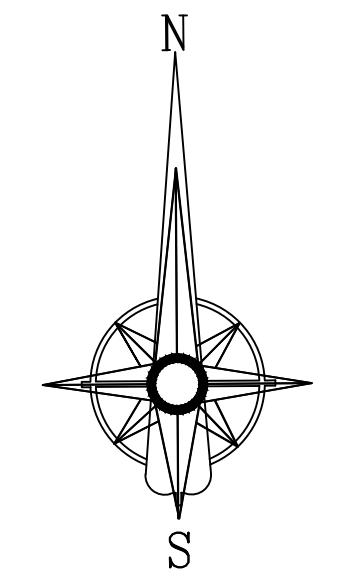
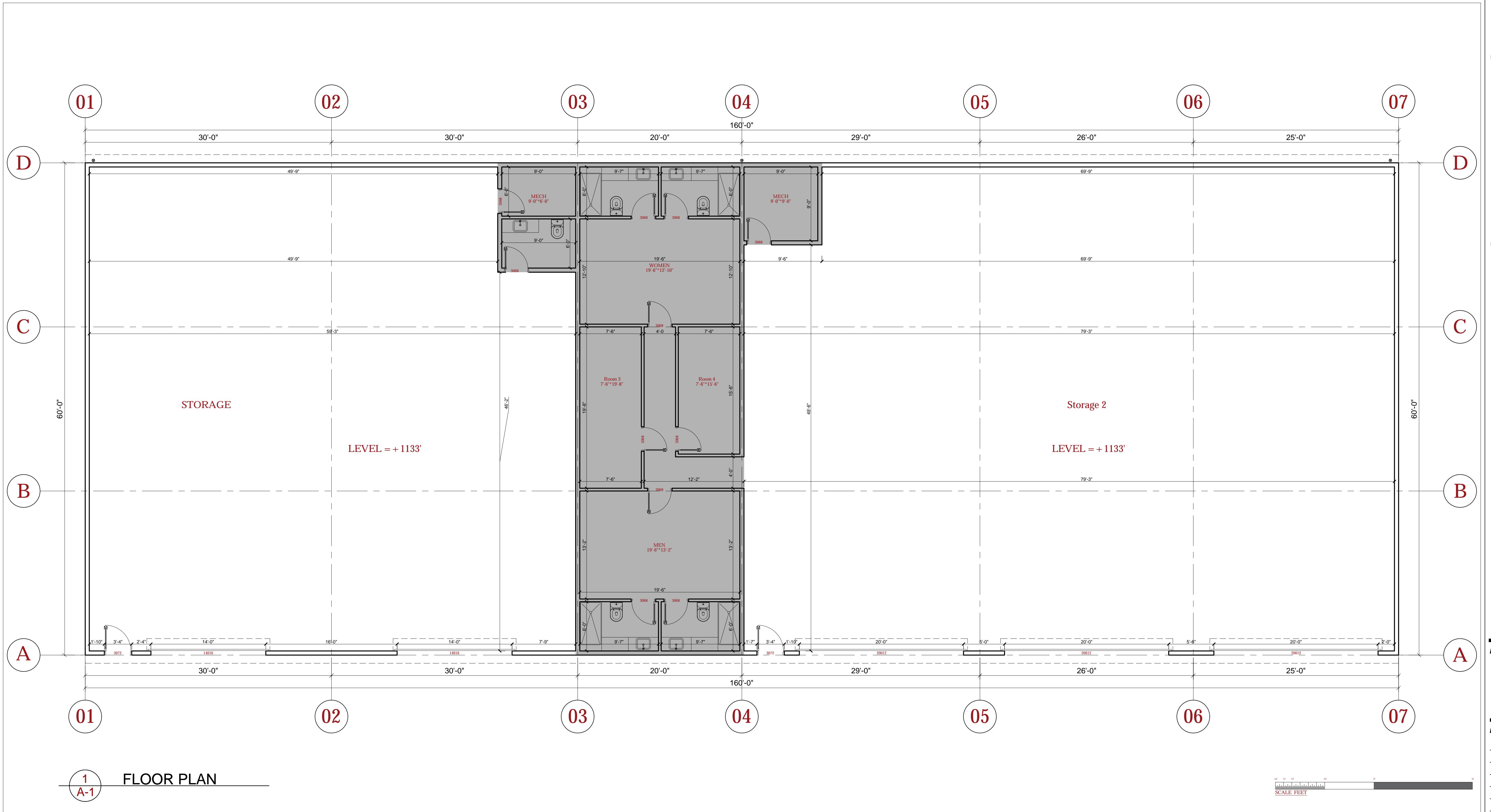
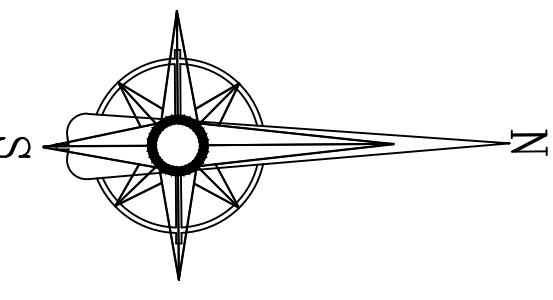


GENERAL NOTES		CODE RELATED NOTES	STATE BUILDING CODE:	TEAM	PROJECT DATA																																										
<p>1. All work shall be in compliance with all applicable local building codes and regulations.</p> <p>2. Contractor shall be responsible for permits applicable to specific trades or subcontractor's work.</p> <p>3. Contractor will have examined the premises and site so as to compare them with the drawings and will be satisfied as to the condition of existing work and adjacent property prior to submission of bid. No allowances will be made by the contractor by reason of any condition or hazard which may be found on the site or in the materials, whether they are or are not especially or particularly shown or noted but which are implied or required to attain the completed conditions proposed in the drawings.</p> <p>4. All subcontractors to the general contractor shall inspect the site and shall convey any questions regarding design intent and scope of work to the architect prior to submitting bid and prior to commencing work.</p> <p>5. Contractor to assume sole responsibility for job site conditions including safety of persons and property for the duration of the project.</p> <p>6. Contractor to notify architect prior to ordering of all long lead items and of approximate delivery dates.</p> <p>7. All construction materials and supplies to be stored, handled, and installed, according to manufacturers' recommendations.</p> <p>8. If errors or omissions are found in the drawings they shall be brought to the attention of the architect before proceeding with the work.</p> <p>9. Drawings are to be read from left to right. The contractor should anticipate, based on experience, a reasonable number of adjustments to be necessary to meet the design objectives and should consider such adjustments as included in the scope of work.</p> <p>10. When specific features of construction are not fully shown on the drawings or called for in the General Notes, their construction shall be of the same character as similar conditions.</p> <p>11. All dimensions to be taken from numerically designated only; dimensions are not to be indicated applicable to particular divisions of the work. See specifications and general notes in the subsections of the drawings.</p> <p>12. All dimensions are to be of framing, unless otherwise noted.</p> <p>13. All dimensions are to be of framing, unless otherwise noted.</p> <p>14. Weatherstripping of doors leading from heated to unheated areas. Provide vinyl bead type weatherstripping on the doors and windows. All sides of the door must be weatherstripped, including the threshold.</p> <p>15. Caulk and seal openings in building exterior 1/8" or greater to prevent air infiltration.</p> <p>16. Windows to be made operable and cleaned, U.O.N.</p> <p>17. 5/8" gypsum board bevelled on walls.</p> <p>18. All interior and exterior plan surfaces shall be smooth, continuous, free of imperfections, and with no visible joints. U.O.N.</p> <p>19. Stucco over wood sheathing shall include two layers of grade D building paper.</p> <p>20. Structural wood members adjacent to concrete or earth to be pressure treated Douglas fir.</p> <p>21. All wall and floor insulation to be R-19. All roof insulation to be R-23 min.</p> <p>22. All insulation shall be applied by a licensed contractor. The architect shall be held harmless for any and all work that does not conform to requirements and minimum standards of the uniform building code, local ordinances and acceptable standards.</p> <p>23. These drawings are the property of Craig O'Connell, Architect and are not to be used in part for any work other than the location shown herein.</p> <p>24. The architect has no control or charge of and shall not be responsible for construction means, methods, techniques, sequences or procedures for any safety precautions and programs in connection with the work.</p> <p>25. The architect assumes no responsibility for the performance of products or materials not specified in these drawings.</p> <p>26. Items required by title 24 "Energy Conservation Standards" shall be certified by California Energy Commission (CEC). Equipment which requires preventative maintenance for efficient operation shall be furnished with the complete and necessary maintenance information.</p>		<p>1. 1) Fire-stops shall be provided in the following spaces:</p> <p>2. a) Concealed spaces of stud walls and partitions, including furred spaces at the ceiling and floor levels, and at ten-foot intervals both vertical and horizontal.</p> <p>3. b) At all intersections between vertical and horizontal spaces such as soffits, drop and cove ceilings.</p> <p>4. c) Unfurnished spaces between stair stringers at the top and bottom of the run, and between studs along and in line with the run of the stairs if the walls under the stairs are unfinished.</p> <p>5. d) Openings around vents, pipes, ducts, chimneys, fireplaces and similar openings which afford a passage for fire at the floor and ceiling levels with combustible materials.</p> <p>6. e) At openings between attic spaces and chimney chases for factory-built chimneys.</p> <p>7. 2) Pre-manufactured items, including but not limited to, fireplaces, wood-burning stoves, fixtures, equipment and appliances shall be installed as per manufacturer's specifications and requirements.</p> <p>8. 3) Attic space shall be provided with access 22 inches by 30 inches minimum head-room clearance shall be 30 inches.</p> <p>9. 4) Attic spaces shall be provided with cross-ventilation, minimum ventilation equal to 1/150 of the area of the attic.</p> <p>10. 5) All habitable rooms shall be provided with natural light by means of exterior windows or skylights with an area not less than 1/10 of the floor area of such a room with a minimum of ten square feet.</p> <p>11. 6) All habitable rooms shall be provided with natural ventilation by means of exterior openings with an area of not less 1/20 of the floor area of such rooms with a minimum of five square feet.</p> <p>12. 7) Bars, grilles, grates or similar devices may be installed on an emergency escape or rescue windows and doors provided.</p> <p>13. 8) a) Such devices are equipped with approved release mechanisms which can be operated from the inside without use of a key or special knowledge or effort; and b) the building is equipped with smoke detectors in accordance with California building code.</p> <p>14. 9) All bathrooms, water closet compartments, laundry rooms and similar rooms shall be provided with natural ventilation by means of an operating exterior opening with an area of not less than 1/20 of the floor area of such rooms with a minimum opening of 1.5 square feet. In lieu of natural ventilation, a mechanical ventilation system connected to the outside may be provided. The mechanical ventilation system shall be capable of five air changes per hour & equipped with a backdraft damper, the point of discharge shall be a minimum of 3' clear from any opening into the building.</p> <p>15. 10) All platforms and open sides of stairways, landings, ramps balconies or porches which are more than 3 inches above grade or floor level, shall be protected by a guardrail, guardrails shall be 36 inches in height with intermediate railings spaced to prevent a 4 inch sphere from passing through.</p> <p>16. 11) The minimum width of stairways shall not be less than 36 inches, the minimum run shall be 9 inches and the maximum riser height shall be 8 inches. There shall not be a variation of greater than 3/8 inch between any riser, the minimum head-room clearance shall be 6'-8" inches as measured plumb from the stair tread nosing.</p> <p>17. 12) All platforms and open sides of stairways, landings, ramps balconies or porches which are more than 3 inches above grade or floor level, shall be protected by a guardrail, guardrails shall be 36 inches in height with intermediate railings spaced to prevent a 4 inch sphere from passing through.</p> <p>18. 13) The minimum width of stairways shall not be less than 36 inches, the minimum run shall be 9 inches and the maximum riser height shall be 8 inches. 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There shall not be a variation of greater than 3/8 inch between any riser, the minimum head-room clearance shall be 6'-8" inches as measured plumb from the stair tread nosing.</p> <p>21. 16) All platforms and open sides of stairways, landings, ramps balconies or porches which are more than 3 inches above grade or floor level, shall be protected by a guardrail, guardrails shall be 36 inches in height with intermediate railings spaced to prevent a 4 inch sphere from passing through.</p> <p>22. 17) The minimum width of stairways shall not be less than 36 inches, the minimum run shall be 9 inches and the maximum riser height shall be 8 inches. There shall not be a variation of greater than 3/8 inch between any riser, the minimum head-room clearance shall be 6'-8" inches as measured plumb from the stair tread nosing.</p> <p>23. 18) All platforms and open sides of stairways, landings, ramps balconies or porches which are more than 3 inches above grade or floor level, shall be protected by a guardrail, guardrails shall be 36 inches in height with intermediate railings spaced to prevent a 4 inch sphere from passing through.</p> <p>24. 19) The minimum width of stairways shall not be less than 36 inches, the minimum run shall be 9 inches and the maximum riser height shall be 8 inches. There shall not be a variation of greater than 3/8 inch between any riser, the minimum head-room clearance shall be 6'-8" inches as measured plumb from the stair tread nosing.</p> <p>25. 20) The minimum width of stairways shall not be less than 36 inches, the minimum run shall be 9 inches and the maximum riser height shall be 8 inches. 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There shall not be a variation of greater than 3/8 inch between any riser, the minimum head-room clearance shall be 6'-8" inches as measured plumb from the stair tread nosing.</p>	<p>State Building Code</p> <p>The Nebraska State Building Code is comprised of the model code editions listed below with Nebraska State Amendments. For your convenience, the Nebraska State Energy Code is available in its entirety. The 2018 editions of the codes listed below are currently in effect. The State Building Code (SBC) is the minimum construction requirement for the state of Nebraska and includes:</p> <ul style="list-style-type: none"> 2018 International Building Code (Includes the 2018 International Existing Building Code, 2018 International Swimming Pool and Spa code, and 2009 ICC/ANSI A117.1) 2018 International Mechanical Code (Includes the 2018 International Fuel Gas Code, 2017 International Liquified Petroleum Gas Code (NFPA 58), and 2018 National Fuel Gas Code (NFPA 54) as it applies to LP Gas installations) 2018 International Commercial Code 2018 Uniform Plumbing Code 2018 Nebraska State Energy Code National Electrical Code (NFPA 70) - Please see the Department of Labor and Industries for information on the adoption and amendment of the National Electrical Code <p>The 2018 editions of the model codes with Nebraska State Amendments went into effect on February 1, 2021.</p>	<p>CONTRACTOR: Anthony David Builders Attn: S. Stager 402-312-9840 Aaron@anthonydavidbuilders.com</p> <p>DESIGNER: NORTON @ karman Tel: 240-395-3672</p> <p>STRUCTURAL ENG: Barrett Creek</p> <p>OWNER: ALD Properties LLC jash375915@gmail.com TEL+1252-655-1056</p> <p>Address: 26099 Fort Cir Valley, NE 68064</p>	<p>PROJECT LOCATION: 26099 Fort Cir Valley, NE 68064</p> <p>SQ/LOT: -----</p> <p>ZONING: -----</p> <p>OCCUPANCY TYPE: Industrial</p> <p>LOT Area: -----</p> <p>Building Area: 9 600 Sq Ft</p>																																										
		<p>DISCLOSURE STATEMENT</p> <p>THIS SET OF DRAWINGS IS TO COMMUNICATE TO THE GENERAL CONTRACTOR AND THE INDIVIDUAL SUB-CONTRACTORS THE GENERAL INTENT OF THE DESIGN. A CONTRACTOR'S BID THAT IS BASED ON THESE DRAWINGS SHALL BE UNDERSTOOD TO INDICATE THAT THE CONTRACTOR UNDERSTANDS THE INTENT OF THE DRAWINGS, FINDS THEM SUFFICIENTLY EXPLICIT FOR THEIR USE IN IMPLEMENTATION OF THE CONSTRUCTION, IS THOROUGHLY FAMILIAR WITH THE EXISTING CONDITIONS AND ACCEPTS THE REQUIREMENTS FOR FIRST QUALITY MATERIALS, WORKMANSHIP & FINISHES TO SATISFACTION OF THE ARCHITECT. IT IS THE CONTRACTOR'S RESPONSIBILITY THAT ALL WORK CONFORM WITH EACH AND EVERY APPLICABLE CODE, ORDINANCE AND REGULATION ISSUED BY ANY ENTITY OR GOVERNMENTAL AGENCY HAVING AUTHORITY OR JURISDICTION THEREOF. THE CONTRACTOR SHALL FILE FOR ANY AND ALL PERMITS AND PAY FOR ANY FEES CONNECTED THERETO.</p> <p>IT IS THE CONTRACTOR, NOT THE ARCHITECT WHO SHALL BE RESPONSIBLE FOR SUPERVISION AND COORDINATION OF ALL PHASES OF THE WORK FROM START TO THESE DRAWINGS SHALL NOT BE SCALED FOR ANY REASON. NOTIFY THE ARCHITECT IF ADDITIONAL DIMENSIONS ARE REQUIRED FOR ANY REASON.</p> <p>RIGHT, TITLE AND INTEREST IN THE DESIGN, THE DRAWINGS AND ANY SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN PROPERTY OF CBC2 Construction LLC, WHETHER OR NOT THE PROJECT IS COMMENCED, EXECUTED OR COMPLETED.</p>	<p>26099 Fort Cir Valley, NE 68064</p> <p>LAND USE</p> <table border="1"> <thead> <tr> <th></th> <th>EXISTING</th> <th>CODE</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>STORIES</td> <td>1</td> <td>1</td> <td>1</td> </tr> <tr> <td>LAND USE</td> <td>Industrial</td> <td>N/A</td> <td>Industrial</td> </tr> <tr> <td>HEIGHT</td> <td>23'-0" Ft</td> <td>23'-0" Ft</td> <td>23'-0" Ft</td> </tr> <tr> <td>LOT COVERAGE</td> <td>Sq Ft</td> <td>40%</td> <td>Sq Ft</td> </tr> <tr> <td>BUILDING AREA</td> <td>9 600 Sq Ft</td> <td>N/A</td> <td>Sq Ft</td> </tr> <tr> <td>PARKING</td> <td>-----</td> <td>N/A</td> <td>Existing Pad</td> </tr> </tbody> </table> <p>BUILDING CODE INFORMATION</p> <table border="1"> <thead> <tr> <th>CONST. TYPE</th> <th>CMU/Frame/Brick</th> </tr> <tr> <th>USE GROUP</th> <th>R-20</th> </tr> <tr> <th>APPLIED CODES</th> <th>IRC 2015 IMC 2015 POC 2015 IFC 2015 DCMR 12-2013 SUPPLEMENTAL DCMR 12-2013 DCEPA OF 1989 DCMR TITLE 11-ZONING REGULATIONS GREEN BUILDING ACT 2012 NECC 2012 W/ AMENDMENTS NFPA 13D 2019</th> </tr> </thead> <tbody> <tr> <td>CONST. CLASS.</td> <td>Exterior Bearing Walls: 0 HR Interior Bearing Walls: 0 HR Exterior Non-Bearing Walls: 0 HR Int. Non-Bear Wals: 0 HR Floor Construction: 0 HR Roof Construction: 0 HR Floor/Wall Btrn Dwellings: 1 HR Party Walls: 2 HR</td> </tr> </tbody> </table>		EXISTING	CODE	PROPOSED	STORIES	1	1	1	LAND USE	Industrial	N/A	Industrial	HEIGHT	23'-0" Ft	23'-0" Ft	23'-0" Ft	LOT COVERAGE	Sq Ft	40%	Sq Ft	BUILDING AREA	9 600 Sq Ft	N/A	Sq Ft	PARKING	-----	N/A	Existing Pad	CONST. TYPE	CMU/Frame/Brick	USE GROUP	R-20	APPLIED CODES	IRC 2015 IMC 2015 POC 2015 IFC 2015 DCMR 12-2013 SUPPLEMENTAL DCMR 12-2013 DCEPA OF 1989 DCMR TITLE 11-ZONING REGULATIONS GREEN BUILDING ACT 2012 NECC 2012 W/ AMENDMENTS NFPA 13D 2019	CONST. CLASS.	Exterior Bearing Walls: 0 HR Interior Bearing Walls: 0 HR Exterior Non-Bearing Walls: 0 HR Int. Non-Bear Wals: 0 HR Floor Construction: 0 HR Roof Construction: 0 HR Floor/Wall Btrn Dwellings: 1 HR Party Walls: 2 HR								
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		<p>LOCATION MAP</p>	<p>ARCHITECT DRAWINGS</p> <table border="1"> <thead> <tr> <th>Sheet No.</th> <th>Sheet Name</th> </tr> </thead> <tbody> <tr> <td>A000</td> <td>COVER PAGE@ NOTES</td> </tr> <tr> <td>A001</td> <td>GROUND FLOOR PLAIN</td> </tr> <tr> <td>A002</td> <td>ELEVATION DRAWING-1</td> </tr> <tr> <td>A003</td> <td>ELEVATION DRAWING-2</td> </tr> <tr> <td>A004</td> <td>ROOF DRAWING</td> </tr> <tr> <td>S001</td> <td>SO01</td> </tr> <tr> <td>S002</td> <td>FOUNDATION & FIRST FLOOR FRAMING PLAN</td> </tr> <tr> <td>S003</td> <td>ROOF FLOOR FRAMING PLAN</td> </tr> <tr> <td>S004</td> <td>TYPICAL DETAILS AND SECTIONS</td> </tr> <tr> <td>S005</td> <td>TYPICAL DETAILS AND SECTIONS</td> </tr> <tr> <td>S006</td> <td>TYPICAL DETAILS AND SECTIONS</td> </tr> <tr> <td>S007</td> <td>HOLD DOWN AND WALL BRACING PLAN</td> </tr> <tr> <td>S008</td> <td>HOLD DOWN AND WALL BRACING PLAN</td> </tr> <tr> <td>E001</td> <td>ELECTRICAL NOTES</td> </tr> <tr> <td>E002</td> <td>FIRST FLOOR ELECTRICAL LIGHTING</td> </tr> <tr> <td>E003</td> <td>FIRST FLOOR ELECTRIC POWER</td> </tr> <tr> <td>P001</td> <td>PLUMPING NOTES</td> </tr> <tr> <td>P002</td> <td>FIRST FLOOR HOT AND COLD WATER</td> </tr> <tr> <td>P003</td> <td>FIRST FLOOR SANITARY DRAINAGE SYSTEM PLAN</td> </tr> <tr> <td>H001</td> <td>HVAC NOTES</td> </tr> <tr> <td>H002</td> <td>FIRST FLOOR HVAC DISTRIBUTION PLAN</td> </tr> </tbody> </table>	Sheet No.	Sheet Name	A000	COVER PAGE@ NOTES	A001	GROUND FLOOR PLAIN	A002	ELEVATION DRAWING-1	A003	ELEVATION DRAWING-2	A004	ROOF DRAWING	S001	SO01	S002	FOUNDATION & FIRST FLOOR FRAMING PLAN	S003	ROOF FLOOR FRAMING PLAN	S004	TYPICAL DETAILS AND SECTIONS	S005	TYPICAL DETAILS AND SECTIONS	S006	TYPICAL DETAILS AND SECTIONS	S007	HOLD DOWN AND WALL BRACING PLAN	S008	HOLD DOWN AND WALL BRACING PLAN	E001	ELECTRICAL NOTES	E002	FIRST FLOOR ELECTRICAL LIGHTING	E003	FIRST FLOOR ELECTRIC POWER	P001	PLUMPING NOTES	P002	FIRST FLOOR HOT AND COLD WATER	P003	FIRST FLOOR SANITARY DRAINAGE SYSTEM PLAN	H001	HVAC NOTES	H002	FIRST FLOOR HVAC DISTRIBUTION PLAN
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			<p>Project BUILDING B3</p> <p>Owner ALD Properties LLC</p> <p>LOCATION 26099 Fort Cir Valley, NE 68064</p> <p>Drawing Title COVER</p> <p>Date 23/03/2022 Issue PROGRESS SET</p> <p>Dwn By M@K@B Chkd By Job No.</p> <p>Sheet No. A-0</p>																																												





Notes Consultants

Project
BUILDING B3

Owner
ALD Properties LLC

LOCATION
26099 Fort Cir Valley, NE 68064

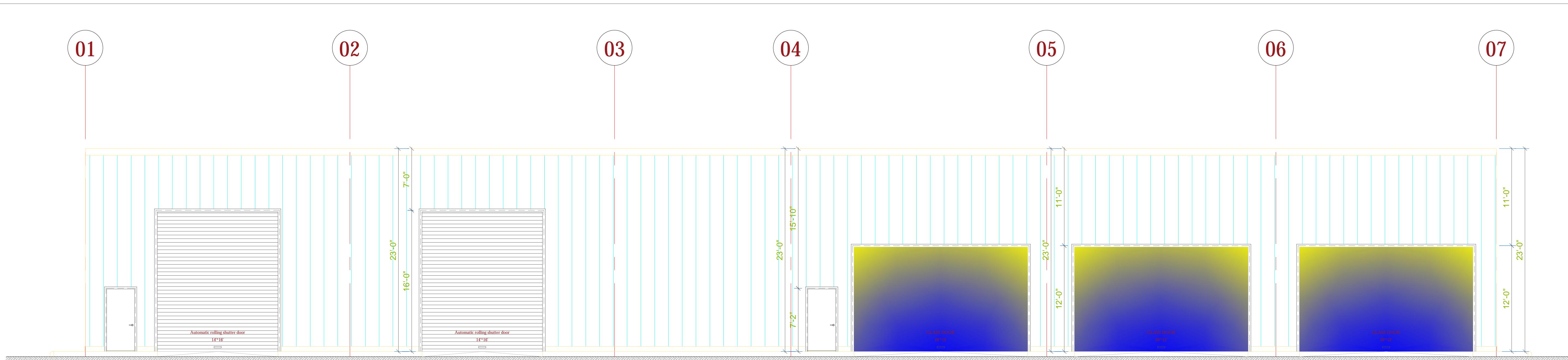
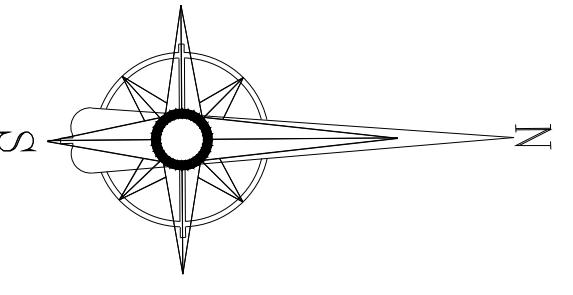
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Date 23/03/2022 Issue PROGRESS SET

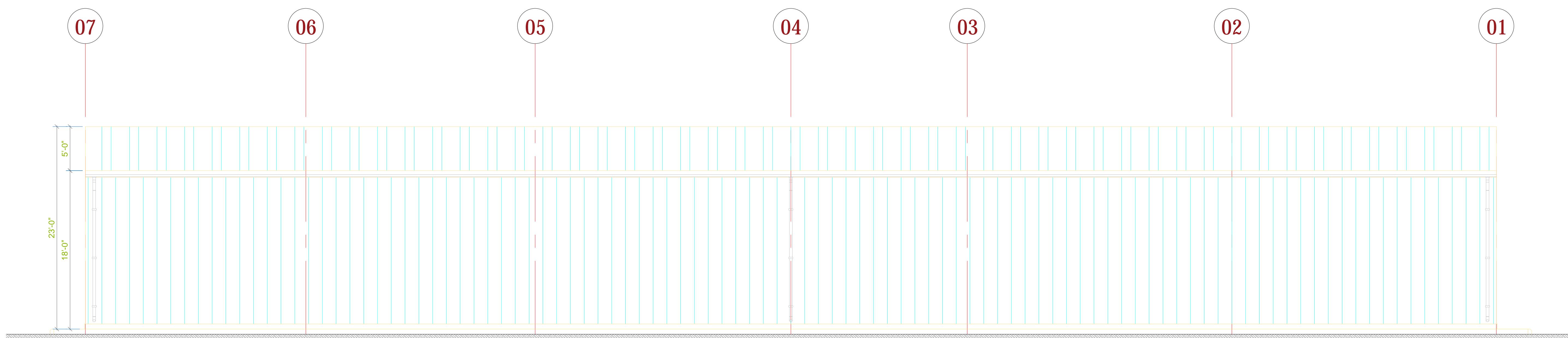
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Chkd By _____
Job No. _____

Sheet No.

A-1



1
A-2 FRONT ELEV.



2
A-2 BACK ELEV.

Notes Consultants

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BUILDING B3

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26099 Fort Cir Valley, NE 68064

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ELEVATION

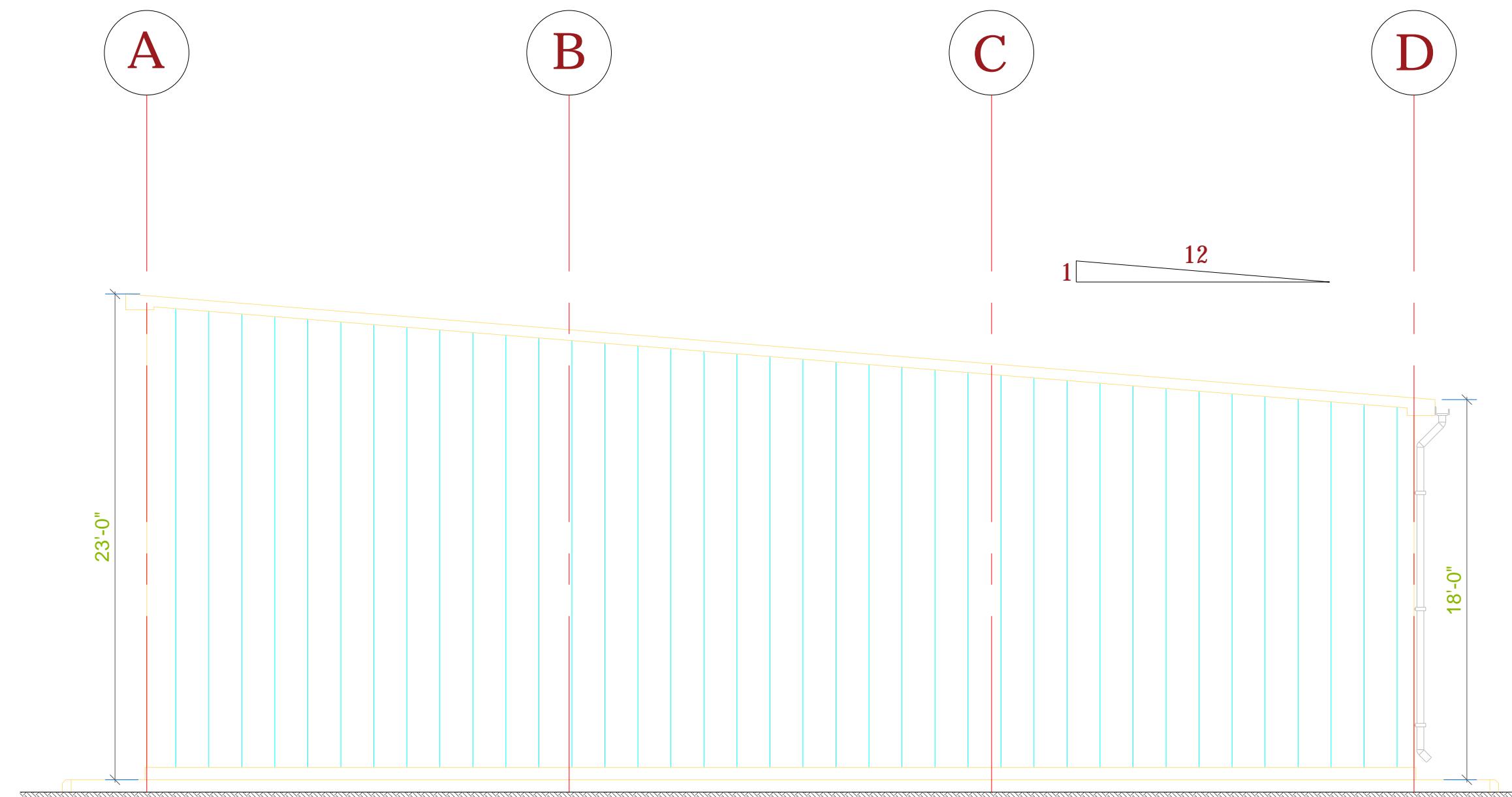
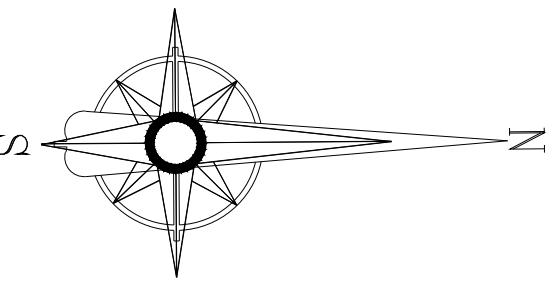
Date 23/03/2022 Issue PROGRESS SET

SCALE FEET

Dwn By M@K@B
Chkd By _____
Job No. _____

Sheet No.

A-2



1
A-3

RIGHT ELEV.

2
A-3

LEFT ELEV.

A scale bar and north arrow are located at the bottom of the map. The scale bar is a horizontal line with vertical tick marks. Above the tick marks are numerical values: 0.0, 1.0', 2.0', 6.0', and 12'. To the left of the scale bar, the word "SCALE" is written above "FEET". To the right of the scale bar, a north arrow is a black L-shaped line pointing upwards and to the right.

Dwn By M@K@B
Chkd By
Job No.

Sheet No

A-3

Notes *Consultants*

Project

WU DING B3

Owner

Properties LLC

LOCATION

ir Valley NE 68064

Drawing Title

E V A T I O N

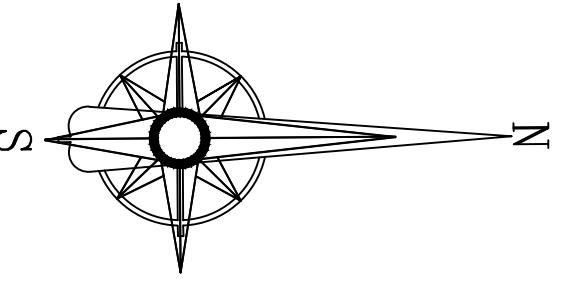
Date

PROGRESS SET

B. B.

Sheet No

A-3



Notes Consultants

Project
BUILDING B3

Owner
ALD Properties LLC

LOCATION
26099 Fort Cir Valley, NE 68064

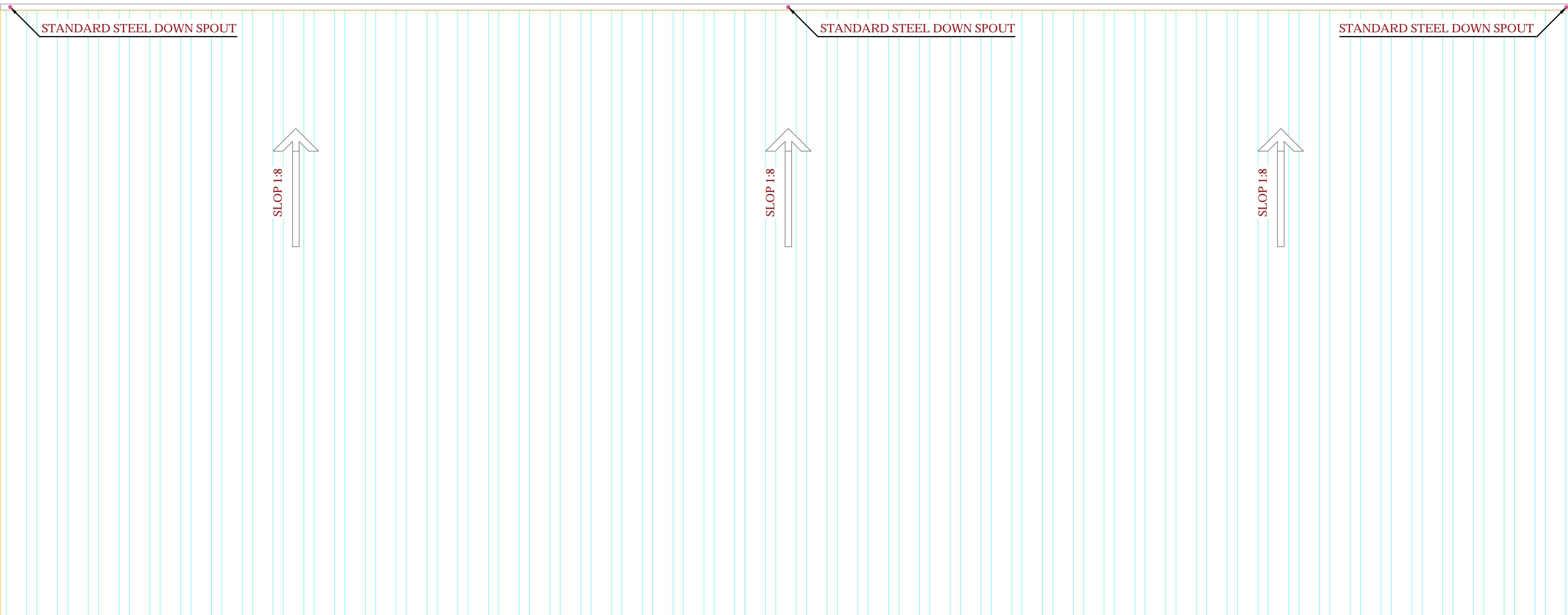
Drawing Title
LAYOUT

Date Issue
23/03/2022 PROGRESS SET

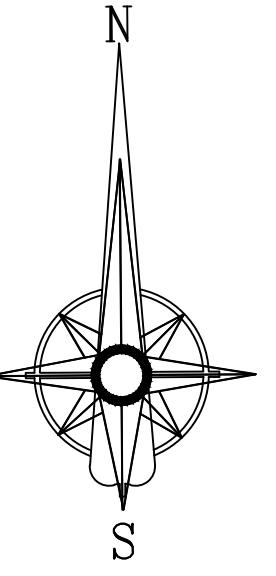
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Chkd By _____
Job No. _____

Sheet No.

A-4



1
A-4 LAYOUT



ELECTRICAL PLAN NOTE:

- ELECTRICAL LAYOUT IS SHOWN AS SCHEMATIC ONLY. VERIFY WITH HOME OWNER AND CONSTRUCTION MANAGER FOR EXACT LOCATION OF ALL ELECTRICAL FIXTURES, SWITCHES, AND OUTLETS.

TECHNICAL SPECIFICATIONS

- THE CONDUCTORS SHALL BE 99.9% CONDUCTIBILITY COPPER WITH INSULATION FOR 600 VOLTS OF TYPE TW. THE CALIBERS ARE INDICATED IN THE RESPECTIVE.
- THE CONDUCTORS WILL BE PVC TUBES AND WITH DIAMETERS AS INDICATED IN THE PLAN, 20mm AT MINIMUM. THE PIPES WILL BE INSTALLED FOLLOWING THE STRAIGHT LINE POSSIBLE FROM BOX TO BOX.
- BOX FOR CENTER CURRENT SOCKETS ETC. THEY WILL BE OF THE TYPE OF IRON CAVITY AND MANUFACTURED BY STAMPING OF MINIMUM THICKNESS PLATE APPROPRIATE FOR EVERY EXIT.
- THE DISTRIBUTION BOARD WILL BE CONSTITUTED BY A METAL CABINET FORMED BY THE BOX THE FRAME AND THE COVER WITH PLATE AND THE BARS AND SWITCHES, WHICH MUST GO ISOLATED FROM THE ENTIRE CABINET.

Notes Consultants

Project
BUILDING B3

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LOCATION
26099 Fort Cir Valley, NE 68064

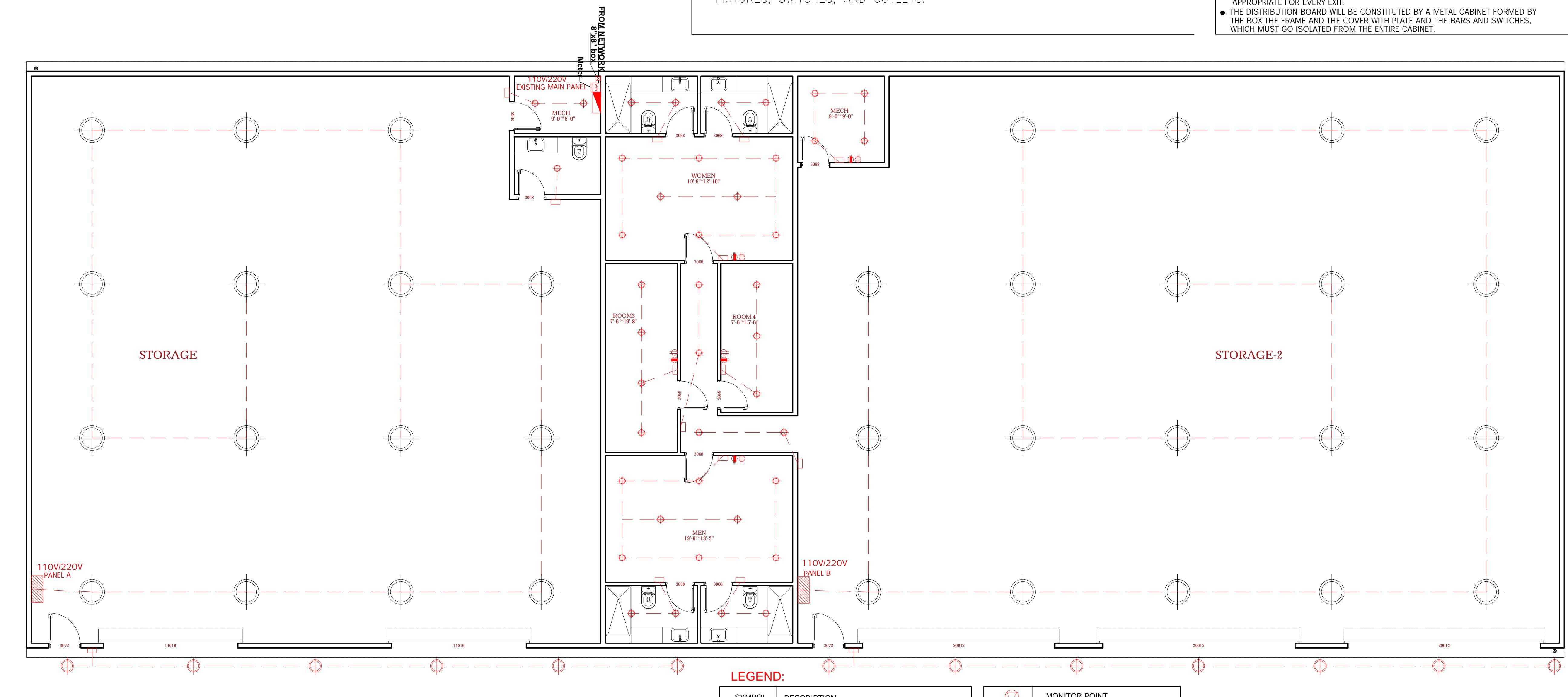
Drawing Title
FLOOR LIGHTING
CONTROLS LAYOUT

Date Issue
23/03/2022 PROGRESS SET

Dwn By M@K@B
Chkd By _____
Job No. _____

Sheet No.

E-1

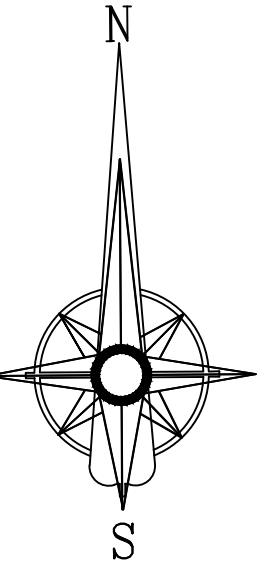


1 FLOOR LIGHTING CONTROLS LAYOUT
E-1

** LIGHTING & OUTLETS = KEEP TO MIN.

SYMBOL	DESCRIPTION
□	SWITCHING SWITCH IN BOX
Wh	KHW METER FOR YOUR INSTALLATION
○	UNIVERSAL TYPE SINGLE-PHASE OUTLET
□	OUTLET FOR LIGHTING ON THE WALL
○	OUTLET FOR CEILING LIGHT
▨	PANEL





ELECTRICAL PLAN NOTE:

ELECTRICAL LAYOUT IS SHOWN AS SCHEMATIC ONLY. VERIFY WITH HOME OWNER AND CONSTRUCTION MANAGER FOR EXACT LOCATION OF ALL ELECTRICAL FIXTURES, SWITCHES, AND OUTLETS.

TECHNICAL SPECIFICATIONS

- THE CONDUCTORS SHALL BE 99.9% CONDUCTIBILITY COPPER WITH INSULATION FOR 600 VOLTS OF TYPE TW. THE CALIBERS ARE INDICATED IN THE RESPECTIVE.
- THE CONDUCTORS WILL BE PVC TUBES AND WITH DIAMETERS AS INDICATED IN THE PLAN. 20mm AT MINIMUM: THE PIPES WILL BE INSTALLED FOLLOWING THE STRAIGHT LINE POSSIBLE FROM BOX TO BOX.
- BOXES FOR CENTER CURRENT SOCKETS ETC. THEY WILL BE OF THE TYPE OF IRON GALVANIZED, MANUFACTURED BY STAMPING OF MINIMUM THICKNESS PLATE APPROPRIATE FOR EVERY EXIT.
- THE DISTRIBUTION BOARD WILL BE CONSTITUTED BY A METAL CABINET FORMED BY THE BOX THE FRAME AND THE COVER WITH PLATE AND THE BARS AND SWITCHES, WHICH MUST GO ISOLATED FROM THE ENTIRE CABINET.



Notes Consultants

Project
BUILDING B3

Owner
ALD Properties LLC

LOCATION
26099 Fort Cir Valley, NE 68064

Drawing Title
FLOOR POWER PLAN

Date
23/03/2022

Issue
PROGRESS SET

Dwn By
M@K@B
Chkd By
Job No.

Sheet No.

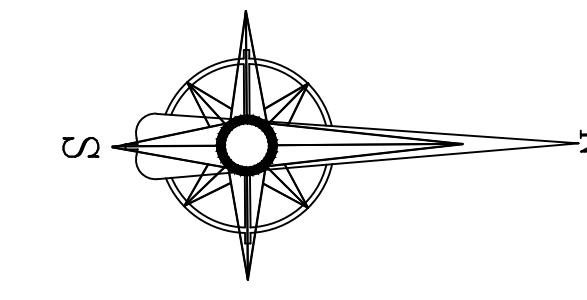
E-2



1
E-2
FLOOR POWER PLAN

** LIGHTING & OUTLETS = KEEP TO MIN.

PLUMBING SPECIFICATIONS



OBTAI ALL PERMITS AND GIVE ALL NOTICES NECESSARY FOR COMPLETION OF WORK. SECURE ALL APPROVALS AND CERTIFICATES OF INSPECTION REQUIRED FOR ACCEPTANCE OF WORK AND TRANSMIT TO OWNER AT COMPLETION OF WORK. ALL WORK SHALL COMPLY WITH THE 2012 NEW JERSEY PLUMBING CODE

ALL PIPE FITTINGS, WASTE LINES AND WASTE VENTING LINES SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE SHOWN ON PLANS OR SPEC'D.

ALL HOT AND COLD WATER PIPING SHALL BE HARD DRAWN COPPER TUBE MADE-UP WITH WROUGHT COPPER FITTINGS AND 95-5 TIN-ANTIMONY SOLDER OR APPROVED "PEX" TUBING. BELOW GRADE PIPING SHALL BE

TYPE "K", AND OTHER COPPER PIPING SHALL BE TYPE "L". GATE VALVES SHALL BE JENKINS #1242 OR EQUAL RATED AT 125 PSI. ALL WATER PIPING ABOVE EXPOSED CEILINGS AND IN AREAS EXPOSED TO OUTSIDE WEATHER SHALL BE INSULATED WITH 1/2" THICK FIBERGLASS PREFORMED PIPE INSULATION WITH VAPOR BARRIER. INSULATE ALL HOT WATER PIPING WITH 1"

THICK PREFORMED FIBERGLAS INSULATION WITH VAPOR BARRIER. PIPE INSULATION SHALL BE CONTINUOUS THROUGH HANGERS. ONE AIR CHAMBER TO BE PROVIDED FOR EACH GROUP OF FIXTURES, CHAMBER TO BE ONE PIPE SIZE LARGER THAN FIXTURE SUPPLY AND EXTEND 24" ABOVE EACH FIXTURE CONNECTION. PROVIDE SCHEDULE 40 PIPE SLEEVES FOR PIPE PENETRATION OF CONCRETE FLOORS. SEAL WITH MINERAL WOOL. PENETRATION OF RATED WALLS AND CEILINGS SHALL CONFORM TO 2009 NCSBC BY USING FIRE RETARDING MATERIAL.

PIPING

ALL EXPOSED PIPING SHALL BE RUN PARALLEL TO THE BUILDING LINES AND AS CLOSE TO WALLS AND CEILINGS AS IS PRACTICAL, WITH CORRECT PITCH AND CLEARANCE FOR ACCESS TO ALL PARTS REQUIRING SERVICE.

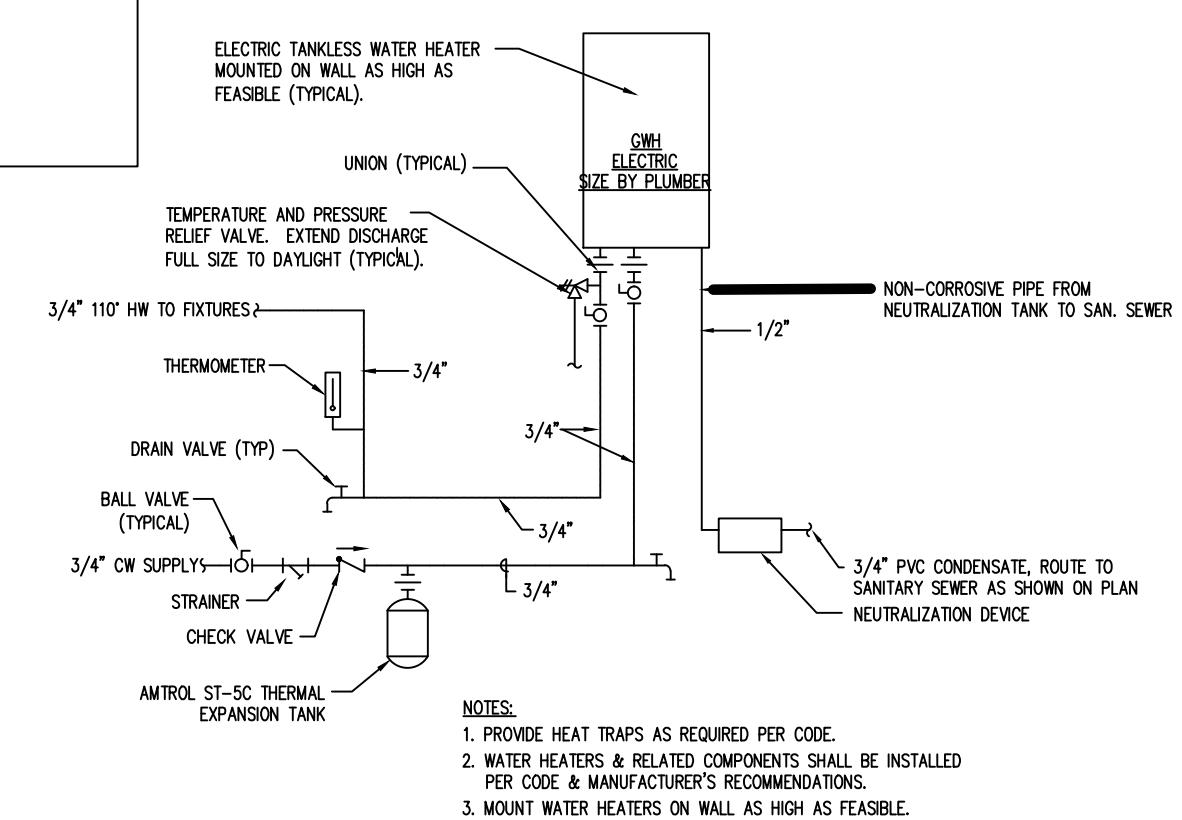
ALL PIPING, FITTINGS, ETC. SHALL BE KEPT AT A SUFFICIENT DISTANCE FROM OTHER WORK TO PERMIT A CLEARANCE OF NOT LESS THAN 1/2" BETWEEN THE FINISHED COVERING ON THE PIPING AND ADJACENT WORK.

VALVES, ACCESSORIES AND EQUIPMENT REQUIRING OPERATION OR SERVICE MUST BE EASILY ACCESSIBLE.

NO BULLHEADED CONNECTIONS WILL BE PERMITTED.

NOTE:
THIS PLAN IS SCHEMATIC IN NATURE. IT IS THE RESPONSIBILITY OF THE GC AND PLUMBING CONTRACTOR TO ROUTE WATER SUPPLY AND WASTE PIPING BEST METHOD AS SLAB IS EXISTING, TO BEST SUPPLY FIXTURES AS SHOWN. IF CONFLICTS OCCUR, NOTIFY NOTIFY DESIGNER FOR SOLUTIONS.

PLUMBING FIXTURES SPECIFIED BY GENERAL CONTRACTOR



TANKLESS WATER HEATER DETAIL

ALL PIPING WHILE BEING INSTALLED SHALL HAVE ENDS TIGHTLY CLOSED BEFORE LEAVING WORK AT ANY TIME, SO AS TO PREVENT ENTRANCE TO ANY FOREIGN MATTER.

SHOULD THIS CONTRACTOR RUN INTO AN IMPASSE DURING CONSTRUCTION, WHICH IN HIS OPINION PREVENTS THE PROPER INSTALLATION OF ANY HEATING EQUIPMENT, PLUMBING FIXTURE OR PIPING SYSTEM, HE SHALL CONTACT THE DESIGNER AND WAIT FOR THEIR DECISION IN WRITING BEFORE PROCEEDING.

DOMESTIC WATER PIPES RUNNING THROUGH DRY WALL FRAMING SHALL BE INSTALLED AT A DISTANCE BACK FROM FACE, SUFFICIENT TO PREVENT PUNCTURE BY WALLBOARD SCREWS AND NAILS.

PLUMBING CONTRACTOR SHALL MAKE NO DIRECT CONNECTIONS OF SOLDERED, BRAZED, WELDED, ETC. TO EQUIPMENT APPARATUS, VALVES, STRAINERS OR ACCESSORIED WITHOUT THE USE OF UNIONS. HE SHALL USE NO RIGHT OR LEFT HAND COUPLINGS, LONG THREADS, CAULKING, PIPE THREADS, OR JOINTS. MITERING OF PIPE OR TUBING IN LIEU OF ELBOWS, ETC. SHALL BE PROHIBITED.

ALL SEWER, DRAIN, WASTE, VENT AND WATER LINES SHALL BE RUN CONCEALED EXCEPT WHERE INDICATED. WHERE CONCEALING IS NOT POSSIBLE, THE DESIGNER MUST BE ADVISED.

PIPE INSULATION SHALL BE SLIPPED ON PIPE PRIOR TO CONNECTION WHERE POSSIBLE. BUTT JOINTS AND SEAMS WHERE REQUIRED SHALL BE SEALED WITH ADHESIVE AS RECOMMENDED BY MANUFACTURER OF INSULATION.

EXCAVATING AND BACK-FILLING BENEATH CONCRETE

THE PLUMBING CONTRACTOR SHALL DO ALL TRENCH AND PIT EXCAVATING AND BACK-FILLING REQUIRED FOR THE WORK INSIDE THE BUILDING. COMPACT BACK-FILL TO 95% MODIFIED PROCTOR.

SLEEVES AND FLASHING

PROVIDE FLASHING RINGS FOR ALL FLOOR DRAINS AND SLEEVES PASSING THROUGH ROOFING. FLASH DRAINS AND SLEEVES WITH 4 POUND LEAD EXTENDING A MINIMUM OF 12" ON ALL SIDES OF DRAINS AND SLEEVES. FLASHING FOR ROOF VENTS SHALL BE OF TWO PIECE CONSTRUCTION. BASE FLASHING IS TO BE FURNISHED BY PLUMBING CONTRACTOR, BUT INSTALLED BY GENERAL CONTRACTOR.

TESTING AND INSPECTION

TEST WATER LINES WITH WATER TO A PRESSURE OF 150 PSI. OBTAIN THIS PRESSURE BY A SEPARATE PUMP. TEST WATER LINES 24 HOURS WITHOUT PRESSURE DROP.

ANY DEFECTIVE MATERIAL OR WORKMANSHIP UNCOVERED BY THESE TESTS SHALL BE REMOVED OR REPAIRED. TESTS ARE TO BE REPEATED UNTIL LINES ARE TIGHT AND SEALED.

TEST SHALL BE MADE BEFORE LINES ARE CONCEALED OR COVERED AND IN THE PRESENCE OF THE OWNER OR HIS REPRESENTATIVE. UNDERGROUND LINES SHALL NOT BE COVERED UNTIL INSPECTED AND APPROVED BY THE OWNER.



Notes Consultants

Project
BUILDING B3

Owner
ALD Properties LLC

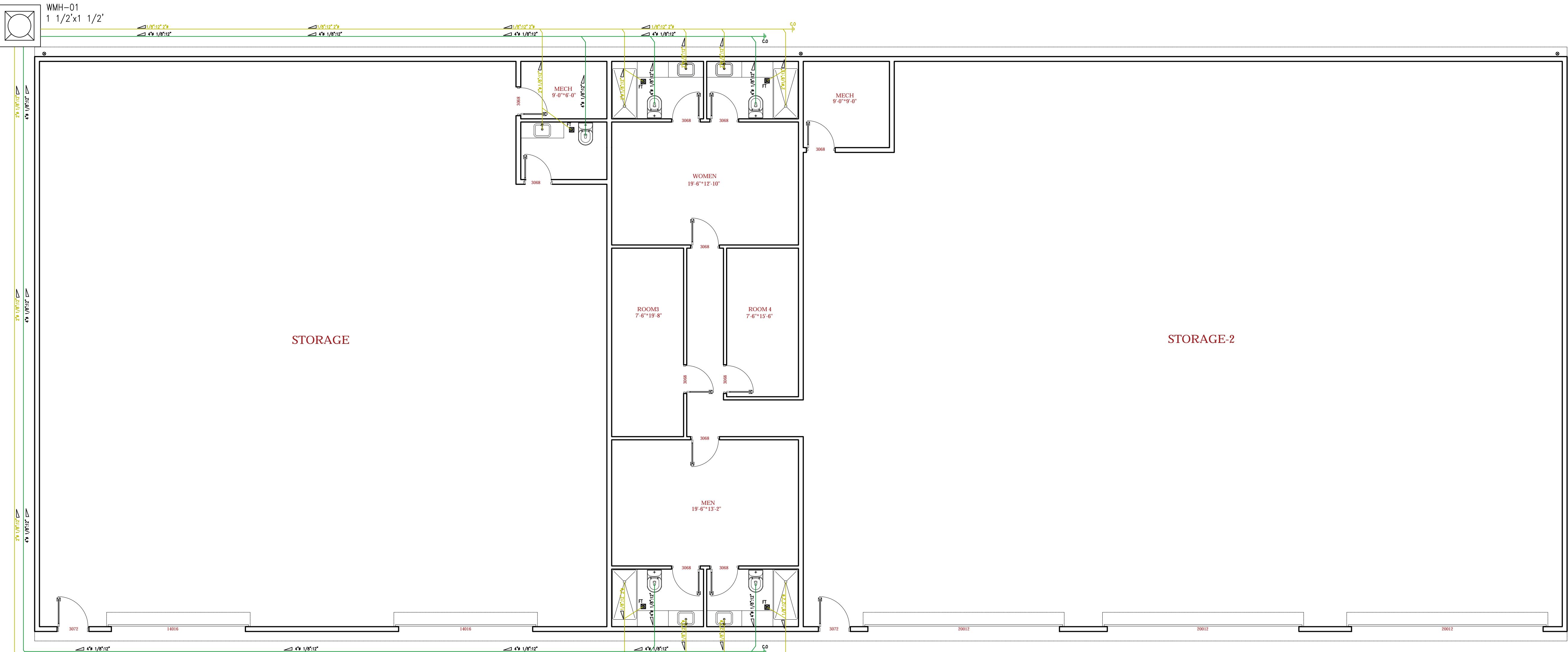
LOCATION
26099 Fort Cir Valley, NE 68064

Drawing Title
COVER

Date 23/03/2022 Issue PROGRESS SET

Dwn By M@K@B
Chkd By _____
Job No. _____

Sheet No. _____



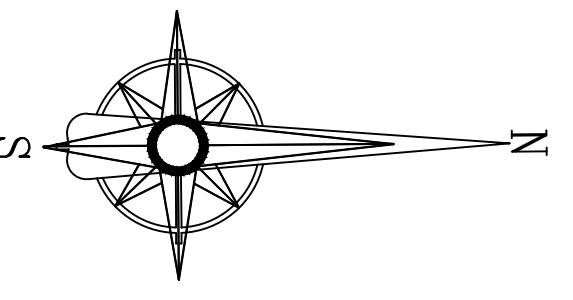
SCALE FEET

PLUMBING PLAN NOTE:

- PLUMBING LAYOUT IS SHOWN AS SCHEMATIC ONLY. VERIFY WITH HOME OWNER AND CONSTRUCTION MANAGER FOR EXACT LOCATION OF ALL PLUMBING FIXTURES.

PLUMBING LEGEND

	P.V.C WASTE PIPE		CLEAN OUT VALVE
	VENT PIPE		HOSE BIB
	HOT PIPE		BUTTERFLY VALVE
	COLD WATER		WATER METER
	IRRIGATION & RAIN WATER LEAD		WATER PUMP
	GAS		PRESSURE TANK
G—	CONDUIT UP OR DOWN		TANKLESS HOT WATER HEATER (LOCATION TO BE CONFIRMED ON SITE)
1/2" HW 1/2" DRAIN 1/2" CW	[C] C [C] C	RECESSED WASHING MACHINE BOX W/HOT & COLD WATER LEADS & DRAIN	



Notes Consultants

Project
BUILDING B3

Owner
ALD Properties LLC

LOCATION
26099 Fort Cir Valley, NE 68064

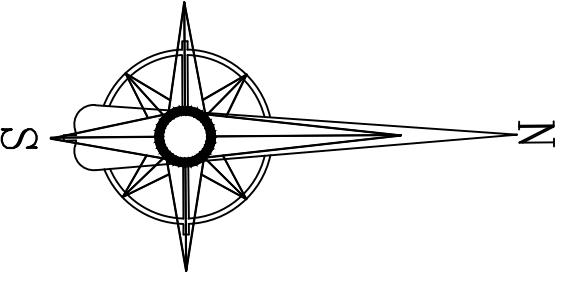
Drawing Title
SANITARY DRAINAGE
SYSTEM PLAN

Date Issue
23/03/2022 PROGRESS SET

Dwn By M@K@B
Chkd By _____
Job No. _____

Sheet No.

P-2



6-22-2022

Notes *Consultants*

Project

Owner

LOCATION

Drawing Title

**COLD & HOT WATER
DISTRIBUTION PLAN**

Date	Issue
23/03/2022	PROGRESS SET

Dwn By M@K@B
Chkd By
Job No.

Sheet No.

P-2



2

COLD & HOT WATER DISTRIBUTION PLAN

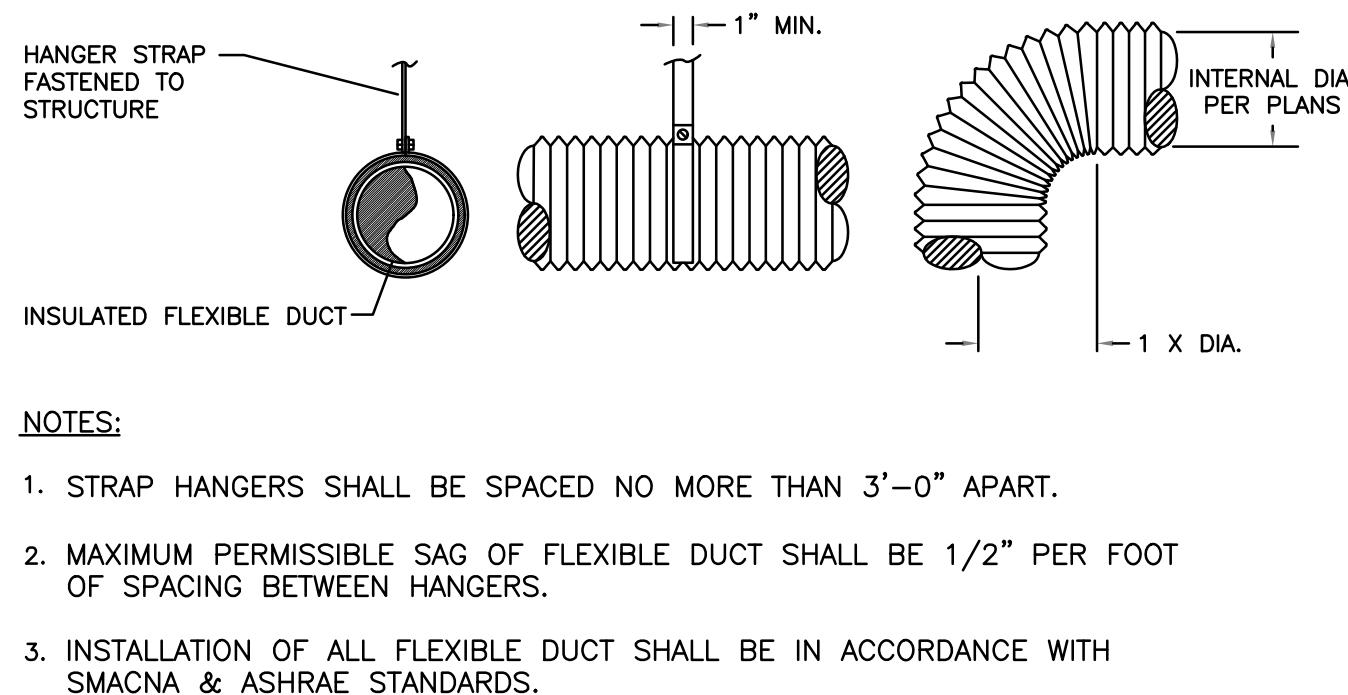
PLUMBING PLAN NOTE:

- PLUMBING LAYOUT IS SHOWN AS SCHEMATIC ONLY. VERIFY WITH HOME OWNER AND CONSTRUCTION MANAGER FOR EXACT LOCATION OF ALL PLUMBING FIXTURES

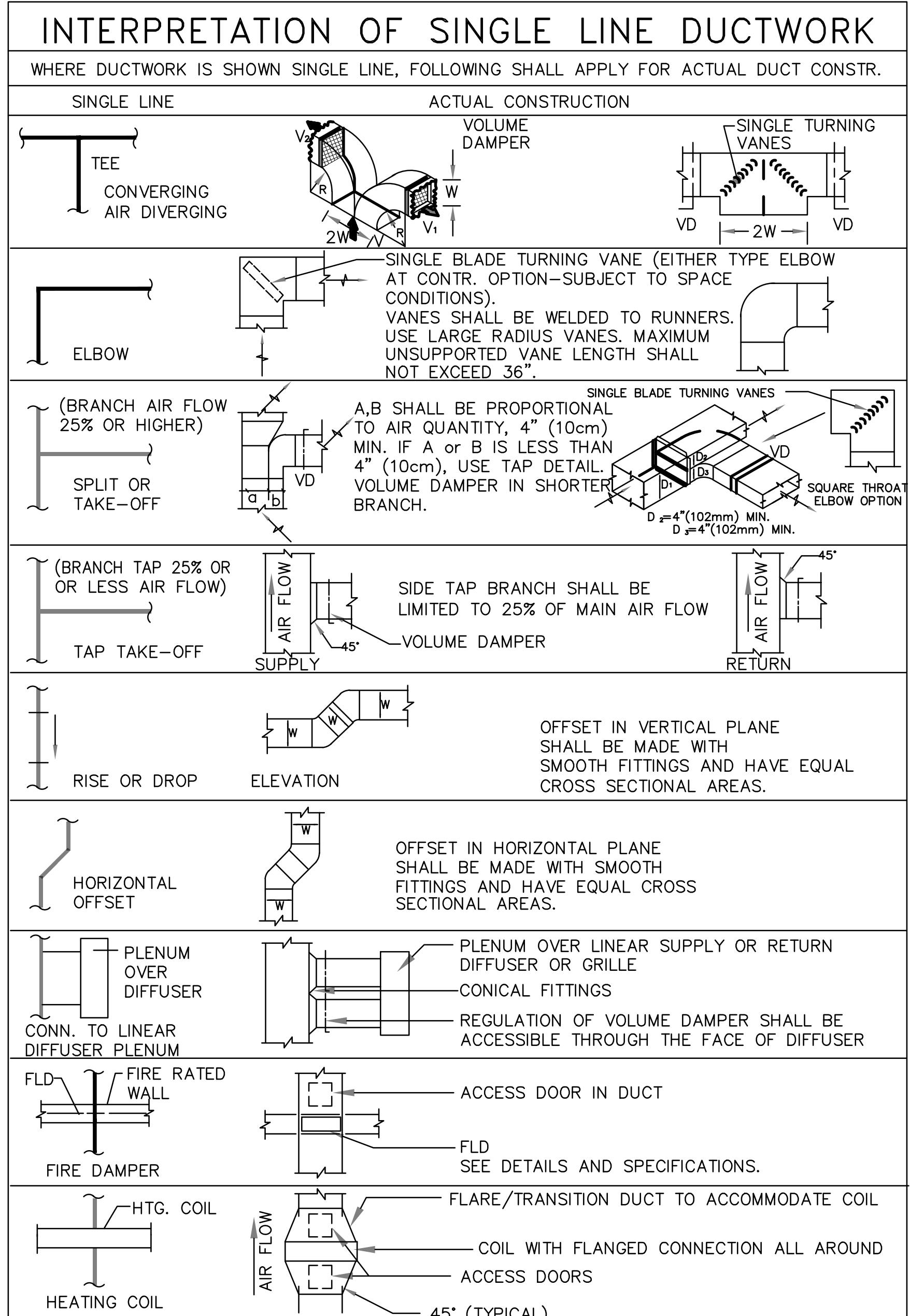


GENERAL NOTES :-

- 1 - ALL HVAC WORKS TO COMPLY WITH RELEVANT.
- 2 - CONDENSATION DRAINS FROM ALL AHU , FCU UNITS SHALL BE TRAPPED AS PER REQUIRED DEPTH (TO RESTRICT REVERSE AIR FLOW) AND DROPPED TO NEAREST DRAIN.
- 3 - THE CONTRACTOR SHALL SUBMIT, FOR APPROVAL, DETAILED SUBMITTALS AS SPECIFIED AND NO MATERIAL OR EQUIPMENT MAY BE DELIVERED TO THE JOB SITE OR INSTALLED UNTIL THE CONTRACTOR HAS IN HIS POSSESSION THE APPROVED. DATA SHEET OR SAMPLES OF PARTICULAR MATERIAL.
- 4 - PROVIDE DOUBLE REGULATING VALVE FOR MAIN BRANCHES ,EACH FLOOR, EACH AHU AND WHEREVER REQUIRED.
- 5 - ALL SUPPLY AIR TERMINALS (DIFFUSERS AND GRILLS) TO BE CONNECTED TO SUPPLY AIR DUCT VIA ROUND FLEXIBLE CONNECTION, AND PLENUMED BOX, LENGTH OF FLEXIBLE DUCT SHOULD NOT MORE THAN 2M
- 6 - SUPPLY AND EXHAUST REGISTERS/DIFFUSERS SHOULD BE PROVIDED WITH OPPOSED BLADE VOLUME DAMPER.
- 7 - SUPPLY CEILING DIFFUSER SHOULD BE CONNECTED TO PLENUM BOX AS PER SMACNA RECOMMENDATION.
- 8 - ALL AIR DUCTS AND PIPES WHICH PASS THROUGH BUILDING EXPANSION JOINT SHOULD PROVIDED WITH PROPER FLEXIBLE CONNECTION
- 9 - ALL HOT WATER PIPES SHOULD BE PROVIDED WITH THERMAL EXPANSION JOINT SPACED ACCORDING TO CALCULATIONS AND MANUFACTURER RECOMMENDATIONS
- 10 - ALL AIR HANDLING UNITS SHOULD BE PROVIDED WITH SOUND ATTENUATORS EXCEPT OPERATING ROOM AHU,S
- 11 - IT IS NOT ALLOWED TO USE DUCT INTERNAL LINING TO DAMPING NOISE
- 12 - IT IS NOT ALLOWED TO USE ANY FLEXIBLE DUCT IN OPERATING ROOMS TO CONNECT AIR DEVICES WITH DUCT, USE ONLY RIGID WATER TIGHT STANDARD CONNECTIONS.

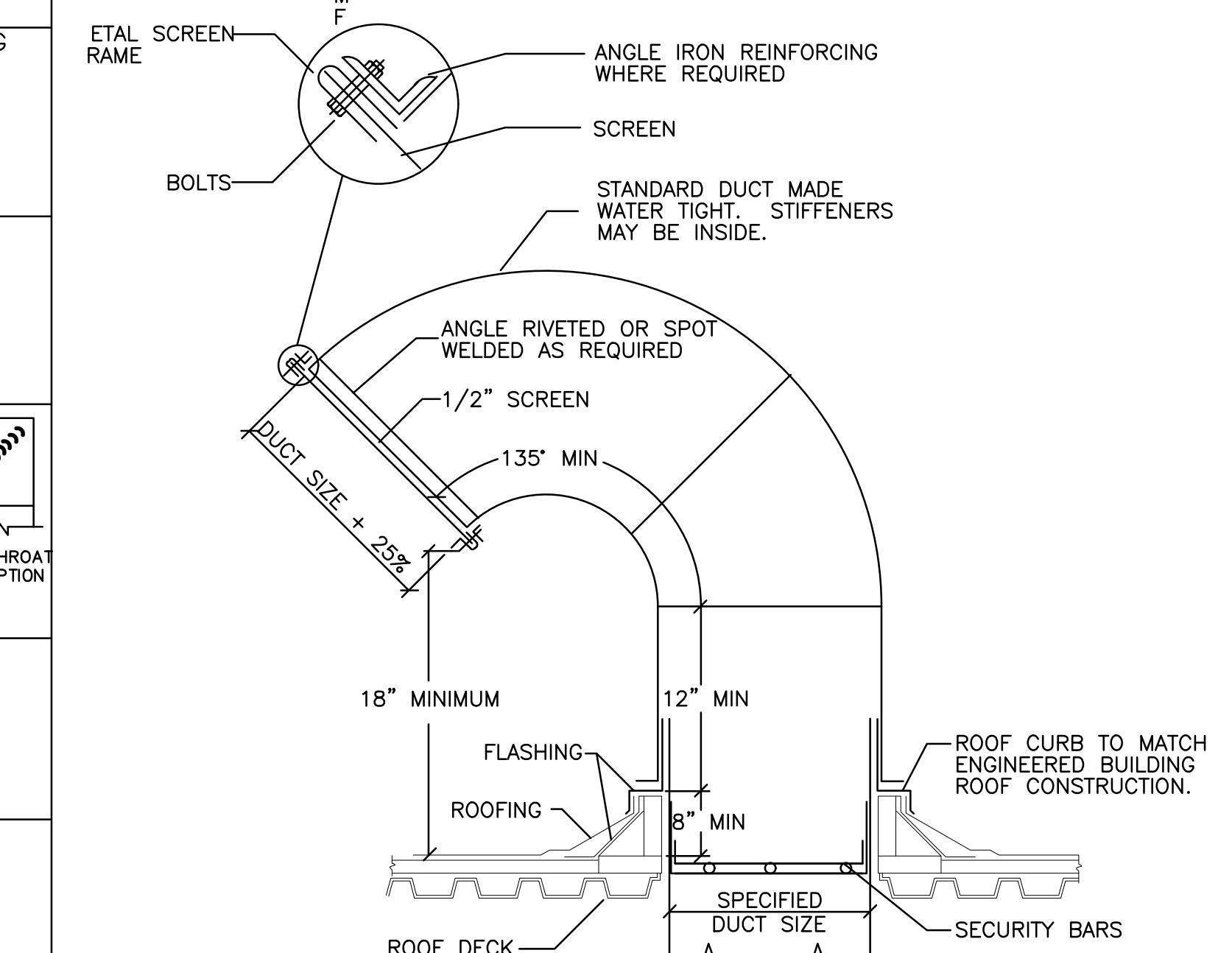


1 FLEXIBLE DUCT DETAIL
M1 SCALE: NONE

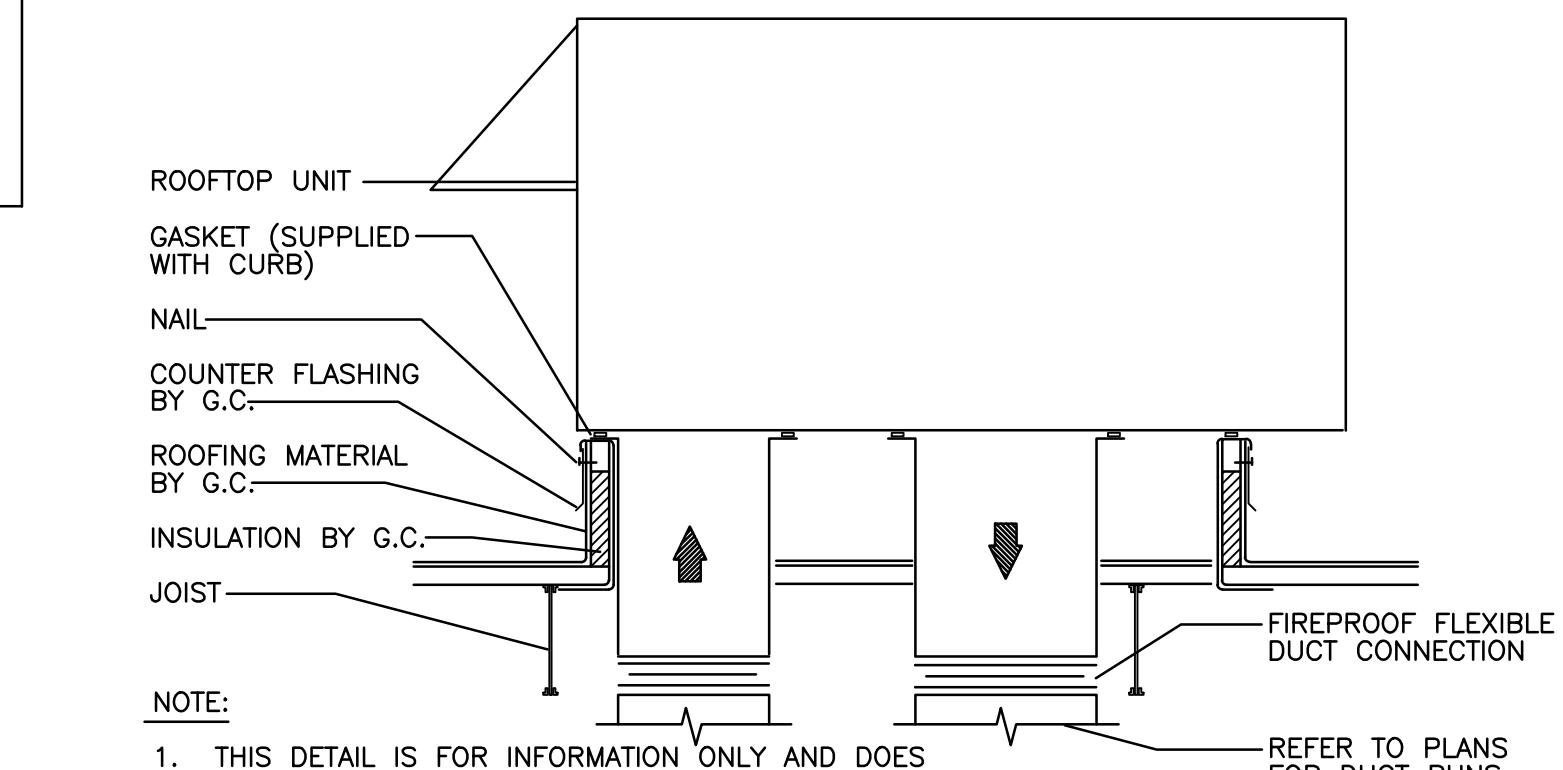


ABBREVIATIONS:

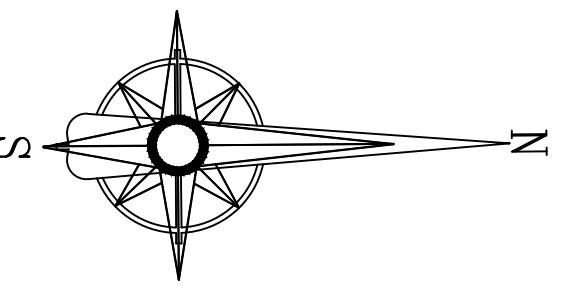
ABV	ABOVE
ABV CLG	ABOVE CEILING
COND	CONDENSATE
DN	DOWN
EA	EXHAUST AIR
G	GAS
OA	OUTSIDE AIR
RA	RETURN AIR
RG	RETURN GRILLE
SA	SUPPLY AIR
SG	SUPPLY GRILLE



3 RECTANGULAR GOOSENECK DETAIL
M1 SCALE: NONE



2 NEW ROOFTOP UNIT SIDE VIEW DETAIL
M1 SCALE: NONE



Notes Consultants

Project
BUILDING B3

Owner
ALD Properties LLC

LOCATION
26099 Fort Cir Valley, NE 68064

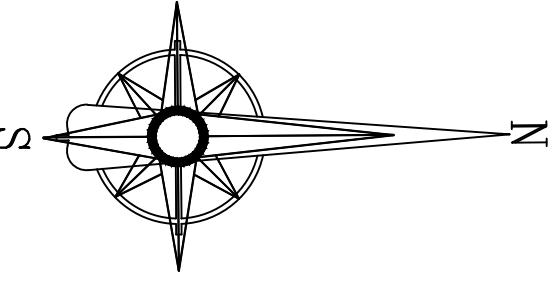
Drawing Title
HVAC

Date 23/03/2022 Issue PROGRESS SET

Dwn By M@K@B
Chkd By _____
Job No. _____

Sheet No.

H-1



SYMBOL	SERVICE	LOCATION	TOTAL BTU	O.A BTU	DIMENSION			VOLU(M CF)	QTY.	SUPPLY AIR FAN				COOLING COIL						HEATING COIL				WATER CONNECTION WATER PIPE (INCH.)	CONDENSATE PIPE (INCH.)	FILTER			ELECTRIC POWER			MODEL	BASIC OF DESIGN	REMARK			
					LENGTH ft	WIDTH ft	AVERAGE HEIGHT ft			E.S.P. (IN W.C.)	FAN QTY	HP	MOTOR QTY	GPM	EAT [°F]	DB	WB	DB	WB	TOT. SENS.	GPM	EAT [°F]	DB	WB	EAT [°F]	DB	WB	V.	Hz.	PH.	UNIT FLA						
					ft	ft	ft			ft	ft	ft	ft	ft	ft	ft	ft	ft	ft	ft	ft	ft	ft	ft	ft	ft	ft	ft	ft	ft							
AHU-1	STORAGE AREAS	MECHANICAL ROOM	2460	224	60	60	20.5	73800	1	0.75	0	0	0	25	55	66.9	82.4	68.8	60.5	58.8	77.8	53.3	25	52	44	47.8	82	70	1"Ø	3/4"Ø	MERV4	1	32'x30'	208	60	3	26.8
AHU-2	GYM-AREAS MEN LOCKER 19'-0" x 13'-2"	MECHANICAL ROOM	3280	298	80	60	20.5	98400	1	0.75	0	0	0	25	55	66.5	78.8	66.2	57.6	58.8	74.2	51.5	25	52	44	47.8	82	70	1"Ø	3/4"Ø	MERV5	2	32'x30'	208	60	3	26.8
AHU-3	SAUNA 7'-6" x 19'-8" TANNING BED 7'-6" x 15'-6"	MECHANICAL ROOM	101	9	7.5	19.75	20.5	3037	1	0.75	0	0	0	10	55	66.5	78.8	66.2	57.6	58.8	74.2	51.5	10	52	44	47.8	82	70	1"Ø	3/4"Ø	MERV4	1	32'x30'	208	60	3	26.8
	WOMEN LOCKER 19'-6" x 12'-10" 2 MECH 9'-0" x 6'-0""	MECHANICAL ROOM	79	7	7.5	15.5	20.5	2383	1	0.75	0	0	0	10	55	66.9	82.4	68.8	60.5	58.8	77.8	53.3	10	52	44	47.8	82	70	1"Ø	3/4"Ø	MERV5	2	32'x30'	208	60	3	26.8
			172	16	19.5	12.9	20.5	5157	1	0.75	0	0	0	10	55	66.5	78.8	66.2	57.6	58.8	74.2	51.5	10	52	47.5	62.5	82	70	1"Ø	3/4"Ø	MERV5	2	32'x30'	208	60	3	26.8
			37	3	9	6	20.5	1107	1	0.75	0	0	0	10	55	66.5	78.8	66.2	57.6	58.8	74.2	51.5	10	52	47.5	62.5	82	70	1"Ø	3/4"Ø	MERV5	2	32'x30'	208	60	3	26.8

Notes Consultants

EXHAUST FAN SCHEDULE							
NO.	SERVICE	TYPE	CFM	MAX SONES	V/PH	HP	MODEL
EF-1	M. BATH	CEILING EXHAUST FAN	200	0.8	120/1	1/10	GREENHECK
EF-2	BATH 2	CEILING EXHAUST FAN	100	0.8	120/1	1/10	GREENHECK
EF-3	POWDER	CEILING EXHAUST FAN	80	0.8	120/1	1/10	GREENHECK
EF-4	BATH 4	CEILING EXHAUST FAN	100	0.8	120/1	1/10	GREENHECK
EF-5	BATH 5	CEILING EXHAUST FAN	100	0.8	120/1	1/10	GREENHECK

Project
BUILDING B3

Owner
ALD Properties LLC

LOCATION
26099 Fort Cir Valley, NE 68064

Drawing Title

schedule

Date Issue
23/03/2022 PROGRESS SET

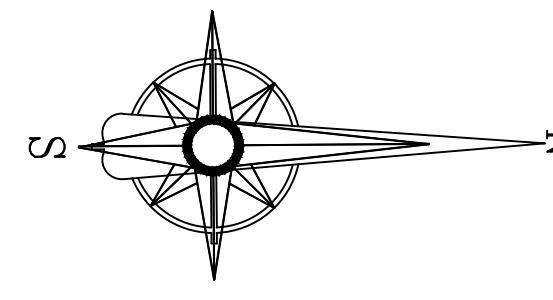
Dwn By M@K@B
Chkd By _____
Job No. _____

Sheet No.

H-2

AIR DEVICE SCHEDULE										
TAG NUMBER	CFM RANGE	NECK SIZE (# SLOTS)	FACE SIZE (INXIN)	THROW PATTERN	THROW (FT)	MAX. AFD (IN. WG.)	MAX. N.C.	MATERIAL	BASIS OF DESIGN	NOTE
①	0-125	6"	24x24	4-WAY	6	0.1	25	STEEL	24x24 PERF CEILING DIFFUSER MATCH EXISTING	1,2
	130-250	8"	24x24	4-WAY	10	0.1	25	STEEL		
	255-350	10"	24x24	4-WAY	13	0.1	25	STEEL		
②	0-1400	-	24x24	-	-	0.05	30	STEEL	PERF. CEILING RETURN MATCH EXISTING	2
③	0-160	7"	14x6	2-WAY	6	0.1	25	STEEL	SIDE THROW AIR GRILLE	1,2

1. THROW DATA IS BASED ON 50 FPM TERMINAL VELOCITY AT MAXIMUM CFM.
2. PROVIDE FRAME AND/OR ACCESSORIES AS REQUIRED TO MATCH CEILING TYPE. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.



Notes Consultants

Project
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ALD Properties LLC

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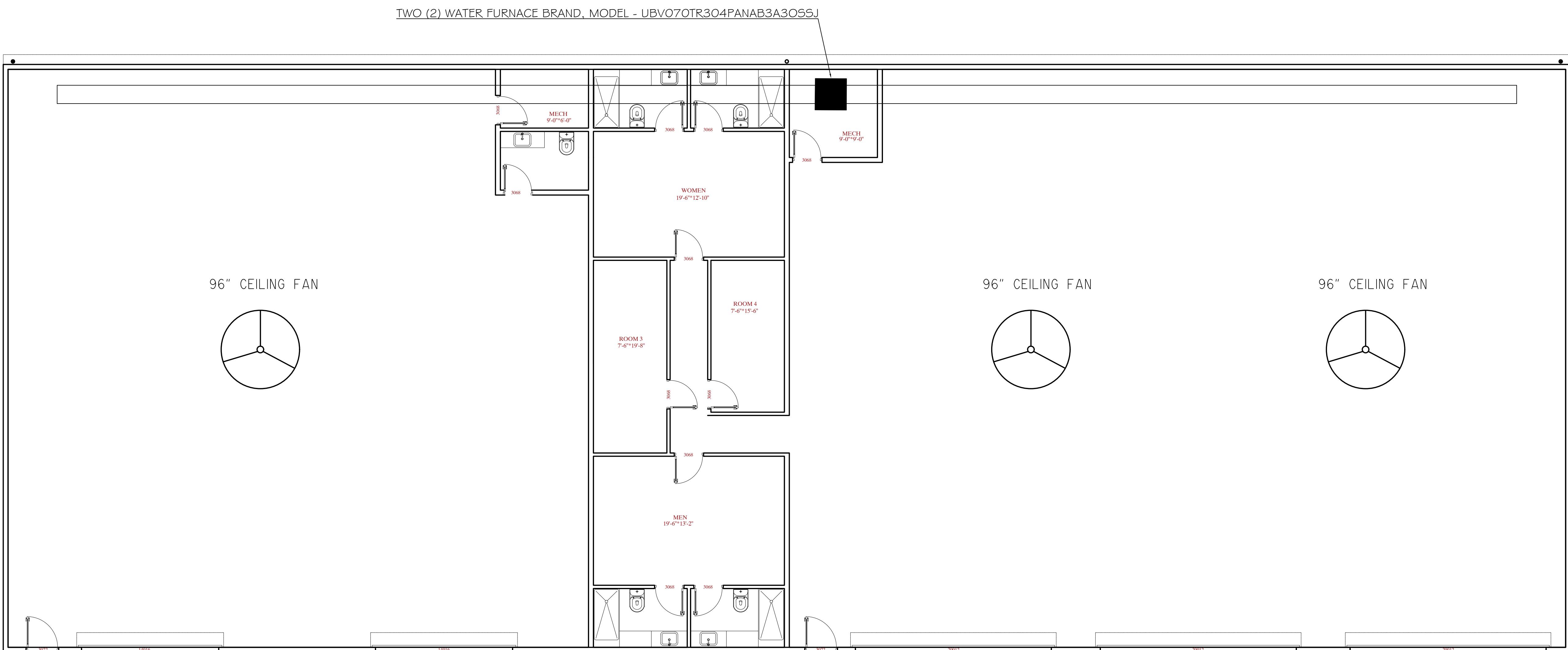
Drawing Title
FLOOR HVAC PLAN

Date	Issue
23/03/2022	PROGRESS SET

Dwn By M@K@B
Chka By _____
Job No. _____

Sheet No.

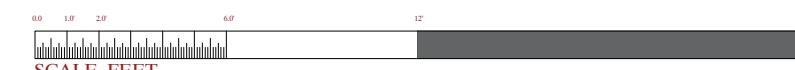
H-1



1
H-1 FLOOR HVAC PLAN

HVAC PLAN NOTE:

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GENERAL NOTES :-

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