing pool and spa areas to provide for privacy for the lot owner's neighbors. Pools and spas should also be screened from the street or adjacent properties or Natural Parks. Pools must be properly enclosed and constructed according to City and County regulations. The pool, patio, any perimeter walls, fences and gates should be considered an integral part of the building elevations. Pool cannot be drained onto adjacent property.

6.29 Dog Runs & Dog Houses

6.29.1 Dog runs are permitted within The Cliffs at Sunrise community, provided they are constructed of high-quality materials (see Fences and walls above)

and in colors to complement their associated residences. Dog runs shall be attached to residences—not free-standing—and are to be approved by the ACC prior to construction. Dog runs shall be screened from the street and neighboring homesites.

6.29.2 Dog houses are permitted and may be located within the homesite but are required to be screened from the street.

6.30 Address Identification

6.30.1 Individual address identification devices for each approved Residence may be installed by the Lot Owner. Such devices must utilize the same materials and colors as the Residence and must reflect its design character. The address sign may be illuminated if the light source provides only a low level of illumination. The identification shall not exceed Eight (8") Inches in size.



6.31 Wildlife Mitigation

Fire safety and defensible space provisions on Homesites are the responsibility of the Homesite Owner.


6.32 Fire Safety & Defensible Space

6.32.1 These provisions on Homesites are the responsibility of the Homesite Owner. Please refer to Cedar City codes, regulations, and ordinances and those of other jurisdictions.

6.32.2 Portions of Iron Horse are in wildfire hazard areas. It is important that Owners be aware of the possibility of wildfire. The threat of wildfire can be reduced with thoughtful planning and maintenance of a defensible space around the building. With this in mind, the following fire safety standards have been implemented:

-  Potential fire fuel (such as dead limbs, leaves, needles and other material) is to be removed from areas immediately surrounding built structures.
-  Owners are to select building and landscape planting materials that provide low fuel for potential fires.

6.32.3 The maintenance of a 30-foot safety zone in all directions around the building is strongly encouraged. Within this zone, the following fire prevention action is recommended:

-  Regularly dispose of slash and debris materials resulting from thinning operations.

- ☛ Exterior wood building materials are to comply with all fire safety standards and procedures established by Cedar City, other applicable State and Local Codes.

7 ARCHITECTURAL GUIDELINES



7.1 Style Description








7.1.1 The architectural character in all Iron Horse communities is Craftsman inspired. The goal at Iron Horse is to maintain a refined, understated elegance in the community emphasizing quality of construction, natural colors and materials, preservation of the natural environment and distinctive design creativity within the palette of the Design Guidelines.

7.1.2 All homes in Iron Horse shall be custom designs. Homes shall be designed in no discernible “style” other than the Iron Horse architectural vernacular defined in these guidelines. Architectural motifs such as “Santa Fe”, “Spanish”, “Classical”, “Colonial”, “Mediterranean”, “Victorian”, or any other derivative style are not appropriate at Iron Horse. “Ultramodern” or “high tech” are equally inappropriate for exterior styles, but no restrictions on the use of modern technological conveniences or the character of private interior spaces are intended.






7.1.3 The style homes within the Cliffs at Sunrise will be craftsman or modified craftsman with obvious craftsman details within each plan. High quality materials, detailing and design excellence are strongly encouraged. The Design Guidelines expressly prohibit crude, primitive, agricultural, cluttered, dilapidated,

unfinished and/or unrefined structures, designs, improvements and/or site work. Shacks, stables, barns and barn shaped roof forms are not permitted.

7.1.4 All other identifiable architectural styles and building types are discouraged at Iron Horse. The following are not permitted including:

-  Southwest Territorial and adobe styles, other desert vernacular, Spanish Colonial
-  A-frames, geodesic domes and all other stylistic geometric forms and building types
-  Swiss Chalet and Bavarian styles; small cabins; Fake styles/Tuscan
-  Premanufactured buildings, metal buildings
-  Ornate and formal architecture
-  Architectural styles from and identified with other places, regions, countries and/or era
-  Other architectural styles may be added to this list at the discretion of the ACC

7.1.5 The following constitute the principal architectural design criteria for Iron Horse:

-  Horizontal massing is discouraged; vertical proportions encouraged.
-  Massing should respond to the natural topography of the site.
-  Sloped roofs are required.
-  Gable roofs are encouraged.
-  Large roof overhangs are discouraged






7.1.6 Maximum building height: The overall height of a terraced or stepped structure shall not exceed thirty-two feet (32') measured from the original grade to all roofline high points and continuously around the home exterior. The intent is to reduce the height of stepped retaining walls on the uphill and downhill sides of the site. In order to position and set the home into the landscape, home designs should break up horizontal and vertical wall elements.

7.1.7 A site plan with a certified topographic survey is required at the time plans are submitted to the ACC, and a stamped and certified survey is required after the foundation has been poured for verification.

7.1.8 In addition, plans must meet all height requirements by Cedar City







7.1.9 Multiple architectural elements are encouraged to add interest to each elevation, especially front and/or rear elevations facing streets, roads, and when open to views from the community.

Architectural Details, Features, Fenestration, etc.:





-  Many large windows, multiple window compositions, and entirely glazed window- walls are highly encouraged.
-  Small, “punched” windows are discouraged. If punched windows are used, they must be grouped together.
-  Substantial deck guardrail, beams, etc. are encourage.
-  Interior window coverings visible from the exterior must be a neutral color keeping with the design guidelines of earth tones. No bright colors will be accepted. (must match exterior)
-  Window boxes are not permitted.

7.2 Architectural Materials

Characteristic of and highly encouraged at The Cliffs at Sunrise Communitie:

-  Brick of natural colors are approved within the specified color scheme (reds to dark browns).
-  Hardie board or equal
-  Wood shake
-  Stucco or vinyl siding is not permitted within any areas of The Cliffs at Sunrise.
-  Exposed foundation walls are required to be veneered with stone.
-  Dark roofs, natural roof materials, non-reflective and specifically approved substitutes are allowed.

7.3 Architectural Character

-  Craftsman
-  Greene & Greene Style
-  Frank Betz Style
-  Some design elements styles not listed above will be considered by the ACC on a very limited basis

7.3.1 Other styles or clarifications may be added to or removed from this list at the discretion of the ACC.

7.4 Building Sizes – Scale & Floor Area

7.4.1 Homes must be the appropriately proportioned for the lot. All home sizes must be approved by ACC. There will be no homes approved with less than 1,800 SF on the main level.

7.4.2 The maximum overall square footages of Single-Family Homes is based on the size of the Home site.







7.5 Building height

In addition to the height requirements listed above, all single-family homes within Iron Horse are limited to the height restrictions defined by Cedar City Setback Standards. Additionally, homes on sensitive ridge sites should not break ridge line views.

7.6 Exterior Walls

7.6.1 There are a variety of exterior wall types that may be incorporated into the buildings at Iron Horse. In general, it is supportive of the design theme to have multiple exterior wall materials on any building elevation to add interest. Often, the use of a single material on the walls of a building component or secondary element of the building form can add emphasis to the composition of additive forms. However, the use of a single material over all or most of an entire home is not supportive of the design theme.

7.6.2 The following wall materials may be considered for buildings:

-  **Stone:** stone indigenous to the region, such as weathered granite, sandstone, limestone shall be used to tie buildings to their sites and may also be used to express structural mass walls and chimneys. The stone must be laid in a manner that appears structural, with careful fitting of individual pieces. Larger stones should be set at the bottoms of walls, with smaller stones appearing closer to the tops of walls. Stone walls should avoid a “mosaic” or “quilted” pattern and should instead strive to appear load-bearing, as opposed to a thin veneer. All stone must be real, no faux stone will be allowed on any buildings.
-  **Brick:** Natural colors within the approved color pallet of reds to dark browns.
-  **Wood Shingles:** Shingles can add a refinement, varied texture, and pattern to wall surfaces.
-  **Wood Board and Batten:** Vertical board and batten, as well as reversed wide battens over boards, may be used in varied sizes and widths.
-  **Wood Siding:** Various sizes and profiles of wood siding may be used in horizontal or vertical patterns. Diagonal siding is prohibited.
-  **Ornamental and Structural Steel:** These materials may be used as accent elements to reinforce the structural expression and crafted nature of Iron Horse residences. Appropriate uses include metal banding at column bases, steel or wrought iron cross-ties, and connectors at connections.

7.6.3 No vinyl siding will be permitted in The Cliffs at Sunrise. metal siding may be allowed with ACC approval.

7.7 Exterior Surface Materials and Windows

7.7.1 Consideration is to be given by the Owner/designer to the weathering capability of all exterior surfaces, material and items of construction.

7.7.2 Natural building materials like stone should be true stone or veneered entirely with an approved style stone.

7.7.3 Masonry walls will be permitted within The Cliffs at Sunrise.

7.7.4 No reflective glass is allowed. Although all glass is reflective at times, gray or bronze tinted glass is recommended to minimize reflections. Large decorative windows, special wall patterns or trim treatments shall be approved by the Committee during the early development of the design.

7.8 Colors & Finishes

7.8.1 Muted earth tone colors must be chosen to blend with the natural environment as seen from a distance. Darker colors that recede visually and blend with the native vegetation, tree bark and tree shadows are strongly encouraged. Light colors and anything white are not permitted. Subdued accent colors may be used pending committee approval on an individual basis. Color palettes that are representative of muted, natural earth tone colors will be encouraged.

7.8.2 *Details and Trim:* The color of details and trim offers the opportunity to establish individual identity and interest. These colors are to be subtle and are to avoid bright, vivid, or intense primary colors. Light colors and bright white are prohibited. Trim around windows and doors and at porches can either be the same as the primary wall material, or a light, soft color to reflect light and to enhance shadow patterns. Window frame colors will be earth tones.

7.8.3 Sizes of window components in multi-pane assemblies must be authentic or simulated to appear authentic, using internal spacer bars to simulate true divided lights. Highly- reflective glass is not permitted within Iron Horse. Stained glass and glass block may be used if not visible from the street.

7.8.4 Care should be given to the size, type and organization of all windows. They should never appear like surface “holes” cut into the side of a box.

Rather they should be architectural features and, wherever possible, grouped into recessed areas or bordered by projections which provide a shadow pattern. Scattered windows tend to create awkward face-like shapes and should be avoided. Deep window surrounds are preferred. The style of the window should generally be consistent on all sides of the home.

7.9 Roofs

7.9.1 Roofs shall have a minimum pitch of 4:12 (a slope of 4 inches vertical in 12 inches horizontal) and maximum pitch of 12:12 is required. Primary shed roofs shall have a single slope with a minimum pitch of 4:12. Secondary roofs and roofs over minor building elements and components such as porches and dormers may have lesser pitches, down to a minimum pitch of 4:12.

7.9.2 The ACC may, at its discretion, approve roof forms that have pitches of less than 4:12 if it determines that such lesser pitch is aesthetically compatible with the subject building's form and other roof areas, the building form and roofs areas on buildings in the vicinity of the subject building, and the overall design theme of the community.

7.9.3 Roofs play a very significant role in the architecture of Iron Horse, both functionally and aesthetically. From a distance roofs must blend-in visually with the overall color and texture of the surrounding vegetation and natural features of the Homesite.

7.9.4 All roofs must be a dark color in order to visually recede into the background and natural setting.

7.9.5 Sloped roofs are to be constructed of non-reflective materials which are commonly used in the area, colored in earth tones that complement the natural environment.

7.9.6 Vents, skylights, curbs and flashing and other acceptable equipment are to be painted to match the roof. Roof vents must be clustered and concealed as much as possible and generally located on the rear of the roof. Caution is suggested regarding the selection of material, color and its ability to weather for roof fascia and edge material. Roof flashing is to be of metal, painted to match the wall or roof. For skylights, care should be taken to select darker glass tones that blend with the roof. Skylights should not be visible from adjacent lots. Approval of skylight location and color is subject to Committee review on an individual basis.

7.9.7 Roof materials may be premium grade asphalt shingle, other primary roofing material will be by approval by the ACC. Asphalt shingle color will be dark in color in the brown to dark red range and must be approved by the ACC.

7.9.8 No tile roofs, aluminum roofs, metal roofs, or wood roofs will be permitted at The Cliffs at Sunrise. Metal may be used as an accent roofing material for the primary roof with the approval of the ACC and must be a textured metal of an approved color.

7.9.9 All materials and a detailed roof plan must be submitted for review and approved by the ACC before a final approval of the entire home will be granted.

7.10 Dormers

7.10.1 Dormers are allowed as both functional and aesthetic elements of the architecture. Nonfunctional dormers are discouraged. Placement, shape, and size of dormers should take into consideration the scale and proportions of the primary building as well as interior spaces and functions. Dormer materials may be selected from the exterior wall materials and roofing materials used on the building.

7.10.2 Dormers shall be relatively small in proportion to the overall scale of the roof. They should have gable or shed roofs.

7.11 Chimney Caps, Flues & Roof Vents

7.11.1 Custom Chimney caps are required to hide or disguise the typical pre-manufactured chimney caps or exposed flue liners. Pre-manufactured chimney caps exposed to view are not allowed.

7.11.2 Chimney shall be in proportion with the building.

7.11.3 Chimneys may be finished with stone, brick, or wood siding to match or strongly relate to the same material used on the building, or they may be finished with wood shingles or shakes.

7.11.4 Large flues and vents are to be consolidated when feasible and enclosed within a chimney-type enclosure. Small flues such as plumbing vents, kitchen cool top vents and roof vents may be exposed if painted to match the adjacent roof.

7.12 Gutters & Downspouts

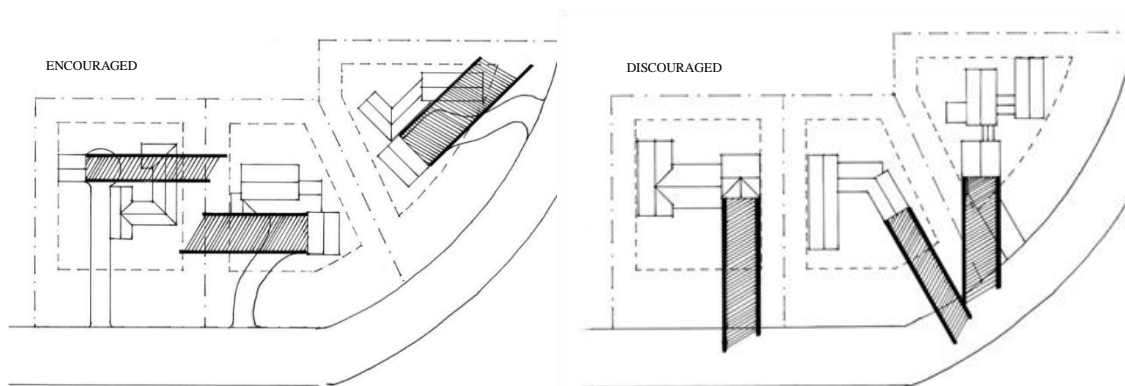
Gutters, downspouts, and flashing will be fabricated from metal in the light tans to brown color range.

7.13 Garages & parking

7.13.1 It is the intention of the Custom Lots in The Cliffs at Sunrise to minimize the impact of garages on the overall streetscape; therefore, side entry garages will be encouraged when lot size and topography permits.

7.13.2 Strong consideration should be given to the location and orientation of the garage so that garage doors avoid fronting directly onto the adjacent street. Various techniques should be considered, such as rotating the garage.

7.13.3 Garages doors should be appropriate to the style of the home in both look and material.



7.13.4 No more than 3 standard-sized, single-bay garage doors may be visible from the street. Double-bay doors are only permitted when turned 90 degrees from the street. One oversized garage door may be permitted by the ACC.

7.13.5 Garage location, access, and automobile turning movements must consider existing trees in the site layout. Garages and parking areas should also consider snow shed and snow storage to prevent injury to residents and damage to automobiles.

7.14 Porches

Perhaps more than any single component of residential design, porches provide a personality and welcome invitation to the community. They also extend the opportunity for outdoor living in the receptive climate of Iron Horse. Therefore, it is encouraged that single-Family Homes incorporate at least one porch.

7.15 Wide, overhung eaves required

The eaves are the edges of the roof which overhang the face of a wall and, normally, project beyond the side of a building. The eaves form an overhang to throw water clear of the walls and should be highly decorated as part of the craftsman architectural style.

7.16 Accessory Buildings

Accessory buildings are permitted but limited to those functions specifically permitted in other sections of the Guidelines. Accessory buildings that are permitted include barns, gazebos, playhouses, storage sheds, mother-in-law apartments (also known as casita or granny flat) and all other similar structures. Mother-in-law apartments are to be in architectural keeping with the design of the main home, be single story only and not exceed seven-hundred (700) Sq. feet in size, unless approved by the ACC. The mother-in-law apartment is not to be used for short term rentals like Airbnb. Sheds are approved but limited to a maximum size of 12 x 16 feet unless otherwise approved by the ACC. Accessory functions such as tennis courts, sport courts, etc. are restricted but may be approved by the ACC.

7.17 Play Equipment

Play equipment such as; children's houses, trampolines, swing sets and slides are permitted, but all equipment needs to be screened from public view.

7.18 Exterior Equipment & Satellite Dishes

7.18.1 Exterior Equipment. All exterior mechanical, electrical, and other utility equipment such as air conditioning units, metering devices, transformers, natural gas service lines, and the like shall be completely screened from public view and adjacent homes. Wall-mounted utilities shall be screened using landscaping or materials similar to the exterior walls or painted a color similar to the exterior wall material where the equipment is placed.

7.18.2 Satellite and Internet Dishes. Satellite and internet dishes are permitted if one meter or less in diameter. All satellite dishes located in inconspicuous areas to the fullest extent practical. Dish locations shall be shown on documents submitted to the ACC for approval. Location for any dish must be approved by the ACC prior to installation.





7.19 Hot Tubs

7.19.1 Built-in hot tubs should be completely integrated in the architectural design and not visible. Freestanding exterior hot tubs may be considered if they are completely screened from all public view.

7.19.2 Any hot tub, Jacuzzi, sauna or spa should be integral to a ground level deck/patio area and landscaping, located in the rear yard. Installed so that it is not immediately visible to adjacent property owners and not create a nuisance.

7.20 Exterior Building Lighting

7.20.1 Many of the Homesites in The Cliffs at Sunrise are located on hillsides looking over the Valley. Sensitivity to the visual impacts to other residents should be taken into consideration in design of exterior and interior lighting. All exterior building lighting within the community shall, at a minimum, comply with the overall intent and general requirements of the Cedar City Code. Owners and designers are encouraged to review the Code for specific exterior lighting requirements not described in these Guidelines. In general, the Code requires that exterior lighting be:

-  Architecturally integrated with the character of the residence.
-  Directed downward and away from adjoining properties and public areas.
-  Energy-efficient, and fully concealed or recessed so that the light source is not visible from off-site.
-  Lighting must not exceed 3,000k.

7.20.2 Lighting is the responsibility of the Owner. Lighting Guidelines which restrict the impact of visible illumination and light source glare on adjacent Homesites and community shall be followed.

7.21 Architectural Screening, Sun Shade Devices, Trellises

Approval from the Committee is required for special screening or shading devices. These elements are considered an integral part of each building elevation even though they may be installed after the building is completed or occupied. Any exterior roll down type window shading device must be integrated into the roof fascia design. Installation of these devices without prior approval of the Committee may require their removal at the Owner's expense. Awnings are not permitted unless approved by the ACC prior to installation. Brightly colored window shading, steel or plastic shutters, or wall mounted shading devices (inside or out) are not permitted. Attached retractable awnings are discouraged unless integrated into the overall structural design components of the covered porch system. Awnings and umbrellas must meet the intent of the approved List of Colors and Materials.

7.22 Air Conditioning Units, Electric Meters, & Misc. Controls

All ground mounted air conditioning is to be completely screened from public view and adjacent homes. Screening devices may be considered but must be approved in writing by the Committee before construction. The screening devices must be permanent and high enough to completely screen the equipment. No air conditioner

may be mounted on the roof unless it is completely screened by parapet walls and is approved in writing by the Committee. Wall-mounted utilities shall be screened using landscaping or materials similar to the exterior walls or painted a color similar to the exterior wall material where the equipment is placed.

8 LANDSCAPE GUIDELINES



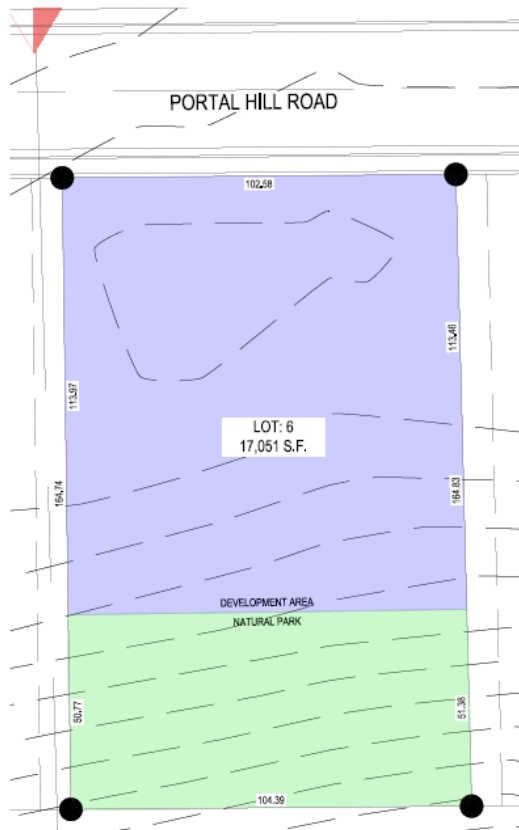
8.1 The Natural Park at The Cliffs at Sunrise

Preservation and protection of the undisturbed native vegetation is the goal of this zone. The Natural Park is typically found Behind the Development Area of individual lots, and maintenance of this zone is a community-wide concern. Areas disturbed by site development are to be restored to reflect the characteristics of the natural environment. Revegetation (See following section) of the Natural Park to restore areas disturbed by driveway grading or utility installation is to be done with Native plants and by hydroseeding. Some lots may not have a natural park section due to the size of the lot. Natural area will be indicated on a map provided by the developer.

8.2 The Development Area at The Cliffs at Sunrise

8.2.1 The Development Area is comprised of areas that will be disturbed during construction activity on individual Homesites, depending upon the size of the residence and the configuration of the lot. Because of the proximity of this zone to the residence, it is highly visible and most intensely treated. This area is the best-suited for non-native material.

8.2.2 Naturally-spaced trees and shrubs are required within this zone to provide scale for the home and as part of a spatial or visual transition between the house and the Natural Park.



8.3 Spill Slopes

Spill slopes are applicable to many of the lots at Iron Horse, but not all. If it is applicable it will be shown on the lot map that provides lot specific information. If a spill slope is applicable to a lot, then it will be necessary to install a retaining wall by the new lot owners. This is to be installed anywhere up to the line that enters the natural park area. No building or alterations can take place in the natural park area. The specific retaining wall block that is required will be provided by the ACC.

8.4 Revegetation at The Cliffs at Sunrise

Revegetation is required of all disturbed areas. Revegetation shall include planting of native trees and shrubs to a density similar to the surrounding Natural Park from plants listed on the Native Plant List. Hydroseeding of disturbed areas to provide erosion control and establish grasses, wildflowers and shrubs is required. The seeding specification includes both native grasses and shrubs that are intended to blend with the native vegetation.

8.5 Trees

8.5.1 For conifers, a minimum of 6' height is required with a single trunk and symmetrical form. For single-leader deciduous trees, a minimum caliper of

3-4" is required, along with symmetrical form. For multi-trunked trees, the minimum caliper shall be 1", with a minimum height of 8'.

8.5.2 A minimum of 4 new trees are required, 2 deciduous trees and 2 evergreen trees.







8.5.3 For both deciduous and evergreen trees, staking is an option but not required. After one full growing season all staking is to be removed. All trees shall be drip- irrigated with multiple emitters. Tree protection from Antlered animals (Deer & Elk) is recommended. A black fencing material (Tenex C-Flex Black, polypropylene at 7.5 feet tall x 1.77" x 1.99" netting) works best along with steel fence posts.

8.5.4 If a home is being built on multiple lots the requirement is increased by the number of lots being utilized.

8.5.5 Annual flower and vegetable beds are only permitted within 10' of the home, in the Immediate Landscape.

8.6 Lawn Areas in The Cliffs at Sunrise

In order to minimize the use of water and reinforce the integration of buildings with the natural environment the extensive use of lawns is not allowed. There is no secondary irrigation source, all water is potable water therefore irrigating lawns will be very expensive. Lawn areas are subject to the following design criteria:

-  The intent of the landscaping guidelines is to encourage the natural, native look of a high desert. Because of this, expansive lawns are not allowed.
-  Expansive lawns suitable for athletic activities are not allowed.
-  Lawns are only permitted within the Development Area.
-  Lawn areas should be small and designed to conserve water.
-  Curvilinear edges are encouraged in lieu of hardline edges or acute angles.
-  All turn areas must be continuously-edged and contained by mechanical means such as wood, metal, concrete, plastic, etc.

8.7 Front Landscape Completion Timeline

Within twelve (12) months of the time occupancy begins, it is required that all landscaping at the front of the home has been completed.

8.8 Hardscape Elements

8.8.1 *Patio Design*, Approved materials for patios include concrete pavers, stone, colored concrete. Patios are encouraged to be constructed on sand beds, as opposed to concrete slabs.


8.8.2 *Fire pits and fireplaces* should be contained within the patio and should be an integral part of the design of the Residence. Fireplaces built into patio walls require approval by the committee as the chimney element must be sited to avoid obstructing views from adjacent properties.






8.8.3 *Hot Tubs* are permitted if designed and located to be totally screened from adjoining properties, and roadways. Landscaping is the preferred method of screening hot tubs from view. Consideration should be given in designing pool and spa areas to provide for privacy for the Lot Owner's neighbors. Pools and spas should also be screened from the street or adjacent properties or Natural Parks. Pools must be properly enclosed and constructed according to City and County regulations. The pool, patio, any perimeter walls, fences and gates should be considered an integral part of the building elevations. Pool cannot be drained onto adjacent property. Screen walls which are an extension of the architectural design may be used.

8.8.4 Pools, In-ground pools within Iron Horse should be located and designed to minimize site disturbance. Temporary swimming pools are permissible in the backyard screened from direct public view, but for no more than 4 consecutive months in a calendar year. Pools are not permissible in the front yard for any reason. No pools shall be drained onto adjacent property.

8.8.5 *Fountains*. Re-circulating, reflecting pools within hardscape areas may be permitted, so long as they are unobtrusive and are less than 30" in height.

8.8.6 The Cliffs at Sunrise philosophy of the predominance of undisturbed natural landscape extends to nighttime as well as daytime views. To preserve the beautiful views of City lights and the night sky, which tend to be obscured by excessive local lighting, the Committee has established the following guidelines for residential site lighting:

-  Site lighting means lighting mounted either on the ground or on-site walls for the purpose of providing security or decorative accent lighting. Site lighting must be confined to areas enclosed by walls or in the vicinity of the main entrance.

-  Security lighting means lighting intended to provide bright general illumination of the area adjacent to a Residence during emergency situations. Security lighting should only be on during emergencies.
-  Building-mounted lighting means lighting built into or attached to buildings either on walls, ceilings, eaves or fascia's for the purpose of providing general illumination, area illumination, or security illumination. Building mounted lighting must be directed downward away from adjacent lots, streets and open spaces and may not be used to light walls or building elements for decorative purposes.
-  All exterior lighting must provide for significant shielding of light sources; no bare lamps or visual lighting source will be permitted.
-  Only lamps with a maximum of 3,000k output will be allowed unless express approval is received from the Committee.
-  No lighting will be permitted in the Natural Park or outside areas, unless enclosed by patio or building walls.

9 ARCHITECTURAL CONTROL COMMITTEE & PROCEDURES



9.1 Architectural Control Committee

9.1.1 The Architectural Control Committee for Iron Horse (ACC) shall be initially comprised of three members, per the Iron Horse CC&R's. A quorum for conducting ACC business will consist of two members. A simple majority vote of the members in attendance will be required to approve, table, or deny a design proposal.

9.1.2 Members of the ACC will evaluate all design proposals in accordance with the Iron Horse Design Guidelines, as amended from time to time. The ACC members will use their knowledge of design and building in a mountain environment to interpret the merits of each proposal and its compliance with the Iron Horse Design Guidelines.

9.1.3 The Iron Horse Design Guidelines contain both absolute requirements and relatively general goals for suggested design principles. Typically, the absolute requirements are used for issues such as building height and setbacks. The interpretation and application of the more general requirements will be left to the discretion of the ACC. This will allow judgment, discretion, and flexibility to address the unique characteristics of each Single-Family Homesite. It should be understood,

however, that the overall goal of the ACC is to apply the Design Guidelines in a fair and impartial manner to all properties in Iron Horse. Approval of any variances or deviations will take into consideration the special merit and design creativity, within an overall consistency with the Iron Horse Design Guidelines. ***No decision made by the ACC will set precedence for any other application presented to the ACC.***

9.1.4 Plans for new building, site, or landscape construction, as well as plans for renovation, expansion, or refurbishing of existing buildings and landscape must receive final approval by the ACC, prior to commencement of construction. Individual applicants are responsible for ensuring they are in possession of and compliance with the latest version of the Guidelines.

Any proposed changes from the ACC-approved plans must be presented and approved by the ACC prior to any construction of that change. This includes changes to the site, landscape, and building exteriors. All changes must be drawn by the original architect/home designer and/or presented by the general contractor.

9.2 Design Review Process

9.2.1 This portion of the Design Guidelines describes the Design Review Process. In order to help assure that the process is both positive and productive, there are a series of steps that begin prior to the start of design and carry to the completion of construction. Any additional steps required may result in additional review fees to cover the added time and cost of the review.

9.2.2 The following steps are to be followed for all projects within Iron Horse:

Sketch Plan Review

During this step, the ACC staff, followed by the ACC, will review the Sketch Plan for the project. The Sketch Plan must convey the design intent of the project within the context of the site. One set of full-sized drawings at the scales indicated shall be submitted for review. In addition, a set of PDF plans to be sent to the ACC by email.

-- Specific information to be submitted must include:

a. Existing Site Conditions - including topography, boundaries, setbacks, and easements.

b. Proposed Site Plan - showing property boundaries, easements, existing and new grading building footprints and roof overhangs, all other improvements, Area of

Disturbance, Maximum Site Coverage, and existing vegetation (1" = 20' minimum scale, with north indicated).

* Building footprints and driveway locations shall be staked for ACC review at the time of Sketch Plan submission.

C. Schematic Building Floor Plans - indicating walls, doors, windows, roof overhangs, elevations for each floor, etc.

D. Schematic Roof Plan - indicating roof pitch and direction of slope, materials, chimneys and major flues (called out as painted), ridges, valleys, hips and pitch breaks, and exterior walls below

E. Schematic Building Exterior Elevations - with exterior materials graphically called out and described

F. Building Height Calculations - illustrating compliance with the Guidelines and Cedar City Code (same scale as Exterior Elevations). Designs should include all hidden building elevations.

G. Schematic Landscape Plan - showing location, type, and driplines of vegetation to remain, vegetation to be removed, and proposed vegetation; Area of Disturbance; and erosion control measures

H. Roof Material Samples – to show quality and color of the proposed materials.

Responsibility: Applicant

-- ACC Staff reviews Sketch Plan and notifies Applicant of the results in writing whether or not the application is going to be forwarded along to the ACC, or whether there are issues regarding the Sketch Plan that must be addressed prior to review by the ACC.

Timing: Within approximately two weeks of Applicant's request.

-- ACC reviews Sketch Plan and notifies Applicant of the results in writing.

9.3 Final Plan Review

-- Within this step, the ACC will review the Applicant's architectural plans— prepared and stamped by a licensed Architect or Engineer—for the building(s), site improvement plans, and landscape plans that have been prepared to describe in detail, the design of the project. Applicants will be notified in writing of the ACC's

Final Review Comments. The Final Plan Submittal shall convey the design intent in enough detail to illustrate the final design of the constructed project. Two sets of full-sized drawings at the scales indicated shall be submitted for review. In addition, a complete set of PDF plans are to be sent to the ACC via email. Specific information be submitted must include:

A. Site Plan – indicating access drive and parking, existing trees to be saved and those to be removed, site grading and drainage (with existing and final topography), utility locations and tie-in points, setbacks, Area of Disturbance, Maximum site Coverage calculations, property boundaries and easements, building configuration and roof plan, decks and terraces.

B. Foundation Plan – indicating top and bottom elevations of all walls, unexcavated areas, and crawl space areas.

C. Building Floor Plans - indicating overall building dimensions, room layouts, mechanical rooms and flue/duct chases, window and door locations, roof overhangs, meters and utility connections, satellite dish locations, and exterior lighting systems locations and cut sheets.

D. Roof Plan – indicating roof pitch and direction of slope, materials, chimneys and major flues (called out as painted), ridges, valleys, hips and pitch breaks, ridge vents (if used), snow guards and clips, gutters, and exterior walls below

E. Exterior Building Elevations – indicating building height (with natural grade shown dashed); exterior materials indicated and described for walls, stairs, railings, flashing, chimney and sill caps, etc.; window and door locations and configurations; all exterior trim with sizes indicated; exterior express structural components; exterior lighting, meters and utility connections, satellite dish locations, shadow patterns (on separate drawings), and finished grade.

F. Building Sections - indicating roof, walls, floors, porches, terraces, patios, decks, exposed structure, room names, and finished grade (1/4" = 1'0" min. scale).

G. Landscape Plan - indicating existing trees to be saved and removed (show driplines); planting plan by species and size of all proposed trees, shrubs and ground cover; all "hardscape" and deck areas; driveway, maneuvering, and parking areas; retaining walls; fences and privacy walls; exterior lighting (and cut sheets); and irrigated areas on Irrigation Design Plan (1" = 20' minimum scale, with north indicated).

H. Application and Fees - with Application wet-stamped by the licensed Architect or Engineer who prepared the submittal. The application fee is \$250.

9.4 Resubmittals

-- In the event of any disapproval by the ACC, of either a Preliminary or Final Submittal, a resubmission of plans should follow the same procedure as an original submittal. Any additional Architectural Committee fee shall accompany each submittal as required by the ACC.

Design approvals for each review step remain valid for one year only. Therefore, if an application lags the fulfillment of a preceding review phase by more than twelve months, that prerequisite steps must be repeated, unless waived by the ACC.

9.5 Architectural Control Committee Meeting Dates

The Iron Horse Architectural Control Committee will generally convene on a semi-monthly basis for project review sessions, on the 1st and 3rd Tuesday of the month. Results of the project review sessions will be made in writing to all Applicants who submitted for Sketch or Final Plan Reviews in a timely fashion. Applicants who submit projects for review at least two weeks prior to the monthly Meetings will be accommodated. Projects submitted less than one week before meetings may be accommodated, at the discretion of the ACC. The ACC can set additional meetings as required to accommodate as they see fit.

9.6 Variances to Design Guidelines

Requests for variances to the Iron Horse Design Guidelines shall be made in writing, at the time of Sketch Plan Submittal for the affected project. The ACC has sole discretion on the granting of variances under its control, and some regulations cannot be waived, regardless of hardship. Variances are generally discouraged, and Applicants must show undue hardship under regulations contained herein. Certain guidelines are required by the Cedar City Code and may fall under the City's jurisdiction. ACC responses to variances will be made in writing to the Applicant, approximately three weeks after the initial request. Any variance granted by the ACC cannot be used as precedent in subsequent requests by any applicant.

9.7 Architectural Review Committee Membership and Duties

The Committee shall initially consist of three members, per the Iron Horse CC&R's. Only the Iron Horse Architectural Review Committee will be responsible for enforcement of the Guidelines described herein, and for amending the Guidelines

from time to time. Membership length and makeup shall be solely at the Committee's discretion, within the requirements of the Iron Horse CC&R's.

9.8 Committees On-going Inspections of Works in Progress

The committee shall not be restricted in its compliance inspections of any Iron Horse homesite that is under construction. The committee or an authorized agent, may inspect a homesite without notification and may issue a notice whenever necessary. This notice will specify which aspects of an owner's homesite is not in strict compliance of the committee-approved plans, guidelines, and/or the governing documents (CC&Rs). Once a notice is issued, corrections will need to take place to ensure that all improvements are in line with the ACC.

10 CONSTRUCTION REGULATIONS



10.1 Construction Commencement

10.1.1 No construction may begin within Iron Horse until the Final Construction Documents have been submitted to and approved by the ACC, the Building Permit has been issued by Cedar City, the Pre-Construction Meeting has taken place, and the compliance deposit has been received by the ACC. Final ACC approval is valid for one calendar year from the date of issue. If no construction has commenced after one year, Applicants must re-submit their proposals for re-approval by the ACC prior to construction start.

10.1.2 Once construction begins, it shall proceed forward at a reasonable pace until construction is complete. If a project is delayed with no work for what the ACC deems is an unreasonable amount of time (usually thirty days or more), fines shall be applied until construction renews and the ACC may request the site be re-vegetated until work commences again.

10.2 Protection of Existing Natural Environment in The Cliffs at Sunrise

In order to ensure that the natural landscape of every Homesite is always preserved and the common nuisances which are inherent in any Site construction project are kept to a minimum, the regulations in this Section shall be enforced during any and all Homesite construction projects. Every Homesite Owner shall always be responsible for any and all Damage(s) resulting from violations of the Guidelines (including the following construction regulations) occurring in relation to such Owner's Homesite, whether the specific violation was caused by the Owner or such Owner's Architect(s) and/or Builder(s) performing within Iron Horse (regardless of whether the activities) causing the violation(s) are specifically located on the Owner's Homesite or elsewhere within Iron Horse).

10.3 Development Area




The Development Area, as it defines the boundary for the limit of development (L.O.D.) on each Homesite, is the area within which all activities related to Homesite improvements must be confined.

10.4 Excavation

Excavation will be limited to the development area.

10.5 Tree Removal Guidelines

Tree removal is to be done only with the approval of the ACC according to the following Guidelines:

-  Within the Natural Park, tree removal is to be avoided wherever possible, while still maintaining the health of the trees. In limited instances, the ACC may approve tree removal or thinning within the Natural Park for view corridors or solar exposure, provided it does not unreasonably increase visibility of buildings and other Improvements from off-site.
-  The ACC may approve tree removal and/or selective tree thinning within the Development Area in order to accommodate buildings, driveways, sun exposure and selected views.
-  Unauthorized tree removal is subject to fines up to \$2,000.00 per tree, payable to the HOA.

10.6 Construction & Sale Signs

10.6.1 Standardized construction signs are required for all exterior construction projects and homes within Iron Horse. The sign must be approved by the ACC. The sign must be removed when construction is complete.

10.6.2 All sales signs must be no larger than three feet (3') by two feet (2') in size and need to be approved by the ACC.

10.7 Construction Parking

In an effort to foster Iron Horse as a quiet residential community and retreat for its residents, construction impact shall be kept to an absolute minimum. All construction parking within Iron Horse shall be either on-site within the approved Area of Disturbance, or--insofar as practical--on the street directly in front of the lot under construction. Street parking shall occur entirely on the paved portions of streets, within the area defined by extending the lot's property lines. To protect the fragile sage and wild grasses of the neighborhood, construction parking shall not take place outside the designated Area of Disturbance. Parking is also prohibited on street shoulders or in front of neighboring lots.

10.8 Construction Activity Access

Each contractor will be responsible to make sure their deliveries have access to the job site.

10.9 Damages During Construction

Each owner is responsible for protecting any subdivision improvements including, but not limited to the following: curbs, gutters, drains, streets, and sidewalks. Any damages caused by the owner(s) builder(s) or contractors will need to be repaired to the same level as before the damage was caused. The owner(s) of the site will be held financially responsible for all site restoration.

10.10 Material Deliveries

Each Contractor is responsible for their deliveries.

10.11 Construction Site Management

10.11.1 All construction sites shall be kept clean and free of debris, with no trash or debris leaving the jobsite. Dust and dirt shall also be controlled and kept on-site, using water trucks or similar methods. Contractors are expected to address mud control at intersection of driveway and road and mitigate for tracking mud and debris onto street. Concrete wash-out from any source shall be performed on-site within a wash out pan provided by each contractor. Each site is to have a wash-out pan located in the Area of Disturbance. Washout areas shall be away from any catchment basins or drain inlets that may get clogged by the concrete. Construction site management shall follow the approved Construction Management Plan submitted for Final Review.

10.11.2 Regardless of whether they are kept in vehicles or crates, pets are not permitted within Iron Horse or on construction sites for non- residents.

10.11.3 Under no circumstance is any contractor, sub-contractor, or delivery to stop or park in the native areas behind curb. Parking is allowed only on the side of the road on which the project is being built. Material storage on site is to be placed as shown on the approved mitigation plan for each project.

10.11.4 An approved restroom facility is to be placed as per the mitigation plan and prior to the commencement of any construction taking place.

10.11.5 An approved dumpster is to be placed as per the mitigation plan and prior to the commencement of any construction taking place.















10.12 OSHA Compliance





Homesite Owner is responsible for any and all applicable Occupational Safety and Health Act (OSHA) regulations and guidelines being observed at all times by every person related to the construction or installation of improvements on the Homesite.

11 APPENDICES


















APPENDIX 1: APPROVED LIST OF EXPOSED EXTERIOR COLORS & MATERIALS

Materials Allowed





-  Stained wood
-  Oil Finishes (Penofin)
-  Tinted Glass
-  Stone (Indigenous)
 - Brick
 - Hardie Board or Similar
 - Wood shake siding
-  Heavy Timbers
-  Peeled Log beams, columns, Trim accents
-  Cedar Shingles*
-  Roof Materials
 - Cedar Shakes**
 - Imitation Shakes*
 - Aluminum Zinc Alloy
 - Premium Asphalt shingles (NOTE: For asphalt to be considered, additional materials and additional architectural flourishes will be required. All materials must be submitted for review and then approved by the ACC before a final approval of the entire home will be granted. Example: **CertainTeed Presidential Shake TL**)*
-  wood*
-  Windows
 - Wood, dark stained
 - Wood, metal clad with approved dark color
 - Aluminum, dark bronze or black anodized vinyl, *approved colors
-  Steel Shapes, I, tube, L, [
-  Prefinished Galvalume metal flashing, panels – dark color
-  Patinated metal finishes (dark)
-  Faux an antiqued finishes (muted)

-  Siding Alternatives: Wood Rain Screen Systems
-  Wood: Rain Screen Systems
-  Lamboo Matayerde, FSC Certified Products
-  Precast concrete

Materials Prohibited









-  Painted Siding & Trim
-  Faux Stone
-  Stucco
-  Exposed Concrete
-  Corrugated tin walls and roofs
-  Veneer Plywood
-  All unfinished materials
-  All CMU
-  Log Structures and walls, log cabins
-  Low Quality Asphalt & Composition shingles
-  Red Spanish Tile
-  Reflective Metal roofing
-  Bright copper color / true copper material is acceptable
-  Mirrored & Reflective Glass
-  Types of Windows
 - Light colored frames
-  Aluminum, clear & white
-  Oxidized finishes, unfinished*

Colors Allowed






-  Dark & medium tone colors
-  Natural dark zinc color (browns)
-  Earth tone colors, natural coloration*
-  Muted colors

-  Matte, dull, muted finishes
-  Kynar 500 or Hylar 5000 for galvanized or Galvalume coatings: Aged Bronze, Medium Bronze, Dark Bronze, Copper Brown, Charcoal Grey, Matte Black
-  Natural Finishes
-  Transparent & semi-transparent finishes



Colors Prohibited

-  Light colors with a white base
-  White or any variation
-  Primary colors, Bright colors
-  Yellow
-  Gold
-  Silver
-  Glossy, Shiny finishes
-  Opaque finishes & stains

Sitework Allowed



-  Concrete (all finishes)
-  Precast concrete & interlocking pavers
-  Stone, flagstone
-  Treated timbers
-  Gravel rock beds

Systems Allowed







-  Design integrated photovoltaic cells specifically approved by ACC.
-  Satellite Dishes (less than one meter; Fiber-optic cable TV service is available, and the ACC encourages homeowners to use this service, however, if an owner would like a satellite TV dish, the location must be

indicated on the construction drawings and the location, along with screening elements, must be approved by the ACC).

Sitework Prohibited

-  Gravel driveways
-  Light colored stone retaining walls

Systems Prohibited

-  Solar collectors – thermal
-  Solar Collectors – PV
-  Wind generators
-  Roof mounted HVAC units
-  Transmission antennas and devices
-  All other items not specifically approved by ACC

* Indicates colors, materials or finishes which will be considered and may or may not be allowed in special situations at the sole discretion of ACC.

Appendix 2: Home Application Form

Development Team LLC

Application Form

Development Team LLC
216 S. 200 W.
Cedar City, Utah 84721

General Information

Submission Date: _____ Date of ACC Meeting: _____ Type of Review: ☐ Sketch ☐ Final ☐ Resubmitted
Lot #: _____ Street Name: _____ Physical Address: _____

Applicant Information

Name of Applicant: _____ Company Name: _____
Cell/Work Phone #: _____ Email Address: _____
Address: _____ City, State, Zip: _____

Architect Information



























Name of Architect: _____ Contact Name: _____
Phone #: _____ Email Address: _____
Address: _____ City, State, Zip: _____

Project Information

Total Lot Size: _____ Acres (or Square Feet)
Allowable Total Maximum Site Coverage: _____ Square Feet
Proposed Total Maximum Site Coverage: _____ Square Feet
Number of Bedrooms: _____ Each
Number of Parking Spaces *(including garages)*: _____ Each
Allowable Total Floor Area: _____ Square Feet
Proposed Total Floor Area: _____ Square Feet
Allowable Maximum Building Height: _____ Feet
Proposed Maximum Building Height: _____ Feet

Appendix 3: Checklists for Reviewing Submittals

Step 1: Sketch Plan Review

- _____ **Completed Application**
- _____ **Non-refundable Architectural Control Fee: \$250**
- _____ **3 sets of full-sized drawings (rolled, not folded)**
- _____ **Existing Site Conditions (1" = 20')**
 -  Topography
 -  Boundaries
 -  Setbacks
 -  Easements
- _____ **Proposed Site Plan (1" = 20')**
 -  Property boundaries
 -  Easements
 -  Existing and new grading
 -  Building footprints with roof overhangs
 -  Area of Disturbance
 -  Maximum Site Coverage (calculations)
 -  Existing vegetation
- _____ **Schematic Building Floor Plans (1/8" = 1'-0")**
 -  Walls, doors, and windows
 -  Roof overhangs
 -  Elevations for each floor
- _____ **Schematic Building Roof Plans (1/8" = 1'-0")**
 -  Roof pitch and direction of slope
 -  Materials
 -  Chimneys and all flues (called out as painted)
 -  Ridges, valleys, hips and pitch breaks
 -  Exterior walls below (dashed)
- _____ **Schematic Building Exterior Elevations (1/8" = 1'-0")**
 -  Exterior materials called out
- _____ **Building Height Calculations (same scale as Exterior Elevations)**
 -  Must illustrate compliance with the Guidelines and Cedar City
- _____ **Schematic Landscape Plan (1" = 20')**
 -  Location and type of existing vegetation
 -  Location and type of proposed vegetation
 -  Area of Disturbance
 -  Erosion control measures
- _____ **Roof Material Samples (Actual Sample(s) Require)**
 -  Must show full color range variations and high-quality construction









Step 2: Final Plan Review

_____ **Completed Application (wet-stamped by licensed Architect)**




_____ **2 sets of full-sized drawings (rolled, not folded)**

_____ **Submittal prepared by licensed Architect**





_____ **Site Plan (1" = 20')**

- | | |
|---|---|
|  Access drive and parking |  Existing and final topography |
|  Trees to be saved and trees to be removed |  Utility locations and tie-in points |
|  Site grading and drainage |  Setbacks |
| |  Area of Disturbance |
| |  Decks and terraces |






_____ **Foundation Plan (1/4" = 1'-0")**

- | | |
|--|---|
|  Top and bottom elevations of all walls |  Unexcavated areas |
| |  Crawl space areas |

_____ **Building Floor Plans (1/4" = 1'-0")**

- | | |
|---|---|
|  Overall building dimensions |  Roof overhangs |
|  Room layouts |  Meters and utility connections |
|  Mechanical rooms and flue/duct chases |  Exterior lighting systems (locations shown and cut sheets provided) |
|  Window and door locations | |


_____ **Roof Plan (1/4" = 1'-0")**

- | | |
|--|--|
|  Indicate all roof slopes and direction of slope |  Show roof materials |
|  Call out ridges, valleys, hips, and pitch breaks |  Indicate chimneys and mechanical flues |
| |  Show exterior walls below (dashed) |









_____ **Exterior Building Elevations (1/4" = 1'-0")**

-  Building height calculations

_____ **Building Sections (1/4" = 1'-0")**

-  Showing roofs, walls, floors, porches, terraces, patios, decks, exposed structure, room names, and finished grade

_____ **Landscape Plan (1" = 20')**

- | | |
|---|--|
|  Existing trees to be saved and those to be removed |  Retaining walls |
|  Proposed plantings (trees, shrubs, and groundcover) shown by species and size |  Fences and privacy walls |
|  All hardscape and deck areas |  Exterior lighting (and cut sheets) |
|  Driveway and parking areas |  Irrigated areas shown on Irrigation Plan |

Appendix 4: Final Inspection Request Form

Development Team LLC

Development Team LLC
216 S. 200 W.
Cedar City, Utah 84721

Final Inspection Request Form

Date: _____ Best Time Available: ☐ Morning ☐ Afternoon ☐ Evening Time: _____ Day: _____

Home Owner Name: _____ Lot #: _____ Unit #: _____

Property Address: _____

Phone Number: _____ Cell/Work Phone: _____

Plan Date Stamp: _____ General Contractor: _____

Type of Inspection Requested

- ☐ Building & Wall Foundation Survey and Inspection
 - Site setbacks/Interior yard expansion & encroachment staking
 - Rough utility locations
- ☐ Excavation Inspection
 - Including foundation elevation
- ☐ Color & Material Inspection
 - Exterior finish approval
 - Stone work approval
 - Final flatwork/driveway/surface and area approval
 - Finish exterior wall material & color (mock up or partial sample) approval
 - Landscaping approval
- ☐ Final Approval and Inspection

Inspection Requirements

For each inspection, please have the following present and available at time of inspection for inspection to be valid:

- ☐ Approved stamped plans and all necessary reports and materials needed for the requested inspection (ie: certifications, surveys, and color samples).
- ☐ Allow for a 2-day lead time when scheduling an inspection.

Name: _____
(person requesting inspection)

Signature: _____