

Building Permit Data Sheet One and Two Family Homes

City of Madison Building Inspection
215 Martin Luther King Jr. Blvd. Ste. 17
Madison, WI 53703
608-266-4551

Submittal Date: 10/18/18

Project Address: 1021 HIGH St, MADISON, WI 53715

(PLEASE PRINT)

Subdivision Name: BAY CREEK

Type of Building:

SF home Rental duplex Condo duplex Twin home Attached SF home

Project Information:

New building Addition Alteration Repair Finished basement

Electrical service: 200 amp 100 amp Other _____

Number of Stories: 1 story 2 story Other _____

State seal:

Owner Name, email and phone number:

Name: MANUEL RAMMINGER
Phone number: 608-444-9542 Email: manuel@yWAMMADISON.org

Contractor Name, email and phone number:

Name: LEGACY CUSTOM REMODELING Josh Wantz
Phone number: 608 835-1822 Email: invoicing@legacycr.com
7602 RIVERSIDE RD, VERONA WI 53593 1046112 1046115
Street address City Zip code Dwelling Contractor Credential & Qualifier

Estimated Cost: \$ 114,750.00

(Cost for full project minus the cost of plumbing, heating, electric, carpet, and cabinetry on alterations and repairs.)

For New Buildings and Additions:

Square feet of floor area:

Total Basement:

1st, 2nd, & 3rd floors: 1,130 sf

Garage:

Porches/decks: 92 sf

TOTAL SQ. FEET: 1222 sf

For New Buildings:

Will the basement be finished?

Yes No

Is air conditioning being installed?

Yes No

Lot Coverage:
Square feet of lot area:

3,766 sf

Square feet of all buildings and paved areas except sidewalks:

Scope of Work / Comments:

ADD ON A
SECOND STORY TO
EXISTING
RESIDENCE

Plat of Survey

Lot 8, Block 2, Fiore Plat, lying in the SW1/4
of the NW1/4 of Section 26, T07N, R09E, City of Madison,
Dane County, Wisconsin

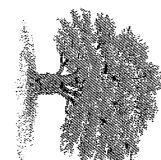
Surveyor's Certificate

I hereby certify that this survey is in compliance with A-E 7 of Wisconsin

Administrative Code.

I further certify that I have surveyed and mapped the lands described
hereon, and that this map is a correct representation in accordance with
the information furnished.

Carl M Sandsnes, Professional Land Surveyor S-1819 OCT 10 2018



Royal Oak & Associates, Inc.
3678 Kinsman Blvd
Madison, WI 53704
Phone (608) 274-0500
Fax (608) 274-4530
www.royaloakengineering.com

Scale 1" = 20'
0 10 20 40

North reference to Wisconsin
County Coordinate System -
zone Dane

BLOCK

(N 02°13' E)
N 01°00'21" E

137.56'
(137.5')

8'
7,563 sq ft

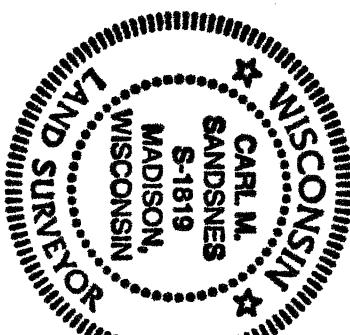
(137.5')
137.56'
S 01°00'21" W
(S 02°13' W)

54.98'
(55')

7'
1.5" IP
174.97'

1.5" IP
174.97'
1.5" IP
(175.0')

33'
3/4" Rebar



LEGEND
● Iron Stake Found
○ 3/4" X 24" Rebar Driven
Min. Wt. 1.50 #/in. ft.

() Recorded As

Surveyed By: TT

Drawn By: TT

Approved By: CMS

Field Book:

Date: 10-09-18

High

Street

Surveyed for:

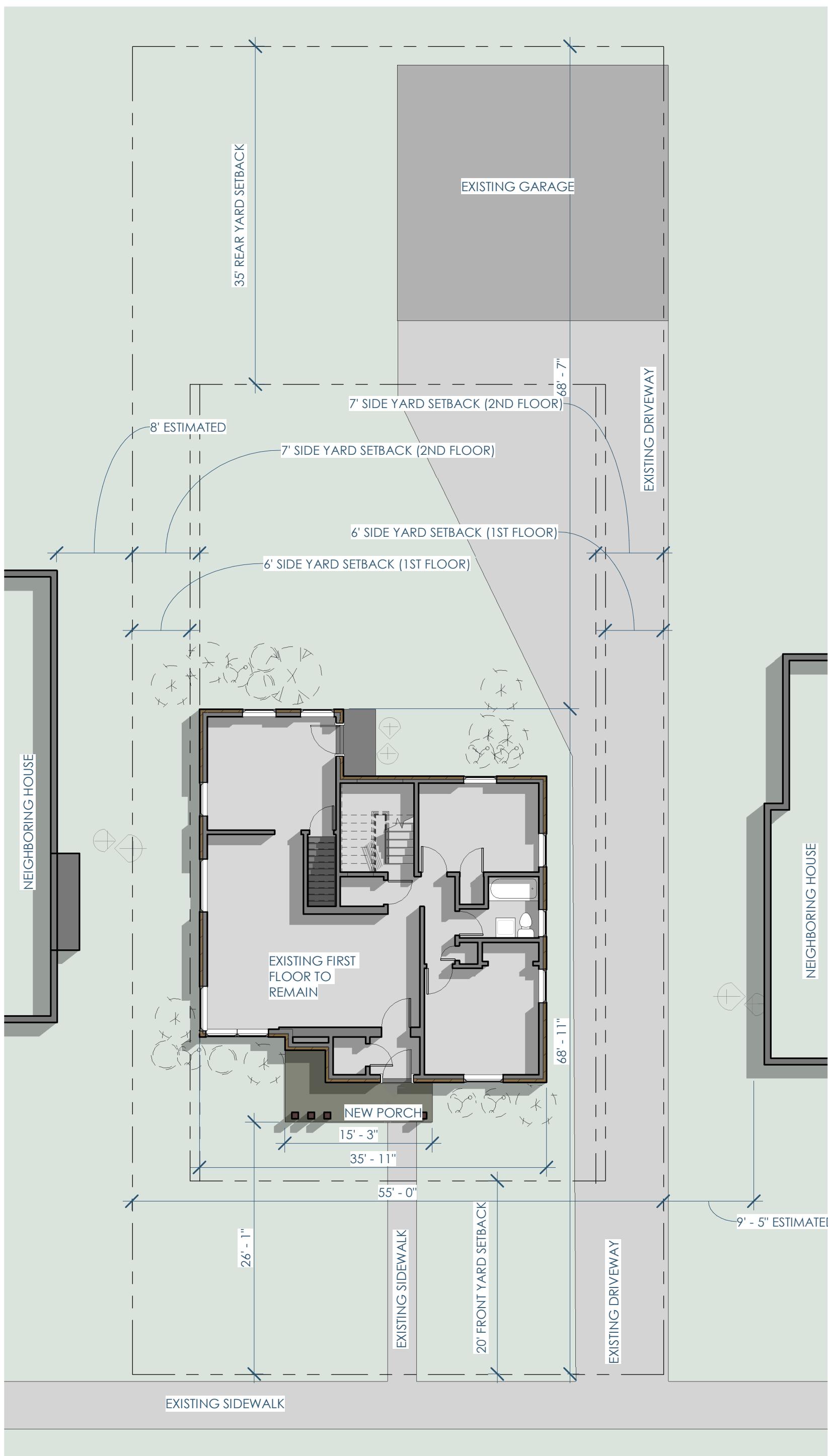
Steve McKenzie

1021 High Street

Madison WI

Office Map No: 16458

Sheet 1 of 1 Sheets



5 4 3 2 1

C B A

WALLS - QUANTITY TAKEOFF

Phase	Type	Area	Length
1st Phase	INTERIOR STUD WALL	1063 SF	157' - 0 5/8"
1st Phase	TRIM WALL	14 SF	15' - 4"
1st Phase	VINYL SIDING - TYPE 2	717 SF	176' - 2 5/16"
1st Phase	VINYL SIZING - TYPE 1	866 SF	145' - 1 3/16"
Grand total:		2660 SF	493' - 8 1/8"

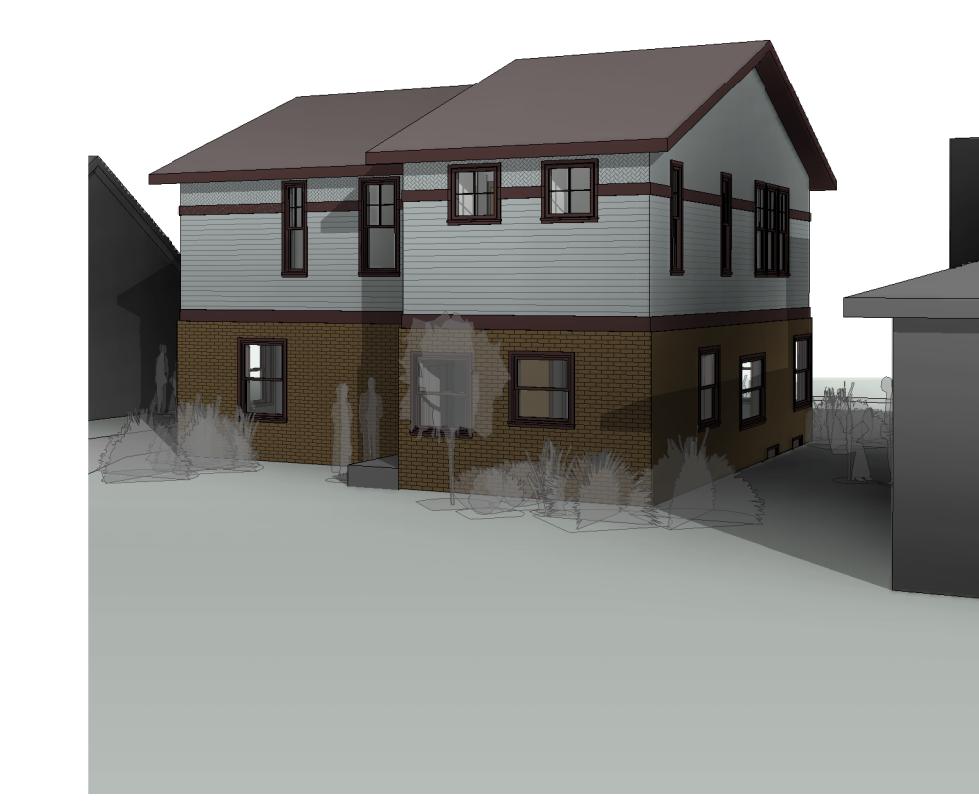
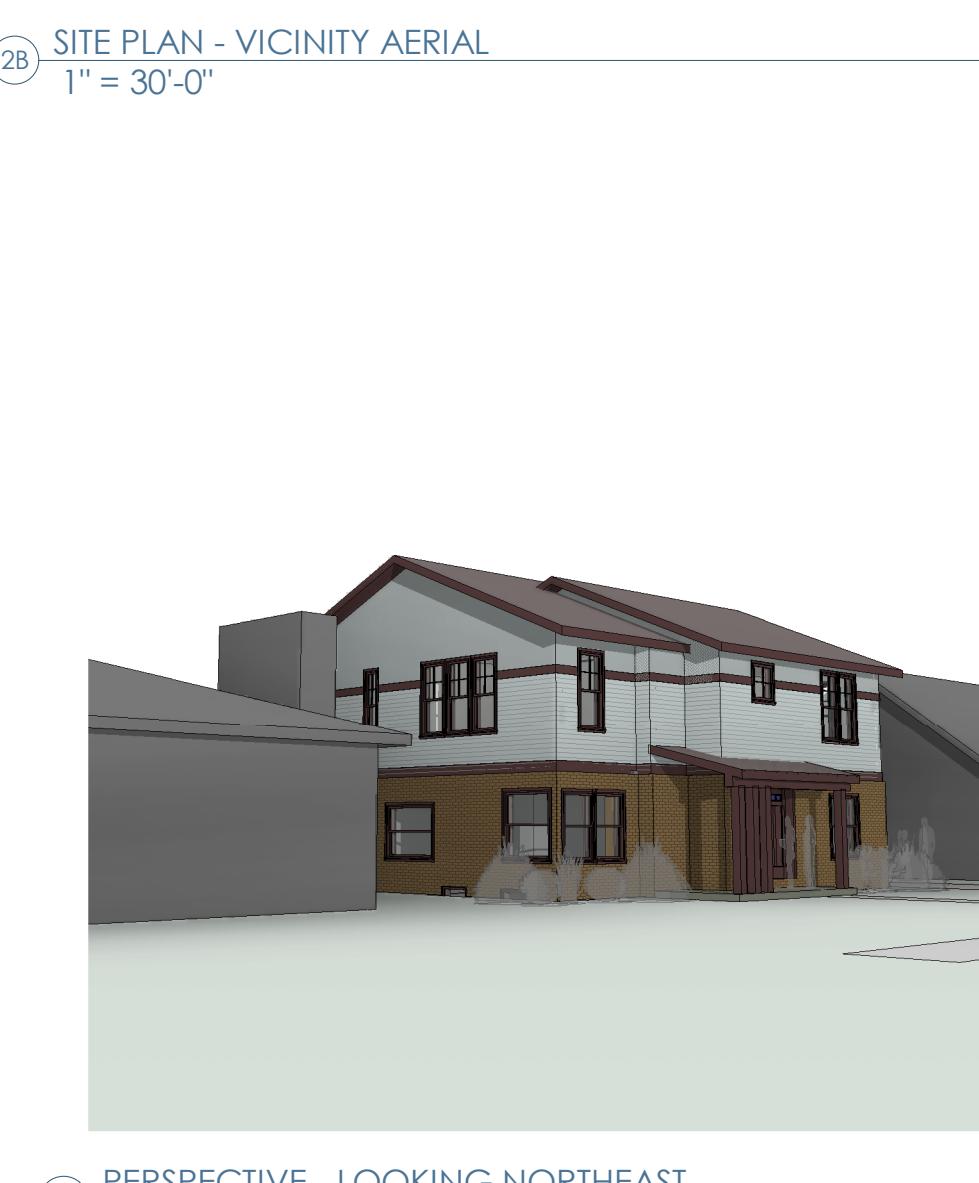
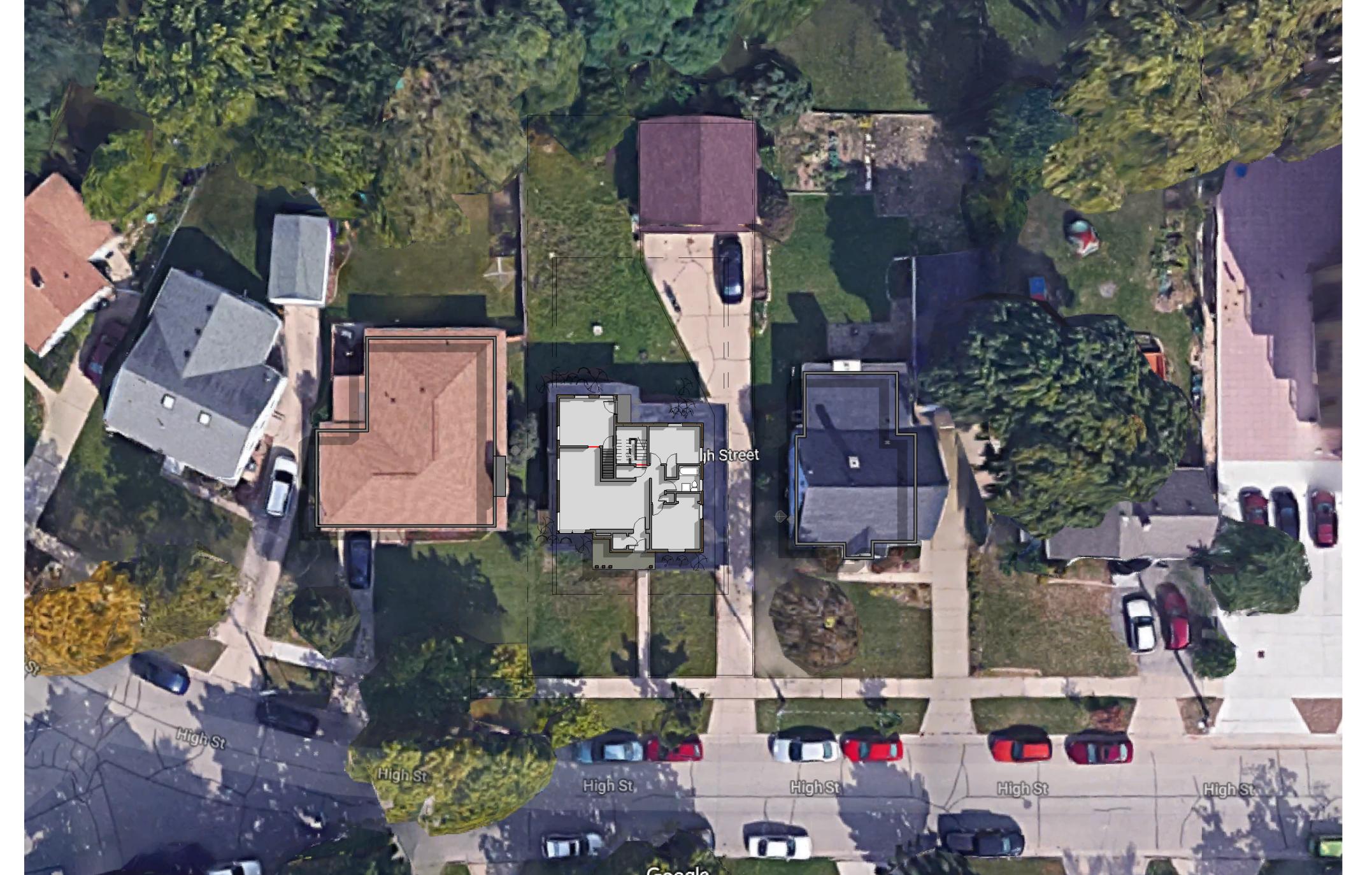
DOOR SCHEDULE

Type	Mark	Count	Door	Width	Height	Phase	Created
D1	2	2	2' - 6"	6' - 8"		Existing	
D2	1	1	2' - 4"	7' - 0"		Existing	
D3	1	1	3' - 0"	6' - 11"		Existing	
D4	2	2	2' - 8"	6' - 8"		Existing	
D5	1	1	1' - 6"	6' - 8"		Existing	
D6	1	1	2' - 6"	6' - 8"		Existing	
D7	2	2	3' - 0"	6' - 11"		1st Phase	
D9	2	2	4' - 0"	6' - 8"		1st Phase	
D10	7	7	2' - 8"	6' - 8"		1st Phase	
D11	1	1	6' - 0"	6' - 8"		1st Phase	

ROOM SCHEDULE

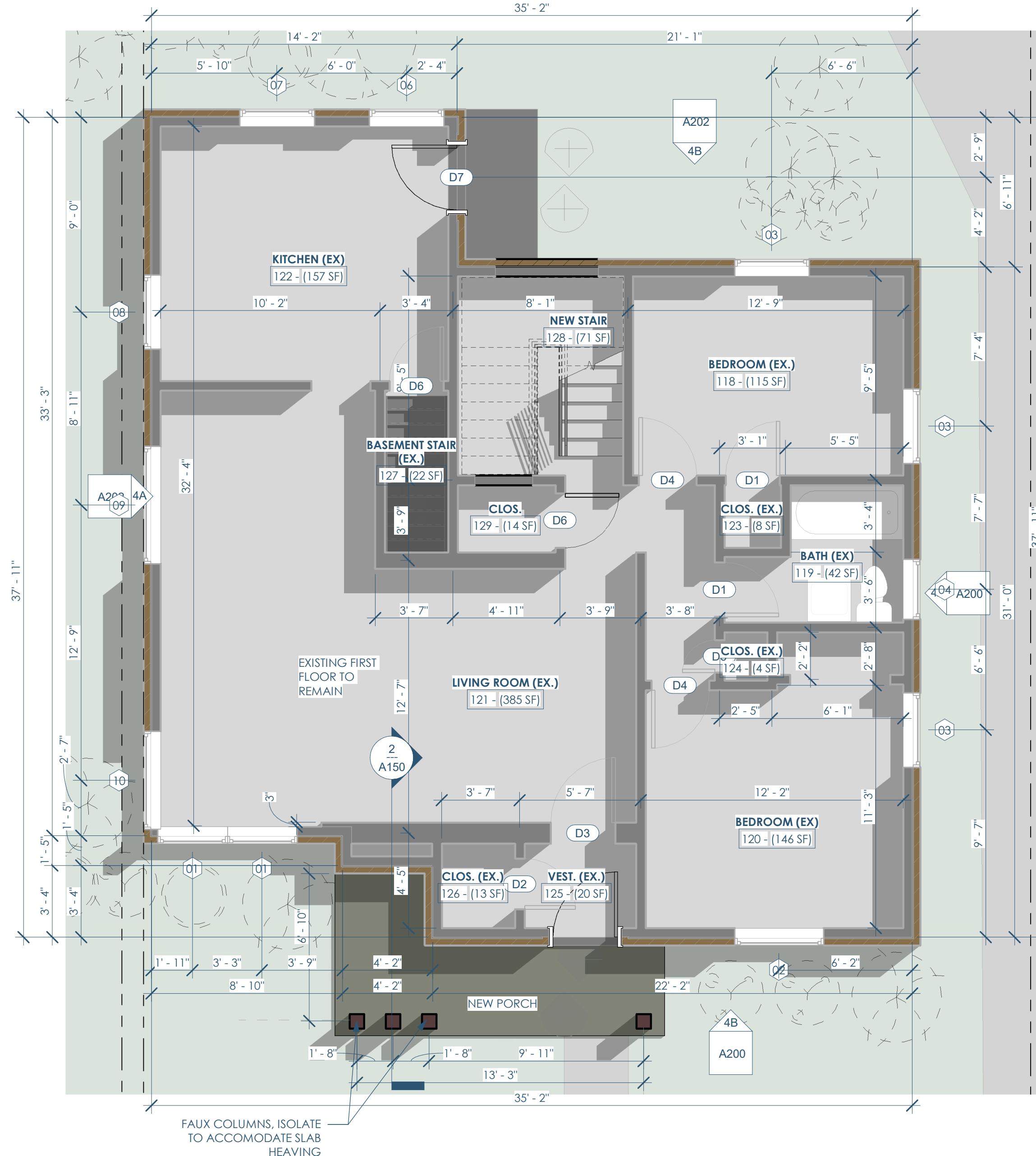
Number	Level	Name	Area
130	BASEMENT	BASEMENT (EX.)	526 SF
118	1ST FLOOR	BEDROOM (EX.)	115 SF
119	1ST FLOOR	BATH (EX)	42 SF
120	1ST FLOOR	BEDROOM (EX.)	146 SF
121	1ST FLOOR	LIVING ROOM (EX.)	385 SF
122	1ST FLOOR	KITCHEN (EX.)	157 SF
123	1ST FLOOR	CLOS. (EX.)	8 SF
124	1ST FLOOR	CLOS. (EX.)	4 SF
125	1ST FLOOR	VEST. (EX.)	20 SF
126	1ST FLOOR	CLOS. (EX.)	13 SF
127	1ST FLOOR	BASEMENT STAIR (EX.)	22 SF
128	1ST FLOOR	NEW STAIR	71 SF
129	1ST FLOOR	CLOS.	14 SF
208	2ND FLOOR	MASTER BEDROOM	200 SF
209	2ND FLOOR	WALKIN CL.	105 SF
210	2ND FLOOR	MASTER BATH	93 SF
211	2ND FLOOR	BEDROOM 2	184 SF
212	2ND FLOOR	BATHROOM	75 SF
213	2ND FLOOR	BEDROOM 1	111 SF
214	2ND FLOOR	UTIL.	26 SF
215	2ND FLOOR	CLOS.	23 SF
216	2ND FLOOR	CLOS.	16 SF
217	2ND FLOOR	STAIR/CORRIDOR	156 SF
210A	2ND FLOOR	CLOS.	4 SF
210B	2ND FLOOR	CLOS.	4 SF

Grand total: 25 2522 SF

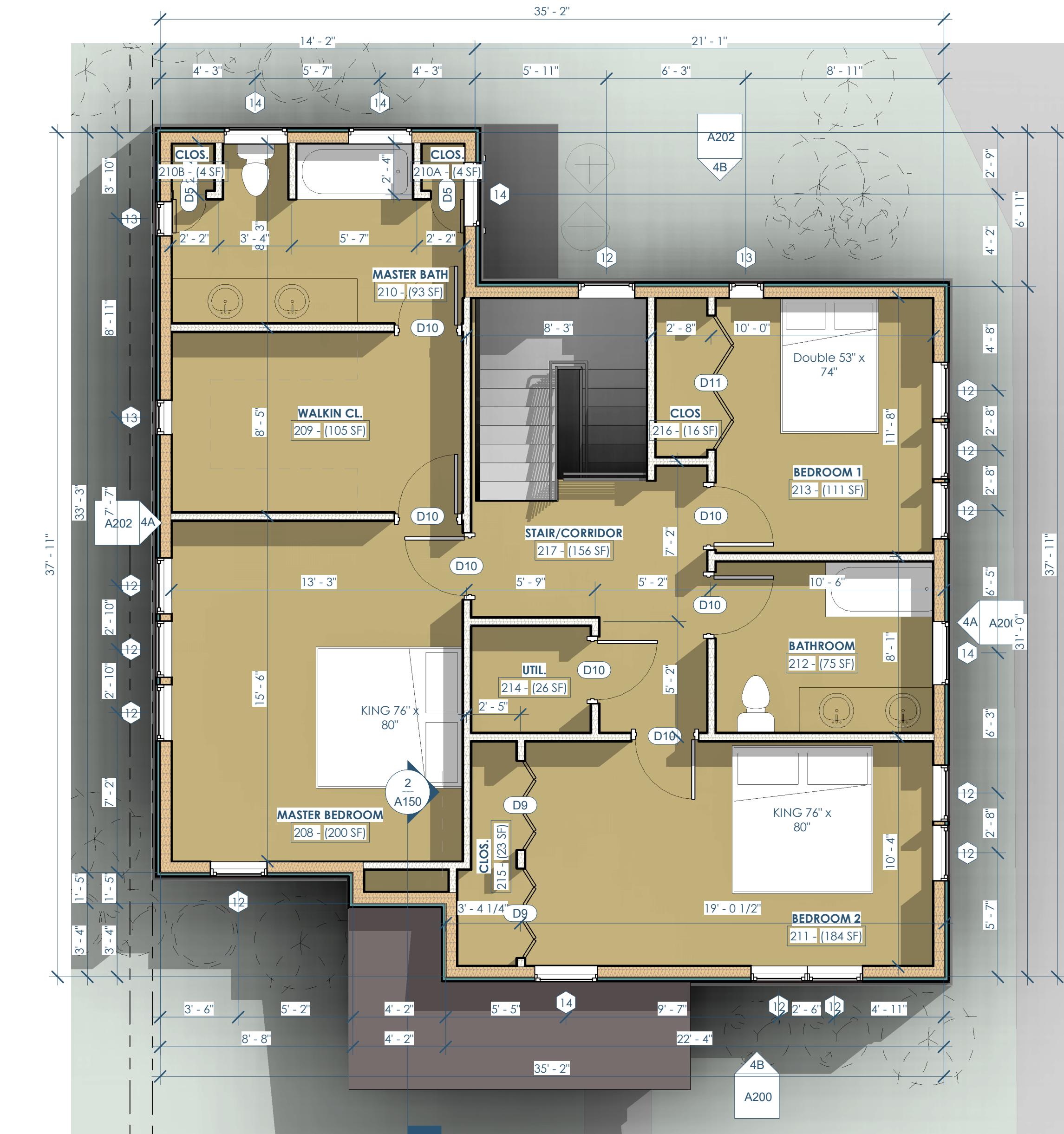


SITE PLAN & PERSPECTIVES - 10/22/2018
BAY CREEK RESIDENCE
1021 HIGH ST - MADISON, WI 53715

A001

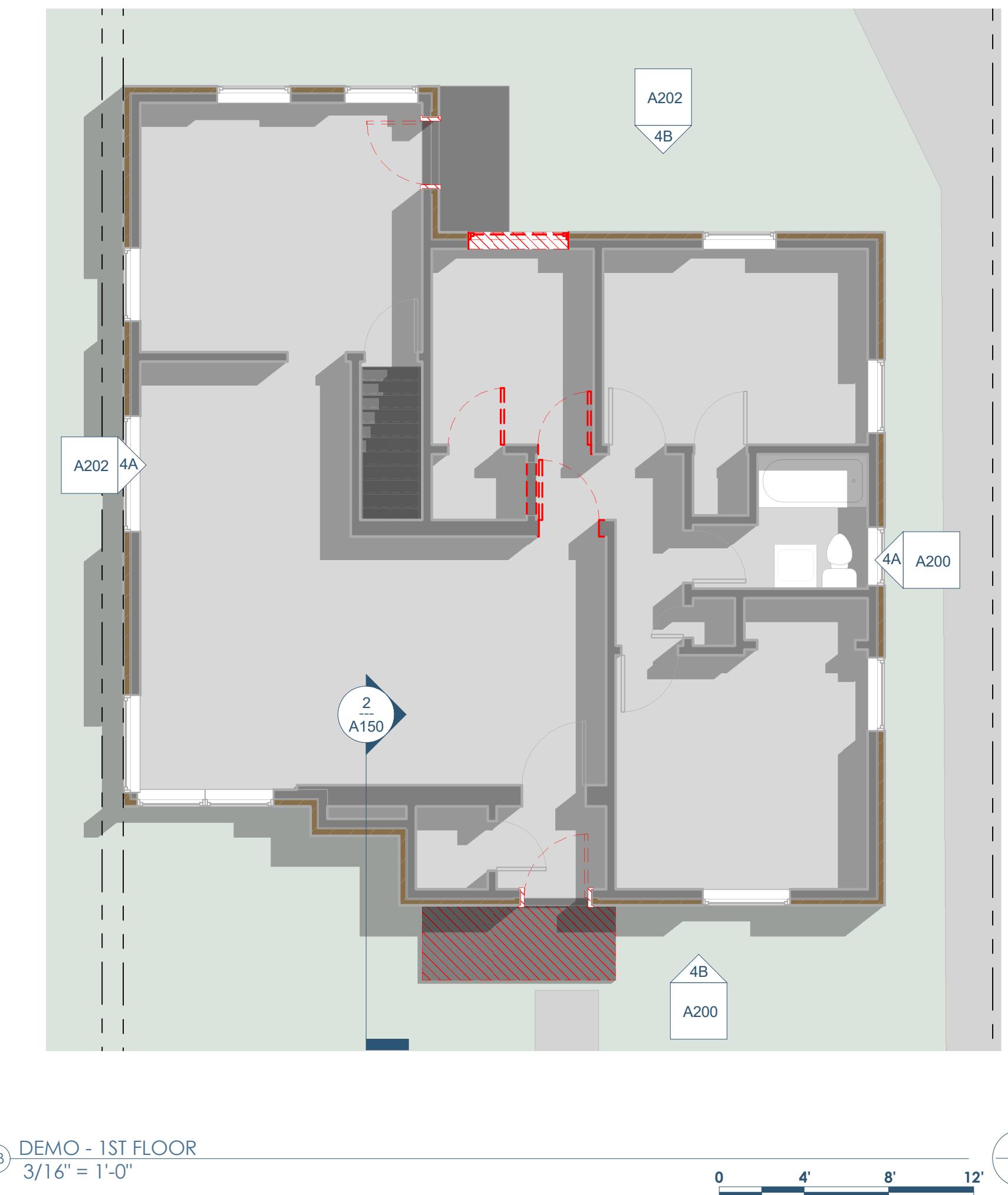
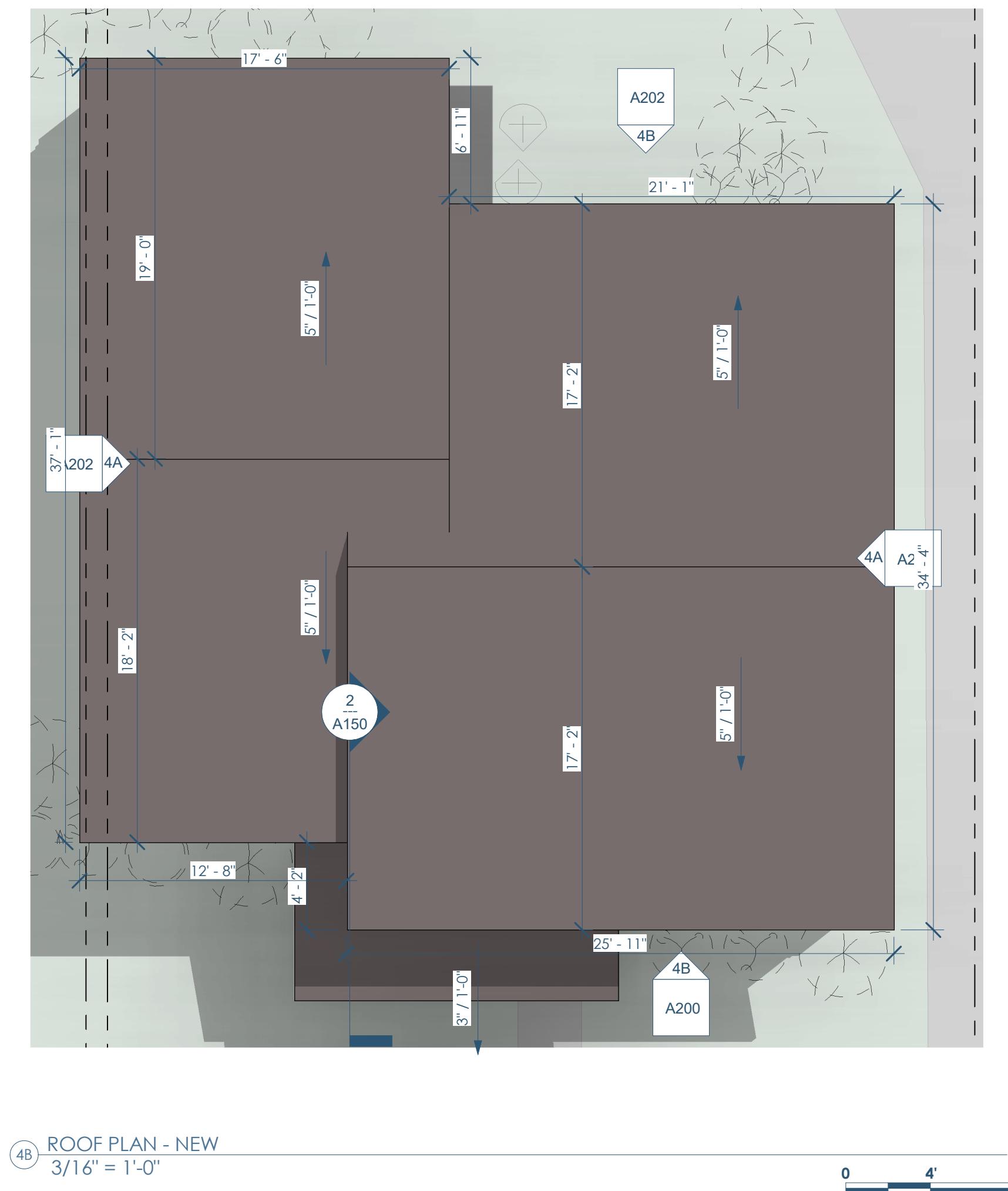
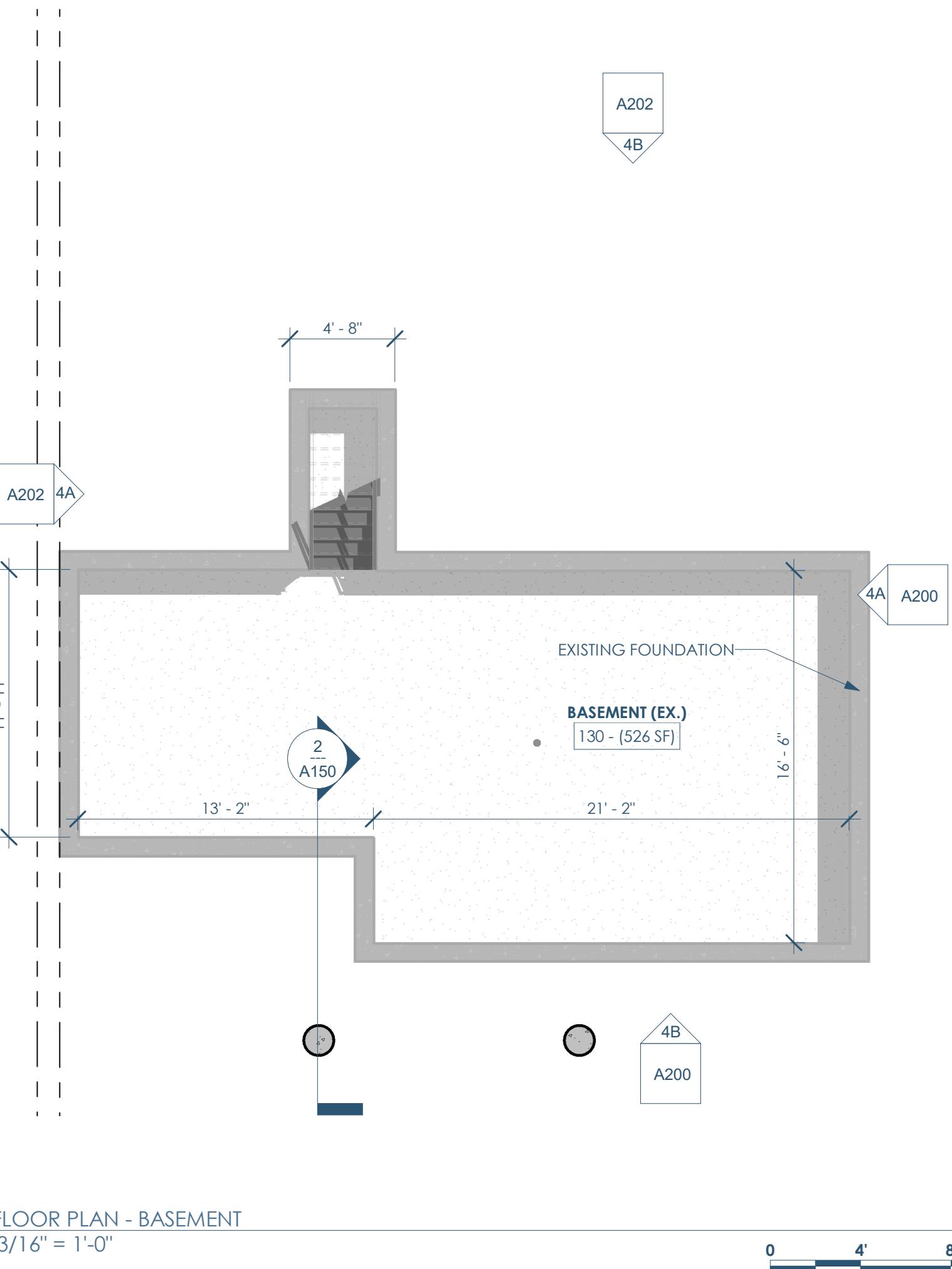


(5A) FLOOR PLAN - 1ST FLOOR
1/4" = 1'-0"



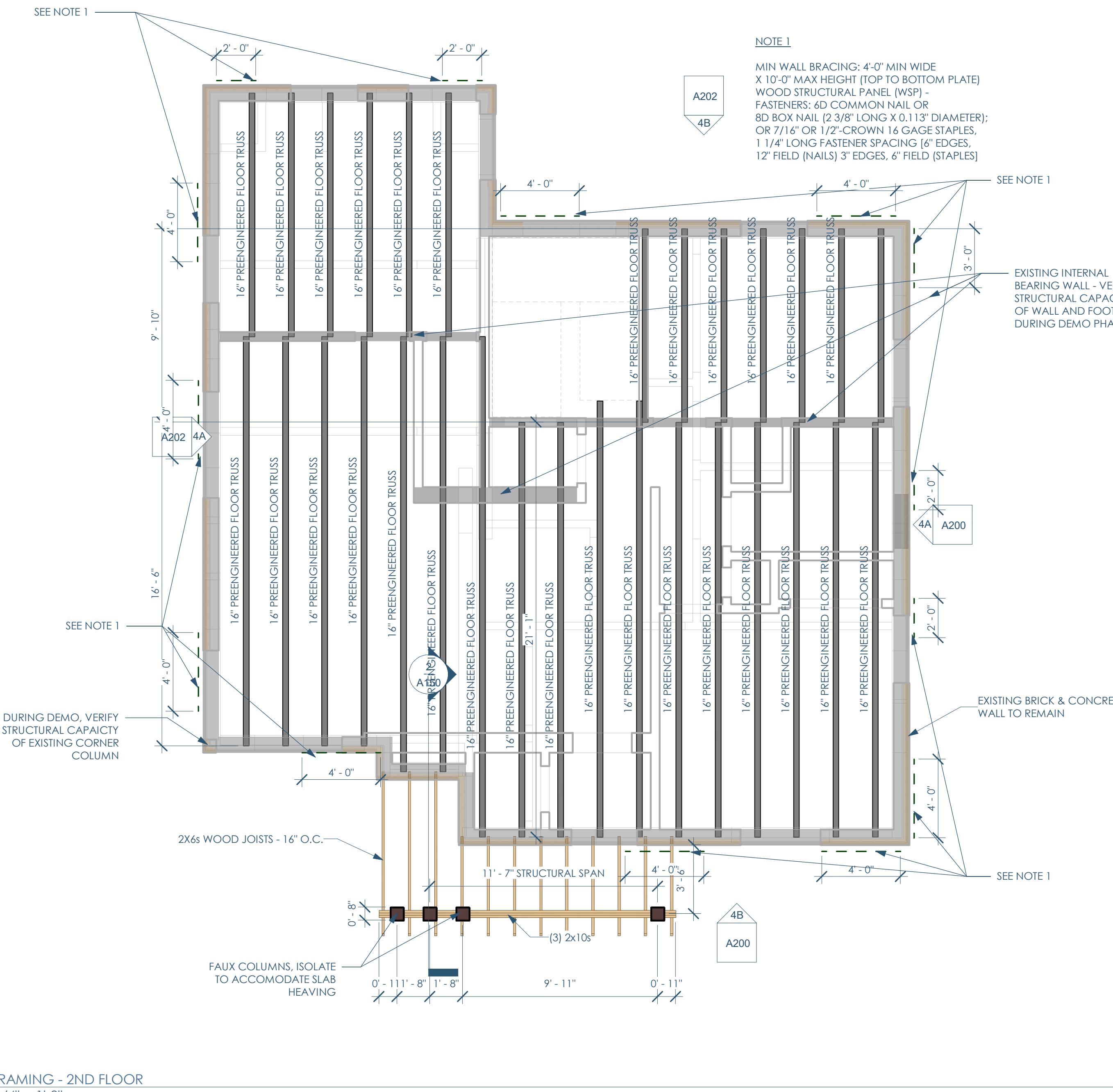
(3A) FLOOR PLAN - 2ND FLOOR
1/4" = 1'-0"





BASEMENT, ROOF, & DEMO PLAN - 10/22/2018
 BAY CREEK RESIDENCE
 1021 HIGH ST - MADISON, WI 53715

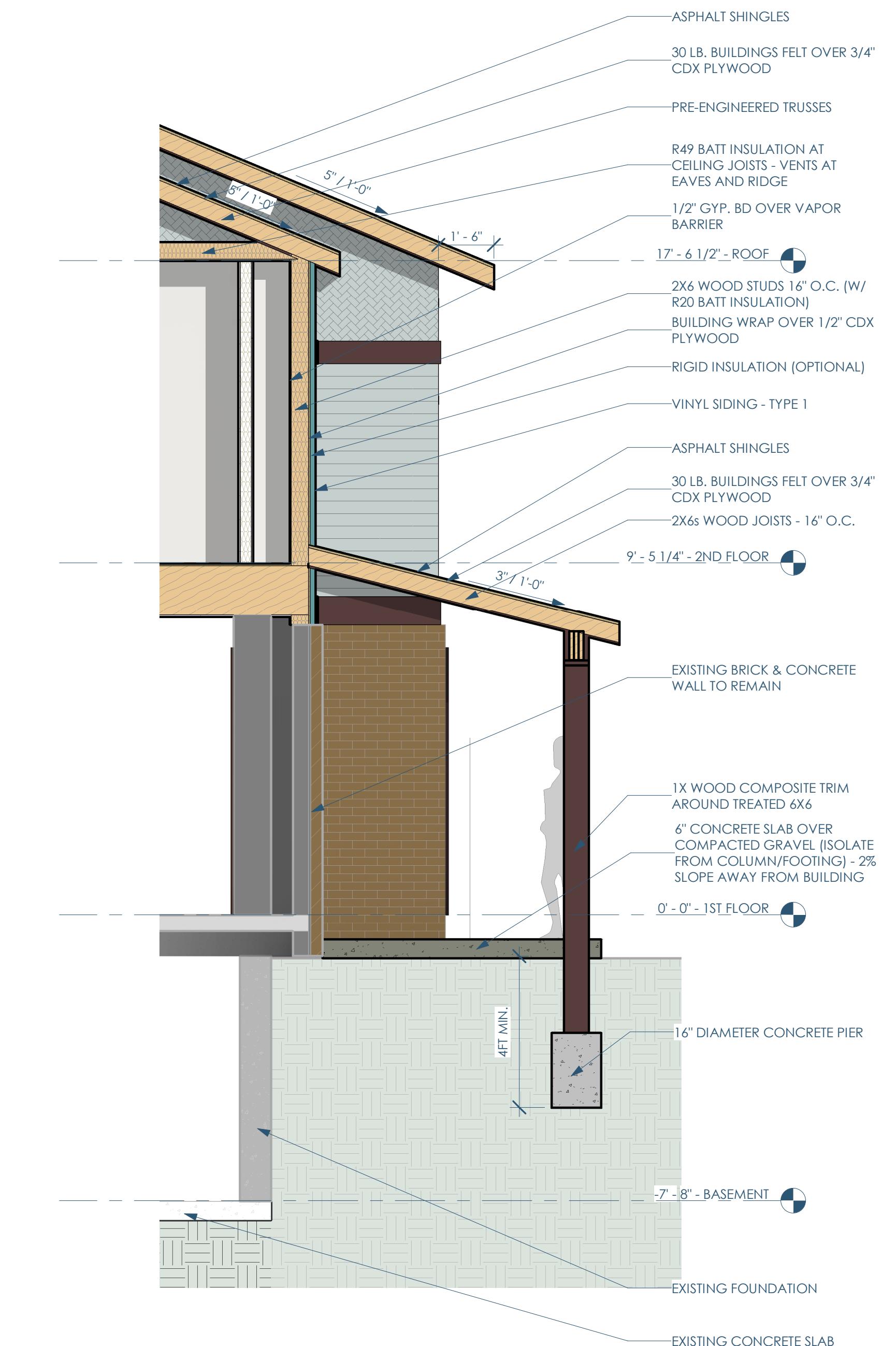
A102



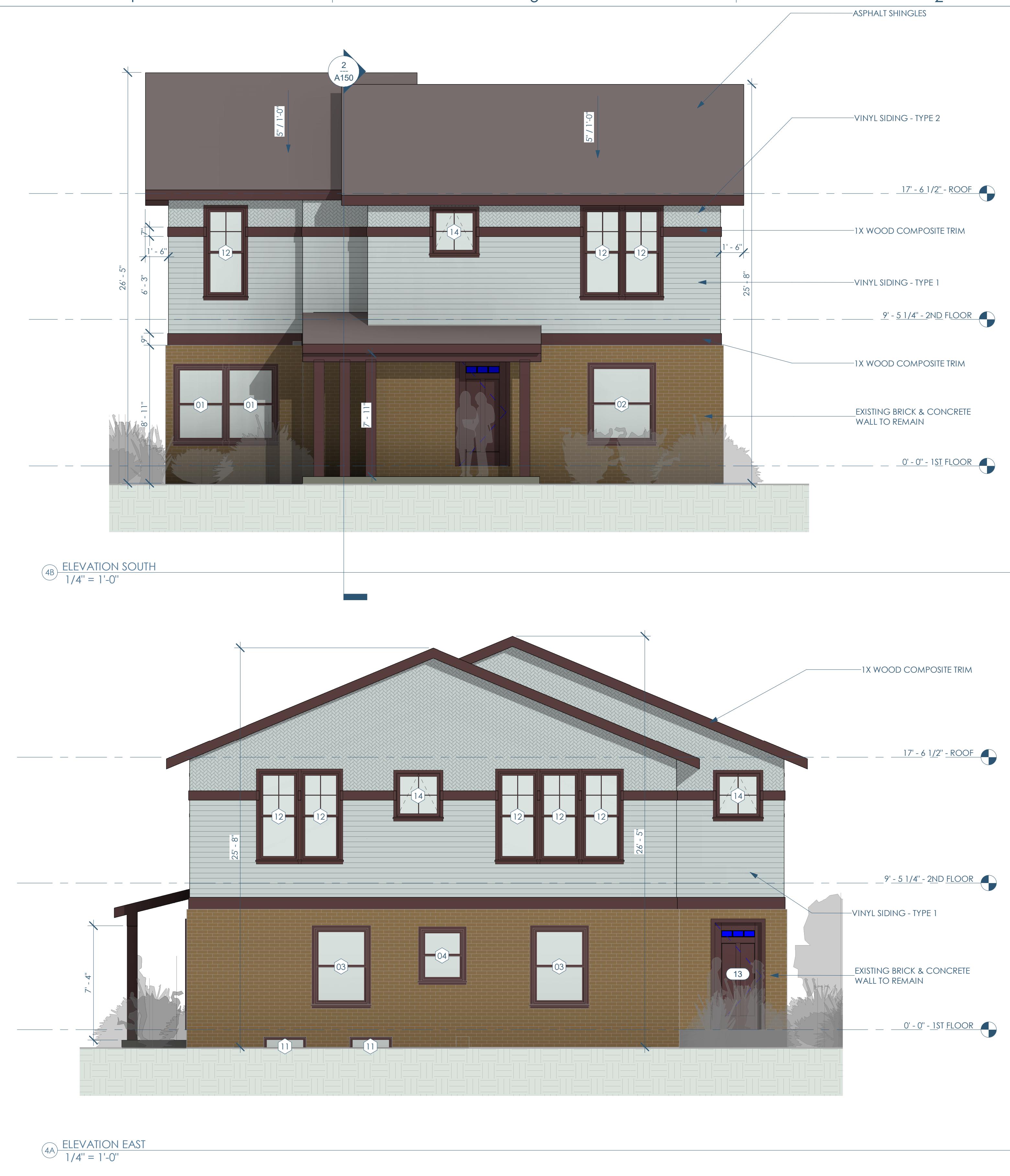
General Contractor: Legacy Custom Remodeling
7602 Riverside Rd | Verona, WI 53593
josh@legacycr.com | 608-279-8764
legacycr.com



Architect: OpeningDesign
16 W Washington Ave | Suite 675
Madison, WI 53703
@openingdesign.com | 773.425.6450



**FRAMING - 2ND FLOOR - 10/22/2018
BAY CREEK RESIDENCE
1021 HIGH ST - MADISON, WI 53715**



ELEVATION SOUTH(FRONT) & EAST - 10/22/2018
BAY CREEK RESIDENCE
1021 HIGH ST - MADISON, WI 53715

A200



General Contractor: Legacy Custom Remodeling
7602 Riverside Rd | Verona, WI 53593
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Architect: OpeningDesign
6 W Washington Ave | Suite 600
Madison, WI 53703
openingdesign.com | 773.429.6220

5 4 3 2 1

C

C



B

B



A

A

0 2' 4' 8'



General Contractor: Legacy Custom Remodeling
7602 Riverside Rd | Verona, WI 53593
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legacycr.com



Architect: OpeningDesign
316 W Washington Ave | Suite 675
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ryan@openingdesign.com | 773.425.6456

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ELEVATION NORTH & WEST - 10/22/2018
BAY CREEK RESIDENCE
1021 HIGH ST - MADISON, WI 53715
A202