

Building Permit Data Sheet One and Two Family Homes

City of Madison Building Inspection
215 Martin Luther King Jr. Blvd. Ste. 17
Madison, WI 53703
608-266-4551

Submittal Date: 10/18/18

Project Address: 1021 HIGH St, MADISON, WI 53715

(PLEASE PRINT)

Subdivision Name: BAY CREEK

Type of Building:

SF home Rental duplex Condo duplex Twin home Attached SF home

Project Information:

New building Addition Alteration Repair Finished basement

Electrical service: 200 amp 100 amp Other _____

Number of Stories: 1 story 2 story Other _____

State seal:

Owner Name, email and phone number:

Name: MANUEL RAMMINGER
Phone number: 608-444-9542 Email: manuel@yWAMMADISON.org

Contractor Name, email and phone number:

Name: LEGACY CUSTOM REMODELING Josh Wantz
Phone number: 608 835-1822 Email: invoicing@legacycr.com
7602 RIVERSIDE RD, VERONA WI 53593 1046112 1046115
Street address City Zip code Dwelling Contractor Credential & Qualifier

Estimated Cost: \$ 114,750.00

(Cost for full project minus the cost of plumbing, heating, electric, carpet, and cabinetry on alterations and repairs.)

For New Buildings and Additions:

Square feet of floor area:

Total Basement:

1st, 2nd, & 3rd floors: 1,130 sf

Garage:

Porches/decks: 92 sf

TOTAL SQ. FEET: 1222 sf

For New Buildings:

Will the basement be finished?

Yes No

Is air conditioning being installed?

Yes No

Lot Coverage:
Square feet of lot area:

3,766 sf

Square feet of all buildings and paved areas except sidewalks:

Scope of Work / Comments:

**ADD ON A
SECOND STORY TO
EXISTING
RESIDENCE**

Plat of Survey

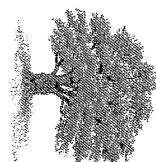
Lot 8, Block 2, Fiore Plat, lying in the SW1/4
of the NW1/4 of Section 26, T07N, R09E, City of Madison,
Dane County, Wisconsin

Surveyor's Certificate

I hereby certify that this survey is in compliance with A-E 7 of Wisconsin
Administrative Code.

I further certify that I have surveyed and mapped the lands described
hereon, and that this map is a correct representation in accordance with
the information furnished.

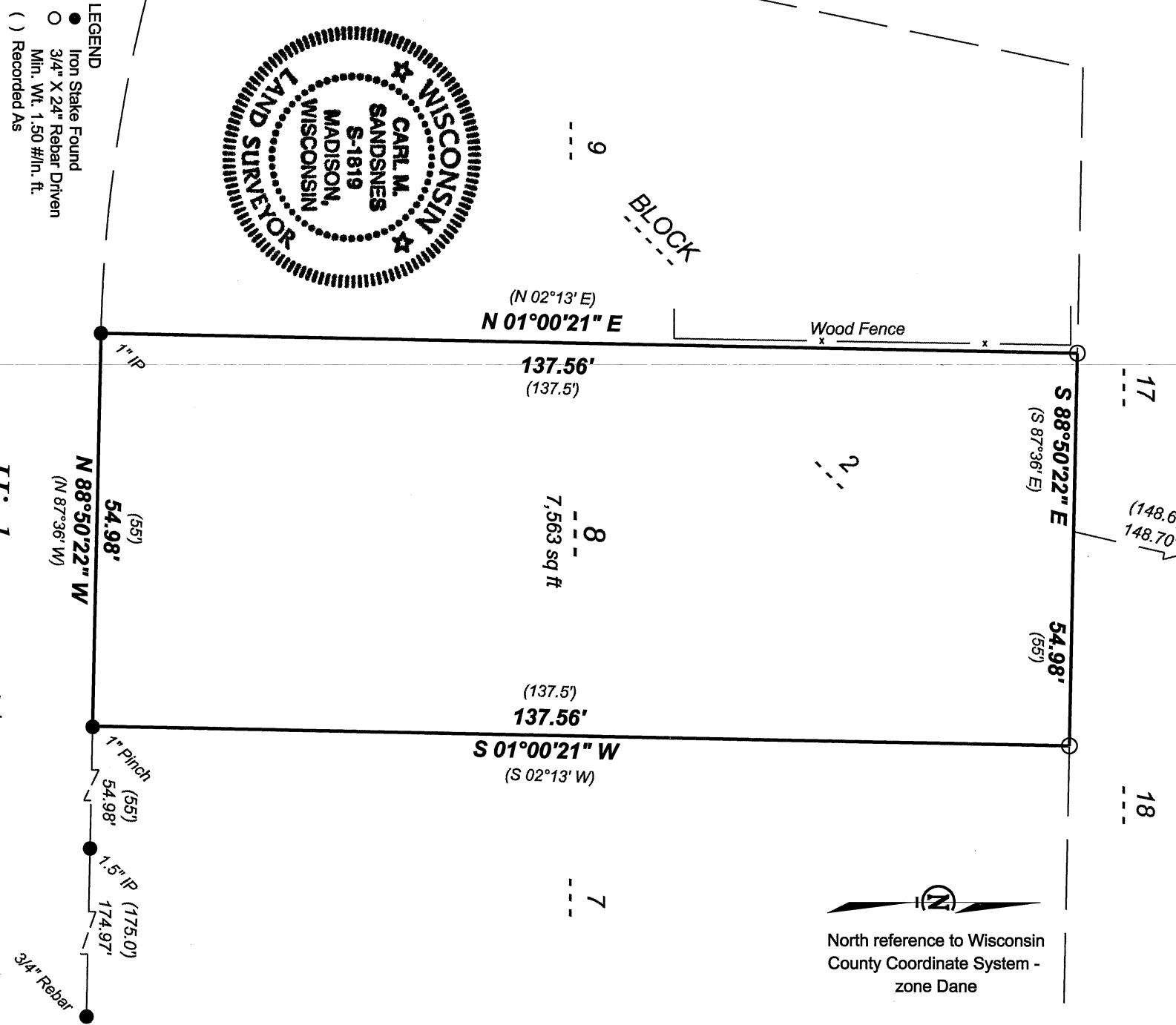
Carl M Sandsnes, Professional Land Surveyor S-1819 OCT 10 2018

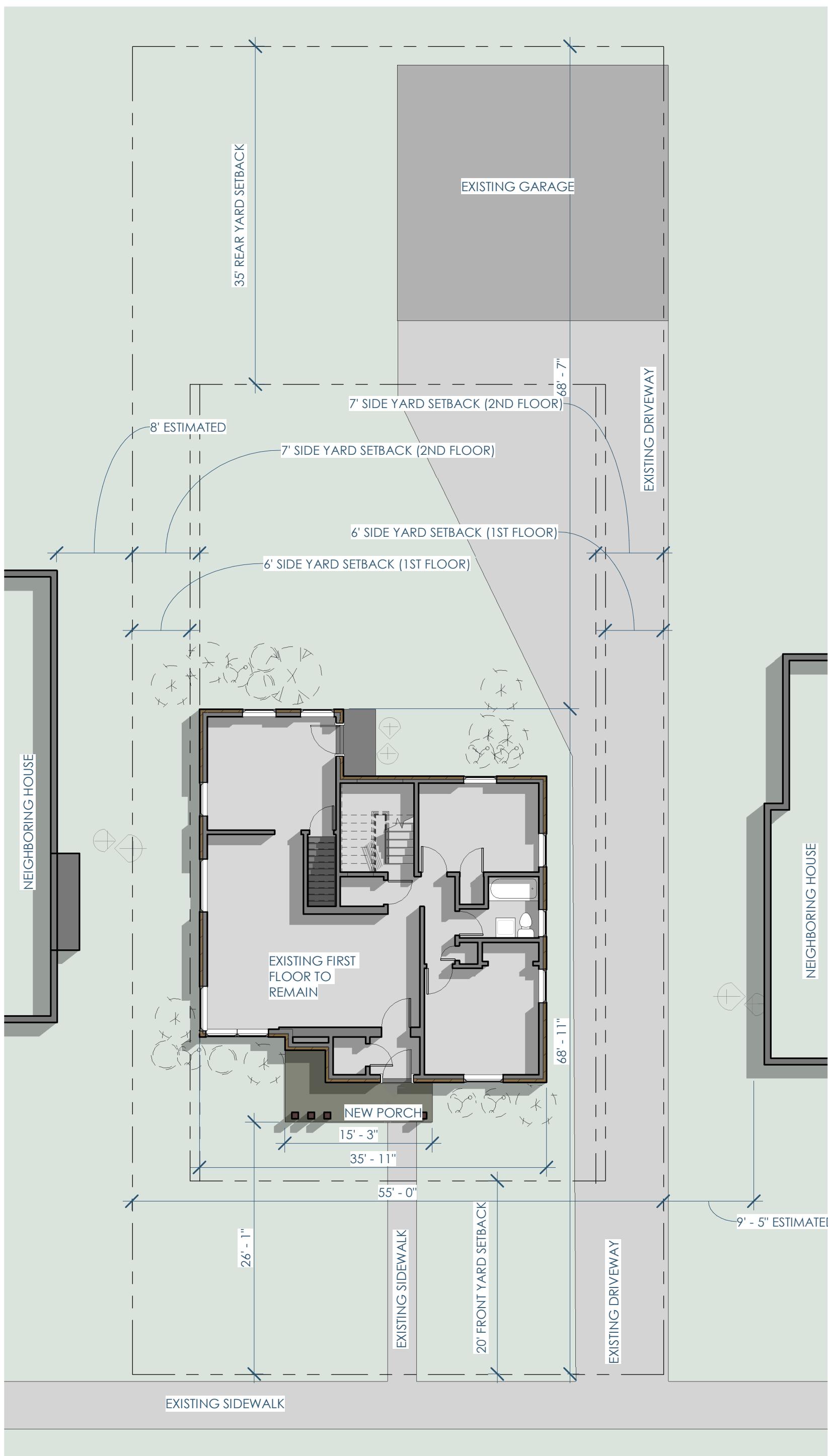


Royal Oak & Associates, Inc.
3678 Kinsman Blvd
Madison, WI 53704
Phone (608) 274-0500
Fax (608) 274-4530
www.royaloakengineering.com

Scale 1" = 20'

North reference to Wisconsin
County Coordinate System -
zone Dane





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C B A

WALLS - QUANTITY TAKEOFF

Phase	Type	Area	Length
1st Phase	INTERIOR STUD WALL	1063 SF	157' - 0 5/8"
1st Phase	TRIM WALL	14 SF	15' - 4"
1st Phase	VINYL SIDING - TYPE 2	717 SF	176' - 2 5/16"
1st Phase	VINYL SIZING - TYPE 1	866 SF	145' - 1 3/16"
Grand total:		2660 SF	493' - 8 1/8"

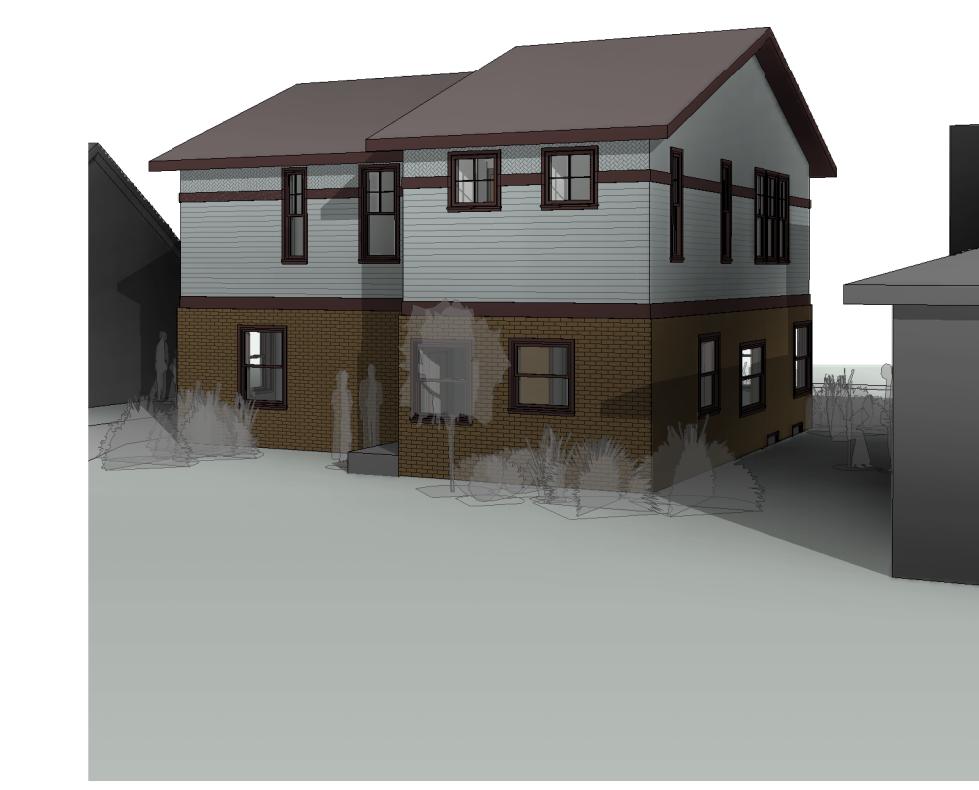
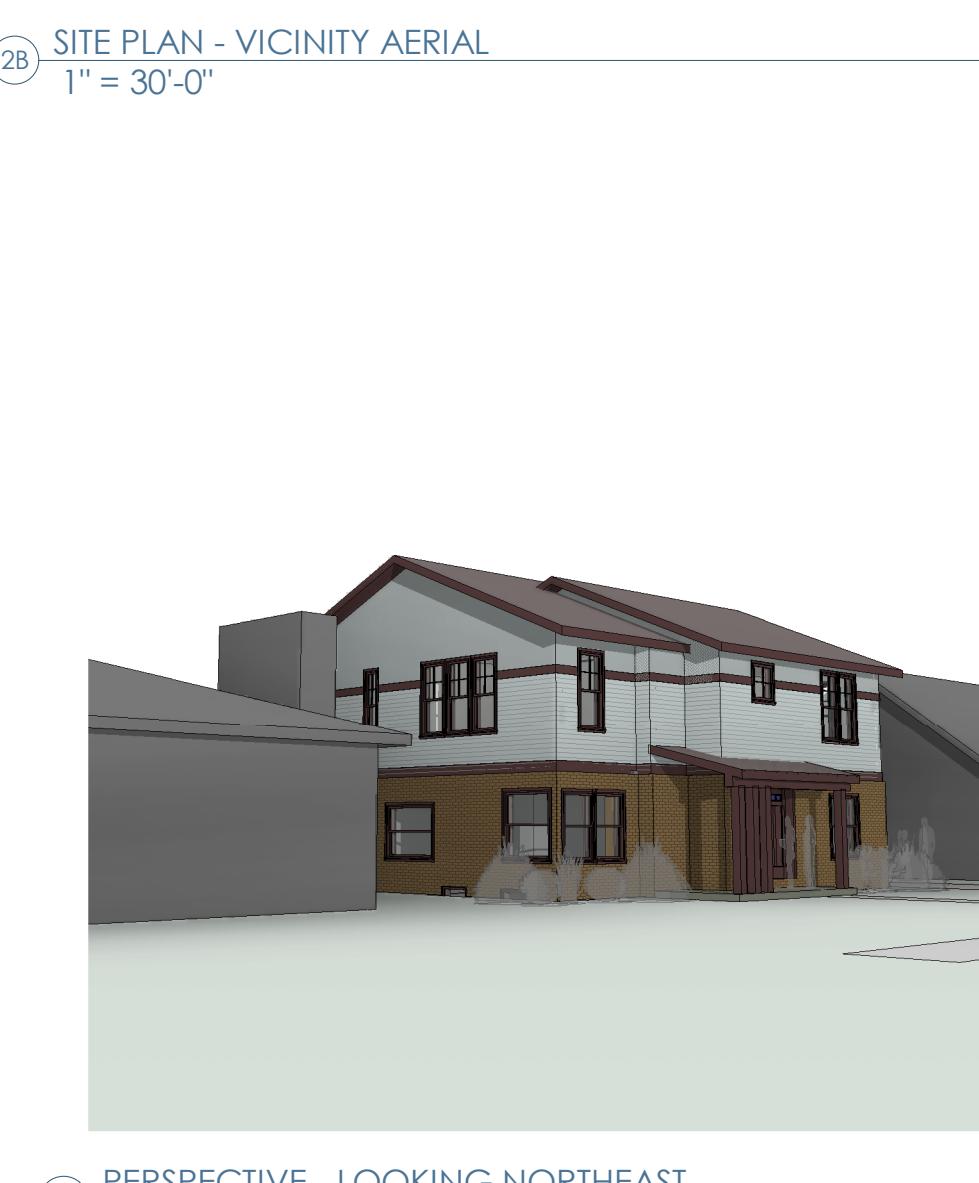
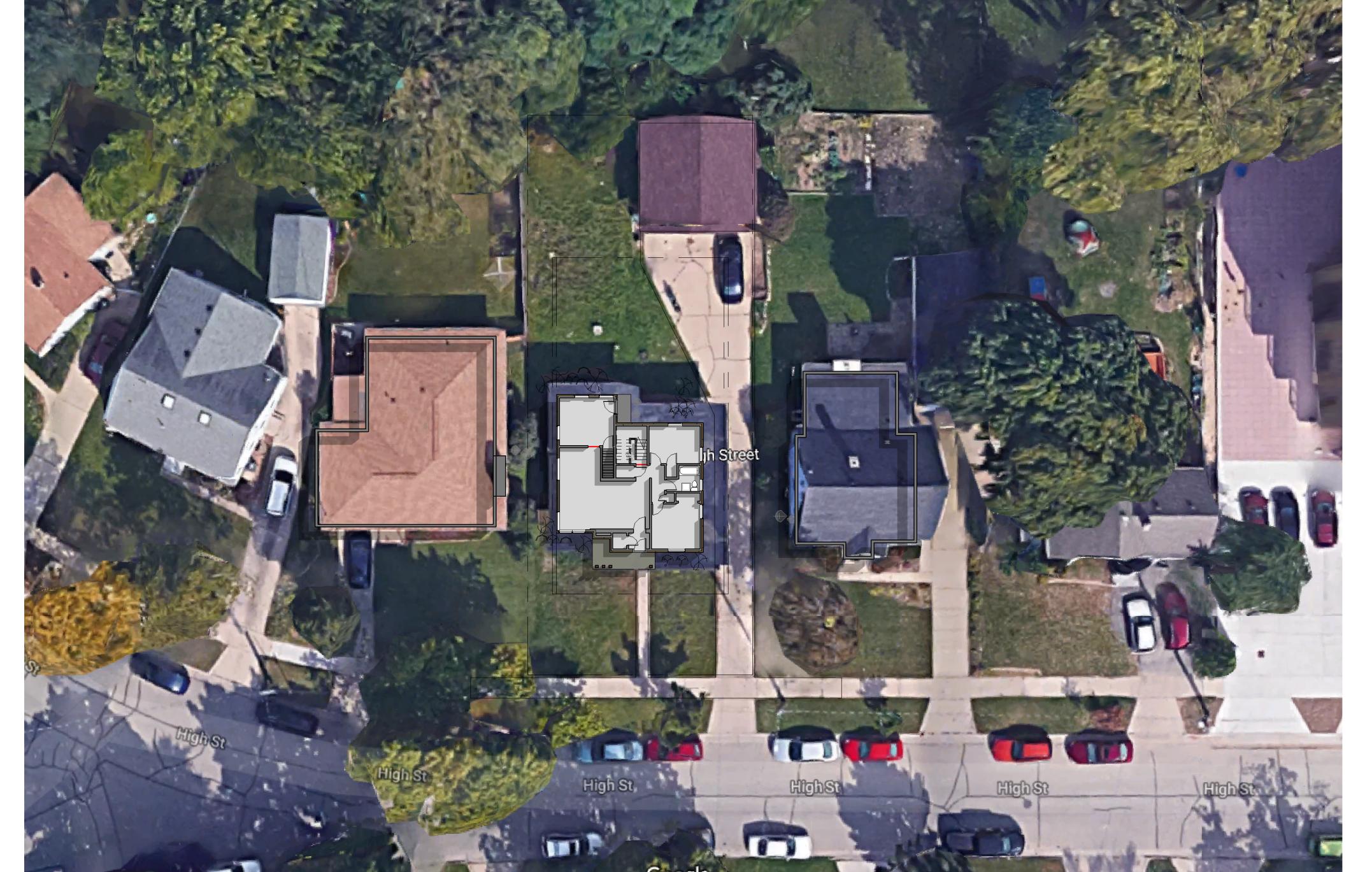
DOOR SCHEDULE

Type	Mark	Count	Door	Width	Height	Phase	Created
D1	2	2	2' - 6"	6' - 8"		Existing	
D2	1	1	2' - 4"	7' - 0"		Existing	
D3	1	1	3' - 0"	6' - 11"		Existing	
D4	2	2	2' - 8"	6' - 8"		Existing	
D5	1	1	1' - 6"	6' - 8"		Existing	
D6	1	1	2' - 6"	6' - 8"		Existing	
D7	2	2	3' - 0"	6' - 11"		1st Phase	
D9	2	2	4' - 0"	6' - 8"		1st Phase	
D10	7	7	2' - 8"	6' - 8"		1st Phase	
D11	1	1	6' - 0"	6' - 8"		1st Phase	

ROOM SCHEDULE

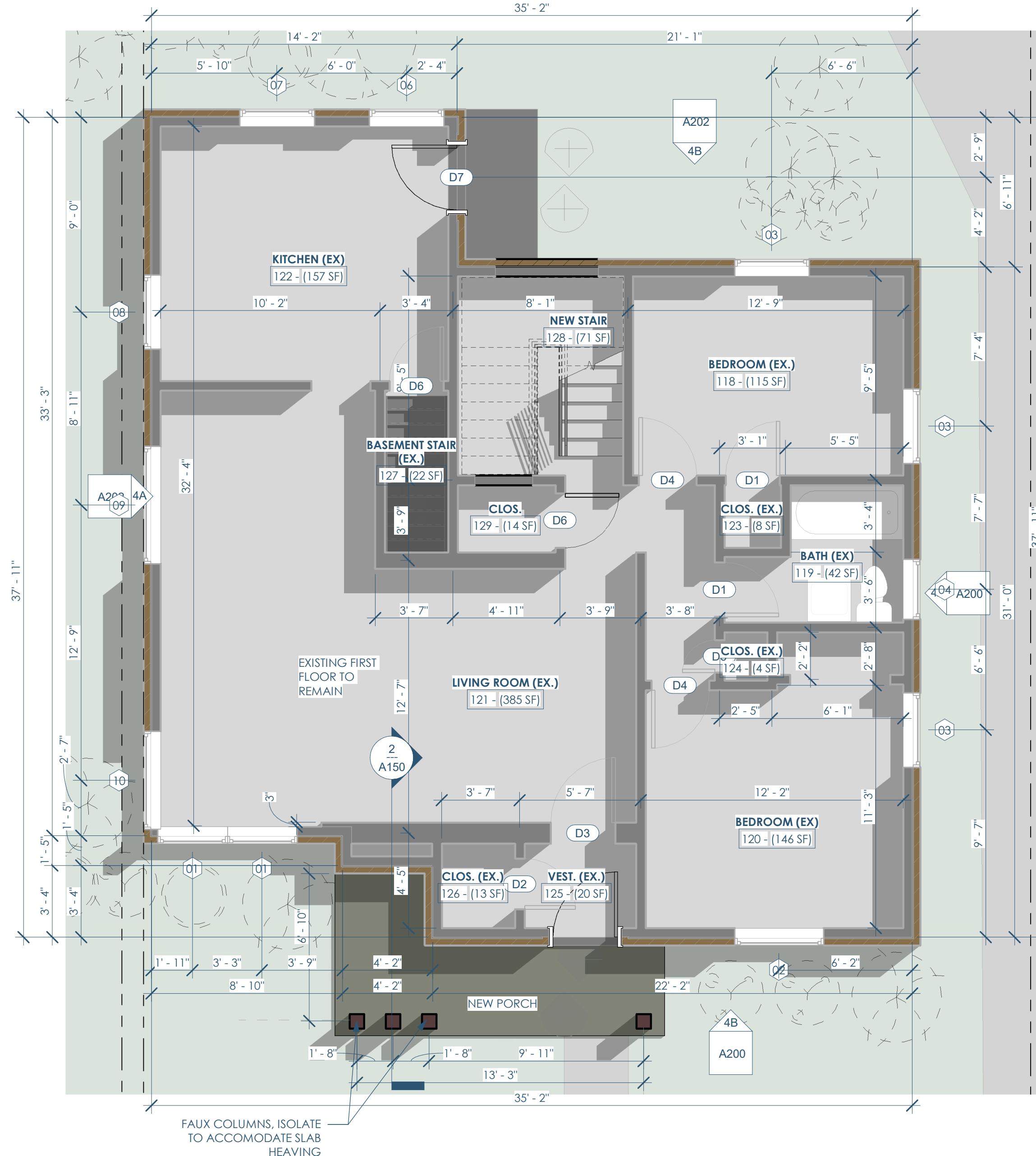
Number	Level	Name	Area
130	BASEMENT	BASEMENT (EX.)	526 SF
118	1ST FLOOR	BEDROOM (EX.)	115 SF
119	1ST FLOOR	BATH (EX)	42 SF
120	1ST FLOOR	BEDROOM (EX.)	146 SF
121	1ST FLOOR	LIVING ROOM (EX.)	385 SF
122	1ST FLOOR	KITCHEN (EX.)	157 SF
123	1ST FLOOR	CLOS. (EX.)	8 SF
124	1ST FLOOR	CLOS. (EX.)	4 SF
125	1ST FLOOR	VEST. (EX.)	20 SF
126	1ST FLOOR	CLOS. (EX.)	13 SF
127	1ST FLOOR	BASEMENT STAIR (EX.)	22 SF
128	1ST FLOOR	NEW STAIR	71 SF
129	1ST FLOOR	CLOS.	14 SF
208	2ND FLOOR	MASTER BEDROOM	200 SF
209	2ND FLOOR	WALKIN CL.	105 SF
210	2ND FLOOR	MASTER BATH	93 SF
211	2ND FLOOR	BEDROOM 2	184 SF
212	2ND FLOOR	BATHROOM	75 SF
213	2ND FLOOR	BEDROOM 1	111 SF
214	2ND FLOOR	UTIL.	26 SF
215	2ND FLOOR	CLOS.	23 SF
216	2ND FLOOR	CLOS.	16 SF
217	2ND FLOOR	STAIR/CORRIDOR	156 SF
210A	2ND FLOOR	CLOS.	4 SF
210B	2ND FLOOR	CLOS.	4 SF

Grand total: 25 2522 SF

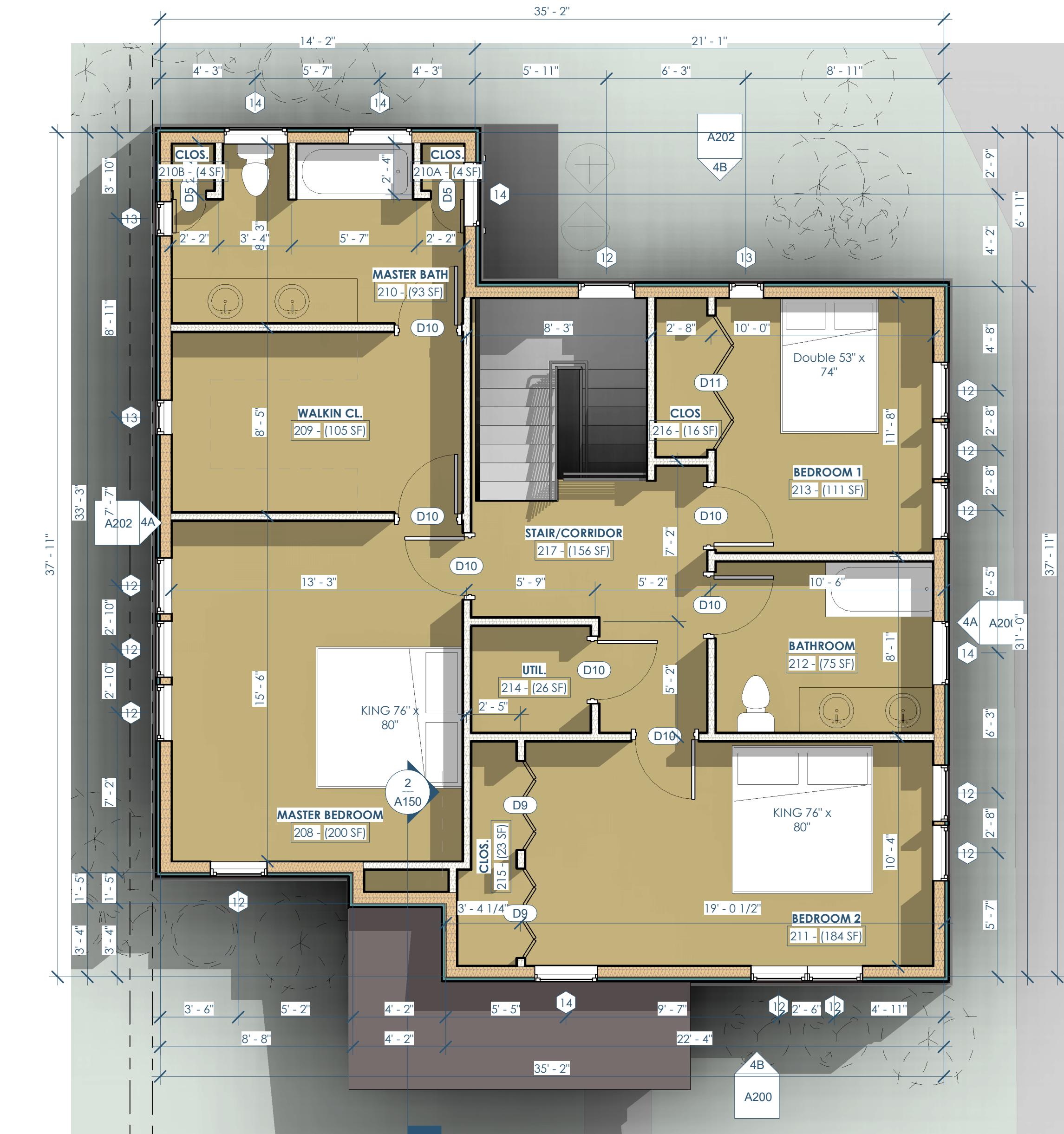


SITE PLAN & PERSPECTIVES - 10/22/2018
BAY CREEK RESIDENCE
1021 HIGH ST - MADISON, WI 53715

A001

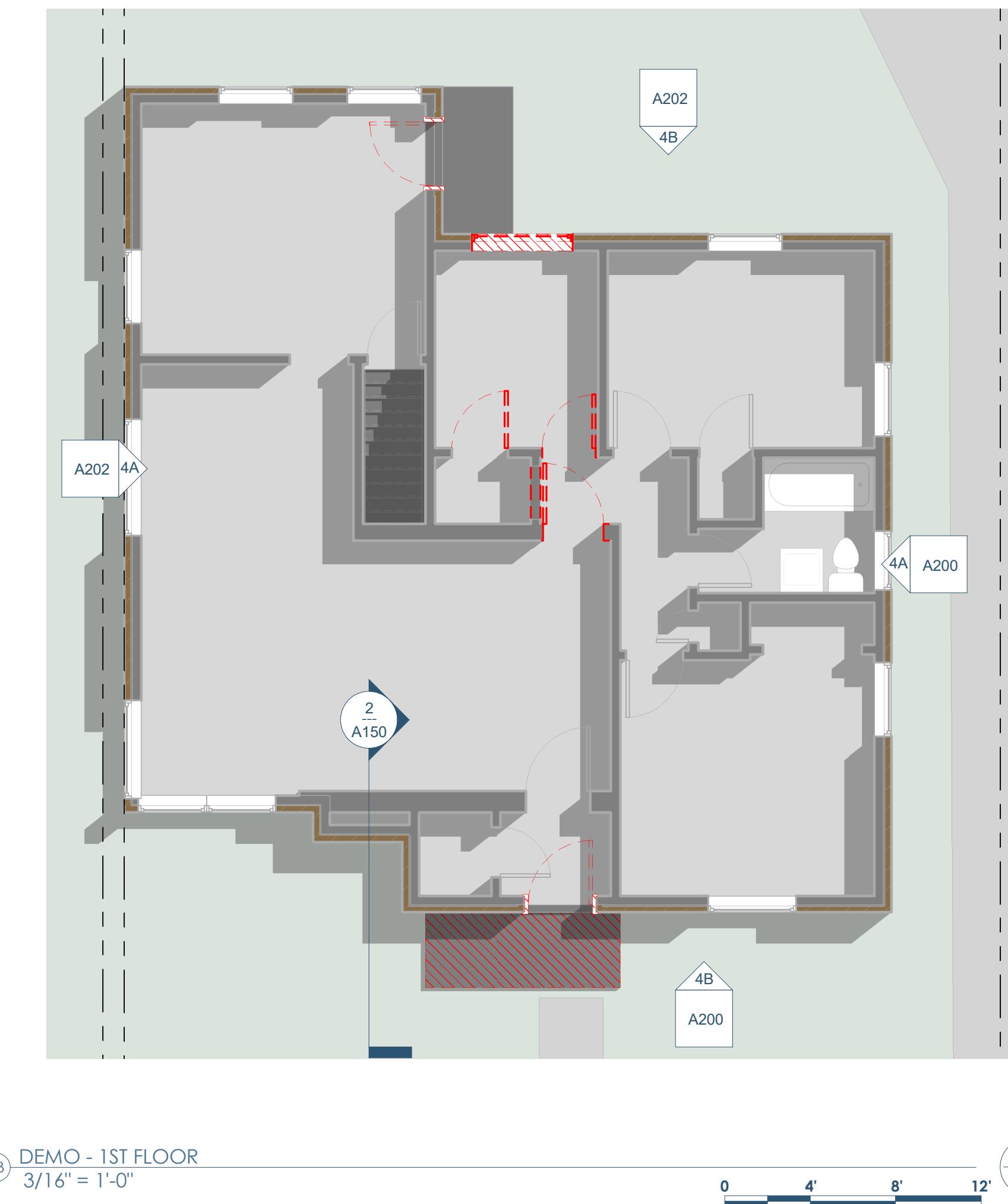
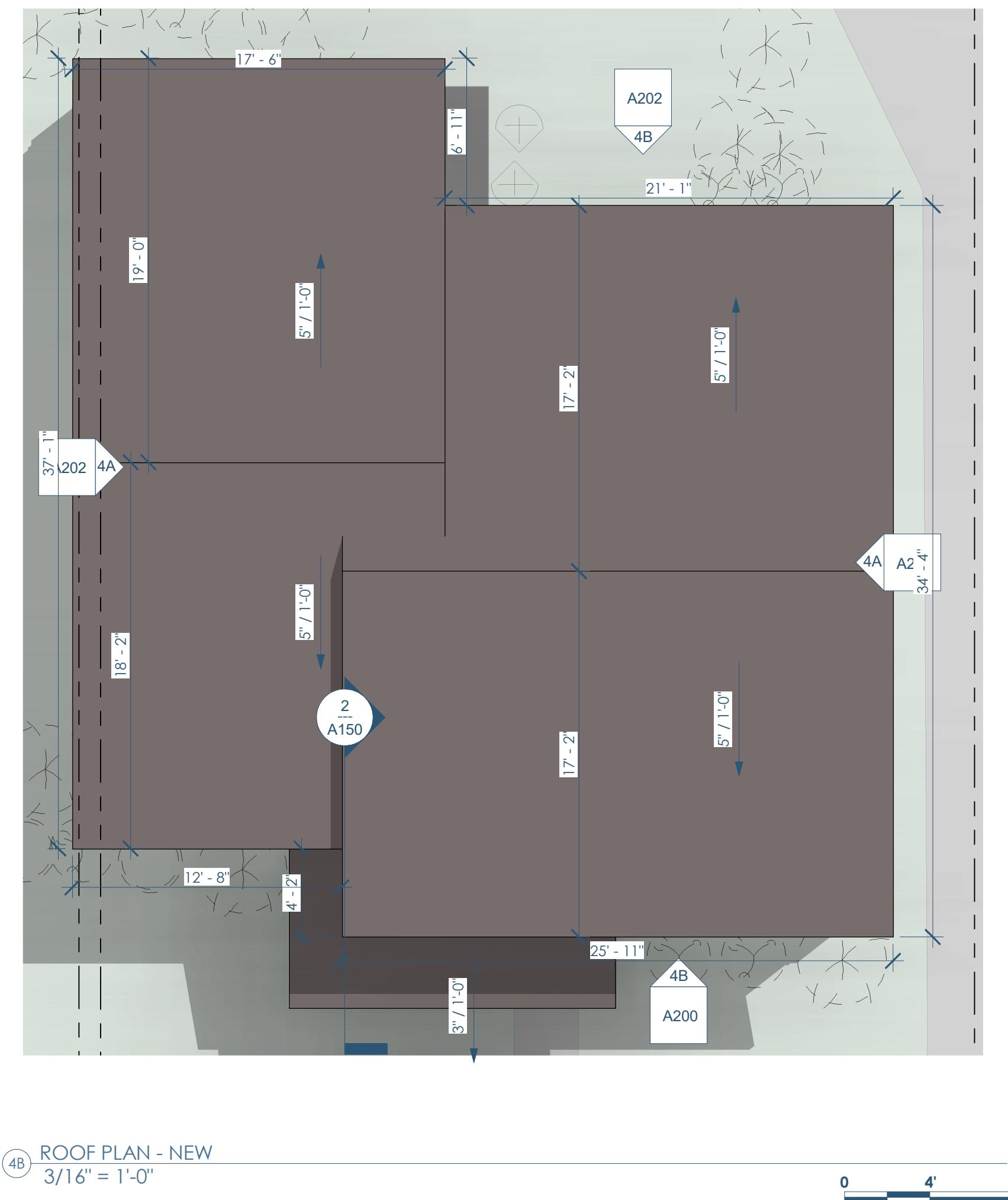
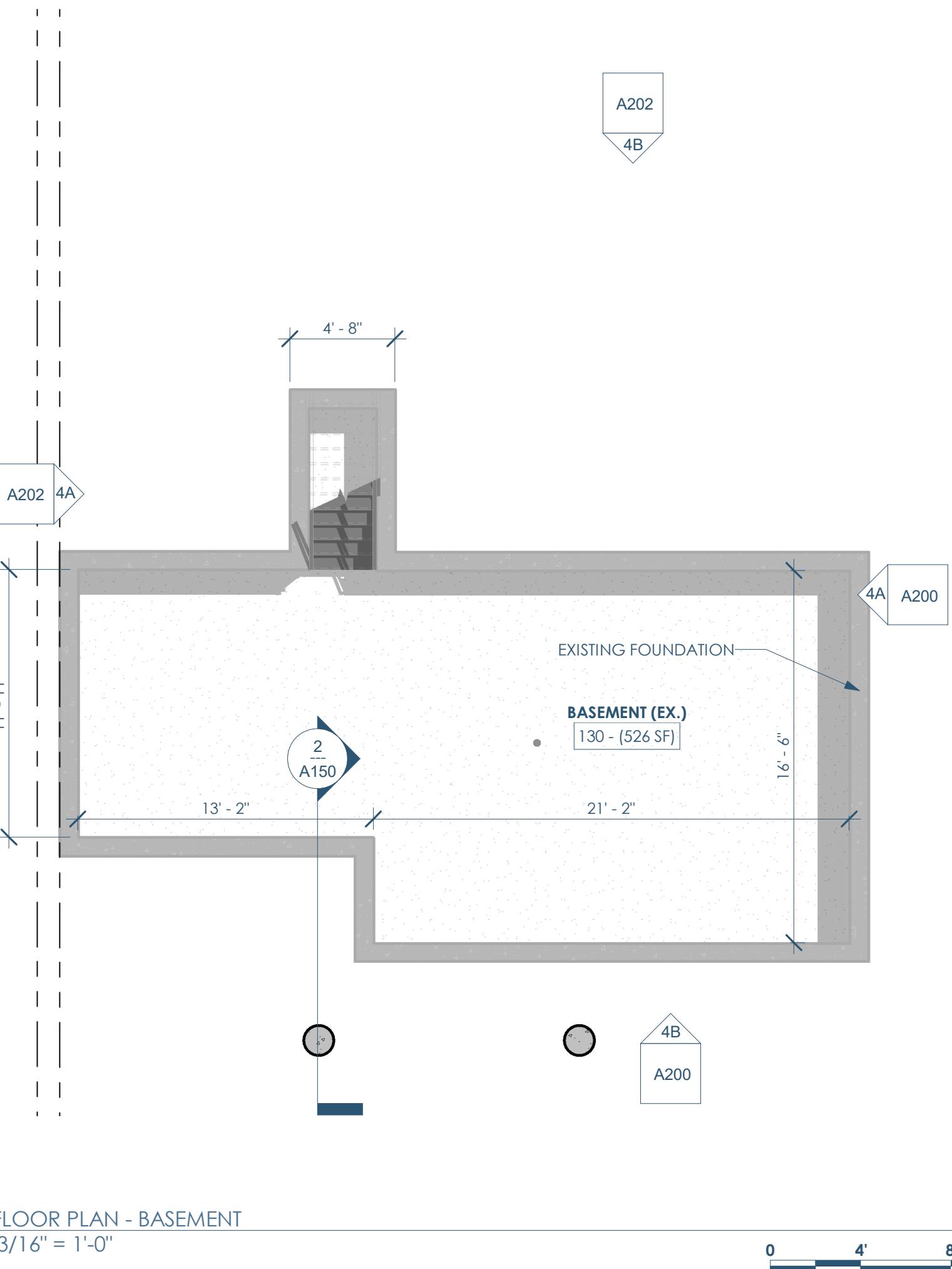


(5A) FLOOR PLAN - 1ST FLOOR
1/4" = 1'-0"



(3A) FLOOR PLAN - 2ND FLOOR
1/4" = 1'-0"





BASEMENT, ROOF, & DEMO PLAN - 10/22/2018
 BAY CREEK RESIDENCE
 1021 HIGH ST - MADISON, WI 53715

A102

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C

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This architectural diagram illustrates a cross-section of a building's structural framework, specifically focusing on wall bracing and column support. The diagram shows a multi-story structure with various columns, beams, and floor slabs. Key features include:

- Wall Bracing:** The diagram includes several sections of wall bracing. One section on the left is labeled "SEE NOTE 1" and has dimensions of 4' - 0" height and 2' - 0" width. Another section on the right is labeled "SEE NOTE 1" and has dimensions of 3' - 0" height and 2' - 0" width. A central vertical column is labeled "A150" with a dimension of 2'.
- Column Support:** A circular callout labeled "2 A150" indicates the use of two A150 columns to support a structure. A note states: "DURING DEMO, VERIFY STRUCTURAL CAPACITY OF EXISTING CORNER COLUMN".
- Bracing Labels:** Labels such as "A202", "4B", "4A", and "A200" are placed near specific bracing sections, likely indicating different types or configurations of bracing panels.
- Notes:** A large note at the top right specifies: "MIN WALL BRACING: 4'-0" MIN WIDE X 10'-0" MAX HEIGHT (TOP TO BOTTOM PLATE) WOOD STRUCTURAL PANEL (WSP) - FASTENERS: 6D COMMON NAIL OR 8D BOX NAIL (2 3/8" LONG X 0.113" DIAMETER); OR 7/16" OR 1 1/2"-CROWN 16 GAGE STAPLES, 1 1/4" LONG FASTENER SPACING [6" EDGES, 12" FIELD (NAILS) 3" EDGES, 6" FIELD (STAPLES)]".
- Annotations:** A note at the bottom left reads: "FAUX COLUMNS, ISOLATE TO ACCOMMODATE SLAB HEAVING".
- Vertical Column Labels:** Labels like "4' - 0'", "2' - 0'", and "3' - 0'" indicate the height of various vertical elements.

This architectural cross-section diagram illustrates the construction details of a house addition, showing the vertical profile from the basement to the roof. The diagram includes labels for various materials and components, along with dimensions and specific construction requirements.

ASPHALT SHINGLES

30 LB. BUILDINGS FELT OVER 3/4" CDX PLYWOOD

PRE-ENGINEERED TRUSSES

R49 BATT INSULATION AT CEILING JOISTS - VENTS AT EAVES AND RIDGE

1/2" GYP. BD OVER VAPOR BARRIER

17' - 6 1/2" - ROOF

2X6 WOOD STUDS 16" O.C. (W/ R20 BATT INSULATION)

BUILDING WRAP OVER 1/2" CDX PLYWOOD

RIGID INSULATION (OPTIONAL)

VINYL SIDING - TYPE 1

ASPHALT SHINGLES

30 LB. BUILDINGS FELT OVER 3/4" CDX PLYWOOD

2X6s WOOD JOISTS - 16" O.C.

9' - 5 1/4" - 2ND FLOOR

EXISTING BRICK & CONCRETE WALL TO REMAIN

1X WOOD COMPOSITE TRIM AROUND TREATED 6X6

6" CONCRETE SLAB OVER COMPACTED GRAVEL (ISOLATE FROM COLUMN/FOOTING) - 2% SLOPE AWAY FROM BUILDING

0' - 0" - 1ST FLOOR

4FT MIN.

16" DIAMETER CONCRETE PIER

-7' - 8" - BASEMENT

EXISTING FOUNDATION

EXISTING CONCRETE SLAB

WALL SECTION



General Contractor: Legacy Custom Remodeling
7602 Riverside Rd | Verona, WI 53593
josh@legacycr.com | 608-279-8764
legacycr.com

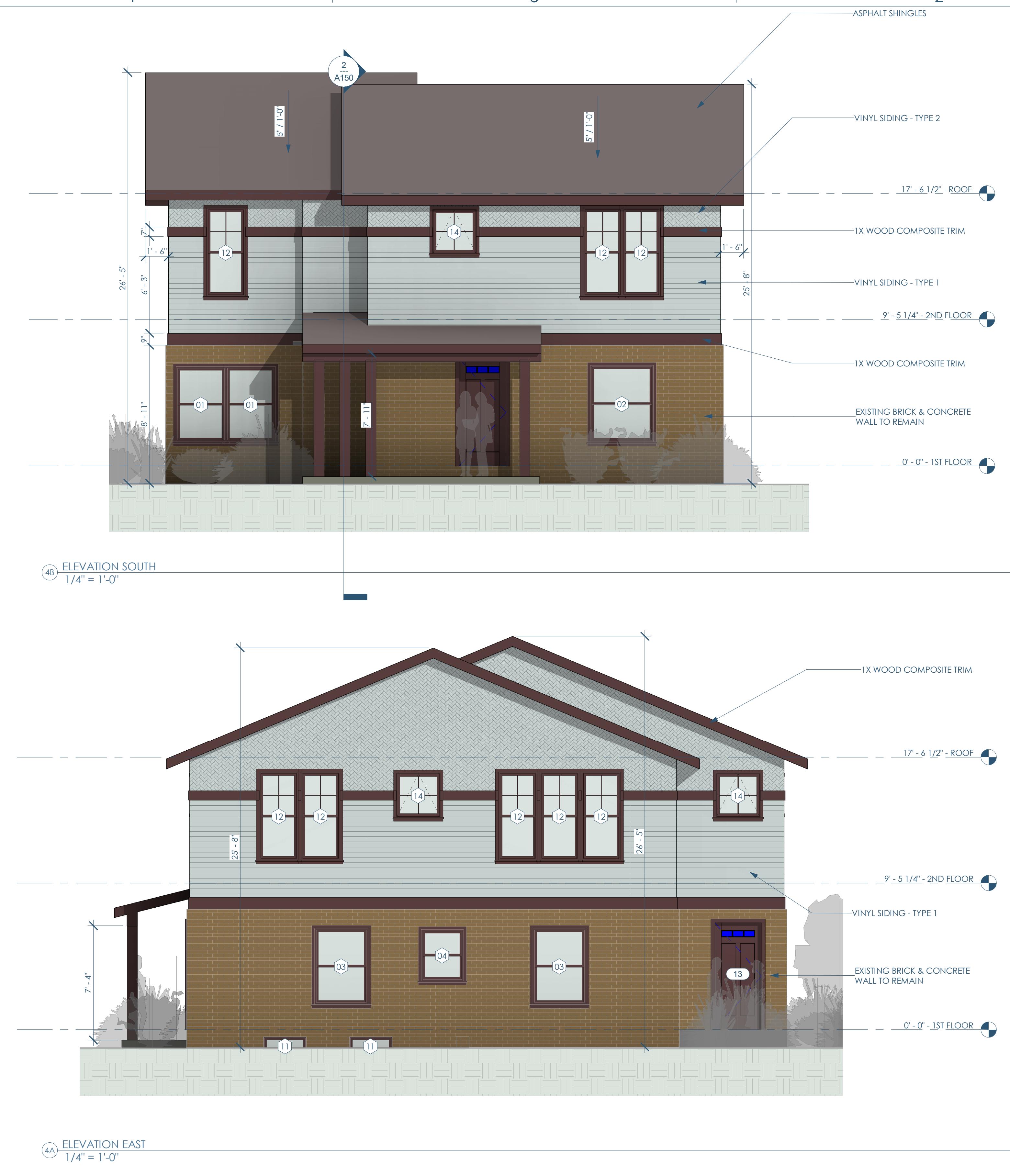
Architect: OpeningDesign
6 W Washington Ave | Suite 675
Madison, WI 53703
openingdesign.com | 773.425.6454

FRAMING - 2ND FLOOR - 10/22/2018

BAY CREEK RESIDENCE

1021 HIGH ST - MADISON, WI 53715

A150



ELEVATION SOUTH(FRONT) & EAST - 10/22/2018
BAY CREEK RESIDENCE
1021 HIGH ST - MADISON, WI 53715

A200



General Contractor: Legacy Custom Remodeling
7602 Riverside Rd | Verona, WI 53593
josh@legacycr.com | 608-279-8764
legacycr.com



Architect: OpeningDesign
6 W Washington Ave | Suite 6
Madison, WI 53703
openingdesign.com | 773.421.1234

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C



B

B



A

A



General Contractor: Legacy Custom Remodeling
7602 Riverside Rd | Verona, WI 53593
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legacycr.com



Architect: OpeningDesign
316 W Washington Ave | Suite 675
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

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ELEVATION NORTH & WEST - 10/22/2018
BAY CREEK RESIDENCE
1021 HIGH ST - MADISON, WI 53715
A202