

PROPOSED RESIDENCE



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Designed Without Compromise

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All drawings to be read in conjunction with engineer's details.

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DESIGNER: JASON JOSEPH

MOBILE: 0401 383 860

REV

DATE DWN

BY

VARIATIONS

DESIGN A

DESIGN B

DESIGN C

DESIGN D

DESIGN E

WORKING DRAWINGS

CLIENT AMENDMENTS

AREA NAME

AREA

PERIMETER

ALFRESCO

GARAGE

PATIO

RESIDENCE

289.78 m²

122.94 m

THIS IS ONE OF THE DRAWINGS

REFERRED TO IN THE CONTRACT

DATED: / /

OWNER

OWNER

BUILDER

CLIENT NAME:

BAJAJ & BATHLA

SITE ADDRESS:

LOT 2212 (#35) KENTIA ROAD,

WANDI

SHIRE:

CITY OF KWINANA

JOB NO.

UD0102

HOUSE TYPE: CUSTOM

SPECIFICATION: STANDARD

COASTAL: --

WIND: --

DRAWING NAME:

COVER PAGE

REVISION No:

G

SALESPERSON:

--

1 of 16

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STANDARD TRADE / SUPERVISOR NOTES

BRICKLAYER NOTE

- * REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR ROOF TIE DOWN REQUIREMENTS
- * BRICK PIERS TO HAVE 10mm ROD COGGED FROM FOOTING TO TOP OF PIER
- * INSTALL WALL VENTS AS REQUIRED
- * ALL FACE BRICKWORK LAID 1/3 BOND (IF RELEVANT)
- * CONSTRUCT STEPS AS REQUIRED (IF REVELANT)
- * ALL CAVITY SLIDERS TO HAVE TIMBER FRAMING OVER IN LIEU OF BRICKWORK
- * LEAVE 1C BELOW KITCHEN/SCULLERY WINDOWS SO BENCHTOP CAN RUN INTO REVEAL
- * BOUNDARY WALL TOP COURSE TO BE SOLID BRICKWORK
- * BOUNDARY WALL -REFER FOOTING DEPTHS
- * 3c OF LONGREACH INTERNALLY OVER EXTERNAL WINDOWS & DOORS
- * BRICK UP NIBS TO SHOWER AREA
- * BUILD ATTACHED BRICK WALL TO 20mm BELOW HEIGHT OF BATH HOB USING COMMONS
- * ENSURE NEAT MORTAR INTERNALLY TO ALL DUCTS INCLUDING / AC PLUMBING AND ELECTRICAL
- * REFER DETAILS FOR WINDOW HEAD AND SILL FLASHING DETAILS
- * LINTELS AT EAVE HEIGHT, PACK UP T-BAR 5MM TO ALLOW FOR EAVE LINNING.
- * ALL INTERNAL DOOR FRAMES TO SIT 15MM OFFSET FROM WALL INTERSECTIONS WHERE POSSIBLE UNLESS NOTED OTHERWISE
- * WIRE TIES SPACED AS PER NCC
- * HOLDING DOWN STRAPS SPACED AS PER NCC

GENERAL

- * ALL STRUCTURAL BEAMS TO BE IN ACCORDANCE WITH BCA REQ'MENTS
- * REFER TO STRUCTURAL ENGINEER'S DETAILS
- * ALL T-LINTELS, LINTELS, COLUMNS & EXTERNAL STRUCTURAL STEEL TO BE GALVANIZED

ROOF CARPENTER NOTE

- * MAN HOLE TO BE TRIMMED OUT TO 560 X 600
- * ACCESS PANEL TO BE TRIMMED OUT TO 300 X 300
- * BRICK PIERS TO HAVE 10MM ROD COGGED FROM FOOTING TO TOP OF PIER
- * ALL EXTERNAL FIXING NAILS MUST BE GALV AS PER AUSTRALIAN STANDARDS
- * BARGE BOARD NAILING TO BE COUNTERSUNK
- * BOX OUT 450 X 450 FOR RANGEHOOD FLUME
- * REFER TO SEE DRAWINGS FOR ROOF TIE DOWN REQUIRMENTS
- * 250 PFC FLANGES TO FACE OUTWARDS
- * ALL CAVITY SLIDERS TO HAVE TIMBER FRAMING OVER IN LIEU OF BRICKWORK
- * NO STRUTTING TO STUD WALLS
- * H2 TREATED TIMBERS FOR ROOF
- * H3 TREAATED TIMBERS FOR BARGE BOARD
- * ROOF STEEL DIMET COATED
- * ALL ROOFING TO COMPLY WITH AS 1684.2
- * SISIALTION INSTALL TO BAL AREAS (IF APPLICABLE) - REFER ADDENDA

CEILING FIXER NOTE

- * CEIING VENTS TO BE INSTALLED AS MARKED ON PLANS
- * INSULATION TO BE INSTALLED BY CEILING FIXERS
- * STUD WALL INSULATION TO BE INSTALLED BY CEILING FIXERS
- * BACK BLOCKING TO ALL CEILINGS AND WALLS
- * ALL CORNICES TO BE GLUED AND MECHANINCALLY FASTENED
- * ALL CEILINGS AND GYPROCK LINED WALLS TO ACHIEVE CLASS 4 FINISH UNLESS NOTED OTHERWISE

DIMENSIONS

- * ALL DIMENSIONS TAKE PREFERENCE OVER SCALE (REFER ANY QUIRES TO DRAWING OFFICER FOR RESOLUTION PRIOR TO CONTINUING)
- * ALL DIMENSIONS ARE RAW BRICKWORK - DIMENSIONS DO NOT ACCOUNT FOR PLASTERED WALLS - CLIENT NOTE

CLIENT NOTE


- * PLEASE BE AWARE STACKING DOOR (JASON WINDOWS) SIT 20MM PROUD OF BRICKWORK/RENDERED WALLS
- * DIMENSIONS ARE TAKEN FROM UNFINISHED BRICKWORK
- * ALLOW EXTRA 15MM TO EACH SIDE OF WALLS FOR PLASTER AND A FURTHER 10-15MM FOR TILED WALLS. THIS ALLOWANCE SHOULD BE CONSIDERED WHEN CALCULATING CLEARANCES FOR FUTURE FITTINGS
- * JONATHAN WILLIAM HOMES RESERVES THE RIGHT TO VARY ANY DIMENSIONS AND MATERIALS FROM THOSE ON DISPLAY.
- * PLEASE CHECK SPECIFICATIONS AND ADDENDA CAREFULLY
- * UNLESS NOTED OTHERWISE ALL WORKS BY OWNER TO BE COMPLETED AFTER HANDOVER

BLOCK SIZE: 456m²
HOUSE AREA: 250.53m²
SITE COVER: 54.94%
MAX. ALLOWED: 55%

ZONING: R20 (LDP)

DESIGNER: JASON JOSEPH
CONTACT NUMBER: 0401 383 860

NOTE:
31c CEILINGS TO GROUND FLOOR
UNLESS NOTED OTHERWISE.

 DENOTES BULKHEADS @ 28c
UNLESS NOTED OTHERWISE

OCCUPATIONAL HEALTH & SAFTY

ALL PERSONS ENTERING THE WORK SITE MUST OBEY THE CURRENNT OCCUPATIONAL HEALTH & SAFETY LEGISLATION APPLICABLE TO WESTERN AUSTRALIA AT ALL TIMES

SITE NOTES

- * CLASS "A" SITE - REFER TO SOIL REPORT
- * WIND RATING "N2" - REFER TO SOIL REPORT
- * BAL RATING N/A - REFER TO BUSHFIRE CONSTRUCTION REQ'MENTS
- * CORROSION CLASSIFICATION "N2" - REFER TO SOIL REPORT
- * FINISHED FLOOR LEVEL MAY VARY +/- 100mm

CONCRETE NOTE

- * PLASTIC CHAIRS ONLY MUST BE USED FOR REINFORCEMENT BARS ON SUSPENDED SLAB
- * ALL CONCRETE FOOTINGS & SLABS TO BE WELL COMPACTED BY MEANS OFIMMERISVE TYPE VIBRATORS
- * CONDUIT TO BE PLACED IN FOOTING METER BOX TO CENTERLINE OF CAVITY
- * PRELAY CONDUIT IN SLAB FOR ELECTRICAL & PLUMBING REQUIRED FOR ISLAND BENCH
- * INSTALL POLYSTYRENE BLOCKOUTS FOR CORNER COLUMNS
- * PRELAY PLUMBING FOR RWP TO PIER WHERE SHOWN ON PLANS
- * BOUNDARY WALLS AND ISOLATED PIERS STEPPED TO SUIT SITE CONDITIONS
- * POLYSTYRENE BLOCK OUTS TO BE PLACED AT RELEVANT STRUCTURAL COLUMNS - REFER ENGINEERS

ROOF PLUMBER NOTE

- * SLOTTED GUTTERS TO BE INSTALLED (EXCEPT TO BOUNDARY WALLS)
- * FINAL NUMBER OF DOWNPIPES AND POSITION OF DOWNPIPES TO BE DETERMINED AT ROOF PLUMBERS DISCRETION.
- * ALL ROOFING PLUMBING MUST COMPLY WITH BCA 3.5.2
- * PRELAY PLUMBING TO PIERS WHERE SHOWN ON PLANS
- * RAINWATER HEADS MAY BE INSTALLED IF DEEMED NECESSARY BY ROOF PLUMBER

PLUMBERS NOTE

- * HOBLESS SHOWER - REFLUX VALVE REQUIRED TO SEWER JUNCTION
- * PRELAY STORMWATER PIPE TO BOUNDARY WALLS & PLANTER BOX
- * RWP SLEEVES TO BE INSTALLED IN FOOTINGS AS REQUIRED
- * PRELAYS OF PIPEWORK TO ISLAND BENCH

FIXING CARPENTER NOTE

- * FIXING CARPENTER NOTE
- * 2000mm HIGH 450 DEEP SHELF AND RAIL TO WIR
- * 1700mm HIGH 450mm DEEP SHELF AND RAIL TO MINOR BEDROOMS
- * CL OF RAIL TO BE 250mm OFF WALL
- * TOWEL RAILS TO BE FIXED 1000mm ABOVE FFL UNO
- * TOILET ROLL HOLDER TO BE FIXED AT 650mm AFL UNO
- * 4 X 450mm DEEP SHELVES TO LINENE UNLESS NOTED OTHERWISE
- * 12mm QUAD TO ALL TIMBER FRAMED DOORS
- * INTERNAL DOOR THRESHOLD CLEARANCE TO BE 25mm TO MAIN AREAS AND 15mm TO ALL WET AREAS UNO
- * SKIRTING NAILED AND GLUED UNO (IF APPLICABLE)

INSULATION NOTE

- * R4.0 BATTS TO ALL PLASTERBOARD CEILINGS AND GARAGE CEILING EXPOSED TO ROOF SPACE (UNLESS NOTED OTHERWISE)
- * INSUALTION NOT PROVIDED TO SUSPENDED FLOORING SYSTEMS UNLESS NOTED OTHERWISE
- * INSULATION MUST BE INSTALLED IN COMPLIANCE WITH NCC 3.12.1.1

WATERPROOFING NOTE

- * ALL WATERPOROOFING TO COMPLY WITH AS 3740-2010

TERMITE MANAGEMENT

- * TERMITE MANAGEMENT WILL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.3.2 OF THE NCC - BUILDING CODE OF AUSTRALIA AND AS 3660.1:2014

BAL 19 UPGRADES:

ALUMINIUM MESH SCREENS TO SLIDING DOORS & WINDOWS.

SAFETY GLASS TO ALL WINDOWS BELOW 400mm AFL.

ANTICON ROOF INSULATION TO U/SIDE OF COLORBOND ROOF.

EMBER GUARDS TO ROOF FLAMES.

WEEPA WEEPHOLE VENTS TO BWK.

ENTRY DOOR SEALS TO THE PERIMETER OF THE FRONT ENTRY DOOR.

GARAGE DOOR SEALS TO THE FRONT AUTOMATIC SECTIONAL DOOR.

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Residence Areas / Perimeters		
AREA NAME	AREA	PERIMETER
ALFRESCO	34.00	23.60
GARAGE	37.74	24.58
PTICO	5.28	9.20
RESIDENCE	212.76	65.56
	289.78 m²	122.94 m

ROOF AREAS	
AREA NAME	MEASURED AREA
	325.04

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REFERRED TO IN THE CONTRACT

DATED:...../...../.....

OWNER

OWNER

BUILDER

CLIENT NAME:

BAJAJ & BATHLA

SITE ADDRESS:

LOT 2212 (#35) KENTIA ROAD,
WANDI
SHIRE:
CITY OF KWINANA

JOB NO.

UD0102

HOUSE TYPE: **CUSTOM**

SPECIFICATION: STANDARD

COASTAL: --

WIND: --

DRAWING NAME:

NOTES PAGE

REVISION No:

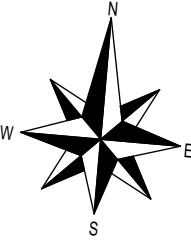
G

SALESPERSON:

--

3 of 16

LOT 2212



DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

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NOTE:
NOTIFICATION.
REFER TO SEC 165 T.P&D. ACT
SEE DOCUMENT O184869
FIRE MANAGEMENT

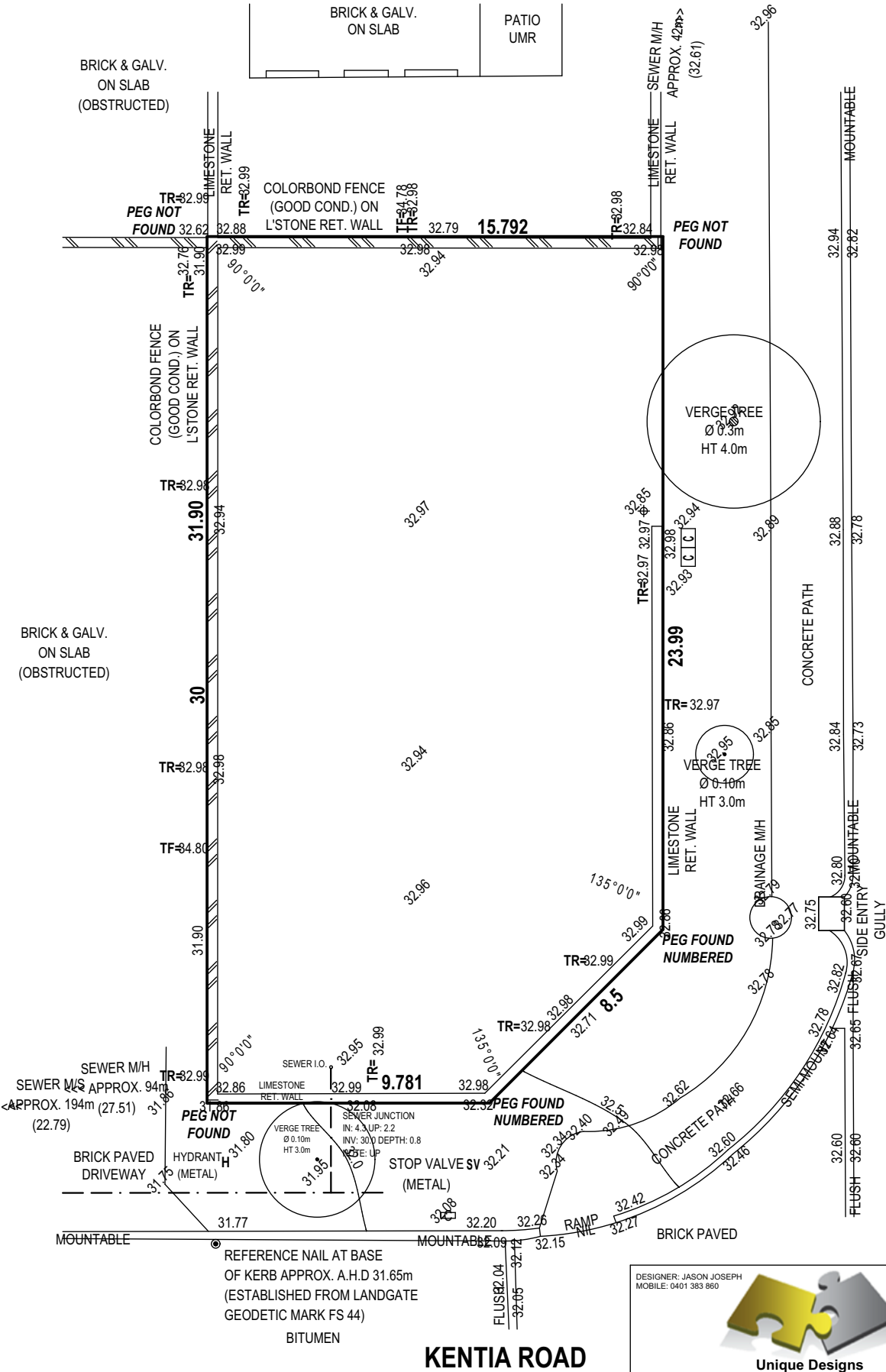
NOTE:
NOTIFICATION.
REFER TO SEC 70A T.L.A.
SEE DOCUMENT O184868
(DETAILED AREA PLAN) (TRANSPORT NOISE)

NOTE:
RESTRICTIVE COVENANT.
REFER TO SEC 136D T.L.A.
SEE DOCUMENT O184867

LOT MISCLOSE
0.001 m



EXISTING SITE PLAN
1:200



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MOBILE: 0401 383 860

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LEGEND		POWER DOME
		POWER POLE
		PHONE PITS
		WATER DOWN
		TP=10.00 TOP PILLAR/POST
		TW=10.00 TOP WALL
		TR=10.00 TOP RETAINING
		TF=10.00 TOP FENCE

CONTOUR & FEATURE SURVEY

LOT Lot 2212 (DP 414970)

ADDRESS #35 Kentia Road, Wandl

LGA TOWN OF KWINANA

CLIENT Bajaj, Dipesh

GPS Lat: -32.204515 Long: 115.862523

SSA Yes AREA 456m² VOL. 2969 FOL. 220



ELEC.	U/Ground	SEWER	Yes	ROADS	Bitumen	COASTAL	No
				(Approx. Only - Confirm With Shire)			
GAS	Check Alinta	COMMS	Yes	PATH	Concrete	SOIL	Sand
				KERBS	See Survey	VEG.	Refer to Survey



COTTAGE SURVEYS
LICENSED SURVEYORS

87-89 Guthrie St
Osborne Park
WA 6017

PO Box 1611
Osborne Park BC
WA 6917

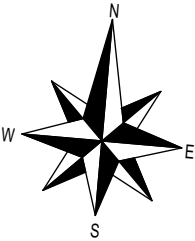
P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB: 568533

DATE: 29 Feb 24

DRAWN: T. Do

LOT 2212



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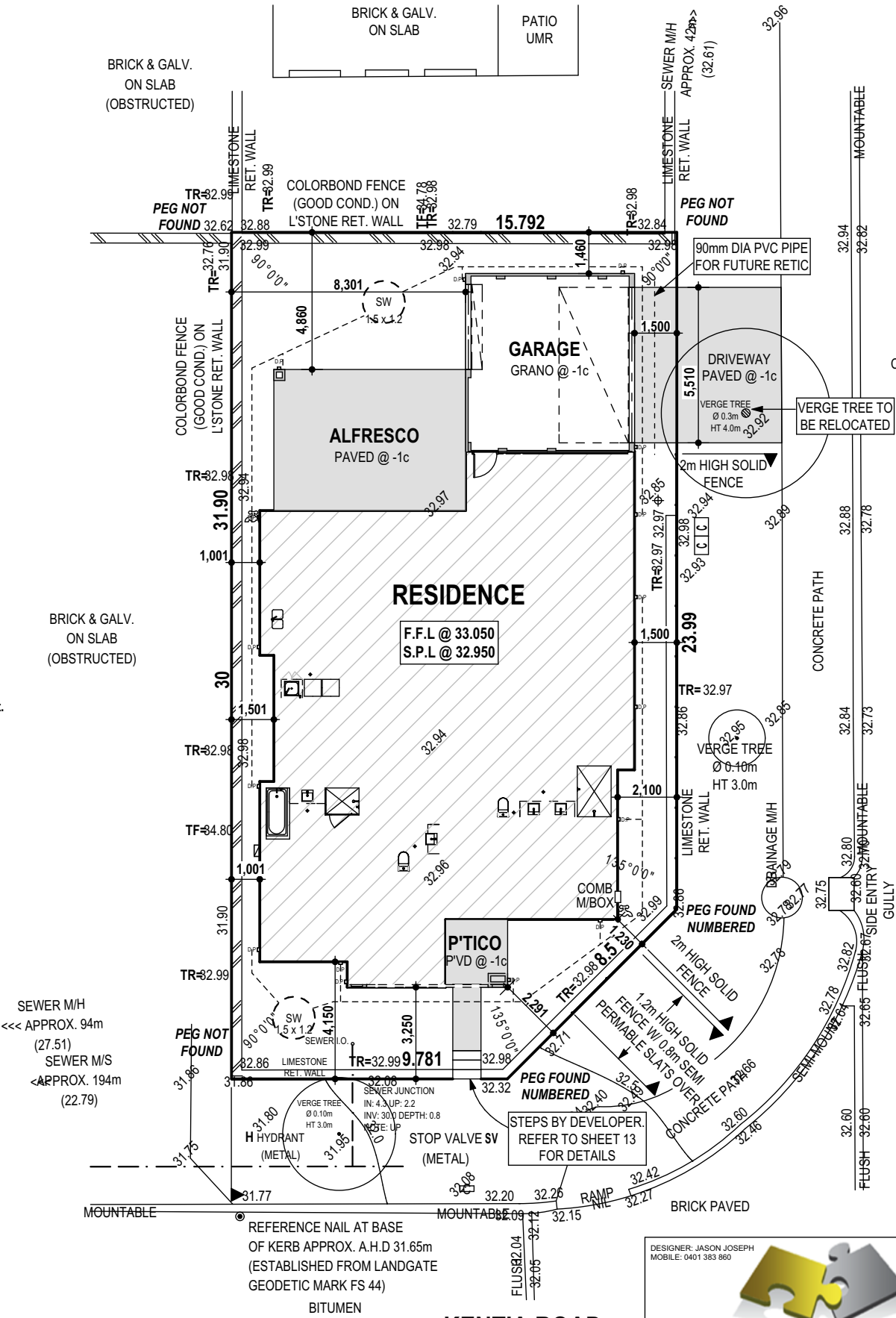
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LOT MISCLOSE
0.001 m

Scale 1:200
0 2 4 6 8

SITE PLAN
1:200



Soak Well Type	No.	
SW 1500x1200	2	4.2 m3
Total Capacity		4.2 m3
Roof Area GF		325.0 m2
Total Area		325.0 m2
Capacity Required (Area x 0.0125)		4.1 m3
Extra Capacity Provided		0.2 m3

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

LYON ROAD
BITUMEN

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

DATED: _____

OWNER: _____

OWNER: _____

BUILDER: _____

DESIGNER: JASON JOSEPH
MOBILE: 0401 383 860

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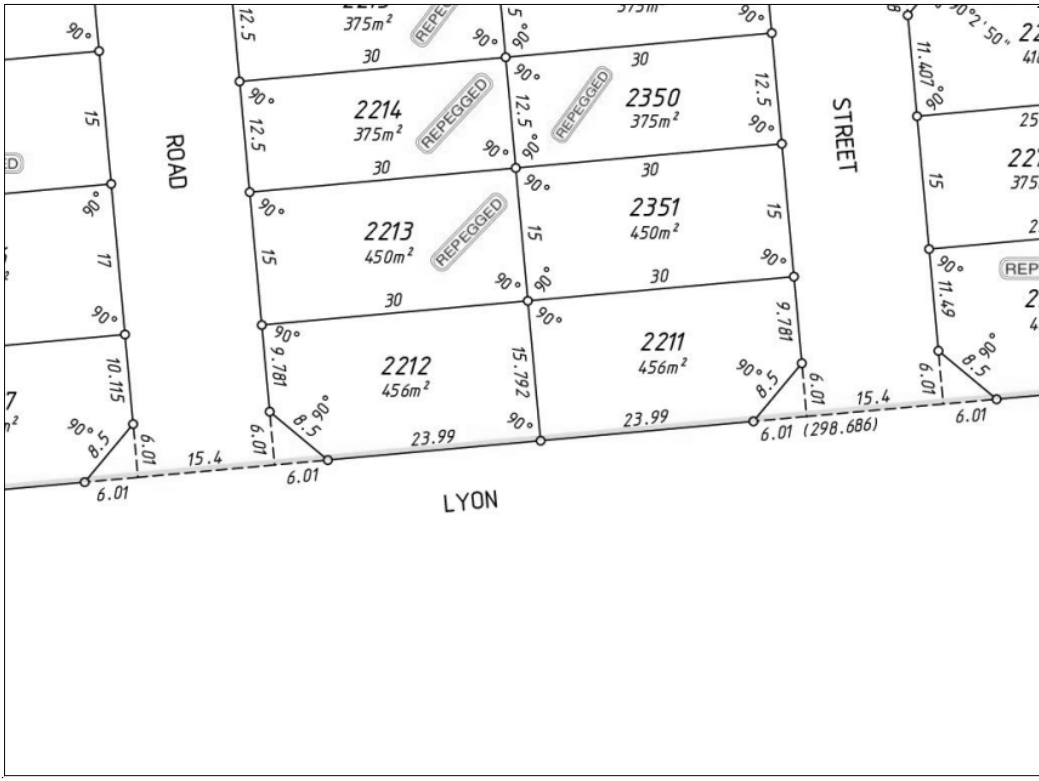
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CONTOUR & FEATURE SURVEY

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ADDRESS	#35 Kentia Road, Wandi
LGA	TOWN OF KWINANA
CLIENT	Bajaj, Dipesh
GPS	Lat: -32.204515 Long: 115.862523
SSA	Yes
AREA	456m ²
VOL.	2969
FOL.	220



ELEC.	U/Ground	SEWER	Yes	ROADS	Bitumen	COASTAL	No
GAS	Check Alinta	COMMS	Yes	PATH	Concrete	SOIL	Sand
WATER	Yes	DRAINAGE	Good	KERBS	See Survey	VEG.	Refer to Survey



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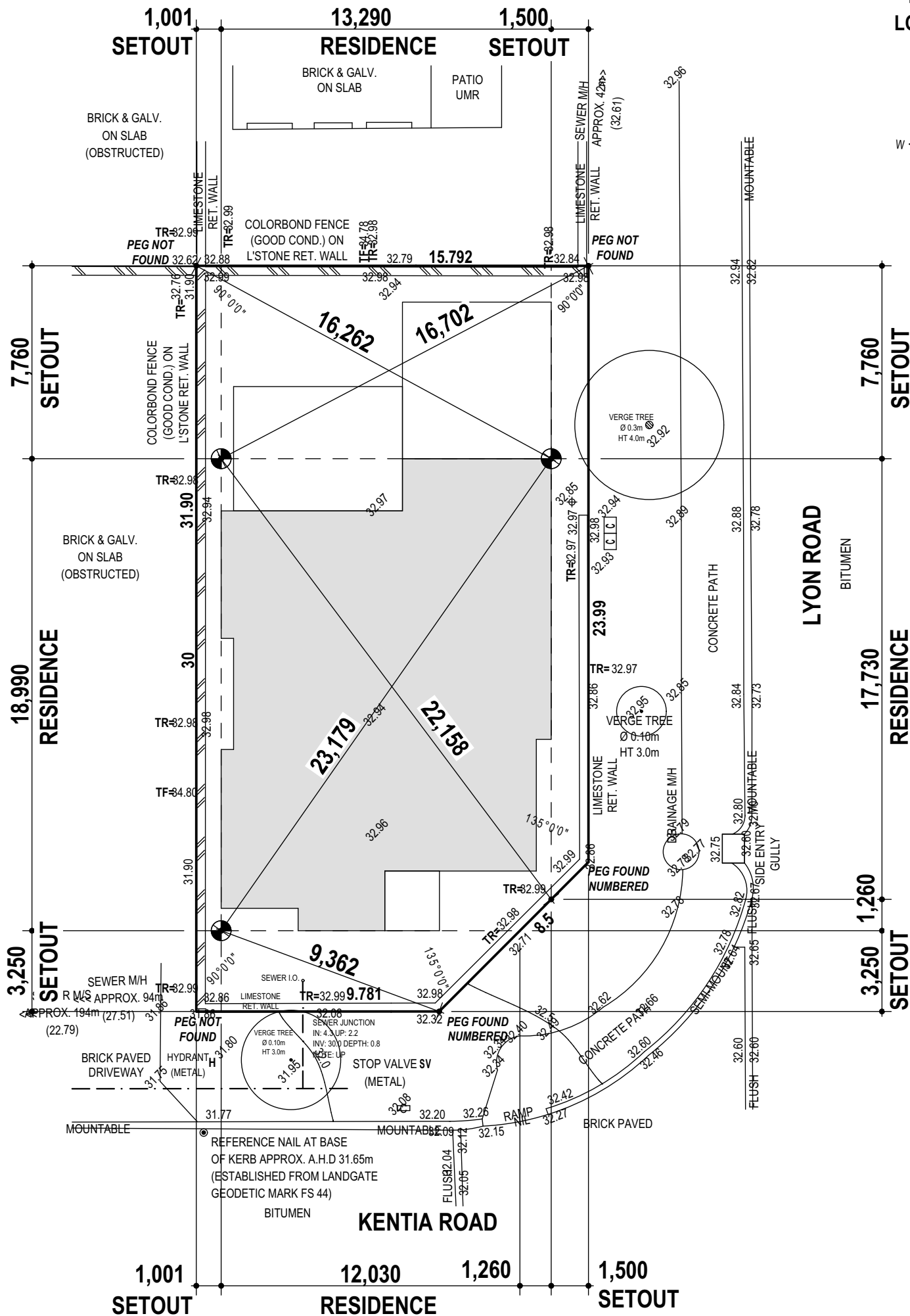
LOT MISCLOSE
0.001 m





SETOUT PLAN

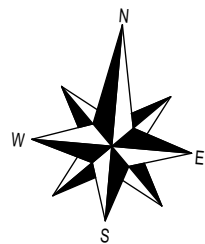
1:200

Scale 1:200

0 2 4 6 8



LEGEND		POWER DOME
		POWER POLE
		PHONE PITS
		WATER CONN.
	TP=10.00	TOP PILLAR/POST
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**LOT 2212**

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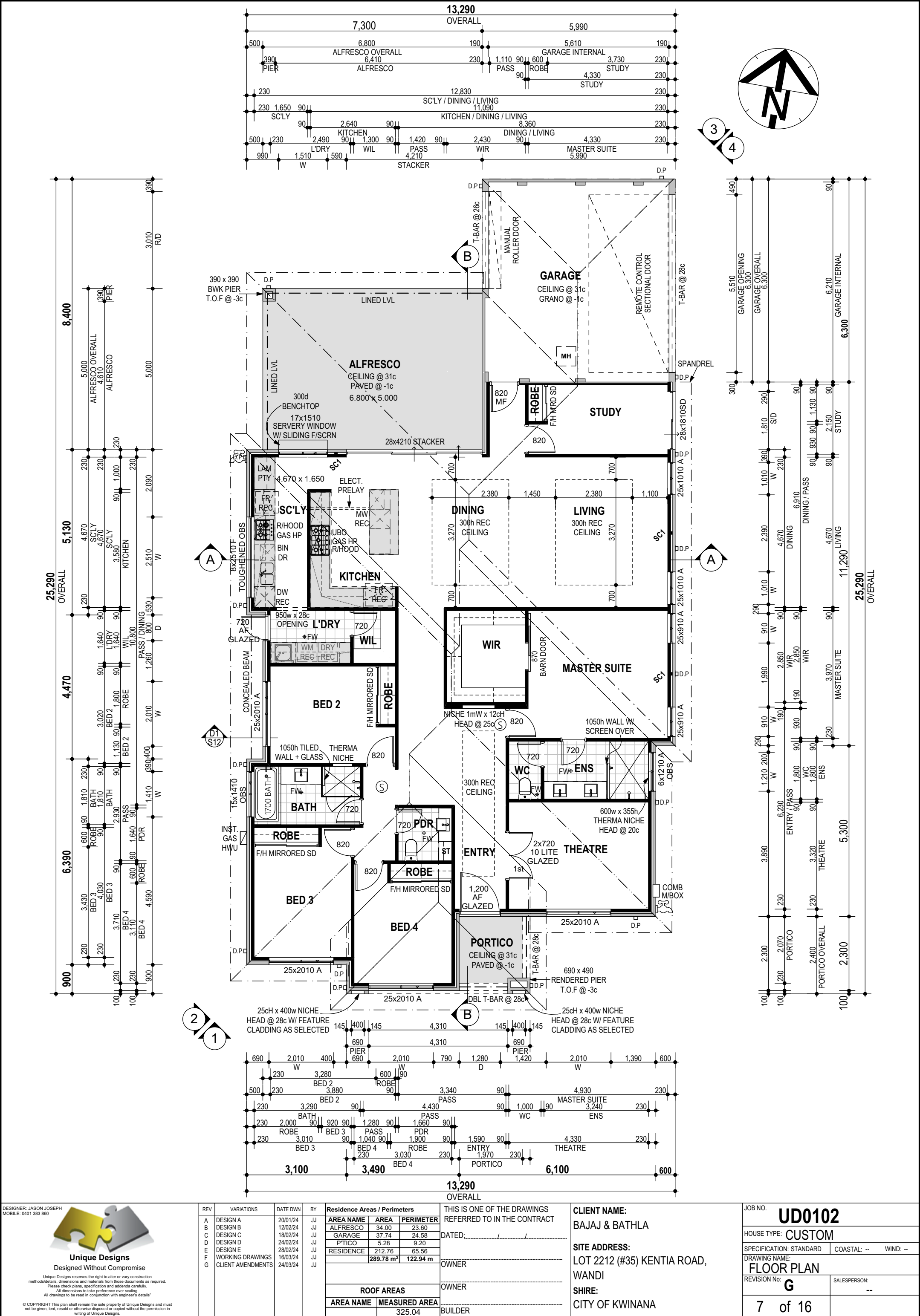
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ROOF AREAS	
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	325.04

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OWNER

OWNER

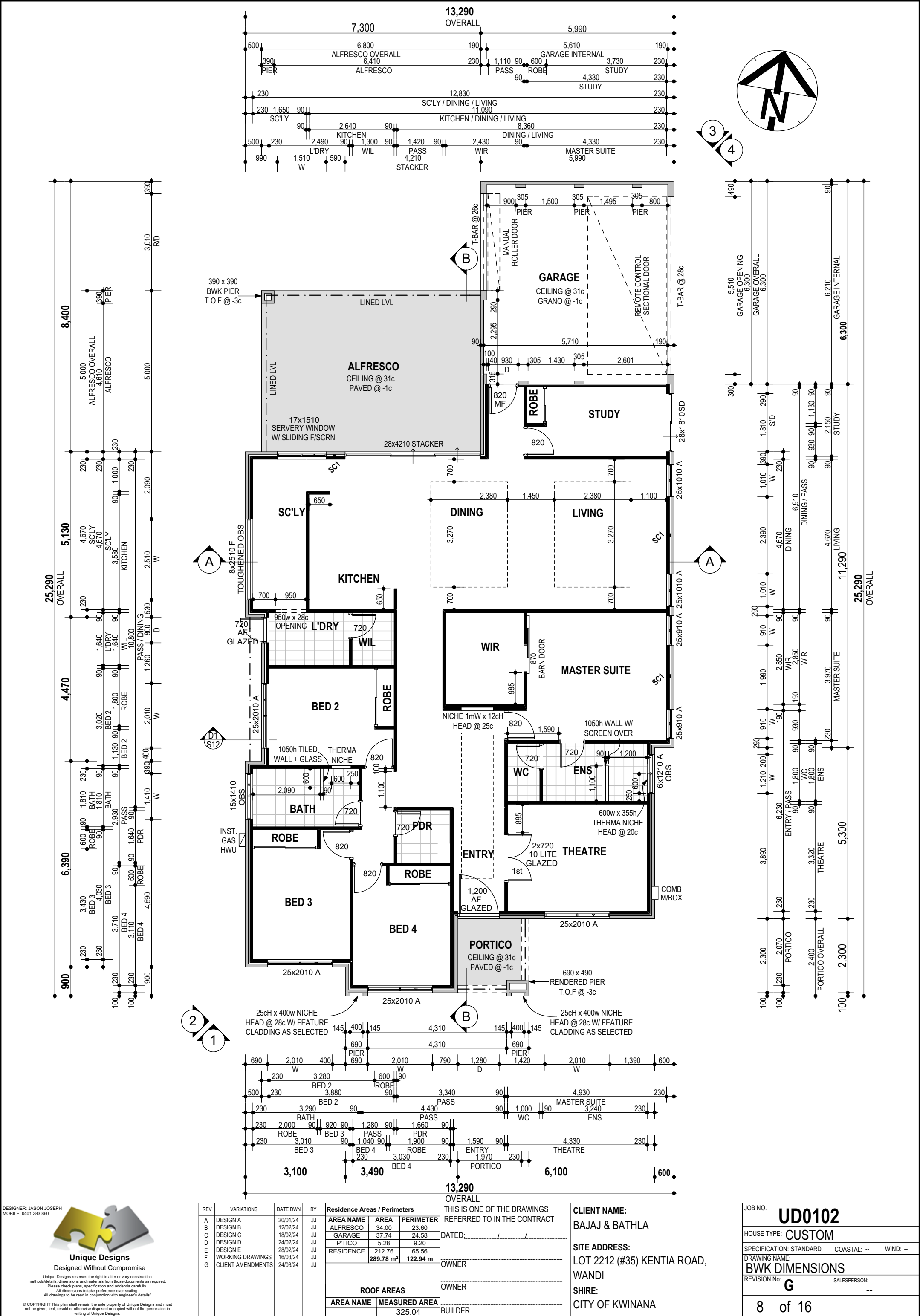
BUILDER


CLIENT NAME:
BAJAJ & BATHLA

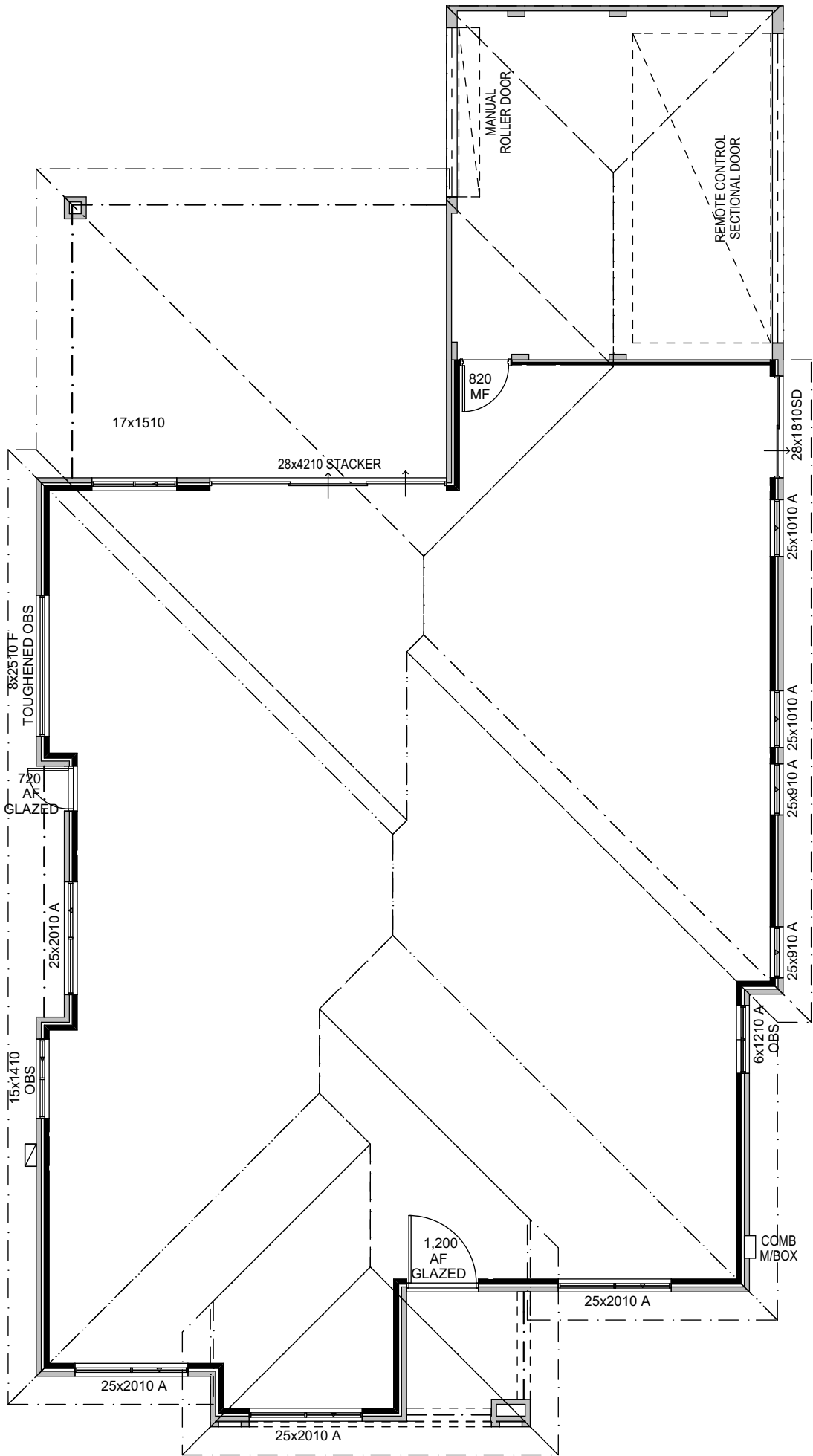
SITE ADDRESS:
LOT 2212 (#35) KENTIA ROAD,
WANDI

SHIRE:
CITY OF KWINANA

JOB NO.	UD0102	
HOUSE TYPE:	CUSTOM	
SPECIFICATION: STANDARD	COASTAL: --	WIND: --
DRAWING NAME:	FLOOR PLAN	
REVISION No:	G	SALESPERSON: --
7 of 16		



<div>DESIGNER: JASON JOSEPH MOBILE: 0401 383 860</div> <div><div>Unique Designs Designed Without Compromise</div><div>Unique Designs reserves the right to alter or vary construction methods/details, dimensions and materials from those documents as required. Please check plans, specification and addenda carefully. All dimensions to take preference over scaling. All drawings to be read in conjunction with engineer's details"</div><div>© COPYRIGHT This plan shall remain the sole property of Unique Designs and must not be given, lent, resold or otherwise disposed or copied without the permission in writing of Unique Designs.</div></div>	REV	VARIATIONS	DATE DWN	BY	<div>Residence Areas / Perimeters</div> <table><tr><th>AREA NAME</th><th>AREA</th><th>PERIMETER</th></tr><tr><td>ALFRESCO</td><td>34.00</td><td>23.60</td></tr><tr><td>GARAGE</td><td>37.74</td><td>24.58</td></tr><tr><td>PTICO</td><td>5.28</td><td>9.20</td></tr><tr><td>RESIDENCE</td><td>212.76</td><td>65.56</td></tr><tr><td></td><td>289.78 m²</td><td>122.94 m</td></tr></table> <div>ROOF AREAS</div> <table><tr><th>AREA NAME</th><th>MEASURED AREA</th></tr><tr><td></td><td>325.04</td></tr></table>	AREA NAME	AREA	PERIMETER	ALFRESCO	34.00	23.60	GARAGE	37.74	24.58	PTICO	5.28	9.20	RESIDENCE	212.76	65.56		289.78 m ²	122.94 m	AREA NAME	MEASURED AREA		325.04	<div>THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT</div> <div>DATED:...../...../.....</div> <div>OWNER.....</div> <div>OWNER.....</div> <div>BUILDER.....</div>	<div>CLIENT NAME: BAJAJ & BATHLA</div> <div>SITE ADDRESS: LOT 2212 (#35) KENTIA ROAD, WANDI</div> <div>SHIRE: CITY OF KWINANA</div>	<div>JOB NO. UD0102</div> <div>HOUSE TYPE: CUSTOM</div> <div>SPECIFICATION: STANDARD COASTAL: -- WIND: --</div> <div>DRAWING NAME: BWK DIMENSIONS</div> <div>REVISION No: G SALESPERSON: --</div> <div>8 of 16</div>
	AREA NAME	AREA	PERIMETER																											
	ALFRESCO	34.00	23.60																											
	GARAGE	37.74	24.58																											
	PTICO	5.28	9.20																											
	RESIDENCE	212.76	65.56																											
		289.78 m ²	122.94 m																											
	AREA NAME	MEASURED AREA																												
		325.04																												



ROOF PLAN
1:100

DESIGNER: JASON JOSEPH
MOBILE: 0401 383 860



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REV	VARIATIONS	DATE DWN	BY
A	DESIGN A	20/01/24	JJ
B	DESIGN B	12/02/24	JJ
C	DESIGN C	18/02/24	JJ
D	DESIGN D	24/02/24	JJ
E	DESIGN E	28/02/24	JJ
F	WORKING DRAWINGS	16/03/24	JJ
G	CLIENT AMENDMENTS	24/03/24	JJ

Residence Areas / Perimeters		
AREA NAME	AREA	PERIMETER
ALFRESCO	34.00	23.60
GARAGE	37.74	24.58
PTICO	5.28	9.20
RESIDENCE	212.76	65.56
	289.78 m ²	122.94 m
ROOF AREAS		
AREA NAME	MEASURED AREA	
	325.04	

THIS IS ONE OF THE DRAWINGS
REFERRED TO IN THE CONTRACT

DATED:...../...../.....

OWNER

OWNER

BUILDER

CLIENT NAME:

BAJAJ & BATHLA

SITE ADDRESS:

LOT 2212 (#35) KENTIA ROAD,
WANDI

SHIRE:

CITY OF KWINANA

JOB NO.

UD0102

HOUSE TYPE: **CUSTOM**

SPECIFICATION: STANDARD

COASTAL: --

WIND: --

DRAWING NAME:

ROOF PLAN

REVISION No:

G

SALESPERSON:

--

9 of 16



<p>CLIENT NAME: BAJAJ & BATHLA</p> <p>SITE ADDRESS: LOT 2212 (#35) KENTIA ROAD, WANDI</p> <p>SHIRE: CITY OF KWINANA</p>
--

THIS IS ONE OF THE DRAWINGS
REFERRED TO IN THE CONTRACT

DATED: / /


OWNER

OWNER

BUILDER

Residence Areas / Perimeters			
AREA NAME	AREA	PERIMETER	
ALFRESCO	34.00	23.60	
GARAGE	37.74	24.58	
PATIO	5.28	9.20	
RESIDENCE	212.76	65.56	
289.78 m ²		122.94 m	
ROOF AREAS			
AREA NAME	MEASURED AREA		
	325.04		

REV	VARIATIONS	DATE DWN	BY
A	DESIGN A	2001/24	JJ
B	DESIGN B	1202/24	JJ
C	DESIGN C	1802/24	JJ
D	DESIGN D	2402/24	JJ
E	DESIGN E	2802/24	JJ
F	WORKING DRAWINGS	1603/24	JJ
G	CLIENT AMENDMENTS	2403/24	JJ



Unique Designs

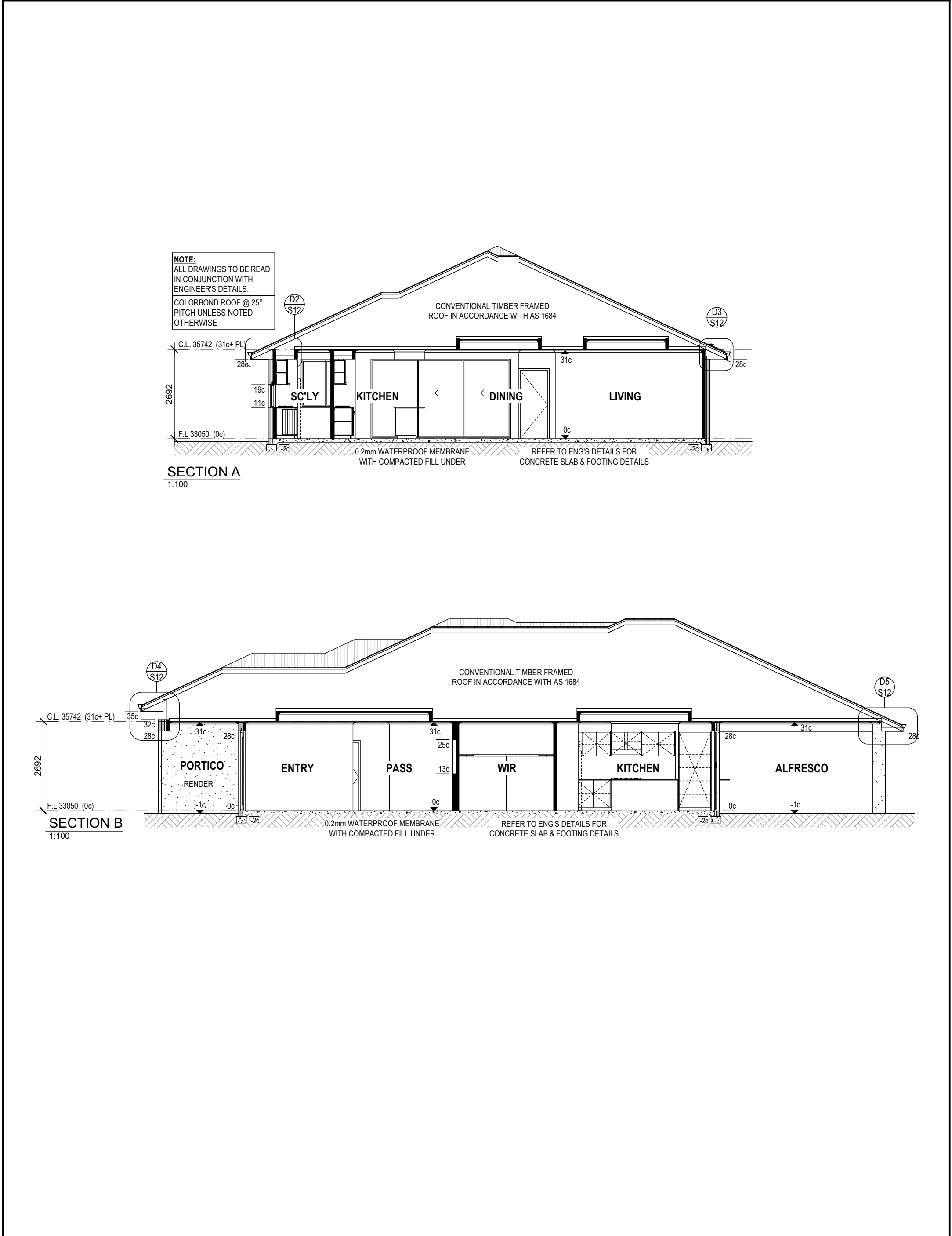
Designed Without Compromise


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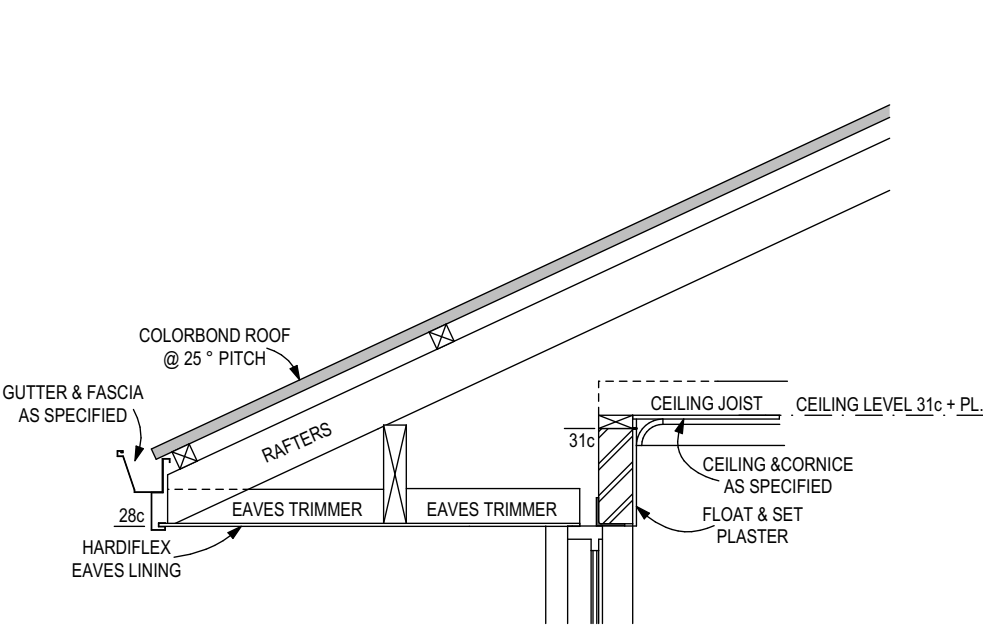
All drawings to be read in conjunction with engineer's details.

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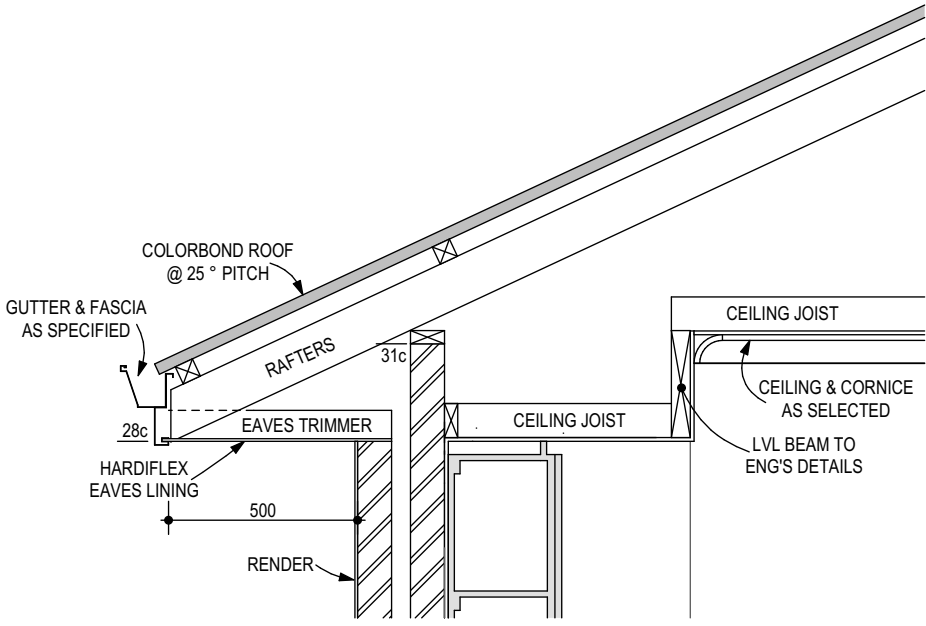
DESIGNER: JASON JOSEPH
MOBILE: 0401 353 860



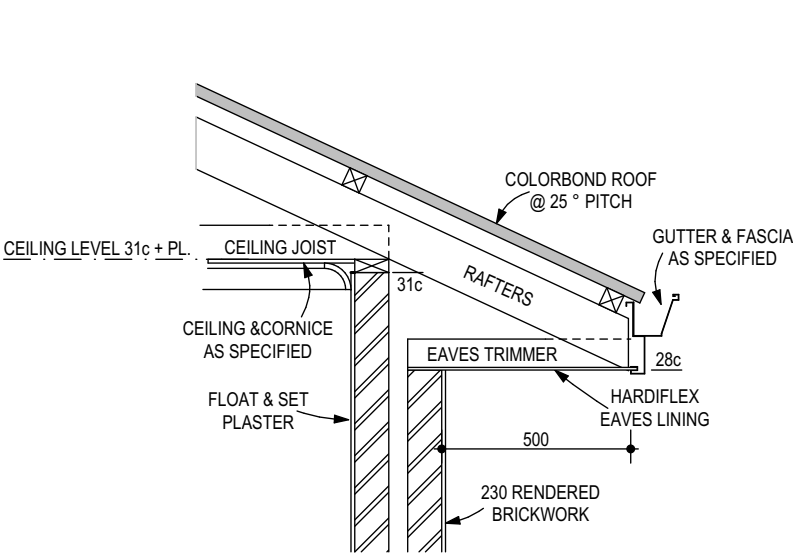
<div>DESIGNER: JASON JOSEPH MOBILE: 0401 383 860</div> <div><div>Unique Designs Designed Without Compromise</div><div>Unique Designs reserves the right to alter or vary construction methods/details, dimensions and materials from those documents as required. Please check plans, specification and addenda carefully. All dimensions to take preference over scaling. All drawings to be read in conjunction with engineer's details"</div><div>© COPYRIGHT This plan shall remain the sole property of Unique Designs and must not be given, lent, resold or otherwise disposed or copied without the permission in writing of Unique Designs.</div></div>	REV	VARIATIONS	DATE DWN	BY	Residence Areas / Perimeters			THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT DATED:...../...../..... OWNER..... OWNER..... BUILDER.....	CLIENT NAME: BAJAJ & BATHLA SITE ADDRESS: LOT 2212 (#35) KENTIA ROAD, WANDI SHIRE: CITY OF KWINANA	JOB NO. UD0102	
	A	DESIGN A	20/01/24	JJ	AREA NAME	AREA	PERIMETER			HOUSE TYPE: CUSTOM	
	B	DESIGN B	12/02/24	JJ	ALFRESCO	34.00	23.60			SPECIFICATION: STANDARD COASTAL: -- WIND: --	
	C	DESIGN C	18/02/24	JJ	GARAGE	37.74	24.58			DRAWING NAME: SECTIONS	
	D	DESIGN D	24/02/24	JJ	PTICO	5.28	9.20			REVISION No: G SALESPERSON: --	
	E	DESIGN E	28/02/24	JJ	RESIDENCE	212.76	65.56	ROOF AREAS		11 of 16	
	F	WORKING DRAWINGS	16/03/24	JJ		289.78 m ²	122.94 m				
	G	CLIENT AMENDMENTS	24/03/24	JJ							
					AREA NAME	MEASURED AREA					
						325.04					



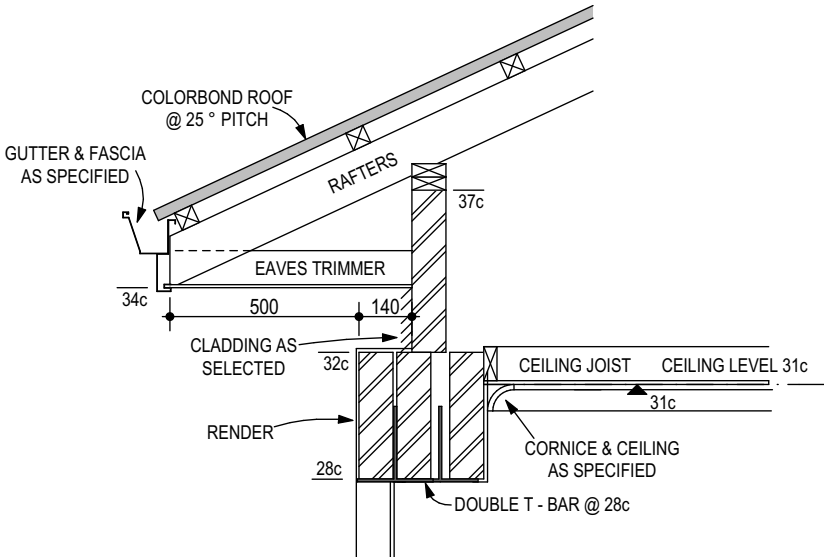
D1 D1 WIDE EAVES W/ CONCEALED BEAM
S7 1:20



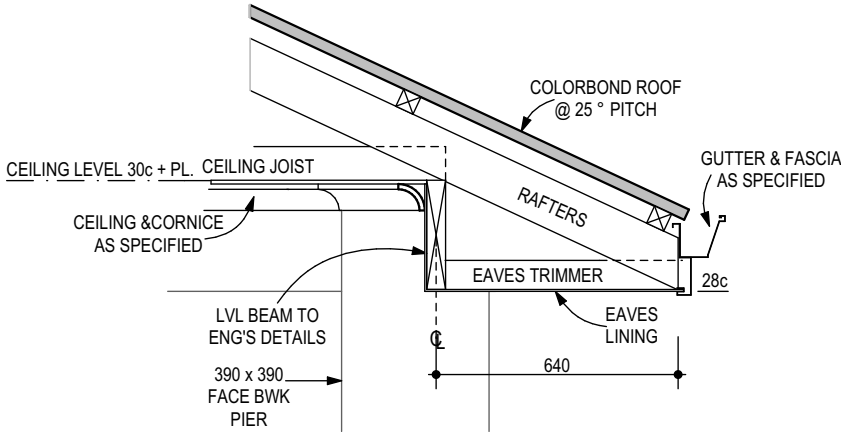
D2 EAVE KITCH BULKHEAD
S11 1:20



D3 500w EAVES
S11 1:20



D4 PORTICO EAVES
S11 1:20



D5 ALFRESCO EAVES
S11 1:20

DESIGNER: JASON JOSEPH
MOBILE: 0401 383 860



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Residence Areas / Perimeters		
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ALFRESCO	34.00	23.60
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PTICO	5.28	9.20
RESIDENCE	212.76	65.56
	289.78 m²	122.94 m

ROOF AREAS	
AREA NAME	MEASURED AREA
	325.04

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

DATED: / /

OWNER

OWNER

BUILDER

CLIENT NAME:

BAJAJ & BATHLA

SITE ADDRESS:

LOT 2212 (#35) KENTIA ROAD,
WANDI

SHIRE:

CITY OF KWINANA

JOB NO.

UD0102

HOUSE TYPE: **CUSTOM**

SPECIFICATION: STANDARD COASTAL: -- WIND: --

DRAWING NAME:

DETAILS

REVISION No:

G

SALESPERSON:

--

12 of 16

DESIGNER: JASON JOSEPH
MOBILE: 0401 383 860



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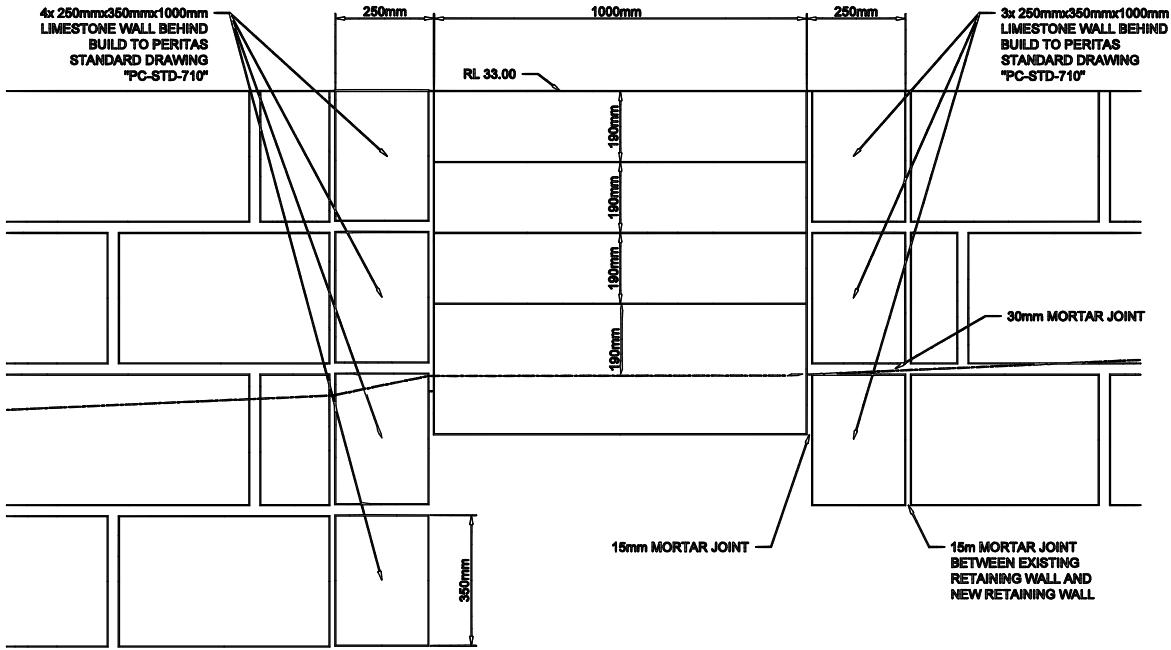
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REFERRED TO IN THE CONTRACT

DATED:...../...../.....

OWNER

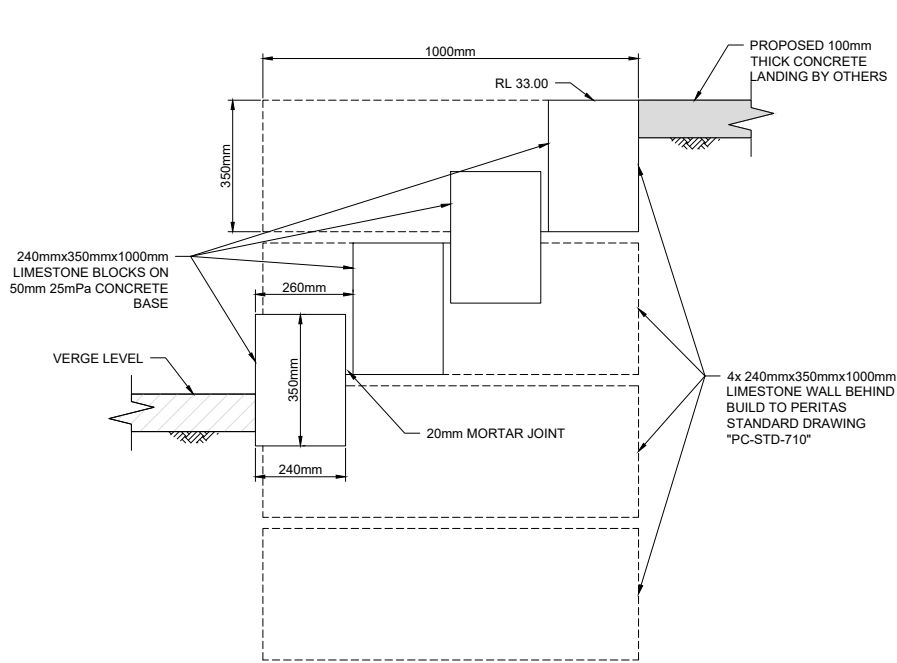
OWNER

BUILDER



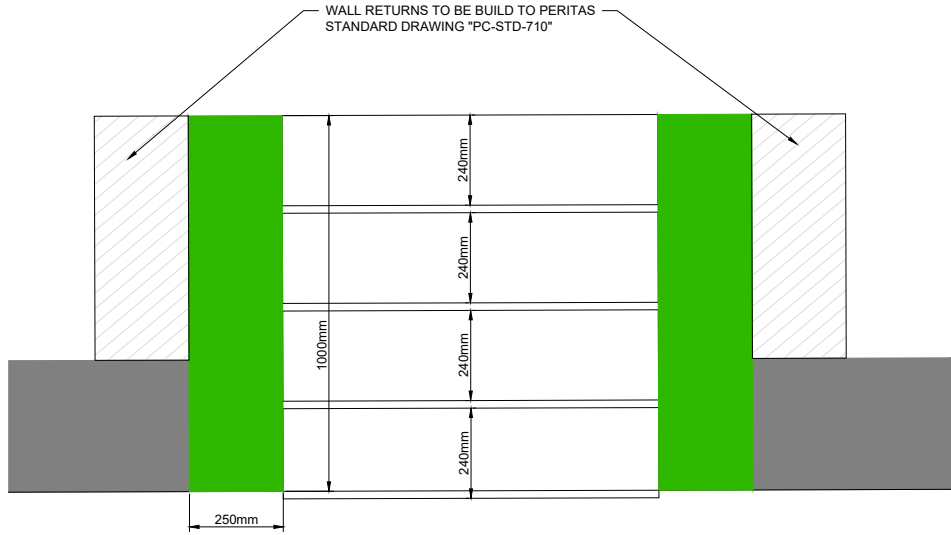
STAIR DETAIL - FRONT VIEW

SCALE: 1:10



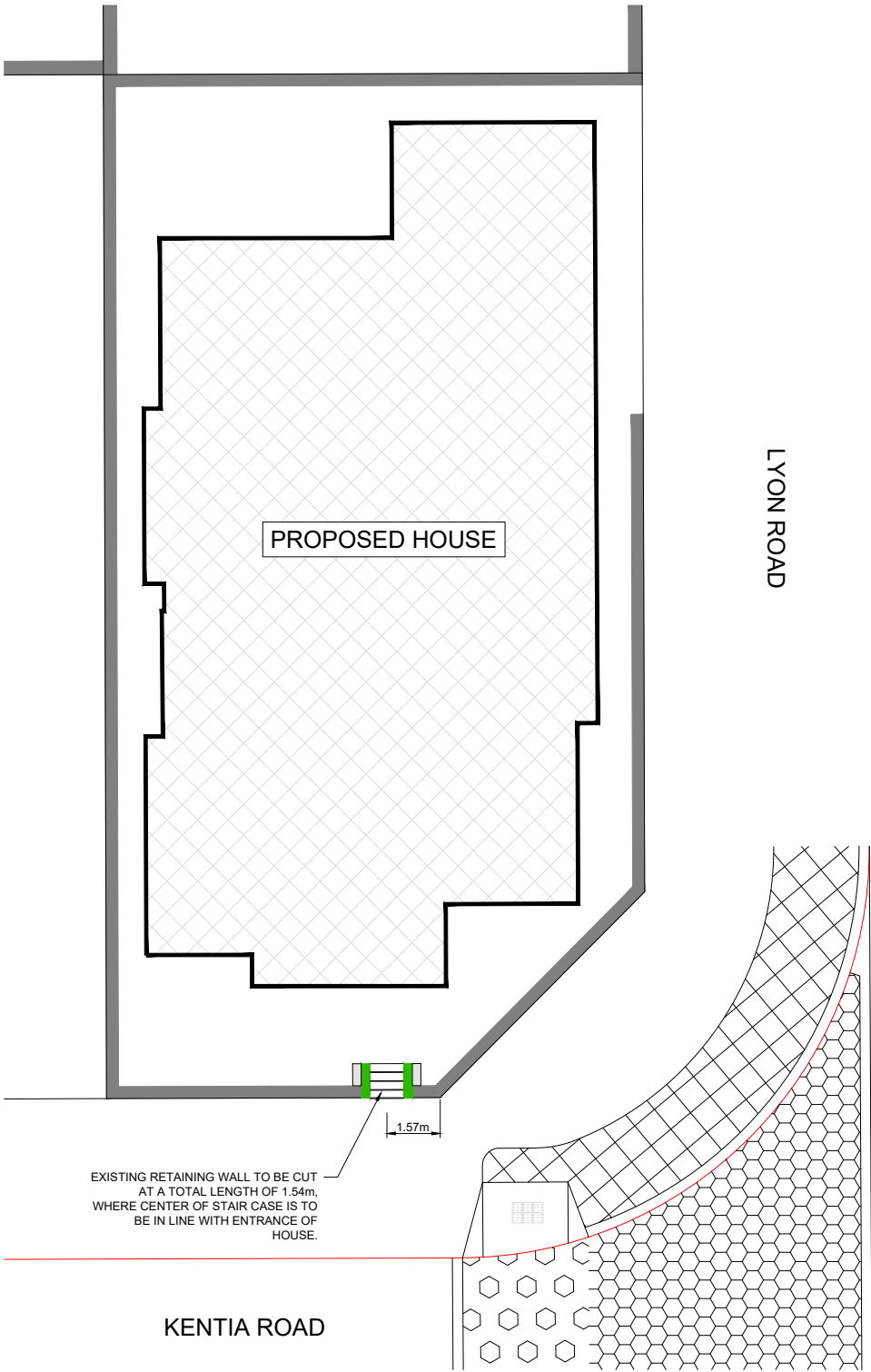
STAIR DETAIL - CROSS SECTION

SCALE: 1:10



STAIR DETAIL - TOP VIEW

SCALE: 1:10



RETAINING WALL PLAN

SCALE: 1:100

LEGEND

- PROPOSED RETAINING WALL
- EXISTING RETAINING WALL
- EXISTING VERGE LEVEL

1:10 AT A1
0 0.1m 0.2m 0.4m 0.6m

1:100 AT A1
0 1m 2m 4m 6m



ISSUE FOR INFORMATION

REVISION	DESCRIPTION	DRAWN	DATE
A	ISSUED FOR INFORMATION	A0	26/10/2023
B	UPDATED HOUSE OUTLINE	A0	10/03/2024

REVISION	DESCRIPTION	DRAWN	DATE

CLIENT:
BROADTRANS CIVIL PTY LTD



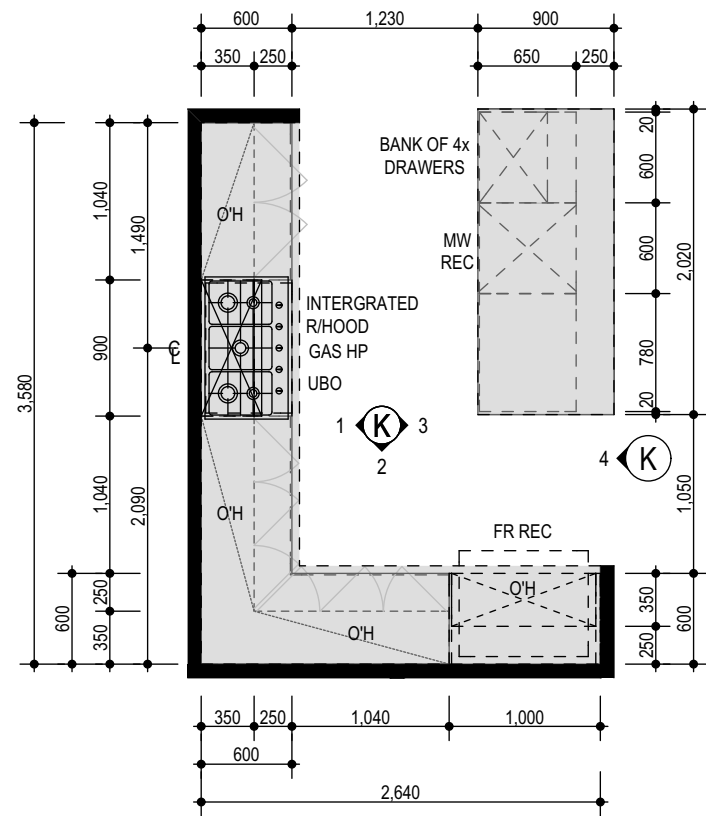
TMO CONSULTING

AUSTRALIA:
P: +61 406883631
A: PO BOX 221 MAYLANDS WA 6931
E: TMOconsulting@hotmail.com

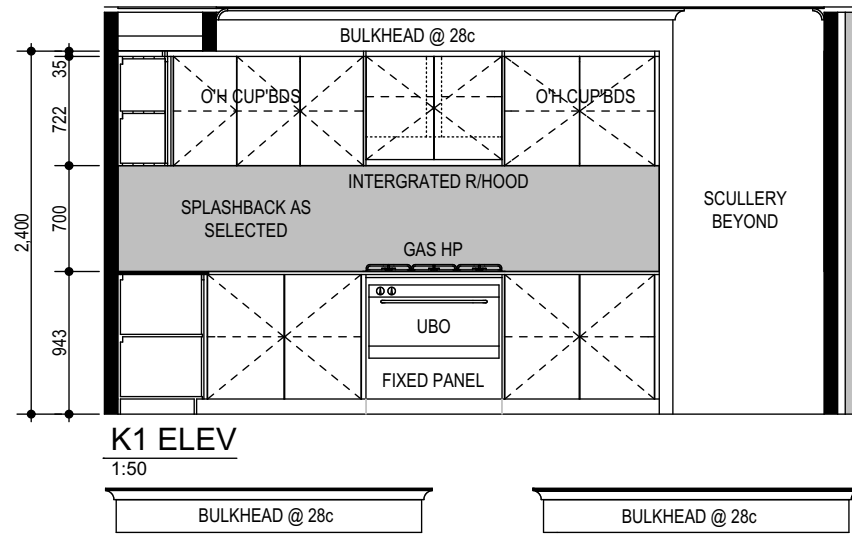
DRAWN BY:	A.OMELCHUK
DESIGNED BY:	A.OMELCHUK
CHECKED BY:	A.OMELCHUK
PROJ. ENGINEER:	
APPROVED BY:	A.OMELCHUK
CREATED ON:	26/10/2023

SCALE	AS SHOWN
WAPC No.	
SURVEY DATUM	
PROJECT NUMBER	TMO23004

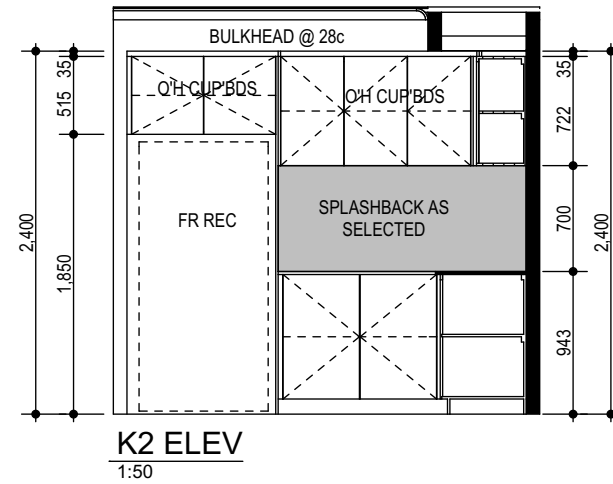
PROJECT NAME	LOT 9003 LYON ROAD WANDI SOUTH STAGE 4
PROJECT ADDRESS	35 KENTIA ROAD WANDI WA 6167
SURVEY DATUM	ACCESS STAIR TO RESIDENCE
DRG NUMBER	100
REV	B



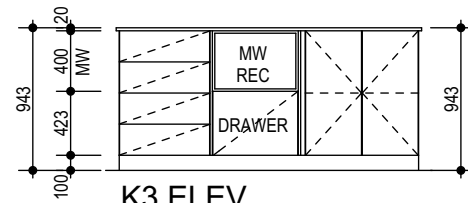
KITCHEN LAYOUT
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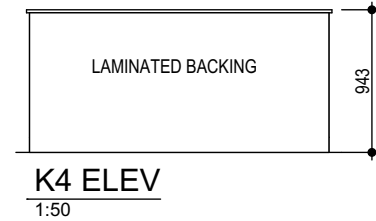
K1 ELEV
1:50



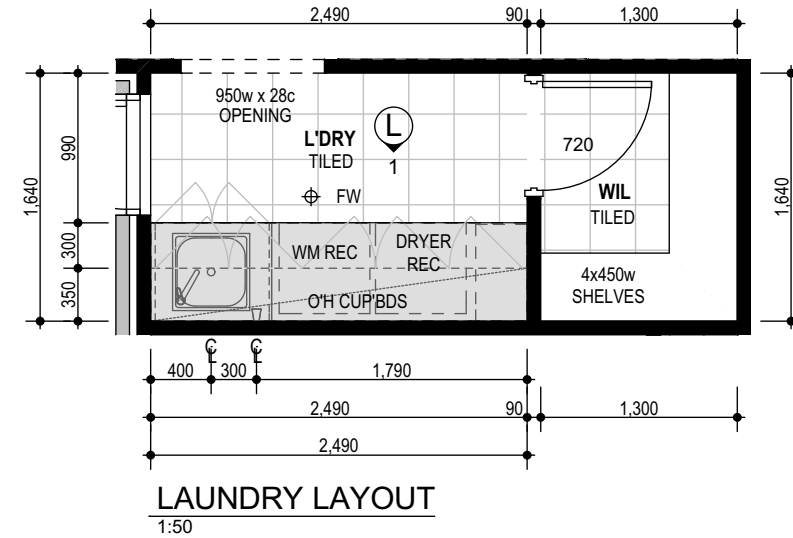
K2 ELEV
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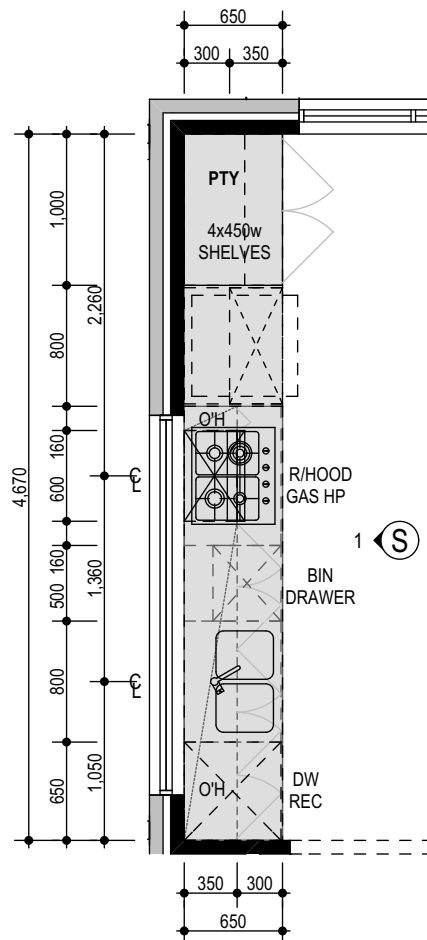
K3 ELEV
1:50



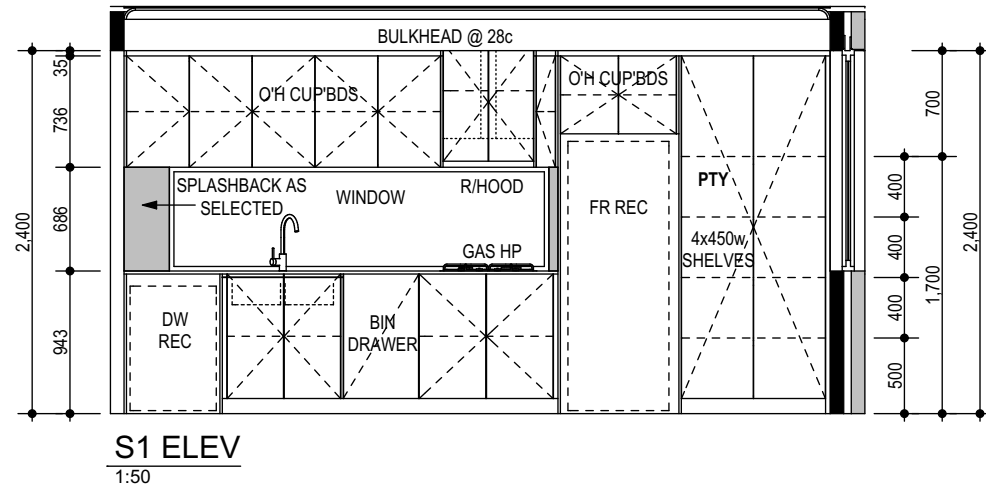
K4 ELEV
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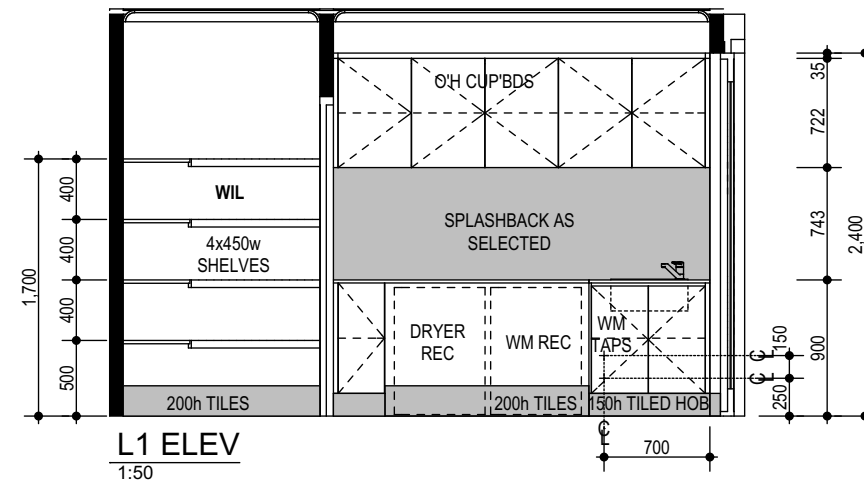
LAUNDRY LAYOUT
1:50



SCULLERY LAYOUT
1:50



S1 ELEV
1:50



L1 ELEV
1:50

CABINET MAKER NOTE:
PROVIDE HOLE CUT OUT FOR FUTURE HOSE PIPE CONNECTION TO TAPS IN THE FOLLOWING AREAS: DW REC CUPBOARD IN KITCH & L'DRY

FINISHES NOTE:
KITCHEN, L'DRY & VANITY TOPS AS SPECIFIED IN ADDENDA
HANDLES TO ALL CUP'D DOORS & DRAWERS AS SPECIFIED IN ADDENDA

WET AREA NOTE:
ALL WET AREAS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 'WET AREA' OF THE BCA VOLUME 2. SANITARY FACILITIES WILL BE INSTALLED WITH LIFT-OFF HINGES TO COMPLY WITH PART 3.8.3.3 OF THE BCA VOLUME 2.

TILING NOTE:
FLOOR TILING INDICATIVE ONLY

CLIENT TO MEET TILER ON SITE TO CONFIRM LAYING OF FLOOR & WALL TILES PRIOR TO COMMENCEMENT OF WORK & IN CONJUNCTION WITH TILE SELECTION
EXTENT OF TILES SHOWN ON ELEVATION IS INDICATIVE ONLY AND DOES NOT ALLOW FOR GROUT & CUTS



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CLIENT NAME: BAJAJ & BATHLA

SITE ADDRESS: LOT 2212 (#35) KENTIA ROAD,

WANDI

SHIRE: CITY OF KWINANA

JOB NO. UD0102

HOUSE TYPE: CUSTOM

SPECIFICATION: STANDARD COASTAL: -- WIND: --

DRAWING NAME: ROOM LAYOUTS 1

REVISION No: G SALES PERSON: --

DATED: / /

OWNER

OWNER

BUILDER

Residence Areas / Perimeters

AREA NAME AREA PERIMETER

ALFRESCO 34.00 23.60

GARAGE 37.74 24.58

PATIO 5.28 9.20

BY JJ JJ JJ JJ JJ JJ JJ

DATE DWN 2001/24

12/02/24

18/02/24

24/02/24

VARIATIONS

DESIGN A

DESIGN B

DESIGN C

DESIGN D

REV

A

B

C

D

WORKING DRAWINGS

CLIENT AMENDMENTS

16/03/24

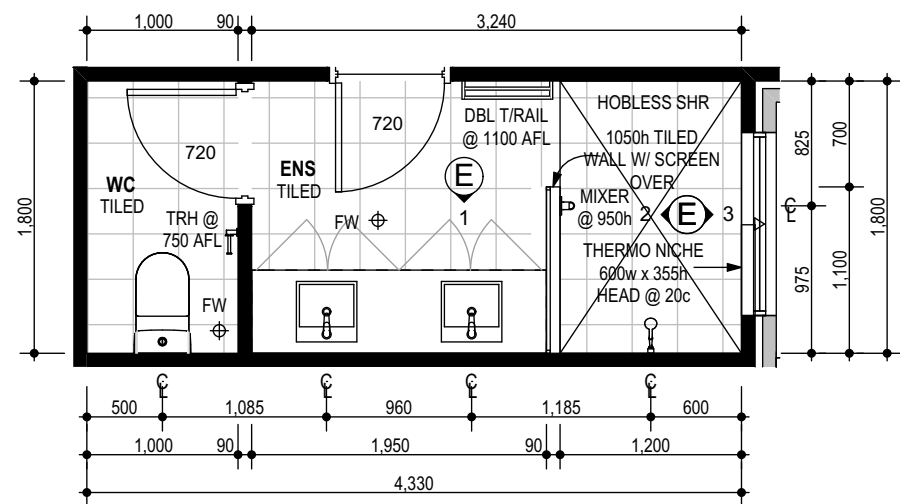
24/03/24

ROOF AREAS

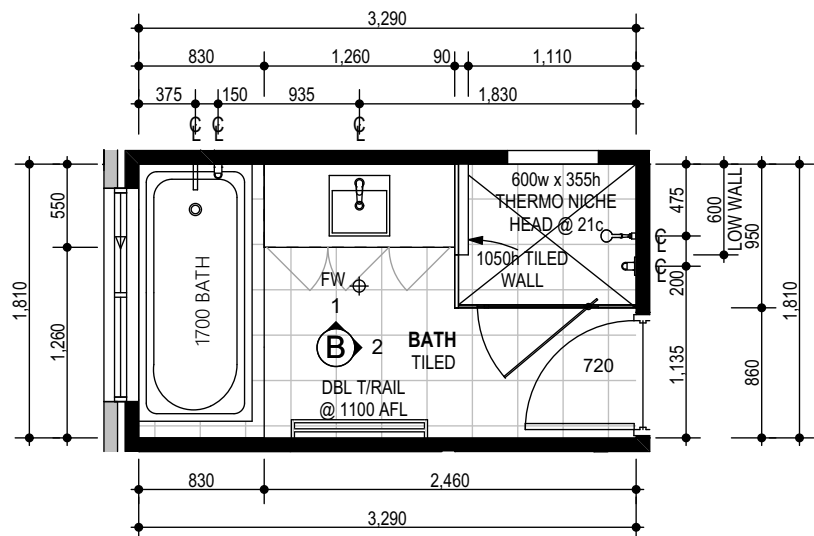
AREA NAME

MEASURED AREA

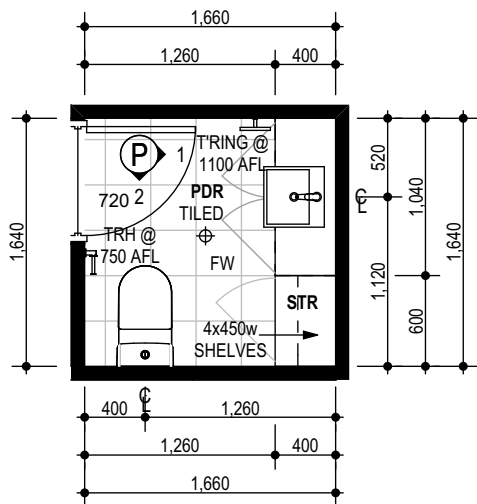
325.04



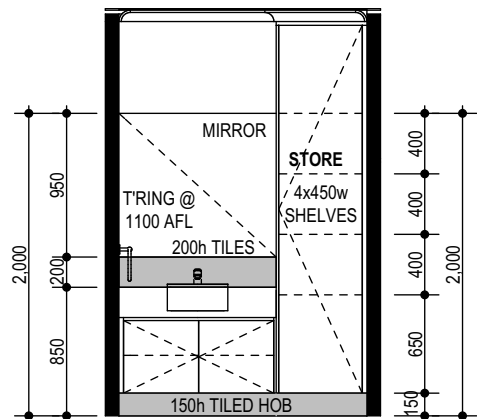
ENSUITE LAYOUT
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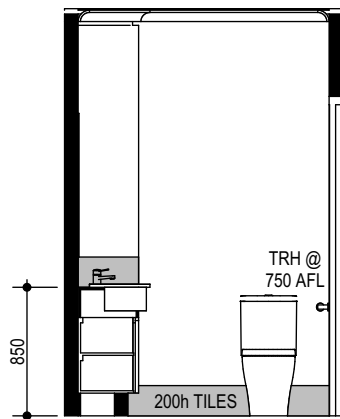
BATH LAYOUT
1:50



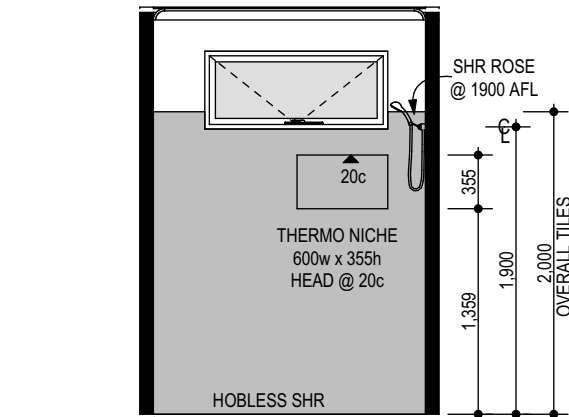
POWDER LAYOUT
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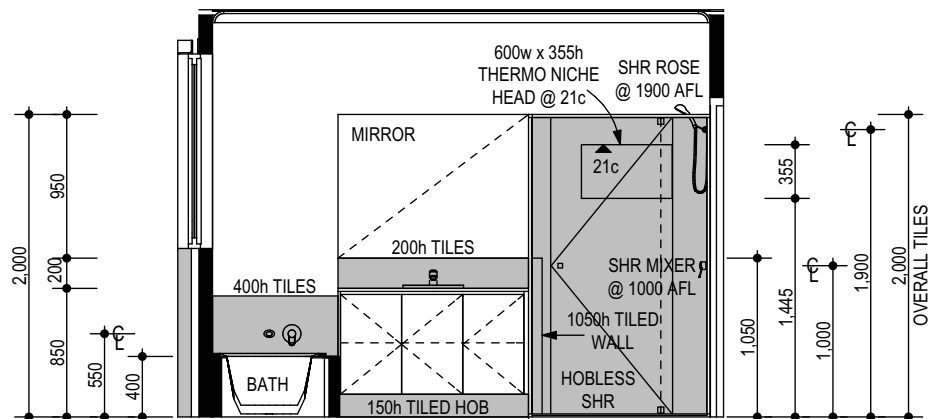
P1 ELEV
1:50



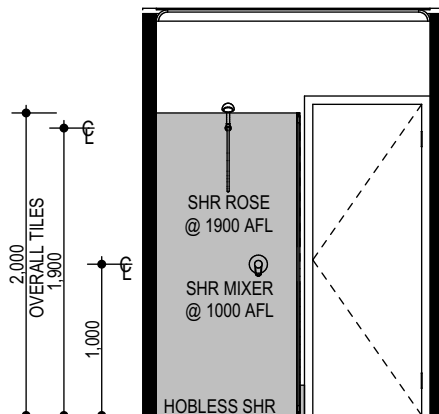
P2 ELEV
1:50



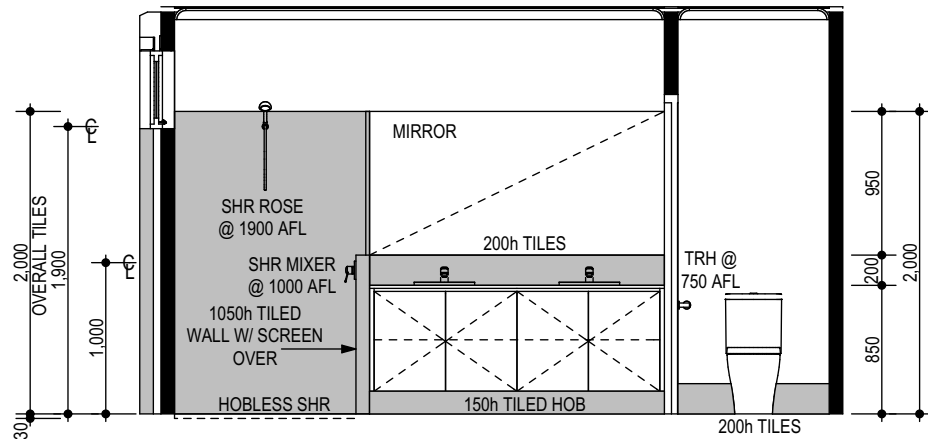
E3 ELEV
1:50



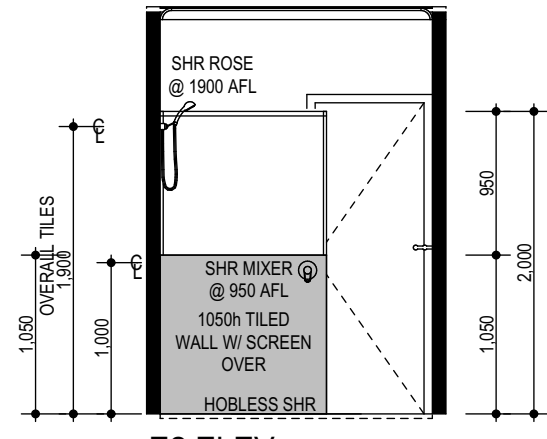
B1 ELEV
1:50



B2 ELEV
1:50



E1 ELEV
1:50



E2 ELEV
1:50

WET AREA NOTE:
ALL WET AREAS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH PART 3.8.1 'WET AREA' OF THE BCA VOLUME 2. SANITARY FACILITIES WILL BE INSTALLED WITH LIFT-OFF HINGES TO COMPLY WITH PART 3.8.3.3 OF THE BCA VOLUME 2.

NOTE:
MIRRORS & SHR. SCREENS TO BE SITE MEASURED & LEVEL WITH TOP OF TILING
BATH TO SIT PROUD OF HOB. HEIGHT OF HOB MAY VARY TO WHATS SHOWN ON PLAN DEPENDING ON PLUMBER'S REQUIREMENTS.

TILING NOTE:
FLOOR TILING INDICATIVE ONLY

CLIENT TO MEET TILER ON SITE TO CONFIRM LAYING OF FLOOR & WALL TILES PRIOR TO COMMENCEMENT OF WORK & IN CONJUNCTION WITH TILE SELECTION
EXTENT OF TILES SHOWN ON ELEVATION IS INDICATIVE ONLY AND DOES NOT ALLOW FOR GROUT & CUTS



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BAJAJ & BATHLA

SITE ADDRESS:
LOT 2212 (#35) KENTIA ROAD,

WANDI

SHIRE:
CITY OF KWINANA

DATE: / /

DATED: / /

OWNER

OWNER

BUILDER

Residence Areas / Perimeters		ROOF AREAS	
AREA NAME	AREA	AREA NAME	MEASURED AREA
ALFRESCO	34.00		
GARAGE	37.74		
PATIO	5.28		
RESIDENCE	212.76		
	289.78 m ²		

REV	VARIATIONS	DATE DWN	BY
A	DESIGN A	2001/24	JJ
B	DESIGN B	12/02/24	JJ
C	DESIGN C	18/02/24	JJ
D	DESIGN D	24/02/24	JJ
E	DESIGN E	28/02/24	JJ
F	WORKING DRAWINGS	16/03/24	JJ
G	CLIENT AMENDMENTS	24/03/24	JJ

DESIGNER: JASON JOSEPH
MOBILE: 0401 383 860

JOB NO.
UD0102

HOUSE TYPE: CUSTOM

SPECIFICATION: STANDARD

COASTAL: --

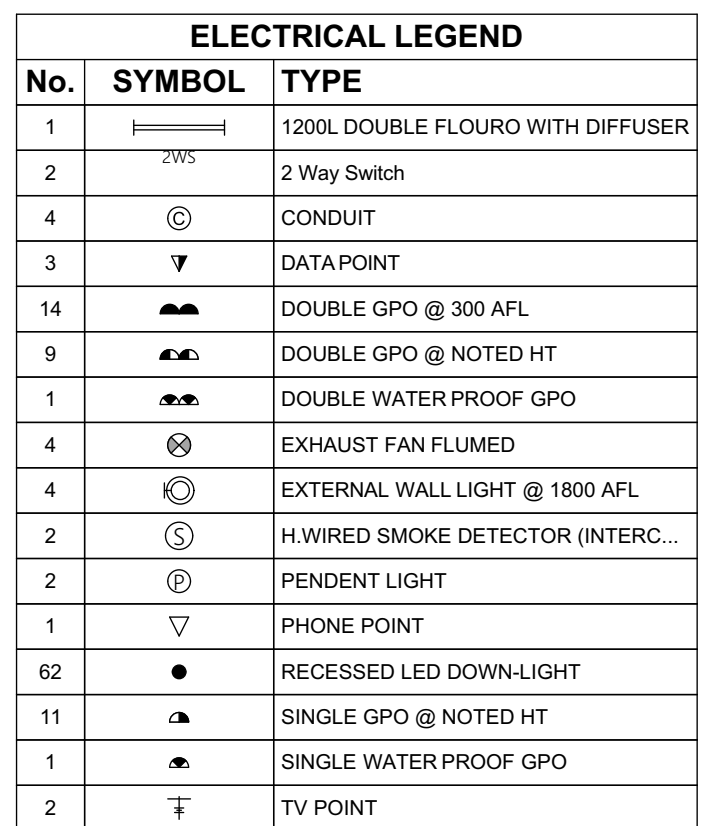
WIND: --

DRAWING NAME:
ROOM LAYOUTS 2

REVISION No:
G

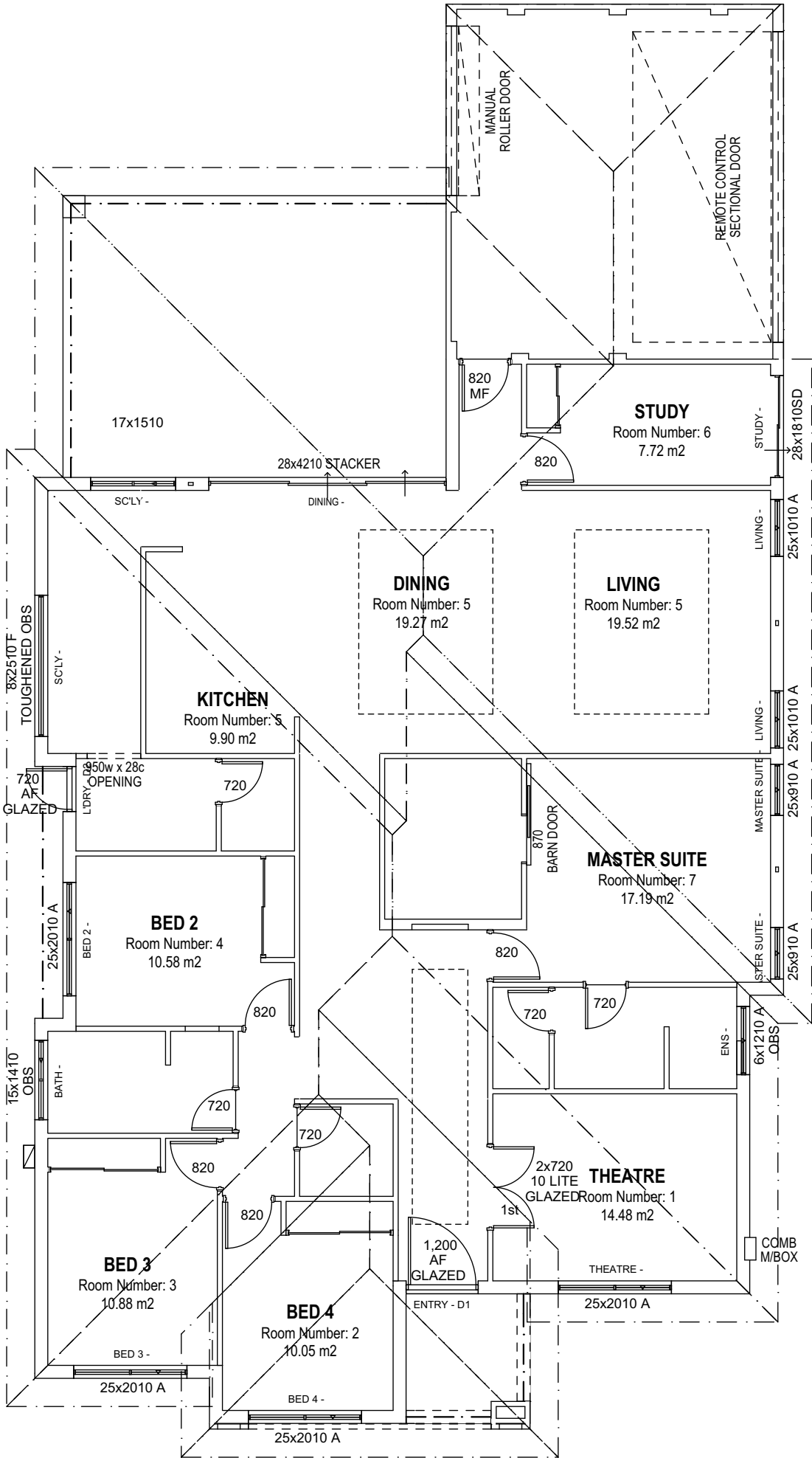
SALESPERSON:
--

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1:100

JOB NO.		UD0102	
HOUSE TYPE: CUSTOM			
SPECIFICATION: STANDARD		COASTAL: --	WIND: --
DRAWING NAME: ELECTRICAL			
REVISION No: G		SALESPERSON: --	
16 of 16			

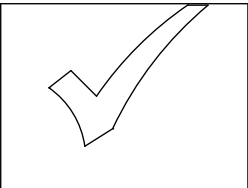


LIGHT/VENT & INSULATION
1:99

LIGHT AND VENTILATION CALCULATIONS

Room Name	Opn %	Light	Vent.
7 MASTER SUITE			
Min. Ventilation = 0.86 Min. Light= 1.72 Total Area= 17.19			
Sliding	36 %	1.95 m2	0.70 m2
Sliding	36 %	1.95 m2	0.70 m2
Totals	Light	3.90 m2	Vent 1.40 m2
6 STUDY			
Min. Ventilation = 0.39 Min. Light= 0.77 Total Area= 7.72			
Sliding	50 %	1.09 m2	0.54 m2
Totals	Light	1.09 m2	Vent 0.54 m2
5 LIVING KITCHEN DINING			
Min. Ventilation = 2.43 Min. Light= 4.87 Total Area= 48.69			
Sliding Door	67 %	10.10 m2	6.74 m2
Sliding	36 %	2.16 m2	0.78 m2
Sliding	36 %	2.16 m2	0.78 m2
Totals	Light	14.43 m2	Vent 8.29 m2
4 BED 2			
Min. Ventilation = 0.53 Min. Light= 1.06 Total Area= 10.58			
Sliding	36 %	4.31 m2	1.55 m2
Totals	Light	4.31 m2	Vent 1.55 m2
3 BED 3			
Min. Ventilation = 0.54 Min. Light= 1.09 Total Area= 10.88			
Awning	36 %	4.31 m2	1.55 m2
Totals	Light	4.31 m2	Vent 1.55 m2
2 BED 4			
Min. Ventilation = 0.50 Min. Light= 1.00 Total Area= 10.05			
Awning	36 %	4.31 m2	1.55 m2
Totals	Light	4.31 m2	Vent 1.55 m2
1 THEATRE			
Min. Ventilation = 0.70 Min. Light= 1.39 Total Area= 13.92			
Awning	36 %	4.31 m2	1.55 m2
Totals	Light	4.31 m2	Vent 1.55 m2

Inputs for Airmovement and Light are Valid



DESIGNER: JASON JOSEPH
MOBILE: 0401 383 860



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REV	VARIATIONS	DATE DWN	BY
A	DESIGN A	20/01/24	JJ
B	DESIGN B	12/02/24	JJ
C	DESIGN C	18/02/24	JJ
D	DESIGN D	24/02/24	JJ
E	DESIGN E	28/02/24	JJ
F	WORKING DRAWINGS	16/03/24	JJ
G	CLIENT AMENDMENTS	24/03/24	JJ

Residence Areas / Perimeters		
AREA NAME	AREA	PERIMETER
ALFRESCO	34.00	23.60
GARAGE	37.74	24.58
PTICO	5.28	9.20
RESIDENCE	212.76	65.56
	289.78 m ²	122.94 m

ROOF AREAS	
AREA NAME	MEASURED AREA
	325.04

THIS IS ONE OF THE DRAWINGS
REFERRED TO IN THE CONTRACT

DATED:...../...../.....

OWNER

OWNER

BUILDER

CLIENT NAME:
BAJAJ & BATHLA

SITE ADDRESS:
LOT 2212 (#35) KENTIA ROAD,
WANDI

SHIRE:
CITY OF KWINANA

JOB NO.
UD0102

HOUSE TYPE: **CUSTOM**

SPECIFICATION: STANDARD COASTAL: -- WIND: --

DRAWING NAME:
LIGHT & VENTILATION

REVISION No: **G** SALESPERSON: --

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