

# **STRUCTURAL SURVEY REPORT**

**For**

**SUMAN TULSIANI  
C.H.S. LTD.**

**3rd Cross Road, Lokhandwala Complex,  
Andheri (West), Mumbai - 400 053**



**TOTAL** Solution

Contact : Phone : 40036252, Mobile : 9820130492

**B M C APPROVED**

- ARCHITECTS
- STRUCTURAL ENGINEERS
- SUPERVISOR

**CONSULTANTS**

- REPAIRS & RESTORATION
- STRUCTURAL AUDIT
- N D T TESTING

47A, 1st Floor, R.N.A. Shopping Centre, Lokhandwala Main Market Road, Near High point Restaurent, Andheri (W), Mumbai 400052. E-mail : totalsolution@rediffmail.com



**28.02.2020**

**TO WHOM SO EVER IT MAY CONCERN**

Sub: **STRUCTURAL SURVEY REPORT**

Ref: The Building Known as **SUMAN TULSIANI C.H.S. LTD.** Located at 3<sup>rd</sup> Cross Road, Lokhandwala Complex, Andheri (West), Mumbai-400053

This is to state that at the request from the respected Hon. Secretary of **SUMAN TULSIANI CO-OP. HSG. SOC. LTD.** we are presenting herewith the structural survey report of the said Society.

The undersigned Mr. Kantilal Lalpuria of **TOTAL SOLUTION** visited and inspected the building referred above with respect to the present condition

The existing structure of the said Society consists of R.C.C Frame having two buildings, One building Ground + 7 floors 3 wings A & B wings 21 flats each & C wing 28 Flats, Tower Building Ground + 16 floors having 64 flats summing to 134 flats.

The Society is carried out time to time repair works. Presently shrinkage cracks were found on external side of dead walls. Rectification of plaster if unattended may cause damage to structural concrete in the long run.

We are enclosing herewith the Internal Survey report of all flats, Staircases and terrace as well as External observations that need structural repairs as per our survey carried out from 09.02.2020 to 16.02.2020 in the said Society premises.

**We advice**

The defects stated in our attached report, if remain unattended, may cause damage to structural concrete in the long run. As of now, there is deficiency in structural concrete and distress on structural members.

Hence, we opine that the building should be structurally repaired & maintained for increasing future life of structure, life & property of residence. We should make it safe and stable for residential use, the purpose for which it is intended. For this purpose and guidance, we have also enclosed a detailed estimate envisaged in repairing the said Society, based on prevailing market rates.

We further advice that all future repairs & renovation work shall be carried out under guidance of a structural engineer.

Please feel free to contact us in case of further guidance on the matter above

Thanking you,

Yours truly,

**For TOTAL SOLUTION**

(Kaantilal Lalpuria)

Consulting Structural engineer

B.M.C.Reg.No.STR/ L/21

Note: -

- The above report is based on visual inspection only, Overall condition of RCC structure is in good condition.
- The aim is to have preliminary health checkup of a building
- Column and beam of the R.C.C frame have micro cracking occurred in the concrete due to weathering condition and seepage.
- However, over all R.C.C frame after carrying out structural repairs will be safe and sound.
- Also life of mainframe will be increased.
- M/S. Total solution consultants & engineers disclaim any responsibility of the findings, if the clients choose not to get the structure repaired or rehabilitated within six months of report date. We also are not responsible for any mishaps or failure if the client alters the loading pattern and condition at site knowingly or unknowingly or by any act of nature. The validity of the report is restricted to six Months only from today. This report is to be treated as a visual report only and not as stability certification of the building under investigation.

## **REPORT AT A GLANCE FOR SUMAN TULSIANI C.H.S. LTD. C.H.S. LTD.**

1. On the basis of visual inspection, we can state that the overall condition of RCC of building is in good condition.
2. Few flats columns, beams, slabs, window top beams are having major to minor structural cracks & deficiency in structural concrete causing distress on structural members.
3. Few Internal & External structural members are having minor structural cracks & deficiency in structural concrete causing distress on structural members
4. External dead walls, columns, beams are having separations, structural, shrinkage and spider type cracks causing leakages in flats needs crack filling, need base structural repair & plastering finish with texture & premium painting on the external surface of repaired area.
5. In stilt area column & beam are having minor structural cracks
6. Parapet wall top & side walls are also having spider type cracks.
7. In duct area few PVC pipe joints are having leakages which need repairs.
8. Plant growths are also observed on plumbing lines & on junction of parapet wall.
9. Few of flats bathroom area are having leakages / seepages due to upper flat bathroom tiles joints, nahani traps and or external side plumbing defect causing damages in surrounding area and affecting the flats also.
10. Terrace floor expansion joints are causing leakages which needs waterproofing treatment
11. Structural damages & cracks on tiles in kitchen or bath room the matching tiles shall be provided by the members & fixed by the contactor.
12. Following 18 flats are closed during our survey.
  - A Wing – 101, 403, 503, 602, 603
  - B Wing – 304, 403, 404, 503, 504
  - C Wing – 201, 302
  - Tower – 101, 902, 1101, 1102, 1403, 1404,

## **RECOMMENDATIONS**

Considering our observations & based on visual inspection, we recommend undertaking the following repairs and restoration measures on a priority.

### **1. RCC MEMBERS:**

Due to the damaged to the structural members, retrofitting measures is requires safeguard the structure for the purpose it is intended for considering the extent of damage and test results it seems that columns, beams, slabs, parapet walls & external wall needs to be repaired with polymer mortar, plastering finishing with Texture coating etc. complete.

### **2. External walls:**

There are extensive structural damage in the building and leakages from external wall. We suggest removing the existing external damaged & deboned plaster completely in patches and redoing the plaster & Texture coating as mentioned below.

- a. Inspect closely to identify damaged patches and carefully chisel out loose delaminated concrete. In case if the damage is found to be substantial and safety risk, the areas around & below should be propped properly before chiseling.

The mode of repairs shall depend fairly on the quality of the masonry & the interface joints. Depending upon the damages noted we may recommend use of dash coat plaster in severely affected areas of masonry & or polymer aided fibremesh plaster in other cases.

- b. In case if the reinforcement is exposed, clean the same thoroughly with stiff wire brush or mechanical grinders & apply approved rust passivator & rust preventive chemicals. If the cross sectional area of the reinforcement is

- reduced considerably or its provision is found to be inadequate, provide additional reinforcement tied thoroughly to existing reinforcement.
- c. Depending upon the damage level, the damaged elements can be repaired using special repair techniques like polymer mortar, epoxy mortar, grouting.
  - d. Such proper repairs would ensure restoration of the reduced strength of the element & prevent its early damage in the future. After completion of repair measures, the surface should be plastered externally with factory made ready plaster in two coat having special waterproofing additives & polypropylene fibers.

**3. Terrace parapet wall:**

The parapet wall, staircase room, external plaster cracks filled & Ultima Protek, 100% acrylic paint applied.

**4. Plumbing:**

At present we found that plumbing lines are completely replaced with new UPVC & PVC pipe lines but few plumbing joints are having leakages.

- 5. Effloresces:** Effloresces occurs when water soluble salts (Sulphate) travel to the surface and then moisture evaporates.

**6. Texture & Painting:**

After replastering of the walls, it is necessary & we suggest Texture & painting the building which protect the external surface from micro cracks & make the repair work durable.

## **SERVICEABLE LIFE OF THE STRUCTURE**

After implementing the above recommended repair methodology, the structure can be restored to a sound & stable state its serviceable life enhanced further 10 years (with regular maintenance schedule suggested by us). We hope the management will take appropriate action in the interest of safety & stability of the structure & its occupants.

## **CONCLUSION**

The structure is 33 years old as mentioned in the observation. However, present damaged such as cracks in the plaster, separation & shrinkage cracks, leakages from external walls in external wall seem to be related to quality of material used during the construction, repairs & due to present of carbonation in the structure.

The damaged to the structure is in accelerated stages and it would continue further if the structure is not repaired. Hence, we recommended taking restoration of the complete RCC structure with protection from leakages. We also recommend undertaking preventive measures including weather protection measures to avoid recurrence of such damaged & serviceability problems in near further.

Considering all above aspects the repairs & strengthening the existing frame structure is a must to increase the life & make structure durable & fit for the purpose which has been intended for as well as in future.

If the recommended repairs are undertaken, the structure would be restored to its original sound stage and its useful life would increase, further 10 years for strengthening.

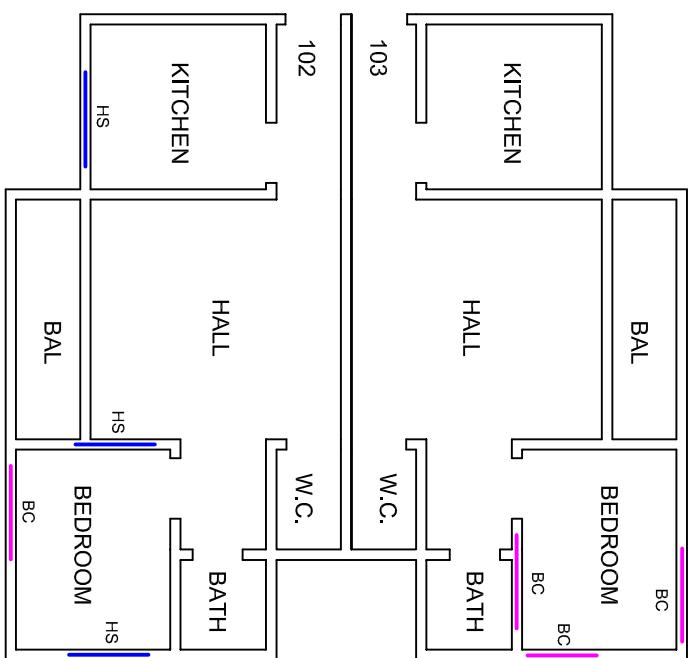
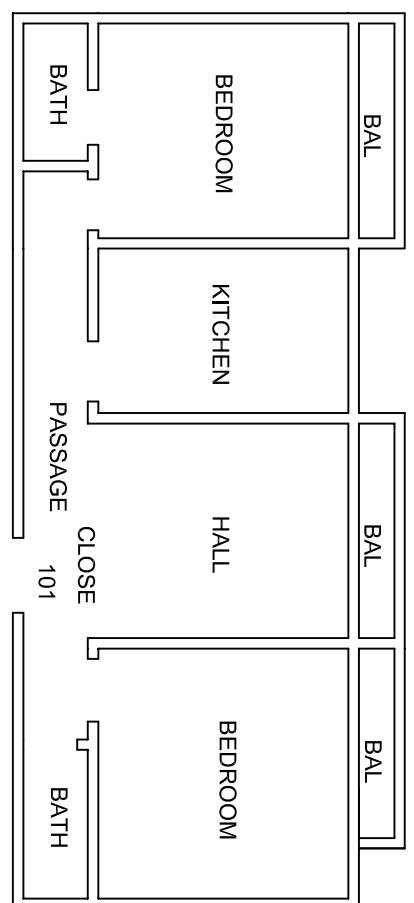
It's should be noted that such strengthening works should always be undertaken under guidance of expert structural engineer experienced in such work & through specialized contractor to ensure effective & durable works.

## **For TOTAL SOLUTION**

(Kantilal Laluria)

Consulting Structural engineer

B.M.C.Reg.No.STR/ L/21



## TOTAL SOLUTION

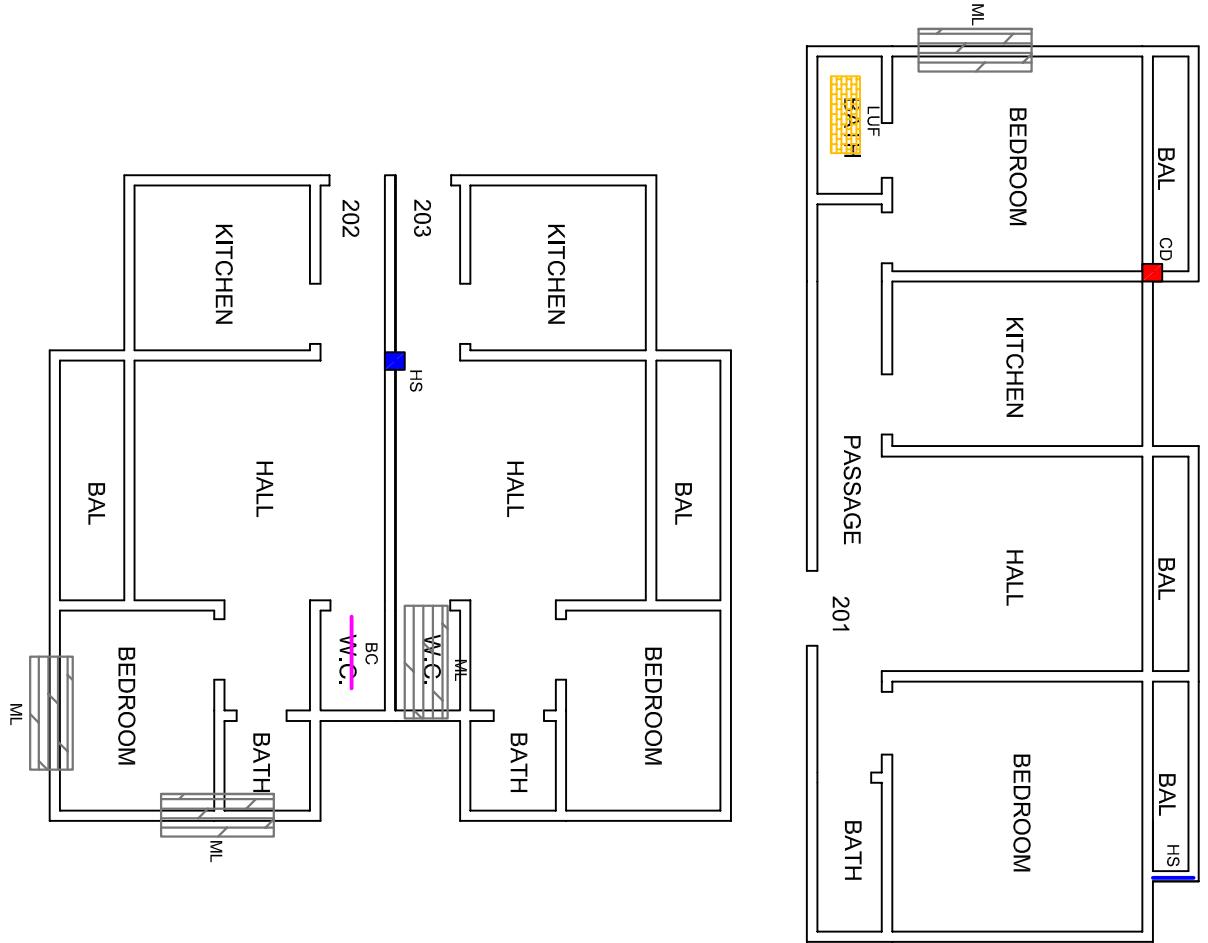
REPAIRS & RESTORATION CONSULTANT  
Lokhandwala Main Market Road, Andheri (W)  
Mumbai - 400053. Tel : 400362529820130492  
Email :- totaisolutionconsultancy@gmail.com

A WING

FIRST FLOOR

SUMAN TULSIANI C.H.S LTD.

1. Ceiling Cracks (CC)
2. Dampness (DA)
3. Hollow Sound (HS)
4. Beam Cracks (BC)
5. Monsoon Leakage (ML)
6. Beam Damaged (BD)
7. Reinforcement Exposed (RE)
8. Column Damaged (CD)
9. leakage From Upper Flat (LUF)
10. Chajja Cracks (CHC)
11. Separation Cracks (SC)
12. Efflorescence (EF)
13. Flooring Uneven (FU)

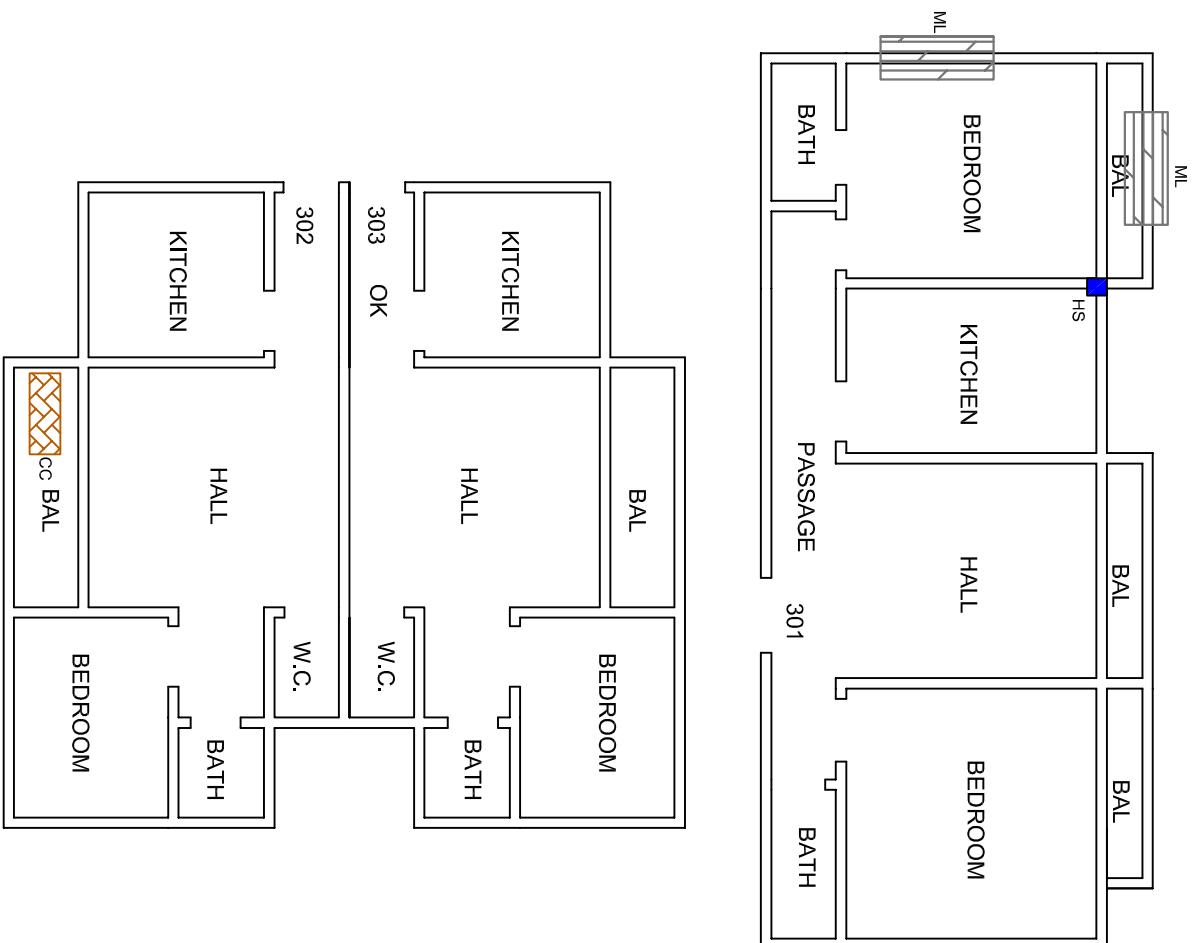


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SUMAN TULSIANI C.H.S LTD.

A WING

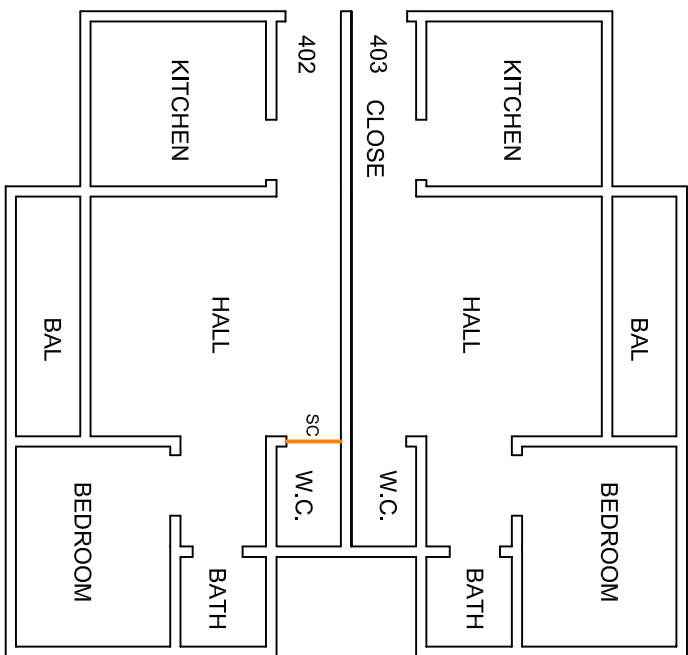
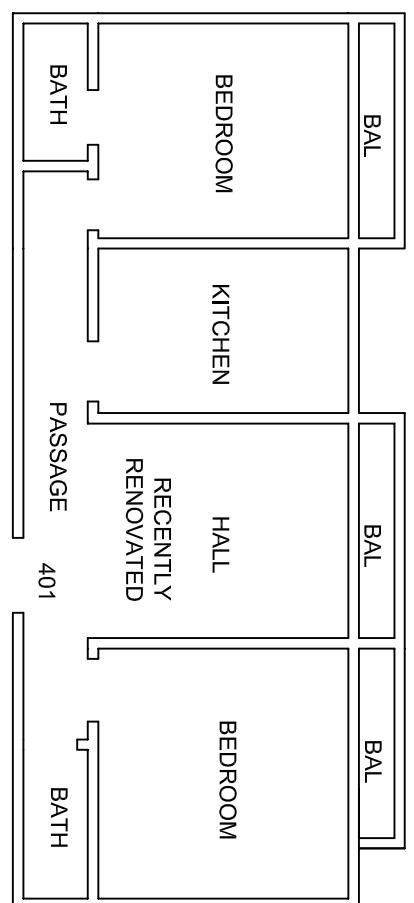
SECOND FLOOR



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1.	Ceiling Cracks (CC)
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SUMAN TULSIANI C.H.S LTD. A WING

THIRD FLOOR



## TOTAL SOLUTION

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**SUMAN TULSIANI C.H.S LTD.**

**A WING**

**FOURTH FLOOR**

1. Ceiling Cracks (CC)



Dampness (DA)

3. Hollow Sound (HS)

4. Beam Cracks (BC)

5. Monsoon Leakage (ML)

6. Beam Damaged (BD)

7. Reinforcement Exposed (RE)

8. Column Damaged (CD)

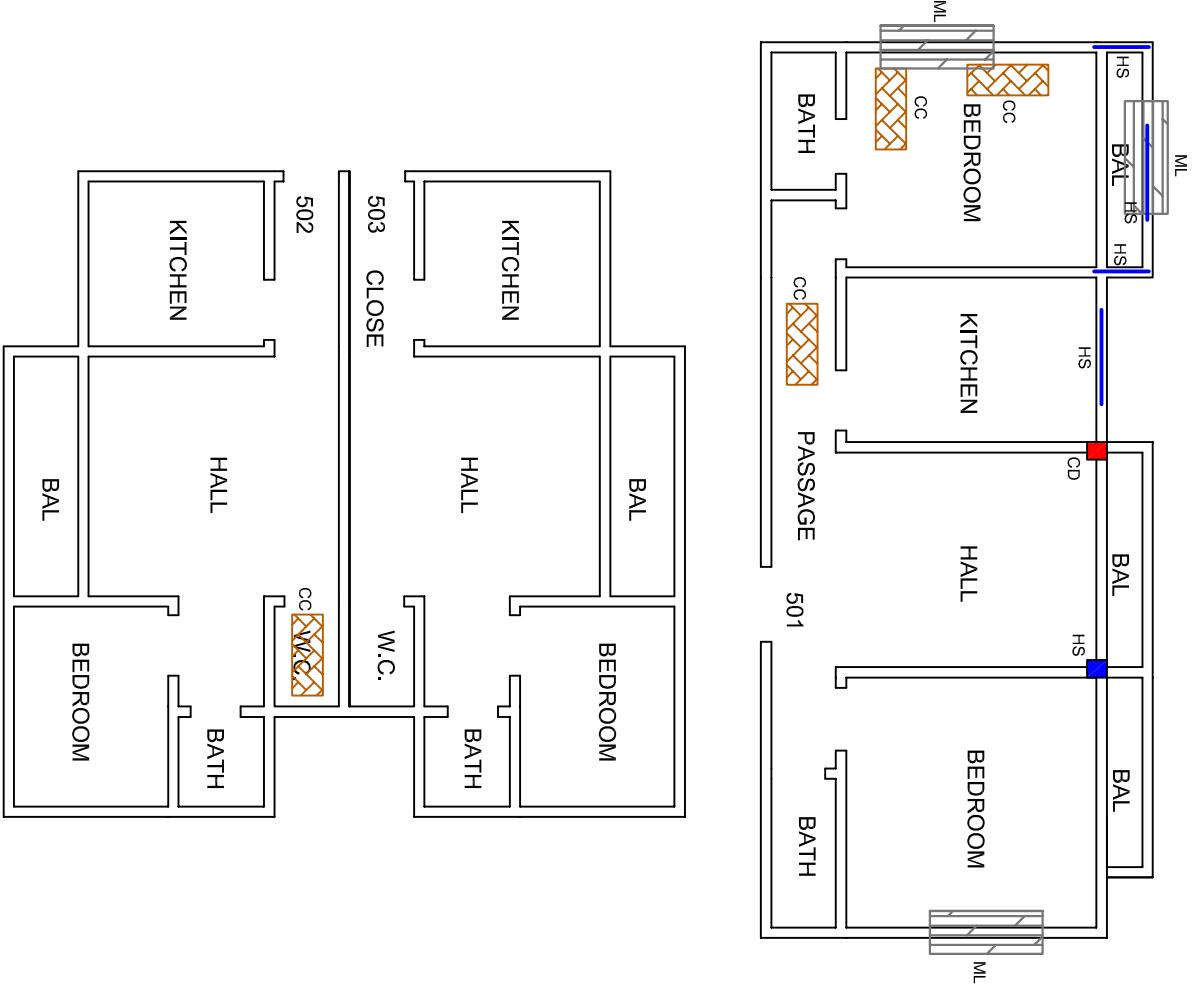
9. leakage From Upper Flat (LUF)

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13. Flooring Uneven (FU)



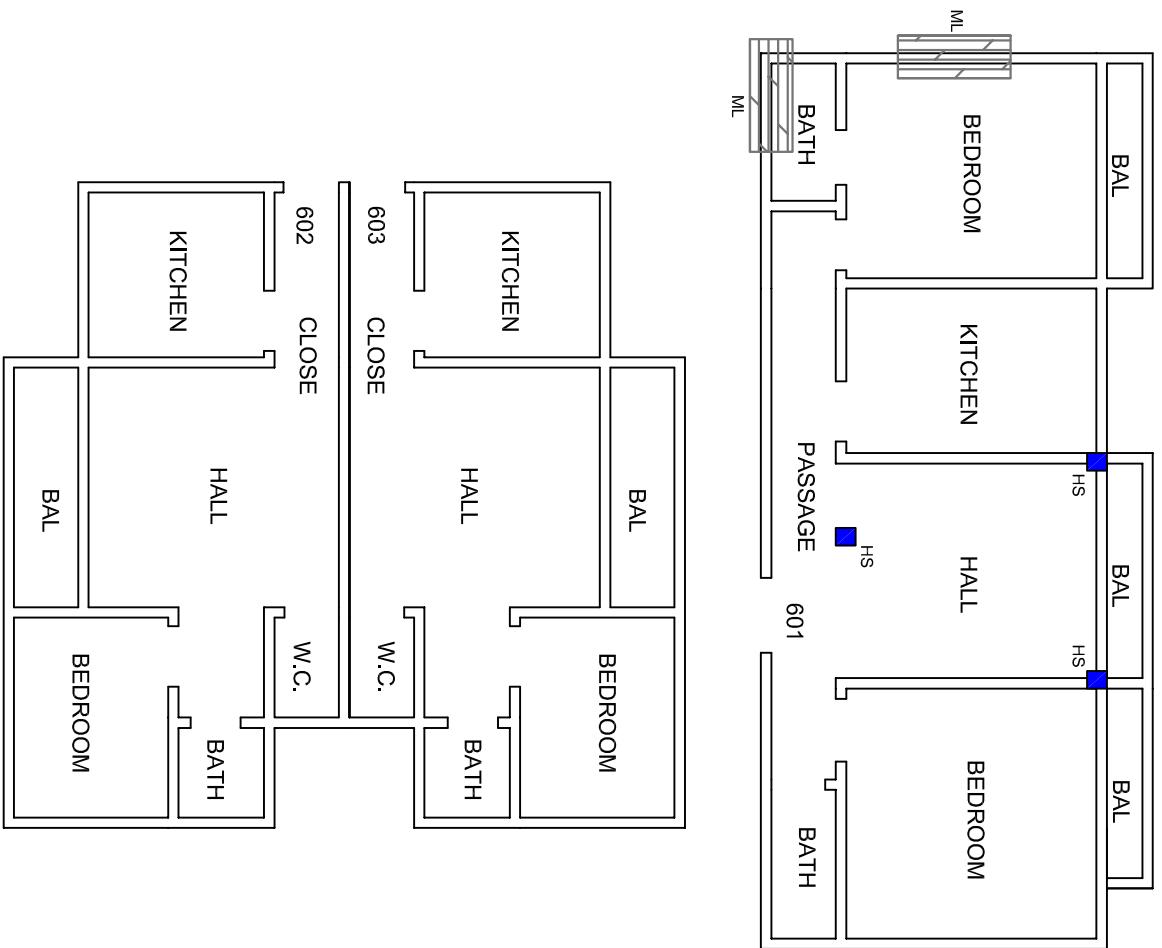
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SUMAN TULSIANI C.H.S LTD. A WING

FIFTH FLOOR



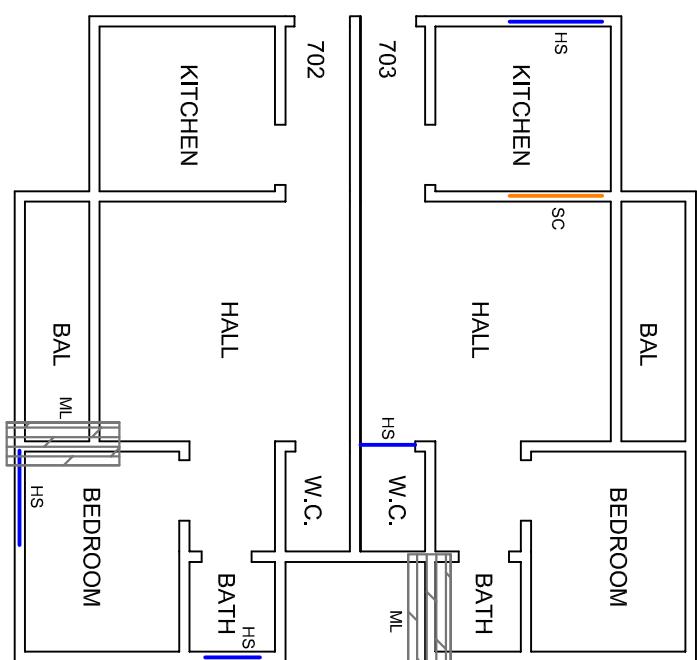
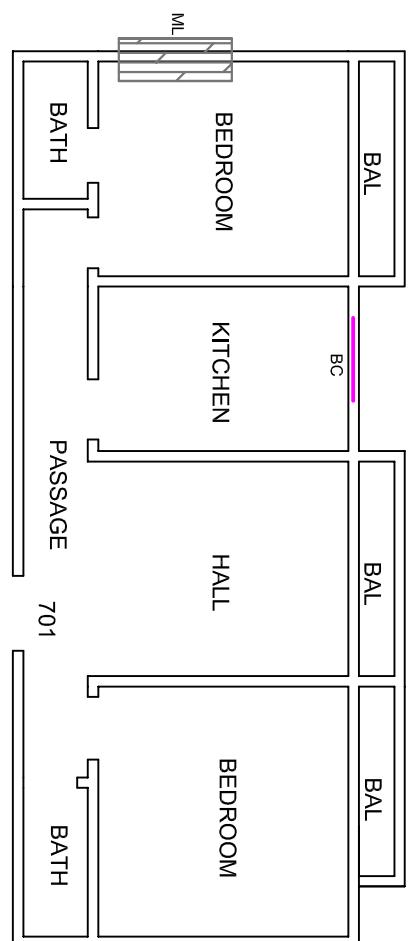
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SUMAN TULSIANI C.H.S LTD. A WING

SIXTH FLOOR

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**SUMAN TULSIANI C.H.S LTD.**

**A WING**

**SEVENTH FLOOR**

## **TOTAL SOLUTION**

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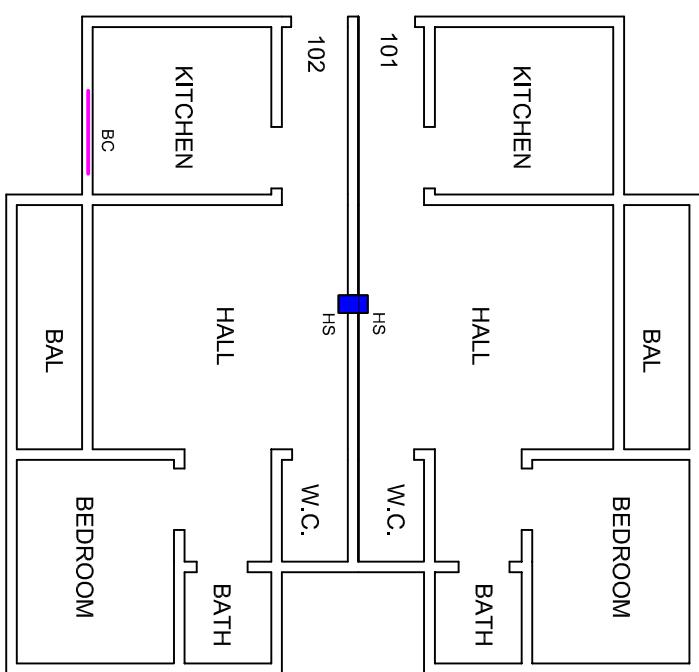
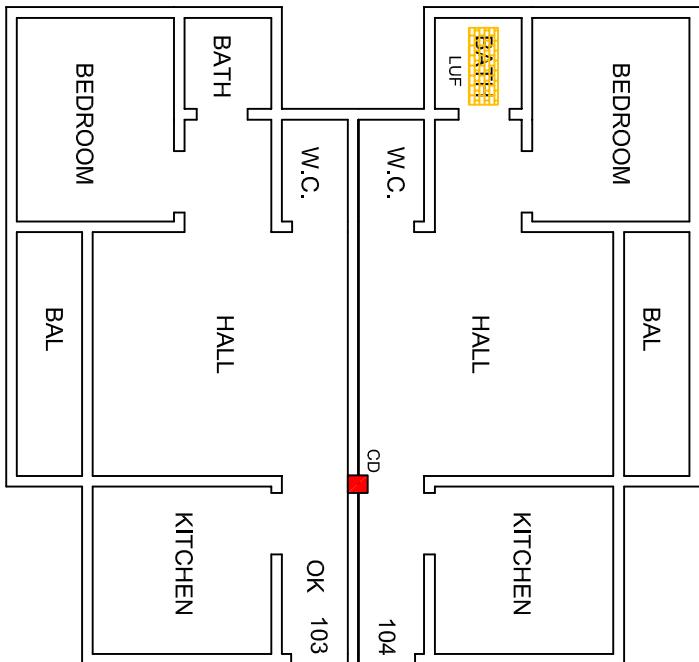
9. Leakage From Upper Flat (LUF)

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## TOTAL SOLUTION

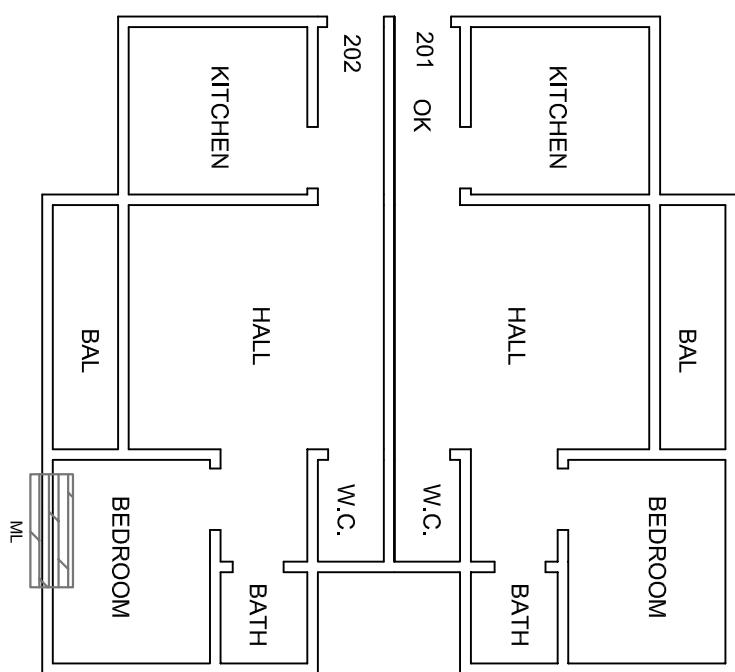
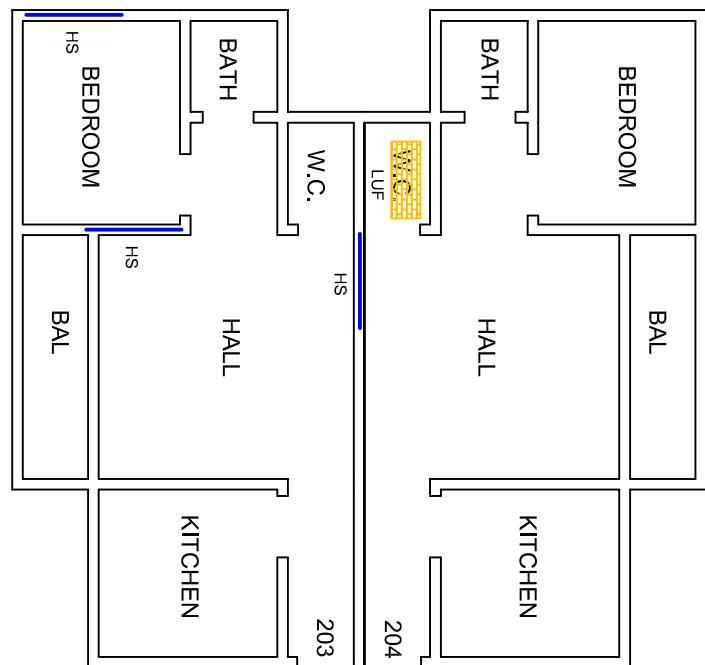
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B WING

FIRST FLOOR

SUMAN TULSIANI C.H.S LTD.

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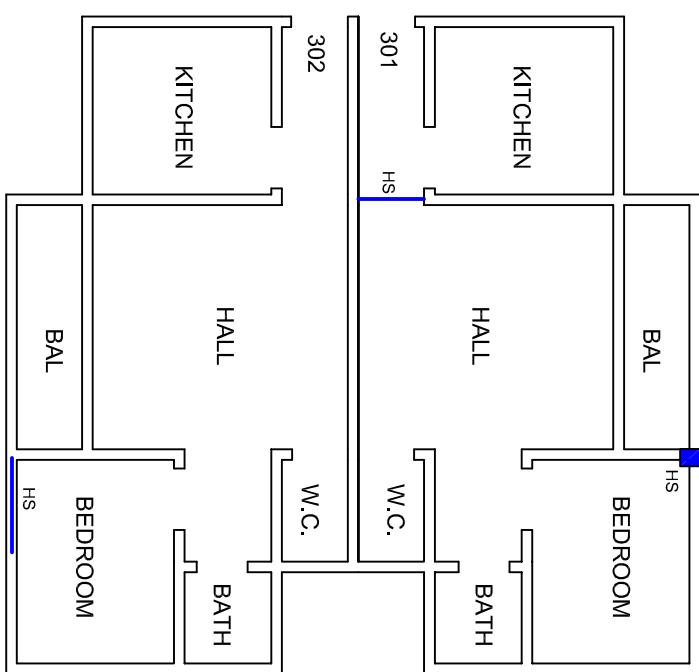
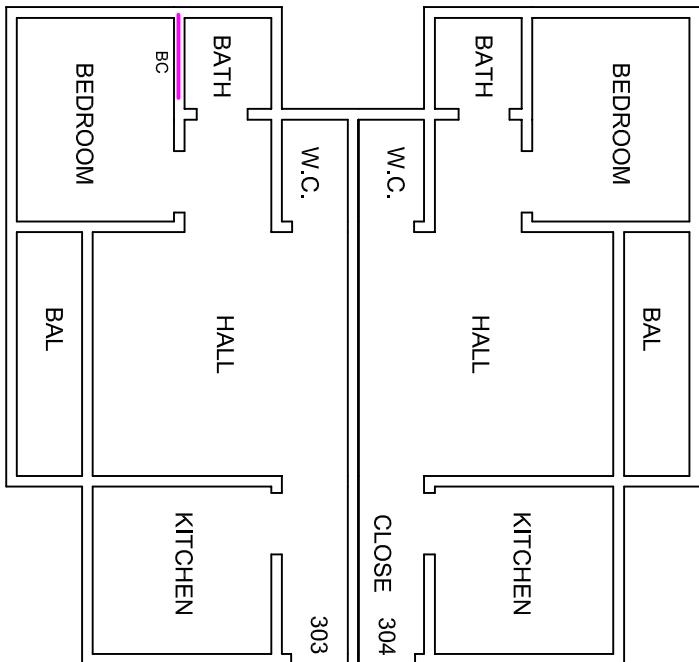


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SUMAN TULSIANI C.H.S LTD.

B WING

SECOND FLOOR



SUMAN TULSIANI C.H.S LTD.

B WING

THIRD FLOOR

## TOTAL SOLUTION

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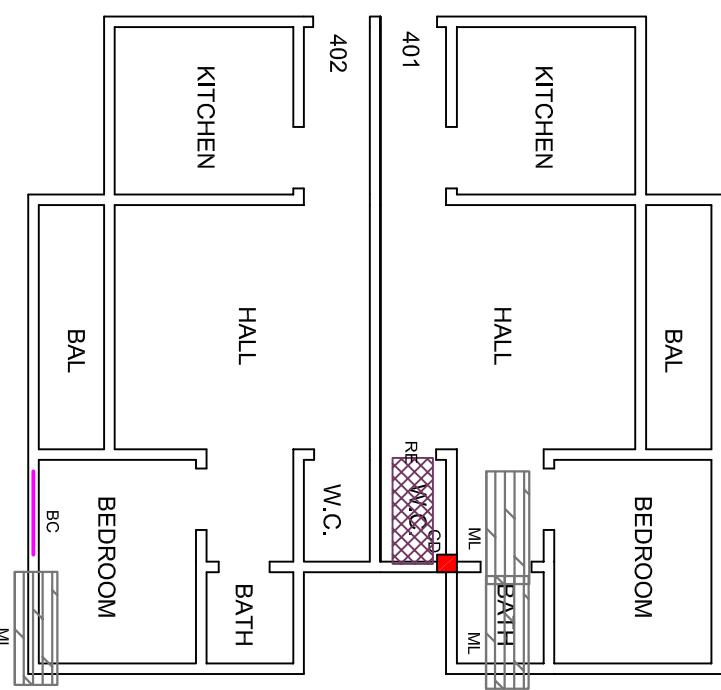
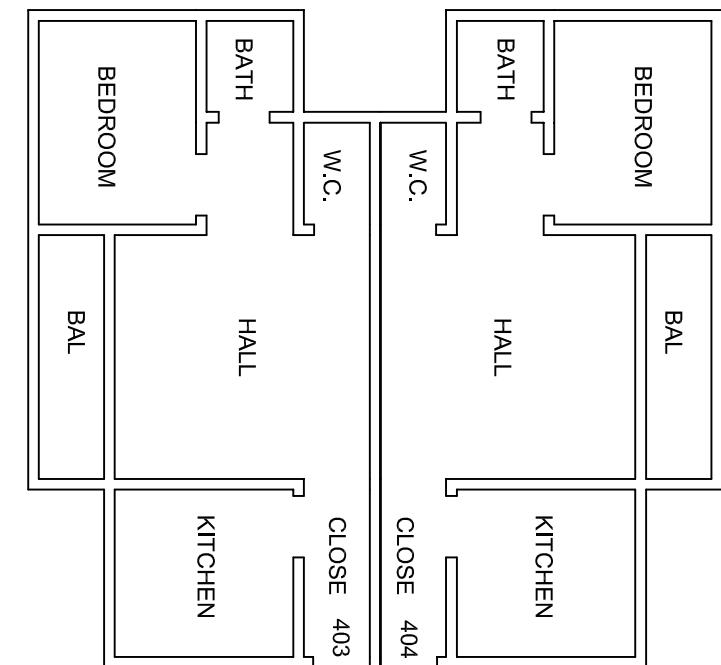
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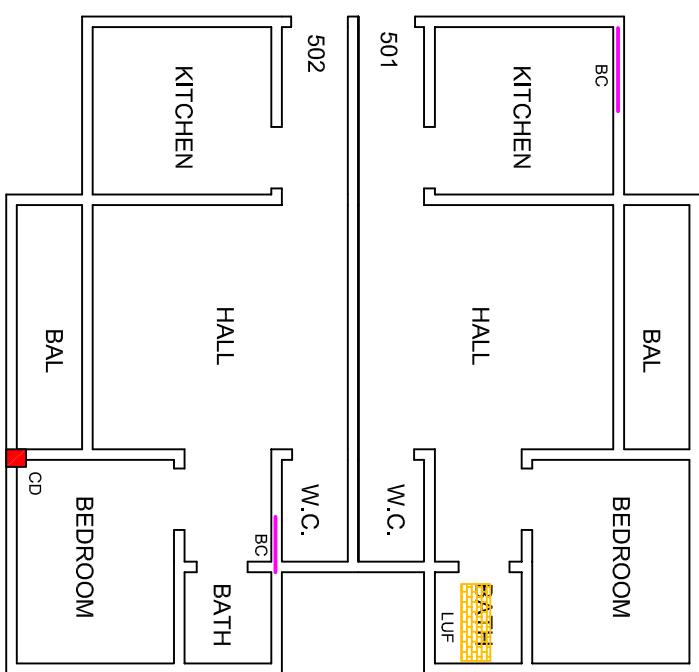
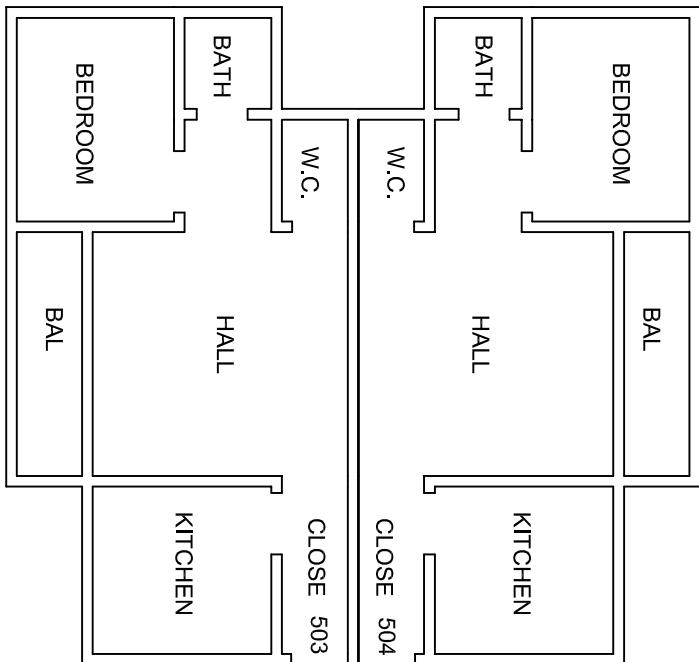
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B WING

FOURTH FLOOR

SUMAN TULSIANI C.H.S LTD.



## TOTAL SOLUTION

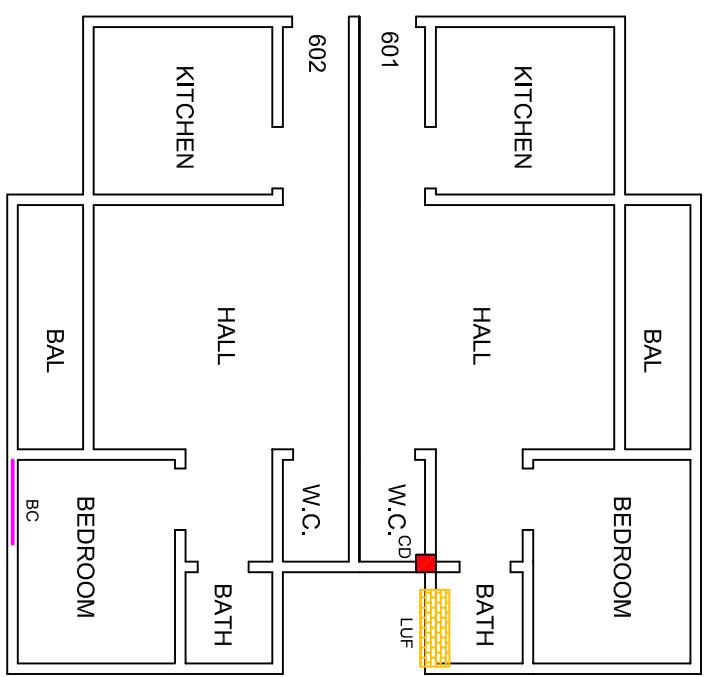
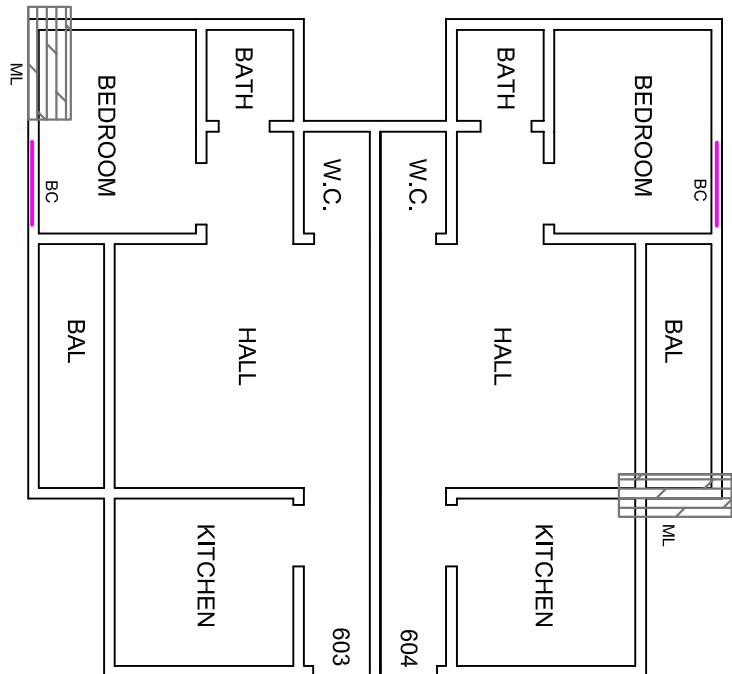
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B WING

FIFTH FLOOR

SUMAN TULSIANI C.H.S LTD.

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## TOTAL SOLUTION

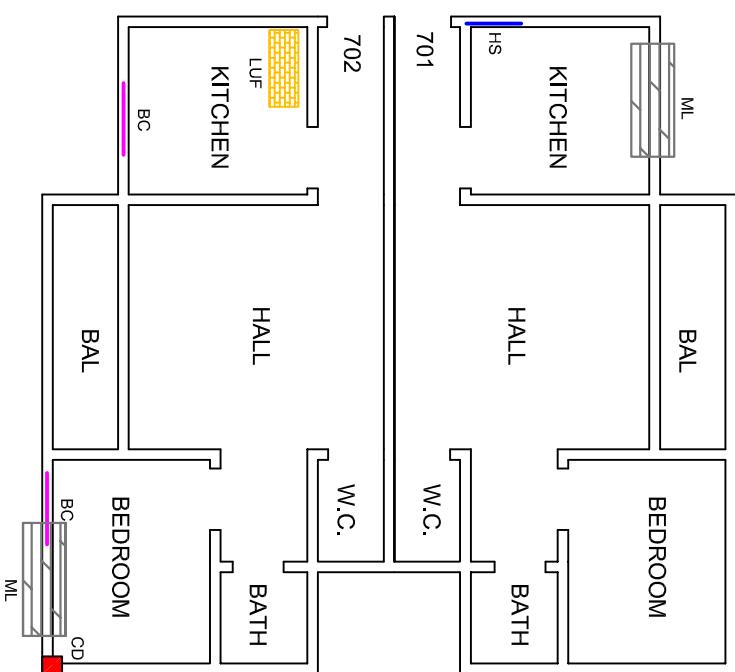
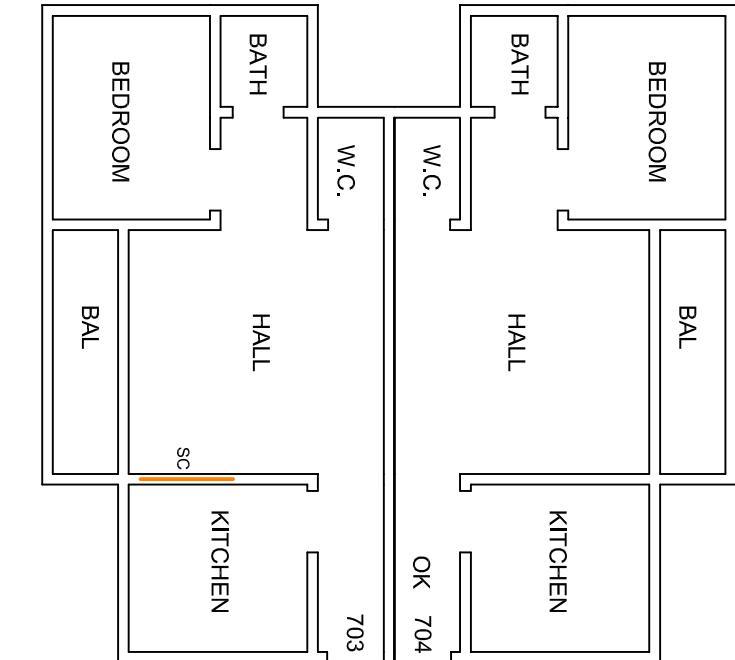
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B WING

SIXTH FLOOR

SUMAN TULSIANI C.H.S LTD.

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12. Leakage From Upper Flat (LUF)
13. Other

## TOTAL SOLUTION

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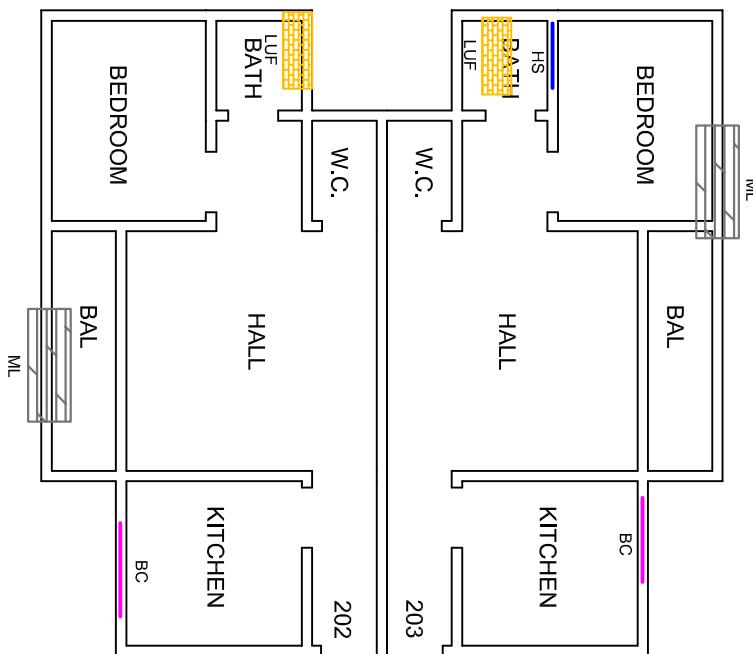
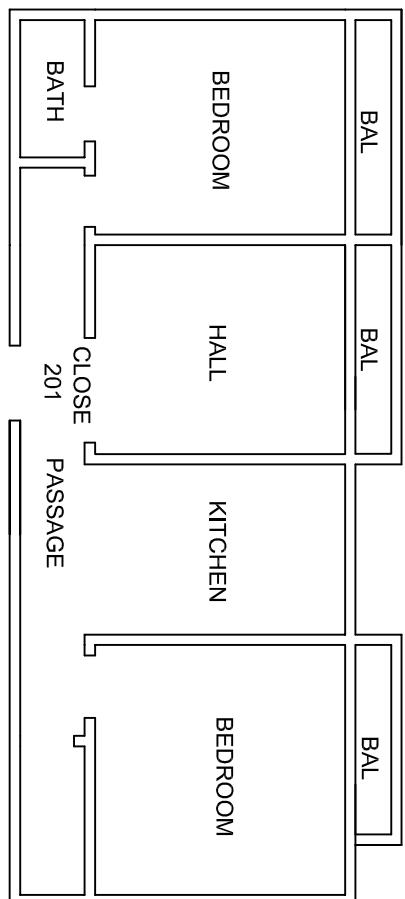
SUMAN TULSIANI C.H.S LTD.

B WING

SEVENTH FLOOR

**TOTAL SOLUTION**

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SUMAN TULSIANI C.H.S LTD.

C WING

SECOND FLOOR

## TOTAL SOLUTION

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1. Ceiling Cracks (CC)

2. Dampness (DA)

3. Hollow Sound (HS)

4. Beam Cracks (BC)

5. Monsoon Leakage (ML)

6. Beam Damaged (BD)

7. Reinforcement Exposed (RE)

8. Column Damaged (CD)

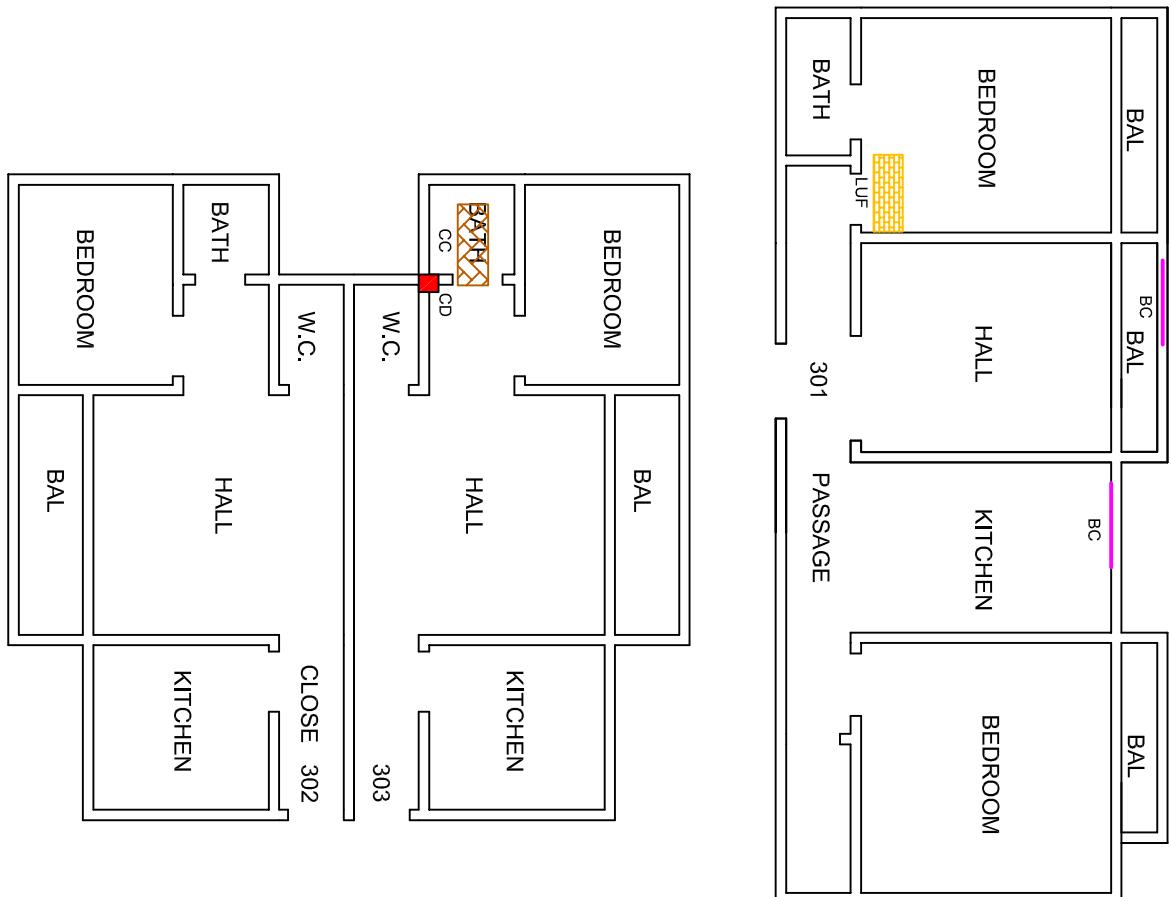
9. leakage From Upper Flat (LUF)

10. Chajja Cracks (CHC)

11. Separation Cracks (SC)

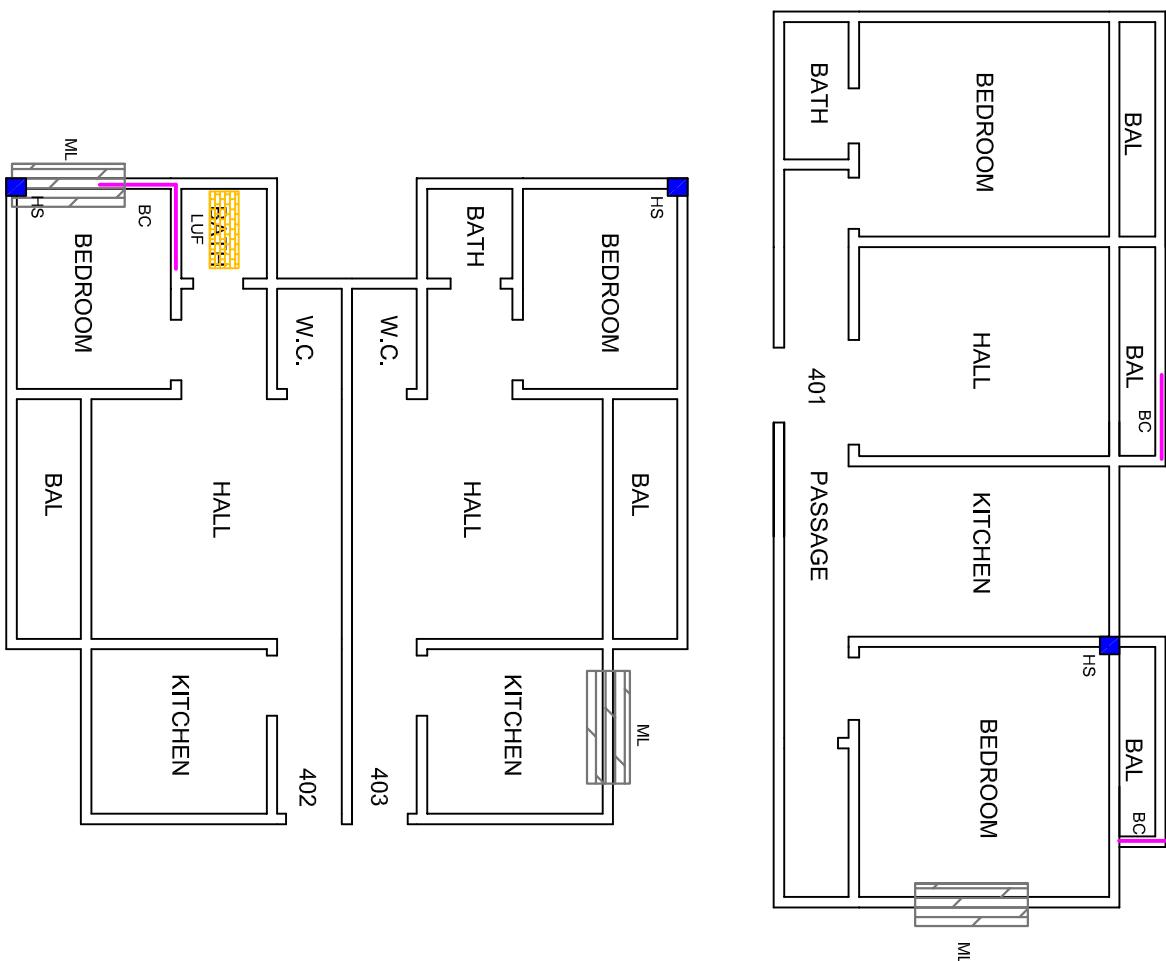
12. Efflorescence (EF)

13. Flooring Uneven (FU)

**TOTAL SOLUTION**

REPAIRS & RESTORATION CONSULTANT  
Lokhandwala Main Market Road, Andheri (W)  
Mumbai - 400053. Tel : 400362529820130492  
Email :- totalsolutionconsultancy@gmail.com

1. Ceiling Cracks (CC)
2. Dampness (DA)
3. Hollow Sound (HS)
4. Beam Cracks (BC)
5. Monsoon Leakage (ML)
6. Beam Damaged (BD)
7. Reinforcement Exposed (RE)
8. Column Damaged (CD)
9. leakage From Upper Flat (LUF)
10. Chajja Cracks (CHC)
11. Separation Cracks (SC)
12. Efflorescence (EF)
13. Flooring Uneven (FU)

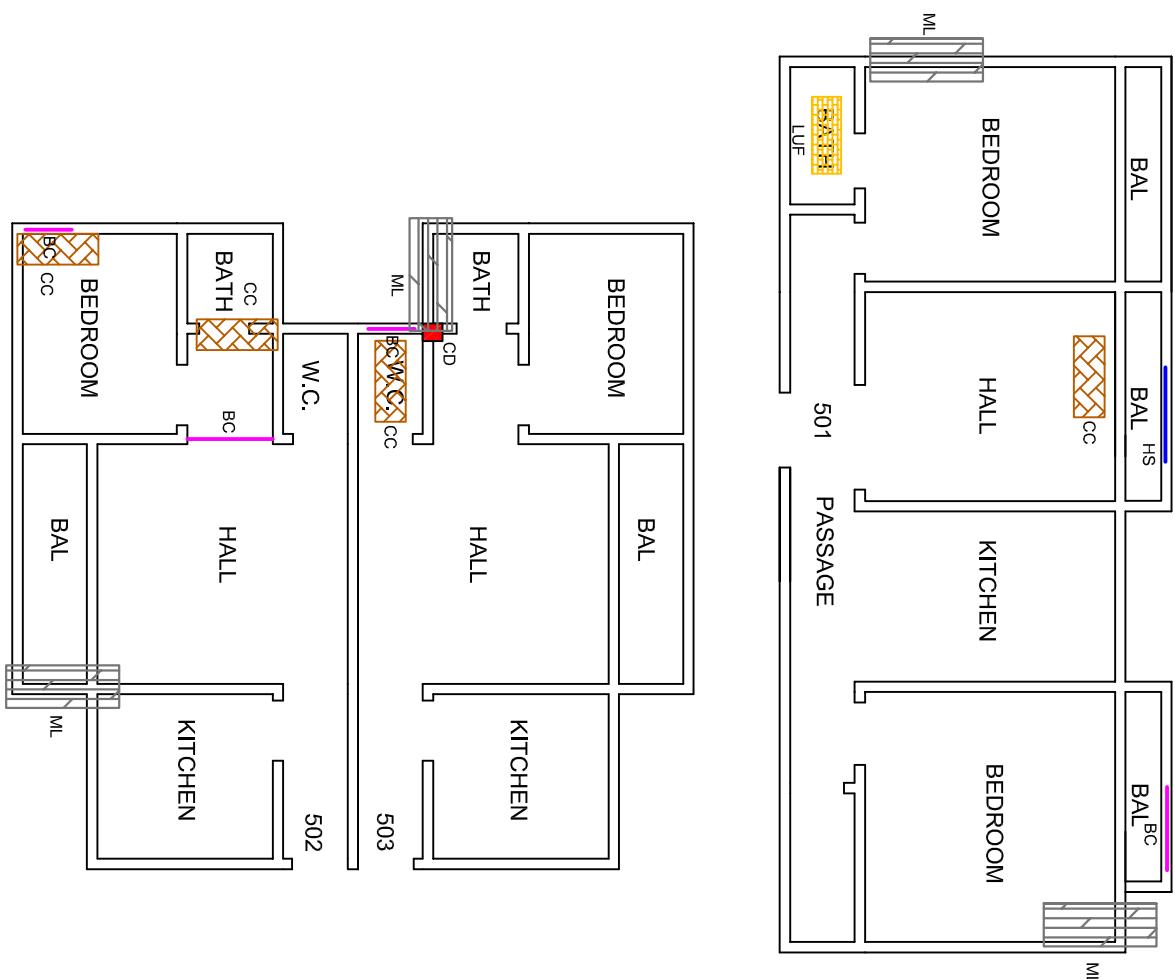


<b>TOTAL SOLUTION</b>	REPAIRS & RESTORATION CONSULTANT Lokhandwala Main Market Road, Andheri (W) Mumbai - 400053. Tel : 400362529820130492 Email :- totaisolutionconsultancy@gmail.com
1.	Ceiling Cracks (CC)
2.	Dampness (DA)
3.	Hollow Sound (HS)
4.	Beam Cracks (BC)
5.	Monsoon Leakage (ML)
6.	Beam Damaged (BD)
7.	Reinforcement Exposed (RE)
8.	Column Damaged (CD)
9.	leakage From Upper Flat (LUF)
10.	Chajja Cracks (CHC)
11.	Separation Cracks (SC)
12.	Efflorescence (EF)
13.	Flooring Uneven (FU)

SUMAN TULSIANI C.H.S LTD.

C WING

FOURTH FLOOR



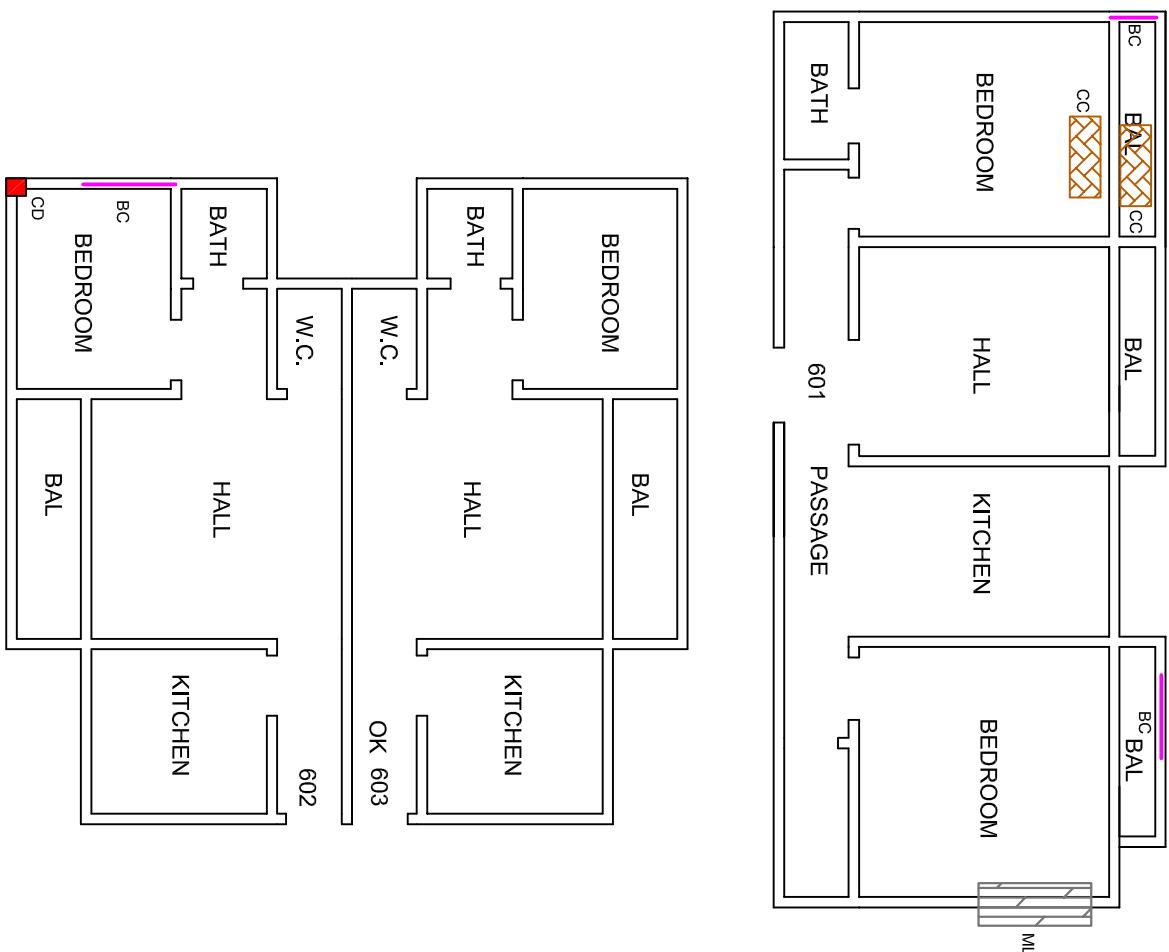
SUMAN TULSIANI C.H.S LTD.

C WING

FIFTH FLOOR

## TOTAL SOLUTION

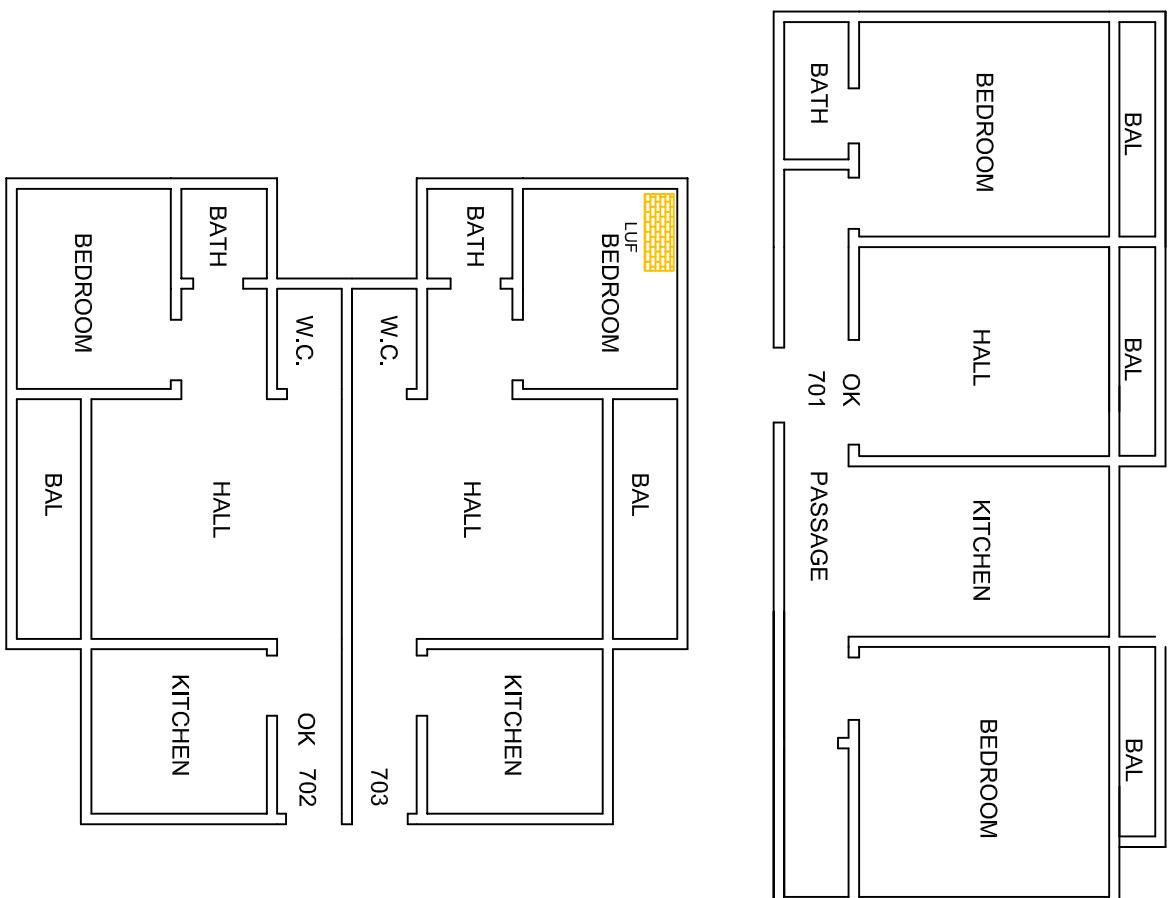
REPAIRS & RESTORATION CONSULTANT  
Lokhandwala Main Market Road, Andheri (W)  
Mumbai - 400053. Tel : 400362529820130492  
Email :- totaisolutionconsultancy@gmail.com



<b>TOTAL SOLUTION</b>	REPAIRS & RESTORATION CONSULTANT Lokhandwala Main Market Road, Andheri (W) Mumbai - 400053. Tel : 400362529820130492 Email :- totalsolutionconsultancy@gmail.com
1.	Ceiling Cracks (CC)
2.	Dampness (DA)
3.	Hollow Sound (HS)
4.	Beam Cracks (BC)
5.	Monsoon Leakage (ML)
6.	Beam Damaged (BD)
7.	Reinforcement Exposed (RE)
8.	Column Damaged (CD)
9.	leakage From Upper Flat (LUF)
10.	Chajja Cracks (CHC)
11.	Separation Cracks (SC)
12.	Efflorescence (EF)
13.	Flooring Uneven (FU)

SUMAN TULSIANI C.H.S LTD. C WING

SIXTH FLOOR



1.		Ceiling Cracks (CC)
2.		Dampness (DA)
3.		Hollow Sound (HS)
4.		Beam Cracks (BC)
5.		Monsoon Leakage (ML)
6.		Beam Damaged (BD)
7.		Reinforcement Exposed (RE)
8.		Column Damaged (CD)
9.		leakage From Upper Flat (LUF)
10.		Chajja Cracks (CHC)
11.		Separation Cracks (SC)
12.		Efflorescence (EF)
13.		Flooring Uneven (FU)
<b>TOTAL SOLUTION</b>		
REPAIRS & RESTORATION CONSULTANT Lokhandwala Main Market Road, Andheri (W) Mumbai - 400053. Tel : 400362529820130492 Email :- totaisolutionconsultancy@gmail.com		

SUMAN TULSIANI C.H.S LTD.

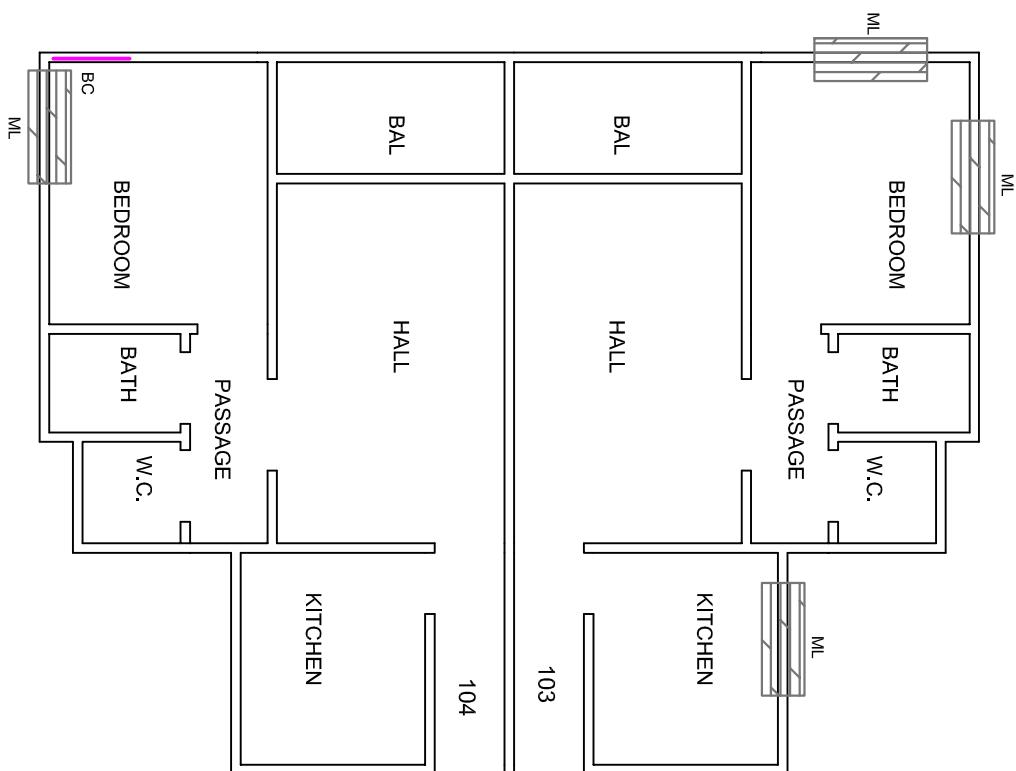
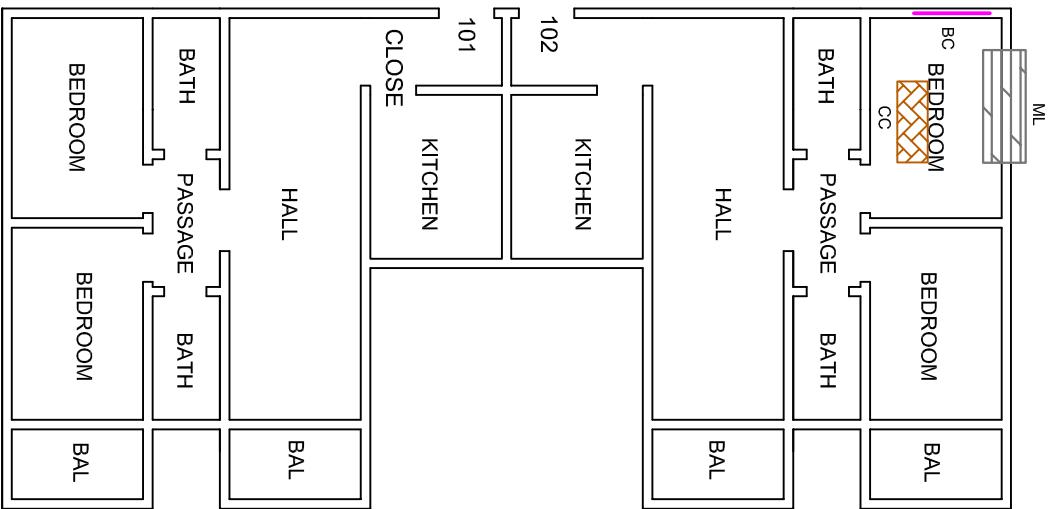
C WING

SEVENTH FLOOR

# SUMAN TULSIANI C.H.S LTD.

## TOWER

### 1ST FLOOR



## TOTAL SOLUTION

REPAIRS & RESTORATION CONSULTANT  
Lokhandwala Main Market Road, Andheri (W)  
Mumbai - 400053. Tel : 400362529820130492  
Email :- totaisolutionconsultancy@gmail.com

- |     |  |                               |
|-----|--|-------------------------------|
| 1.  |  | Ceiling Cracks (CC)           |
| 2.  |  | Dampness (DA)                 |
| 3.  |  | Hollow Sound (HS)             |
| 4.  |  | Beam Cracks (BC)              |
| 5.  |  | Monsoon Leakage (ML)          |
| 6.  |  | Beam Damaged (BD)             |
| 7.  |  | Reinforcement Exposed (RE)    |
| 8.  |  | Column Damaged (CD)           |
| 9.  |  | leakage From Upper Flat (LUF) |
| 10. |  | Chajja Cracks (CHC)           |
| 11. |  | Separation Cracks (SC)        |
| 12. |  | Efflorescence (EF)            |
| 13. |  | Flooring Uneven (FU)          |

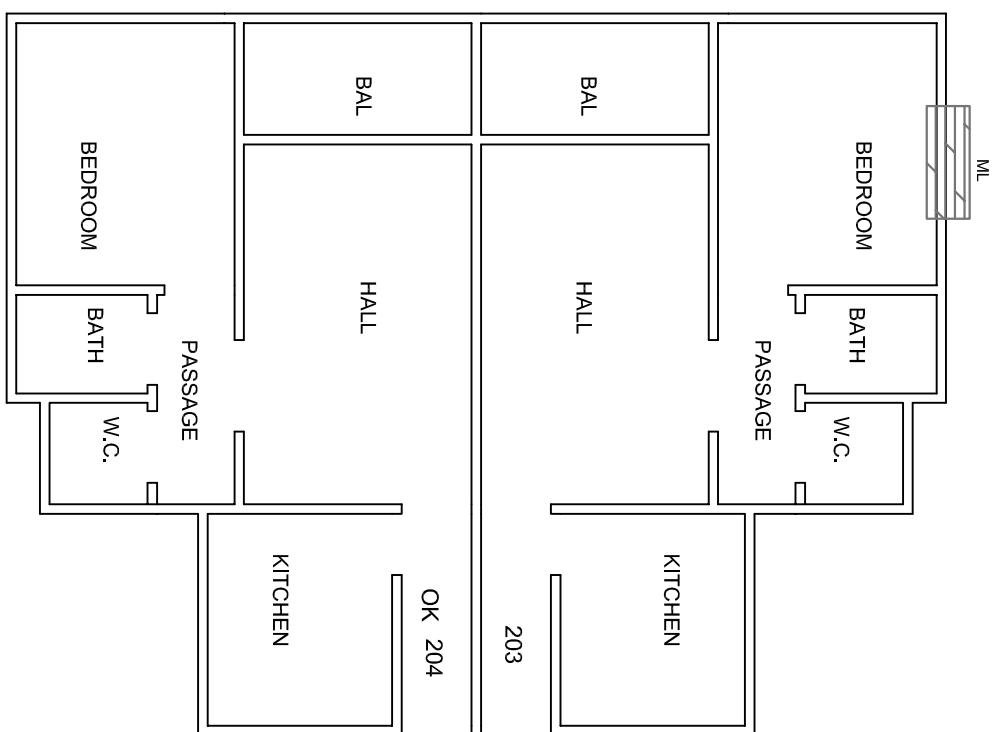
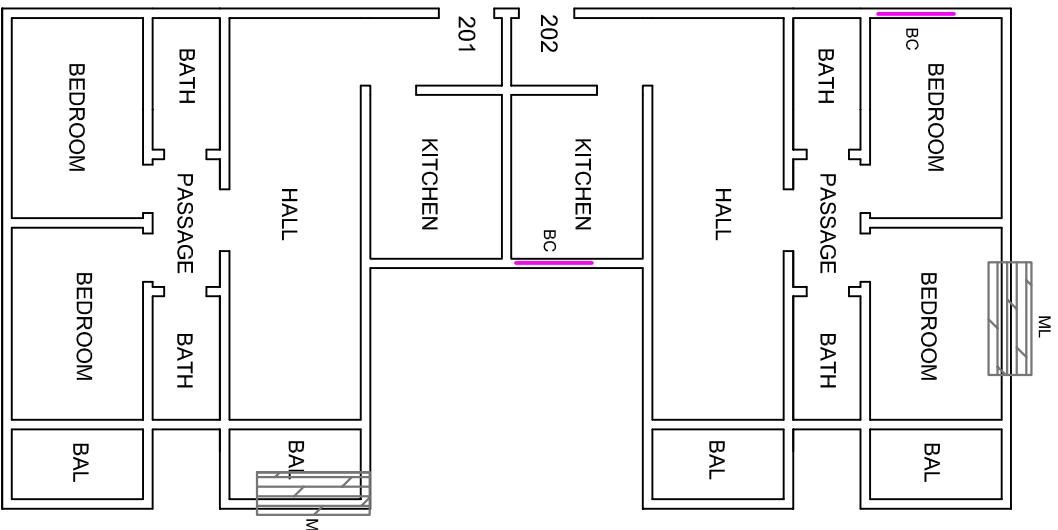
# SUMAN TULSIANI C.H.S LTD.

TOWER

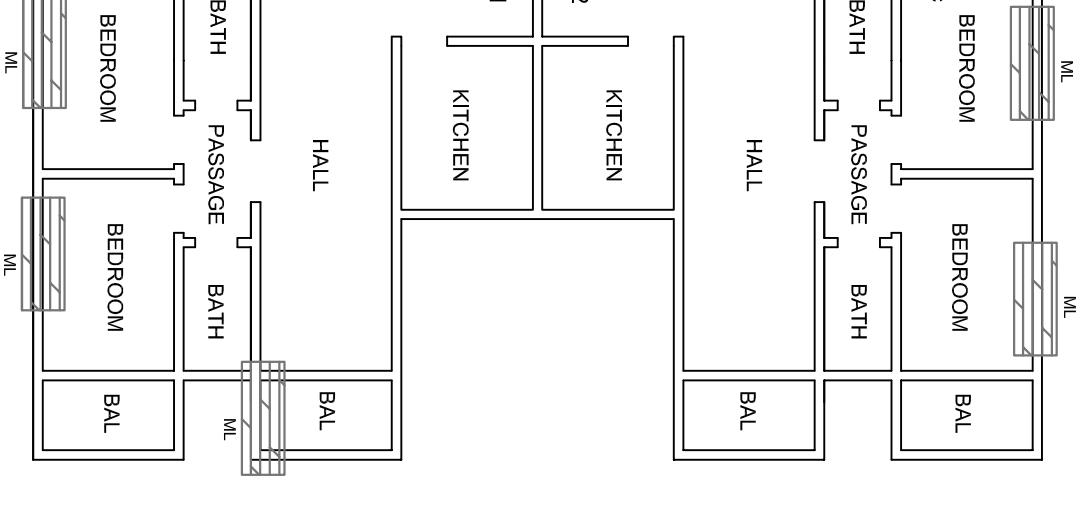
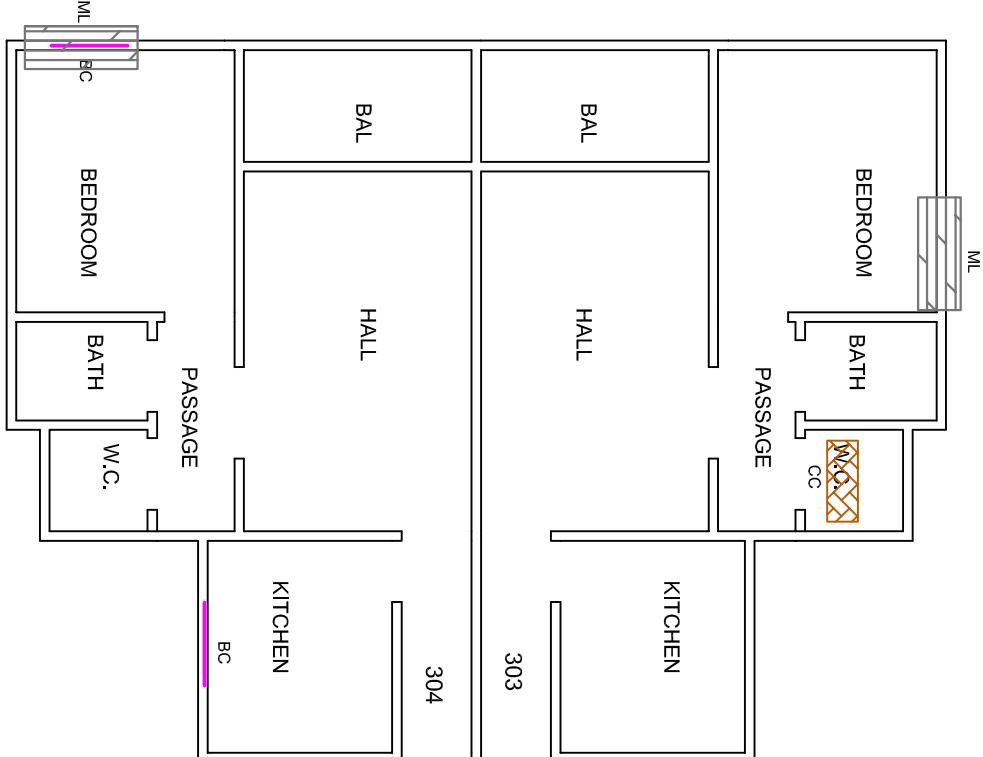
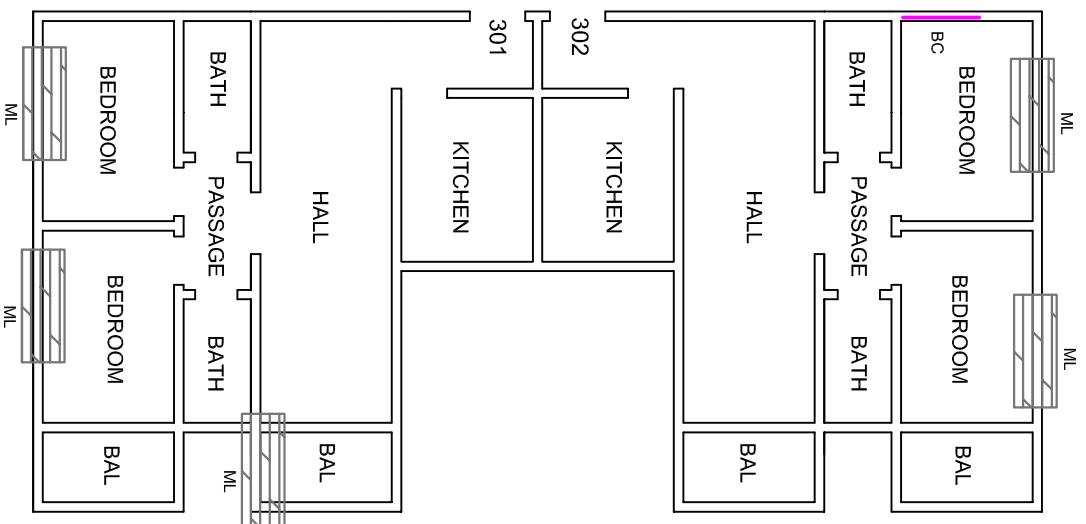
2ND FLOOR

## TOTAL SOLUTION

REPAIRS & RESTORATION CONSULTANT  
Lokhandwala Main Market Road, Andheri (W)  
Mumbai - 400053. Tel : 400362529820130492  
Email :- totalsolutionconsultancy@gmail.com



1. Ceiling Cracks (CC)
2. Dampness (DA)
3. Hollow Sound (HS)
4. Beam Cracks (BC)
5. Monsoon Leakage (ML)
6. Beam Damaged (BD)
7. Reinforcement Exposed (RE)
8. Column Damaged (CD)
9. leakage From Upper Flat (LUF)
10. Chajja Cracks (CHC)
11. Separation Cracks (SC)
12. Efflorescence (EF)
13. Flooring Uneven (FU)



- Ceiling Cracks (CC)
- Dampness (DA)
- Hollow Sound (HS)
- Beam Cracks (BC)
- Monsoon Leakage (ML)
- Beam Damaged (BD)
- Reinforcement Exposed (RE)
- Column Damaged (CD)
- Chajja Cracks (CHC)
- Separation Cracks (SC)
- Efflorescence (EF)
- Flooring Uneven (FU)

## TOTAL SOLUTION

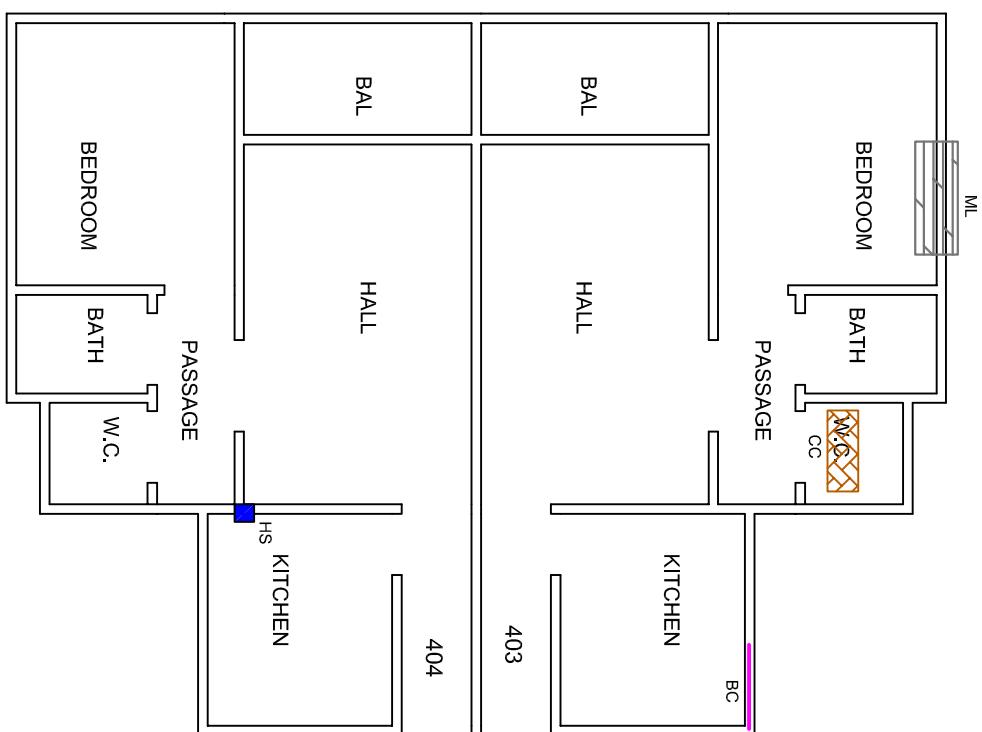
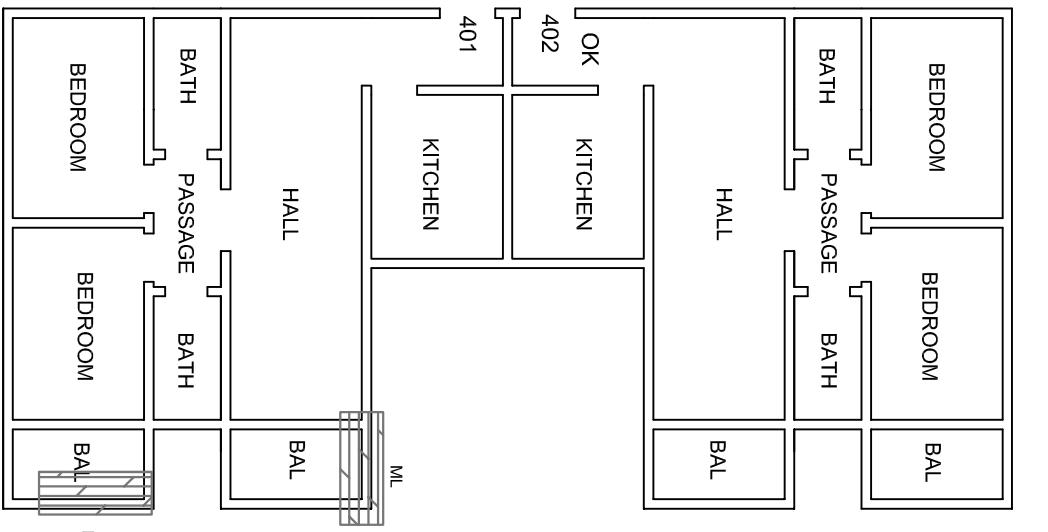
REPAIRS & RESTORATION CONSULTANT  
Lokhandwala Main Market Road, Andheri (W)  
Mumbai - 400053. Tel : 400362529820130492  
Email :- totalsolutionconsultancy@gmail.com

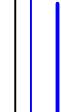
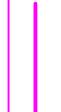
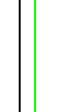
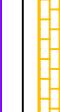
SUMAN TULSIANI C.H.S LTD. TOWER 3RD FLOOR

SUMAN TULSIANI C.H.S LTD.

TOWER

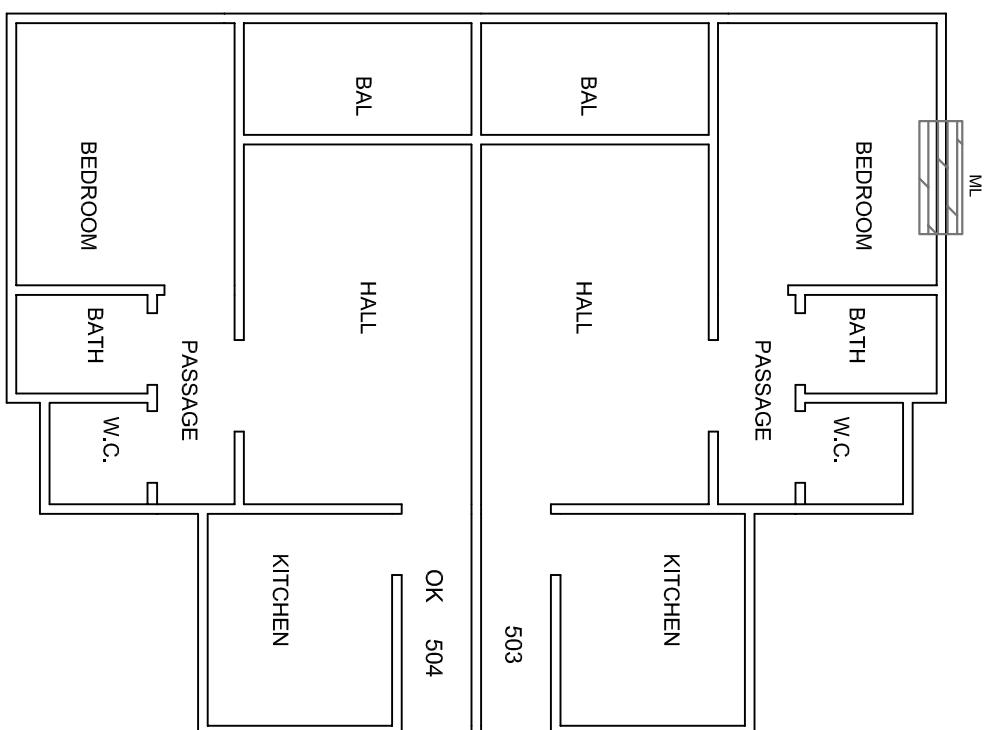
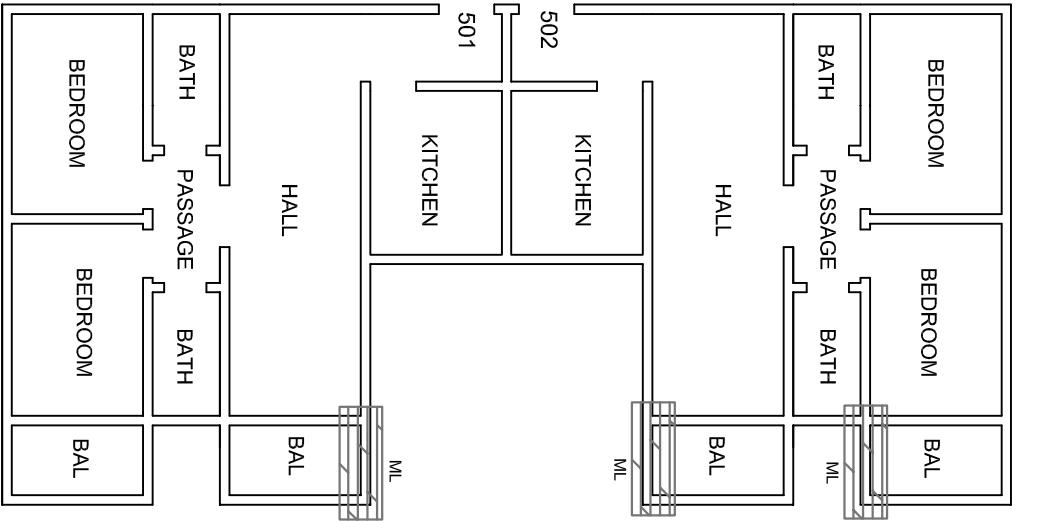
4TH FLOOR



- |     |   |                               |
|-----|---|-------------------------------|
| 1.  |  | Ceiling Cracks (CC)           |
| 2.  |  | Dampness (DA)                 |
| 3.  |  | Hollow Sound (HS)             |
| 4.  |  | Beam Cracks (BC)              |
| 5.  |  | Monsoon Leakage (ML)          |
| 6.  |  | Beam Damaged (BD)             |
| 7.  |  | Reinforcement Exposed (RE)    |
| 8.  |    | Column Damaged (CD)           |
| 9.  |    | leakage From Upper Flat (LUF) |
| 10. |    | Chajja Cracks (CHC)           |
| 11. |    | Separation Cracks (SC)        |
| 12. |    | Efflorescence (EF)            |
| 13. |    | Flooring Uneven (FU)          |

TOTAL SOLUTION

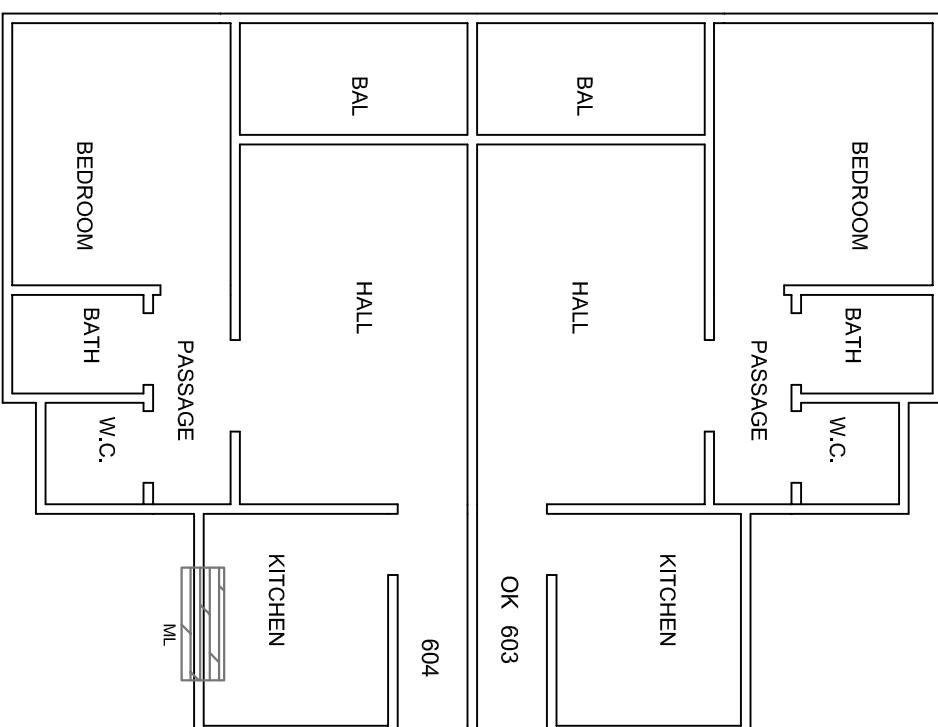
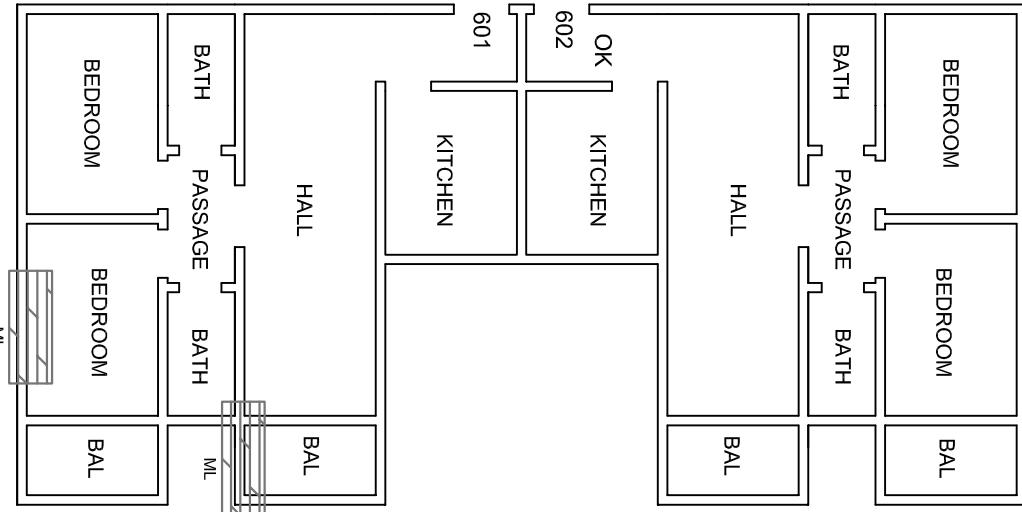
**REPAIRS & RESTORATION CONSULTANT**  
Lokhandwala Main Market Road, Andheri (W)  
Mumbai - 400053. Tel: 40036252/9820130492  
Email :- totalsolutionconsultant9@gmail.com



## TOTAL SOLUTION

REPAIRS & RESTORATION CONSULTANT  
Lokhandwala Main Market Road, Andheri (W)  
Mumbai - 400053. Tel : 400362529820130492  
Email :- totalsolutionconsultancy@gmail.com

SUMAN TULSIANI C.H.S LTD. TOWER 5TH FLOOR



SUMAN TULSIANI C.H.S LTD.

TOWER

6TH FLOOR

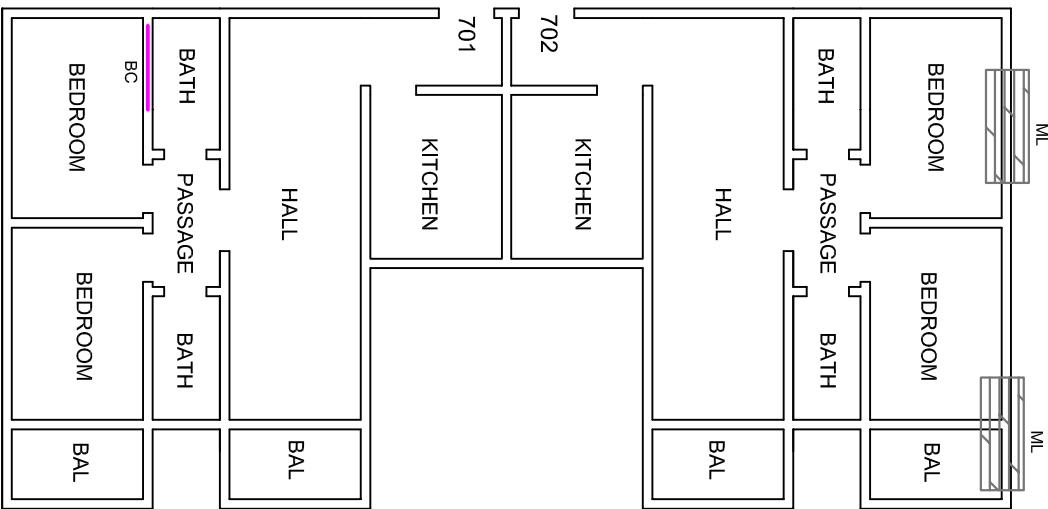
## TOTAL SOLUTION

REPAIRS & RESTORATION CONSULTANT  
Lokhandwala Main Market Road, Andheri (W)  
Mumbai - 400053. Tel : 400362529820130492  
Email :- totalsolutionconsultancy@gmail.com

1. Ceiling Cracks (CC)
2. Dampness (DA)
3. Hollow Sound (HS)
4. Beam Cracks (BC)
5. Monsoon Leakage (ML)
6. Beam Damaged (BD)
7. Reinforcement Exposed (RE)
8. Column Damaged (CD)
9. Leakage From Upper Flat (LUF)
10. Chajja Cracks (CHC)
11. Separation Cracks (SC)
12. Efflorescence (EF)
13. Flooring Uneven (FU)

**TOTAL SOLUTION**

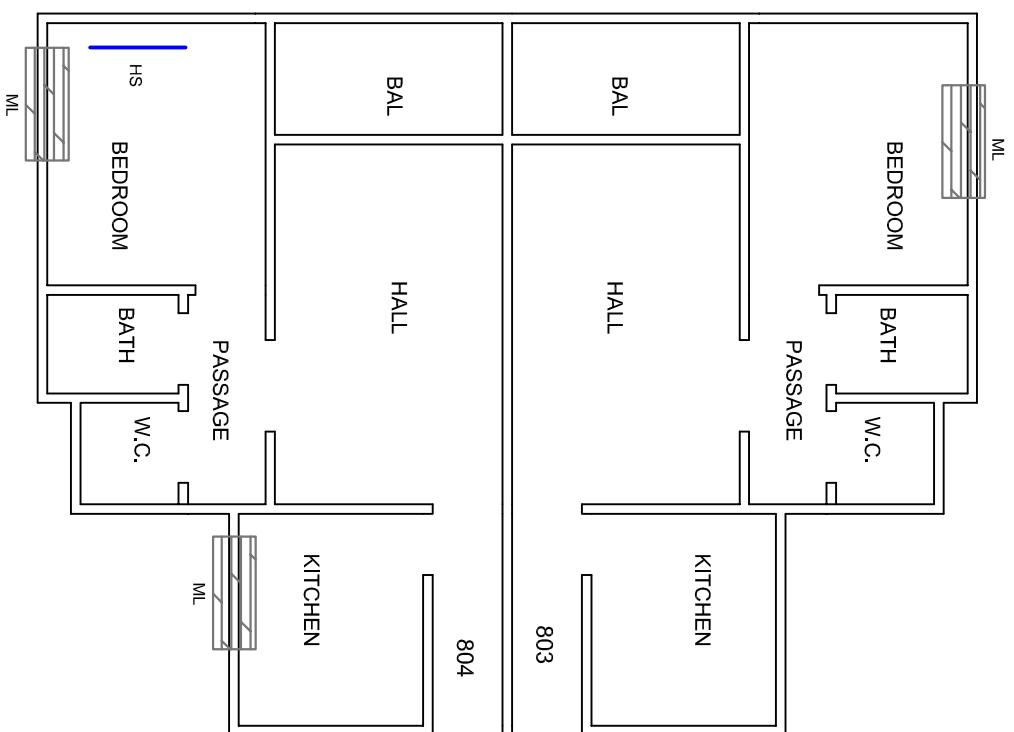
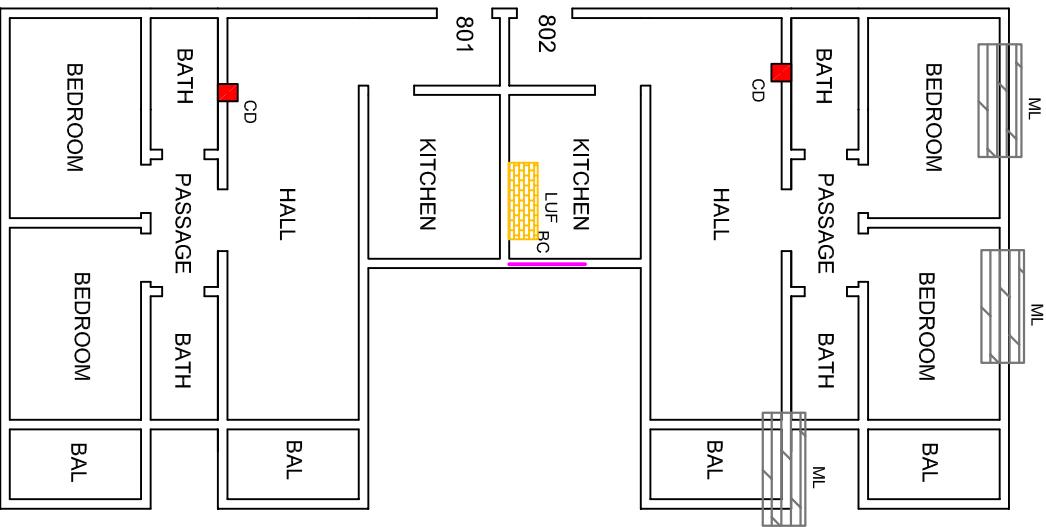
REPAIRS & RESTORATION CONSULTANT  
Lokhandwala Main Market Road, Andheri (W)  
Mumbai - 400053. Tel : 400362529820130492  
Email :- totalsolutionconsultancy@gmail.com



- Ceiling Cracks (CC)
- Dampness (DA)
- Hollow Sound (HS)
- Beam Cracks (BC)
- Monsoon Leakage (ML)
- Beam Damaged (BD)
- Reinforcement Exposed (RE)
- Column Damaged (CD)
- Chajja Cracks (CHC)
- Separation Cracks (SC)
- Efflorescence (EF)
- Flooring Uneven (FU)

## TOTAL SOLUTION

REPAIRS & RESTORATION CONSULTANT  
Lokhandwala Main Market Road, Andheri (W)  
Mumbai - 400053. Tel : 400362529820130492  
Email :- totalsolutionconsultancy@gmail.com



1. Ceiling Cracks (CC)
2. Dampness (DA)

3. Hollow Sound (HS)

4. Beam Cracks (BC)

5. Monsoon Leakage (ML)

6. Beam Damaged (BD)

7. Reinforcement Exposed (RE)

8. Column Damaged (CD)

9. leakage From Upper Flat (LUF)

10. Chajja Cracks (CHC)

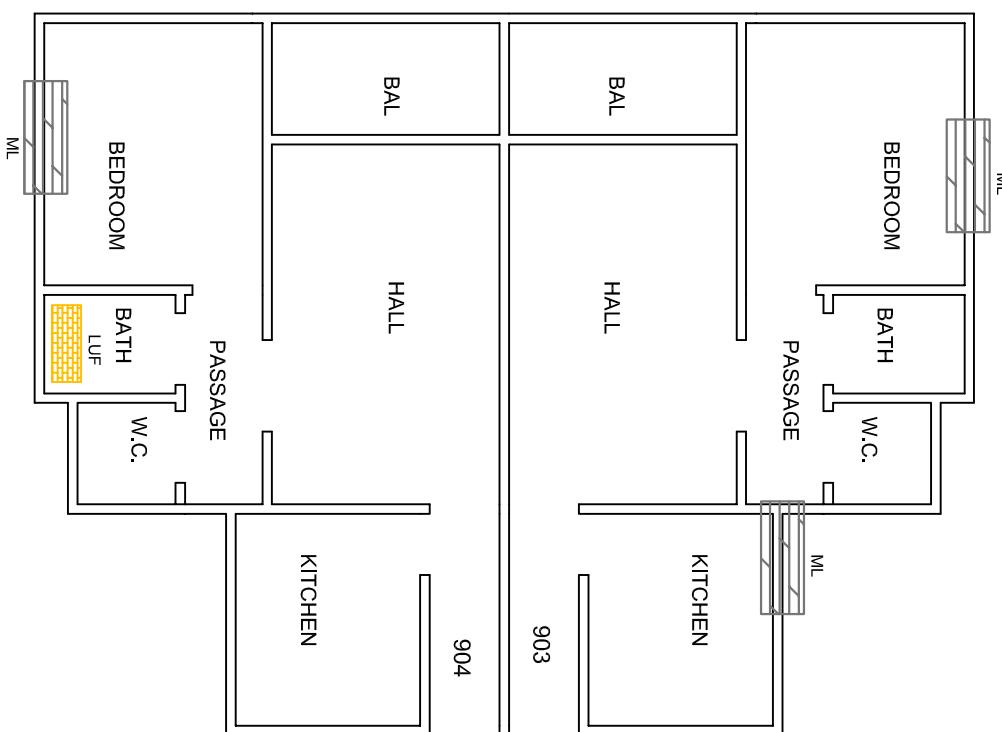
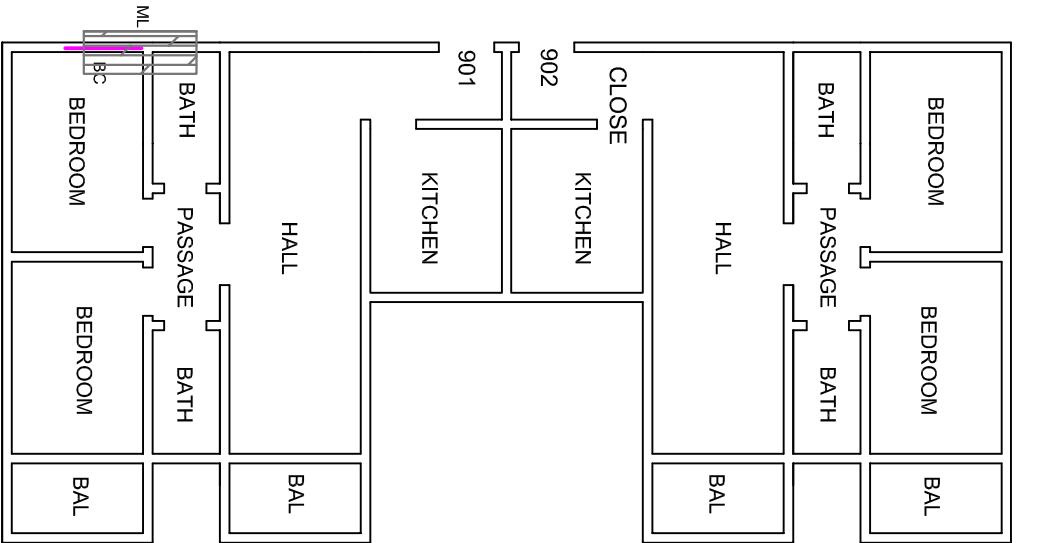
11. Separation Cracks (SC)

12. Efflorescence (EF)

13. Flooring Uneven (FU)

**TOTAL SOLUTION**

REPAIRS & RESTORATION CONSULTANT  
Lokhandwala Main Market Road, Andheri (W)  
Mumbai - 400053. Tel : 400362529820130492  
Email :- totaisolutionconsultancy@gmail.com



1. Ceiling Cracks (CC)
2. Dampness (DA)
3. Hollow Sound (HS)
4. Beam Cracks (BC)
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11. Separation Cracks (SC)
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13. Flooring Uneven (FU)

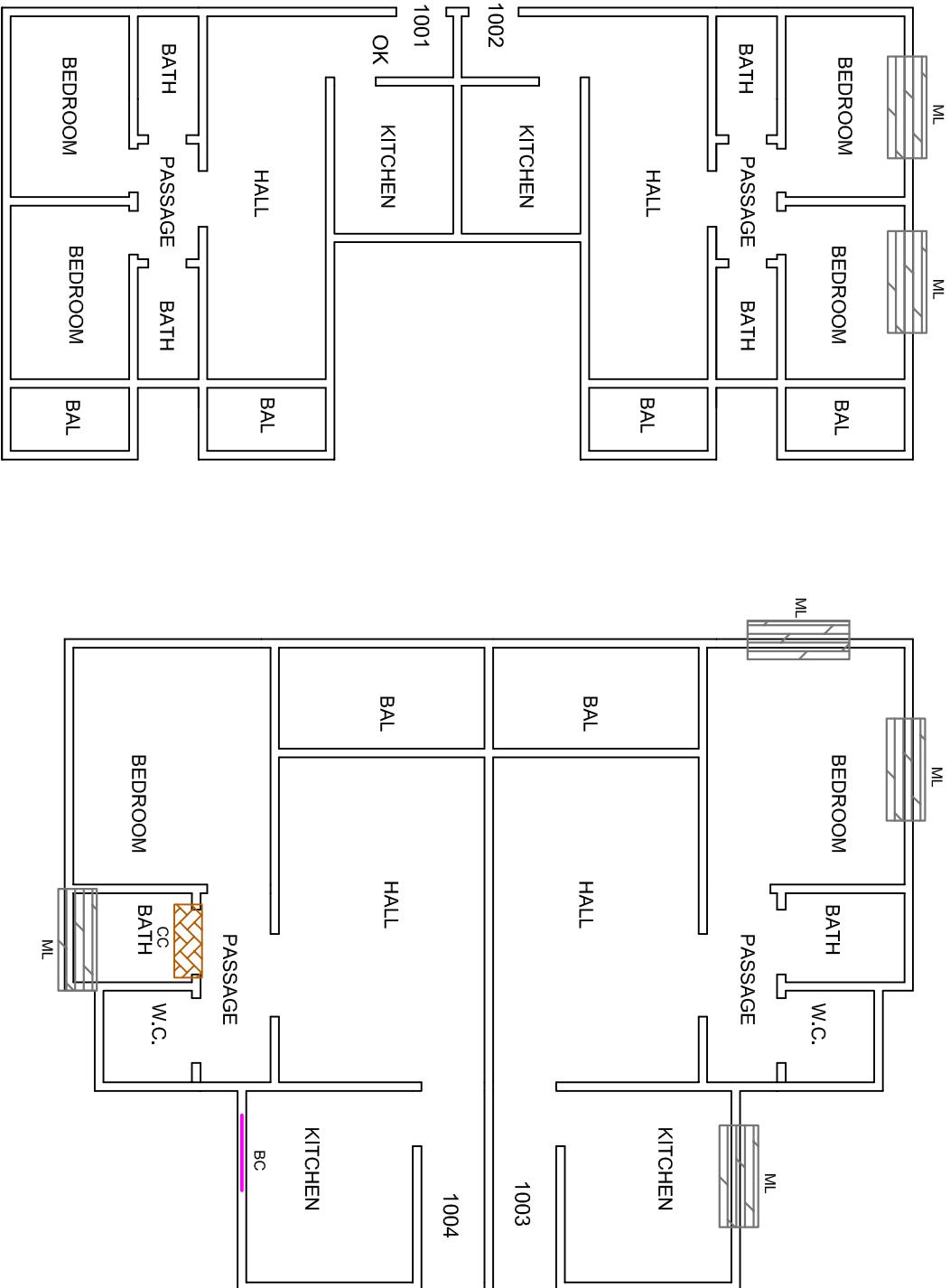
SUMAN TULSIANI C.H.S LTD.

TOWER

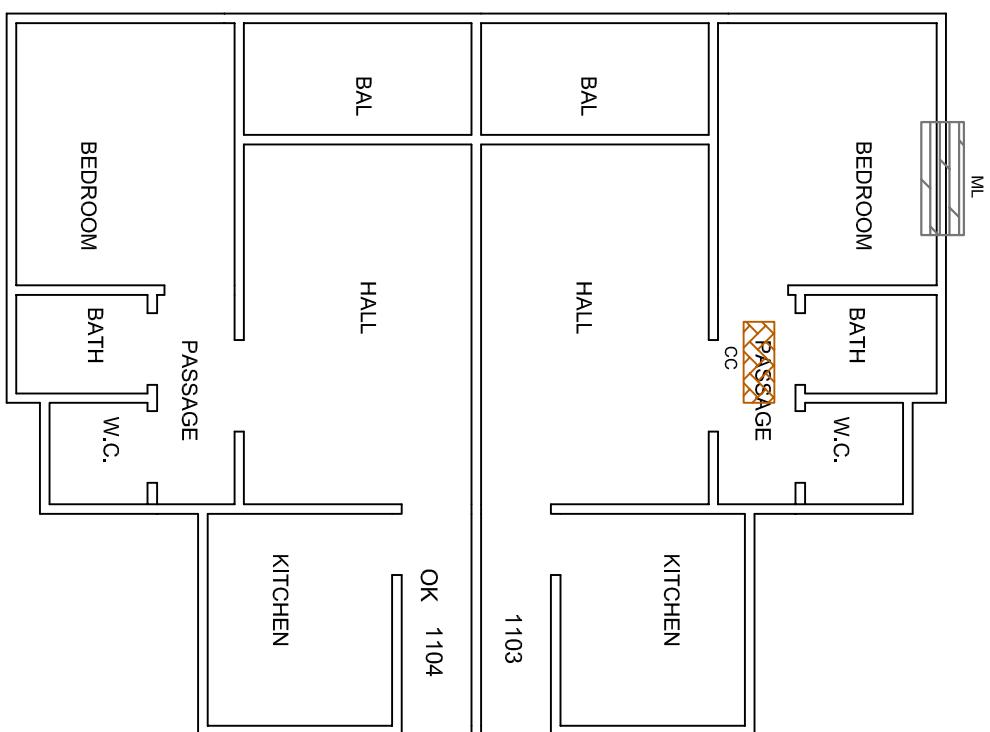
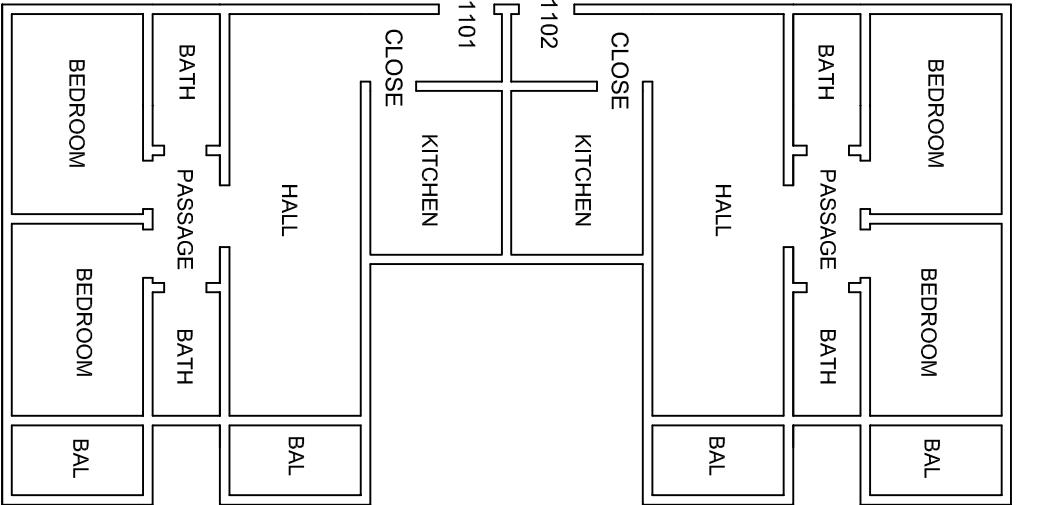
10TH FLOOR

## TOTAL SOLUTION

REPAIRS & RESTORATION CONSULTANT  
Lokhandwala Main Market Road, Andheri (W)  
Mumbai - 400053. Tel : 400362529820130492  
Email :- totalsolutionconsultancy@gmail.com



1. Ceiling Cracks (CC)
2. Dampness (DA)
3. Hollow Sound (HS)
4. Beam Cracks (BC)
5. Monsoon Leakage (ML)
6. Beam Damaged (BD)
7. Reinforcement Exposed (RE)
8. Column Damaged (CD)
9. leakage From Upper Flat (LUF)
10. Chajja Cracks (CHC)
11. Separation Cracks (SC)
12. Efflorescence (EF)
13. Flooring Uneven (FU)



SUMAN TULSIANI C.H.S LTD.

TOWER

11TH FLOOR

## TOTAL SOLUTION

REPAIRS & RESTORATION CONSULTANT  
Lokhandwala Main Market Road, Andheri (W)  
Mumbai - 400053. Tel : 400362529820130492  
Email :- totalsolutionconsultancy@gmail.com

1. Ceiling Cracks (CC)

2. Dampness (DA)

3. Hollow Sound (HS)

4. Beam Cracks (BC)

5. Monsoon Leakage (ML)

6. Beam Damaged (BD)

7. Reinforcement Exposed (RE)

8. Column Damaged (CD)

9. leakage From Upper Flat (LUF)

10. Chajja Cracks (CHC)

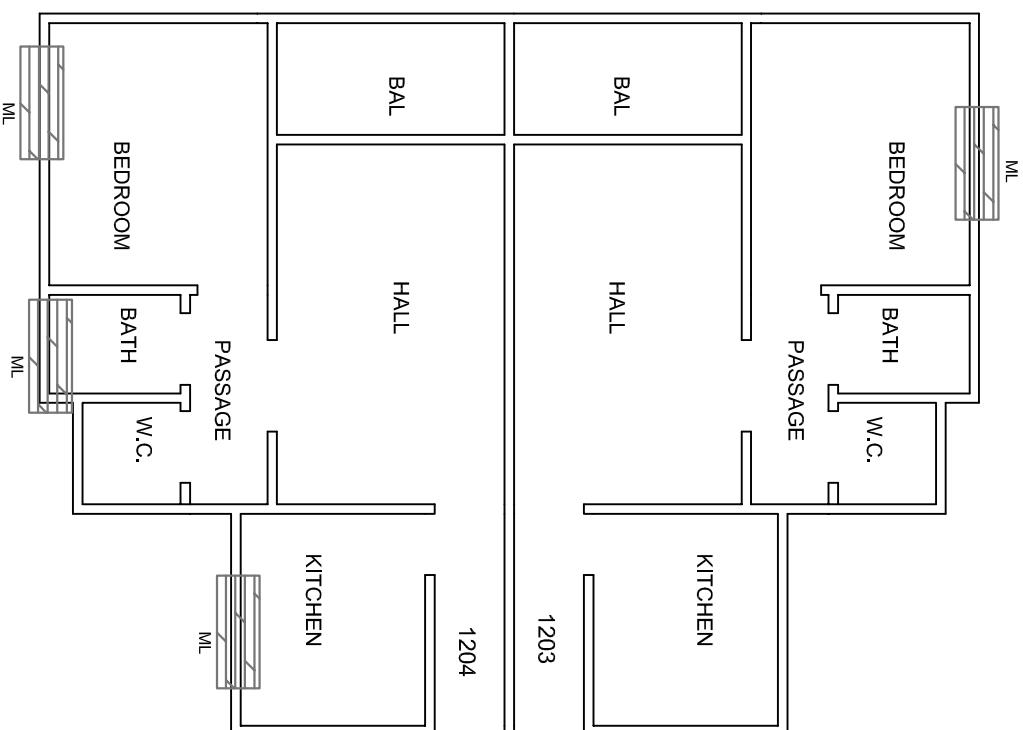
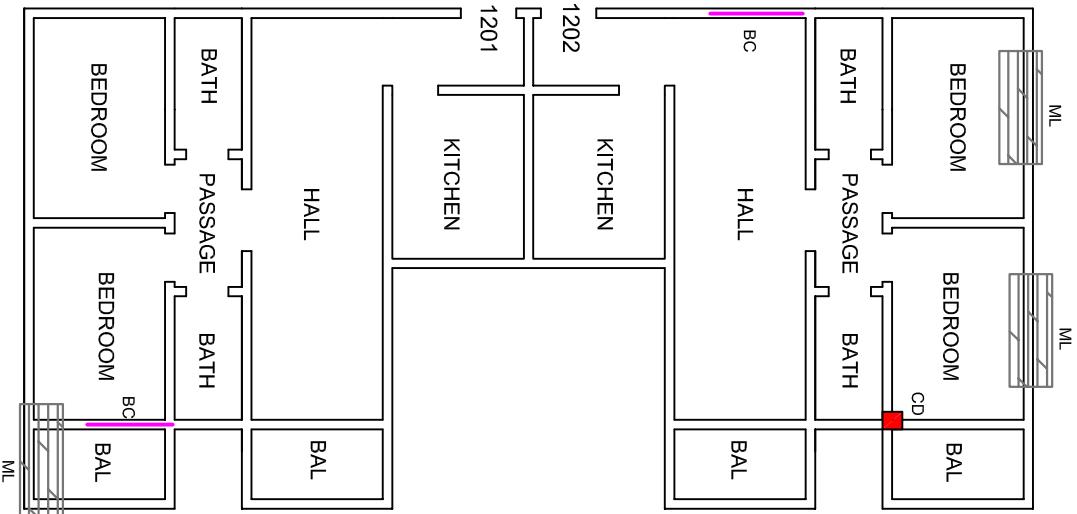
11. Separation Cracks (SC)

12. Efflorescence (EF)

13. Flooring Uneven (FU)

**TOTAL SOLUTION**

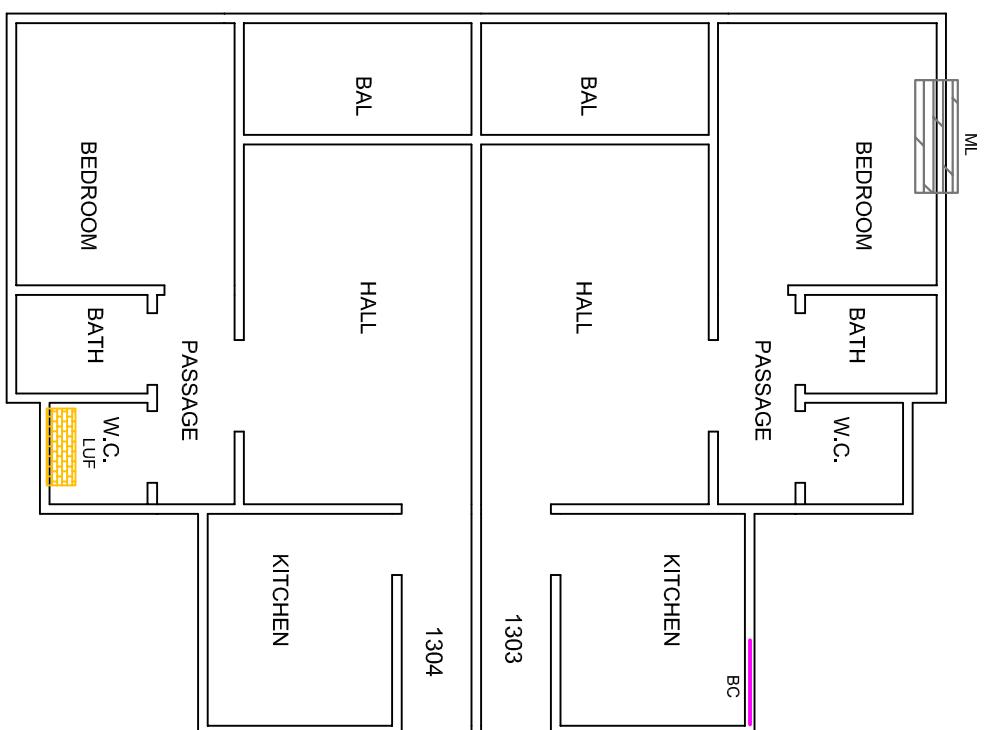
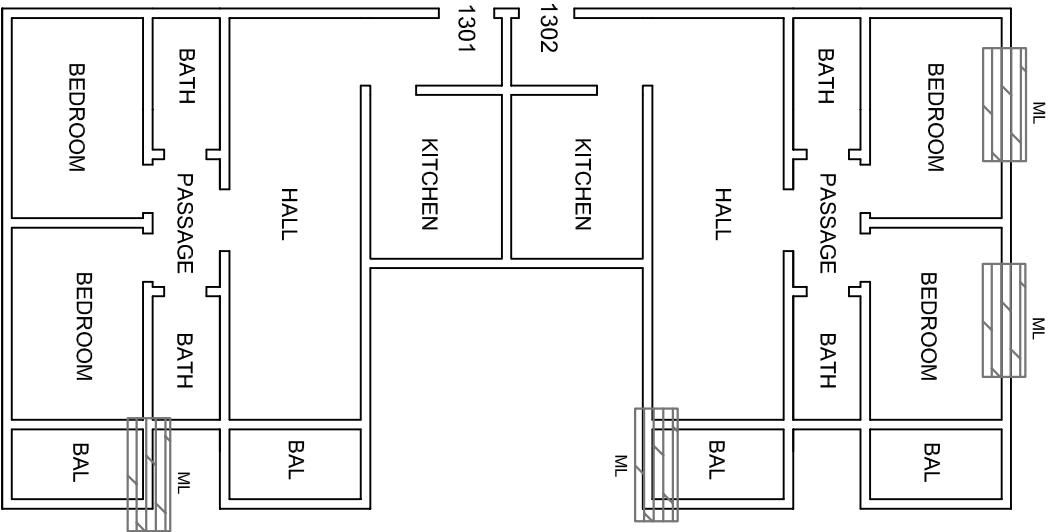
REPAIRS & RESTORATION CONSULTANT  
Lokhandwala Main Market Road, Andheri (W)  
Mumbai - 400053. Tel : 400362529820130492  
Email :- totaisolutionconsultancy@gmail.com



- |     |  |                               |
|-----|--|-------------------------------|
| 1.  |  | Ceiling Cracks (CC)           |
| 2.  |  | Dampness (DA)                 |
| 3.  |  | Hollow Sound (HS)             |
| 4.  |  | Beam Cracks (BC)              |
| 5.  |  | Monsoon Leakage (ML)          |
| 6.  |  | Beam Damaged (BD)             |
| 7.  |  | Reinforcement Exposed (RE)    |
| 8.  |  | Column Damaged (CD)           |
| 9.  |  | leakage From Upper Flat (LUF) |
| 10. |  | Chajja Cracks (CHC)           |
| 11. |  | Separation Cracks (SC)        |
| 12. |  | Efflorescence (EF)            |
| 13. |  | Flooring Uneven (FU)          |

**TOTAL SOLUTION**

REPAIRS & RESTORATION CONSULTANT  
Lokhandwala Main Market Road, Andheri (W)  
Mumbai - 400053. Tel : 400362529820130492  
Email :- totalsolutionconsultancy@gmail.com



1. Ceiling Cracks (CC)



Dampness (DA)

2. Hollow Sound (HS)



3. Beam Cracks (BC)



4. Monsoon Leakage (ML)



5. Reinforcement Exposed (RE)



6. Beam Damaged (BD)



7. Column Damaged (CD)



8. leakage From Upper Flat (LUF)



9. Chajja Cracks (CHC)



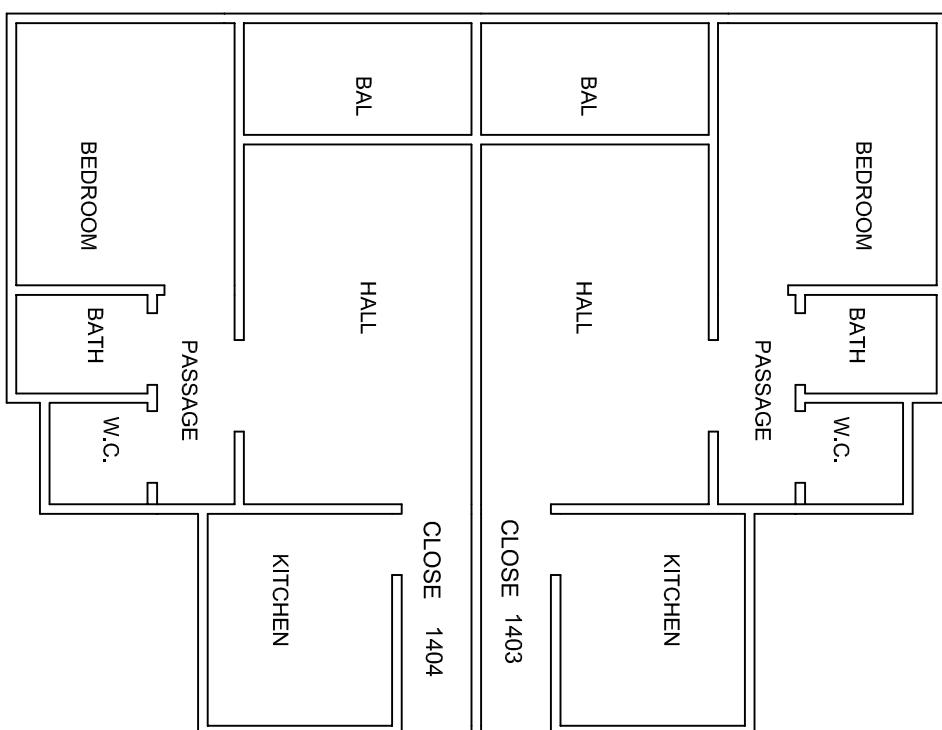
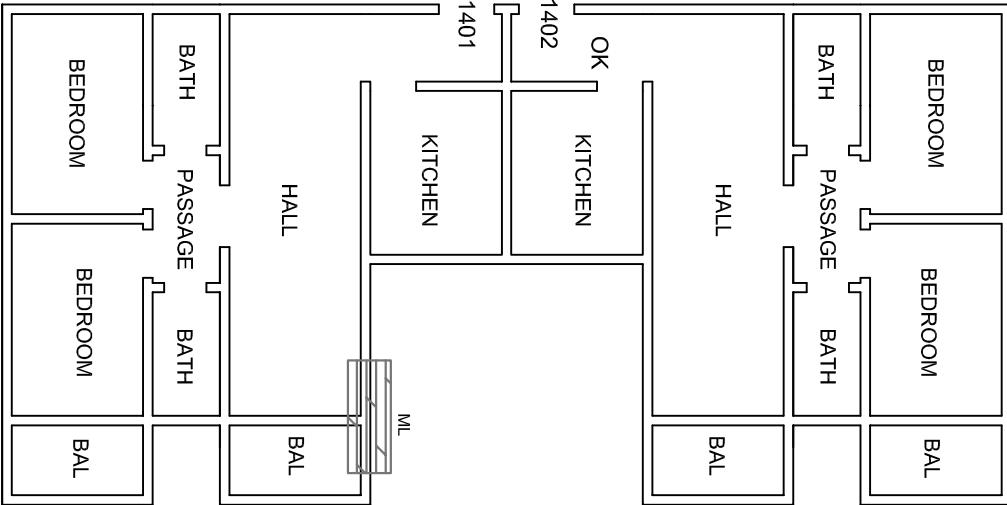
10. Separation Cracks (SC)



11. Efflorescence (EF)



12. Flooring Uneven (FU)

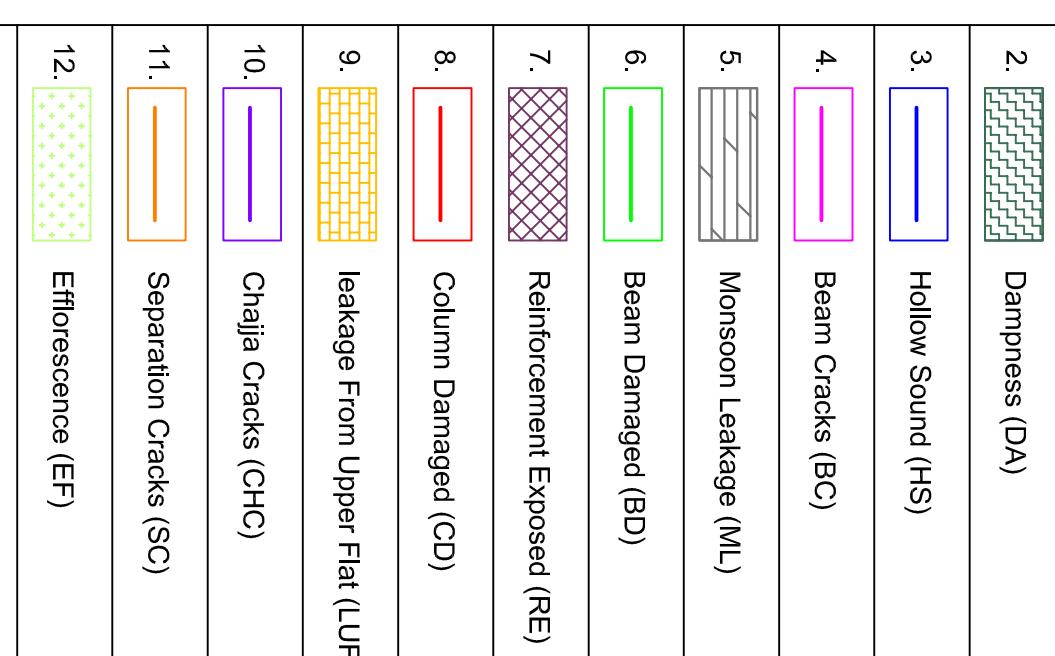
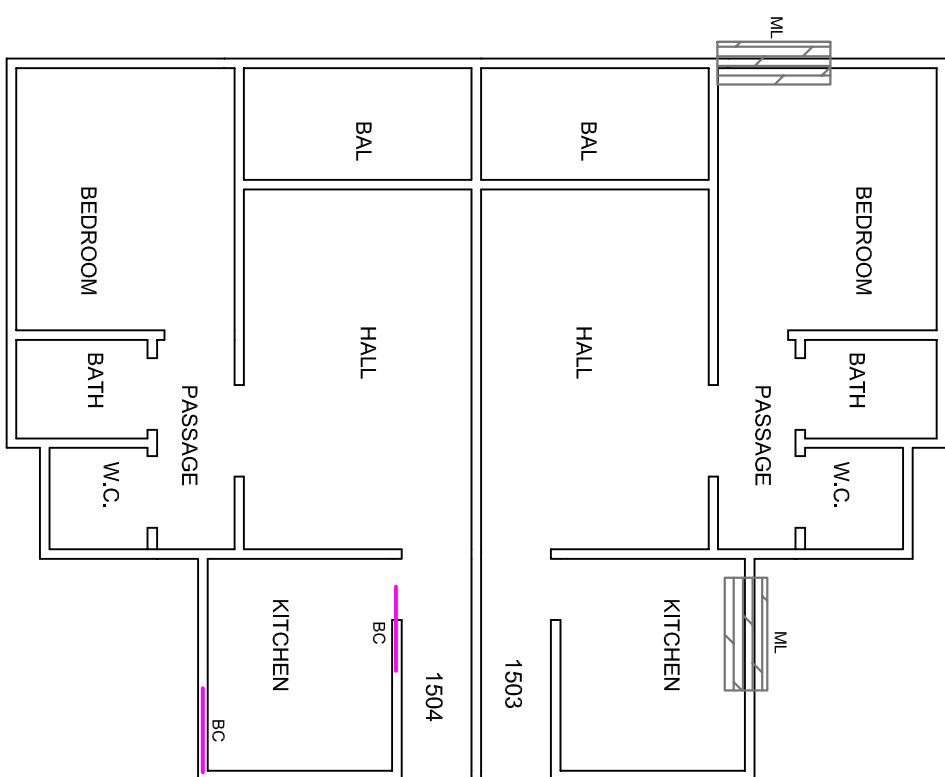
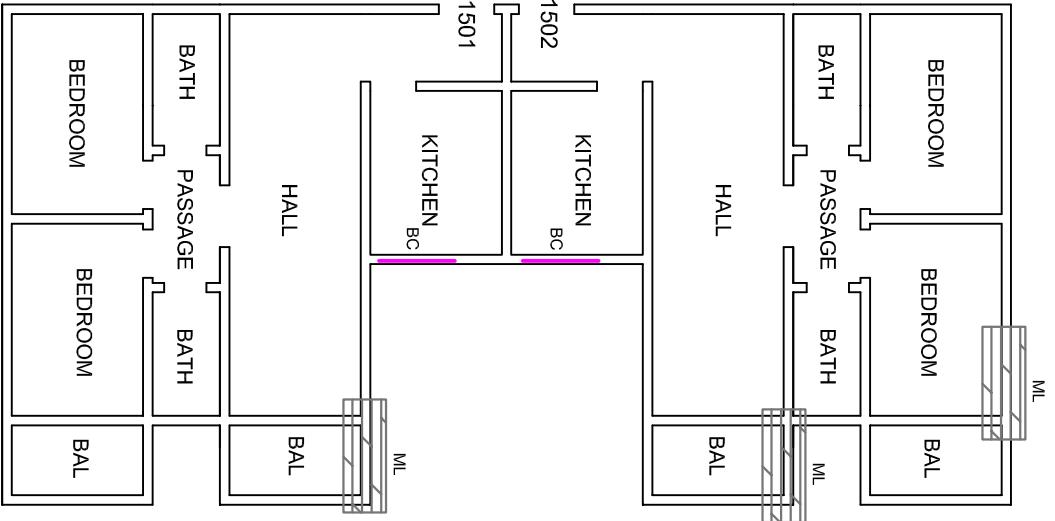


1.		Ceiling Cracks (CC)
2.		Dampness (DA)
3.		Hollow Sound (HS)
4.		Beam Cracks (BC)
5.		Monsoon Leakage (ML)
6.		Beam Damaged (BD)
7.		Reinforcement Exposed (RE)
8.		Column Damaged (CD)
9.		leakage From Upper Flat (LUF)
10.		Chajja Cracks (CHC)
11.		Separation Cracks (SC)
12.		Efflorescence (EF)
13.		Flooring Uneven (FU)
<b>TOTAL SOLUTION</b>		
REPAIRS & RESTORATION CONSULTANT Lokhandwala Main Market Road, Andheri (W) Mumbai - 400053. Tel : 400362529820130492 Email :- totaisolutionconsultancy@gmail.com		

SUMAN TULSIANI C.H.S LTD.

TOWER

14TH FLOOR



## TOTAL SOLUTION

REPAIRS & RESTORATION CONSULTANT  
Lokhandwala Main Market Road, Andheri (W)  
Mumbai - 400053. Tel : 400362529820130492  
Email :- totalsolutionconsultancy@gmail.com

**TOWER**

**15TH FLOOR**

**SUMAN TULSIANI C.H.S LTD.**

1. Ceiling Cracks (CC)



Dampness (DA)

2. Hollow Sound (HS)



3. Beam Cracks (BC)



4. Monsoon Leakage (ML)



5. Reinforcement Exposed (RE)



6. Beam Damaged (BD)



7. Column Damaged (CD)



8. leakage From Upper Flat (LUF)



9. Chajja Cracks (CHC)



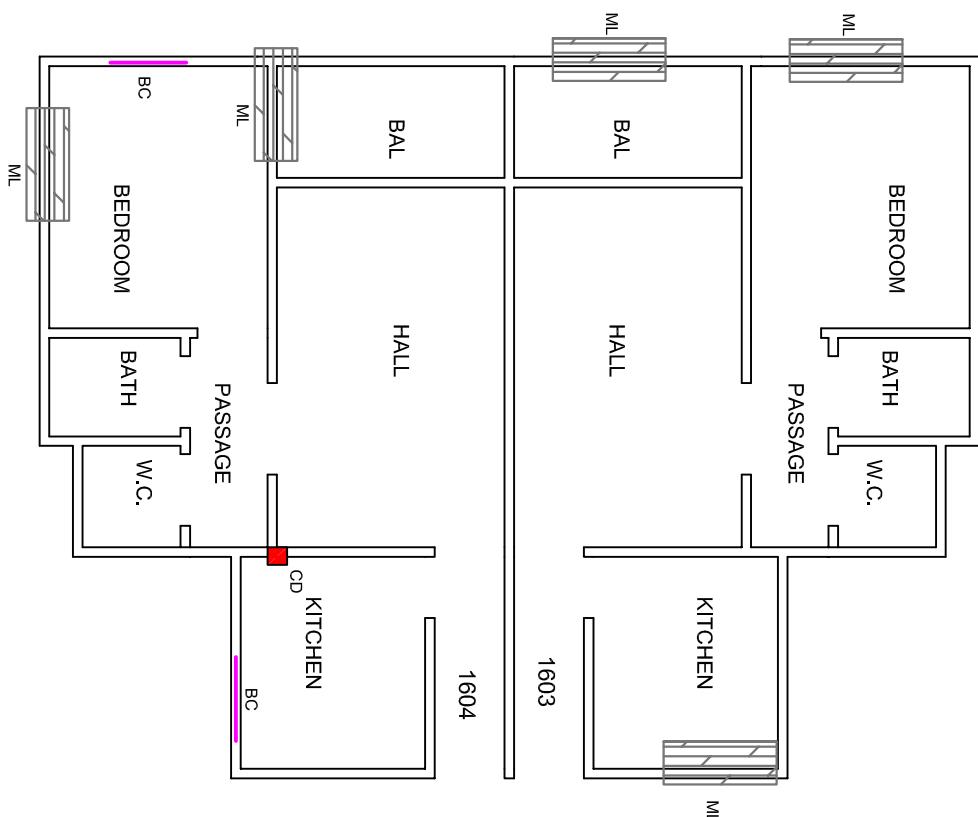
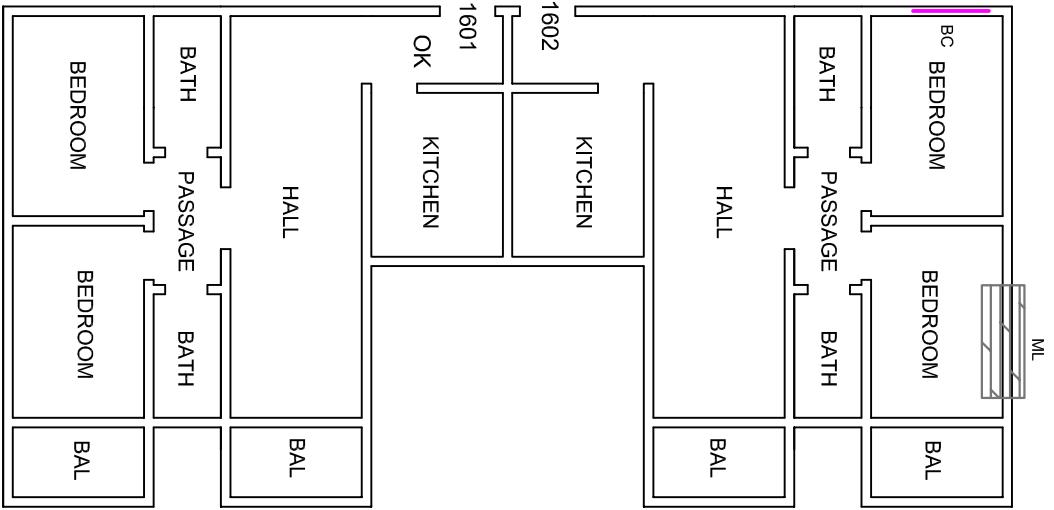
10. Separation Cracks (SC)



11. Efflorescence (EF)



12. Flooring Uneven (FU)



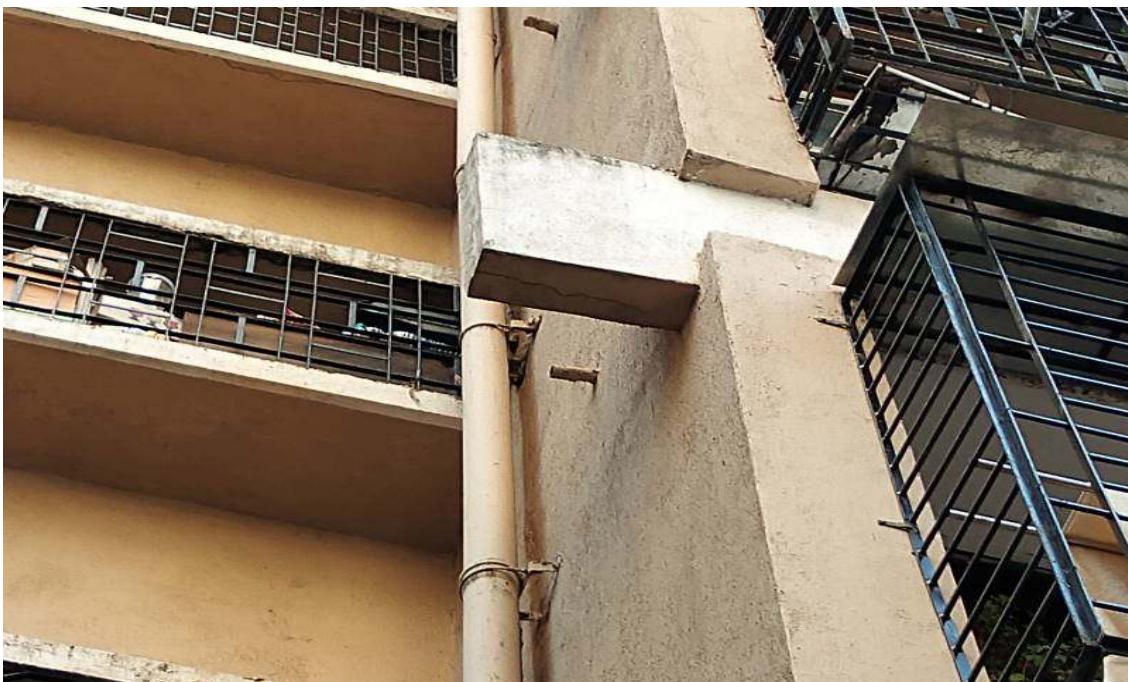
- |     |   |                               |
|-----|---|-------------------------------|
| 1.  |  | Ceiling Cracks (CC)           |
| 2.  |  | Dampness (DA)                 |
| 3.  |  | Hollow Sound (HS)             |
| 4.  |  | Beam Cracks (BC)              |
| 5.  |  | Monsoon Leakage (ML)          |
| 6.  |  | Beam Damaged (BD)             |
| 7.  |    | Reinforcement Exposed (RE)    |
| 8.  |    | Column Damaged (CD)           |
| 9.  |    | leakage From Upper Flat (LUF) |
| 10. |    | Chajja Cracks (CHC)           |
| 11. |    | Separation Cracks (SC)        |
| 12. |    | Efflorescence (EF)            |
| 13. |    | Flooring Uneven (FU)          |

TOTAL SOLUTION

**REPAIRS & RESTORATION CONSULTANT**  
Lokhandwala Main Market Road, Andheri (W)  
Mumbai - 400053. Tel : 40036252/9820130492  
Email : totalsolutionconsultant9@gamil.com

**A, B, C, WING EXTERNAL**

East side 1<sup>st</sup> floor chajja edges are having structural cracks.



**A, B, C, WING EXTERNAL**

East side 2<sup>nd</sup> floor tie beam bottom has structural cracks.

**A, B, C, WING EXTERNAL**

East side 1<sup>st</sup> floor chajja bottom cover concrete is fallen down & steel is also visible.



**A, B, C, WING EXTERNAL**

East side plumbing down take line opening is needs to be filled up .

**A, B, C, WING EXTERNAL**

West side window beam has structural cracks.



**A, B, C, WING EXTERNAL**

West side balcony pardhi is damaged badly having wide structural cracks.

**A, B, C, WING EXTERNAL**

West side 1<sup>st</sup> floor AC outlet is causing leakage.



**A, B, C, WING EXTERNAL**

North side window chajja edges are having structural cracks.

SUMAN TOWER – ANDHERI (WEST)

**A, B, C, WING EXTERNAL**

Building external photo view.



**A, B, C, WING EXTERNAL**

Building external photo view.

SUMAN TOWER – ANDHERI (WEST)

**A, B, C, WING EXTERNAL**

Building external photo view.



**A, B, C, WING EXTERNAL**

Building external photo view.

**EXTERNAL TOWER**

Terrace view



**EXTERNAL TOWER**

Beam is having structural cracks

### EXTERNAL TOWER

2<sup>nd</sup> floor beam bottom is having structural crack



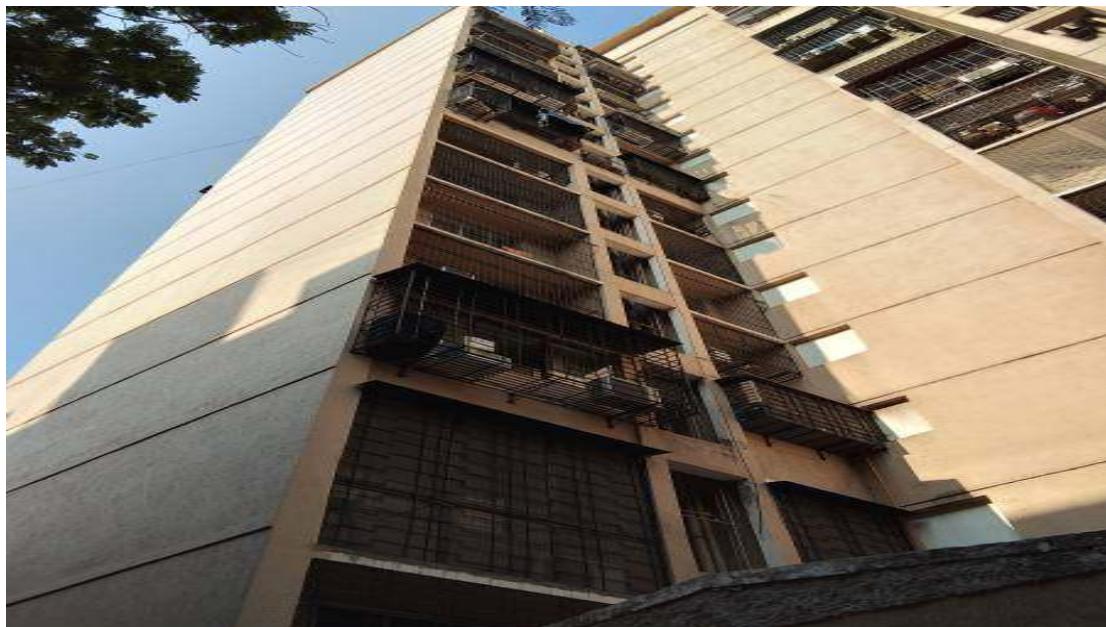
### EXTERNAL TOWER

South side view

SUMAN TOWER – ANDHERI (WEST)

**EXTERNAL TOWER**

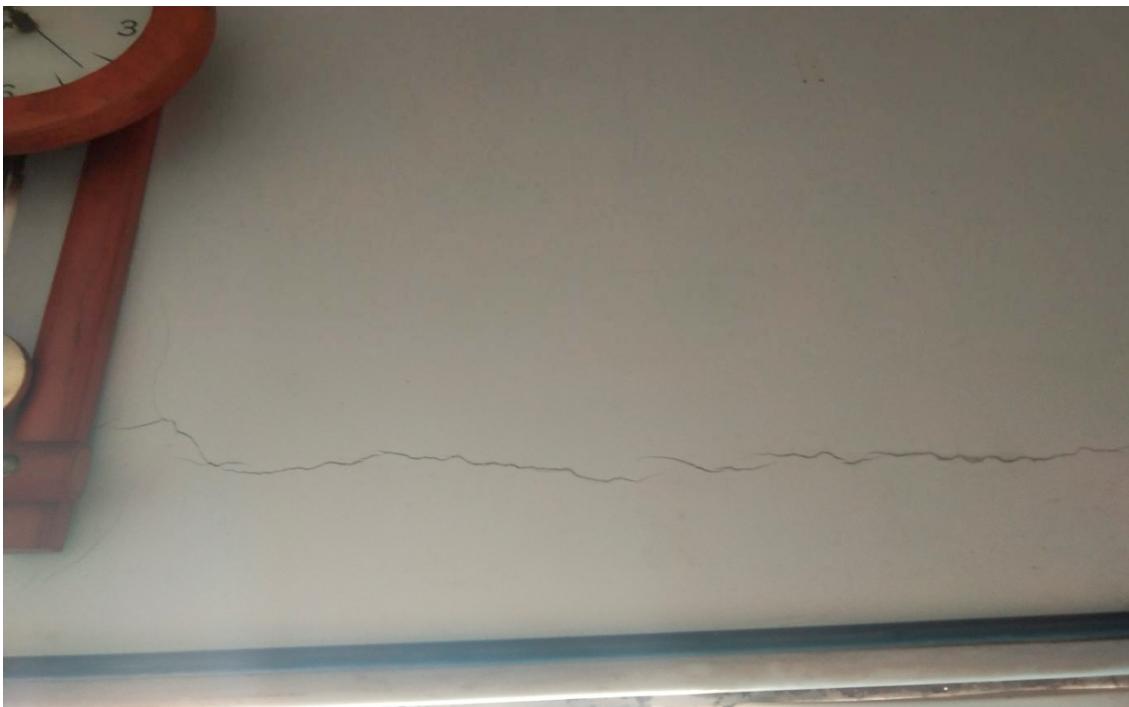
South East side view



SUMAN TULSIANI C.H.S. LTD. – ANDHERI (WEST)

**FLAT NO. A/701**

Kitchen window top beam is having structural cracks



**FLAT NO. A/703**

Kitchen beam paint is peeled off.

SUMAN TULSIANI C.H.S. LTD. – ANDHERI (WEST)

**FLAT NO. A/601**

Bathroom ceiling is having monsoon related leakages; concrete is also deboned and bulged



**FLAT NO. A/501**

Bedroom beam edge is having structural cracks

SUMAN TULSIANI C.H.S. LTD. – ANDHERI (WEST)

**FLAT NO. A/501**

Bedroom beam is having structural cracks



**FLAT NO. A/501**

Kitchen window beam has structural cracks, granite is also loosened

**FLAT NO. A/201**

Bathroom ceiling has leakage from upper flats at present found dry.



**FLAT NO. A/201**

Bedroom balcony column has major wide structural cracks.

SUMAN TULSIANI C.H.S. LTD. – ANDHERI (WEST)

**FLAT NO. A/102-103**

Bedroom beam has structural cracks.



**FLAT NO. A/102-103**

Bedroom beam has multiple structural cracks.

SUMAN TULSIANI C.H.S LTD. – ANDHERI (WEST)

**FLAT NO. B/702**

Kitchen ceiling has leakage from upper flat at present found dry.



**FLAT NO. B/702**

Bedroom column has major structural cracks.

SUMAN TULSIANI C.H.S LTD. – ANDHERI (WEST)

**FLAT NO. B/702**

Bedroom window wall has monsoon related leakages from external wall.



**FLAT NO. B/702**

Bedroom window beam bottom has structural cracks.

SUMAN TULSIANI C.H.S LTD. – ANDHERI (WEST)

**FLAT NO. B/703**

Hall column has vertical separation cracks.



**FLAT NO. B/601**

W.C column has structural cracks including tiles.

SUMAN TULSIANI C.H.S LTD. – ANDHERI (WEST)

**FLAT NO. B/602**

Bedroom window beam has cracks.



**FLAT NO. B/603**

Bedroom wall has monsoon related leakages from external wall.

**FLAT NO. B/604**

Bedroom window beam has structural cracks.



**FLAT NO. B/501-502**

Kitchen beam has structural cracks.

SUMAN TULSIANI C.H.S LTD. – ANDHERI (WEST)

**FLAT NO. B/501-502**

Bathroom beam bottom has structural cracks.



**FLAT NO. B/501-502**

Bedroom column has structural cracks.

SUMAN TULSIANI C.H.S LTD. – ANDHERI (WEST)

**FLAT NO. B/401**

Hall wall & beam has separation cracks.



**FLAT NO. B/401**

Passage ceiling has monsoon related leakages from external wall.

SUMAN TULSIANI C.H.S LTD. – ANDHERI (WEST)

**FLAT NO. B/401**

W.C ceiling cover concrete is fallen down & steel is also visible. **Needs urgent repairs**



**FLAT NO. B/401**

W.C entrance column has structural cracks including tiles.

SUMAN TULSIANI C.H.S LTD. – ANDHERI (WEST)

**FLAT NO. B/302**

Bedroom window beam has structural cracks.

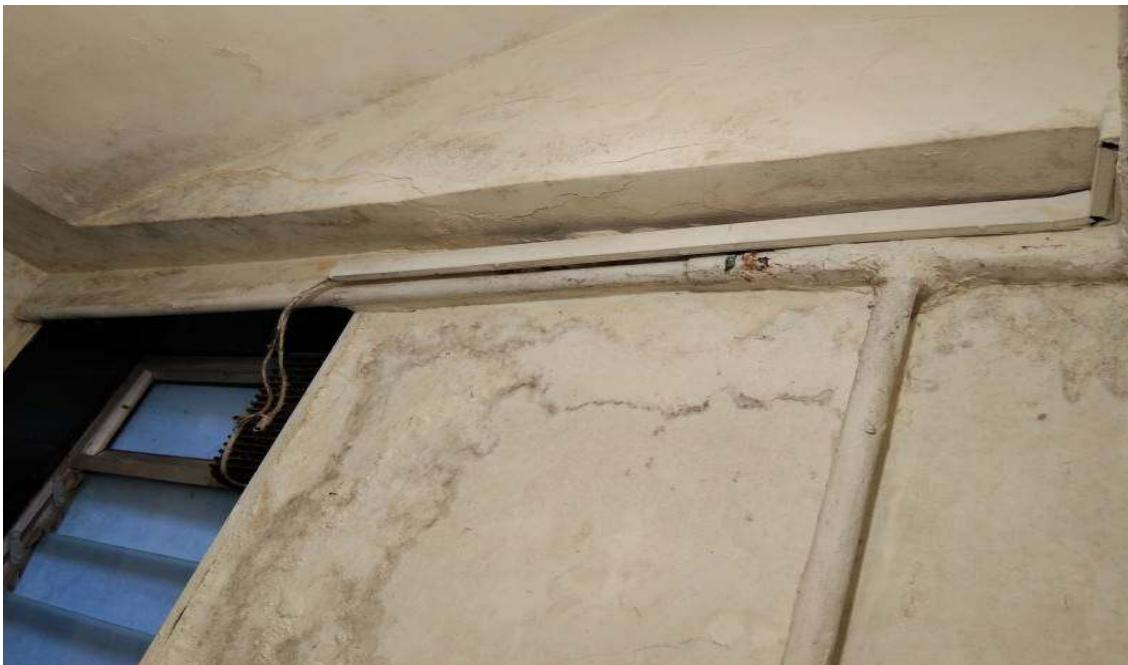


**FLAT NO. B/101-102**

Kitchen window beam has structural cracks

**FLAT NO. C/503**

Hall column has wide structural cracks.

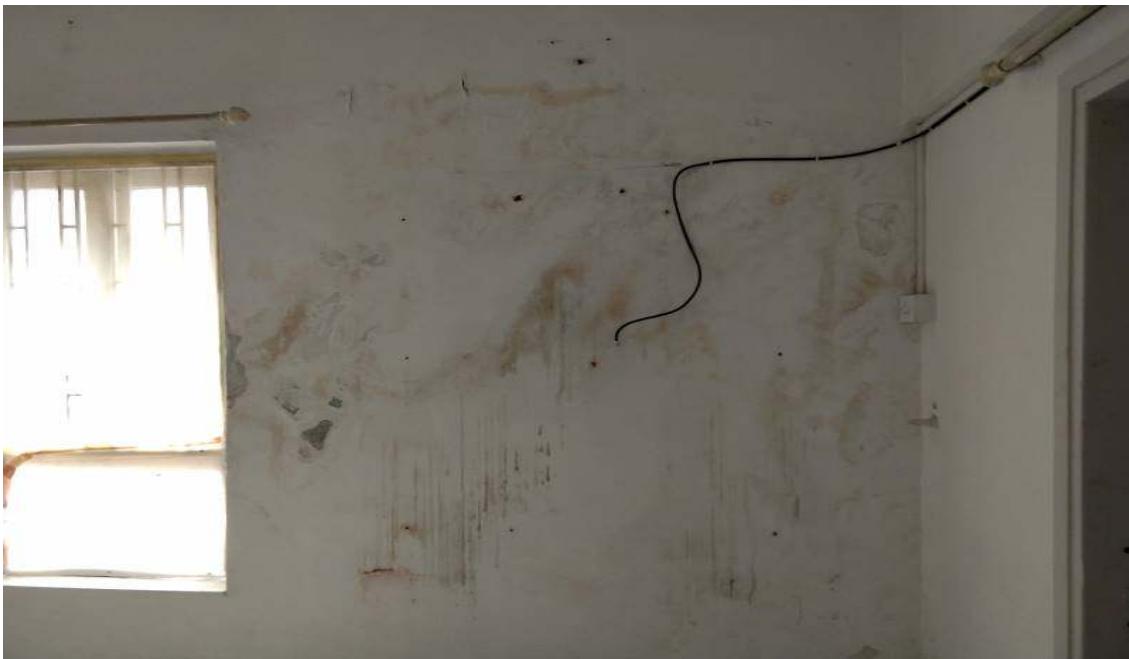


**FLAT NO. C/503**

W.C window beam has structural cracks.

**FLAT NO. C/401**

Hall balcony beam has structural cracks.



**FLAT NO. C/401**

Bedroom window wall has monsoon related leakages from external wall.

SUMAN TULSIANI C.H.S LTD. – ANDHERI (WEST)

**FLAT NO. C/301**

Kitchen window beam has structural cracks.



**FLAT NO. C/301**

Bedroom beam was having leakage from upper flat at present found dry.

SUMAN TULSIANI C.H.S LTD. – ANDHERI (WEST)

**FLAT NO. C/202-203**

Kitchen beam has horizontal structural / separation cracks.



**FLAT NO. C/202-203**

Bedroom wall is having monsoon related leakages from external wall.