

# ALDARRA DIVISION NO. 3

SEC. 12, TWP. 24N., R. 6E., W.M. & SEC. 6 & 7, TWP. 24N., R. 7E., W.M.  
KING COUNTY

WASHINGTON

## DEDICATION

KNOW ALL PEOPLE BY THESE PRESENTS that we, the undersigned owners of interest in the land hereby subdivided, hereby declare this plat to be the graphic representation of the subdivision made hereby, and do hereby dedicate to the use of the public forever all streets and avenues not shown as private hereon and dedicate the use thereof for all public purposes not inconsistent with the use thereof for public highway purposes, and also the right to make all necessary slopes for cuts and fills upon the lots and tracts shown thereon in the original reasonable grading of said streets and avenues, and further dedicate to the use of the public all the easements and tracts shown on this plat for all public purposes as indicated thereon, including but not limited to parks, open space, utilities and drainage unless such easements or tracts are specifically identified on this plat as being dedicated or conveyed to a person or entity other than the public, in which case we do hereby dedicate such streets, easements, or tracts to the person or entity identified and for the purpose stated.

Further, the undersigned owners of the land hereby subdivided, waive for themselves, their heirs and assigns and any person or entity deriving title from the undersigned, any and all claims for damages against King County, its successors and assigns which may be occasioned by the establishment, construction, or maintenance of roads and/or drainage systems within this subdivision other than claims resulting from inadequate maintenance by King County.

Further, the undersigned owners of the land hereby subdivided, agree for themselves, their heirs and assigns to indemnify and hold King County, its successors and assigns, harmless from any damage, including any costs of defense, claimed by persons within or without this subdivision to have been caused by alterations of the ground surface, vegetation, drainage, or surface or sub-surface water flows within this subdivision or by establishment, construction or maintenance of the roads within this subdivision. Provided, this waiver and indemnification shall not be construed as releasing King County, its successors or assigns, from liability for damages, including the cost of defense, resulting in whole or in part from the negligence of King County, its successors, or assigns.

This subdivision, dedication, waiver of claims and agreement to hold harmless is made with the free consent and in accordance with the desires of said owners.

IN WITNESS WHEREOF, we set our hands and seals.

## VESTED IN:

ALDARRA DEVELOPMENT LLC, A WASHINGTON LIMITED LIABILITY COMPANY

Burnstead Construction Co., Member

Chaffey Homes, Inc., Member

By: *Mary Jane Shee*  
Title President

By: *Brian J. C. B.*  
Title CFO

John F. Buchan Construction, Inc., Member

US Bank, National Association  
"as lender only, not owner"

By: *Daniel Shantz*  
Title President

By: *Kathy L. Pace*  
Title V.P.

(See Sheet 2 of 10 for Acknowledgements)

## FINANCE DIVISION CERTIFICATE:

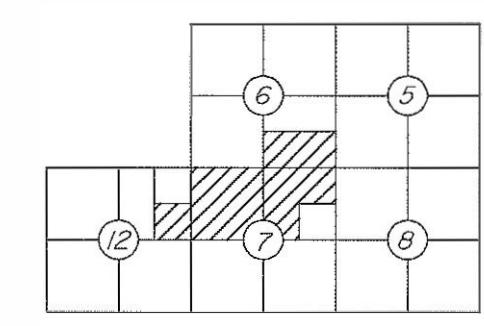
I HEREBY CERTIFY that all property taxes are paid, that there are no delinquent special assessments certified to this office for collection and that all special assessments certified to this office for collection on any of the property herein contained dedicated as streets, alleys, or for any other public use, are paid in full.

This 20th day of November, 2003.

## FINANCE DIVISION

Ken Guy  
Manager, Finance Division

*Jessie C. Yetter*



TWP. 24N., R. 6E & 7E., W.M.

## APPROVALS:

### DEPARTMENT OF DEVELOPMENT AND ENVIRONMENTAL SERVICES

Examined and approved this 20th day of November, 2003

*John D. ... PE.*  
Development Engineer

Examined and approved this 20th day of Nov., 2003

*J. ...*  
Manager, Land Use Services Division

### KING COUNTY DEPARTMENT OF ASSESSMENTS

Examined and approved this 20th day of NOVEMBER, 2003

SCOTT NOBLE  
King County Assessor

009800-1320/1370 AND  
Account Number 009801-0020

*James O. ...*  
Deputy King County Assessor

### KING COUNTY COUNCIL

Examined and approved this 24th day of November, 2003

*Gothia Sullivan*  
Chairperson, King County Council

Attest: *Purnellis*  
Clerk of the Council

### LEGAL DESCRIPTION

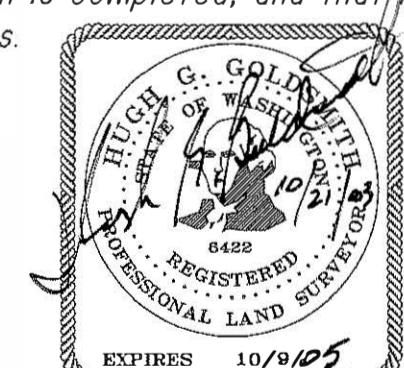
Tracts AE and AM, Aldarra Division No. 1, as recorded in Volume 199 of Plats, Pages 72 through 88, inclusive, Records of King County, Washington; and Tract AJ-2 of Aldarra Division No. 2, as recorded in Volume 206 of Plats, Pages 8 through 11, inclusive, Records of King County, Washington.

### SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY that this Plat of Aldarra Division No. 3 is based upon an actual survey and subdivision of Sections 6, and 7, Township 24 North, Range 7 East, Willamette Meridian and Section 12, Township 24 North, Range 6 East, Willamette Meridian, that the courses and distances are shown correctly thereon; that the monuments will be set and the lots and tracts will be staked correctly on the ground as construction is completed; and that I have fully complied with the provisions of the platting regulations.

*Hugh G. Goldsmith*  
Date 10/21/03

Hugh G. Goldsmith  
Certificate No. 6422  
Hugh G. Goldsmith & Assoc., Inc.  
1215 114th Ave. S.E.  
Bellevue, Washington 98004  
Telephone (425) 462-1080



### RECORDING CERTIFICATE:

Recording No. 20031125000507  
Filed for record at the request of the King County Council this 25th day of November, 2003, at 5 minutes past 11:00 AM and recorded in Volume 218 of Plats, pages 84 - 93, records of King County, Washington.

### DIVISION OF RECORDS AND ELECTIONS

*John L. ...*  
Manager  
Superintendent of Records

Portion of the S 1/2 of the SE 1/4 of Sec. 6; the N 1/2 of the NE 1/4 and the SW 1/4 of the NE 1/4 and the NW 1/4 of Sec. 7 all in Twp. 24N., R. 7E., W.M.; and the SE 1/4 of the NE 1/4 of Sec. 12, Twp. 24N., R. 6E., W.M.



1215 114th Avenue SE, Bellevue, WA 98004, P.O. Box 3565, Bellevue, WA 98009  
OFFICE: (425) 462-1080, FAX: (425) 462-7719, staff@goldsmithengineering.com

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KING COUNTY

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## ACKNOWLEDGEMENTS:

STATE OF WASHINGTON

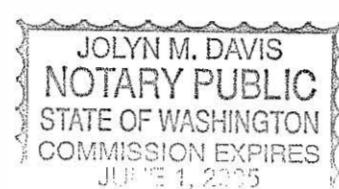
COUNTY OF KING

} ss

I certify that I know or have satisfactory evidence that Mary Jane Slye.....  
signed this instrument, on oath stated that she was authorized to execute this instrument  
and acknowledged it as the President.....of Burnstead Construction Co.,  
Member of Aldarra Development LLC, to be the free and voluntary act of such party for the  
uses and purposes mentioned in the instrument.

Dated October 30, 2003

Signature of Notary Jolyn M. Davis  
Printed Name of Notary Jolyn M. Davis  
Residing at Mill Creek  
My Appointment expires 6-1-2005



STATE OF WASHINGTON

COUNTY OF KING

} ss

I certify that I know or have satisfactory evidence that Brady Hansen.....  
signed this instrument, on oath stated that he was authorized to execute this instrument  
and acknowledged it as the CFO.....of Chaffey Homes, Inc., Member  
of Aldarra Development LLC, to be the free and voluntary act of such party for the uses  
and purposes mentioned in the instrument.

Dated 10/29/03

Signature of Notary Aileen D. Zavales  
Printed Name of Notary Aileen D. Zavales  
Residing at Kirkland  
My Appointment expires 10-30-04



STATE OF WASHINGTON

COUNTY OF KING

} ss

I certify that I know or have satisfactory evidence that DENNIS E. THORNTON.....  
signed this instrument, on oath stated that HE was authorized to execute this instrument  
and acknowledged it as the PRESIDENT.....of John F. Buchan Construction,  
Inc., Member of Aldarra Development LLC, to be the free and voluntary act of such party  
for the uses and purposes mentioned in the instrument.

Dated October 27, 2003

Signature of Notary Carol L. Rozyk  
Printed Name of Notary CAROL L. ROZYK  
Residing at REMOND  
My Appointment expires 6-17-04



STATE OF WASHINGTON

COUNTY OF KING

} ss

I certify that I know or have satisfactory evidence that Kelly L. Rose.....  
signed this instrument, on oath stated that she was authorized to execute the instrument  
and acknowledged it as Vice President of US Bank, National Association, to be the free and  
voluntary act of such party for the uses and purposes mentioned in the instrument.

Dated 11/5/03

Signature of Notary Kenneth H. Hagen  
Printed Name of Notary Kenneth H. Hagen  
Residing at Seattle, Washington  
My Appointment expires 7/1/06



## SURVEY PROCEDURE & PRECISION

1. Surveying performed in conjunction with this plat utilized the following equipment and procedures:

A. Field Traverse and Global Positioning System survey.

B. Electronic Total Stations, including Topcon GTS-303D, Topcon GTS-3C, or Nikon DTM-430.

C. Leica System 300 GPS equipment.

D. All Field traverse work complies with current standards as outlined in WAC 332-130-070, 080, and 090. All instruments maintained to manufacturer's specifications as required by WAC 332-130-100.

2. Interior Lot Surveys: Same as above.

3. Parcel and Tract Corner Designations:

Rear Corners: 1/2" dia. 24" long rebar with cap LS 6422

Front Corners: Lead and tack in concrete curb, on property line extended.

4. All units shown are expressed in U.S. Survey Feet (ground distances, not grid distances), unless otherwise specified.

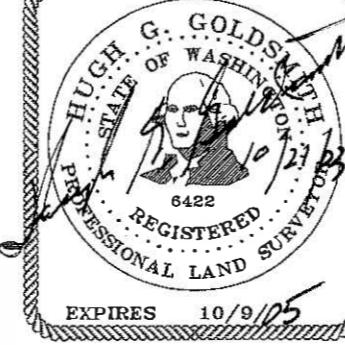
5. All title information shown on this map has been extracted from information contained in Chicago Title Insurance Company Plat Certificate, Order No 1072472, dated January 28, 2003 and supplemental commitments dated November 5, 2003 respectively. In preparing this map, Hugh G. Goldsmith and Associates, Inc., has conducted no independent title search, nor is Hugh G. Goldsmith and Associates, Inc., aware of any title issues affecting the property other than those shown on the map and disclosed by the referenced Chicago Title commitment. Hugh G. Goldsmith and Associates, Inc., has relied wholly on Chicago Title's representation of the title's condition to prepare this survey and therefore Hugh G. Goldsmith and Associates, Inc., qualifies the map's accuracy and completeness to that extent.

## Utility Easement Provisions

An easement is hereby reserved for and granted to the regional telephone provider, regional cable television provider, Puget Sound Energy and the Sammamish Plateau Water and Sewer District, and their respective successors and assigns, under and upon the exterior 10 feet, or as shown hereon, parallel with and adjoining the frontage of all streets dedicated as a part of this plat, of all lots and tracts, except Tracts U and W, in which to install, lay, construct, renew, operate and maintain water system facilities, sewer system facilities, minor sidewalk improvements constructed around mailbox stands, private storm sewer facilities, underground conduits, mains, cables and wires with necessary facilities and other equipment for the purpose of serving this subdivision and other property with electric, telephone, TV, gas, water, sewer and other utility service, together with the right to enter upon the lots at all times for the purpose herein stated.

In addition to the beneficiaries stated above, the underlying property owners adjacent to said strips shall have the right to enter said strip to perform maintenance, repair or replacement of sanitary sewer service lines and water service lines, from which said property owners directly benefit, in the original "as constructed" location.

These easements entered upon for these purposes shall be restored as near as possible to their original condition by said entering entity. No lines or wires for the transmission of electric current, telephone or cable TV shall be placed or be permitted to be placed upon any lot unless the same shall be underground or in conduit attached to a building.



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Since 1958

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## Water and Sewer Easement Provisions

An easement is reserved and granted to SAMMAMISH PLATEAU WATER AND SEWER DISTRICT over, under, through and upon the easements shown on this plat described as "Sanitary Sewer Easement" or "Water Easement" for access, ingress, egress and to install, lay, construct, maintain, inspect, repair, remove, replace, renew, use and operate sanitary sewer mains and water mains and appurtenances for this subdivision and other property.

Water Easement on Tract W, Adjacent to Lot 74.

Sanitary Sewer Easement Across Tract U

The exterior 10 feet, parallel with and adjoining the frontage of all streets dedicated as a part of this plat except Tracts U and W. (See utility Easement Provisions Sheet 2)

TOGETHER WITH the right to enter said easements at all times, with all necessary maintenance and construction equipment, for the purposes stated. Structures including fences and rockeries shall not be constructed on any area reserved for these easements. The Grantor covenants that no structure shall be erected over, upon, or within, and no trees, bushes or other shrubbery shall be planted in the area of ground for which the easement in favor of Sammamish Plateau Water and Sewer District has been provided herein. Said easement shall be restored by the utility, as nearly as reasonably possible, to its condition prior to any material disturbance from construction, operation, maintenance, repair, or replacement of water and sewer facilities.

## Public Drainage Easement Restrictions

Structures, fill, or obstructions (including but not limited to decks, patios, outbuildings, or overhangs) shall not be permitted beyond the building setback line of the public drainage easements. Additionally, grading and construction of fencing shall not be allowed within the public drainage easements shown on this plat map unless otherwise approved by King County DDES or its successor agency.

## King County Drainage Easement and Covenant

All drainage easements within this Plat, not shown as "Private", are hereby granted and conveyed to King County, a political subdivision of the State of Washington, for the purpose of conveying, storing, managing and facilitating storm and surface water per the engineering plans approved for this Plat by King County, together with the right of reasonable access (ingress and egress), to enter said drainage easement for the purpose of inspecting, operating, maintaining, repairing and improving the drainage facilities contained therein. Note that except for the facilities which have been formally accepted for maintenance by King County, maintenance of drainage facilities on private property is the responsibility of the property owner.

The owners of said private property are required to obtain prior written approval from King County Property Services, and any required permits from the King County Department of Development and Environmental Services for activities such as clearing and grading, prior to filling, piping, cutting or removing vegetation (except for routine landscape maintenance such as lawn mowing) in open vegetated drainage facilities (such as swales, channels, ditches, ponds, etc.), or performing any alterations or modifications to the drainage facilities, contained within said drainage easement.

This easement is intended to facilitate reasonable access to the drainage facilities. This easement and covenant shall run with the land and is binding upon the owners of said private property, their heirs, successors and assigns.

## Private Drainage Easement Provisions

All lots shall be subject to an easement 10 feet in width, along all front property lines, 2.5 feet in width, parallel with and adjacent to all interior lot lines and 5 feet in width, parallel with and adjacent to all rear lot lines for the purpose of private drainage. In the event lot lines are adjusted after the recording of this plat, the easements shall move with the adjusted lot lines. Maintenance of all private drainage and utility easements on this plat shall be the responsibility of all lots deriving benefit from said easement, including the owner of the lot on which said easement(s) are located. No structures other than fences shall be constructed within these easements.

## Private Drainage Easement Covenant

The owners of private property within this Plat encumbered with drainage easements shown as "Private" hereby grant and convey to King County, a political subdivision of the State of Washington, the right, but not the obligation to convey or store storm and surface water per the engineering plans approved for this Plat by King County, together with the right of reasonable access (ingress and egress), to enter said drainage easements for the purpose of observing that the owners are properly operating and maintaining the drainage facilities contained therein.

The owners of said private property are responsible for operating, maintaining and repairing the drainage facilities contained within said drainage easements, and are hereby required to obtain any required permits, from the King County Department of Development and Environmental Services prior to filling, piping, cutting or removing vegetation (except for routine landscape maintenance such as lawn mowing) in open vegetated drainage facilities (such as swales, channels, ditches, ponds, etc.), or performing any alterations or modifications to the drainage facilities, contained within said drainage easements.

This covenant shall run with the land and is binding upon the owners of said private property, their heirs, successors and assigns.

D.D.E.S. FILE NO. S90P0082

## Sensitive Area Buffer Averaging Note

Buffer averaging was used in Tracts S and AC, see approved construction drawings no. P2943 on file with King County Department of Development and Environmental Services (DDES).

## RESTRICTIONS OF RECORD

1. This plat is subject to dedications, easements, covenants, conditions and restrictions per the Plat of Aldarra Division No. 1, recorded in Volume 199 of Plats, pages 72 through 88, Records of King County, Washington and the plat of Aldarra Division No. 2, recorded in Volume 206 of Plats, pages 8 through 11, Records of King County, Washington.
2. This plat is subject to an easement as identified in document recorded under King County Recording No. 7111240596, as amended by documents recorded under King County Recording Nos. 20000412002080 and 20020815000367.
3. This plat is subject to reservation of mineral rights, contained in deed recorded under King County Recording No. 2805087. Said deed provides for just and reasonable compensation in the exercise of said rights.
4. This plat is subject to covenants, conditions and restrictions as contained instrument recorded under King County Recording No. 20000412002092.
5. Tract AM of this plat is subject to Covenants, Conditions and Restrictions per document recorded under King County Recording No. 20010502000605, Records of King County, Washington.
6. This plat is subject to restrictions and covenants contained in instrument recorded under King County Recording No. 9905132112.
7. Tract AM of this plat is subject to terms and conditions as contained in Agreement recorded under King County Recording No. 9012140649 for domestic water system improvements.
8. This plat is subject to terms and conditions as contained in Agreement recorded under King County Recording No. 9103150741 for domestic water system improvements.
9. This plat is subject to sewer connection charges as identified in notice recorded under King County Recording No. 9811051363.
10. This plat is subject to water connection charges as identified in notice recorded under King County Recording No. 9901150609.
11. This plat is subject to terms and conditions as contained in Settlement Agreement filed in King County Superior Court Cause No. 91-2-05345-6.
12. This plat is subject to the Right to make necessary cuts and as contained in right-of-way deeds for S.E. Duthie Hill Road recorded under King County Recording No. 5413805 and 5413806.
13. This plat is subject to terms and conditions of a temporary construction easement for storm drainage and sanitary sewer utilities per document recorded under King County Recording No. 20020815000371.
14. This plat is subject to terms and conditions of a temporary construction easement per document recorded under King County Recording No. 20020815000370.
15. This plat is subject to terms and conditions as contained in Reimbursement Agreement recorded under King County Recording No. 20030304001520 for sanitary sewer system improvements.
16. This plat is subject to terms and conditions of a temporary turnaround easement per document recorded under King County Recording No. 20031125000509.



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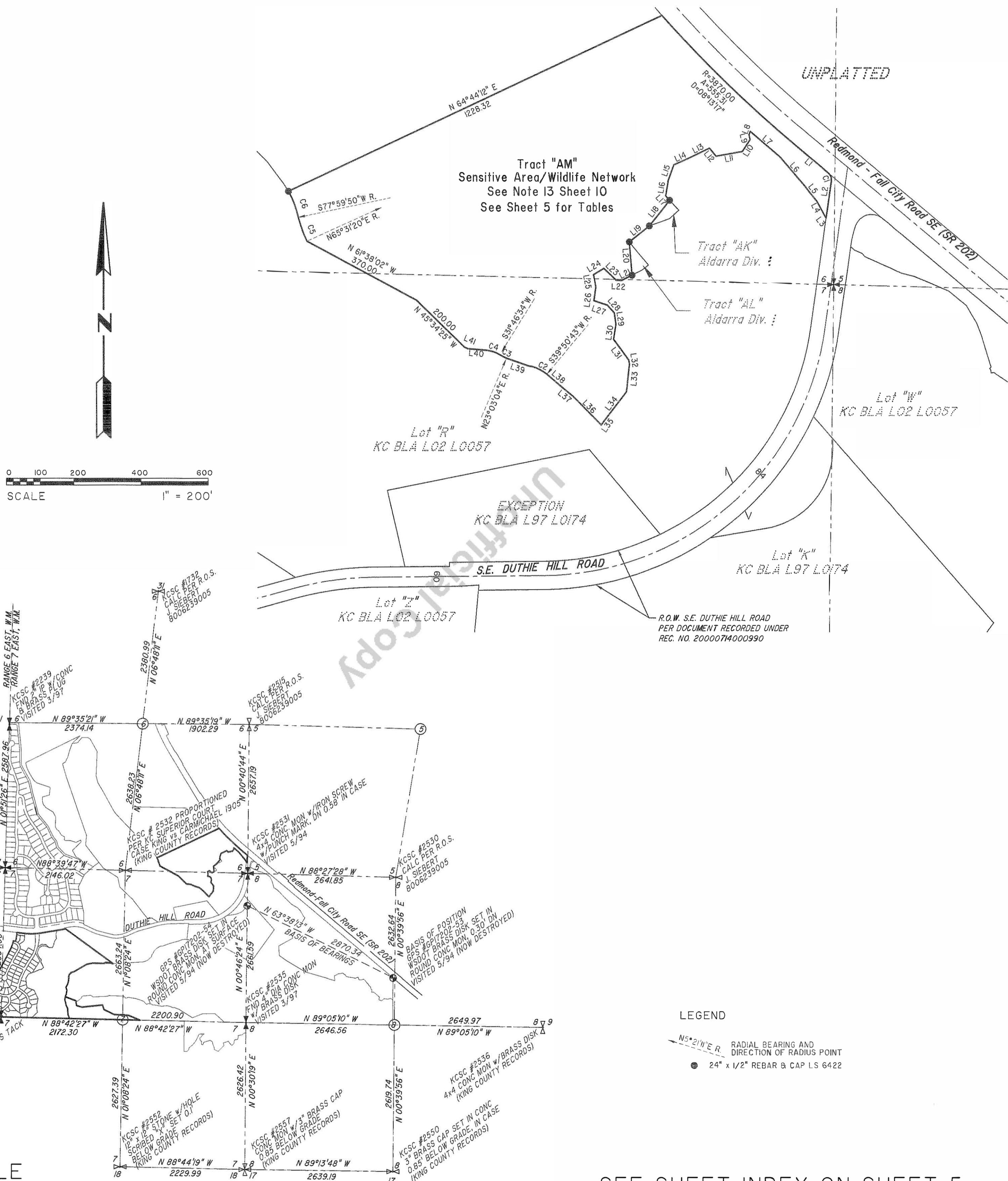
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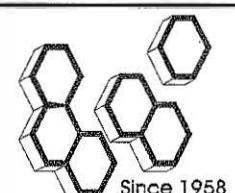
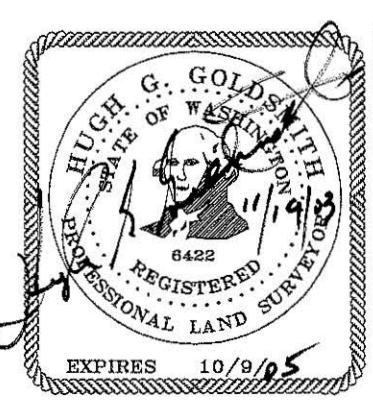
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NO SCALE

SECTION BREAKDOWN PER BLA L97L0174  
Recording Number 9904229003

SEE SHEET INDEX ON SHEET 5



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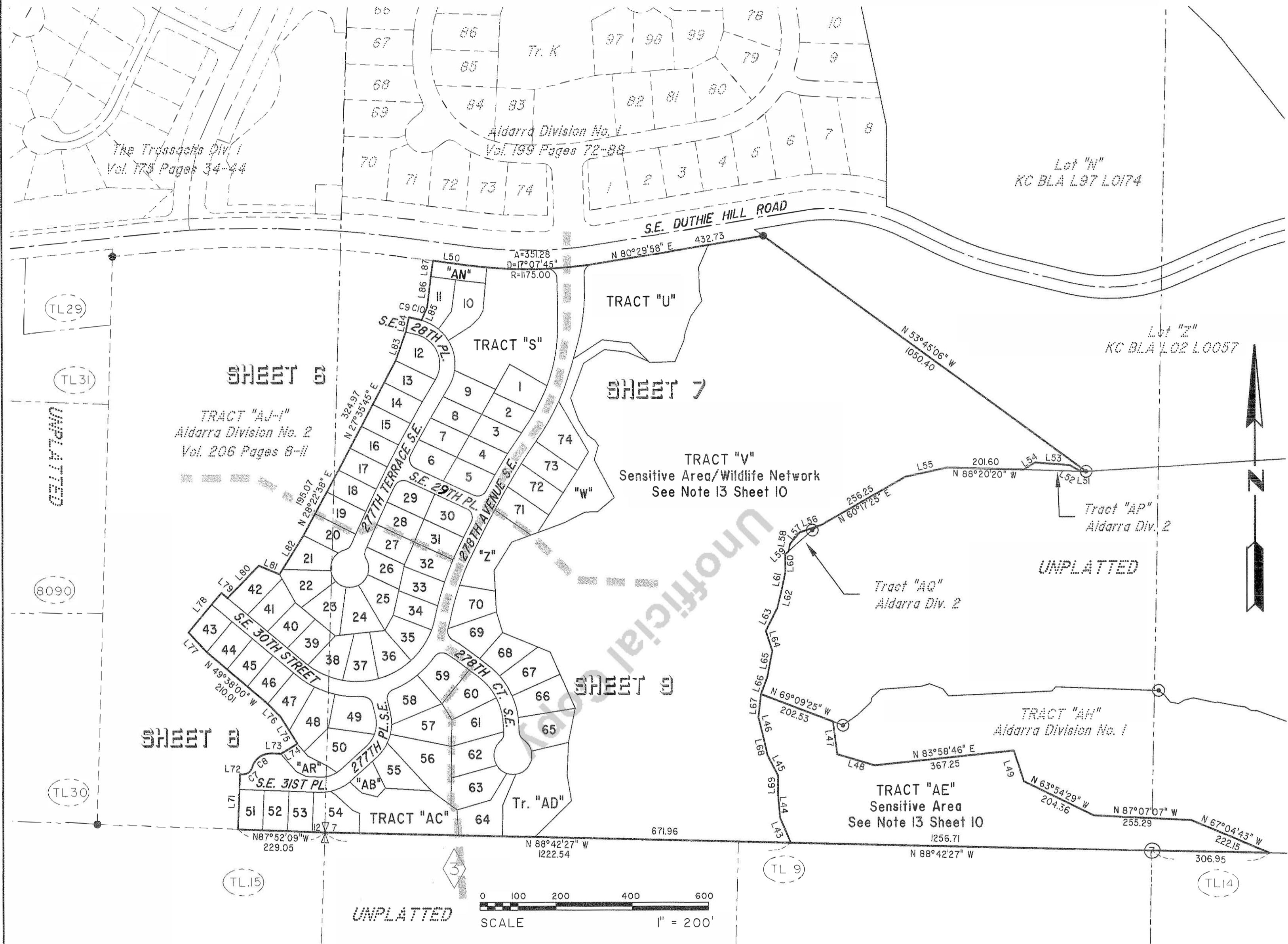
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LINE	BEARING	DISTANCE
L1	N 49°50'43" W	127.07
L2	N 08°02'26" E	112.61
L3	N 35°37'47" W	3.61
L4	N 28°29'53" W	53.44
L5	N 38°07'34" W	66.00
L6	N 40°36'51" W	105.61
L7	N 49°17'21" W	16.59
L8	N 22°18'18" E	10.81
L9	N 14°04'46" W	14.88
L10	N 33°06'32" E	42.31
L11	N 79°44'25" E	79.15
L12	N 39°24'05" W	31.22
L13	N 63°55'56" E	64.80
L14	N 65°38'25" E	52.59
L15	N 19°28'03" E	48.79
L16	N 09°52'03" E	46.75
L17	N 42°35'16" W	17.74
L18	N 38°25'34" E	97.43
L19	N 51°14'47" E	76.48
L20	N 04°32'16" W	99.53
L21	N 63°06'46" E	34.98
L22	N 86°17'01" W	15.74
L23	N 46°25'49" W	50.63
L24	N 59°13'15" E	36.11
L25	N 10°47'32" W	37.23

LINE	BEARING	DISTANCE
L26	N 08°2'35" E	41.36
L27	N 7°27'02" W	42.07
L28	N 42°14'25" W	30.89
L29	N 08°04'10" W	34.86
L30	N 09°28'35" E	44.70
L31	N 36°06'01" W	77.22
L32	N 08°24'29" W	12.05
L33	N 06°15'21" E	82.48
L34	N 37°15'48" E	107.95
L35	N 35°13'25" E	16.69
L36	N 44°17'08" W	119.69
L37	N 50°42'15" W	33.91
L38	N 49°05'38" W	67.74
L39	N 70°50'59" W	66.59
L40	N 85°20'53" W	45.31
L41	N 66°27'09" W	11.48
INTENTIONALLY BLANK		
L43	N 22°34'07" W	71.15
L44	N 05°04'17" W	61.85
L45	N 27°51'01" W	59.70
L46	N 13°44'31" W	38.58
L47	N 07°01'57" W	86.49
L48	N 73°30'17" W	103.36
L49	N 17°39'35" W	84.70
L50	N 82°22'16" W	91.41

LINE	BEARING	DISTANCE
L51	N 88°20'20" W	14.44
L52	N 60°02'07" W	32.42
L53	N 65°44'33" W	91.88
L54	N 57°33'08" E	34.84
L55	N 77°35'55" E	III.84
L56	N 7°08'25" E	59.25
L57	N 40°22'13" E	40.13
L58	N 10°44'58" E	19.46
L59	N 48°21'09" E	12.00
L60	N 00°31'12" W	44.40
L61	N 1°33'09" E	48.60
L62	N 13°37'09" E	50.70
L63	N 26°56'26" E	67.05
L64	N 17°47'06" W	55.07
L65	N 10°47'09" E	69.17
L66	N 20°03'26" E	49.00
L67	N 06°20'25" E	61.21
L68	N 12°51'06" W	64.71
L69	N 0°00'05" E	48.83
INTENTIONALLY BLANK		
L71	N 02°07'51" E	145.00
L72	N 87°52'09" W	7.29
L73	N 87°52'09" W	26.16
L74	N 58°12'38" E	50.06
L75	N 3°47'22" W	82.69

CURVE	RADIUS	ARC	DELTA
C1	25.00	25.26	57°53'10"
C2	II.37	61.58	31°08'51"
C3	187.95	23.58	07°11'44"
C4	96.71	52.45	31°04'35"
C5	444.56	75.53	09°44'03"
C6	280.35	63.36	17°02'14"
C7	25.00	33.47	76°42'26"
C8	50.00	66.94	76°42'26"
C9	1870.00	28.10	00°56'40"
C10	120.00	6.18	02°56'54"

#### LEGEND

- N5°21'11"E RADIAL BEARING AND DIRECTION OF RADIUS POINT
- 24" x 1/2" REBAR & CAP LS 6422 CONCRETE MONUMENT
- STAMPED HGG INC. NO. 6422
- (TL 9) ADJACENT TAX LOT NUMBER
- (3) ADJACENT GOVERNMENT LOT NUMBER



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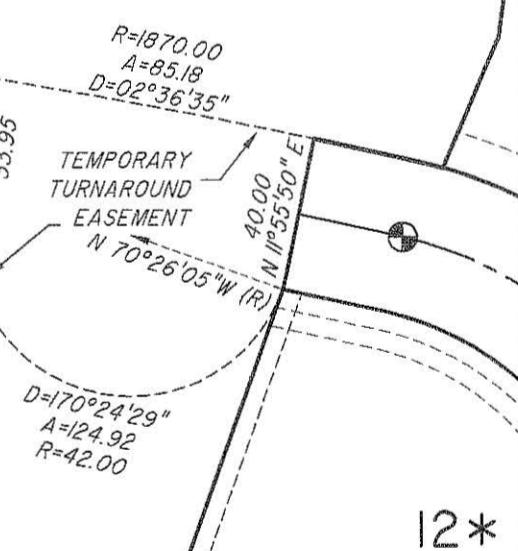
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SEE SHEET 7

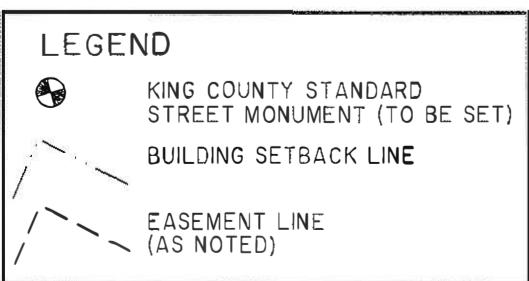
S.E. DUTHIE HILL ROAD

PROPOSED

Tract "A1-I"  
Aldarra Div. 2  
Vol. 206 Pages 8-10

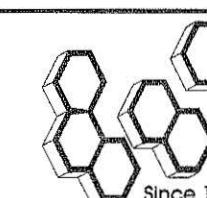
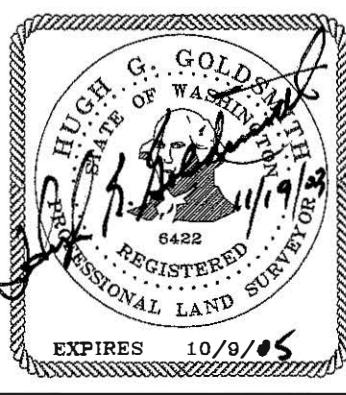


\*See Note 1 under  
General Notes  
Sheet 10 of 10



SCALE 0 25 50 100 150  
1" = 50'

SEE SHEET 8



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Tract "U"  
Recreation  
See Note 14 Sheet 10

SEE SHEET 7

25' WATER  
EASEMENT  
#2000412002080

Tract "V"  
FIELD-LOCATED  
TOP 40% SLOPE

SEE SHEET 7

Tract "W"  
Open Space

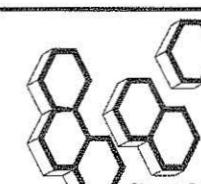
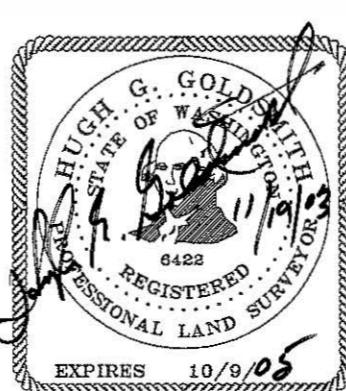
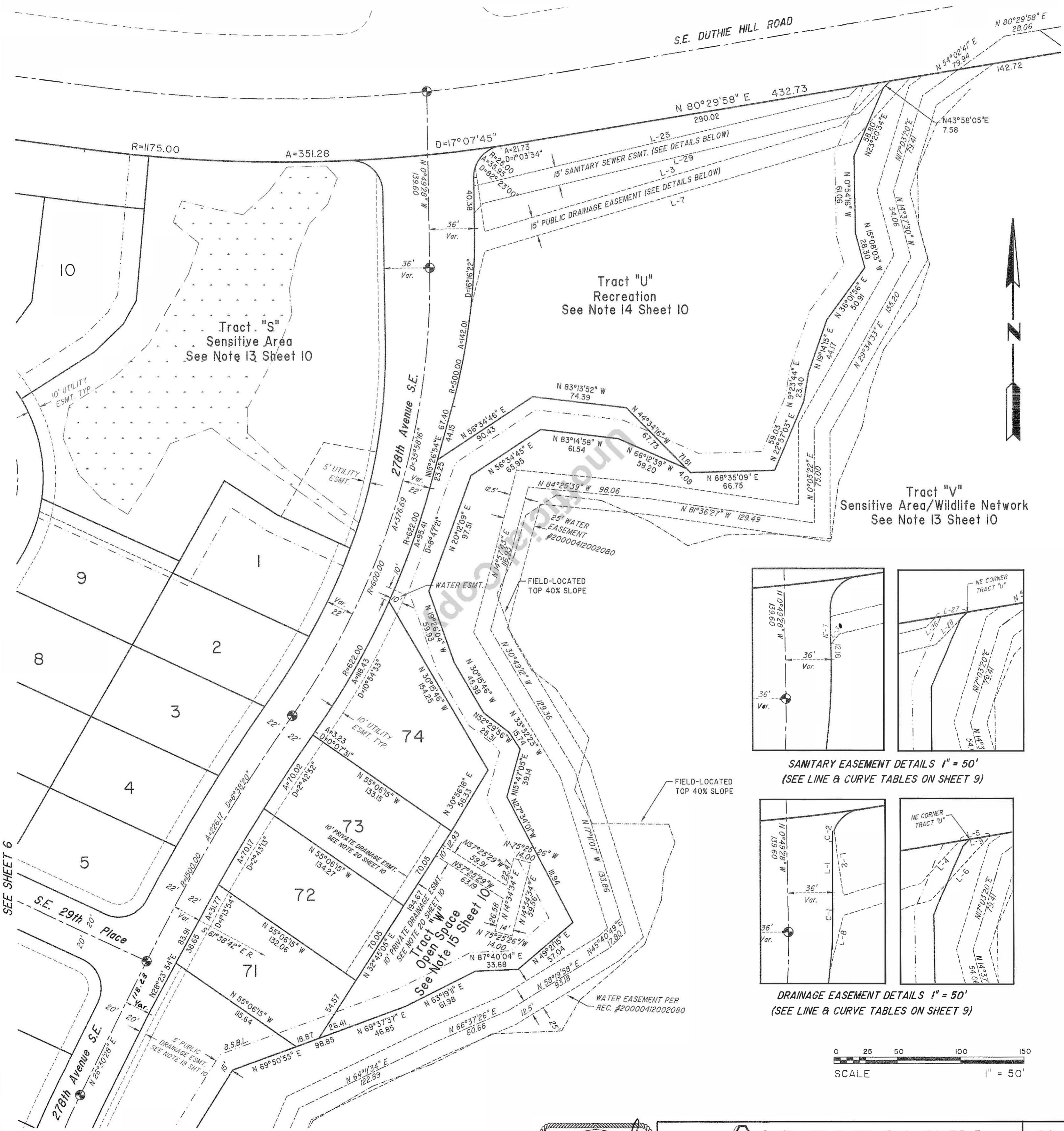
25' WATER EASEMENT  
REC. #2000412002080

FIELD-LOCATED  
TOP 40% SLOPE

# ALDARRA DIVISION NO. 3

SEC. 12, TWP. 24N., R. 6E., W.M. & SEC. 6 & 7, TWP. 24N., R. 7E., W.M.  
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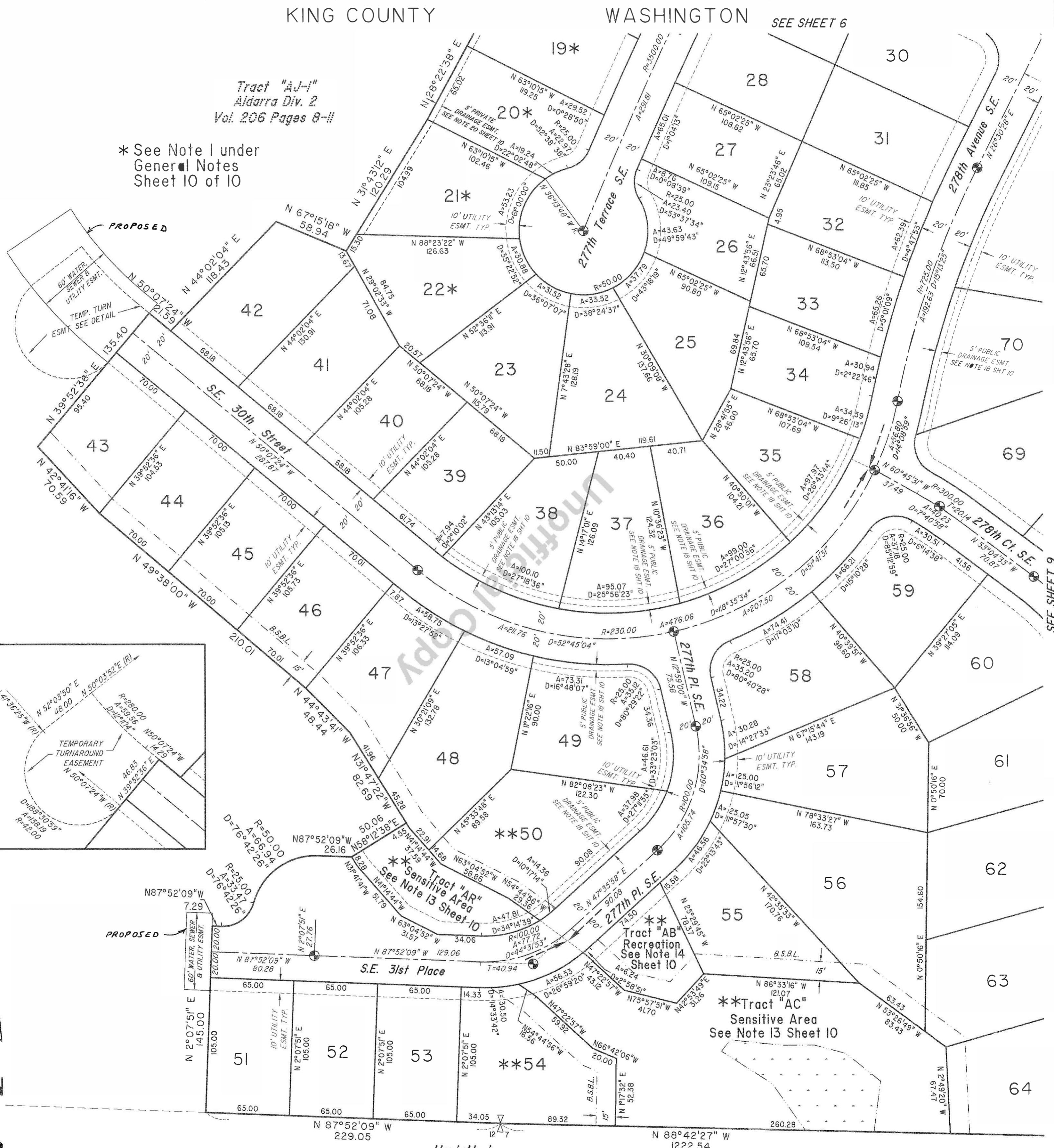
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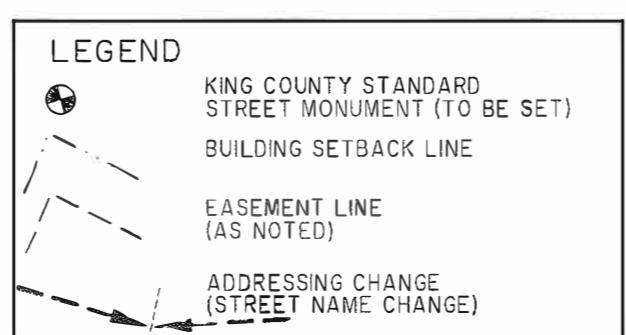
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\*\* FOR DRAINAGE EASEMENT AFFECTING  
TRACTS "AB", "AC" & "AR" AND LOTS 50 AND 54.  
SEE DETAIL ON SHEET 9 OF 10.



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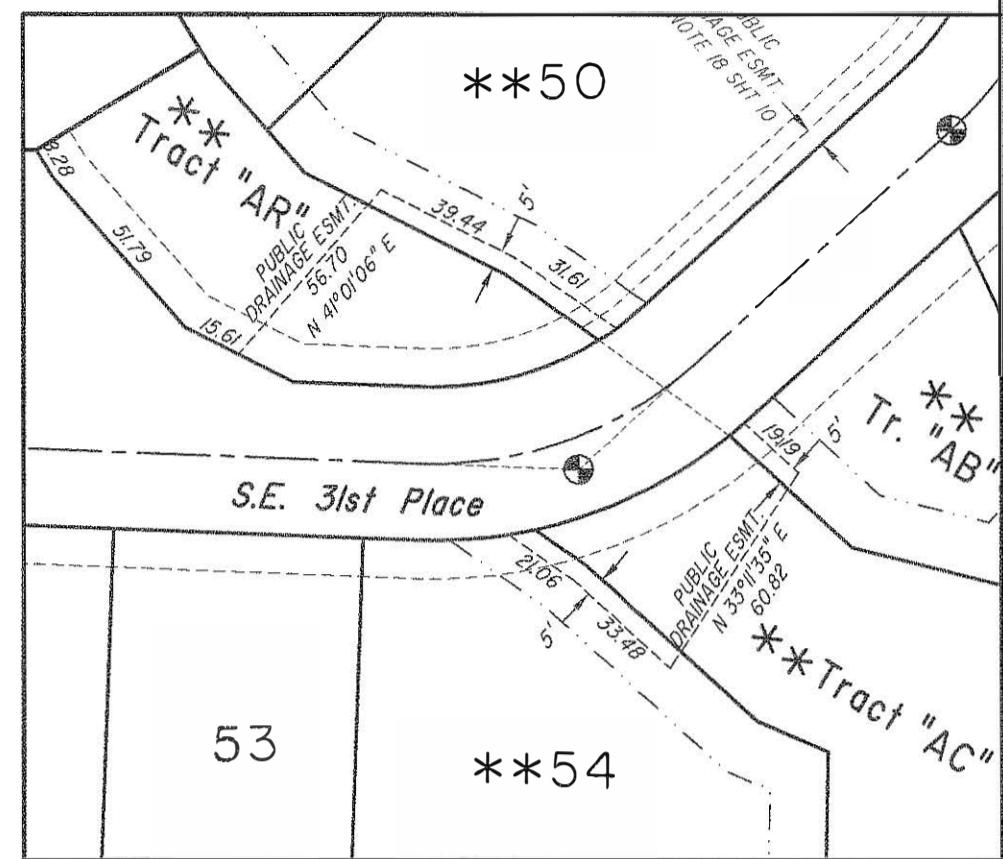
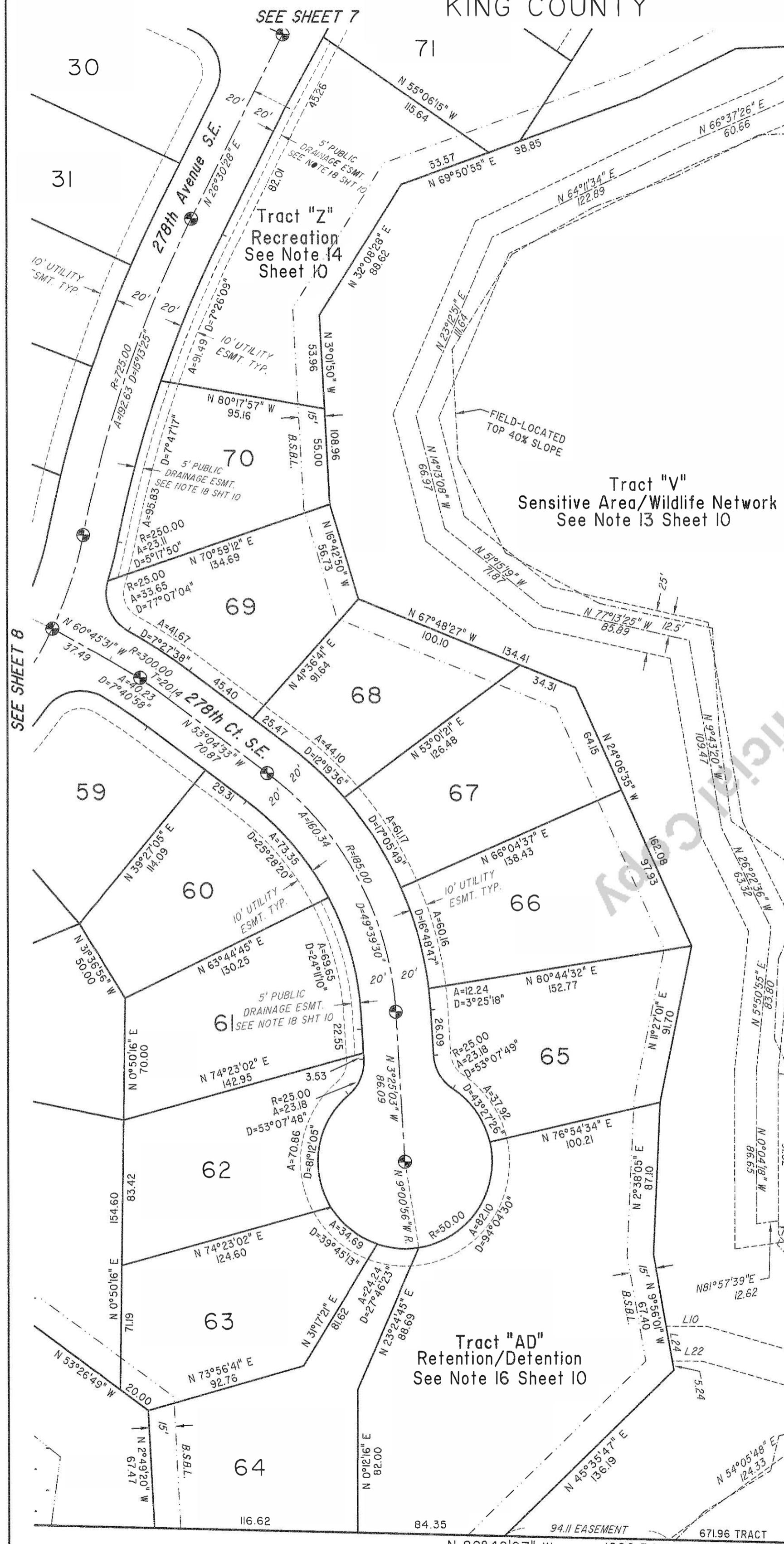
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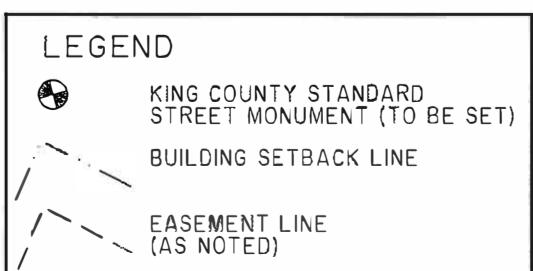
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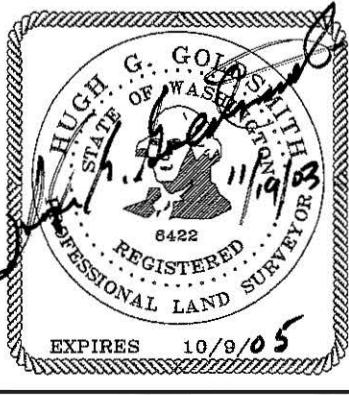
EASEMENT LINE TABLE		
LINE	LENGTH	BEARING
L-1	40.38	N00°49'28"W
L-2	51.59	N08°05'05"W
L-3	293.92	N73°23'39"E
L-4	45.74	N42°21'22"E
L-5	24.29	N80°29'58"E
L-6	69.01	N42°21'22"E
L-7	302.52	N73°23'39"E
L-8	45.54	N13°58'44"E
L-9	16.39	N80°29'58"E
L-10	23.30	N90°00'00"E
L-II	129.47	N73°53'18"W
L-12	59.71	N80°16'59"W
L-13	64.46	N68°04'23"W
L-14	57.22	N80°39'01"W
L-15	69.10	N83°57'40"E
L-16	20.00	N6°02'20"W
L-17	71.81	N83°57'40"E
L-18	62.13	N80°39'01"W
L-19	64.52	N68°04'23"W
L-20	58.69	N80°16'59"W
L-21	127.76	N73°53'18"W
L-22	16.97	N90°00'00"W
L-23	12.96	N45°35'47"E
L-24	20.30	N09°56'01"W
L-25	304.59	N76°32'04"E
L-26	11.03	N 43°58'05"E
L-27	25.20	N 80°29'58"E
L-28	35.66	N 43°58'05"E
L-29	305.20	N 76°32'04"E
L-30	10.39	N 41°15'37"E
L-31	21.52	N00°49'28"W

EASEMENT CURVE TABLE			
CURVE	RADIUS	ARC	DELTA
C-1	500.00	62.33	7°08'32"
C-2	25.00	8.46	19°23'21"

Unplatted



0 25 50 100 150  
SCALE 1" = 50'



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## General Notes

1. All building downspouts, footing drains, and drains from all impervious surfaces such as patios and driveways shall be connected to the permanent storm drain outlet as shown on the approved construction drawings No. P2943 on file with King County Department of Development and Environmental Services (DDES), or its successor agency, and/or the King County Department of Transportation. This plan shall be submitted with the application for any building permit. All connections of the drains must be constructed and approved prior to the final building inspection approval. Infiltration trenches shall be evaluated by a geotechnical engineer for use to infiltrate roof runoff for lots 12 through 22. The lots where infiltration trenches are required shall be determined by DDES through the site engineering review process during the review of the single family residential building permits for the proposed homes on these lots. Roof drains shall be connected to infiltration trenches filled with washed gravel and equipped with a piped overflow connected to the storm sewer overflow. The infiltration trenches shall be sized to the minimum length requirement specified for an infiltration facility in section C.2.3.2 of the 1998 Surface Water Design Manual, or to infiltrate the mean annual storm, at the Applicant's option. Final engineering details for the trenches shall be approved by DDES during the site engineering review process prior to issuance of the single family residential building permits for the designated lots. If the plat geotechnical engineer determines that outwash soils do not underlie a lot after grading, or if infiltration would result in slope instability, no infiltration trenches will be required. For those lots where the plat geotechnical engineer determines that infiltration or dispersion options are not feasible, roof downspouts shall be connected to the street drainage system using perforated stub-out connections.

2. The road and storm drainage systems shall be constructed according to the approved plan and profile, Plan No. P2943 on file with King County Department of Development and Environmental Services (DDES). Any deviation from the approved plans will require written approval from the proper agency, currently DDES.

3. KCC 16.82.150D applies to the subject property. Therefore, construction work involving soil disturbance, grading, and filling of the site, including individual residential building pad preparation, shall be limited to April 1 through September 30, unless King County DDES specifically approves an extension consistent with the provisions of KCC 16.82.150D. King County Department of Development and Environmental Services (DDES) authority to allow development activity beyond these dates shall not apply to "erosion hazard areas" as defined by KCC 21A.06.415.

## 4. RESTRICTIONS FOR SENSITIVE AREA TRACTS AND SENSITIVE AREAS AND BUFFERS

Dedication of a sensitive area tract/sensitive area and buffer conveys to the public a beneficial interest in the land within the tract/sensitive area and buffer. This interest includes the preservation of native vegetation for all purposes that benefit the public health, safety and welfare, including control of surface water and erosion, maintenance of slope stability, and protection of plant and animal habitat. The sensitive area tract/sensitive area and buffer imposes upon all present and future owners and occupiers of the land subject to the tract/sensitive area and buffer the obligation, enforceable on behalf of the public by King County, to leave undisturbed all trees and other vegetation within the tract/sensitive area and buffer. The vegetation within the tract/sensitive area and buffer may not be cut, pruned, covered by fill, removed or damaged without approval in writing from King County Department of Development and Environmental Services (DDES) or its successor agency, unless otherwise provided by law.

The common boundary between the tract/sensitive area and buffer and the area of development activity must be marked or otherwise flagged to the satisfaction of King County prior to any clearing, grading, building construction or other development activity on a lot subject to the sensitive area tract/sensitive area and buffer. The required marking or flagging shall remain in place until all development proposal activities in the vicinity of the sensitive area are completed.

No building foundations are allowed beyond the required 15-foot building setback line, unless otherwise provided by law.

5. All fees required by King County Code 14.75, Mitigation Payment System (MPS), have been paid.

6. Fifty percent of school impact fees were paid at the time of final plat approval in accordance with King County Code 21A.43.050. The balance of the assessed fee, \$1,812.50 per lot, together with the current administration fee, must be paid at the time of building permit issuance.

7. King County approval of this plat has established special conditions for landscaping. Additionally, special construction inspection shall be required prior to installation of final landscaping on any lot. The landscape construction shall comply with the Landscape Construction Conditions contained in the approved construction drawings #P2943 on file with King County Department of Development and Environmental Services (DDES) or the King County Department of Transportation. A performance bond shall be posted prior to issuance of a building permit to insure compliance with this condition.

8. No unsealed external copper ornamentation shall be used as design features for the homes within this plat. Use of unsealed copper or galvanized flashing, rain gutters, or downspouts shall not be allowed for home construction, except as approved by King County DDES.

9. Any planter islands within road rights-of-way shall be maintained by the Montaine at Aldarra Homeowners' Association.

10. The Street Trees shall be owned and maintained by the Montaine at Aldarra Homeowners' Association unless and/or until King County or its successor agency has adopted a maintenance program.

II. The house address system for this plat shall be as follows: Addresses shall be assigned for the north - south roads within the range of 2801 to 3099 and within the range of 27500 to 27799 for the east - west roads. Individual addresses will be assigned to the principal entrance of each residence or building in accordance with King County Code 16.08.

12. This plat contains tracts which are not sequential, listed as follows: S, U, V, W, Z, AB, AC, AD, AE, AM, AN and AR and are considered "tracts" pursuant to KCC 19.04.460. A "tract" is land reserved for special uses such as open space, surface water retention, utilities, or access. Tracts are not counted as lots nor considered as residential building sites.

13. Tracts S, V, AC, AE, AR, and AM, upon recording of this plat, are conveyed to the Montaine at Aldarra Homeowners' Association. Said Tracts S, V, AC, AE, AR, and AM are hereby restricted as Sensitive Area Tracts and are subject to the restrictions noted in note 4 above. The 100-year flood plain in this area has been determined to be entirely within Tracts AC and S. Said Tracts AM and V are also designated as a Wildlife Network pursuant to KCC 21A.14.260 and are subject to Covenants, Conditions and Restrictions recorded under King County Recording No. Maintenance obligations of said tracts shall be the responsibility of the Montaine at Aldarra Homeowners' Association.

14. Tracts U, Z and AB, upon recording of this plat, are conveyed to the Montaine at Aldarra Homeowners' Association as on-site recreation tracts. Said Tract U is also for landscape and entry monuments. Maintenance obligations of said tracts shall be the responsibility of the Montaine at Aldarra Homeowners' Association

15. Tract W, upon the recording of this plat, is conveyed to the Montaine at Aldarra Homeowners' Association as a non-designated Open Space Tract. Maintenance obligations of said tract shall be the responsibility of the Montaine at Aldarra Homeowners' Association.

16. Tract AD, upon the recording of this plat, is hereby dedicated and conveyed to King County or its successor agency for drainage purposes.

17. Tract AN, upon the recording of this plat, is conveyed to the Montaine at Aldarra Homeowners' Association as a Landscape Tract. Maintenance obligations of said tract shall be the responsibility of the Montaine at Aldarra Homeowners' Association.

## 18. Public Drainage Easements:

The following listed tracts and lots are subject to a Public Drainage Easement as shown hereon. Said easements are in favor of King County with provisions and restrictions as described in the Easement Provisions and Drainage Easement Restrictions Sections shown hereon.

Tracts: S, U, V, Z, AB, AC, and AR

Lots: 12, 29, 35, 36, 37, 38, 49, 50, 54, 61 and 70

## 19. Public Waterline Easements and Public Sanitary Sewer Easements:

The following listed tracts and lots are subject to either a Public Waterline Easement or a Public Sanitary Sewer Easement as shown hereon. Said easements are in favor of the Sammamish Plateau Water and Sewer District with provisions and restrictions as described in the Water and Sewer Easement Provisions Section shown hereon.

### Public Waterline Easements:

Tract: W

### Public Sanitary Sewer Easements:

Tract: U

## 20. Private Drainage Easements:

The following listed tracts and lots are subject to a Private Drainage Easement as shown hereon. Said Private Drainage Easements are for the purpose of installing and maintaining private drainage facilities within said easements with restrictions as described in the Private Drainage Easement Provisions Section shown hereon. Said easements are in favor of the lots or tracts listed below as deriving benefit. The owners of said lots or tracts deriving benefit shall be responsible for the maintenance, repairs or reconstruction of that portion of the Private Drainage Facilities below their respective point of connection.

### Easement Located On:

Lots 72 and 73

Lot 9

Lots 12 through 21, inclusive

Tract W

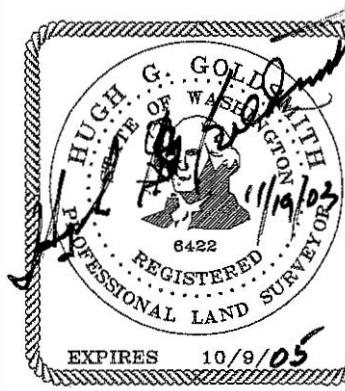
### Lots or Tracts Deriving Benefit

Lots 71, 72, 73 and 74

Lot 1

Lots 12 through 21, inclusive

Lots 71, 72, 73 and 74



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