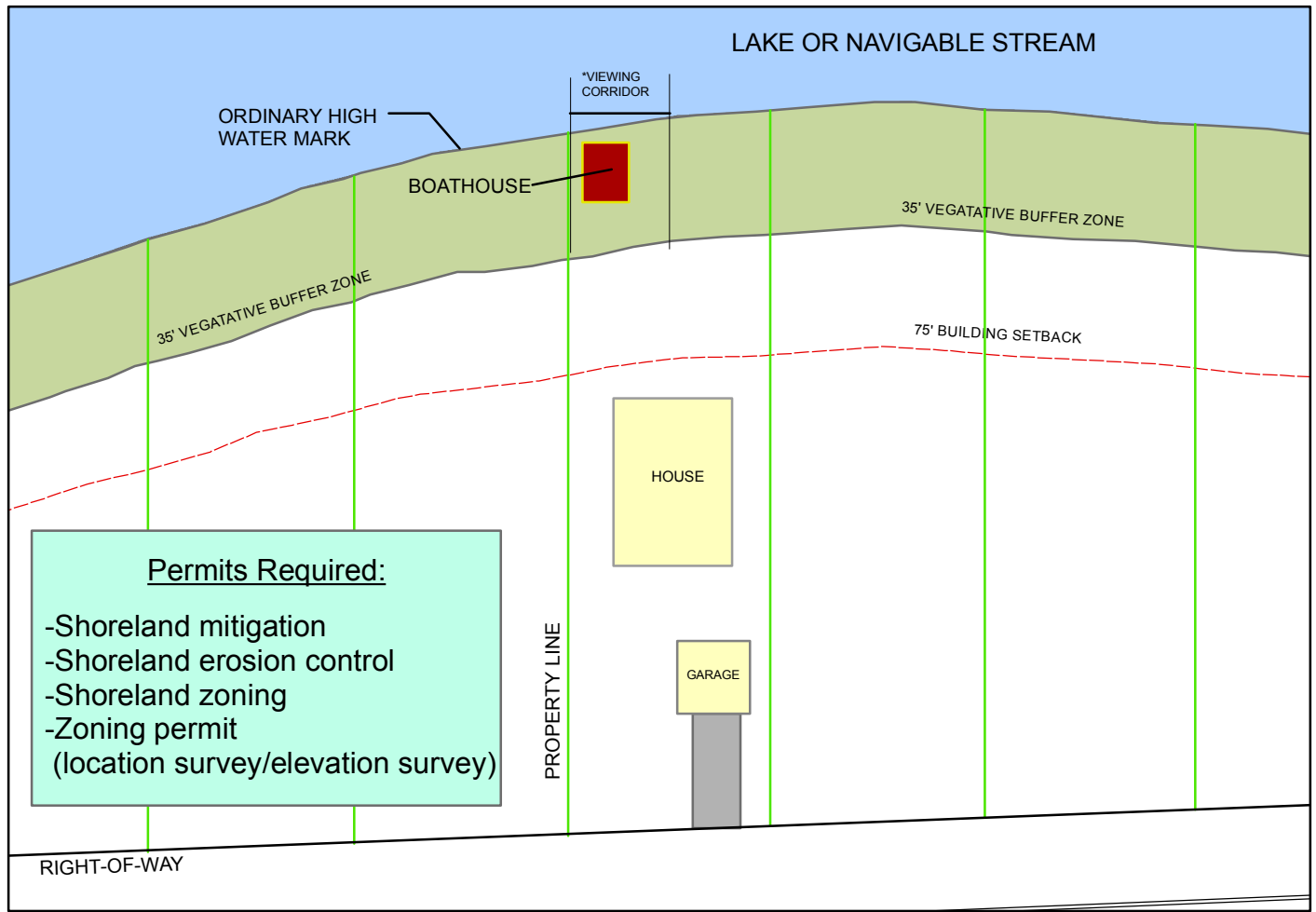


# Boathouse Requirements

11.03(2)(c)1.

Boathouse - *A permanent accessory structure used solely for the personal storage of watercraft and associated materials and includes all structures which are totally enclosed, have roofs or walls or any combination of these structural parts.*



## ZONING REQUIREMENTS:

Minimum setbacks: 4' side and 4' to OHWM. (Survey required to establish)

## FLOODPLAIN REQUIREMENTS:

Boathouse floor must be above 100-year floodplain.

## SHORELAND REQUIREMENTS:

One boathouse is permitted within the access and viewing corridor subject to the following conditions:

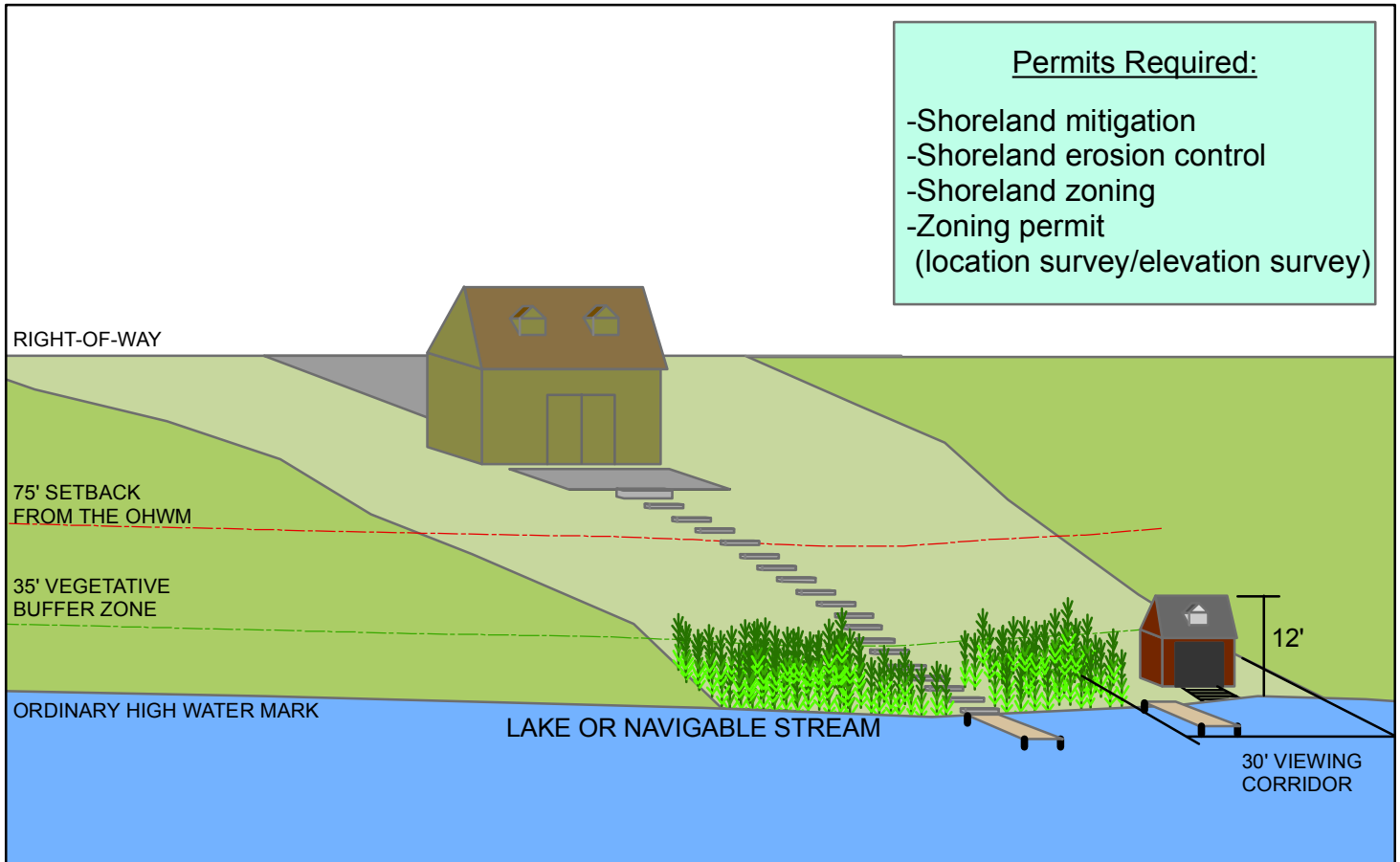
- Shoreland mitigation permit.
- Maximum footprint not to exceed 450 square feet.
- Maximum height not to exceed 12 feet, measured from the OHWM.
- Width of boathouse not to exceed a width of 16 feet.
- Existing slope of boathouse site not to exceed 20%.
- No plumbing or cooking facilities.
- No more than (2) windows, each not to exceed 4 square feet.

\*The width of corridor does not exceed 30% of the lot width or 30' , whichever is less.

# Boathouse Specifications

## 11.03(2)(c)1.

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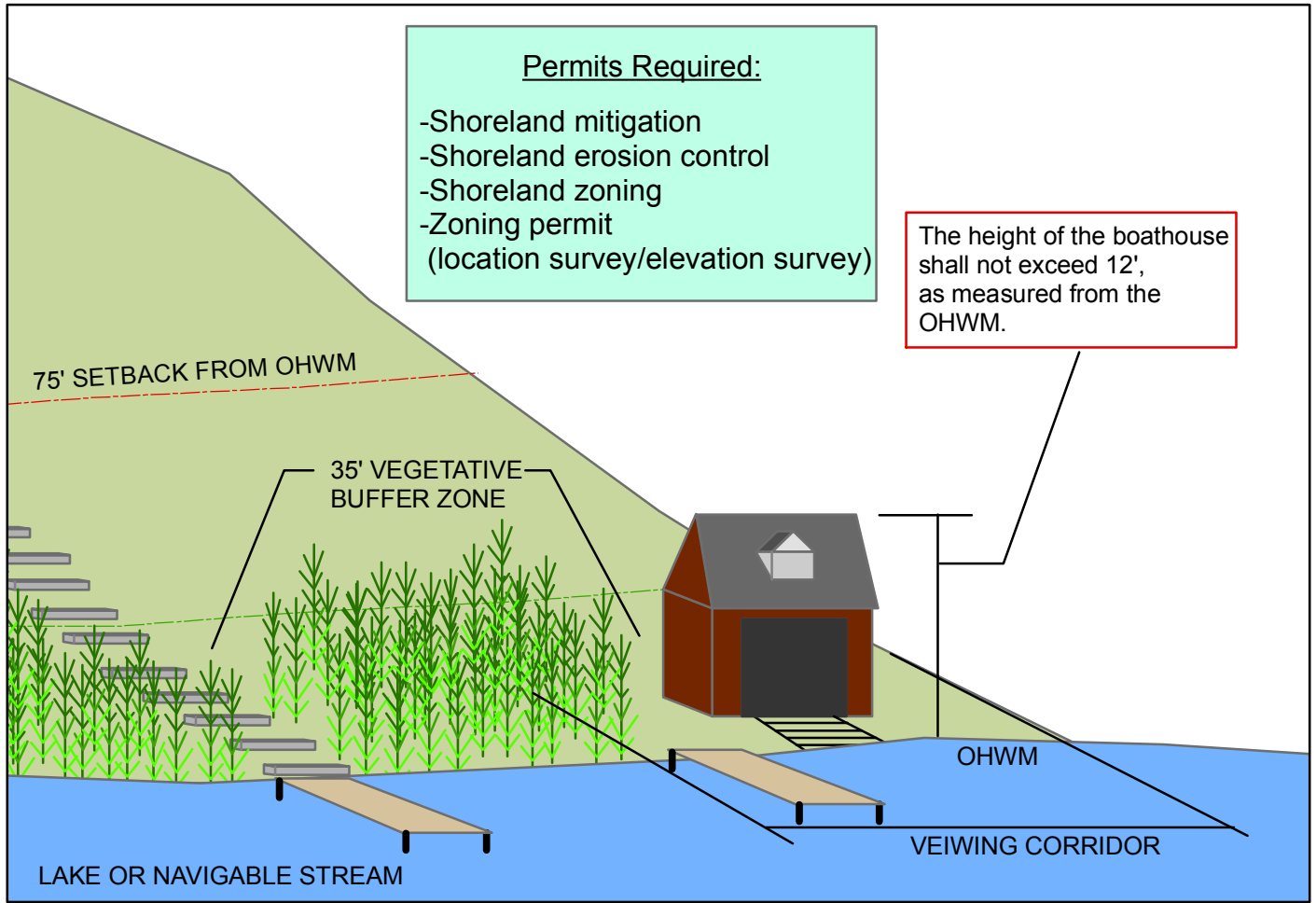
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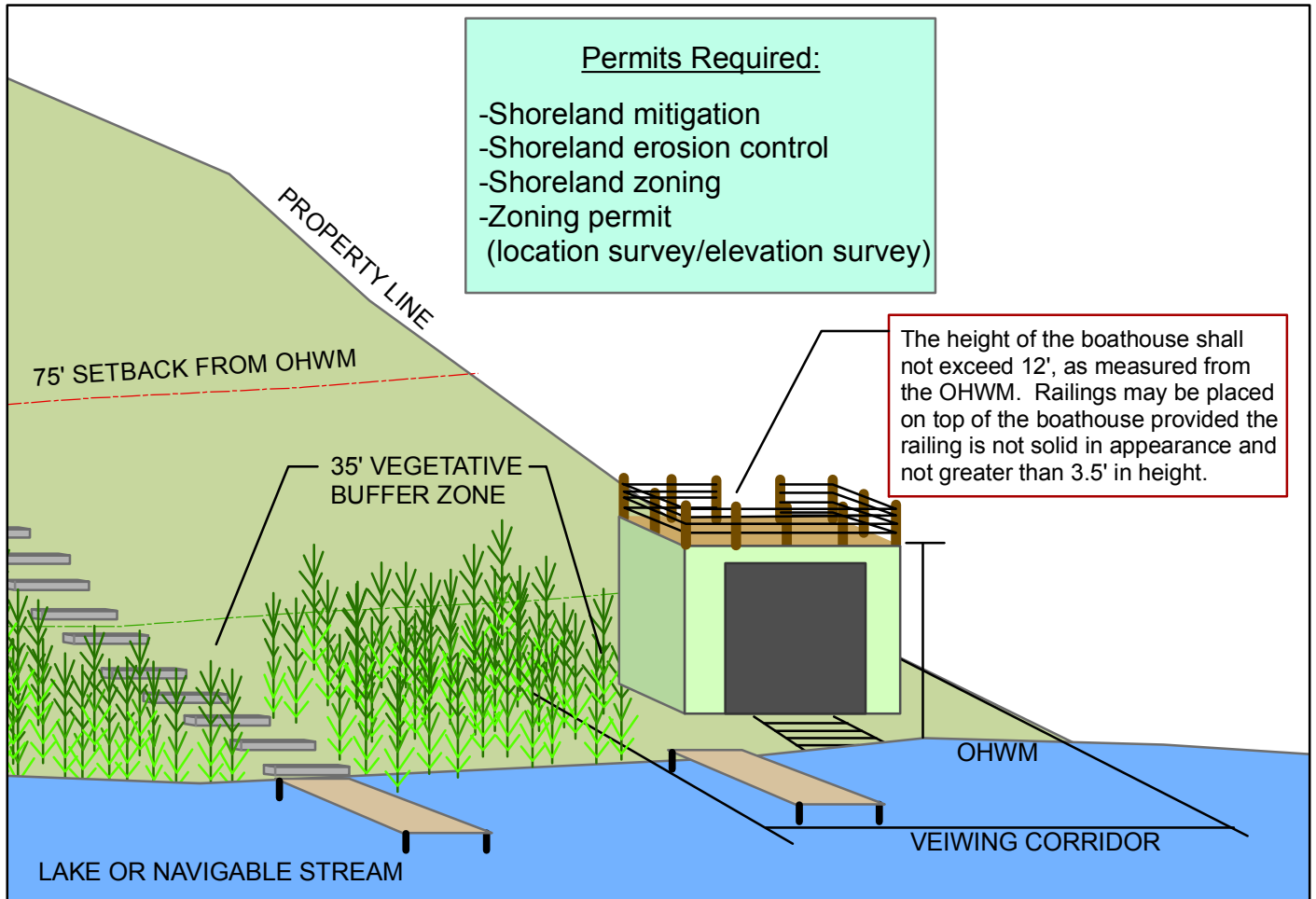
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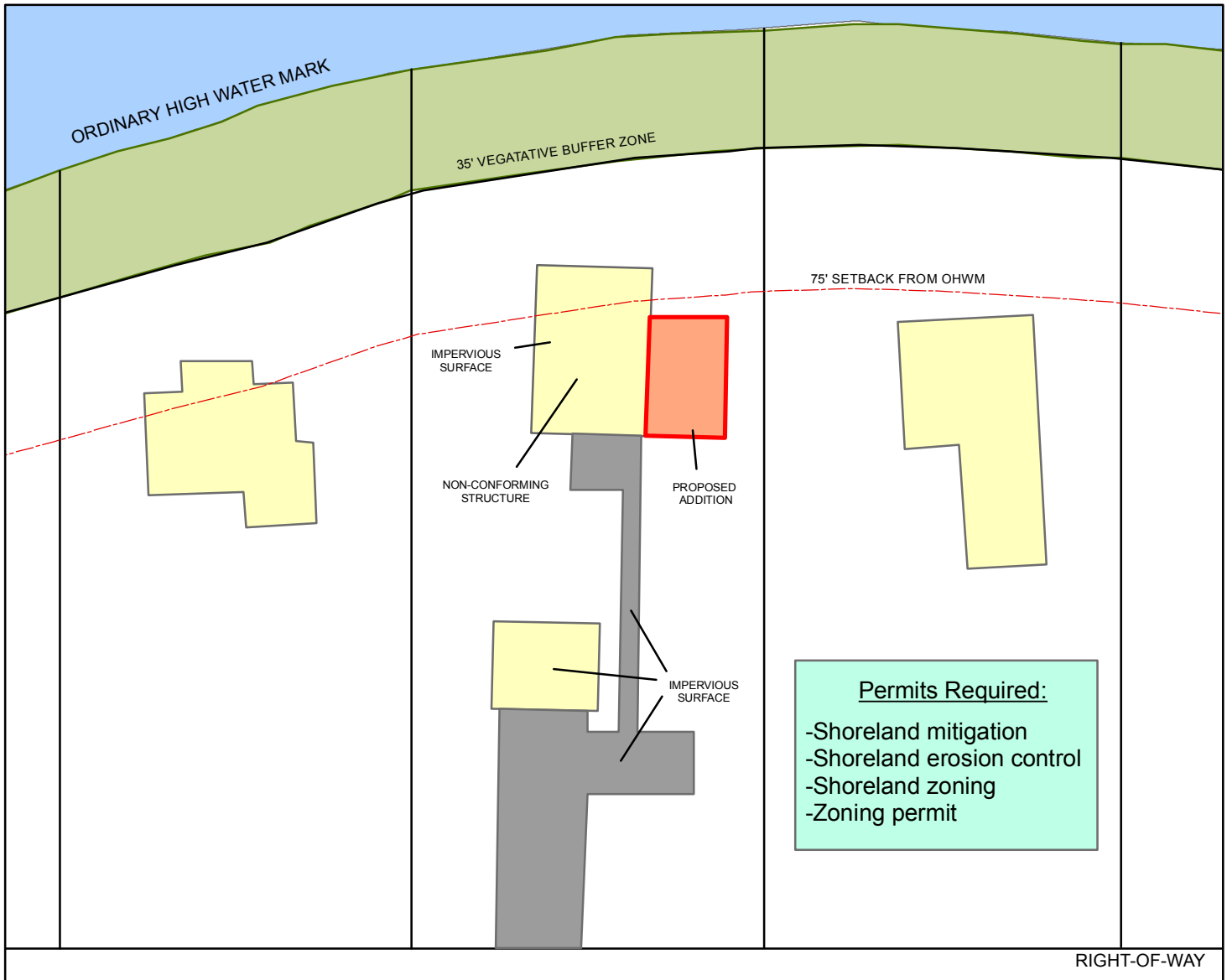
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- No more than (2) windows, each not to exceed 4 square feet.

\*The width of corridor does not exceed 30% of the lot width or 30' , whichever is less.

# EXISTING STRUCTURES and USES

## Non-conforming Structures - 11.11



The following activities are allowed on nonconforming structures, subject to approval of a shoreland zoning permit. (Shoreland mitigation permits are not required, unless impervious surface limits in s. 11.03(4) are exceeded).

**Maintenance and repair** - A nonconforming principal structure may be maintained and repaired within its existing building volume. Maintenance and repair includes such activities as interior remodeling, plumbing, insulation and replacement of windows, doors, siding or roofing.

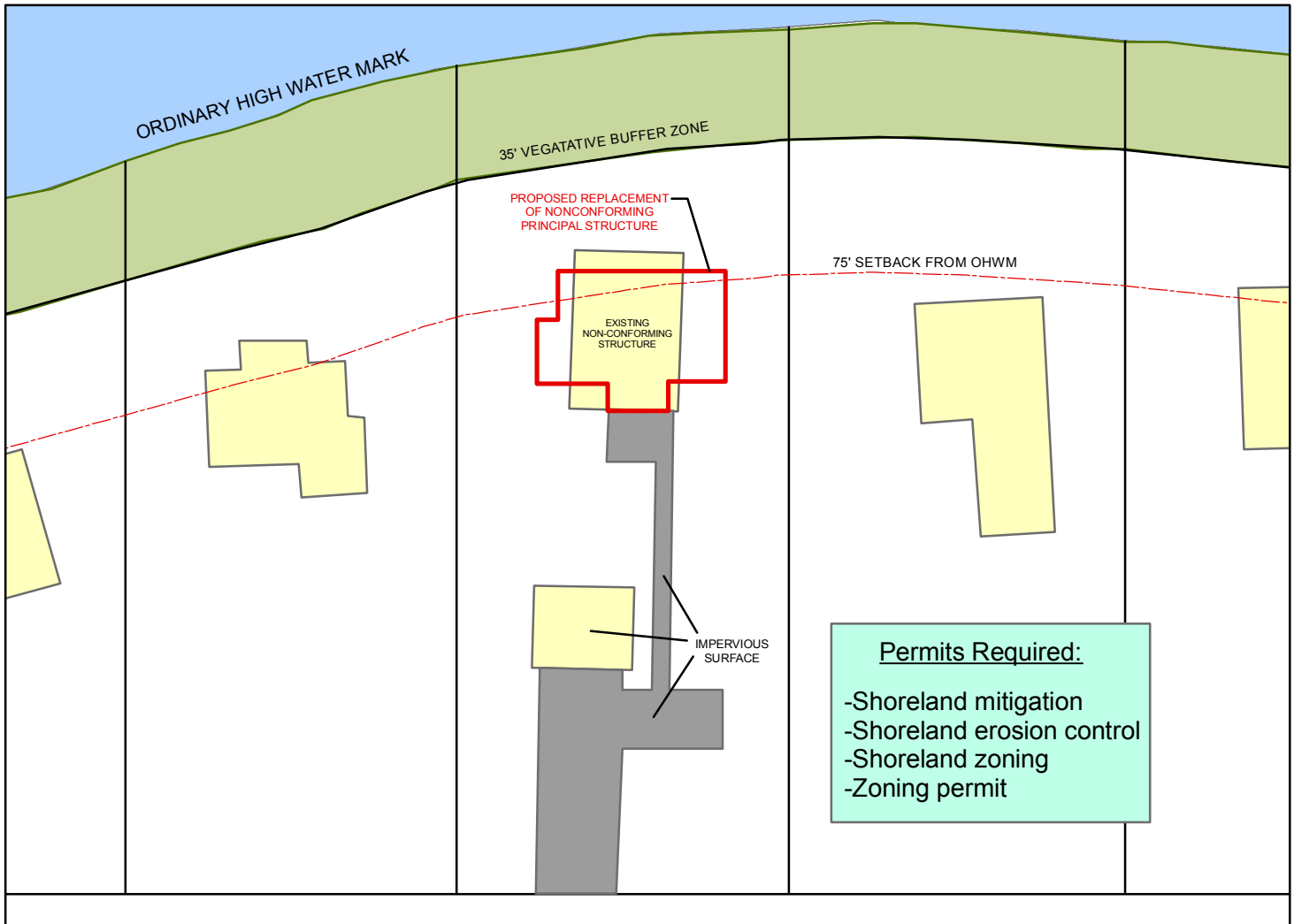
**Expansion of nonconforming principal structure beyond setback** - A nonconforming principal structure may be expanded horizontally, landward or vertically provided that the expanded area meets the building setback requirements in s. 11.03(2) and that all other provisions of the shoreland ordinance are met.

**Existing impervious surfaces** - For existing impervious surfaces that were lawfully placed when constructed but that do not comply with the standards in s. 11.03(4), the property owner may do any of the following:

1. Maintain and repair of all impervious surfaces.
2. Replace existing impervious surfaces with similar surfaces within the existing impervious surface area footprint.
3. Relocate or modify existing impervious surfaces with similar or different impervious surfaces, provided that the relocation or modification does not result in an increase in the % of impervious surface that existed on the effective date of the county shoreland ordinance (9/01/2012), and meets the applicable setback requirements in s. 11.03(2).

# EXISTING STRUCTURES and USES

## Non-conforming Structures - Replacement or Relocation - 11.11(3)(b)



Construction is allowed on nonconforming structures with a shoreland mitigation permit. Where the Land & water Resources Dept. has approved a shoreland mitigation permit under s. 11.05(4), the following activities are permitted between the vegetative buffer zone described in s. 11.04(2) and the setback area described in s.11.03(2).

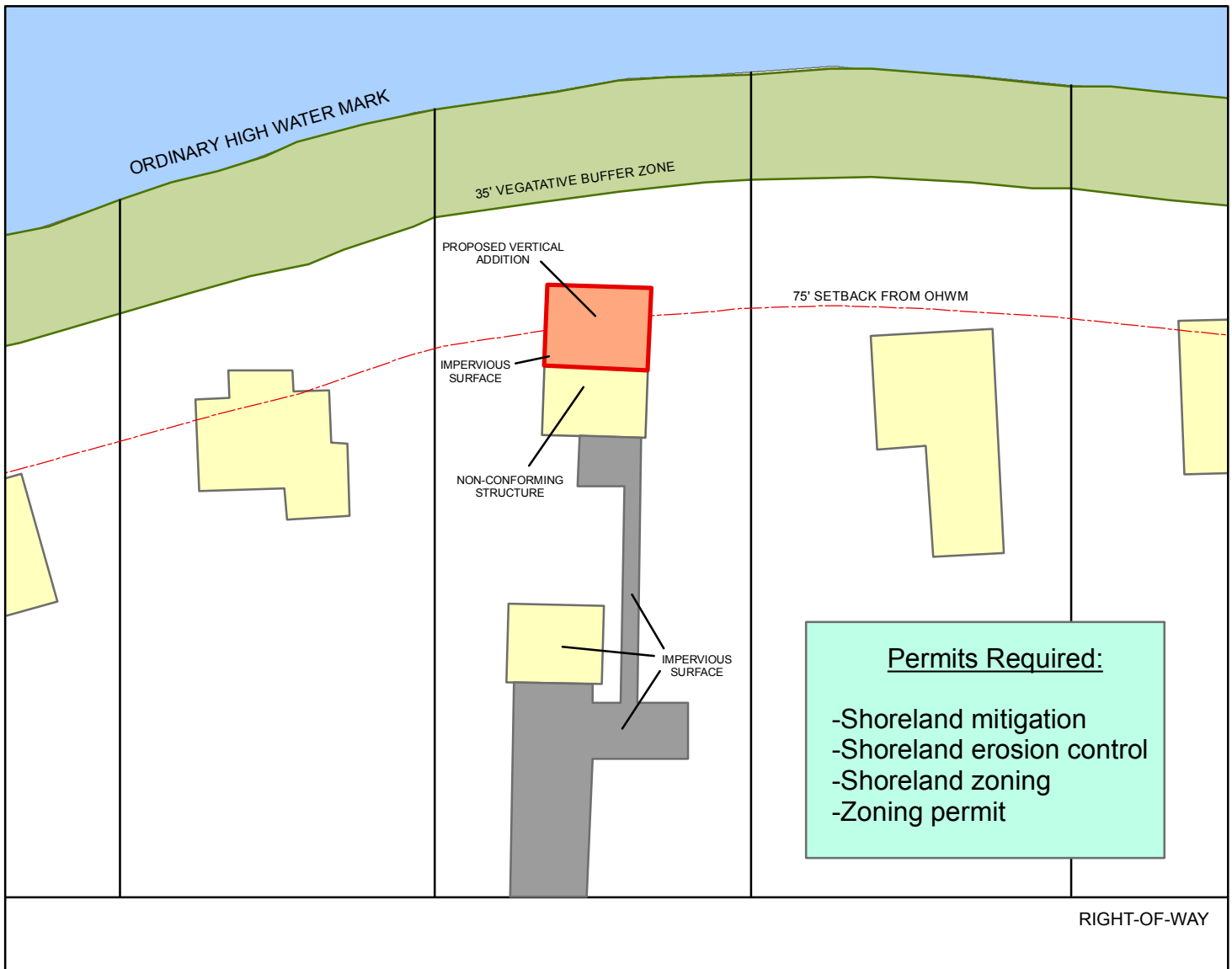
Under no circumstances shall an expanded, replaced or reconstructed nonconforming structure approved under this section intrude on the vegetative buffer zone described in s.11.04.

**Replacement or relocation of nonconforming principal structure** - A nonconforming principal structure may be replaced or relocated on the property provided all of the following requirements are met:

1. No portion of the replaced or relocated structure is located any closer to the ordinary high-water mark than the closest point of the existing principal structure.
2. The zoning administrator determines that no other location is available on the property to build a principal structure of a comparable size to the structure proposed for replacement or relocation that will result in compliance with the shoreland setback requirement in s.11.03(2).
3. The shoreland mitigation permit shall require that all other nonconforming structures on the lot or parcel, except those excepted under ss.11.03(2)(b) & (c), be removed by the date specified in the permit.
4. All other provisions of the shoreland ordinance, including height restrictions and impervious surface limits, shall be met.
5. A Dane County Shoreland Zoning permit and a Zoning permit are required in addition to the Shoreland Mitigation permit.

# EXISTING STRUCTURES and USES

## Non-conforming Structures - Vertical Expansion - 11.11(3)(a)



Construction is allowed on nonconforming structures with a shoreland mitigation permit. Where the Land & Water Resources Dept. has approved a shoreland mitigation permit under s. 11.05(4), the following activities are permitted between the vegetative buffer zone described in s. 11.04(2) and the setback area described in s.11.03(2).

Under no circumstances shall an expanded, replaced or reconstructed nonconforming structure approved under this section intrude on the vegetative buffer zone described in s.11.04.

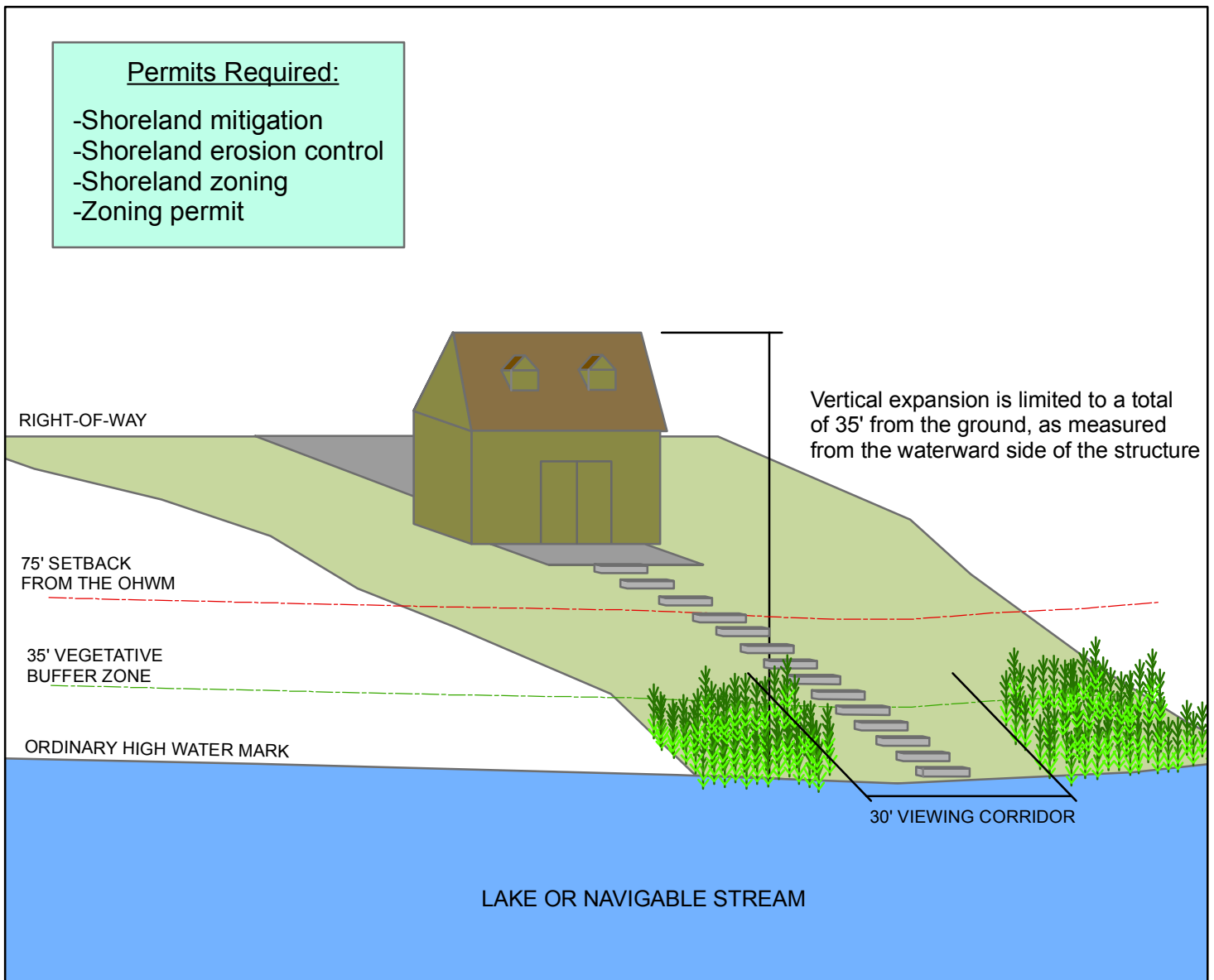
An existing principal structure that was lawfully placed when constructed but that does not comply with the required building setback under s.11.03(2) may be expanded vertically.

Vertical expansion is limited to a total of 35 feet from the ground, as measured from the waterward side of the structure.

A Dane County Shoreland Zoning permit and a Zoning permit are required in addition to the Shoreland Mitigation permit.

# EXISTING STRUCTURES and USES

## Non-conforming Structures - Vertical Expansion - 11.11(3)(a)



Construction is allowed on nonconforming structures with a shoreland mitigation permit. Where the Land & Water Resources Dept. has approved a shoreland mitigation permit under s. 11.05(4), the following activities are permitted between the vegetative buffer zone described in s. 11.04(2) and the setback area described in s.11.03(2).

Under no circumstances shall an expanded, replaced or reconstructed nonconforming structure approved under this section intrude on the vegetative buffer zone described in s.11.04.

An existing principal structure that was lawfully placed when constructed but that does not comply with the required building setback under s.11.03(2) may be expanded vertically.

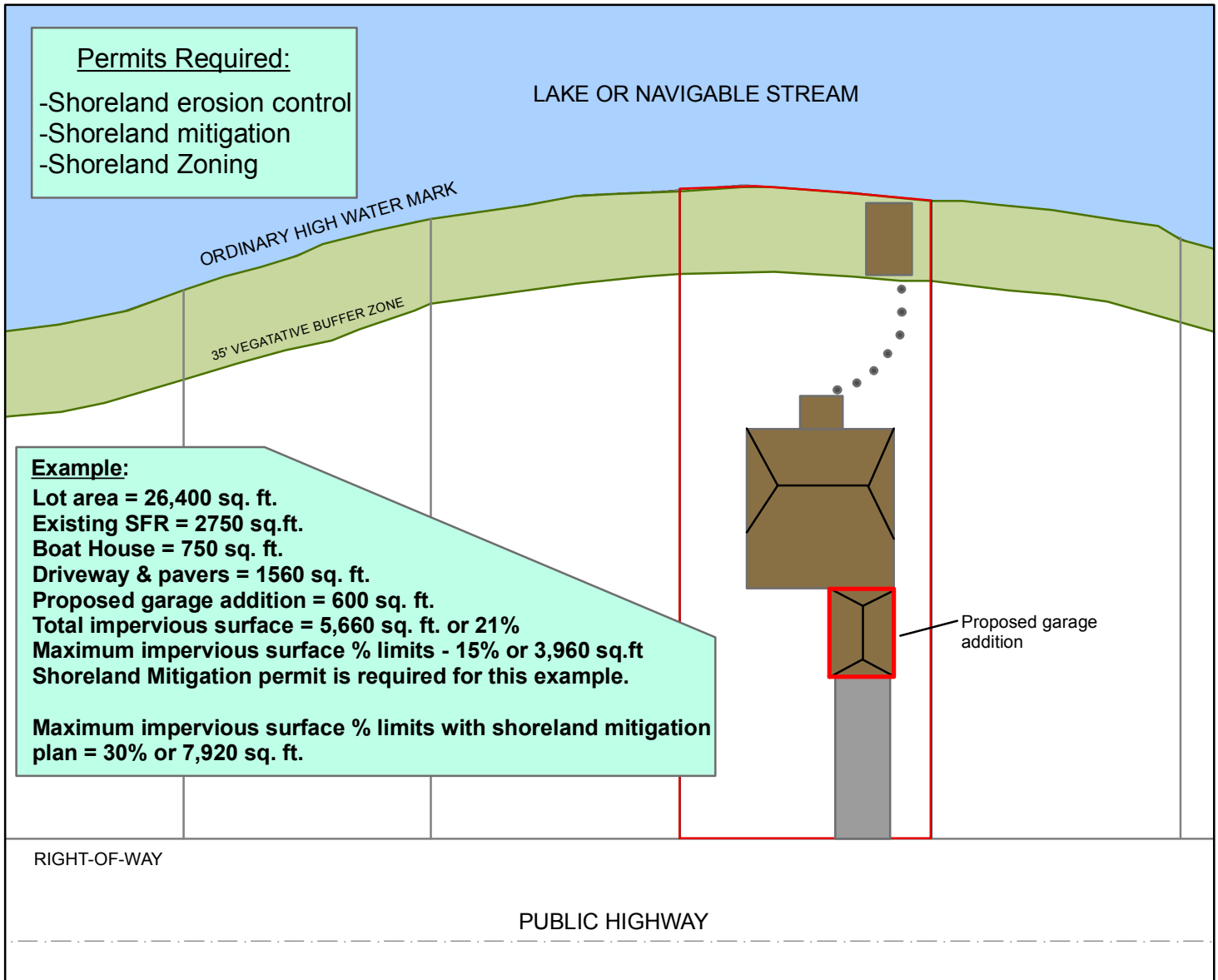
Vertical expansion is limited to a total of 35 feet from the ground, as measured from the waterward side of the structure.

A Dane County Shoreland Zoning permit and a Zoning permit are required in addition to the Shoreland Mitigation permit.



# Impervious Surface Limits

11.03(3)



Impervious Surface Limits apply for lots within 300-feet of the ordinary highwater mark of any navigable waterway, construction, reconstruction, expansion, replacement or relocation of any impervious surface shall comply with all of the following standards:

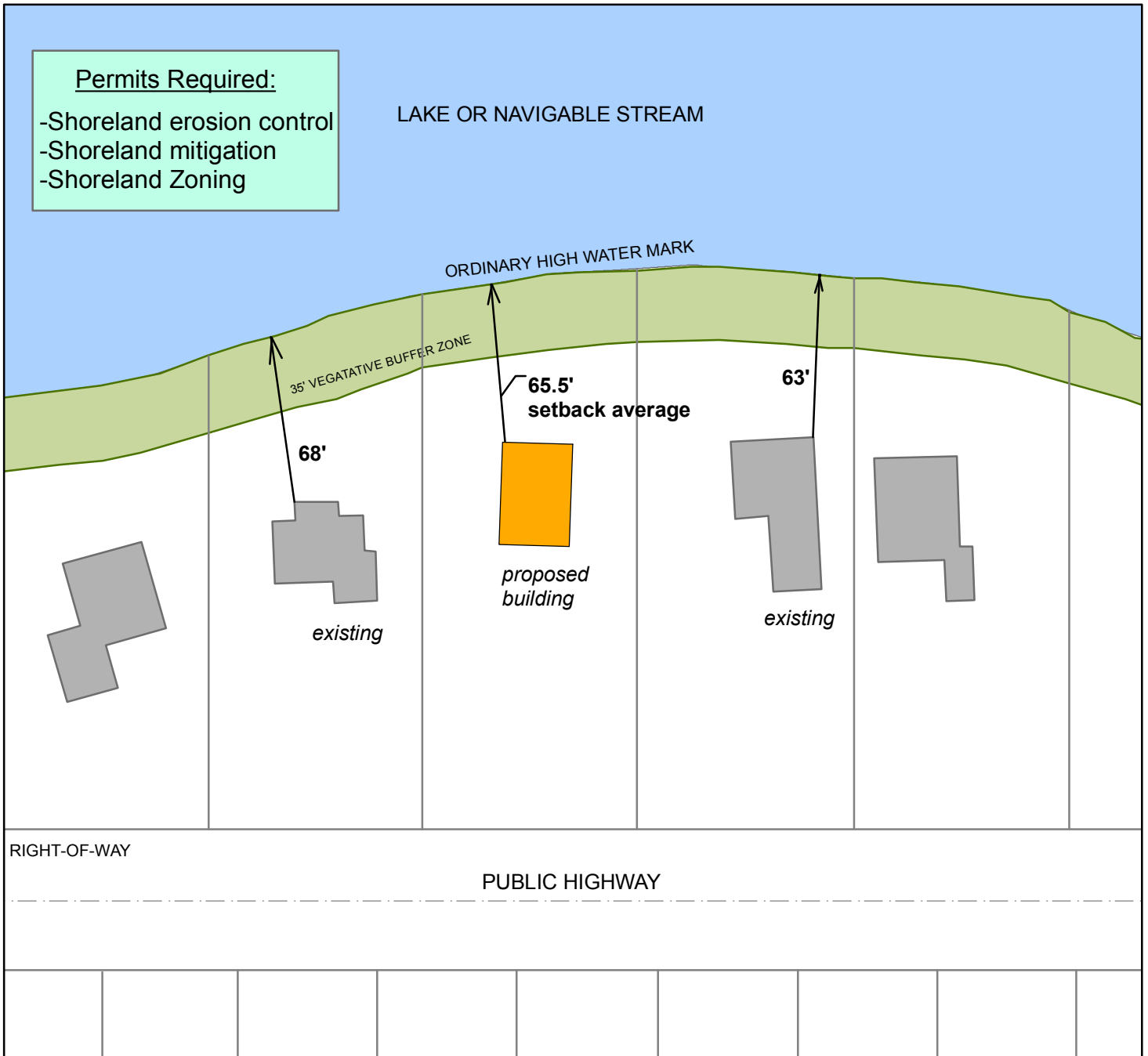
(a) Calculation of percentage of impervious surface. Percentage of impervious surface shall be calculated by dividing the surface area of existing and proposed impervious surfaces on the portion of a lot or parcel that is within three hundred (300) feet of the ordinary high-water mark by the total surface area of that portion of the lot or parcel that is within three hundred (300) feet of the ordinary high-water mark, and multiply the result by one hundred (100).

(b) Impervious surface percentage limits. Unless excepted under paragraph (c) below, no more than fifteen percent (15%) of the portion of a lot or parcel that is within three hundred (300) feet of the ordinary high-water mark may be covered with an impervious surface.

(c) Exceptions with shoreland mitigation permit. If the director has approved a shoreland mitigation permit under s. 11.05(4), no more than thirty percent (30%) of the portion of a lot or parcel that is within three hundred (300) feet of the ordinary high-water mark may be covered with an impervious surface.

# Reduced Setback

11.03(2)(c)2.



-Where there is a principal building on each side of the proposed site, the setback for the proposed building shall be the average of the setbacks of the existing buildings.

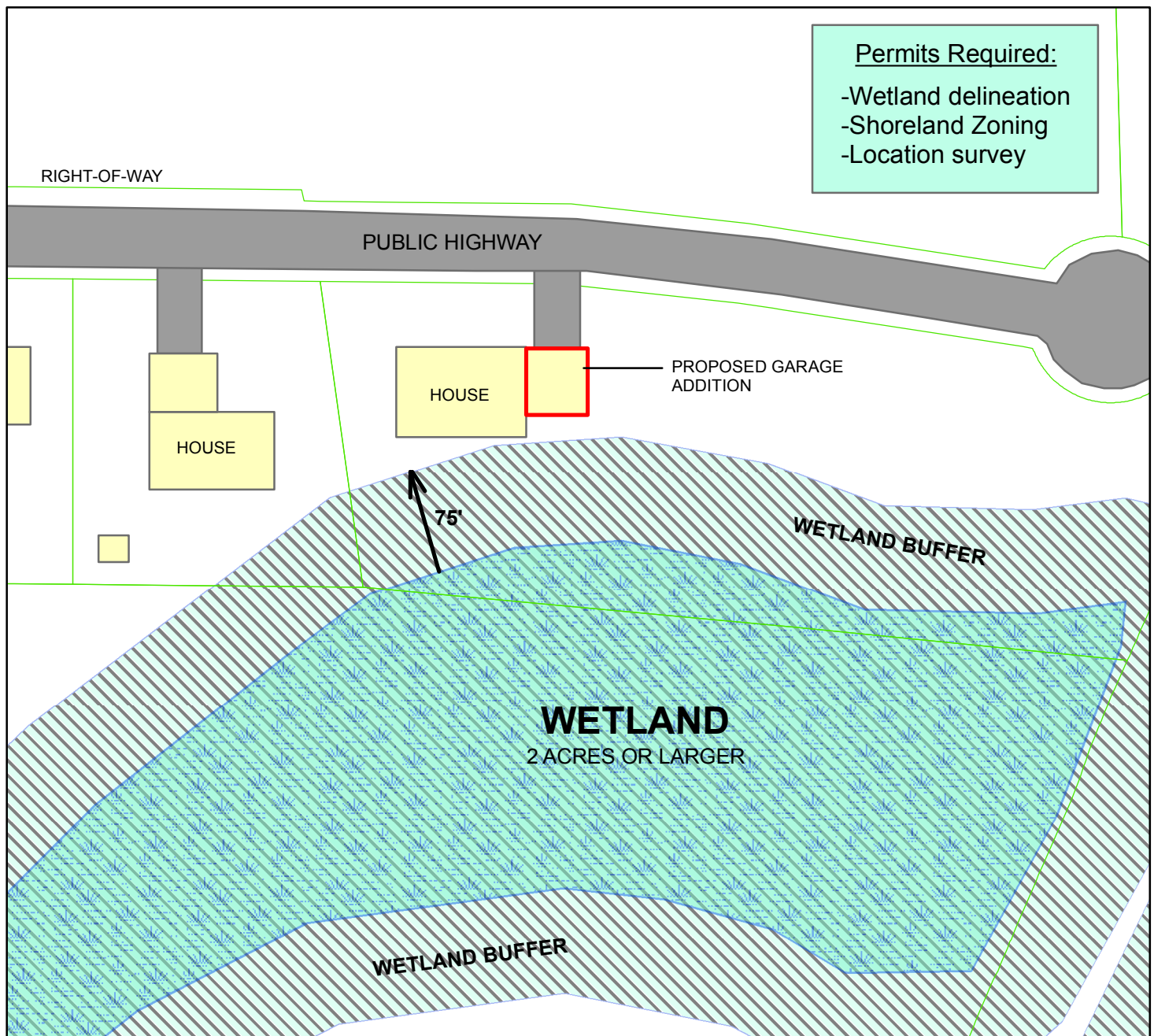
-If there is an existing principal building on only one side, the setback for the proposed building shall be the average of the required setback (75') and the existing building setback.

-Notwithstanding a) and b) above, under no circumstances shall any building or structure intrude on the vegetative buffer zone described in s. 11.04.

Please note a land survey of the adjacent properties is required to establish reduced setbacks.

# Wetland Setbacks

11.06(5)(a)&(b)



-The shoreland-wetland district shall include all shorelands which are designated as wetlands of two acres or more in area on the most current Wisconsin Wetland Inventory Maps applicable to Dane County.

-The inland-wetland district shall include all non-shoreland wetlands, as shown on the Wisconsin Wetland Inventory Maps.

-Setbacks for all buildings and structures shall not be less than 75-feet, measured horizontally, from the boundary of wetlands (2) acres or larger in area.

-Setbacks are not required for shoreland or inland-wetlands smaller than (2) acres in area.