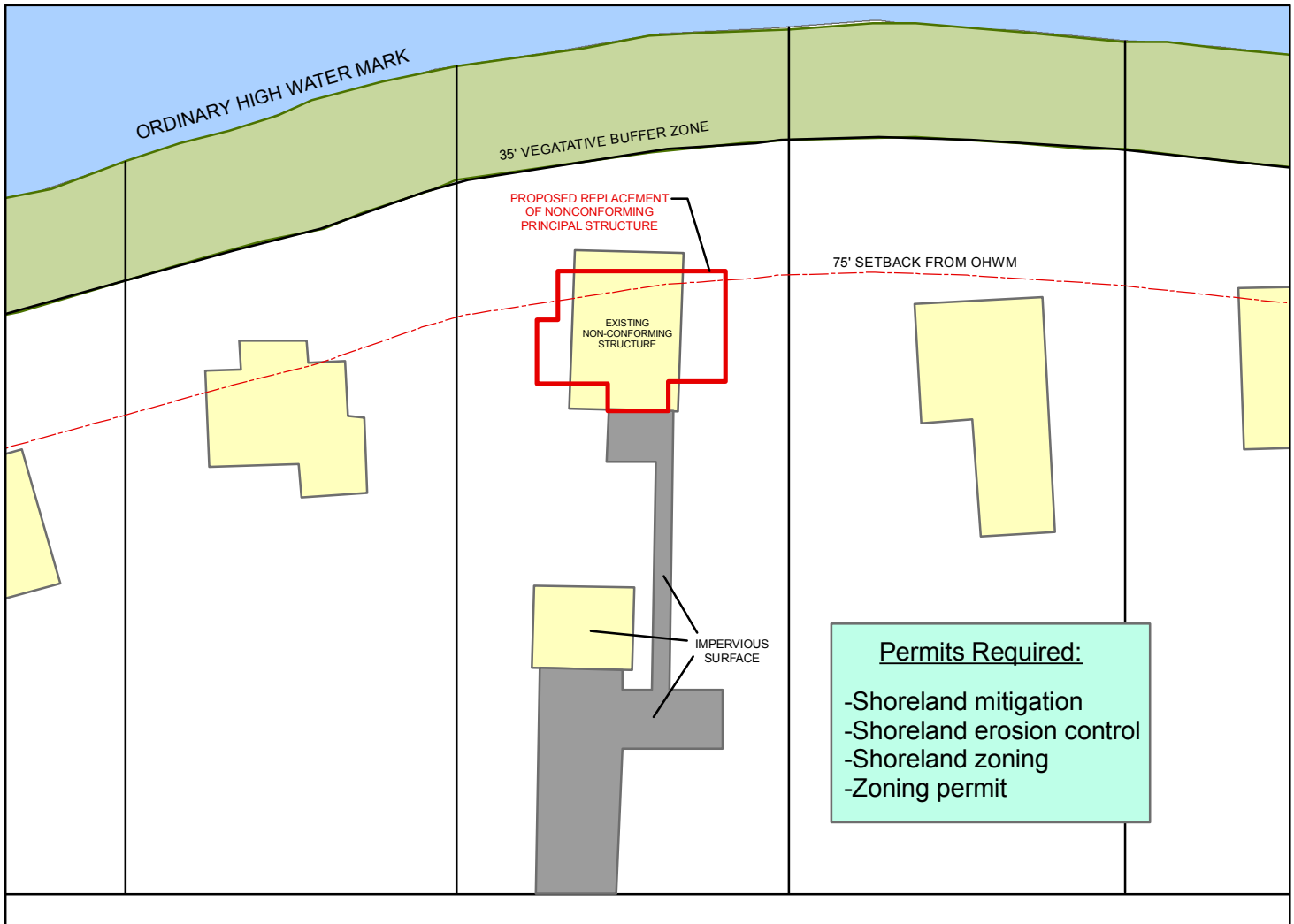


EXISTING STRUCTURES and USES

Non-conforming Structures - Replacement or Relocation - 11.11(3)(b)



Construction is allowed on nonconforming structures with a shoreland mitigation permit. Where the Land & water Resources Dept. has approved a shoreland mitigation permit under s. 11.05(4), the following activities are permitted between the vegetative buffer zone described in s. 11.04(2) and the setback area described in s.11.03(2).

Under no circumstances shall an expanded, replaced or reconstructed nonconforming structure approved under this section intrude on the vegetative buffer zone described in s.11.04.

Replacement or relocation of nonconforming principal structure - A nonconforming principal structure may be replaced or relocated on the property provided all of the following requirements are met:

1. No portion of the replaced or relocated structure is located any closer to the ordinary high-water mark than the closest point of the existing principal structure.
2. The zoning administrator determines that no other location is available on the property to build a principal structure of a comparable size to the structure proposed for replacement or relocation that will result in compliance with the shoreland setback requirement in s.11.03(2).
3. The shoreland mitigation permit shall require that all other nonconforming structures on the lot or parcel, except those excepted under ss.11.03(2)(b) & (c), be removed by the date specified in the permit.
4. All other provisions of the shoreland ordinance, including height restrictions and impervious surface limits, shall be met.
5. A Dane County Shoreland Zoning permit and a Zoning permit are required in addition to the Shoreland Mitigation permit.