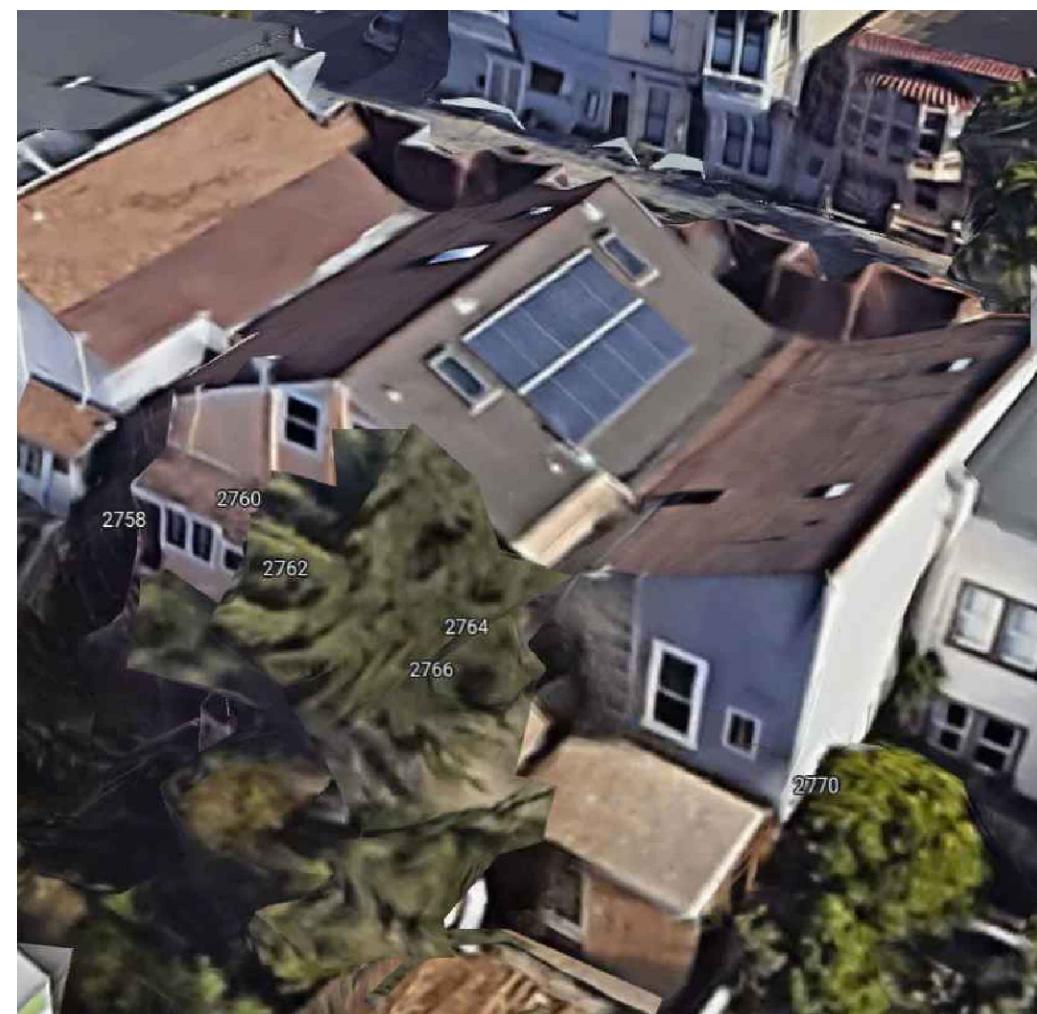
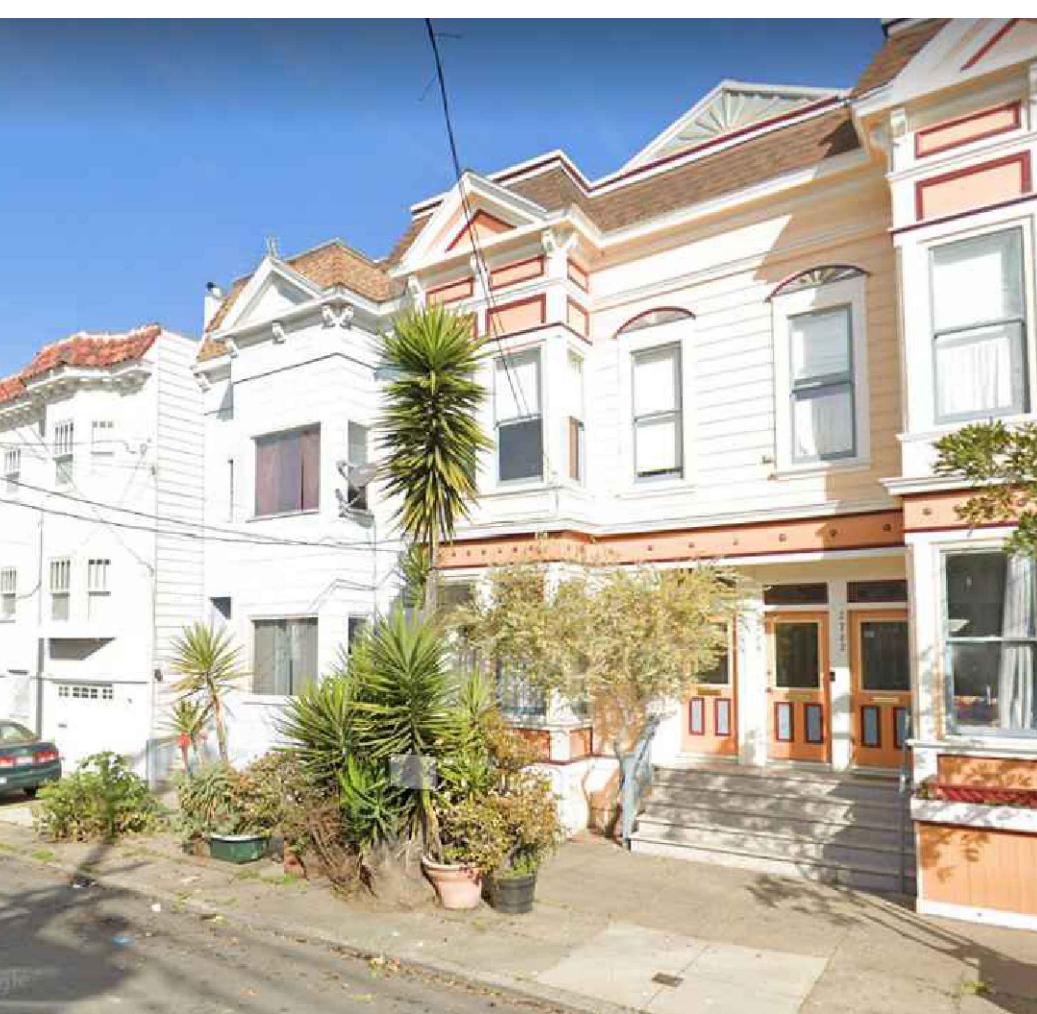
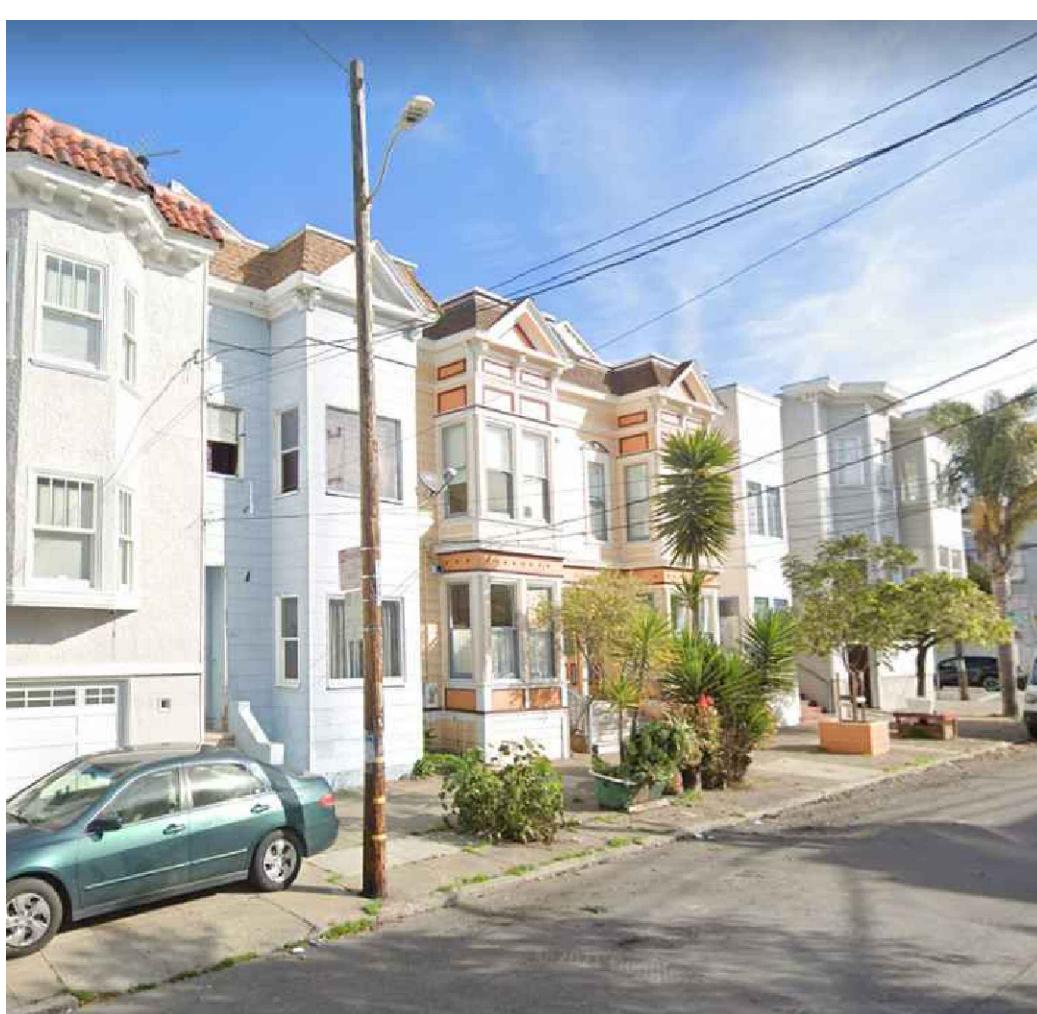
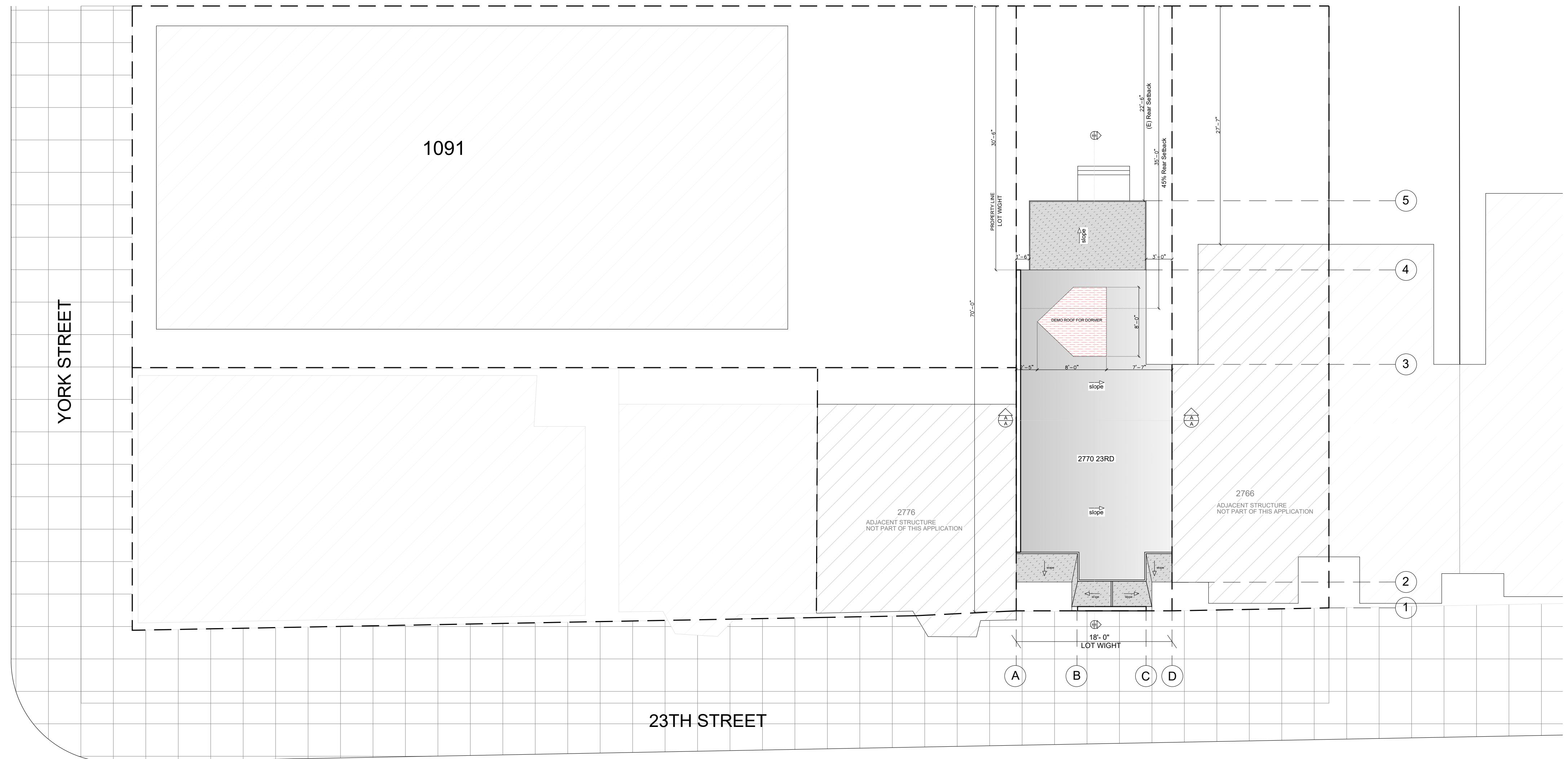
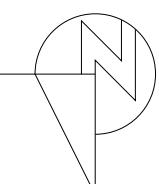


ABBREVIATIONS	GENERAL NOTES	SYMBOLS	DIRECTORY
ADJ. AF AL ALUM APPROX. B/T B.M. BLKG. BLDG. BLDG. CAB. CL. CLK. CLOS. CNTR. CONC. CONTINUOUS CORRIDOR DU. FT. DEPT. DTL. DIM. DISP. DBL. DHW. DWG. (E) EA. ELEC. ELEV. EMER. E. ETC. EXT. F.O. F.P. FIN. PNL. F.E. F.E.C. F.H.C. FLR. FP FP-1F, FP-2F... FURR. FT. GA. GALV. GEN. G.C. GFI or GFCI GWB GYP. H.B. H.C. H.M. HORIZ. HR. HT. H. INT. INTER. INSUL. J.C. JT. KICK KIT. LAM. LNDG. LAV. MAX. MFR. MECH. MD. MEMB. MEZZ. MIN. MISC. MTD. MUL. MTL. (N) N.I.C. N.T.S. NO. O.C. OFCI OFF. OPNG. OVL. PART. PNL. PNT. PT. PLAM. PLYWD. PT. PTN. B <sup>2</sup> OP. CITY. R. REF. REQ. R.R. RF. ROP. S.C.D. S.E.D. S.M.D. S.S.D. S.F. SQ. FT. SCT. SHR. SIM. SPEC. S.S. STL. STOR. STRUCT. T. T&G TBD TEL. TEMP. T.O. T.O.S. THRSHLD. TYP. U.O.N. U.N.O. UTIL. VAR. V.C.T. VERT. V.I.F. VOL. W. WIO. W.C. WD. WT. YD.	<p>1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL BUILDING CODES, ZONING CODES, THE NATIONAL ELECTRICAL CODE, N.E.P.A. &amp; ALL OTHER APPLICABLE CODES, AND REGULATION IN THEIR LATEST ADOPTED EDITION. THE CONTRACTOR IS RESPONSIBLE TO ENFORCE THESE REQUIREMENTS WITH ALL SUBCONTRACTORS.</p> <p>2. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE PROJECT AS IT RELATED TO THE PLANS AND SPECIFICATIONS AND ALL SCOPE OF WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPORT TO THE ARCHITECT ANY ERRORS, OMISSIONS OR DISCREPANCIES THAT MAY AFFECT THE WORK. THE ARCHITECT WILL PROVIDE APPROPRIATE CLARIFICATIONS AS NECESSARY. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE, IF INCORRECTLY PERFORMED, REPLACED OR REPAIRED AT THE CONTRACTOR'S EXPENSE AS DIRECTED BY THE ARCHITECT.</p> <p>3. DETAILS ARE USUALLY KEYED ON THE PLANS OR ELEVATIONS, AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT.</p> <p>4. ALL WORK SHALL BE PROPERLY PROTECTED AT ALL TIMES. THE CONTRACTOR SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER THE WORK. HE SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION.</p> <p>5. ALL PERMITS, INSPECTIONS, APPROVALS, ETC. SHALL BE APPLIED FOR AND PAID FOR BY THE CONTRACTOR. HE SHALL BE RESPONSIBLE FOR THE COORDINATION OF INSPECTIONS AND APPROVALS OF THE WORK.</p> <p>6. BEFORE COMMENCING WITH ANY WORK, THE CONTRACTOR SHALL SEND THE OWNER CURRENT INSURANCE CERTIFICATES IN THE AMOUNT REQUESTED BY THE OWNER FOR WORKMAN'S COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE.</p> <p>7. ALL SUBCONTRACTORS SHALL SUBMIT SHOP DRAWINGS TO THE CONTRACTOR FOR APPROVAL. THE CONTRACTOR SHALL SUBMIT ANY MATERIAL SUBSTITUTIONS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.</p> <p>8. ALL THERMAL AND ACOUSTIC INSULATION SHALL COMPLY WITH THE 1997 UNIFORM BUILDING CODE.</p> <p>9. THE ARCHITECT SHALL HAVE ACCESS TO THE PROJECT AT ALL TIMES. ANY INFERIOR MATERIAL OR WORKMANSHIP SHALL BE REMOVED AS DIRECTED BY THE ARCHITECT, AND RECONSTRUCTED TO MEET THE ARCHITECT'S APPROVAL.</p> <p>10. A COPY OF THE AGENCY APPROVED CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE AT ALL TIMES FOR REVIEW BY THE ARCHITECT.</p> <p>11. THE CONTRACTOR SHALL GUARANTEE IN WRITING ALL LABOR, MATERIAL, AND WORKMANSHIP INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR AFTER DATE OF ACCEPTANCE OF THE WORK BY THE OWNER. SHOULD DEFECTS, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO COST TO THE OWNER.</p> <p>12. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES AND PROMPTLY CLEAN UNKEMPT AREAS WHEN DIRECTED BY THE OWNER OF THE ARCHITECT.</p> <p>13. ALL FURNITURE IS SHOWN FOR REFERENCE ONLY, U.N.O.</p> <p>14. COORDINATE THE TRADES, CRAFTS, AND SUBCONTRACTS AS REQUIRED TO PROVIDE CORRECT AND ACCURATE CONNECTION OF ABUTTING, ADJOINING, OVERLAPPING AND RELATED WORK. PROVIDE ANCHORS, FASTENERS, BLOCKING, ACCESSORIES, APPURTENANCES, CAULKING AND SEALING AND OTHER ITEMS AS REQUIRED TO COMPLETE THE WORK PROPERLY, FULLY, AND CORRECTLY IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</p> <p>15. THE CONTRACTOR SHALL BE IN CHARGE OF THIS CONTRACT WITHIN THE LIMITS OF THE SITE AND ACCESS TO AND FROM THE SITE. HE SHALL DIRECT, SCHEDULE AND MONITOR THE WORK. FINAL RESPONSIBILITY FOR PERFORMANCE, INTERFACE AND COMPLETION OF THE WORK AND THE PROJECT SHALL BE THE CONTRACTORS.</p> <p>16. ALL MATERIALS AND FINISHES USED ON THE PROJECT SHALL BE NEW AND FREE OF DEFECTS OR DAMAGE, U.N.O.</p> <p>17. ITEMS OF EQUIPMENT, FIXTURES, SIZE, CAPACITY, MODEL, STYLE AND MATERIALS NOT DEFINITELY SPECIFIED HEREIN OR INDICATED ON THE DRAWINGS, BUT NECESSARY FOR THE COMPLETION OF THE WORK, SHALL BE PROVIDED. SUCH ITEMS SHALL MEET APPLICABLE CODE REQUIREMENTS AND BE THE TYPE AND QUALITY SUITABLE FOR THE SERVICE REQUIRED AND COMPARABLE TO ADJACENT OR SIMILAR ITEMS IN THE PROJECT. WHERE THESE ARE VISIBLE IN THE FINAL WORK, OBTAIN ARCHITECTS APPROVAL BEFORE PROCEEDING WITH THE WORK.</p> <p>18. THE CONTRACTOR IS RESPONSIBLE FOR COOPERATING AND COORDINATING WITH OTHERS AS IT EFFECTS THE PROJECT.</p> <p>19. DRAWINGS AND SPECIFICATIONS ARE INTENDED FOR ASSISTANCE AND GUIDANCE, BUT EXACT DIMENSIONS AND CLEARANCES SHALL BE VERIFIED BY THE CONTRACTOR. CHECK LEVELS AND LINES INDICATED BEFORE COMMENCING WITH THE WORK, THE ARCHITECT SHOULD BE NOTIFIED OF ANY DISCREPANCIES FOR ADJUSTMENTS, CORRECTIONS OR CLARIFICATIONS.</p> <p>20. INSTALL WORK PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT. PERFORM ALL THE WORK IN A WORKMANLIKE AND WELL MANNER.</p> <p>21. DO NOT SUBSTITUTE, REVISE, OR CHANGE THE WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.</p> <p>22. THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING FOR ALL WALL AND CEILING MOUNTED ACCESSORIES AND HARDWARE.</p> <p>23. THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR LIGHTING, PLUMBING, TILE, AND STONE TO THE ARCHITECT FOR REVIEW AND APPROVAL.</p> <p>24. THE CONTRACTOR TO PROTECT ALL EXISTING CONSTRUCTION TO REMAIN, INCLUDING UTILITIES. THE CONTRACTOR TO SAFE-OFF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.</p> <p>25. THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES THROUGH CONSTRUCTION AND PROVIDE NEW CONNECTIONS PER CODE.</p> <p>26. THE CONTRACTOR TO VERIFY EXTENT OF ANY HAZARDOUS MATERIALS PRIOR TO DEMOLITION.</p> <p>27. THE ARCHITECT DOES NOT CARRY LIABILITY INSURANCE TO COVER WORK DONE REGARDING THE IDENTIFICATION, REPAIR, REMOVAL OR ENCAPSULATION OF ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL. THIS IDENTIFICATION AND ABATEMENT WORK IS TO BE COMPLETED UNDER SEPARATE CONTRACT AND PRIOR TO COMMENCEMENT OF DEMOLITION AND REMODELING WORK DESCRIBED IN THE CONTRACT DOCUMENTS. IF THE CONTRACTOR DISCOVERS ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL, THE CONTRACTOR SHALL IMMEDIATELY ISOLATE THE AREA AND NOTIFY THE OWNER FOR FURTHER INSTRUCTIONS.</p> <p>28. THE CONTRACTOR TO PROVIDE ALL NECESSARY HOOK-UPS, UTILITIES, ELECTRICAL, VENTING &amp; DRAINAGE PER MANUFACTURER'S REQUIREMENTS FOR NEW FIXTURES.</p> <p>29. DIMENSIONING STANDARDS: A. HORIZONTAL DIMENSIONS ARE SHOWN FROM FACE OF WALL (DRYWALL OR OTHERWISE) AND DO NOT INCLUDE FINISH MATERIALS, U.N.O. B. DIMENSIONS NOTED AS CLEAR OR "CLR" MUST BE PRECISELY MAINTAINED AND SHALL INCLUDE APPLIED FINISH MATERIALS. C. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ACCEPTANCE BY THE ARCHITECT, UNLESS NOTED AS +/-. D. VERTICAL DIMENSIONS ARE FROM THE TOP OF THE FINISHED FLOOR SLAB DATUM LINE, ESTABLISHED BY THE CONTRACTOR SUBJECT TO THE ACCEPTANCE OF THE OWNER OR ARCHITECT, U.N.O. E. DIMENSIONS MARKED AS "AFF" ARE ABOVE FINISHED FLOOR MATERIALS. IN CARPETED AREAS, THE TOP OF SLAB IS CONSIDERED TO BE THE FINISHED FLOOR. F. DO NOT SCALE DRAWINGS. IF DIMENSIONS/LAYOUT OR ITEMS OF WORK CANNOT BE LOCATED, DO NOT PROCEED WITH THE WORK WITHOUT THE CLARIFICATION AND CONSENT OF THE ARCHITECT.</p>	<p>—PL— PROPERTY LINE Hatched pattern SHADE INDICATES BUILDING AREA NOT WITHIN PROJECT SCOPE, NOT PART OF THIS APPLICATION White box ALIGN OBJECTS, FACES, SURFACES, OR PLANES XX GRID HEAD &amp; LINE Hatched pattern ALUMINUM Cross-hatch CONCRETE Dotted pattern RIGID INSULATION Wavy pattern BATT OR ACOUSTIC INSULATION Dashed pattern EARTH Dotted pattern GYPSUM BOARD Wavy pattern PLYWOOD Hatched pattern STEEL Cross-hatch STUCCO OR PLASTER Hatched pattern FINISH WOOD</p> <p>NORTH ARROW REV. POINT + X'-XX" ELEVATION DATUM INDICATOR REF. POINT + X'-XX" HEIGHT ABOVE REF. LEVEL ROOM NAME 101 ROOM TAG, SEE ROOM SCH. 150 SF —SQUARE FOOTAGE CL-X CL-X HEIGHT AFF A1 WALL OR PARTITION TAG 888A DOOR TAG XX01 FIXTURE / EQUIPMENT / FINISH TAG</p>	<p>BUILDING OWNER: MATTHEW LENT CONTACT: MATTHEW LENT 2760 23RD STREET SAN FRANCISCO, CA 94110 +1.703.582.462 matthew.lent@gmail.com</p> <p>ARCHITECT: FRANCISCO MATOS SF ARCHITECTS P.O. BOX 426993 SAN FRANCISCO, CA 94142 +1.415.519.4954 francisco@architects-sf.com</p>
<b>2770 23RD ST. SAN FRANCISCO, CA</b>			<b>RESIDENTIAL IMPROVEMENTS</b>
<b>PROJECT INFO</b>			<b>SCOPE OF WORK</b>
<p>OWNER: MATTHEW LENT PROJECT ADDRESS: 2770/2766 23RD STREET SAN FRANCISCO, CA 94110 BLOCK/LOT: 4152 / 021A ZONING: RM-1 CONSTRUCTION TYPE: TYPE VB HISTORIC: C YEAR ORIGINALLY BUILT: 1900 NUMBER OF STORIES: 2 STORIES EXISTING / 3 PROPOSED EXISTING GSF: 1894 SF PROPOSED GSF: 1855 SF (E) BUILDING HEIGHT: 35 SF (P) BUILDING HEIGHT: 35 SF OCCUPANCY: R3 SPRINKLERS: NON SPRINKLERS BUILDINGS</p>			<p>(N) INTERIOR STAIR TO 3RD FLOOR ATTIC (N) DOORMER (N) BATHROOM 2ND FLOOR (N) STUDY 3RD FLOOR (N) FRONT FACOIL WINDOWS ATTIC FLOOR TO BE UPGRADE FOR STORAGE</p>
<b>EXISTING PHOTO GRAPHS</b>			<b>SHEET INDEX</b>
   			<p>ARCHITECTURAL A000 PROJECT INFORMATION A001 SITE PLANS EXISTING A002 SITE PLANS PROPOSED A100 EXISTING 1ST FLOOR PLANS A101 EXISTING &amp; PROPOSED 2ND FLOOR PLANS A102 EXISTING &amp; PROPOSED 3RD FLOOR PLANS A103 EXISTING &amp; PROPOSED ROOF PLAN A104 EXISTING &amp; PROPOSED SOUTH ELEVATION A105 EXISTING &amp; PROPOSED NORTH ELEVATION A106 EXISTING &amp; PROPOSED EAST ELEVATION A107 B-B LONGITUDINAL SECTION A108 A-A TRANSVERSAL SECTION A109 DETAIL RAILING STAIR B000 M002 B100 MECHANICAL / ELECTRICAL B101 NOTES</p>
<b>VICINITY MAP</b>			<p>2770 23RD STREET 46 100 24 100 17 100 23 21 20 19 18 37.6 70 32.6 100 22B 22A 22 55 22.5 22.5 18146 17812 17875 18167 28 2750</p>
<b>PROJECT INFO...</b> <b>AND</b> <b>GENERAL NOTES</b>			<b>A000</b>
 <p>SHEET TITLE: <b>PROJECT INFO...</b> <b>AND</b> <b>GENERAL NOTES</b></p>			

# 1 | EXISTING SITE PLAN

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SCALE:1/4":1'-0" NO CHANGE



HEET TITLE:

# SITE PLAN

---

## EXISTING

**A001**

BLOCK / LOT : 4152 / 021A

# 2770 23RD STREET

# RESIDENTIAL IMPROVEMENTS

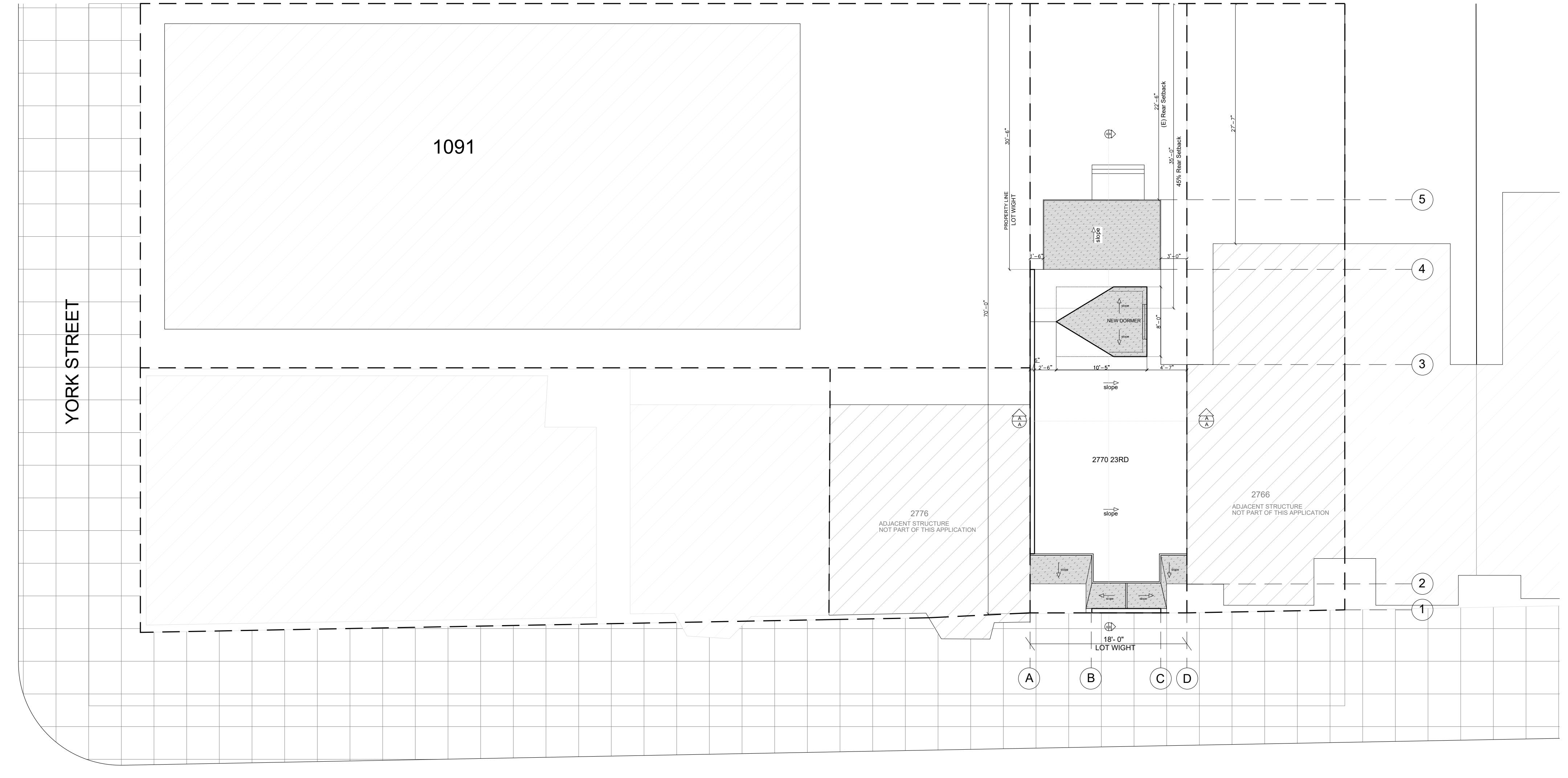
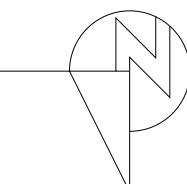
# DESIGN EVEREST

PHONE: (888) 311-3015  
FOR CONSTRUCTION SUPPORT:  
PHONE: (888) 512-3152  
EMAIL: [constructionsupport@designeverest.com](mailto:constructionsupport@designeverest.com)

2

## PROPOSED SITE PLAN

SCALE: 1/4": 1'-0"



A002

SHEET TITLE:

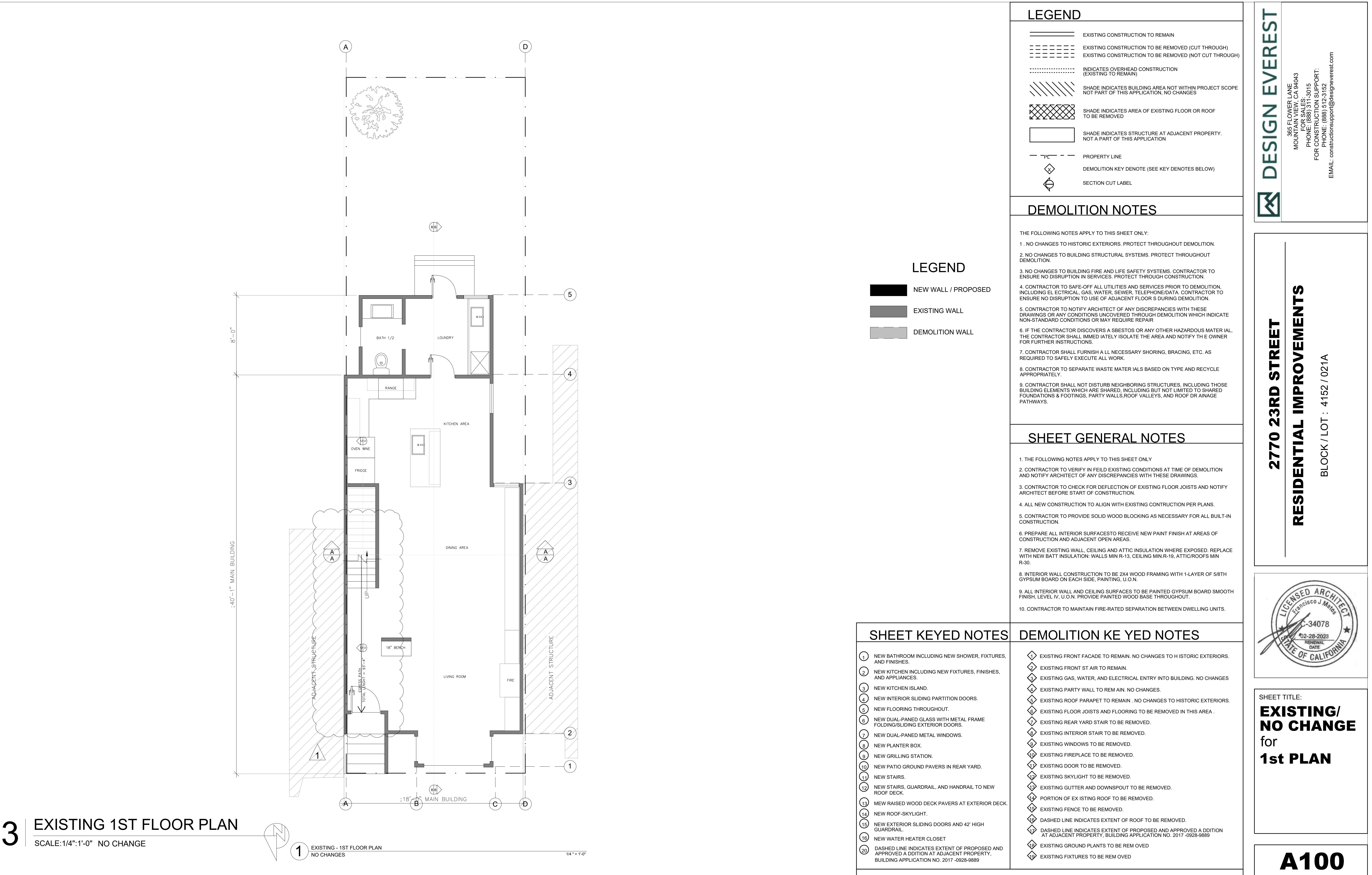
**SITE  
PLAN****PROPOSED****DESIGN EVEREST**

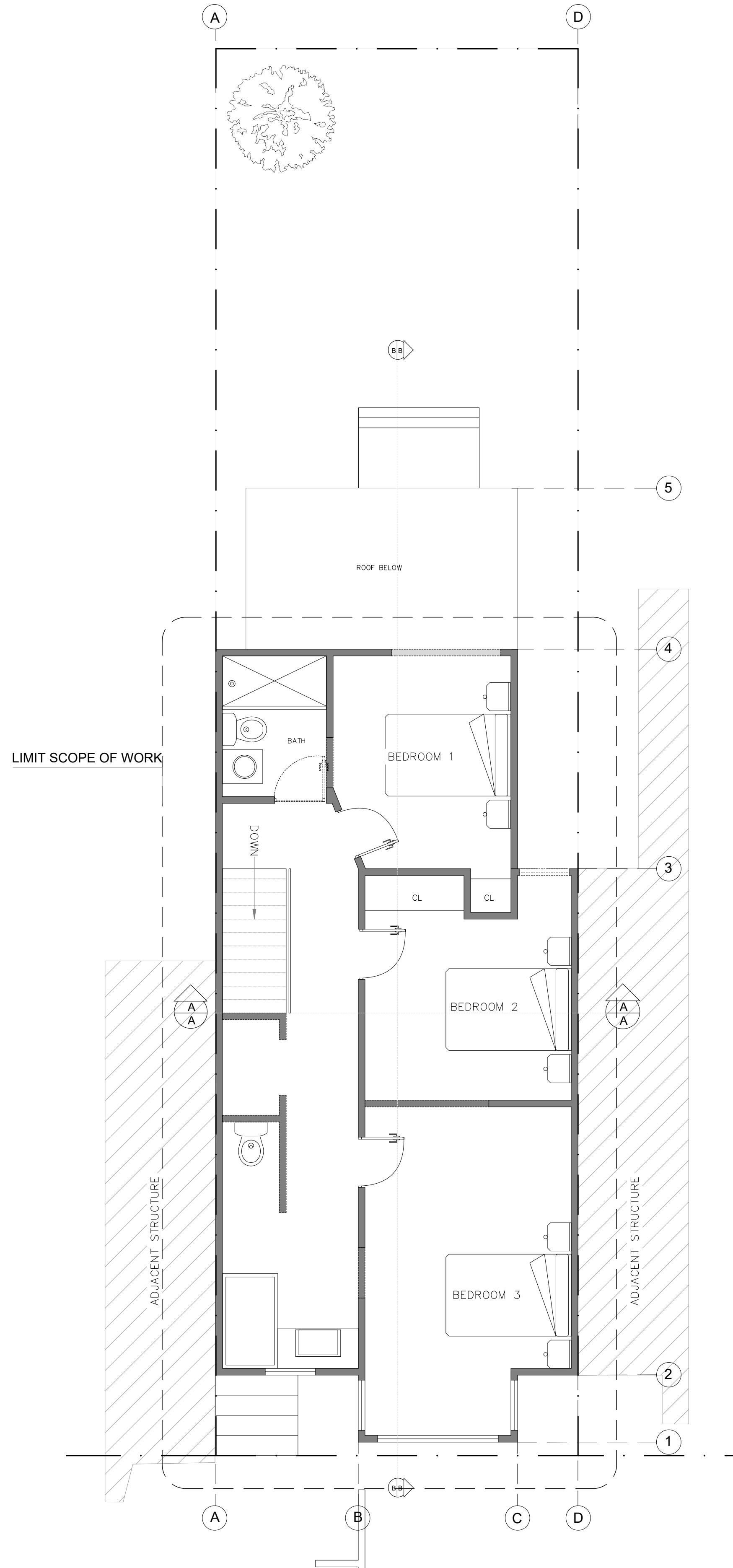
265 FLOWER LANE  
MOUNTAIN VIEW, CA 94043  
FOR SALES  
PHONE: (888) 317-3015  
FOR CONSTRUCTION SUPPORT:  
PHONE: (888) 517-3152  
EMAIL: constructionsupport@designeverest.com

**2770 23RD STREET**

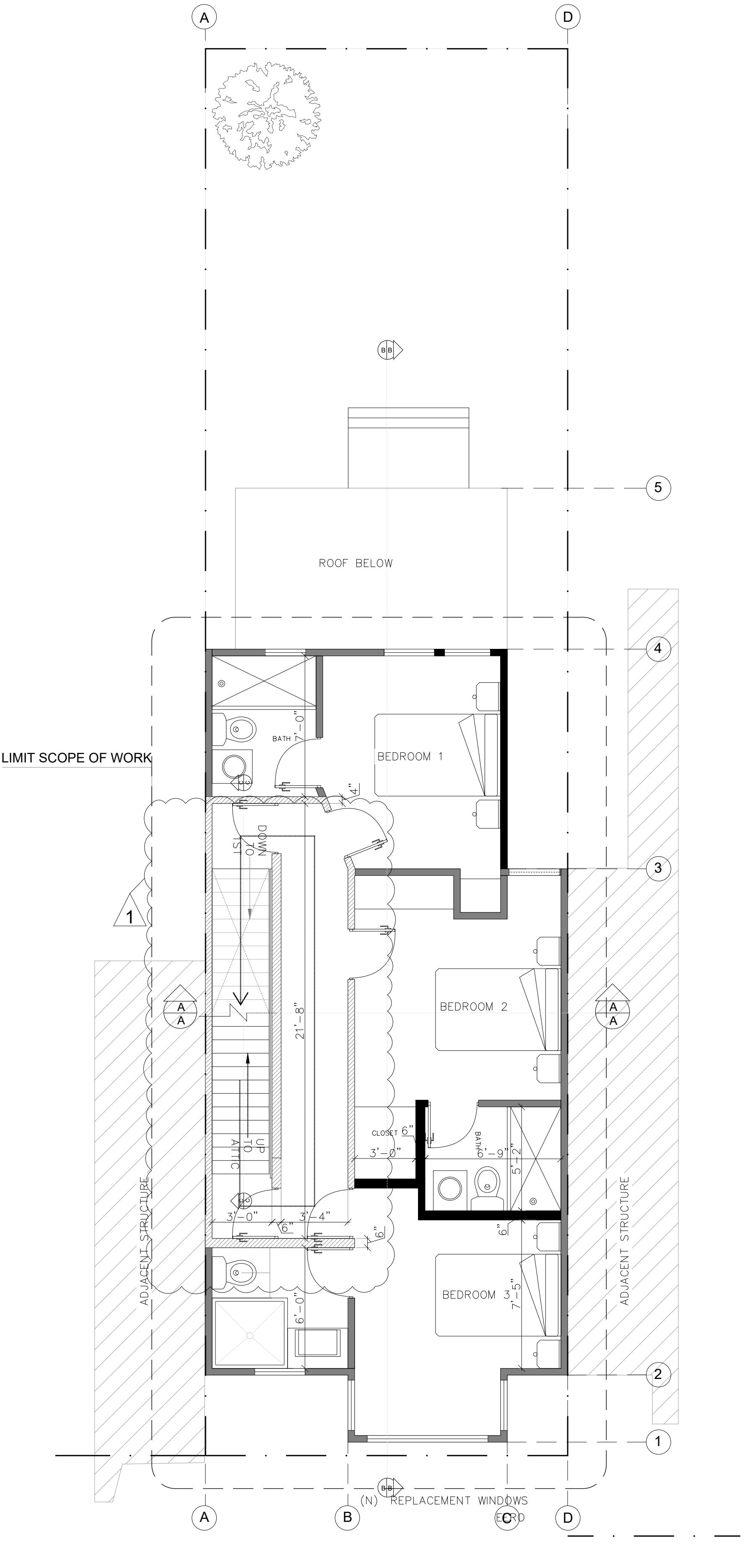
BLOCK / LOT : 4152 / 021A

**RESIDENTIAL IMPROVEMENTS**





4 | (E) EXISTING 2ND FLOOR PLAN  
SCALE: 1/4":1'-0" REMOVE BATH TO ADDING STAIR TO GOING ATTIC



5 | PROPOSED 2ND FLOOR PLAN  
SCALE: 1/4":1'-0" NEW STAIR TO GOING ATTIC

LEGEND	
—	EXISTING CONSTRUCTION TO REMAIN
— — —	EXISTING CONSTRUCTION TO BE REMOVED (CUT THROUGH)
— — — —	EXISTING CONSTRUCTION TO BE REMOVED (NOT CUT THROUGH)
····	INDICATES OVERHEAD CONSTRUCTION (EXISTING TO REMAIN)
	SHADE INDICATES BUILDING AREA NOT WITHIN PROJECT SCOPE NOT PART OF THIS APPLICATION, NO CHANGES
	SHADE INDICATES AREA OF EXISTING FLOOR OR ROOF TO BE REMOVED
	SHADE INDICATES STRUCTURE AT ADJACENT PROPERTY. NOT A PART OF THIS APPLICATION
— "PL" —	PROPERTY LINE
◇	DEMOLITION KEY DENOTE (SEE KEY DENOTES BELOW)
◇	SECTION CUT LABEL

#### DEMOLITION NOTES

THE FOLLOWING NOTES APPLY TO THIS SHEET ONLY:

1. NO CHANGES TO HISTORIC EXTERIORS. PROTECT THROUGHOUT DEMOLITION.
2. NO CHANGES TO BUILDING STRUCTURAL SYSTEMS. PROTECT THROUGHOUT DEMOLITION.
3. NO CHANGES TO BUILDING FIRE AND LIFE SAFETY SYSTEMS. CONTRACTOR TO ENSURE NO DISRUPTION IN SERVICES. PROTECT THROUGHOUT DEMOLITION.
4. CONTRACTOR TO SAFE-OFF ALL UTILITIES AND SERVICES PRIOR TO DEMOLITION, INCLUDING ELECTRICAL, GAS, WATER, SEWER, TELEPHONE/DATA. CONTRACTOR TO ENSURE NO DISRUPTION TO USE OF ADJACENT FLOOR S DURING DEMOLITION.
5. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THESE DRAWINGS OR ANY CONDITIONS UNCOVERED THROUGH DEMOLITION WHICH INDICATE NON-STANDARD CONDITIONS OR MAY REQUIRE REPAIR.
6. IF THE CONTRACTOR DISCOVERS ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL, THE CONTRACTOR SHALL IMMEDIATELY ISOLATE THE AREA AND NOTIFY THE OWNER FOR FURTHER INSTRUCTIONS.
7. CONTRACTOR SHALL FURNISH ALL NECESSARY SHORING, BRACING, ETC. AS REQUIRED TO SAFELY EXECUTE ALL WORK.
8. CONTRACTOR TO SEPARATE WASTE MATERIALS BASED ON TYPE AND RECYCLE APPROPRIATELY.
9. CONTRACTOR SHALL NOT DISTURB NEIGHBORING STRUCTURES, INCLUDING THOSE ELEMENTS WHICH ARE SHARED, INCLUDING BUT NOT LIMITED TO SHARED FOUNDATIONS & FOOTINGS, PARTY WALLS, ROOF VALLEYS, AND ROOF OR AINAGE PATHWAYS.

#### LEGEND

■	NEW WALL / PROPOSED
■■■■■	EXISTING WALL
■■■■■	DEMOLITION WALL
■■■■■	(N) 1HR FIRE RATED WALL

#### SHEET GENERAL NOTES

1. THE FOLLOWING NOTES APPLY TO THIS SHEET ONLY
2. CONTRACTOR TO VERIFY IN FIELD EXISTING CONDITIONS AT TIME OF DEMOLITION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THESE DRAWINGS.
3. CONTRACTOR TO CHECK FOR DEFLECTION OF EXISTING FLOOR JOISTS AND NOTIFY ARCHITECT BEFORE START OF CONSTRUCTION.
4. ALL NEW CONSTRUCTION TO ALIGN WITH EXISTING CONSTRUCTION PER PLANS.
5. CONTRACTOR TO PROVIDE SOLID WOOD BLOCKING AS NECESSARY FOR ALL BUILT-IN CONSTRUCTION.
6. PREPARE ALL INTERIOR SURFACES TO RECEIVE NEW PAINT FINISH AT AREAS OF CONSTRUCTION AND ADJACENT OPEN AREAS.
7. REMOVE EXISTING WALL, CEILING AND ATTIC INSULATION WHERE EXPOSED. REPLACE WITH NEW BATT INSULATION: WALLS MIN R-13, CEILING MIN R-19, ATTIC/ROOFS MIN R-30.
8. INTERIOR WALL CONSTRUCTION TO BE 2X4 WOOD FRAMING WITH 1-LAYER OF 5/8TH GYPSUM BOARD ON EACH SIDE, PAINTING, U.O.N.
9. ALL INTERIOR WALL AND CEILING SURFACES TO BE PAINTED GYPSUM BOARD SMOOTH FINISH, LEVEL IV, U.O.N. PROVIDE PAINTED WOOD BASE THROUGHOUT.
10. CONTRACTOR TO MAINTAIN FIRE-RATED SEPARATION BETWEEN DWELLING UNITS.

#### SHEET KEYED NOTES

#### DEMOLITION KEYED NOTES

- 1 NEW BATHROOM INCLUDING NEW SHOWER, FIXTURES, AND FINISHES.
- 2 NEW KITCHEN INCLUDING NEW FIXTURES, FINISHES, AND APPLIANCES.
- 3 NEW KITCHEN ISLAND.
- 4 NEW INTERIOR SLIDING PARTITION DOORS.
- 5 NEW FLOORING THROUGHOUT.
- 6 NEW DUAL-PANED GLASS WITH METAL FRAME FOLDING/SLIDING EXTERIOR DOORS.
- 7 NEW DUAL-PANED METAL WINDOWS.
- 8 NEW PLANTER BOX.
- 9 NEW GRILLING STATION.
- 10 NEW PATIO GROUND PAVERS IN REAR YARD.
- 11 NEW STAIRS.
- 12 NEW STAIRS, GUARDRAIL, AND HANDRAIL TO NEW ROOF DECK.
- 13 NEW RAISED WOOD DECK PAVERS AT EXTERIOR DECK.
- 14 NEW ROOF-SKYLIGHT.
- 15 NEW EXTERIOR SLIDING DOORS AND 42' HIGH GUARDRAIL.
- 16 NEW WATER HEATER CLOSET
- 17 DASHED LINE INDICATES EXTENT OF PROPOSED AND APPROVED ADDITION AT ADJACENT PROPERTY, BUILDING APPLICATION NO. 2017-0928-9889
- 18 DASHED LINE INDICATES EXTENT OF PROPOSED AND APPROVED ADDITION AT ADJACENT PROPERTY, BUILDING APPLICATION NO. 2017-0928-9889
- 19 EXISTING GROUND PLANTS TO BE REMOVED
- 20 EXISTING FIXTURES TO BE REMOVED

**DESIGN EVEREST**

265 FLOWER LANE  
MOUNTAIN VIEW, CA 94043  
FOR SALES: (888) 517-3515  
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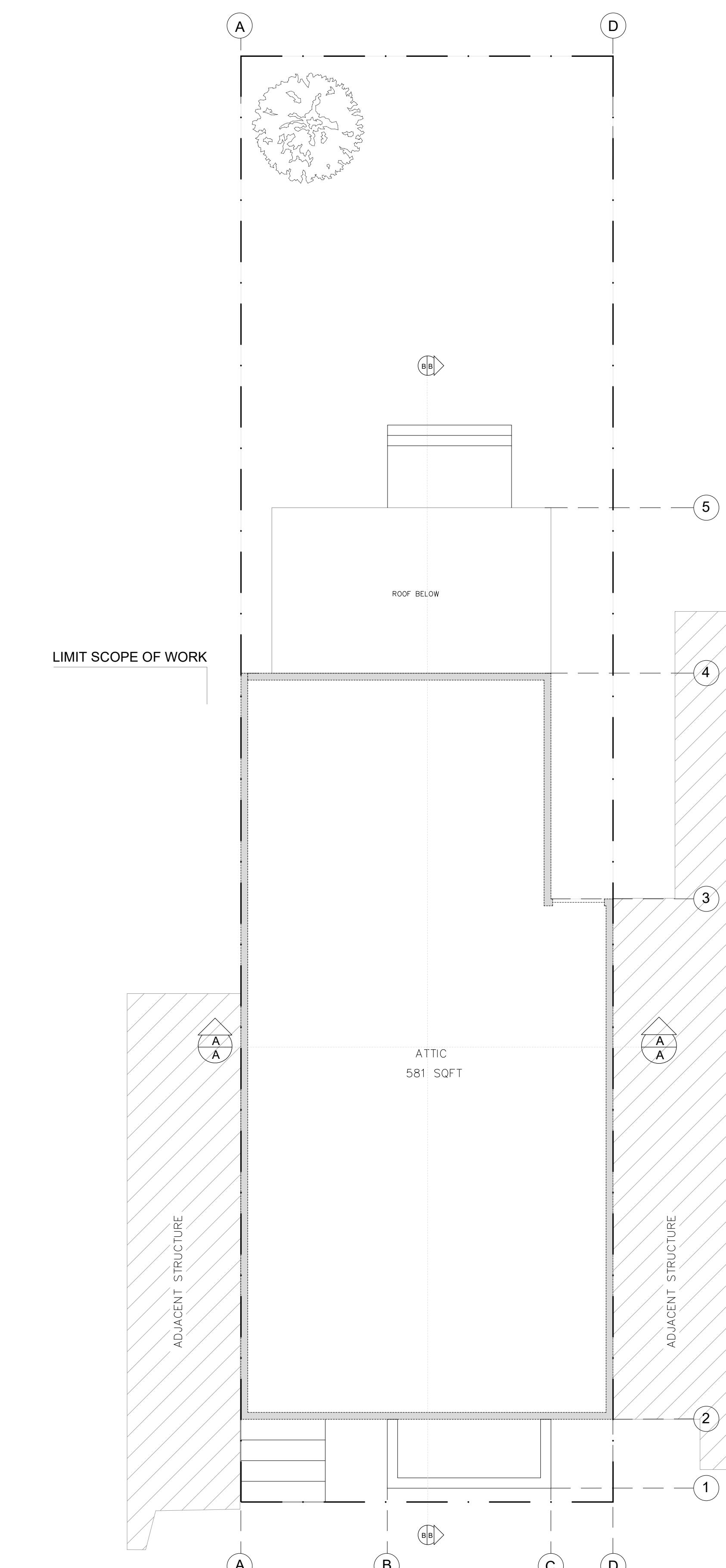
**RESIDENTIAL IMPROVEMENTS**

BLOCK / LOT : 4152 / 021A

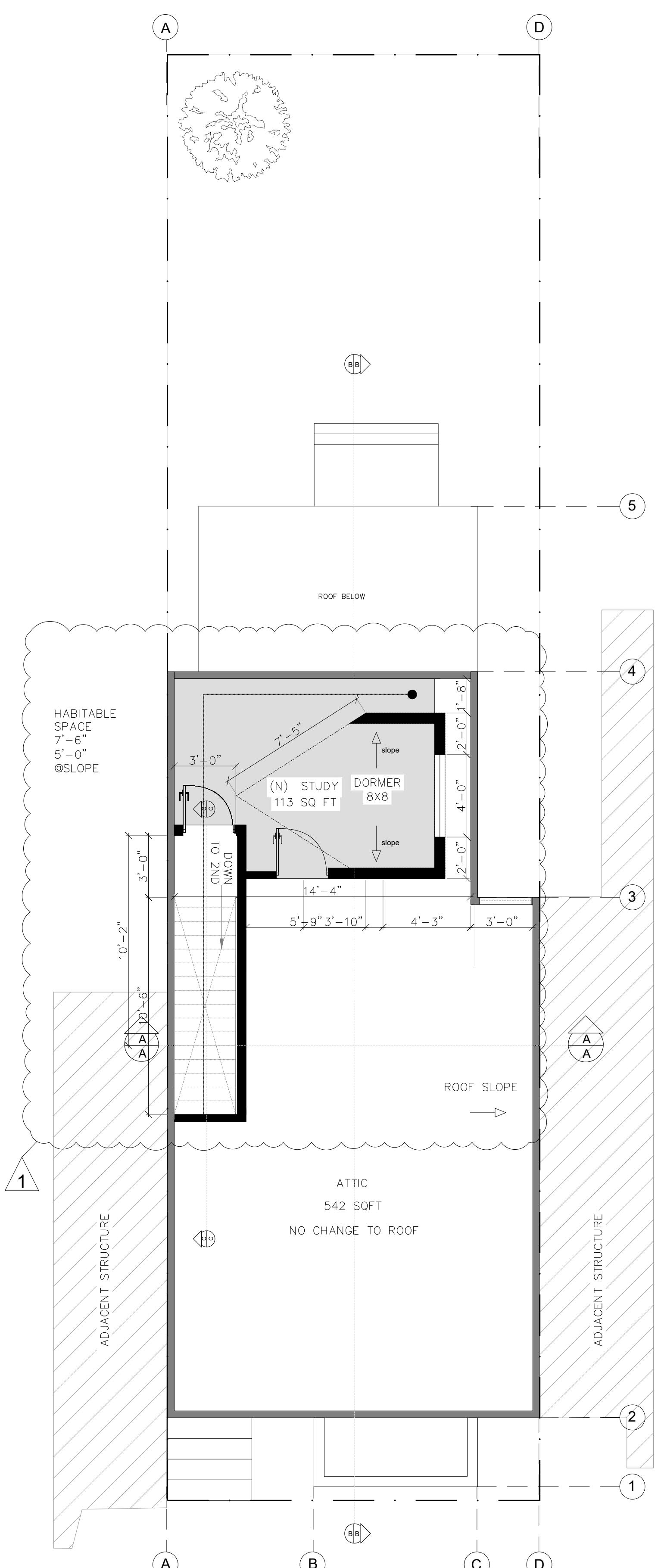


SHEET TITLE:  
**EXISTING/  
DEMOLITION  
AND  
PROPOSED  
2nd PLAN**

**A101**



6 | (E) EXISTING 3TH FLOOR PLAN  
SCALE: 1/4":1'-0" DEMOLITION TO NEW ATTIC



7 | PROPOSED 3TH FLOOR PLAN  
SCALE: 1/4":1'-0" NO CHANGE

LEGEND	
—	EXISTING CONSTRUCTION TO REMAIN
— — — —	EXISTING CONSTRUCTION TO BE REMOVED (CUT THROUGH)
— — — — —	EXISTING CONSTRUCTION TO BE REMOVED (NOT CUT THROUGH)
····	INDICATES OVERHEAD CONSTRUCTION (EXISTING TO REMAIN)
	SHADE INDICATES BUILDING AREA NOT WITHIN PROJECT SCOPE NOT PART OF THIS APPLICATION, NO CHANGES
	SHADE INDICATES AREA OF EXISTING FLOOR OR ROOF TO BE REMOVED
□	SHADE INDICATES STRUCTURE AT ADJACENT PROPERTY. NOT A PART OF THIS APPLICATION
— "PL" —	PROPERTY LINE
◇	DEMOLITION KEY DENOTE (SEE KEY DENOTES BELOW)
◇	SECTION CUT LABEL

#### DEMOLITION NOTES

THE FOLLOWING NOTES APPLY TO THIS SHEET ONLY:

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2. NO CHANGES TO BUILDING STRUCTURAL SYSTEMS. PROTECT THROUGHOUT DEMOLITION.
3. NO CHANGES TO BUILDING FIRE AND LIFE SAFETY SYSTEMS. CONTRACTOR TO ENSURE NO DISRUPTION IN SERVICES. PROTECT THROUGHOUT CONSTRUCTION.
4. CONTRACTOR TO SAFE-OFF ALL UTILITIES AND SERVICES PRIOR TO DEMOLITION, INCLUDING EL ELECTRICAL, GAS, WATER, SEWER, TELEPHONE/DATA. CONTRACTOR TO ENSURE NO DISRUPTION TO USE OF ADJACENT FLOOR S DURING DEMOLITION.
5. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THESE DRAWINGS OR ANY CONDITIONS UNCOVERED THROUGH DEMOLITION WHICH INDICATE NON-STANDARD CONDITIONS OR MAY REQUIRE REPAIR.
6. IF THE CONTRACTOR DISCOVERS A SBESTOS OR ANY OTHER HAZARDOUS MATERIAL, THE CONTRACTOR SHALL IMMEDIATELY ISOLATE THE AREA AND NOTIFY THE OWNER FOR FURTHER INSTRUCTIONS.
7. CONTRACTOR SHALL FURNISH ALL NECESSARY SHORING, BRACING, ETC. AS REQUIRED TO SAFELY EXECUTE ALL WORK.
8. CONTRACTOR TO SEPARATE WASTE MATERIALS BASED ON TYPE AND RECYCLE APPROPRIATELY.
9. CONTRACTOR SHALL NOT DISTURB NEIGHBORING STRUCTURES, INCLUDING THOSE BUILDING ELEMENTS WHICH ARE SHARED, INCLUDING BUT NOT LIMITED TO SHARED FOUNDATIONS & FOOTINGS, PARTY WALLS, ROOF VALLEYS, AND ROOF OR AINAGE PATHWAYS.

#### LEGEND

■	NEW WALL / PROPOSED
■■■■■	EXISTING WALL
■■■■■	DEMOLITION WALL

#### SHEET GENERAL NOTES

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6. PREPARE ALL INTERIOR SURFACES TO RECEIVE NEW PAINT FINISH AT AREAS OF CONSTRUCTION AND ADJACENT OPEN AREAS.
7. REMOVE EXISTING WALL, CEILING AND ATTIC INSULATION WHERE EXPOSED. REPLACE WITH NEW BATT INSULATION: WALLS MIN R-13, CEILING MIN R-19, ATTIC/ROOFS MIN R-30.
8. INTERIOR WALL CONSTRUCTION TO BE 2X4 WOOD FRAMING WITH 1-LAYER OF 5/8TH GYPSUM BOARD ON EACH SIDE, PAINTING, U.O.N.
9. ALL INTERIOR WALL AND CEILING SURFACES TO BE PAINTED GYPSUM BOARD SMOOTH FINISH, LEVEL IV. U.O.N. PROVIDE PAINTED WOOD BASE THROUGHOUT.
10. CONTRACTOR TO MAINTAIN FIRE-RATED SEPARATION BETWEEN DWELLING UNITS.

#### SHEET KEYED NOTES

#### DEMOLITION KEYED NOTES

- 1 NEW BATHROOM INCLUDING NEW SHOWER, FIXTURES, AND FINISHES.
- 2 NEW KITCHEN INCLUDING NEW FIXTURES, FINISHES, AND APPLIANCES.
- 3 NEW KITCHEN ISLAND.
- 4 NEW INTERIOR SLIDING PARTITION DOORS.
- 5 NEW FLOORING THROUGHOUT.
- 6 NEW DUAL-PANED GLASS WITH METAL FRAME FOLDING/SLIDING EXTERIOR DOORS.
- 7 NEW DUAL-PANED METAL WINDOWS.
- 8 NEW PLANTER BOX.
- 9 NEW GRILLING STATION.
- 10 NEW PATIO GROUND PAVERS IN REAR YARD.
- 11 NEW STAIRS.
- 12 NEW STAIRS, GUARDRAIL, AND HANDRAIL TO NEW ROOF DECK.
- 13 NEW RAISED WOOD DECK PAVERS AT EXTERIOR DECK.
- 14 NEW ROOF-SKYLIGHT.
- 15 NEW EXTERIOR SLIDING DOORS AND 42' HIGH GUARDRAIL.
- 16 NEW WATER HEATER CLOSET
- 17 DASHED LINE INDICATES EXTENT OF PROPOSED AND APPROVED ADDITION AT ADJACENT PROPERTY, BUILDING APPLICATION NO. 2017-0928-9889
- 18 DASHED LINE INDICATES EXTENT OF PROPOSED AND APPROVED ADDITION AT ADJACENT PROPERTY, BUILDING APPLICATION NO. 2017-0928-9889
- 19 EXISTING GROUND PLANTS TO BE REMOVED
- 20 EXISTING FIXTURES TO BE REMOVED

- ◇ EXISTING FRONT FAÇADE TO REMAIN. NO CHANGES TO HISTORIC EXTERIORS.
- ◇ EXISTING FRONT STAIR TO REMAIN.
- ◇ EXISTING GAS, WATER, AND ELECTRICAL ENTRY INTO BUILDING. NO CHANGES.
- ◇ EXISTING PARTY WALL TO REMAIN. NO CHANGES.
- ◇ EXISTING ROOF PARAPET TO REMAIN. NO CHANGES TO HISTORIC EXTERIORS.
- ◇ EXISTING FLOOR JOISTS AND FLOORING TO BE REMOVED IN THIS AREA.
- ◇ EXISTING REAR YARD STAIR TO BE REMOVED.
- ◇ EXISTING INTERIOR STAIR TO BE REMOVED.
- ◇ EXISTING WINDOWS TO BE REMOVED.
- ◇ EXISTING FIREPLACE TO BE REMOVED.
- ◇ EXISTING DOOR TO BE REMOVED.
- ◇ EXISTING SKYLIGHT TO BE REMOVED.
- ◇ EXISTING GUTTER AND DOWNSPOUT TO BE REMOVED.
- ◇ PORTION OF EXISTING ROOF TO BE REMOVED.
- ◇ EXISTING FENCE TO BE REMOVED.
- ◇ DASHED LINE INDICATES EXTENT OF ROOF TO BE REMOVED.
- ◇ DASHED LINE INDICATES EXTENT OF PROPOSED AND APPROVED ADDITION AT ADJACENT PROPERTY, BUILDING APPLICATION NO. 2017-0928-9889
- ◇ EXISTING GROUND PLANTS TO BE REMOVED
- ◇ EXISTING FIXTURES TO BE REMOVED

**DESIGN EVEREST**

265 FLOWER LANE  
MOUNTAIN VIEW, CA 94031  
FOR SALES: (888) 517-3155  
FOR CONSTRUCTION SUPPORT: (888) 517-3152  
EMAIL: constructionsupport@designeverest.com

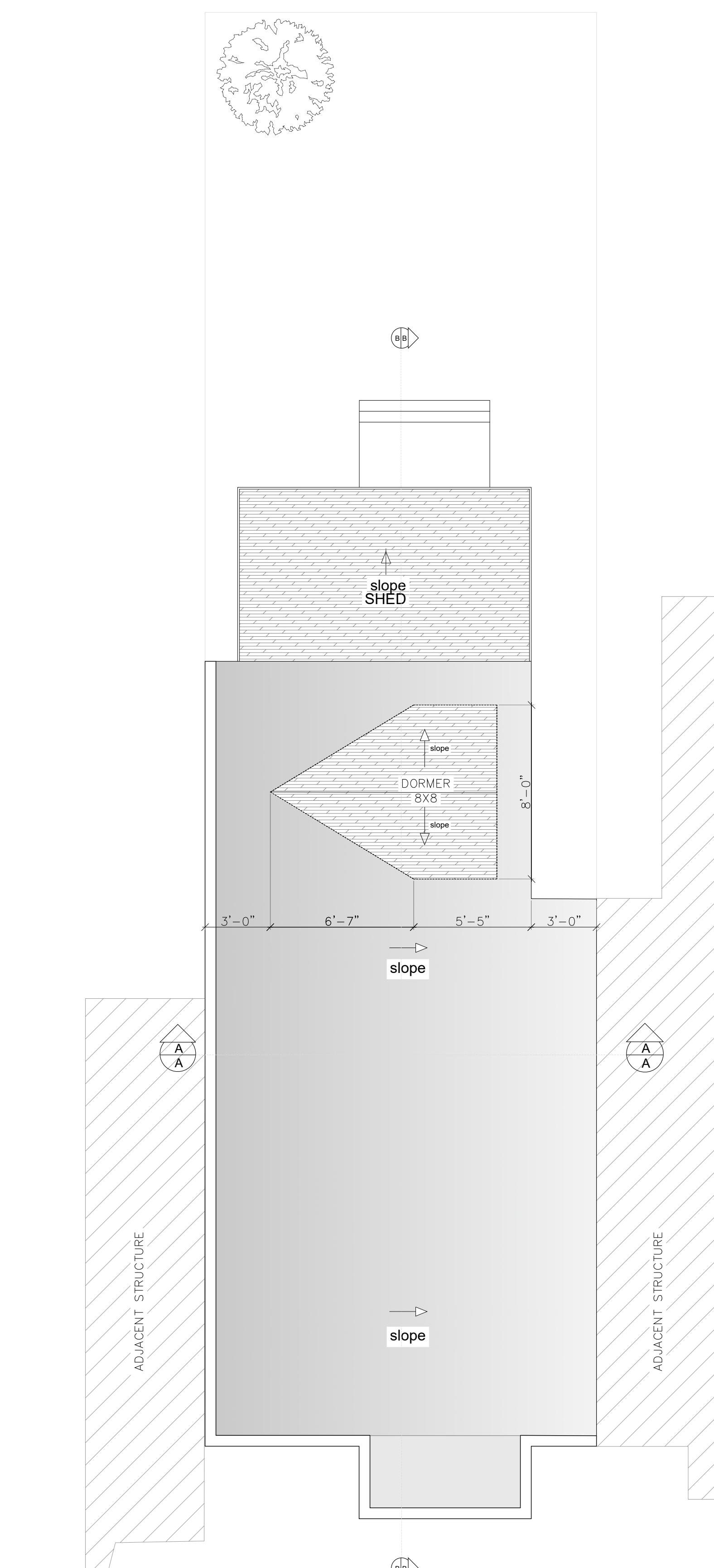
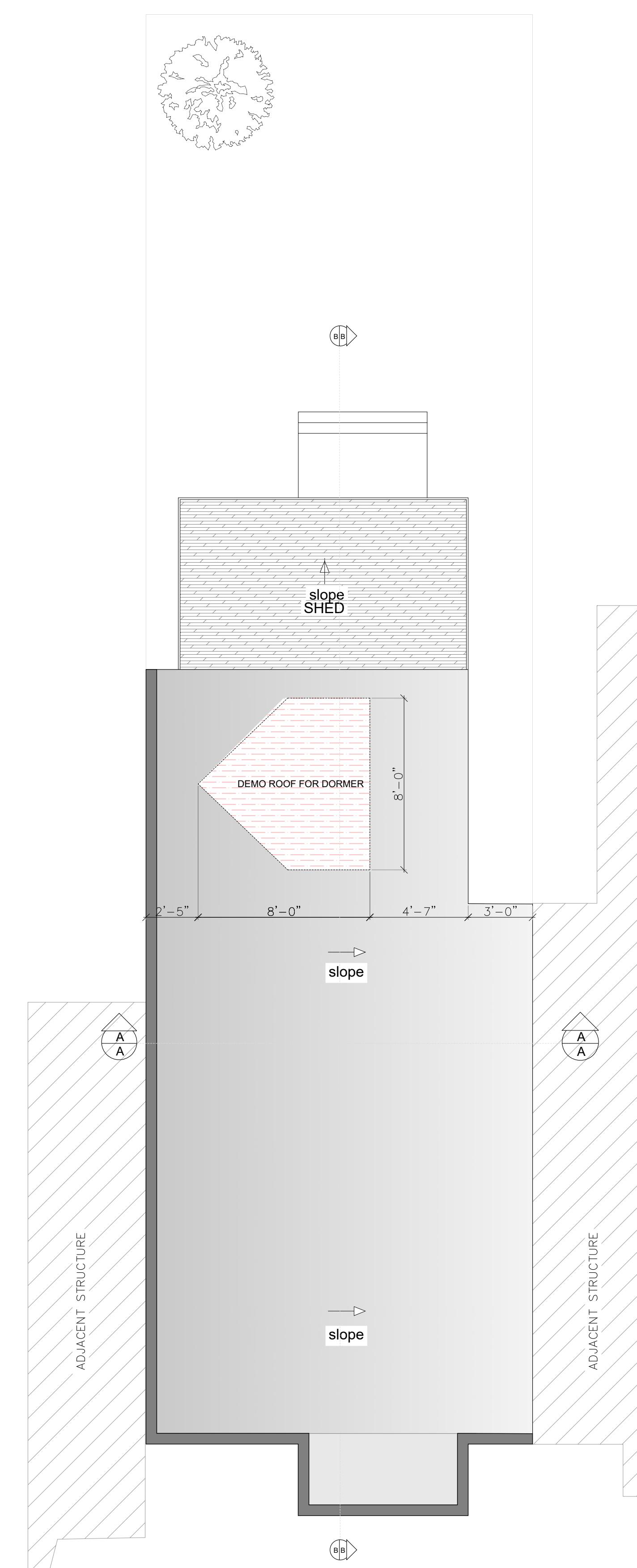
**RESIDENTIAL IMPROVEMENTS**

BLOCK / LOT : 4152 / 021A



SHEET TITLE:  
**EXISTING/  
DEMOLITION  
AND  
PROPOSED  
3th PLAN**

**A102**



LEGEND	
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED (CUT THROUGH)
	EXISTING CONSTRUCTION TO BE REMOVED (NOT CUT THROUGH)
	INDICATES OVERHEAD CONSTRUCTION (EXISTING TO REMAIN)
	SHADE INDICATES BUILDING AREA NOT WITHIN PROJECT SCOPE NOT PART OF THIS APPLICATION, NO CHANGES
	SHADE INDICATES AREA OF EXISTING FLOOR OR ROOF TO BE REMOVED
	SHADE INDICATES STRUCTURE AT ADJACENT PROPERTY. NOT A PART OF THIS APPLICATION
	PROPERTY LINE
	DEMOLITION KEY DENOTE (SEE KEY DENOTES BELOW)
	SECTION CUT LABEL
DEMOLITION NOTES	
THE FOLLOWING NOTES APPLY TO THIS SHEET ONLY:	
1. NO CHANGES TO HISTORIC EXTERIORS. PROTECT THROUGHOUT DEMOLITION.	
2. NO CHANGES TO BUILDING STRUCTURAL SYSTEMS. PROTECT THROUGHOUT DEMOLITION.	
3. NO CHANGES TO BUILDING FIRE AND LIFE SAFETY SYSTEMS. CONTRACTOR TO ENSURE NO DISRUPTION IN SERVICES. PROTECT THROUGH CONSTRUCTION.	
4. CONTRACTOR TO SAFE-OFF ALL UTILITIES AND SERVICES PRIOR TO DEMOLITION, INCLUDING ELECTRICAL, GAS, WATER, SEWER, TELEPHONE/DATA. CONTRACTOR TO ENSURE NO DISRUPTION TO USE OF ADJACENT FLOOR(S) DURING DEMOLITION.	
5. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THESE DRAWINGS OR ANY CONDITIONS UNCOVERED THROUGH DEMOLITION WHICH INDICATE NON-STANDARD CONDITIONS OR MAY REQUIRE REPAIR.	
6. IF THE CONTRACTOR DISCOVERS ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL, THE CONTRACTOR SHALL IMMEDIATELY ISOLATE THE AREA AND NOTIFY THE OWNER FOR FURTHER INSTRUCTIONS.	
7. CONTRACTOR SHALL FURNISH ALL NECESSARY SHORING, BRACING, ETC. AS REQUIRED TO SAFELY EXECUTE ALL WORK.	
8. CONTRACTOR TO SEPARATE WASTE MATERIALS BASED ON TYPE AND RECYCLE APPROPRIATELY.	
9. CONTRACTOR SHALL NOT DISTURB NEIGHBORING STRUCTURES, INCLUDING THOSE BUILDING ELEMENTS WHICH ARE SHARED, INCLUDING BUT NOT LIMITED TO SHARED FOUNDATIONS & FOOTINGS, PARTY WALLS, ROOF VALLEYS, AND ROOF OR AINAGE PATHWAYS.	
SHEET GENERAL NOTES	
1. THE FOLLOWING NOTES APPLY TO THIS SHEET ONLY	
2. CONTRACTOR TO VERIFY IN FIELD EXISTING CONDITIONS AT TIME OF DEMOLITION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THESE DRAWINGS.	
3. CONTRACTOR TO CHECK FOR DEFLECTION OF EXISTING FLOOR JOISTS AND NOTIFY ARCHITECT BEFORE START OF CONSTRUCTION.	
4. ALL NEW CONSTRUCTION TO ALIGN WITH EXISTING CONSTRUCTION PER PLANS.	
5. CONTRACTOR TO PROVIDE SOLID WOOD BLOCKING AS NECESSARY FOR ALL BUILT-IN CONSTRUCTION.	
6. PREPARE ALL INTERIOR SURFACES TO RECEIVE NEW PAINT FINISH AT AREAS OF CONSTRUCTION AND ADJACENT OPEN AREAS.	
7. REMOVE EXISTING WALL, CEILING AND ATTIC INSULATION WHERE EXPOSED. REPLACE WITH NEW BATT INSULATION: WALLS MIN R-13, CEILING MIN R-19, ATTIC/ROOFS MIN R-30.	
8. INTERIOR WALL CONSTRUCTION TO BE 2X4 WOOD FRAMING WITH 1-LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE, PAINTING, U.O.N.	
9. ALL INTERIOR WALL AND CEILING SURFACES TO BE PAINTED GYPSUM BOARD SMOOTH FINISH, LEVEL IV, U.O.N. PROVIDE PAINTED WOOD BASE THROUGHOUT.	
10. CONTRACTOR TO MAINTAIN FIRE-RATED SEPARATION BETWEEN DWELLING UNITS.	
SHEET KEYED NOTES	
DEMOLITION KEYED NOTES	
	EXISTING FRONT FAÇADE TO REMAIN. NO CHANGES TO HISTORIC EXTERIORS.
	EXISTING FRONT STAIR TO REMAIN.
	EXISTING GAS, WATER, AND ELECTRICAL ENTRY INTO BUILDING. NO CHANGES.
	EXISTING PARTY WALL TO REMAIN. NO CHANGES.
	EXISTING ROOF PARAPET TO REMAIN. NO CHANGES TO HISTORIC EXTERIORS.
	EXISTING FLOOR JOISTS AND FLOORING TO BE REMOVED IN THIS AREA.
	EXISTING REAR YARD STAIR TO BE REMOVED.
	EXISTING INTERIOR STAIR TO BE REMOVED.
	EXISTING WINDOWS TO BE REMOVED.
	EXISTING FIREPLACE TO BE REMOVED.
	EXISTING DOOR TO BE REMOVED.
	EXISTING SKYLIGHT TO BE REMOVED.
	EXISTING GUTTER AND DOWNSPOUT TO BE REMOVED.
	PORTION OF EXISTING ROOF TO BE REMOVED.
	EXISTING FENCE TO BE REMOVED.
	DASHED LINE INDICATES EXTENT OF ROOF TO BE REMOVED.
	DASHED LINE INDICATES EXTENT OF PROPOSED AND APPROVED ADDITION AT ADJACENT PROPERTY, BUILDING APPLICATION NO. 2017-0928-9889
	EXISTING GROUND PLANTS TO BE REMOVED
	EXISTING FIXTURES TO BE REMOVED
SHEET TITLE:	
EXISTING/ NO CHANGE FOR ROOF PLAN	
 <b>DESIGN EVEREST</b> 265 FLOWER LANE MOUNTAIN VIEW, CA 94043 FOR SALES: (888) 517-3152 FOR CONSTRUCTION SUPPORT: (888) 517-3152 EMAIL: constructionsupport@designeverest.com	
2770 23RD STREET	
RESIDENTIAL IMPROVEMENTS	
2770 23RD STREET, SAN FRANCISCO, CA 94110 BLOCK / LOT : 4152 / 021A	
 LICENSED ARCHITECT Francisco J. Matos S-34078 RENEWAL DATE 02-28-2023	
A103	



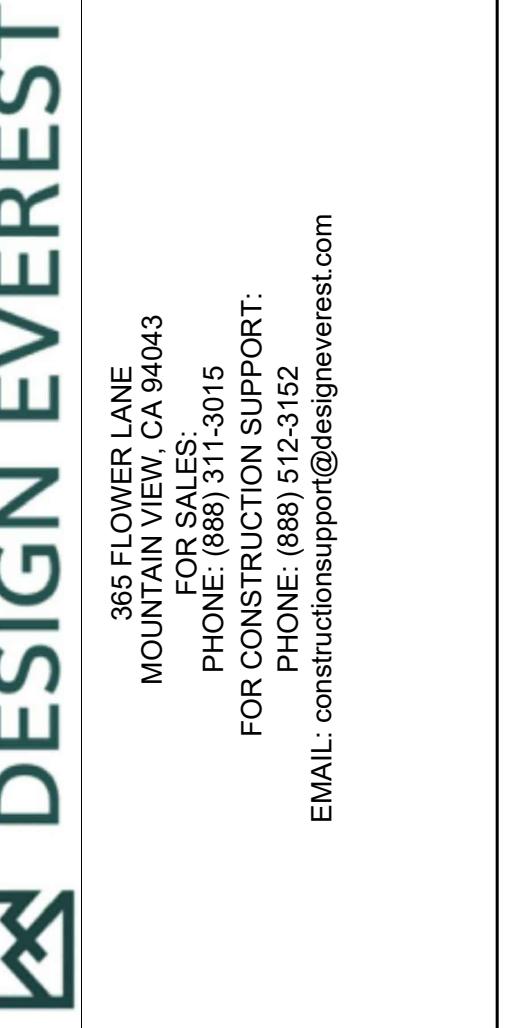
**10 | EXISTING SOUTH ELEVATION**

SCALE: 1/4": 1'-0"



**11 | PROPOSED SOUTH ELEVATION**

SCALE: 1/4": 1'-0"



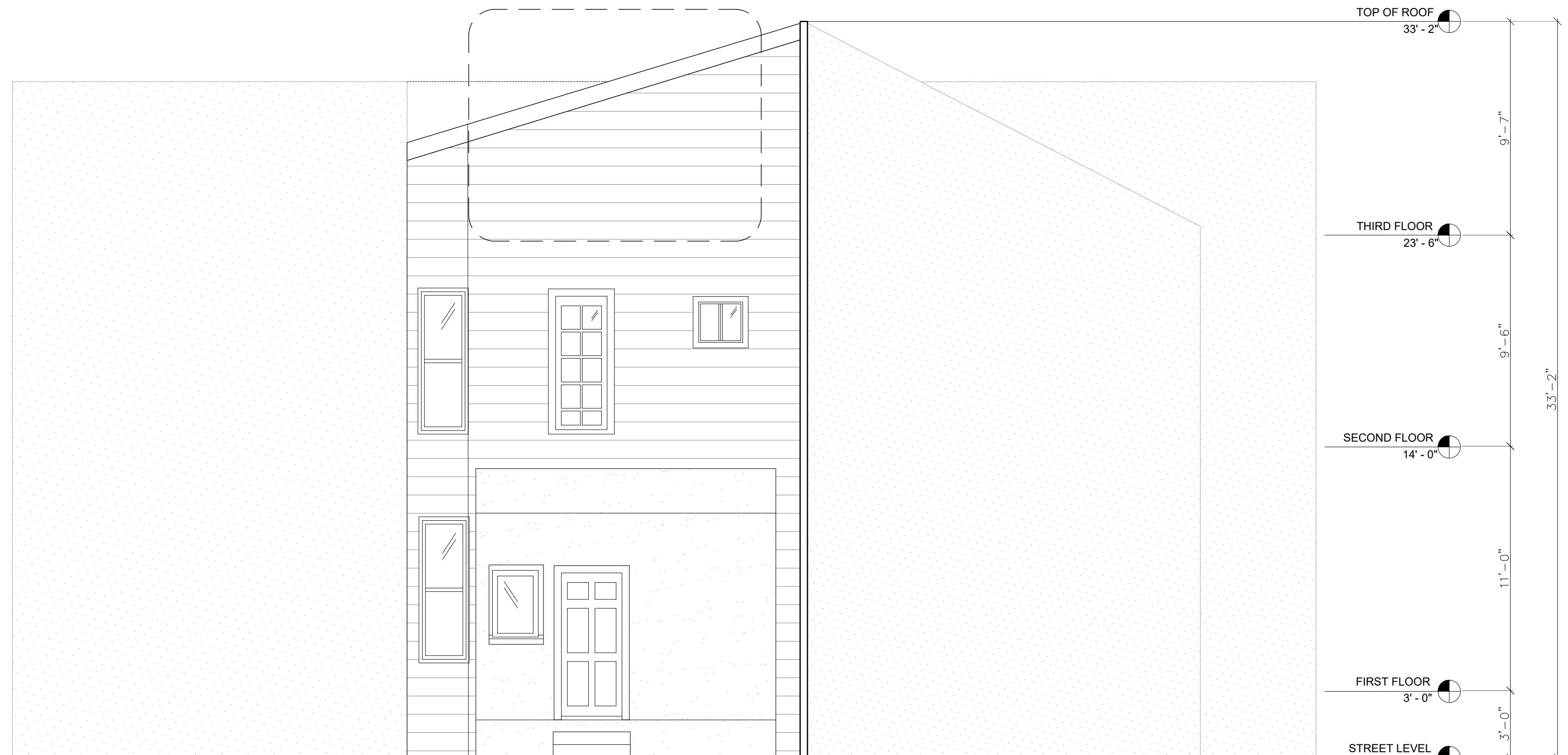
**2770 23RD STREET  
RESIDENTIAL IMPROVEMENTS**

2770 23RD STREET, SAN FRANCISCO, CA 94110  
BLOCK / LOT : ... / ...



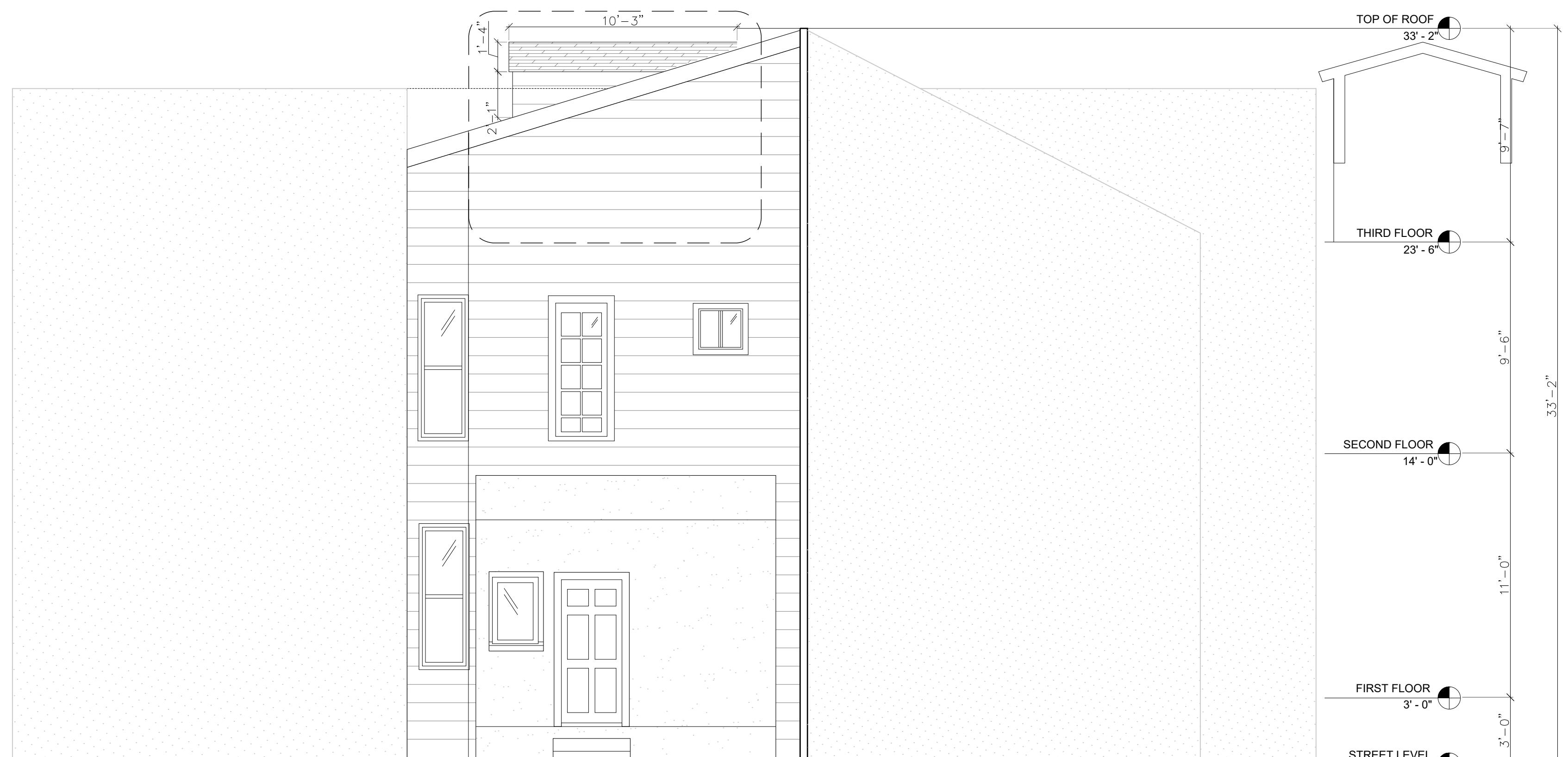
SHEET TITLE:  
**EXISTING / PROPOSED  
AND  
SOUTH  
ELEVATION**

**A104**



**12 EXISTING NORTH ELEVATION**

SCALE: 1/4": 1'-0"



**13 PROPOSED NORTH ELEVATION**

SCALE: 1/4": 1'-0"

**DESIGN EVEREST**

265 FLOWER LANE  
MOUNTAIN VIEW, CA 94043  
FOR SALES  
PHONE: (888) 317-3015  
FOR CONSTRUCTION SUPPORT:  
PHONE: (888) 517-3152  
EMAIL: constructionsupport@designeverest.com

**2770 23RD STREET**

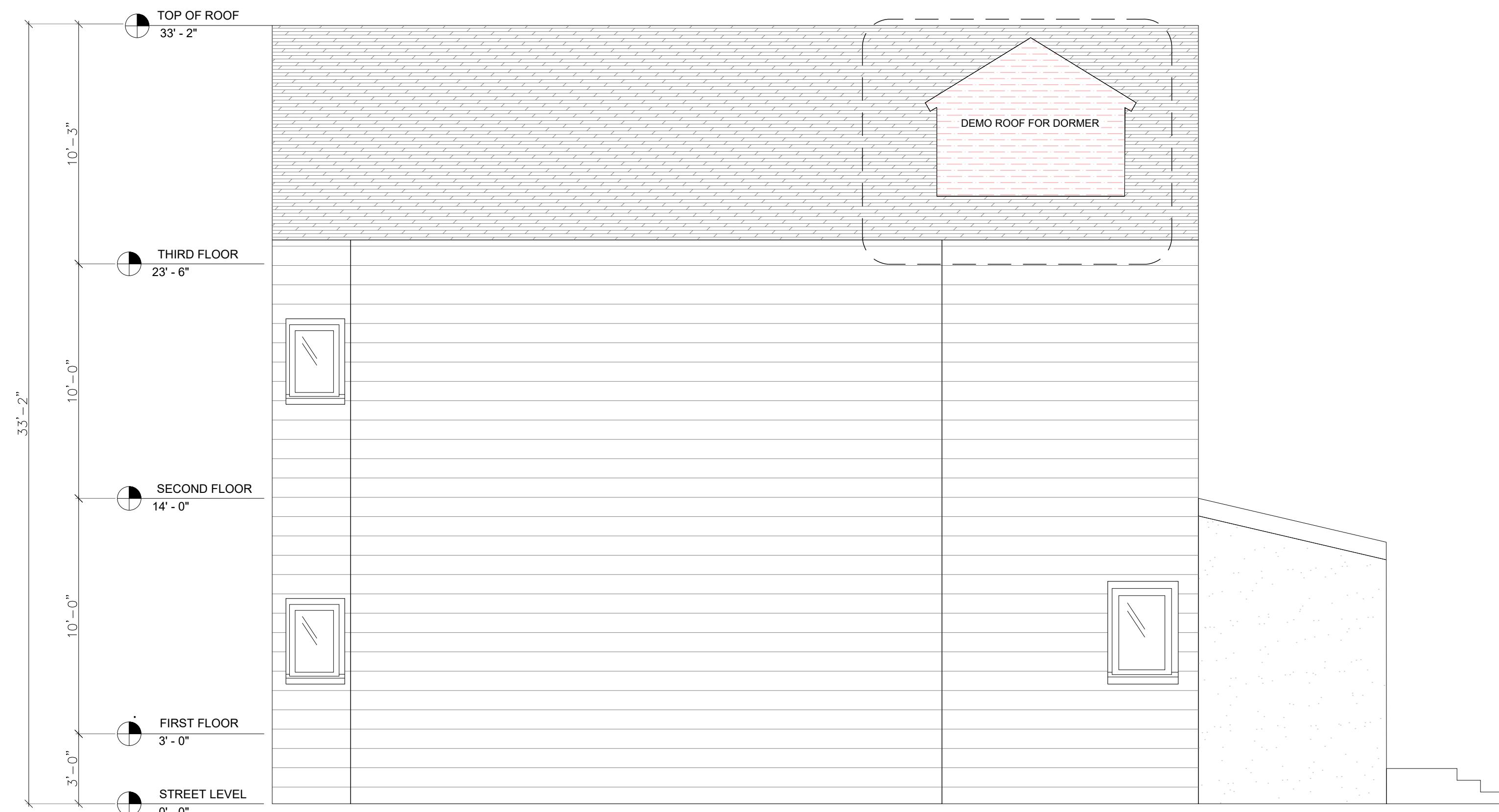
**RESIDENTIAL IMPROVEMENTS**

2770 23RD STREET, SAN FRANCISCO, CA 94110  
BLOCK / LOT : ... / ...



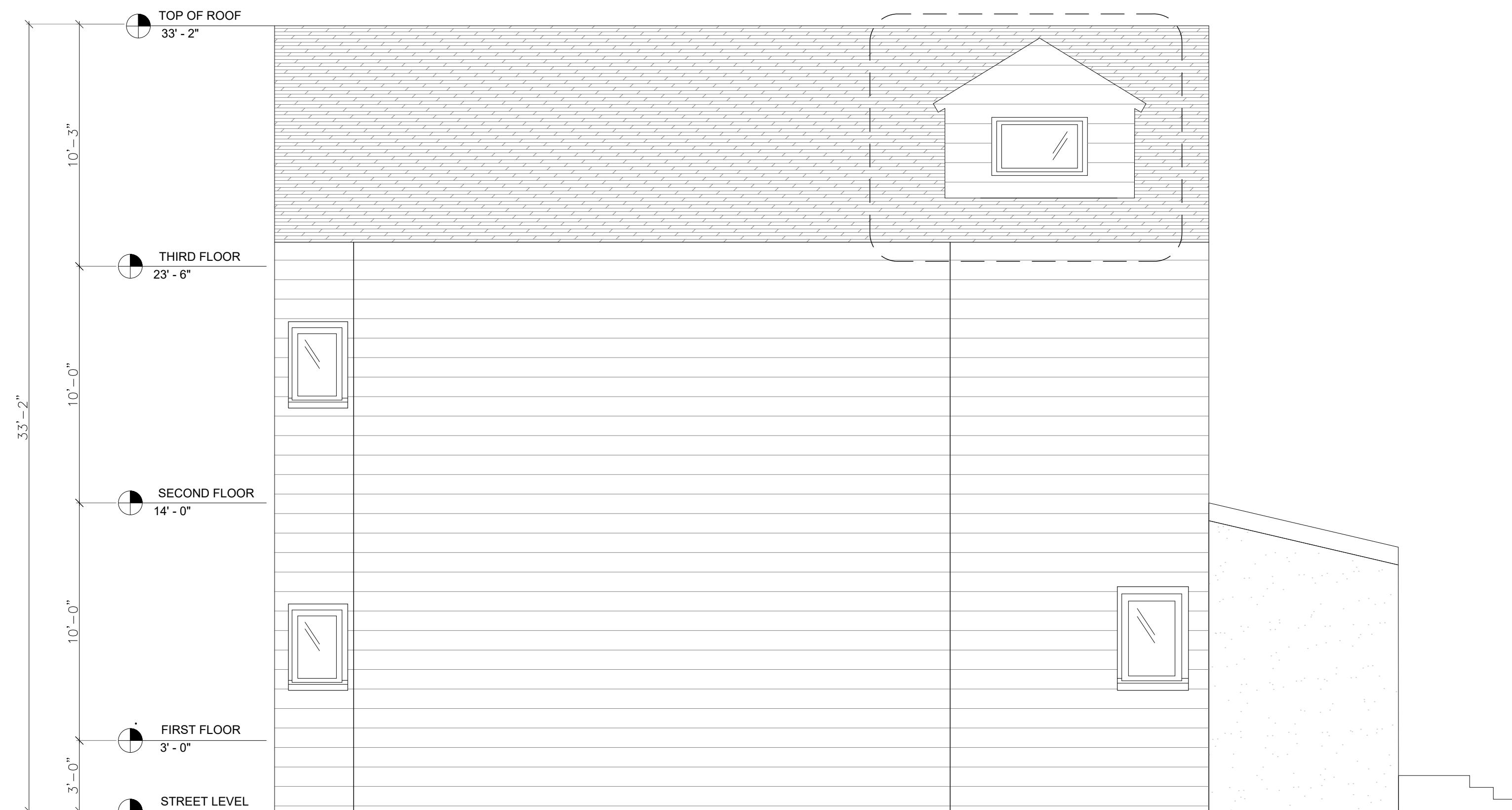
SHEET TITLE:  
**EXISTING / PROPOSED AND NORTH ELEVATION**

**A105**



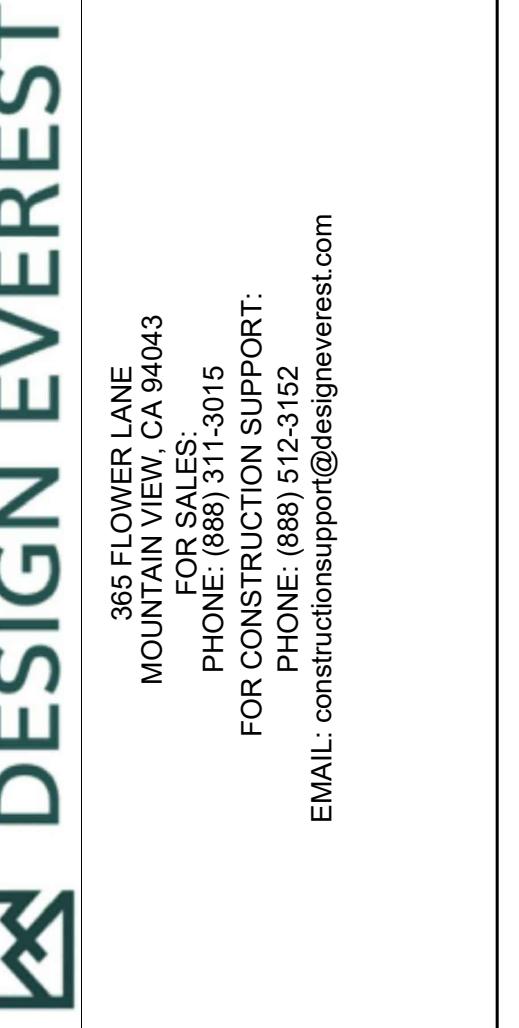
**14 | EXISTING EAST ELEVATION**

SCALE: 1/4":1'-0"



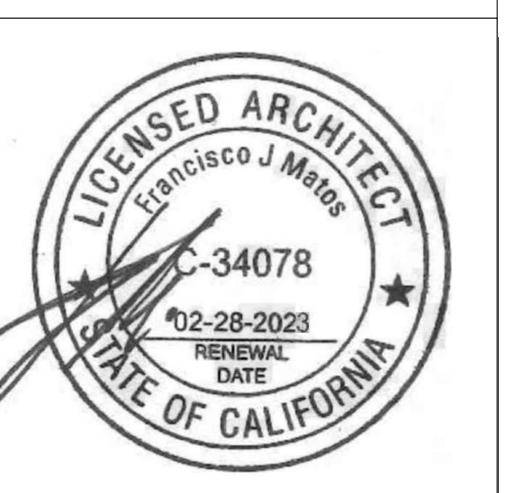
**15 | PROPOSED EAST ELEVATION**

SCALE: 1/4":1'-0"



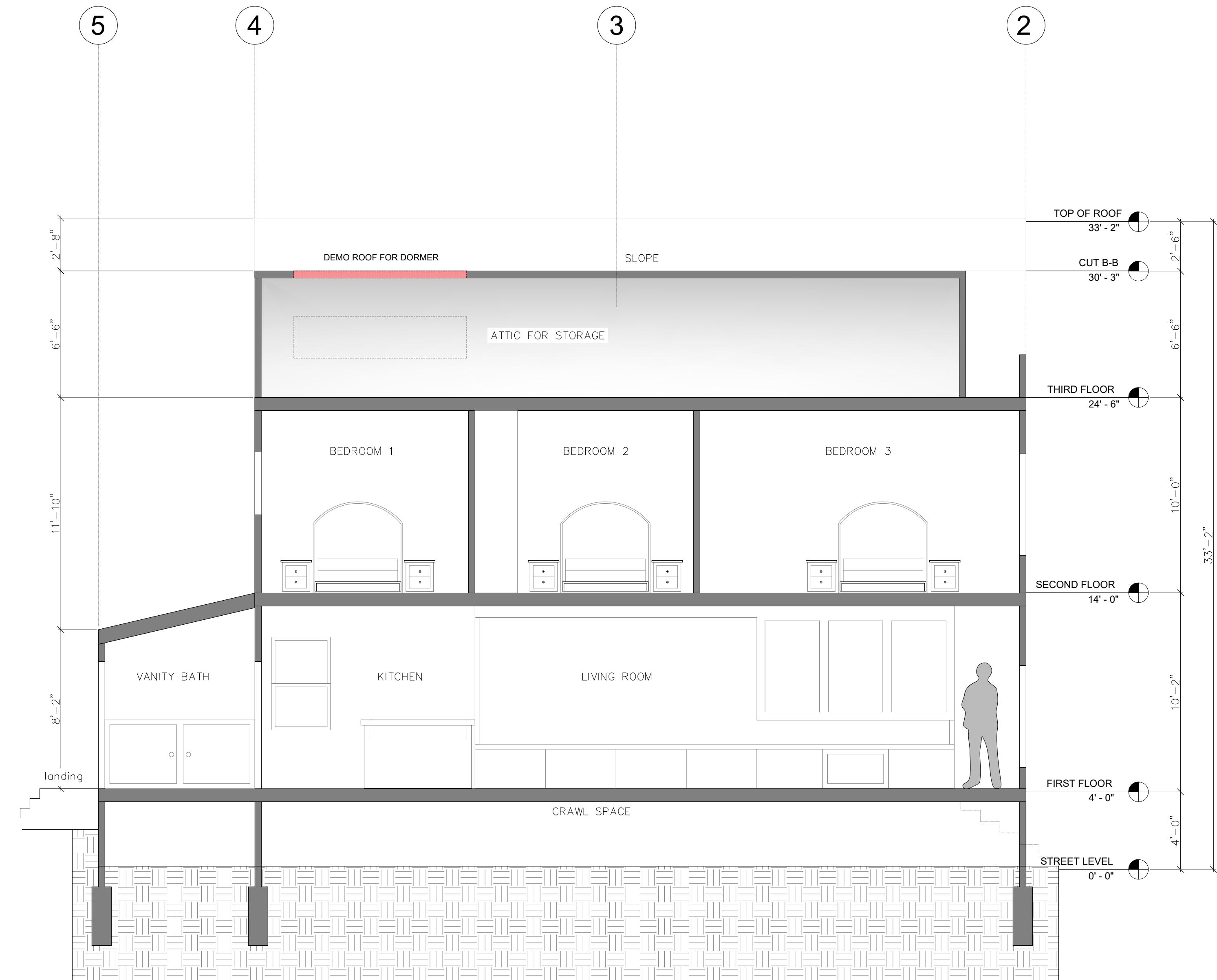
**2770 23RD STREET  
RESIDENTIAL IMPROVEMENTS**

2770 23RD STREET, SAN FRANCISCO, CA 94110  
BLOCK / LOT : ... / ...



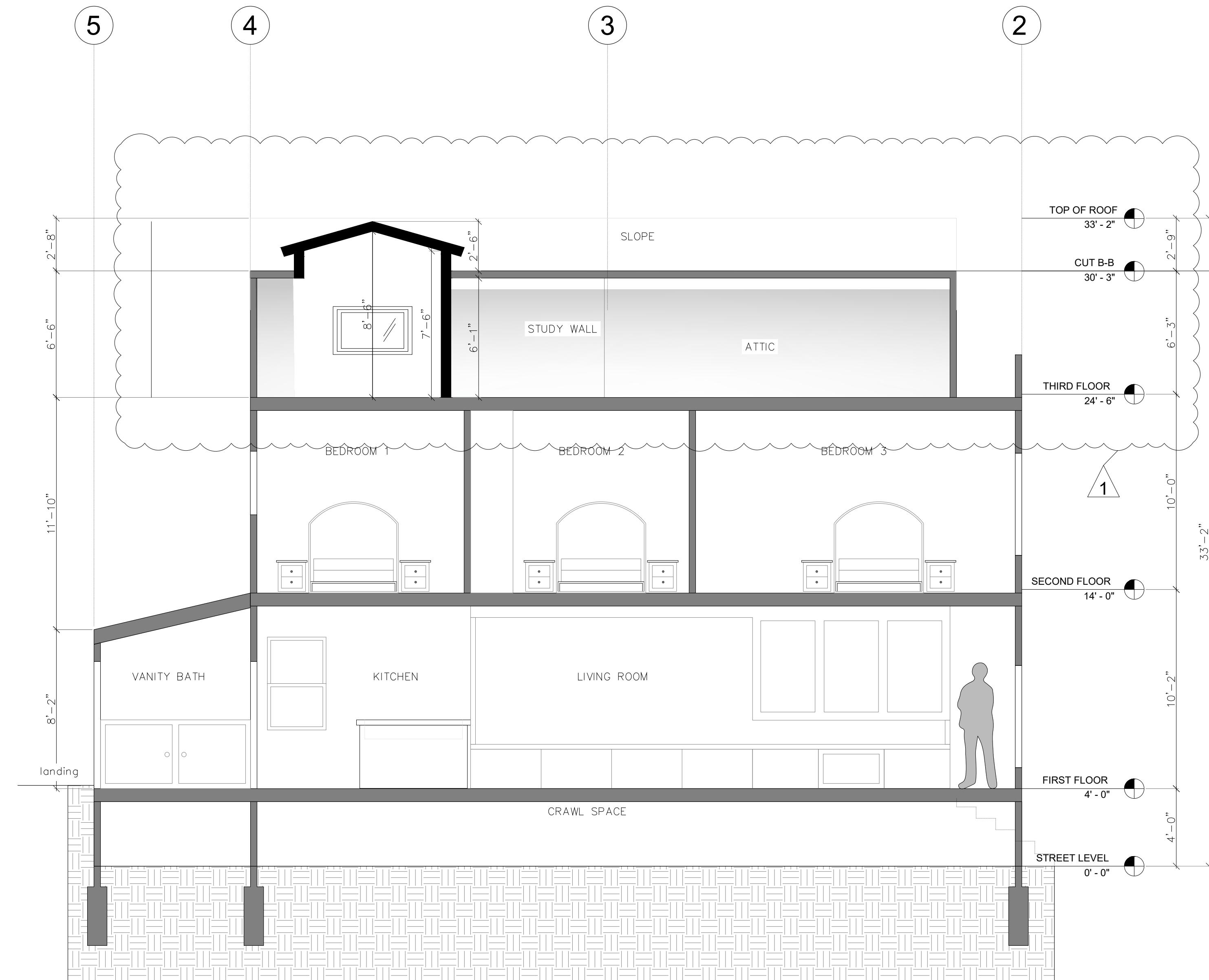
SHEET TITLE:  
**EXISTING / PROPOSED  
AND  
EAST  
ELEVATION**

**A106**



16 | EXISTING LONGITUDINAL SECTION

SCALE: 3/16":1'-0"



17 | PROPOSED LONGITUDINAL SECTION

SCALE: 1/4":1'-0"

**RESIDENTIAL IMPROVEMENTS**

**2770 23RD STREET**

2770 23RD STREET, SAN FRANCISCO, CA 94110

BLOCK / LOT : ... / ...

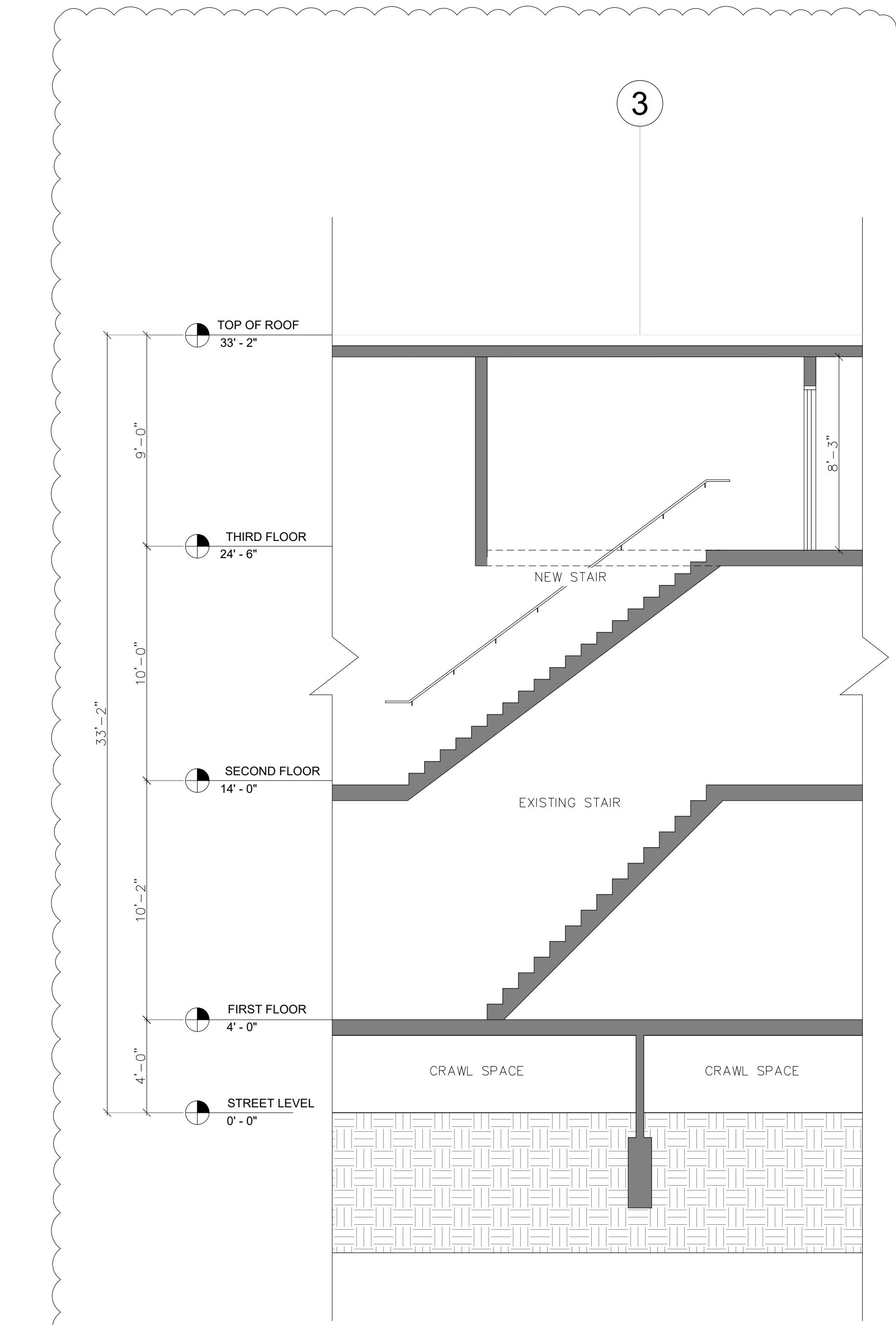
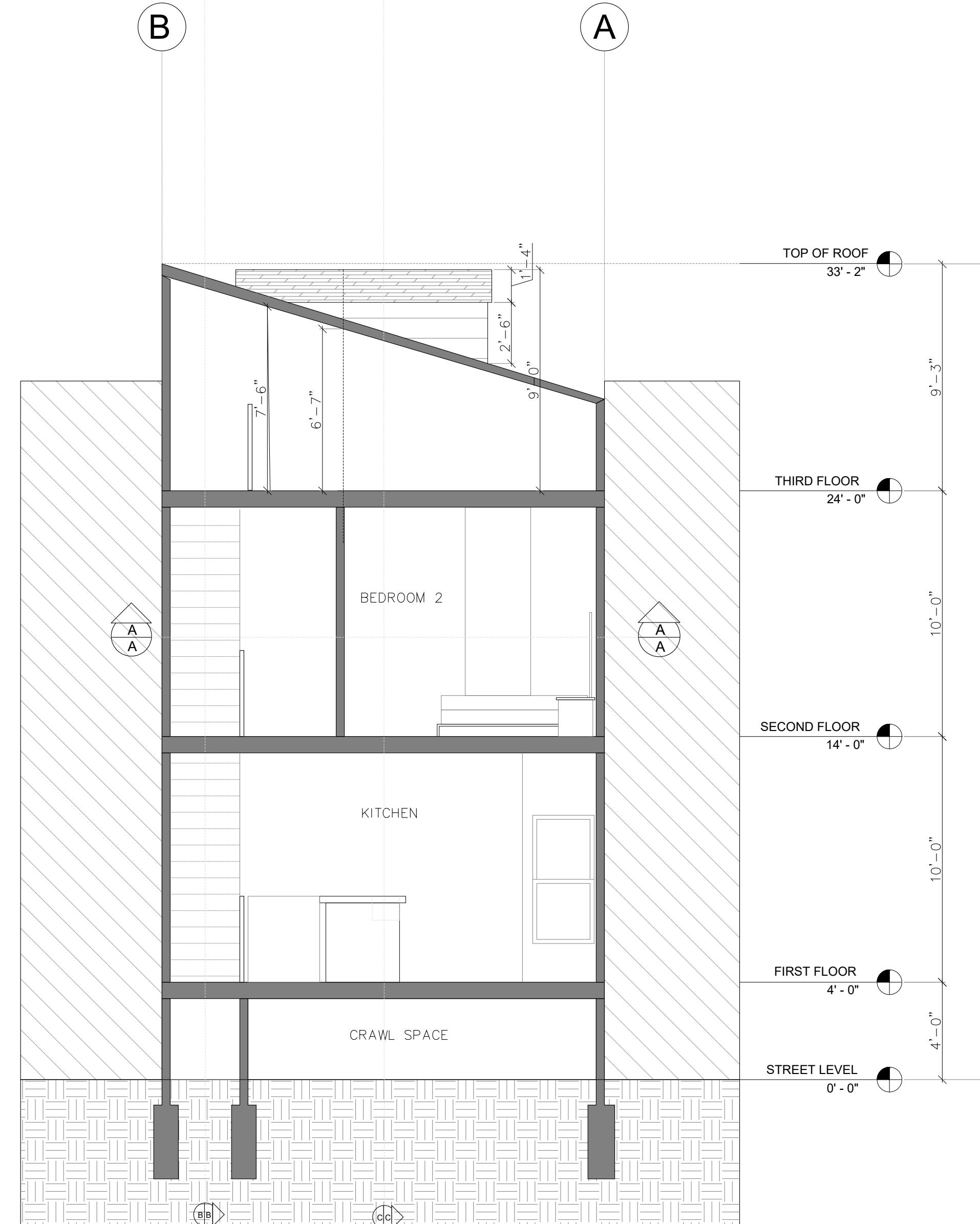
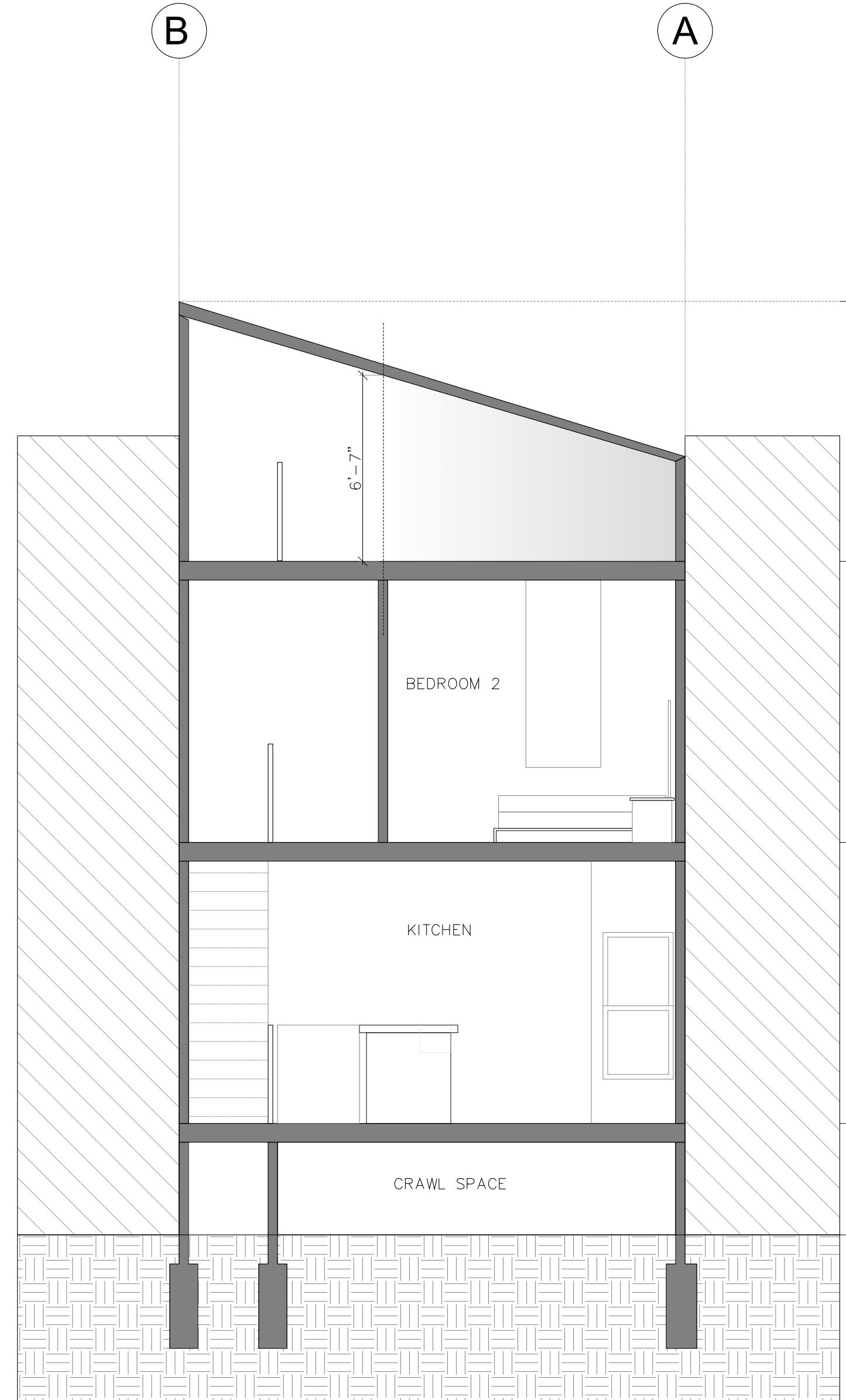
**DESIGN EVEREST**

265 FLOWER LANE  
MOUNTAIN VIEW, CA 94043  
FOR SALES: (888) 317-3015  
FOR CONSTRUCTION SUPPORT: (888) 517-3152  
EMAIL: constructionsupport@designeverest.com



SHEET TITLE:  
**EXISTING / PROPOSED AND LONG... SECTION**  
**B-B**

**A107**



SHEET TITLE:  
**EXISTING / PROPOSED AND TRANS... SECTION**  
**A-A**

**A108**

**DESIGN EVEREST**

265 FLOWER LANE  
MOUNTAIN VIEW, CA 94043  
FOR SALES  
PHONE: (888) 317-3015  
FOR CONSTRUCTION SUPPORT:  
PHONE: (888) 517-3152  
EMAIL: constructionsupport@designeverest.com

**2770 23RD STREET**

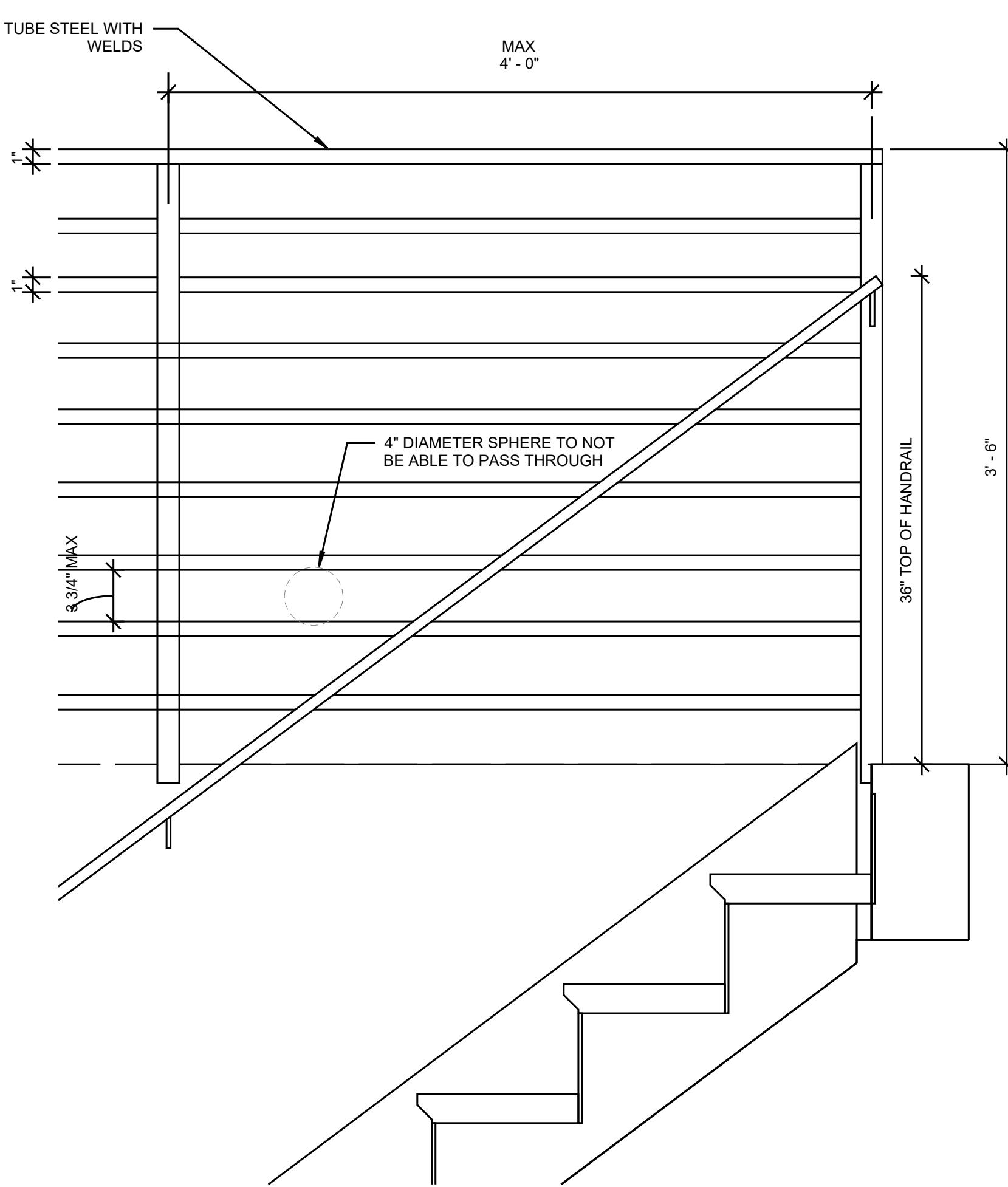
**RESIDENTIAL IMPROVEMENTS**

2770 23RD STREET, SAN FRANCISCO, CA 94110  
BLOCK / LOT : ... / ...

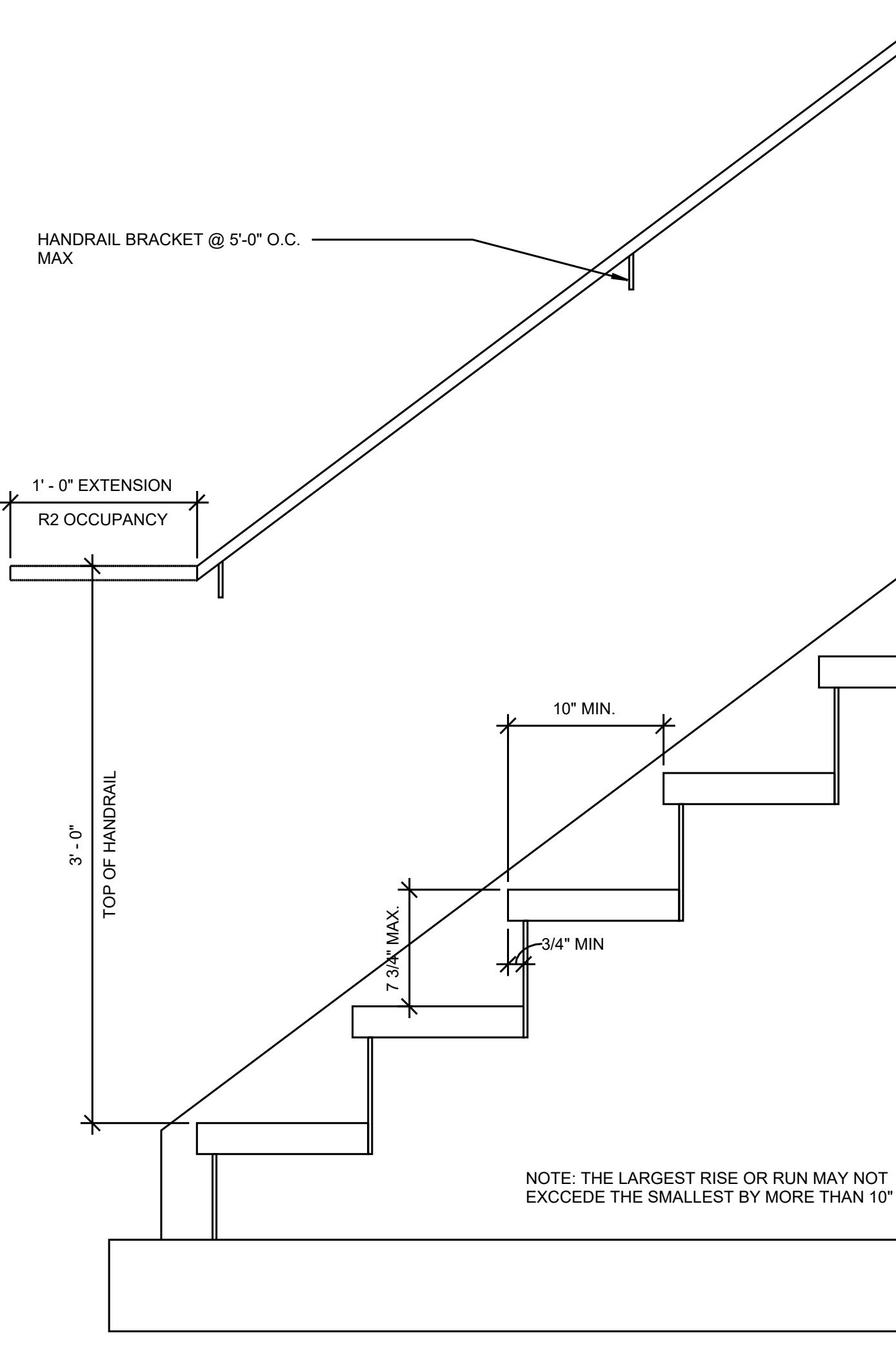
**RESIDENTIAL IMPROVEMENTS**

BLOCK / LOT : 4152 / 021A

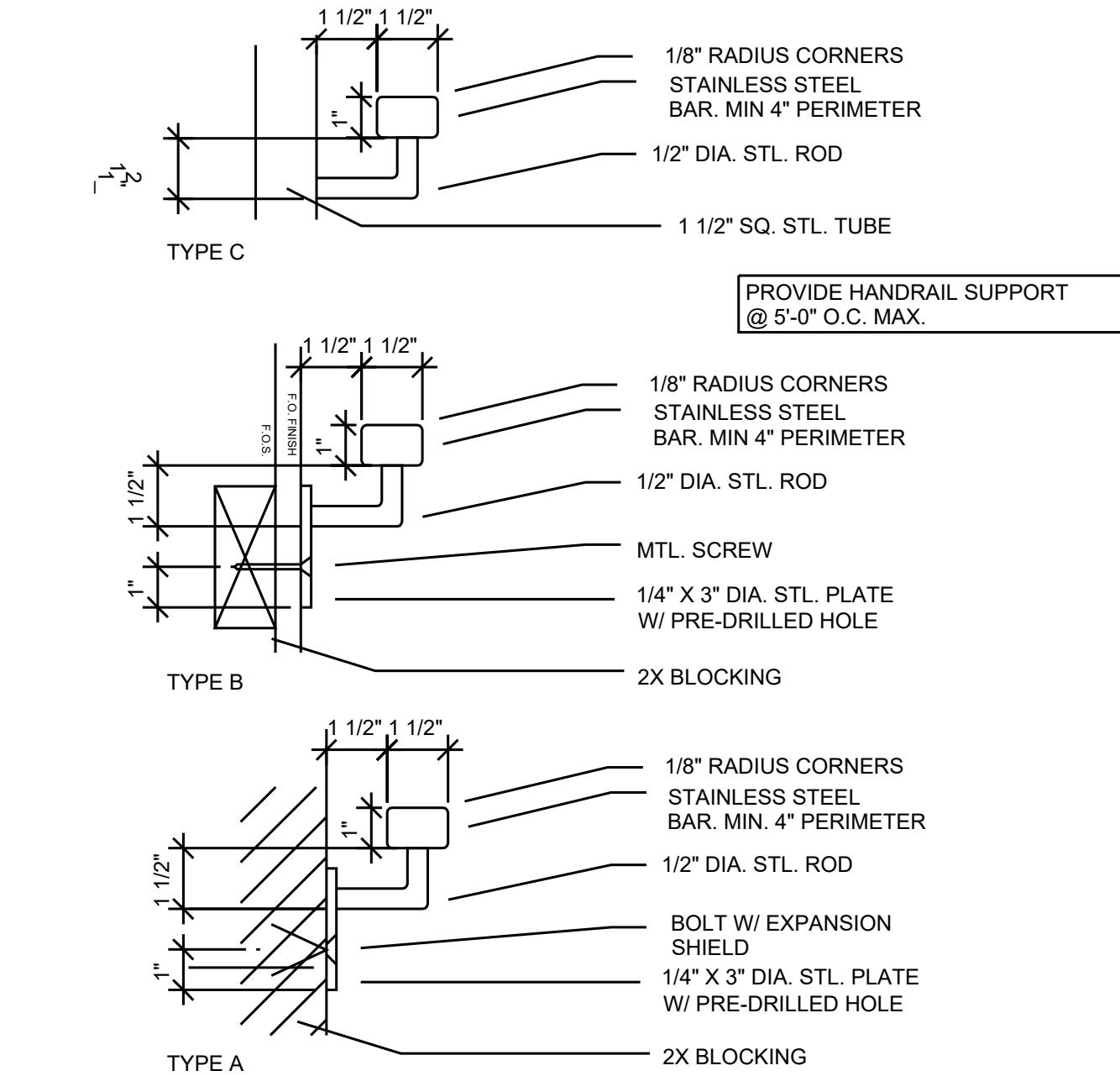
**21** STAIRS - TYPICAL GUARDRAIL DETAIL  
1 1/2" = 1'-0"



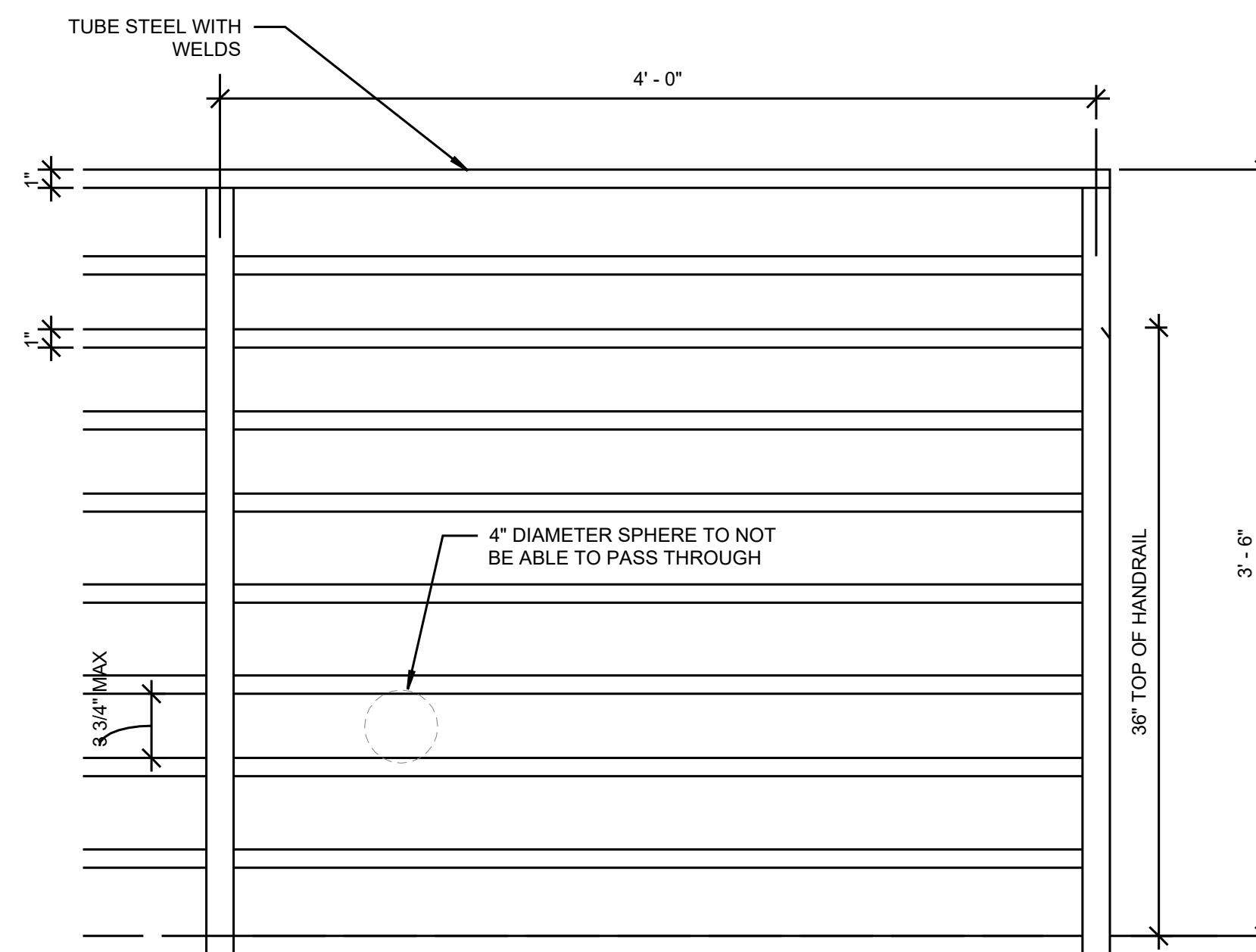
**22** STAIRS - TYPICAL HANDRAIL DETAIL @ WALL  
1 1/2" = 1'-0"



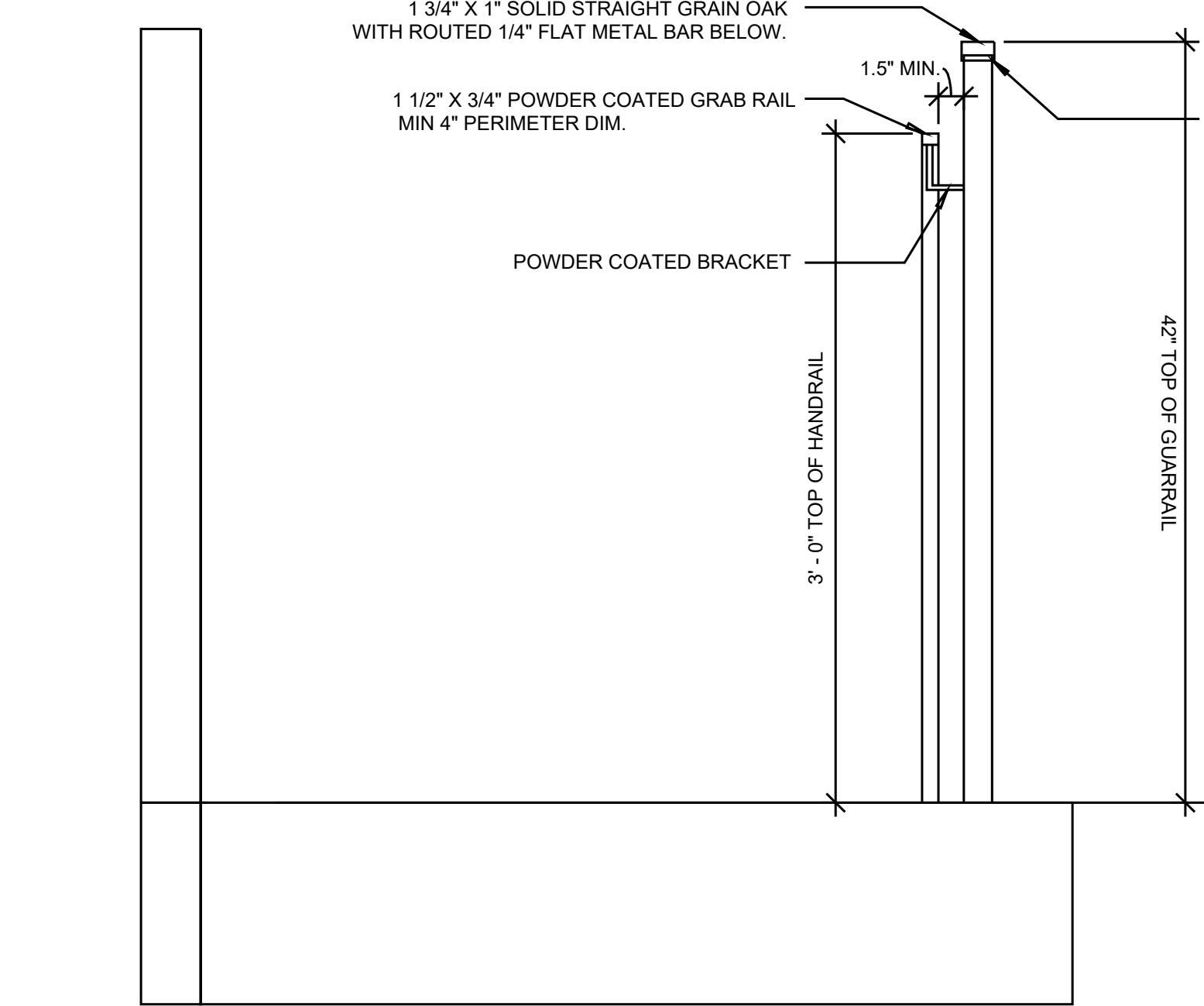
**23** STAIRS - TYPICAL HANDRAIL DETAIL  
3" = 1'-0"



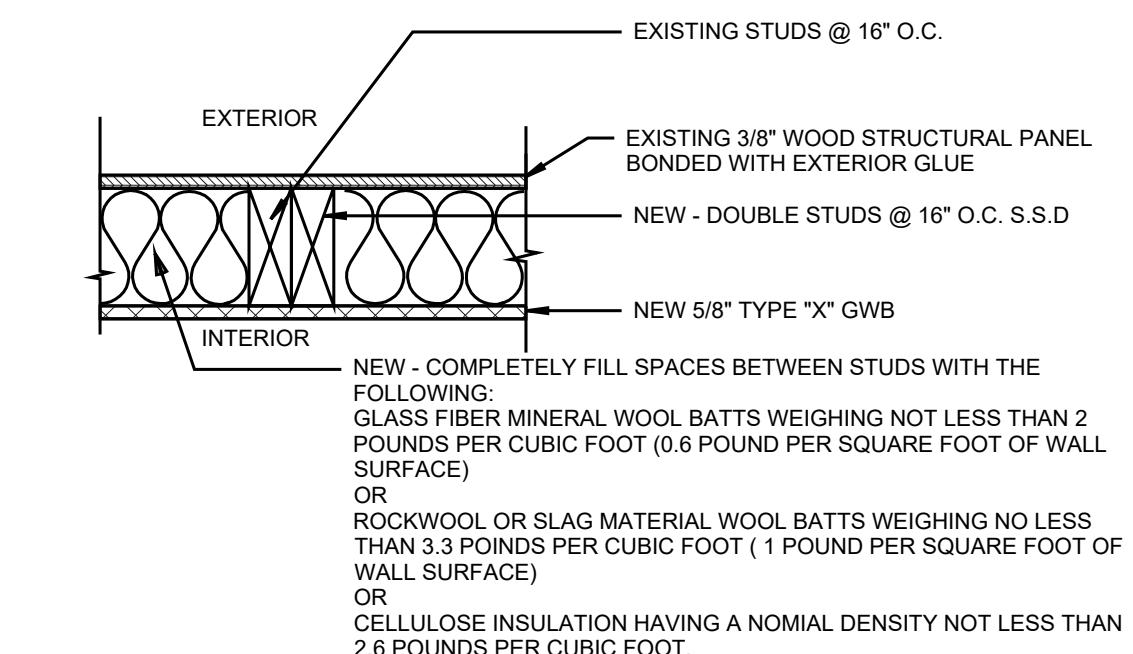
**24** DECK - TYPICAL GUARDRAIL DETAIL  
1 1/2" = 1'-0"



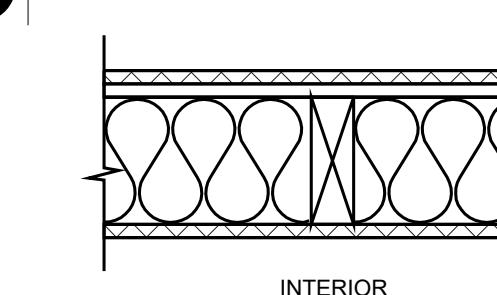
**25** STAIRS - GUARDRAIL & HANDRAIL DETAIL  
1 1/2" = 1'-0"



**27** TYP. 1 HR PARTY WALL MIN STC 50  
1 1/2" = 1'-0"



**26** TYP. (E) EXTERIOR WALL TO BE  
RETROFITTED TO 1HR RATED  
1 1/2" = 1'-0"



FIRE TEST: UL Des U327 A-26  
1 HOUR RATED CONSTRUCTION  
5/8" SHEETROCK Brand FIRECODE C Core 1 hour UL Des U327 A-26  
Gypsum Panels  
- 2x4 wood stud 16" or 24" o.c.  
- 3" THERMAFIBER SAFB  
- RC-1 channel or equivalent one side  
- joints finished

SHEET TITLE:  
**DETAILS**  
FOR  
**RAILING**  
**STAIRS**





Arellano's Wood Windows  
3309 26th st.  
San Francisco, CA 94110

## Invoice

Date	Invoice #
4/8/2022	5032

Bill To
Matthew Lent 2770 23rd St. San Francisco, CA 94110

Job Site

Description	Quantity	Rate	Amount
<b>UPSTAIRS</b> ~28" x 80" (5 1/2" Jamb Depth) Single Hung Wood Window Unit w/ lugs, African Mahogany Wood, Low-E Double Pane Glass, Channel Balances, White Primer Coat Inside & Out, Brush Weatherstripping, Solid Brass Lock & Lifts. (Hardware Finish: TBD)	2	1,864.00	3,728.00T
~36" x 80" (5 1/2" Jamb Depth) Single Hung Wood Window Unit w/ lugs, African Mahogany Wood, Low-E Double Pane Glass, Channel Balances, White Primer Coat Inside & Out, Brush Weatherstripping, Solid Brass Lock & Lifts. (Hardware Finish: TBD)	2	2,048.00	4,096.00T
<b>&gt;BATHROOM</b> ~30" x 80" (5 1/2" Jamb Depth) Single Hung Wood Window Unit w/ lugs, African Mahogany Wood, SATIN ETCH / Low-E Double Pane Glass, Channel Balances, White Primer Coat Inside & Out, Brush Weatherstripping, Solid Brass Lock & Lifts. (Hardware Finish: TBD)	1	2,021.00	2,021.00T
<b>DOWNSTAIRS</b> ~28" x 84" (5 1/2" Jamb Depth) Single Hung Wood Window Unit w/ lugs, African Mahogany Wood, Low-E Double Pane Glass, Channel Balances, White Primer Coat Inside & Out, Brush Weatherstripping, Solid Brass Lock & Lifts. (Hardware Finish: TBD)	2	1,912.00	3,824.00T
~36" x 84" (5 1/2" Jamb Depth) Single Hung Wood Window Unit w/ lugs, African Mahogany Wood, Low-E Double Pane Glass, Channel Balances, White Primer Coat Inside & Out, Brush Weatherstripping, Solid Brass Lock & Lifts. (Hardware Finish: TBD)	2	2,100.00	4,200.00T
Note: Approximate dimensions shown. Sales Tax		8.63%	1,542.09
Balance due before, or upon delivery.		<b>Total</b>	\$19,411.09
Phone #	Fax #	E-mail	<b>Payments/Credits</b> -\$9,705.55
(415) 305-0276	(866) 506-2390	rick@arellanoswoodwindows.com	<b>Balance Due</b> \$9,705.54

**DESIGN EVEREST**

265 FLOWER LANE  
MOUNTAIN VIEW, CA 94043  
FOR SALES: (888) 317-3015  
FOR CONSTRUCTION SUPPORT: (888) 517-3152  
EMAIL: constructionsupport@designeverest.com

**2770 23RD STREET**  
**RESIDENTIAL IMPROVEMENTS**

2770 23RD STREET, SAN FRANCISCO, CA 94110  
BLOCK / LOT : ... / ...



SHEET TITLE:  
**M002**

**B000**

## ELECTRICAL NOTES:

- ALL INSTALLED LIGHTING SHALL BE HIGH EFFICIENCY.
- ALL LIGHT FIXTURES SHALL CONTAIN BULBS THAT ARE LABELLED AS JA8-2016 (JA8-2016-E FOR SEALED LENS OR RECESSED FIXTURE). SCREW BASE BULBS ARE PERMITTED, EXCEPT IN RECESSED LIGHTING FIXTURES.
  - RECESSED LIGHTING SHALL BE LISTED AS IC (ZERO CLEARANCE TO INSULATION) AND AT (AIRTIGHT), BE SEALED/CAULKED BETWEEN THE FIXTURE HOUSING AND CEILING, SHALL NOT CONTAIN A SCREW BASE SOCKET, AND CONTAIN BULBS MARKER WITH JA8-2016-E EFFICIENCY LABEL.
  - NEWLY INSTALLED LIGHTING IN BATHROOMS, SHALL HAVE AT LEAST ONE FIXTURES CONTROLLED BY A VACANCY SENSOR SWITCH THAT REQUIRES A MANUAL ON ACTIVATION (DOES NOT AUTOMATICALLY TURN ON) AND AUTOMATICALLY TURNS OFF WITHIN 30 MINUTES AFTER THE ROOM IS VACATED.
  - DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL INSTALLED LIGHTING FIXTURES WITH JA8-2016 BULBS, EXCEPT THOSE IN A CLOSET THAT IS LESS THAN 70 SQUARE FEET AND IN HALLWAYS. EXCEPT: LIGHTING FIXTURES IN CLOSETS LESS THAN 70 SQUARE FEET AND LIGHT FIXTURES IN HALLWAYS.
  - CLOSET LIGHTS SHALL BE FLUORESCENT, HAVE A SEALED LENS, OR LED LISTED FOR STORAGE AREA.
  - IN BATHROOMS ALL RECEPTACLES SHALL BE GFCI PROTECTED AND TAMPER-RESISTANT (TR). IF ANY NEW/ADDITIONAL OUTLETS ARE INSTALLED, THE BATHROOM SHALL HAVE A DEDICATED 20-AMP CIRCUIT.
  - AT LEAST ONE LIGHT FIXTURE SHALL BE CONTROLLED BY A VACANCY SENSOR SWITCH THAT REQUIRES A MANUAL ON ACTIVATION (DOES NOT AUTOMATICALLY TURN ON) AND AUTOMATICALLY TURNS OFF WITHIN 30 MINUTES AFTER THE ROOM IS VACATED. ALL OTHER LIGHT FIXTURES SHALL BE CONTROLLED BY A VACANCY SENSOR OR DIMMER.
  - LIGHTING FIXTURES LOCATED WITHIN 3 FEET HORIZONTALLY AND 8 FEET VERTICALLY OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD SHALL BE LISTED FOR A DAMP LOCATION, OR LISTED FOR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY.
  - EXTERIOR LIGHTING SHALL BE SHIELDED TO PREVENT GLARE OR DIRECT ILLUMINATION ON PUBLIC STREETS OR ADJACENT PROPERTIES.
  - OUTDOOR LIGHTING SHALL BE APPROVED FOR EXTERIOR LOCATIONS.
  - OUTDOOR LIGHTING FIXTURES SHALL BE CONTROLLED IN ONE OF THE FOLLOWING MANNERS:
    - WITH A MANUAL ON AND OFF SWITCH AS WELL AS A PHOTOCELL AND MOTION SENSOR.
    - PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL.
    - ASTRONOMICAL TIME CLOCK.
    - ENERGY MANAGEMENT SYSTEM.
  - NEW LIGHTING OR RECEPTACLES ADDED MAY NOT OVERLOAD EXISTING CIRCUITS.
  - RECEPTACLES INSTALLED IN THE FOLLOWING LOCATIONS MUST BE GFCI PROTECTED: EXTERIOR, GARAGE, BATHROOMS, ABOVE THE KITCHEN COUNTERTOP, WITHIN SIX FEET OF A SINK, AND LAUNDRY AREAS.
  - NEW OUTLETS (INCLUDING RECEPTACLES, SWITCHES, LIGHTING, AND HARD-WIRED SMOKE DETECTORS) INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, CLOSETS, HALLWAYS, OR LAUNDRY AREAS SHALL BE AFCI PROTECTED.
  - SHOW LOCATION OF THE ELECTRICAL MAIN PANEL AND ELECTRICAL SUB PANEL ON THE FLOOR PLAN.
    - PROVIDE MINIMUM 3 FEET WIDE BY 3 FEET DEEP AND MINIMUM 6 1/2 FEET HIGH CLEARANCE IN FRONT OF ELECTRICAL PANEL OR EQUIPMENT. SEC. 110.32 & 110.34 OF C.E.C.
    - INSTALLATION OF ELECTRICAL PANEL AND ELECTRICAL BOXES IN THE FIRE-RESISTANCE-RATED ASSEMBLIES SHALL COMPLY WITH SECTION 714 OF C.B.C.
  - ALL RECEPTACLE IN DWELLING UNITS FOR 125-VOLT, 15 & 20 AMPERE SHALL BE LISTED TAMPER-RESISTANT RECEPTACLE. SECTION 406.11 OF C.E.C.
  - LOCATION OF THE RECEPTACLE OUTLETS SHALL BE DESIGNED TO COMPLY WITH C.E.C. SECTION 210.50 TO 215.0.
    - RECEPTACLE SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM RECEPTACLE OUTLET. SEC.210.52 (A) C.E.C.
    - RECEPTACLE AT KITCHEN COUNTERTOPS SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE. SEC. 210.52 (C) C.E.C.
    - AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOMS WITHIN 3 FEET OF THE OUTSIDE EDGE OF EACH BASIN. SEC.210.52 (D) C.E.C.
    - AT LEAST ONE RECEPTACLE OUTLET ACCESSIBLE AT GRADE LEVEL AND NOT MORE THAN 6 1/2 FEET ABOVE GRADE SHALL BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING. SEC. 210.52 (E) C.E.C.
    - HALLWAYS OF 10 FEET OR MORE IN LENGTH SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET. SEC. 210.52(H) C.E.C.
    - AT LEAST ONE RECEPTACLE OUTLET, IN ADDITION TO ANY PROVIDED FOR LAUNDRY EQUIPMENT, SHALL BE INSTALLED IN EACH BASEMENT AND IN EACH ATTACHED GARAGE, AND IN EACH DETACHED GARAGE WITH ELECTRIC POWER. SEC.210.52 (F&G) C.E.C.
    - A 125 VOLT, SINGLE-PHASE, 15 OR 20 AMPERE RATED RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, AIR CONDITIONING, AND REFRIGERATION EQUIPMENT. THE RECEPTACLE OUTLET SHALL NOT BE CONNECTED TO THE LOAD SIDE OF THE EQUIPMENT DISCONNECTING MEANS. SEC. 210.63 C.E.C.
  - ALL 125-VOLT, SINGLE-PHASE, 15 AND 20 AMPERE RECEPTACLES INSTALLED IN THE LOCATIONS SPECIFIED BELOW (DWELLING UNITS) SHALL HAVE GROUND=FAULT CIRCUIT INTERRUPTER PROTECTION (GFCI) FOR PERSONNEL. SEC. 210.63 C.E.C.
    - BATHROOM
    - GARAGE AND ACCESSORY BUILDINGS
    - OUTDOORS
    - CRAWL SPACE
    - UNFINISHED BASEMENTS
    - KITCHENS - WHERE THE RECEPTACLES ARE INSTALLED TO SERVE THE COUNTERTOP SURFACES.
    - LAUNDRY, UTILITY, AND WET BAR SINKS.
  - ALL 120-VOLT, SINGLE PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLING OUTLETS INSTALLED IN DWELLING UNIT.
    - KITCHENS
    - FAMILY ROOMS
    - DINNING ROOMS LIVING ROOMS
    - BEDROOMS OR AREAS
    - CLOSETS
    - HALLWAYS
    - SIMILAR ROOM
  - DESIGN LAYOUT FOR LIGHTING SHALL COMPLY WITH MANDATORY MEASURE OF 2016 BY CAL. ENERGY CODE CORRECT AND MODIFY DESIGN FOR LIGHTING FIXTURE ON THE PLANS, AT THE LOCATION SPECIFIED BELOW, FOR COMPLIANCE WITH CAL. ENERGY CODE
    - LUMINAIRE EFFICACY: ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0.0-A OF 2016 CALIFORNIA ENERGY CODE
    - RECESSED DOWNLIGHT LUMINAIRES IN CEILING: LUMINAIRES RECESSED INTO CEILINGS SHALL MEET ALL THE REQUIREMENT OF SECTION 150.0 (K)-1-C OF 2016 CALIFORNIA ENERGY CODE.
    - UNDER CABINET LIGHTINGS: ALL UNDER CABINET LIGHTINGS SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
    - VACANCY SENSOR: AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES LISTED BELOW SHALL BE CONTROLLED BY A VACANCY SENSOR.
      - BATHROOMS
      - GARAGES
      - LAUNDRY ROOMS
    - BEDROOMS
    - FAMILY ROOMS
    - DINING ROOMS
    - ALL OTHER ROOMS
    - CLOSET (WITH MORE THAN 70 SQ.FT. AREA)
      - MUST BE HIGH EFFICIENCY, CONTROLLED BY A MANUAL-ON OCCUPANT SENSOR, OR CONTROLLED BY DIMMER
    - OUTDOOR LIGHTING ATTACHED TO A BUILDING: ALL OUTDOOR LIGHTING ATTACHED TO BUILDING MUST BE HIGH EFFICIENCY AND CONTROLLED BY BOTH A MOTION SENSOR AND PHOTOCONTROL.
  - CONTROL SWITCH FOR EXHAUST FAN AT BATHROOMS AND KITCHEN FOR INDOOR AIR QUALITY AND MECHANICAL VENTILATION SHALL BE OPERATING SEPARATELY FROM LIGHTING SWITCH. SEC.150.0 OF CAL. ENERGY CODE

## 2019 MECHANICAL / ENERGY NOTES:

- GAS VENT TERMINATIONS SHALL MEET THE REQUIREMENTS OF CMC 802.6 & SFMC 802.6.1. THROUGH WALL VENT TERMINATION PER SFMC 802.2.6
- COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMG CHAPTER 7.
- ENVIRONMENTAL AIR DUCTS SHALL TERMINATE 3 FEET FROM THE PROPERTY LINE AND 3 FEET FROM OPENINGS INTO THE BUILDING PER CMC 502.2.1 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1 .1. EXHAUST SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY.
- DOMESTIC RANGE HOOD VENTS SHALL MEET THE REQUIREMENTS OF CMG 504.3 AND COMPLY WITH CMC TABLE 403.7 AND THE CALIFORNIA ENERGY CODE.
- ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1203.1.
- CLOTHES DRYER EXHAUST SHALL BE A MINIMUM 4 INCHES, TERMINATE TO THE OUTSIDE OF THE BUILDING, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER, AND MEET THE REQUIREMENTS OF CMC 504.4. PROVIDE 100 SQ. INCH MINIMUM MAKE-UP AIR OPENING FOR DOMESTIC DRYERS.
- LIGHTING SHALL BE HIGH-EFFICACY AND COMPLY WITH CEC 150.0(K).

## SHEET LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING AND/OR NEW OVERHEAD CONSTRUCTION INDICATES NEW WALL CONSTRUCTION
	EXISTING CONSTRUCTION TO BE REMOVED (CUT THROUGH)
	EXISTING CONSTRUCTION TO BE REMOVED (NOT CUT THROUGH)
	SHADE INDICATE AREA OF EXISTING FLOOR OR ROOF TO BE REMOVED
	SHADE INDICATES STRUCTURE AT ADJACENT PROPERTY. NOT A PART OF THIS PERMIT.
	PROPERTY LINE
	CONSTRUCTION KEYED NOTE (SEE KEYED NOTES BELOW)
	DEMOLITION KEYED NOTE (SEE KEYED NOTES BELOW)

## DEMOLITION NOTES

THE FOLLOWING NOTES APPLY TO THIS SHEET ONLY:

- NO CHANGES TO HISTORIC EXTERIO, PROJECT THROUGHOUT DEMOLITION
- NO CHANGES TO BUILDING STRUCTURAL SYSTEM PROJECT THROUGHOUT DEMOLITION
- NO CHANGES TO BUILDING AND LIFE SAFETY SYSTEM CONTRACTOR NO DISRUPTION IN SERVICES. PROJECT THROUGH CONSTRUCTION
- CONTRACTOR TO SAFE-OFF ALL UTILITIES AND SERVICES PRIOR TO DEMOLITION INCLUDING ELECTRICAL, GAS, WATER, SEWER, TELEPHONE/DATA CONTRACTOR TO ENSURE NO DISRUPTION TO USE OF ADJACENT FLOOR DURING DEMOLITION
- CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THESE DRAWINGS OR ANY CONDITIONS UNCOVERED THROUGH DEMOLITION WHICH INDICATE NON-STAND CONDITION OR MAY REQUIRE REPAIR
- IF THE CONTRACTOR DISCOVERS ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL THE CONTRACTOR SHALL IMMEDIATELY ISOLATE THE AREA AND NOTIFY THE OWNER FOR FURTHER INSTRUCTIONS
- CONTRACTORS SHALL FURNISH ALL NECESSARY SHORING, BRACING, ETC. AS REQUIRED TO SAFELY EXECUTE ALL WORK.
- CONTRACTORS TO SEPARATE WASTE MATERIALS BASED ON TYPE AND RECYCLE APPROPRIATELY
- CONTRACTOR SHALL NOT DISTURB NEIGHBORING STRUCTURES, INCLUDING THOSE BUILDING ELEMENTS WHICH ARE SHARED, INCLUDING BUT NOT LIMITED TO SHARED FOUNDATIONS & FOOTING, PARTY WALLS, ROOF VALLEYS, AND ROOF DRAINAGE PATHWAYS

## SHEET GENERAL NOTES

THE FOLLOWING NOTES APPLY TO THIS SHEET ONLY:

- CONTRACTOR TO VERIFY IN FIELD EXISTING CONDITIONS AT TIME OF DEMOLITION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THESE DRAWINGS.
- CONTRACTOR TO CHECK FOR REFLECTION OF EXISTING FLOOR JOISTS AND NOTIFY ARCHITECT BEFORE START OF CONSTRUCTION.
- ALL NEW CONSTRUCTION TO ALIGN WITH EXISTING CONSTRUCTION PER PLANS.
- CONTRACTOR TO PROVIDE SOLID WOOD BLOCKING AS NECESSARY FOR ALL BUILT-IN CONSTRUCTION.
- PREPARE ALL INTERIOR SURFACES TO RECEIVE NEW PAINT FINISH AT AREAS OF CONSTRUCTION AND ADJACENT OPEN AREAS.
- REMOVE EXISTING WALL, CEILING AND ATTIC INSULATION WHERE EXPOSED. REPLACE WITH NEW BATT INSULATION: WALLS MIN R-13, CEILINGS MIN. R-19, ATTICS/ROOFS MIN R-30.
- INTERIOR WALL CONSTRUCTION TO BE 2X4 WOOD FRAMING WITH 1-LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE, PAINTED, U.O.N.
- ALL INTERIOR WALL AND CEILING SURFACES TO BE PAINTED GYPSUM BOARD SMOOTH FINISH, LEVEL IV, U.O.N. PROVIDE PAINTED WOOD BASE THROUGHOUT.
- CONTRACTOR TO MAINTAIN FIRE-RATED SEPARATION BETWEEN DWELLING UNITS.

## DEMOLITION NOTES

- EXISTING FRONT FACADE TO REMAIN. NO CHANGES TO HISTORIC EXTERIORS.
- EXISTING FRONT STAIR TO REMAIN
- EXISTING GAS, WATER, AND ELECTRICAL ENTRY INTO BUILDING. NO CHANGES
- EXISTING ROOF PARAPET TO REMAIN. NO CHANGES TO HISTORIC EXTERIORS
- EXISTING REAR YARD STAIR TO BE REMOVED
- EXISTING WINDOWS TO BE REMOVED
- EXISTING EXTERIOR DOOR TO BE REMOVED
- EXISTING SKYLIGHT TO BE REMOVED
- EXISTING GUTTER AND SOWNSPOUT TO BE REMOVED
- EXISTING WOOD SIDING TO BE REMOVED
- PORTION OF EXISTING ROOF TO BE REMOVED

## SHEET KEYED NOTES

- 1 NEW PAINTED WOOD SIDING.
- 2 NEW DUAL-PANED GLASS & METAL FRAME FOLDING/SLIDING EXTERIOR DOORS.
- 3 NEW DUAL-PANED METAL WIND OWS.
- 4 NEW PLANTER BOX.
- 5 NEW GRILLING STATION.
- 6 NEW STAIRS IN REAR YARD.
- 7 NEW STAIRS, NEW 42" HIGH GUARDRAIL, AND NEW HANDRAIL TO NEW ROOF DECK.
- 8 NEW ROOF SKYLIGHT.
- 9 NEW EXTERIOR SLIDING DOORS AND 42" HIGH GUARDRAIL.
- 10 NEW PARAPET RAILING CURB SURROUNDING NEW ROOF DECK.
- 11 NEW RAISED FLATTENED CEILING FOR 7" STORAGE SPACE
- 12 DASHED LINE INDICATES EXISTING SLOPED ROOF LINE BEYOND.
- 13 PROPOSED ADDITION AT ADJACENT PROPERTY. BUILDING APPLICATION NO. 2017-0928-9889
- 14 NEW EXTERIOR WATER HEATER CLOSET
- 15 NEIGHBORING PROPERTY WALL

**DESIGN EVEREST**

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SHEET TITLE:

**MECHANICAL / ELECTRICAL**

## NOTES

**B100**

## GENERAL CONSTRUCTIONS

- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL WORK PERFORMED COMPLIES WITH THE 2019 CALIFORNIA BUILDING, PLUMBING, ELECTRICAL, MECHANICAL, ENERGY, AND FIRE CODES, ALL NAPA COUNTY AMENDMENTS, AND CONFORMS WITH INDUSTRY BEST PRACTICES.
- BEYOND INSTRUCTIONS PROVIDED IN THE PLANS, THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, RULES & REGULATIONS OF ALL GOVERNING AGENCIES.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL PURCHASE & MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKERS COMPENSATION, PUBLIC LIABILITY & PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE CERTIFICATIONS SHALL NAME THE OWNER AS ADDITIONALLY INSURED.
- DRAWINGS & SPECIFICATIONS ARE INTENDED AS ASSISTANCE AND GUIDANCE, BUT EXACT DIMENSIONS AND ELEVATIONS SHALL BE GOVERNED BY ACTUAL FIELD CONDITIONS & SHALL BE CHECKED BY CONTRACTOR. THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND REPORT DISCREPANCIES WITH THIS PLANS AUTHOR WHENEVER APPROPRIATE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING & SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK INCLUDING BUT NOT LIMITED TO THE PROTECTION OF PEDESTRIANS & ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION. FAILURE TO OBTAIN AUTHORIZATION FROM THE OWNER OR THE OWNER'S REPRESENTATIVE MAY INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.
- SHOP & FIELD WORK SHALL BE PERFORMED BY MECHANICS, CRAFTSMEN & WORKERS SKILLED AND EXPERIENCED IN THE FABRICATION AND INSTALLATION OF THE WORK INVOLVED. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST-ESTABLISHED PRACTICE OF THE INDUSTRY.
- THIS PLANS AUTHOR SHALL NOT BE RESPONSIBLE FOR WORK PERFORMED THAT DEVIATE FROM APPROVED PERMITTED PLANS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE WORK PERFORMED AND FOR THE METHODS AND MATERIALS USED.
10. CONTRACTOR SHALL SCHEDULE AND PERFORM THE WORK DURING NORMAL WORKING HOURS UNLESS OTHERWISE APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE. ANY OVERTIME REQUIRED SHALL BE INCLUDED IN THE BID. NO CHANGES TO THE CONTRACT AMOUNT WILL BE AUTHORIZED AS A RESULT OF OVERTIME INCURRED.
11. CONTRACTOR TO PROVIDE STRICT CONTROL OF JOB CLEANING & PREVENT DUST & DEBRIS FROM EMANATING FROM THE CONSTRUCTION AREA REMOVE AND LAWFULLY DISPOSE OF ALL RUBBISH AND DEBRIS RESULTING FROM CONTRACTOR'S OPERATIONS DAILY. REMOVE RUBBISH AND DEBRIS AS IT ACCUMULATES AND KEEP AREA BROOM CLEAN. CONTRACTOR SHALL NOT STORE RUBBISH ON SITE FOR ANY EXTENDED PERIOD OF TIME. NO SMOKING ON THE SITE. THE JOBSITE SHALL BE LEFT BROOM CLEANED AT THE END OF EACH WORKDAY.
12. WHEN WORK IS PERFORMED WITHIN OR IN PROXIMITY OF OCCUPIED BUILDINGS, THE CONTRACTOR SHALL ENSURE ALL AVAILABLE TECHNIQUES FOR NOISE ABATEMENT, INCLUDING BUT NOT LIMITED TO MUFFLED AIR COMPRESSORS AND NOISE SUPPRESSED PNEUMATIC & ELECTRIC TOOLS.
13. CONTRACTOR SHALL PROVIDE PROTECTION TO FINISHES & FIXTURES TO REMAIN OR NEWLY INSTALLED FINISHES & FIXTURES TO KEEP THEM IN THEIR BEST POSSIBLE CONDITION AT DELIVERY OF THE CONCLUDED PROJECT.
14. THE CONTRACTOR SHALL FAVOR GREEN BUILDING METHODS AND ENVIRONMENTALLY PREFERRED PRODUCTS AND MATERIALS.
15. ALL PRODUCTS AND MATERIALS ARE TO BE STORED IN MOISTURE-FREE ENVIRONMENT DURING THE ENTIRE CONSTRUCTION PROCESS.
16. THERE SHALL BE DUMPING OF ANY KIND IN THE GROUND OR IN THE DRAINS PLANTS, SHRUBS AND TREES ARE TO BE PROTECTED AND PRESERVED UNLESS OTHERWISE AGREED WITH THE OWNER OR THE OWNER'S REPRESENTATIVE.
17. THE CONTRACTOR SHALL INFORM THE OWNER AND THE OWNER'S REPRESENTATIVE OF THE TIMELINE DURING CONSTRUCTION IN SUCH A WAY THAT CONSTRUCTION DOCUMENTS AND ORDER SHEETS CAN BE UPDATED AND PRODUCED IN ADVANCE TO ASSIST THE CONTRACTOR.
18. TO ENSURE GOOD COORDINATION, CONTRACTOR SHALL PROVIDE THIS PLANS AUTHOR APPROXIMATELY NO MORE AND NO LESS THAN 10 DAYS OF NOTICE TO REQUEST ROUGH PLUMBING FIXTURE ORDER SHEET, ROUGH ELECTRICAL FIXTURE SELECTION SHEET, APPLIANCE ORDER SHEET, FINISH PLUMBING ORDER SHEET, BATH HARDWARE ORDER SHEET, LIGHTING FIXTURES ORDER SHEET, GROUT AND PAINT/STAIN COLOR SELECTION SHEET, ETC.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER CONTRACTOR'S SUPERVISION AND SHALL MAINTAIN CURRENT CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION.
20. FINAL LOCATIONS OF ALL EQUIPMENT, SERVICES, PANEL BOARDS, FIXTURES, SWITCHES AND OUTLETS, WATER HEATER, FURNACES, BOILERS, ETC. SHALL BE APPROVED BY THIS PLANS AUTHOR PRIOR TO INSTALLATION.
21. ALL INSTALLED PLUMBING, MECHANICAL & ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY, SMOOTHLY & FREE OF VIBRATION. SEE MANUFACTURER'S RECOMMENDATIONS FOR ACOUSTICALLY SOUND CONSTRUCTION METHODS.
22. CONTRACTOR IS TO DISCUSS WITH OWNER OR THE OWNER'S REPRESENTATIVE THE VARIOUS INSULATION OPTIONS PRIOR TO ENGAGING THE SUB, INCLUDING BUT NOT LIMITED TO BATS, FOAM, AND CELLULOSE. THE OWNER OR THE OWNER'S REPRESENTATIVE SHOULD BE ENABLED TO VALUE-ENGINEER THEIR DECISION GIVEN THAT, WHILE CONCEALED, INSULATION MATTERS IN THE LONG-TERM ENERGY PERFORMANCE OF THE BUILDING.
23. CONTRACTOR IS TO ENSURE THAT INSULATION IS INSTALLED SO THAT IT IS THE MOST EFFECTIVE. PRIOR TO CLOSING UP THE WALLS, INSULATION INSTALLATION IS TO BE VERIFIED BY A THIRD-PARTY PROFESSIONAL AND/OR THIS PLANS AUTHOR.
24. THE CONTRACTOR SHALL FURNISH TO THE OWNER AN OWNER MANUAL FOR THE HOME, WHICH SHALL INCLUDE BUT NOT BE LIMITED TO MANUFACTURER'S INSTRUCTION, OPERATION & MAINTENANCE MANUALS FOR PRODUCTS & EQUIPMENT, SPECIAL TOOLS, ACCESSORIES, SPARE PARTS, ETC.
25. UPON COMPLETION OF THE WORK OR SHORTLY BEFORE, THE CONTRACTOR SHALL DIRECT THE OWNER AND THE OWNER'S REPRESENTATIVES (ARCHITECT, DESIGNER, ENGINEERS) TO PREPARE PUNCH LIST OF CORRECTIONS.
26. ALL WORK SHALL ACCOUNT FOR MATERIAL EXPANSION & CONTRACTION, SHRINKAGE, BUILDING MOVEMENTS, ETC, SUFFICIENT TO PREVENT CRACKS, BUCKLING, WARping OR OTHER DEFORMATION DUE TO HUMIDITY & TEMPERATURE CHANGE & NORMAL LOADING.
27. MOISTURE BARRIER AND MOISTURE REDUCTION SYSTEMS SHALL BE USED WHENEVER APPROPRIATE, ACCORDING TO INDUSTRY'S BEST PRACTICE AND/OR MANUFACTURER'S RECOMMENDATIONS.
28. ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE.
29. FILTERED COLLECTION IS INSTALLED AT ROOF AND DECK RUNOFF TO MINIMIZE DEBRIS BUILD UP AND PREVENT BLOCKAGES.
30. DETACHED PLANTER BOXES TO HAVE NO SOIL TO WOOD CONTACT. MEMBRANES WILL BE APPLIED.
31. CONTRACTOR IS REQUIRED TO OBTAIN FINAL INSPECTION NO LATER THAN 3 MONTHS AFTER SUBSTANTIAL COMPLETION OF WORK UNLESS OTHERWISE AGREED WITH CLIENT. IF UNCLEAR, SUBSTANTIAL COMPLETION OF THE WORK SHALL BE DEFINED AS 10% OF WHAT IS LEFT TO PAY TO THE GENERAL CONTRACTOR BY THE CLIENT.
32. CONTRACTOR SHALL CARRY ADEQUATE INSURANCE AND ENSURE THAT ALL SUB-CONTRACTORS ALSO CARRY THEIR OWN. THERE SHALL BE NO UNLICENSED OR UNINSURED TRADES PERFORMING WORK ON THE JOB.
33. OMISSIONS AND/OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE CONSTRUCTION DOCUMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM. IF CERTAIN FEATURES ARE NOT FULLY DELINEATED IN THE CONSTRUCTION DOCUMENTS, THEIR CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE BUILDER. FOR CLARIFICATIONS WHEREVER APPROPRIATE, DON'T HESITATE TO CONTACT THE PROFESSIONAL OF RECORD.
34. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES AND SAFETY PRECAUTIONS, INCLUDING BUT NOT LIMITED TO SHORING AND TEMPORARY BRACING.
35. USE WRITTEN DIMENSIONS SHOWN ON PLANS ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE PROFESSIONAL OF RECORD IMMEDIATELY. WHERE DIMENSIONS ARE NOT PROVIDED, OBTAIN CLARIFICATION PRIOR TO PROCEEDING WITH WORK. OPENINGS THROUGH WALLS AND FLOORS FOR MECHANICAL, PLUMBING AND ELECTRICAL.
36. NO OPENINGS SHALL BE MADE IN ANY STRUCTURAL MEMBER WITHOUT THE APPROVAL OF THE PROFESSIONAL OF RECORD. NO CHANGE IN SIZE OR DIMENSION OF STRUCTURAL MEMBERS SHALL BE MADE WITHOUT APPROVAL OF THE PROFESSIONAL OF RECORD.
37. THE CONTRACTOR SHALL INFORM THE PROFESSIONAL OF RECORD IN WRITING OF ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY OF SUCH DEVIATIONS FROM THE PLANS UNLESS THE CONTRACTOR HAS SPECIALLY INFORMED THE PROFESSIONAL OF RECORD OF SUCH DEVIATIONS PRIOR TO IMPLEMENTATION OF MODIFICATIONS. AND THE PROFESSIONAL OF RECORD WAS GIVEN THE TIME TO REVISe AND PROVIDE CLARIFICATIONS AS REQUESTED.
38. EXTERIOR DOOR THRESHOLDS AND DOORWAY HARDWARE AND SCREENS ARE TO BE PROTECTED DURING CONSTRUCTION SUCH THAT THEY ARE DELIVERED IN LIKE NEW CONDITION.
39. THE JOB HAS TO BE MAINTAINED IN A BROOM CLEAN CONDITION AT ALL TIMES DURING CONSTRUCTION. THE HOUSE AT FINISH HAS TO BE DELIVERED COMPLETELY CLEAN, ALL WINDOWS CLEANED AND READY TO MOVE IN.
40. BUILDING MATERIALS ARE TO BE KEPT ELEVATED FROM THE FLOOR/GROUND WHERE THEY REST ON AND KEPT DRY AT ALL TIMES.
41. CONTRACTOR SHOULD SURVEY AND MONITOR THE MOVEMENT OF SHORING AND SETTLEMENT OF ADJACENT STRUCTURES DURING EXCAVATION, AND MONITOR REPORT ANY UNEXPECTED DEFLECTION TO ENGINEERING TEAM AT THE EARLIEST OPPORTUNITY SHOULD ANY BE DISCOVERED.

## CONSTRUCTION RULES

- PROVIDE DUST ABATEMENT BY SPRAYING DURING EXCAVATION.
- MAINTAIN A CLEAN JOBSITE IN GENERAL TO MINIMIZE INCONVENIENCE TO NEIGHBORS.
- PORTABLE TOILET TO BE CONCEALED WITH DECORATIVE HOUSING OR TO BE LOCATED BEHIND CONSTRUCTION BARRIER.
- CONTRACTOR TO VERIFY SITE CONDITIONS TO ENSURE IF CITY MONUMENT IS LOCATED IN PUBLIC RIGHT OF WAY THAT CARE IS TAKEN TO ENSURE.

## DIMENSION NOTES

- DIMENSIONS ARE ROUNDED TO THE INCH ON THIS PLAN
- DIMENSIONS ARE TO FINISH UNLESS OTHERWISE NOTED.
- DATUM POINTS, INCLUDING FOR HEIGHTS IN ELEVATIONS AND SECTIONS, ARE TO SUPERSEDE OTHER MEASUREMENTS IN THE PLANS, INCLUDING BUT NOT LIMITED TO FLOOR TO CEILING HEIGHTS.
- THE GENERAL CONTRACTOR IS TO REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS WITH DESIGN TEAM BEFORE PERFORMING THE WORK.

## DEMOLITION NOTES

- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND MEANS FOR TEMPORARY SHORING AS NEEDED TO PREVENT DAMAGE AND MINIMIZE SETTLEMENT OF EXISTING AND ADJACENT STRUCTURE(S). CONTRACTOR SHALL TAKE MEASURES TO PROTECT ADJACENT PROPERTIES. USE VISQUEEN, PLYWOOD, ETC. TO MINIMIZE NOISE, DUST, ETC.
- EFFORTS SHALL BE EXERCISED TO PROTECT THE BUILDING FINISHES AND OTHER ITEMS TO REMAIN.
- THE CONTRACTOR SHALL MAINTAIN BUILDING SECURITY AT ALL TIMES.
- THE PROPERTY IS KEPT DRY FROM THE RAIN AND ALL BUILDING MATERIALS ARE TO BE STORED IN DRY AREAS
- ALL MATERIALS, FIXTURES, DEBRIS REMOVED DURING DEMOLITION ARE TO BE DOCUMENTED. EXTENSIVE EFFORTS ARE TO BE MADE TO RECYCLE EVERYTHING. THE DESIGN TEAM IS TO REVIEW SUBCONTRACTOR BID FOR DEMOLITION IN ADVANCE TO VERIFY ANTICIPATED DIVERSION RATE.
- PRIOR TO DEMOLITION, THE CONTRACTOR SHALL CONDUCT A PRE-DEMOLITION JOB SITE MEETING TO SCHEDULE THE WORK WITH THE DESIGN TEAM AND KEY SUBCONTRACTORS.
- CONTRACTOR IS TO TAKE PRECAUTIONS TO ADEQUATELY PROTECT ANYONE FROM POSSIBLE INJURY.
- DEMOLITION IS TO BE CONDUCTED SO AS TO ENSURE MINIMUM INTERFERENCE WITH STREETS' WALKS, OR OTHER OCCUPIED OR USED FACILITIES.
- BUILDERS SHALL BE MINDFUL OF DEMO CALCULATIONS AND DEMO METHODS.
- DEMOLITION OTHER THAN THAT EXPLICITLY STATED AND SHOWN ON THE ARCHITECTURAL DEMO PLANS IS ILLEGAL UNDER P.C. 317 AND ANY MODIFICATIONS REQUIRE A PERMIT REVISION AND APPROVAL FROM THE PLANNING DEPARTMENT.
- GENERAL CONTRACTOR SHALL READ AND UNDERSTAND THE DEMOLITION CALCULATIONS AND SHALL NOT EXCEED THE AMOUNT OF DEMOLITION PERMITTED.

## GENERAL CONSTRUCTIONS

- PROVIDE EACH BEDROOM, BASEMENT, AND HABITABLE ATTICS WITH A MINIMUM OF ONE EXTERIOR WINDOW WITH A 44" MAXIMUM CLEAR OPENING HEIGHT, 5.7 SQ. FT. MINIMUM CLEAR OPENABLE AREA (MINIMUM 5.0 SQ. FT. AT GRADE FLOOR OPENINGS), 24" MINIMUM CLEAR OPENABLE HEIGHT AND 20" MINIMUM CLEAR WIDTH, OR AN OPENABLE EXTERIOR EXIT DOOR. (CRC R310.2.1 AND CRC R310.2.2) WINDOW WELLS, LADDERS, AND STEPS SHALL COMPLY WITH CRC R310.2.3. BARS, GRILLES, COVERS, AND SCREENS SHALL BE RELEASEABLE OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE, OR FORCE GREATER THAN 15LBS TO OPERATE THE EMERGENCY ESCAPE AND RESCUE OPENINGS. (CRC R310.4) PHOTOVOLTAIC PANELS & MODULES SHALL NOT BE BELOW AN EMERGENCY ESCAPE AND RESCUE OPENING WITHIN 36". (CRC 324.6.2)
- EACH BATHROOM CONTAINING A BATHROOM SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED WITH ENERGY STAR APPROVED EQUIPMENT (MINIMUM 50CFM) WITH AN INTEGRAL HUMIDISTAT INSTALLED. (CRC R303.1)
- PROVIDE ATTIC CROSS VENTILATION. 1/150 OF ATTIC AREA OR 1/300 WITH AT LEAST 40% BUT NOT MORE THAN 50% OF VENTS ARE A MAXIMUM 3 FT. BELOW THE RIDGE OR HIGHEST SPACE IN THE ATTIC AND THE BALANCE IS PROVIDED IN THE LOWER THIRD OF THE ATTIC SPACE (NOT LIMITED TO EAVES OR CORNICE VENTS). AS AN ALTERNATIVE IN CLIMATE ZONE 16, THE NET AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING. BAFFLES ARE REQUIRED AT VENTS FOR INSULATION. PROVIDE MINIMUM OF 1" INCH OF AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING. (CRC R806.3)
- ENCLOSED RAFTER SPACES SHALL HAVE A 1-INCH CLEAR CROSS VENTILATION. (PROPERLY SIZED RAFTERS FOR INSULATION) (CRC R809.3)
- UNDER FLOOR CROSS VENTILATION: MINIMUM 1/150 OF UNDER FLOOR AREA. WHEN A CLASS I VAPOR RETARDER IS INSTALLED ON THE GROUND SURFACE, THE MINIMUM AREA OF VENTILATION MAY BE LIMITED TO 1/150 OF UNDER-FLOOR SPACE. ONE VENTILATION OPENING SHALL BE WITHIN THREE (3) FEET OF EACH CORNER OF THE BUILDING (CRC R408.1). UNVENTED CRAWL SPACES SHALL COMPLY WITH CRC R408.3
- EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES EXPOSED TO WATER, WHERE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER REQUIRE CONSTRUCTION DOCUMENTS WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS (CRC 106.15) MUST BE INSPECTED AND APPROVED BEFORE CONCEALING BARRIER. (CRC 109.1.5.3)
- ENCLOSED FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES EXPOSED TO RAIN, SNOW OR DRAINAGE FROM IRRIGATION SHALL BE PROVIDED WITH CROSS-VENTILATION AREA OF AT LEAST 1/150. (CRC 317.1.6)
- PROVIDE LANDINGS AND A PORCH LIGHT AT ALL EXTERIOR DOORS. LANDINGS ARE TO BE MINIMUM 3 FT DEEP X WIDTH OF DOOR. LANDINGS AT REQUIRED EGRESS DOORS MAY STEP DOWN A MAXIMUM OF 7.75 INCHES WHEN THE DOOR DOES NOT SWING OVER THE LANDING AND 1.5 INCHES WHEN DOOR SWINGS ONTO THE LANDING. OTHER THAN REQUIRED EXTERIOR EXIT DOORS MAY HAVE A THRESHOLD OF 7.75 INCHES MAXIMUM. A LANDING IS NOT REQUIRED IF A STAIR WITH TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE AND THE DOOR DOES NOT SWING OVER THE STAIRWAY. (CRC R311.3-311.3.2)
- MEZANINES SHALL NOT BE GREATER THAN 1/3 OF THE STORY UNLESS FIRE SPRINKLERS ARE INSTALLED THEN THE AREA CAN BE 1/2 OF THE STORY. (CRC 325.3)
- THE FOLLOWING WINDOWS SHALL BE FULLY TEMPERED. (CRC R308.4)
  - SLIDING/SWINGING GLASS DOORS
  - GLAZING IN WALLS AND ENCLOSURES FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND SWIMMING POOLS WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE WITHIN THE COMPARTMENT AND WITHIN 60 INCHES HORIZONTALLY TALLY OF THE WATER'S EDGE (CRC R308.4.5)
  - GLAZING WITHIN A 24" ARC OF A DOOR THAT IS LESS THAN 60 INCHES ABOVE THE FLOOR. SAFETY GLAZING REQUIRED ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24" OF HINGE SIDE OF AN IN-SWING DOOR. (R308.4.2)
  - GLAZING WHERE THE EXPOSED AREA IS GREATER THAN 950.FT, BOTTOM IS LESS THAN 18 IN. AND AT LEAST 36 IN. ABOVE THE FLOOR, AND ADJACENT TO A WALKING SURFACE
  - WITHIN 30IN. OF THE BOTTOM TREAD OF A STAIRWAY AND LESS THAN 36IN. ABOVE THE LANDING
  - GLAZING IN GUARDS AND RAILINGS
  - GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36IN. HORIZONTALLY OF THE WALKING SURFACE LESS THAN 36IN. ABOVE THE WALKING SURFACE
- PROVIDE FALL PROTECTION IN ACCORDANCE WITH C.R.C. SECTION R312.2.1 FOR THE OPERABLE WINDOWS WITH SILLS LOCATED LESS THAN 24 INCHES ABOVE FINISHED FLOOR AND GREATER THAN 72 INCHES ABOVE THE FINISHED GRADE, OR SURFACE ON THE OUTSIDE OF THE BUILDING. C.R.C. SECTION R312.2
- THE JOB HAS TO BE MAINTAINED IN A BROOM CLEAN CONDITION AT ALL TIMES DURING CONSTRUCTION. THE HOUSE AT FINISH HAS TO BE DELIVERED COMPLETELY CLEAN, ALL WINDOWS CLEANED AND READY TO MOVE IN.
- CONTRACTOR SHOULD SURVEY AND MONITOR THE MOVEMENT OF SHORING AND SETTLEMENT OF ADJACENT STRUCTURES DURING EXCAVATION, AND MONITOR REPORT ANY UNEXPECTED DEFLECTION TO ENGINEERING TEAM AT THE EARLIEST OPPORTUNITY SHOULD ANY BE DISCOVERED.

## FONDATIONS & CONCRETE SLABS

- SLOPE DRAINAGE 6" WITHIN THE FIRST 10FT. FROM THE FOUNDATION WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT THE 10FT DISTANCE, A 2.5 PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING THE WATER AWAY FROM THE FOUNDATION. IMPERVIOUS SURFACES SHALL ALSO BE SLOPED A MINIMUM OF 2 PERCENT FOR 10FT AWAY FROM STRUCTURES TO AN APPROVED DRAINAGE WAY. (CRC R401.3)
- STEPPED FOOTINGS SHALL BE USED WHEN SLOPE OF FOOTING BOTTOM IS GREATER THAN 1 IN 10 (V:H). STEP FOOTING DETAIL SHALL BE SHOWN ON BUILDING ELEVATIONS AND FOUNDATION PLAN. (CRC R403.15)
- CONCRETE SLABS: 3 1/2" MINIMUM (CRC R506.1). SLABS SHALL HAVE A 4" THICKNESS OF 3/8" MINIMUM GRAVEL UNDER THE CONCRETE SLAB. SEPARATE FROM SOIL WITH A 6-MIL POLYETHYLENE VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES. A CAPILLARY BREAK SHALL BE INSTALLED WHEN A VAPOR RETARDER IS REQUIRED PER CGBC SECTION 4.505.
- PROVIDE AN 18" X 24" UNDER-FLOOR ACCESS, UNOBSTRUCTED BY PIPES OR DUCTS AND WITHIN 5' OF EACH UNDER-FLOOR PLUMBING CLEANTH AND NOT LOCATED UNDER A DOOR TO THE RESIDENCE, IS REQUIRED. PROVIDE A SOLID COVER OR SCREEN. (CRC 408.4 & CPC 707.9)
- MINIMUM SILL BOLTING: 1/2" ANCHOR BOLTS OR APPROVED ANCHORS AT 6 FT. O.C. MAXIMUM FOR ONE STORY. (CRC R403.16) USE ANCHOR BOLTS AT 4 FT. O.C. MAXIMUM FOR THREE STORY CONSTRUCTION. EMBED BOLTS 7" MINIMUM. THE ANCHOR BOLTS SHALL BE PLACED IN THE MIDDLE THIRD OF THE WIDTH OF THE PLATE. LOCATE END BOLTS NOT LESS THAN 7 BOLT DIAMETERS, NOR MORE THAN 12" FROM ENDS OF SILL MEMBERS. IN SDC 20 AND ABOVE: PROVIDE 3X3"X0.229 PLATE WASHERS ON EACH BOLT AT BRACED OR SHEAR WALL LOCATIONS. STANDARD CUT WASHERS SHALL BE PERMITTED FOR ANCHOR BOLTS NOT LOCATED IN BRACED/SHEAR WALL LINES. (CRC R403.1.6 & R602.11.1)

## CLEARANCES & TREATMENT FOR WOOD FRAMING

- WEATHER EXPOSED GLUED-LAM, BEAMS AND POSTS SHALL BE PRESSURE TREATED OR SHALL BE WOOD OF NATURAL RESISTANCE TO DECAY (CRC R317.1.3 & 5)
- COLUMNS EXPOSED TO THE WEATHER OR IN BASEMENTS, WHEN SUPPORTED ON CONCRETE PIER OR METAL PEDESTALS SHALL BE PRESSURE TREATED OR NATURAL RESISTANCE TO DECAY UNLESS THE PIER/PEDESTALS PROJECT 1" ABOVE CONCRETE OR 6" ABOVE EARTH AND THE EARTH IS COVERED BY AN APPROVED IMPERVIOUS MOISTURE BARRIER. (CRC R317.1.4 EXC. 1)
- COLUMNS IN ENCLOSED CRAWL SPACES OR UNEXCAVATED AREAS LOCATED WITHIN THE PERIPHERY OF THE BUILDING SHALL BE PRESSURE TREATED OR NATURAL RESISTANCE TO DECAY UNLESS THE COLUMN IS SUPPORTED BY A CONCRETE PIER OR METAL PEDESTAL OF A HEIGHT 8" OR MORE, AND THE EARTH IS COVERED BY AN IMPERVIOUS MOISTURE BARRIER. (CRC R317.1.4 EXC. 2)
- DECK POSTS SUPPORTED BY CONCRETE PIERS OR METAL PEDESTALS SHALL BE PRESSURE TREATED OR WOOD OF NATURAL RESISTANCE TO DECAY UNLESS PROJECTING NOT LESS THAN 1" ABOVE A CONCRETE FLOOR OR 6" ABOVE EXPOSED EARTH. (CRC R317.1.4 EXC. 3)
- WOOD JOIST SHALL BE PROVIDED WITH 18" CLEARANCE TO EARTH AND GIRDERS 12" TO EARTH, OR SHALL BE PRESSURE TREATED OR NATURAL RESISTANCE TO DECAY WHEN LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION. (CRC R317.1(1))

## WALLS

- POSITIVE CONNECTION SHALL BE PROVIDED TO ENSURE AGAINST UPLIFT AND LATERAL DISPLACEMENT. (CRC R509.2 & CBC 2304.10.7)
- ALL FASTENERS USED FOR ATTACHMENT OF SIDING & TO PRESSURE TREATED LUMBER SHALL BE OF A CORROSION RESISTANT TYPE. (CRC R317.3)
- FIRE-BLOCK IN CONCEALED SPACES OF STUD WALLS/PARTITIONS, VERTICALLY AT CEILING/FLOOR LEVELS, & HORIZONTALLY AT 10FT. INTERVALS. FIRE-BLOCK AT SOFFITS, DROP CEILINGS/SIMILAR LOCATIONS & IN CONCEALED SPACES AT THE TOP/BOTTOM OF STAIR STRINGS. (CRC R302.1)
- PROVIDE APPROVED BUILDING PAPER UNDER THE BUILDING SIDING AND APPROVED FLASHING AT EXTERIOR OPENINGS. (CRC R703.2) SPECIFY A MINIMUM OF 2 LAYERS OF GRADE D PAPER UNDER STUCCO AND 2 LAYERS OF 15LB FELT (OR EQUIVALENT) UNDER STONE VENEER.
- STUCCO SHALL BE NOT LESS THAN THREE COAT WHERE APPLIED OVER METAL LATH OR WIRE FABRIC LATH, AND SHALL HAVE A MINIMUM CLEARANCE TO EARTH OF 4 INCHES AND 2 INCHES TO PAVED SURFACES WITH AN APPROVED WEEP SCREED. (CRC R703.7.2.1) MASONRY STONE VENEER SHALL BE FLASHED BEHIND THE FIRST COURSE OF MASONRY AND PROVIDED WITH WEEP HOLES IMMEDIATELY ABOVE THE FLASHING. (CRC R703.8.5 AND R703.8.6)

## WILDLAND URBAN INTERFACE (WUI)

- EXTERIOR WALL COVERINGS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT, HEAVY TIMBER, LOG WALL OR FIRE RESISTIVE CONSTRUCTION. (CRC R337.7)
- EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE FOUNDATION TO THE ROOF AND TERMINATE AT 2 INCH NOMINAL SOLID BLOCKING BETWEEN RAFTERS AND OVERHANGS. (CRC R337.7.3.2)
- OPENENCLOSED ROOF EAVES AND SOFFITS, EXTERIOR PORCH CEILINGS, FLOOR PROJECTIONS, UN-UNDER-FLOOR AREAS AND UNDERSIDES OF APPENDAGES TO COMPLY WITH IGNITION RESISTANT CONSTRUCTION REQUIREMENTS. (CRC R337.5-9)
- SPACES CREATED BETWEEN ROOF COVERINGS AND ROOF DECKING SHALL BE FIRE STOPPED BY APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72LB MINERAL SURFACE NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909. (CRC R337.5.2)
- INDICATE ON THE PLANS WHERE VALLEY FLASHING IS INSTALLED. THE FLASHING SHALL BE NOT LESS THAN 28AWG AND INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72LB MINERAL SURFACE NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909 AND AT LEAST 36 INCHES WIDE RUNNING THE FULL LENGTH. (CRC R337.3)
- ATTIC GABLE AND EAVES 12FT AND UNDER-FLOOR VENTILATION SHALL BE PROVIDED WITH FULLY COVERED METAL WIRE MESH, VENTS, OR OTHER MATERIALS THAT HAVE A MINIMUM 1/1

## ELECTRICAL

- NO ELECTRICAL PANELS IN CLOSETS OF BATHROOMS. MAINTAIN A CLEARANCE OF 36" INCHES IN FRONT OF PANELS, 30" WIDE OR WIDTH OF EQUIPMENT AND 6'-6" HIGH FOR HEADROOM. (CEC 110.26)
- PROVIDE A MINIMUM 3 LUG INTERSYSTEM BONDING BUSBAR AT THE MAIN ELECTRICAL SERVICE. (CEC 250.94)
- ALL AUTOMATIC GARAGE DOOR OPENERS THAT ARE INSTALLED IN A RESIDENCE SHALL HAVE A BATTERY BACKUP FUNCTION THAT IS DESIGNED TO OPERATE WHEN ACTIVATED BECAUSE OF AN ELECTRICAL OUTAGE. (CEC 406.2.1)
- A CONCRETE-ENCASED ELECTRODE (UEFR) CONSISTING OF 20' OF REBAR OR #4 COPPER WIRE PLACED IN THE BOTTOM OF A FOOTING IS REQUIRED FOR ALL NEW CONSTRUCTION. (CEC 250.52(A)(3)) BOND ALL METAL, GAS AND WATER PIPES TO GROUND. ALL GROUND CLAMPS SHALL BE ACCESSIBLE AND OF AN APPROVED TYPE. (CEC 250.104)
- ALL 15/20 AMPERE RECEPTACLES INSTALLED PER CEC 210.52 SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC 406.12)
- ALL BRANCH CIRCUITS SUPPLYING 15/20 AMPERE OUTLETS IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, KITCHENS, LAUNDRY ROOM OR SIMILAR ROOMS/AREAS SHALL BE PROTECTED BY A LISTED COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER. (CEC 210.12)
- PROVIDE A MINIMUM OF ONE 20A CIRCUIT TO BE USED FOR THE LAUNDRY RECEPTACLE. (CEC 210.11(C)(2)) PROVIDE A MINIMUM OF ONE 20A CIRCUIT FOR BATHROOM RECEPTACLE OUTLETS. (CEC 210.11(C)(3))
- PROVIDE AT LEAST 1 OUTLET IN BASEMENTS, GARAGES, LAUNDRY ROOMS, DECKS, BALCONIES, PORCHES AND WITHIN 3' OF THE OUTSIDE OF EACH BATHROOM BASIN. (CEC 210.52 (D), (F) & (G))
- FURNACES INSTALLED IN ATTICS AND CRAWL SPACES SHALL HAVE AN ACCESS PLATFORM (CATWALK IN ATTICS), LIGHT SWITCH AND RECEPTACLE IN THE SPACE. PROVIDE A SERVICE RECEPTACLE FOR THE FURNACE. (CEC 210.63)
- ALL DWELLINGS MUST HAVE ONE EXTERIOR OUTLET AT THE FRONT AND THE BACK OF THE DWELLING. (CEC 210.52(E))
- GARAGE RECEPTACLES SHALL NOT SERVE OUTLETS OUTSIDE THE GARAGE. EXCEPTION: GARAGE CIRCUIT MAY SERVE READILY ACCESSIBLE OUTDOOR RECEPTACLE OUTLETS. ((CEC 210.11 (C)(4)) A MINIMUM OF 1 RECEPTACLE SHALL BE PROVIDED FOR EACH CAR SPACE. (210.52(G)(1))
- AT LEAST ONE WALL SWITCHED LIGHTING OUTLET OR FIXTURE SHALL BE INSTALLED IN EVERY HABITABLE ROOM, BATHROOM, HALLWAYS, STAIRWAYS, ATTACHED GARAGES AND DETACHED GARAGES WITH ELECTRICAL POWER, EQUIPMENT SPACES (ATTICS, BASEMENTS, ETC). (CEC 210.70)
- KITCHENS, DINING ROOMS, PANTRIES, BREAKFAST NOOKS, AND SIMILAR AREAS MUST HAVE A MINIMUM OF TWO 20A CIRCUITS. KITCHEN, PANTRY, BREAKFAST NOOKS, DINING ROOMS, WORK SURFACES AND SIMILAR AREAS COUNT OUTLETS MUST BE INSTALLED IN EVERY COUNTER SPACE 12" INCHES OR WIDER. NOT GREATER THAN 4' O.C., WITHIN 24" INCHES OF THE END OF ANY COUNTER SPACE AND NOT HIGHER THAN 6" ABOVE COUNTER. (CEC 210.52 (C)) ISLAND COUNTER SPACES SHALL HAVE AT LEAST 1 RECEPTACLE OUTLET UNLESS A RANGE TOP OR SINK IS INSTALLED THAN 2 RECEPTACLES MAY BE REQUIRED. 1 RECEPTACLE IS REQUIRED FOR PENINSULAR COUNTER SPACES. RECEPTACLES SHALL BE LOCATED BEHIND KITCHEN SINKS IF THE COUNTER AREA DEPTH BEHIND THE SINK IS MORE THAN 12" FOR STRAIGHT COUNTERS AND 18" FOR CORNER INSTALLATIONS. (CEC FIGURE 210.52(C)(1))
- RECEPTACLES SHALL BE INSTALLED AT 12' O.C. MAXIMUM IN WALLS STARTING AT 6' MAXIMUM FROM THE WALL END. WALLS LONGER THAN TWO FEET SHALL HAVE A RECEPTACLE. HALLWAY WALLS LONGER THAN 10' FT SHALL HAVE A RECEPTACLE IN HALLWAYS. (CEC 210.52(A))
- RECEPTACLES SHALL NOT BE INSTALLED WITHIN OR DIRECTLY OVER A BATHTUB OR SHOWER STALL. (CEC 406.9(C)) LIGHT PENDANTS, CEILING FAN, LIGHTING TRACKS, ETC SHALL NOT BE LOCATED WITHIN 3FT HORIZONTALLY AND 8FT VERTICALLY ABOVE A SHOWER AND/OR BATHTUB THRESHOLD. (CEC 410.10D))
- ALL LIGHTING/FAN FIXTURES LOCATED IN WET OR DAMP LOCATIONS SHALL BE RATED FOR THE APPLICATION. (CEC 410.10)
- GFCI OUTLETS ARE REQUIRED: FOR ALL KITCHEN RECEPTACLES THAT ARE DESIGNED TO SERVE COUNTERTOP SURFACES, DISHWASHERS, BATHROOMS, IN UNDER-FLOOR SPACES OR BELOW GRADE LEVEL, IN UNFINISHED BASEMENTS, CRAWL SPACE LIGHTING OUTLETS, IN EXTERIOR OUTLETS, WITHIN 6' OF A LAUNDRY/UTILITY/WET BAR SINKS, LAUNDRY AREAS, AND IN ALL GARAGE OUTLETS INCLUDING OUTLETS DEDICATED TO A SINGLE DEVICE OR GARAGE DOOR OPERATOR. (CEC 210.8)
- CARBON-MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH FUEL-BURNING APPLIANCES OR WITH ATTACHED GARAGES (CRC 335);
- OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS
- ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
- ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING 1,000 DOLLARS (MAY BE BATTERY OPERATED)
- SMOKE ALARMS SHALL BE INSTALLED (CRC 334);
- IN EACH ROOM USED FOR SLEEPING PURPOSES.
- OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
- IN EACH STORY, INCLUDING BASEMENTS.
- AT THE TOP OF STAIRWAYS BETWEEN HABITABLE FLOORS WHERE AN INTERVENING DOOR OR OBSTRUCTION PREVENTS SMOKE FROM REACHING THE SMOKE DETECTOR.
- SHALL NOT BE INSTALLED WITHIN 20FT HORIZONTALLY OF COOKING APPLIANCES AND NO CLOSER THAN 3FT TO MECHANICAL REGISTERS, CEILING FANS AND BATHROOM DOORS WITH A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE DETECTOR (314.3(A)).
- ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING 1,000 DOLLARS. (MAY BE BATTERY OPERATED.)
- ALL SMOKE AND CARBON-MONOXIDE ALARMS SHALL BE HARDWIRED WITH A BATTERY BACKUP (SMOKE ALARMS SHALL HAVE A 10-YEAR SEALED BATTERY). (CRC R314.4 & R315.1.2)
- SMOKE DETECTORS WITHIN 10 FEET TO 20 FEET OF THE STOVE SHALL BE IONIZATION TYPE WITH ALARM SILENCING SWITCH. CRC R314.3.3
- ALL 15/20 AMPERE RECEPTACLES IN WET LOCATIONS SHALL HAVE IN USE (BUBBLE) COVERS INSTALLED. ALL RECEPTACLES IN WET LOCATIONS SHALL ALSO BE LISTED WEATHER-RESISTANT TYPE. (CEC 406.9(B)(1))
- APPLICATION FOR PERMIT JUNE 1, 2021 OR AFTER: NEWLY CONSTRUCTED BUILDINGS MUST BE ALL-ELECTRIC, WITH NO GAS PIPING SYSTEMS OR INFRASTRUCTURE.

## MECHANICAL

- ALL NEWLY INSTALLED GAS FIREPLACES SHALL BE DIRECT VENT AND SEALED-COMBUSTION TYPE. (CMC 912.2)
- ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL MEET THE U.S. EPA NEW SOURCE PERFORMANCE STANDARD EMISSION LIMITS AND SHALL HAVE A PERMANENT LABEL CERTIFYING EMISSION LIMITS.
- TOP CHIMNEY MUST EXTEND A MINIMUM OF 2 FT. ABOVE ANY PART OF THE BUILDING WITHIN 10 FT. (CMC 802.5.4)
- FIREPLACES SHALL HAVE CLOSABLE METAL OR GLASS DOORS, HAVE COMBUSTION AIR INTAKE DRAWN FROM THE OUTSIDE AND HAVE A READILY ACCESSIBLE FLUE DAMPENER CONTROL. CONTINUOUS BURNING PILOT LIGHTS ARE PROHIBITED. (CEC 150.0(E))
- PROVIDE COMBUSTION AIR FOR ALL GAS FIRED APPLIANCES PER CMC CHAPTER 7.
- GAS VENTS PASSING THROUGH AN INSULATED ASSEMBLY SHALL HAVE A METAL INSULATION SHIELD A MINIMUM 2" ABOVE INSULATION. (CMC 509.6.2.7)
- GAS WATER HEATER AND FURNACE ARE NOT ALLOWED IN AREAS OPENING INTO BATHROOMS, CLOSETS OR BEDROOMS UNLESS INSTALLED IN A CLOSET EQUIPPED WITH A LISTED GASKETED DOOR ASSEMBLY AND A LISTED SELF-CLOSING DEVICE WITH ALL COMBUSTION AIR OBTAINED FROM THE OUTDOORS. (CPC 504)
- ROOF TOP EQUIPMENT ON ROOFS WITH OVER 4/12 SLOPE SHALL HAVE A LEVEL 30"x30" WORKING PLATFORM. (CMC 304.2)
- EXHAUST OPENINGS TERMINATING TO THE OUTDOORS SHALL BE COVERED WITH A CORROSION RESISTANT SCREEN 1/4"-1/2" IN OPENING SIZE (NOT REQUIRED FOR CLOTHES DRYERS). (CMC 502.1)
- VENT DRYER TO OUTSIDE OF BUILDING (NOT TO UNDER-FLOOR AREA). VENT LENGTH SHALL BE 14 FT. MAXIMUM. SHALL TERMINATE A MINIMUM OF 3' FROM THE PROPERTY LINE AND ANY OPENING INTO THE BUILDING. (CMC 504.2.2)
- ENVIRONMENTAL AIR DUCTS SHALL NOT TERMINATE LESS THAN 3' TO A PROPERTY LINE, 10' TO A FORCED AIR INLET, 3' TO OPENINGS INTO THE BUILDING AND SHALL NOT DISCHARGE ON TO A PUBLIC WAY. (CMC 502.2.1)
- PROVIDE MINIMUM 100 SQUARE INCHES MAKE-UP AIR FOR CLOTHES DRYERS INSTALLED IN CLOSETS. (CMC 504.4.1(1))
- HEATING SYSTEM IS REQUIRED TO MAINTAIN 68 DEGREES AT 3 FT. ABOVE FLOOR LEVEL AND 2FT FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS. (CRC R303.10)
- WOOD BURNING APPLIANCES SHALL NOT BE INSTALLED IN A NEW OR EXISTING PROJECT THAT IS NOT ONE OF THE FOLLOWING:
- A PELLET-FUELED WOOD BURNING HEATER.
- A U.S. EPA PHASE II CERTIFIED WOOD BURNING HEATER.
- AN APPLIANCE OR FIREPLACE DETERMINED TO MEET THE U.S. EPA PARTICULATE MATTER EMISSION STANDARD OF LESS THAN 7.5 GRAMS PER HOUR FOR A NON-CATALYTIC WOOD FIRED APPLIANCE OR 4.1 GRAMS PER HOUR FOR A CATALYTIC WOOD FIRED APPLIANCE AND IS APPROVED IN WRITING BY THE APCO.

## GREEN BUILDING

- PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION, ONE OR MORE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE. (CGBSC 4.106.2)
- RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON SITE
- WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, GUTTER, OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER METHOD APPROVED BY THE ENFORCING AGENCY.
- ALL NEW RESIDENTIAL CONSTRUCTION WITH ATTACHED PRIVATE GARAGES SHALL HAVE THE FOLLOWING FOR ELECTRIC VEHICLE (EV) CHARGING STATIONS (CGBSC 4.106.4):
- INSTALL A MINIMUM 1-INCH CONDUIT CAPABLE OF SUPPLYING A 208/240V BRANCH CIRCUIT TO A SUITABLE BOX LOCATION FOR EV CHARGING. THE OTHER END SHALL TERMINATE TO THE MAIN SERVICE AND/OR SUBPANEL.
- THE MAIN PANEL AND/OR SUBPANEL SHALL BE OF SUFFICIENT SIZE TO INSTALL A 40-AMPERE DEDICATED BRANCH CIRCUIT. THE DEDICATED OVERCURRENT PROTECTION SPACE SHALL BE LA-BELED "EV CAPABLE".
- MULTIPLE SHOWER HEADS SERVING A SINGLE SHOWER SHALL HAVE A COMBINED FLOW RATE OF 1.8 GPM OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. (CGBSC 4.303.1.3)
- RESIDENTIAL PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET SHALL COMPLY WITH EITHER A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT TIME OF FINAL INSPECTION SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS AND/OR WEATHER BASED CONTROLLERS WITH RAIN SENSORS. SOIL MOISTURE BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT. (CGBSC 4.304)
- RECYCLE AND/OR REUSE A MINIMUM OF 65 PERCENT OF NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE. (CGBSC 4.408.2)
- (CLEARLY NOTE ON THE PLANS) AT TIME OF FINAL INSPECTION, A BUILDING OPERATION AND MAINTENANCE MANUAL, COMPACT DISC, ETC SHALL BE PROVIDED CONTAINING THE FOLLOWING: (CGBSC 4.410)
- DIRECTIONS THAT MANUA SHALL REMAIN CONSISTE FOR THE LIFE OF THE BUILDING
- OPERATION AND MAINTENANCE INSTRUCTIONS FOR EQUIPMENT, APPLIANCES, ROOF/YARD DRAIN-AGE, IRRIGATION SYSTEMS, ETC.
- INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS
- PUBLIC TRANSPORTATION AND CARPOOL OPTIONS
- MATERIAL REGARDING IMPORTANCE OF KEEPING HUMIDITY LEVELS BETWEEN 30-60 PERCENT
- INFORMATION REGARDING ROUTINE MAINTENANCE PROCEDURES
- STATE SOLAR ENERGY INCENTIVE PROGRAM INFORMATION
- A COPY OF ANY REQUIRED SPECIAL INSPECTION VERIFICATIONS THAT WERE REQUIRED (IF ANY)
- THE PROJECT SHALL MEET MINIMUM POLLUTANT CONTROL REQUIREMENTS FOR ADHESIVES, SEAL-ANTS, CAULKS, PAINTS, CARPET, RESILIENT FLOORING SYSTEMS, ETC. (CGBSC 4.504)
- DUCT OPENINGS RELATED TO HVAC SYSTEMS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS WHICH MAY ENTER THE SYSTEM. (CGBSC 4.504.1)
- USE PRODUCTS THAT COMPLY WITH THE EMISSION LIMIT REQUIREMENTS OF 4.504.1-5, 5.504.1-6 FOR ADHESIVES, SEALANTS, PAINTS, COATINGS, CARPET SYSTEMS INCLUDING CUSHIONS AND ADHESIVES, RESILIENT FLOORING (80% OF AREA), AND COMPOSITE WOOD PRODUCTS.
- MAJOR ALTERATIONS TO EXISTING RESIDENTIAL BUILDINGS MUST USE LOW-EMMITING COATINGS, ADHESIVES AND SEALANTS, AND CARPET SYSTEMS THAT MEET THE REQUIREMENTS FOR GPR MEASURES K2, K3 AND L2 OR LEED EQ2, AS APPLICABLE.
- NEW LARGE NON-RESIDENTIAL INTERIORS AND MAJOR ALTERATIONS TO EXISTING RESIDENTIAL AND NON-RESIDENTIAL BUILDINGS MUST ALSO USE INTERIOR PAINTS, COATINGS, SEALANTS, AND ADHESIVES WHEN APPLIED ON-SITE, FLOORING AND COMPOSITE WOOD THAT MEET THE REQUIREMENTS OF LEED CREDIT LOW-EMMITING MATERIALS (EQ2).
- NEW BUILDINGS >40,000 SQ.FT. MUST CALCULATE A WATER BUDGET. NEW BUILDINGS >250,000 SQ.FT. MUST TREAT AND USE AVAILABLE RAINWATER, GRAYWATER, AND FOUNDATION DRAINAGE FOR TOILET AND URINAL FLUSHING AND IRRIGATION.
- NEW CONSTRUCTION PROJECTS WITH AGGREGATED LANDSCAPE AREA >500 SQ.FT., OR EXISTING PROJECTS WITH MODIFIED LANDSCAPE AREA >1,000 SQ.FT., SHALL USE LOW WATER USE PLANTS OR APPROPRIATE PLANTS, RESTRICT TURF AREAS AND COMPLY WITH MODEL WATER EFFICIENT LANDSCAPE ORDINANCE RESTRICTIONS BY CALCULATED ETAP (.55 FOR RESIDENTIAL, .45 FOR NON-RESIDENTIAL OR LESS) OR BY PRESCRIPTIVE COMPLIANCE FOR PROJECTS WITH <2,500 SQ.FT. OF LANDSCAPE AREA.
- PROVIDE SUBMETERS OR UTILITY METERS FOR NONRESIDENTIAL SPACES PROJECTED TO CONSUME MORE THAN 1,000 GALL/DAY, OR MORE THAN 100 GALL/DAY IF IN BUILDINGS >50,000 SQ.FT. AND EACH INDIVIDUAL RESIDENTIAL DWELLING UNIT.
- PROVIDE SHORT- AND LONG-TERM BIKE PARKING EQUAL TO 5% OF MOTORIZED VEHICLE PARKING, OR MEET SF PLANNING CODE SEC.155.1.2, WHICHEVER IS GREATER.
- PERMIT APPLICATION JANUARY 2018 OR AFTER: CONSTRUCT ALL OFF-STREET PARKING SPACES FOR PASSENGER VEHICLES AND TRUCKS WITH DIMENSIONS CAPABLE OF INSTALLING EVE. INSTALL SERVICE CAPACITY AND PANELBOARDS SUFFICIENT TO PROVIDE >40A 208 OR 240V TO EV CHARGERS AT 20% OF SPACES. INSTALL >40A 208 OR 240V BRANCH CIRCUITS TO >10% OF SPACES. TERMINATING CLOSE TO THE PROPOSED EV CHARGER LOCATION.
- PERMIT APPLICATIONS PRIOR TO JANUARY 2018 ONLY: INSTALL INFRASTRUCTURE TO PROVIDE ELECTRICITY FOR EV CHARGERS AT 6% OF SPACES FOR NON-RESIDENTIAL (CALGREEN 3% OF SPACES FOR MULTIFAMILY WITH >17 UNITS (CALGREEN 4.106.4.2), AND EACH SPACE IN 1-2 UNIT DWELLINGS (CALGREEN 4.106.4.1).
- ALL PERMIT APPLICATION DATES: INSTALLATION OF CHARGERS IS NOT REQUIRED. PROJECTS WITH ZERO OFF-STREET PARKING EXEMPT.
- PROVIDE ADEQUATE SPACE AND EQUAL ACCESS FOR STORAGE, COLLECTION, AND LOADING OF COMPOSTABLE, RECYCLABLE AND LANDFILL MATERIALS. TO HELP ESTIMATE ADEQUATE SPACE FOR COLLECTION BY HAULER, SEE SUPPORTING MATERIALS INCLUDING A DESIGN GUIDE AND CALCULATOR AT: WWW.SFENVIRONMENT.ORG/REFUSECALCULATOR.
- 100% OF MIXED DEBRIS MUST BE TAKEN BY A REGISTERED TRANSPORTER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING. DIVERT A MINIMUM OF 65% OR 75% OF TOTAL C&D DEBRIS AS NOTED AT RIGHT. SEE WWW.SFDBI.ORG FOR DETAILS.
- HVAC DETAILS
- INSTALLERS MUST BE TRAINED AND CERTIFIED IN BEST PRACTICES.
- HVAC SHALL BE DESIGNED TO ACCA MANUAL J, D, AND S.
- USE NO HALONS OR FCFS IN HVAC.
- During construction, meet SMACNA IAQ guidelines; provide MERV-8 filters on all HVAC.
- COMPLY WITH CA ENERGY CODE FOR LIGHTING ZONES 1-4.
- GLASS FAÇADES AND BIRD HAZARDS FACING AND/OR NEAR URBAN BIRD REFUGES MAY NEED TO TREAT THEIR GLASS FOR OPACITY.
- PLANT TREES TO SUFFICIENT TO PROVIDE SHADE WITHIN 15 YEARS FOR 20% OF LANDSCAPE AND HARDSCAPE AREA. EXCLUDE SHADE STRUCTURES COVERED BY PHOTOVOLTAICS OR COOL ROOF MATERIALS FROM TOTAL AREA CALCULATION.
- PROJECTS DISTURBING >5,000 SQ.FT. IN COMBINED OR SEPARATE SEWER AREAS, OR REPLACING >2,500 IMPERVIOUS SQ.FT. IN SEPARATE SEWER AREA, MUST IMPLEMENT A
- STORMWATER CONTROL PLAN MEETING SFPU STORMWATER MANAGEMENT REQUIREMENTS.
- Provide a construction site Stormwater Pollution Prevention Plan and implement SFPU Best Management Practices. A Stormwater Pollution Prevention Plan is optional for GPR projects that disturb <5,000 sq ft.
- SHOW HOW SURFACE DRAINAGE (GRADING, SWALES, DRAINS, RETENTION AREAS) WILL KEEP SURFACE WATER FROM ENTERING THE BUILDING.
- SEAL AROUND PIPE, CABLE, CONDUIT, AND OTHER OPENINGS IN EXTERIOR WALLS WITH CEMENT MORTAR OR DBI-APPROVED SIMILAR METHOD.
- INSTALL ONLY DIRECT-VENT OR SEALED-COMBUSTION, EPA PHASE II-COMPLIANT APPLIANCES.
- SLAB ON GRADE FOUNDATION WITH VAPOR RETARDER REQUIRES CAPILLARY BREAK, SUCH AS 4 INCHES 1/2-IN AGGREGATE & SLAB DESIGN BY LICENSED PROFESSIONAL.
- WALL AND FLOOR WOOD FRAMING MUST HAVE <19% MOISTURE CONTENT BEFORE ENCLOSURE.
- MUST BE ENERGY STAR COMPLIANT, DUCTED TO EXTERIOR, AND HUMIDISTAT SHALL BE CAPABLE OF ADJUSTING BETWEEN <50% TO >80% (HUMIDISTAT MAY BE SEPARATE.)

## TITLE 24 ENERGY

- ALL LUMINAIRES MUST BE HIGH EFFICACY (150.0(K)1A)
- LUMINAIRES RECESSED IN INSULATED CEILINGS MUST MEET FIVE REQUIREMENTS (150.0(K)1C):
  - THEY MUST BE RATED FOR DIRECT INSULATION CONTACT (IC).
  - THEY MUST BE CERTIFIED AS AIRTIGHT (AT) CONSTRUCTION.
  - THEY MUST HAVE A SEALED GASKET OR CAULKING BETWEEN THE HOUSING AND CEILING TO PREVENT FLOW OF HEATED OR COOLED AIR OUT OF LIVING AREAS AND INTO THE CEILING CAVITY.
  - HARDWIRED BALLASTS OR DRIVERS, ALLOW BALLAST OR DRIVER MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE FROM BELOW THE CEILING WITHOUT REQUIRING CUTTING HOLES IN CEILING.
  - THEY MAY NOT CONTAIN A SCREW BASE SOCKETS
- IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR OR OCCUPANT SENSOR PROVIDED THE OCCUPANT SENSOR IS INITIALLY PROGRAMMED LIKE A VACANCY SENSOR (MANUAL-ON OPERATION). (150.0(K)2)
- JOINT APPENDIX A (JAB) CERTIFIED LAMPS SHALL BE CONSIDERED HIGH EFFICACY. JAB COMPLIANT LIGHT SOURCES SHALL BE CONTROLLED BY A VACANCY SENSOR OR DIMMER. (EXCEPTION: >70SF CLOSETS AND HALLWAY) (150.0(K)2K)
- UNDER-CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS. (150.0(K)2L)
- ALL EXTERIOR LIGHTING SHALL BE HIGH EFFICACY, BE CONTROLLED BY A MANUAL ON/OFF SWITCH AND HAVE ONE OF THE FOLLOWING CONTROLS (THE MANUAL SWITCH SHALL NOT OVERRIDE THE AUTOMATIC CONTROL DEVICE): (150.0(K)3A)
  - PHOTO-CONTROL AND MOTION SENSOR
  - PHOTO-CONTROL AND AUTOMATIC TIME SWITCH CONTROL
  - ASTRONOMICAL TIME CLOCK CONTROL TURNING LIGHTS OFF DURING THE DAY
- ALL HIGH EFFICACY LIGHT FIXTURES SHALL BE CERTIFIED AS "HIGH-EFFICACY" LIGHT FIXTURES BY THE CALIFORNIA ENERGY COMMISSION.
- CONTRACTOR SHALL PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE GIVING THE LAMPS USED IN THE LUMINAIRES INSTALLED. (10-103(B))
- THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN 5 FEET ABOVE THE FINISHED FLOOR SHALL NOT BE GREATER THAN THE NUMBER OF BEDROOMS. THESE ELECTRICAL BOXES MUST BE SERVED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL. (150(K)1B)
- PROVIDE A GASKET/ INSULATION ON ALL INTERIOR ATTIC/UNDER-FLOOR ACCESSES. (110.7)
- PROVIDE VERIFICATION ON THE PLANS HOW THE BUILDING WILL MEET THE MINIMUM VENTILATION AND ACCEPTABLE INDOOR AIR QUALITY REQUIREMENTS PER ASHRAE STANDARD 62.2. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING THE WHOLE BUILDING VENTILATION AIRFLOW REQUIRED. THIS IS SUBJECT TO HERS TESTING. THE FOLLOWING LABEL MUST BE ATTACHED TO THE FAN SWITCH: 'TO MAINTAIN MINIMUM LEVELS OF OUTSIDE AIR VENTILATION REQUIRED FOR GOOD HEALTH, THE FAN CONTROL SHOULD BE ON AT ALL TIMES WHEN THE BUILDING IS OCCUPIED, UNLESS THERE IS SEVERE OUTDOOR AIR CONTAMINATION.' (CALIFORNIA ENERGY CODE 150.0(I)) A MINIMUM 100 CFM INDOOR AIR QUALITY FAN IS REQUIRED IN THE KITCHEN AND SHALL BE HERS VERIFIED.
- APPLICATION FOR PERMIT JAN 2 THROUGH FEB 16, 2020: COMPLY WITH TITLE 24 PART 6 (2019) AND MEET GREENPOINT RATED OR LEED ENERGY PREREQUISITES.
- APPLICATION FOR PERMIT FEB 17, 2020 OR AFTER: ALL-ELECTRIC BUILDINGS OF ANY OCCUPANCY: COMPLY WITH ALL PROVISIONS OF TITLE 24 2019. IN ISOLATED SITUATIONS WHERE NATURAL GAS MAY BE PERMITTED PER ADMIN BULLETIN 112, COMPLY WITH ELECTRIC READY DESIGN GUIDELINES WHICH REQUIRE WIRING AND ELECTRICAL INFRASTRUCTURE FOR FUTURE CONVERSION OF ALL MIXED-FUEL LOADS TO ALL-ELECTRIC AND
- NEW LOW-RISE RESIDENTIAL WITH NATURAL GAS: DEMONSTRATE TOTAL ENERGY DESIGN RATING <14.
- NEW BUILDINGS WITH NATURAL GAS OF ANY OCCUPANCIES EXCEPTING F, L, OR H: REDUCE ENERGY USE AT LEAST 10% COMPARED TO TITLE 24 2019.
- NEW NON-RESIDENTIAL BUILDINGS >2,000 SQUARE FEET AND <10 FLOORS, AND NEW RESIDENTIAL BUILDINGS OF >4 AND <10 FLOORS, MUST DESIGNATE 15% OF ROOF AS SOLAR READY, APPLYING TITLE 24 RULES. INSTALL PHOTOVOLTAICS OR SOLAR HOT WATER SYSTEMS IN THIS AREA. WITH PLANNING DEPARTMENT APPROVAL, PROJECTS SUBJECT TO SFPU STORMWATER REQUIREMENTS MAY SUBSTITUTE LIVING ROOF FOR SOLAR ENERGY SYSTEMS. NEW SINGLE FAMILY BUILDINGS AND RESIDENTIAL BUILDINGS OF <3 FLOORS MUST INSTALL PHOTOVOLTAICS.

**DESIGN EVEREST**

265 E LOWER LANE  
MOUNTAIN VIEW, CA 94043  
PHONE: (888) 517-3525  
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**RESIDENTIAL IMPROVEMENTS**

2762 - 2764 23RD STREET, SAN FRANCISCO, CA 94110  
BLOCK / LOT: 4152 / 020

# GS5: San Francisco Green Building Submittal Form for Residential Alteration + Addition Projects

INSTRUCTIONS:					
<p>1. Fill out the project information in the Verification box at the right.</p> <p>2. Submittal must be a minimum of 11" x 17".</p> <p>3. This form is for permit applications submitted January 2020 through December 2022.</p>					
TITLE		SOURCE OF REQUIREMENT	DESCRIPTION OF REQUIREMENT	OTHER RESIDENTIAL ALTERATIONS + ADDITIONS	VERIFICATION
RESIDENTIAL	GRADING & PAVING	CALGreen 4.106.3	Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building.	if applicable	Indicate below who is responsible for ensuring green building requirements are met. Projects that increase total conditioned floor area by ≥1,000 sq. ft. are required to have a Green Building Compliance Professional of Record as described in Administrative Bulletin 93. For projects that increase total conditioned floor area by <1,000 sq. ft., the applicant or design professional may sign below, and no license or special qualifications are required. FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion
	RODENT PROOFING	CALGreen 4.406.1	Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method.	•	Residential Improvements
	FIREPLACES & WOODSTOVES	CALGreen 4.503.1	Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances.	•	PROJECT NAME 4152/021A
	CAPILLARY BREAK, SLAB ON GRADE	CALGreen 4.505.2	Slab on grade foundation requiring vapor retarder also requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed professional.	•	BLOCK/LOT 2770 23RD ST San Francisco, CA
	MOISTURE CONTENT	CALGreen 4.505.3	Wall + floor <19% moisture content before enclosure.	•	ADDRESS R3
	BATHROOM EXHAUST	CALGreen 4.506.1	Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80% (humidistat may be separate component).	•	PRIMARY OCCUPANCY 1894 SF
MATERIAL EMISSIONS	LOW-EMITTING MATERIALS	CALGreen 4.504.2.1-5, SFGBC 4.103.3.2	Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products.	•	GROSS BUILDING AREA 1855 SF
	INDOOR WATER USE REDUCTION	CALGreen 4.303.1, SF Housing Code sec.12A10	Meet flush/flow requirements for: toilets (1.28 gpf); urinals (0.125 gpf wall, 0.5 gpf floor); showerheads (1.8 gpm); lavatories (1.2 gpm private, 0.5 gpm public/common); kitchen faucets (1.8 gpm); wash fountains (1.8 gpm); metering faucets (0.2 gpc); food waste disposers (1 gpm/8 gpm). Residential major improvement projects must upgrade all non-compliant fixtures per SF Housing Code sec.12A10.	•	INCREASE IN CONDITIONED FLOOR AREA
WATER ENERGY	WATER-EFFICIENT IRRIGATION	Administrative Code ch.63	If modified landscape area is ≥1,000 sq.ft., use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF of ≤.55 or by prescriptive compliance for projects with ≤2,500 sq.ft. of landscape area.	•	I have been retained by the project sponsor to verify that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, if I am no longer the Green Building Compliance Professional of Record for the project, or if I am otherwise no longer responsible for assuring the compliance of the project with the San Francisco Green Building Code.
	ENERGY EFFICIENCY	CA Energy Code	Comply with all provisions of the CA Energy Code.	•	C-34078
PARKING	BICYCLE PARKING	Planning Code sec.155.1-2	Provide short- and long-term bike parking to meet requirements of SF Planning Code sec.155.1-2.	if applicable	LICENSED PROFESSIONAL (sign & date) May be signed by applicant when <1,000 sq. ft. is added.
	RECYCLING BY OCCUPANTS	SF Building Code 106A.3.3, CalGreen 5.410.1.AB-088	Provide adequate space and equal access for storage, collection, and loading of compostable, recyclable and landfill materials. For help estimating adequate space for collection by hauler, see supporting materials including a design guide and calculator at: <a href="http://www.sfevironment.org/refusecalculator">www.sfevironment.org/refusecalculator</a> .	•	AFFIX STAMP BELOW:
RESOURCE RECOVERY	CONSTRUCTION & DEMOLITION (C&D) DISCARDS MANAGEMENT	Environment Code ch. 14 SFGBC 4.103.2.3 CalGreen 4.408.2, 4.408.5	Construction Discards Management - 100% of mixed debris must be taken by a Registered Transporter to a Registered facility and processed for recycling. Demonstrate ≥65% recovery. See <a href="http://www.dbi.org">www.dbi.org</a> for details.	•	
	HVAC	HVAC INSTALLER QUALS	CALGreen 4.702.1	Installers must be trained in best practices.	•
GOOD NEIGHBOR	HVAC DESIGN	CALGreen 4.507.2	HVAC shall be designed to ACCA Manual J, D, and S.	•	
	BIRD-SAFE BUILDINGS	Planning Code sec.139	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.	•	
POLLUTION PREVENTION	TOBACCO SMOKE CONTROL	Health Code art.19F	Prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas.	•	
	STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147	Projects disturbing ≥5,000 sq.ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements.	if project extends outside envelope	
INDOOR AIR QUALITY	CONSTRUCTION SITE RUNOFF	Public Works Code art.4.2 sec.146	Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	if project extends outside envelope	
	AIR FILTRATION (CONSTRUCTION)	CALGreen 4.504.1	Seal permanent HVAC ducts/equipment stored onsite before installation.	•	
FOR YOUR INFORMATION: INDOOR WATER EFFICIENCY	Indoor Water Efficiency Each fixture must not exceed CALGreen 4.303 maximum flow rates:		Water Efficiency of Existing Non-Compliant Fixtures All fixtures that are not compliant with the San Francisco Commercial Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures or fittings meeting the maximum flow rates and standards referenced above. For more information, see the Commercial Water Conservation Program Brochure, available at SFDBI.org.		
	Fixture Type	Maximum Fixture Flow Rate	NOTES:	NON-COMPLIANT PLUMBING FIXTURES INCLUDE:	
Showerheads <sup>2</sup>	1.8 gpm @ 80 psi	1. For dual flush toilets, effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. The referenced standard is ASME A112.19.14 and USEPA WaterSense Tank-Type High Efficiency Toilet Specification – 1.28 gal (4.8L)	1. Any toilet manufactured to use more than 1.6 gallons/flush		
Lavatory Faucets: residential	1.2 gpm @ 60 psi	2. Any urinal manufactured to use more than 1 gallon/flush			
Kitchen Faucets	1.8 gpm @ 60 psi default	3. Any showerhead manufactured to have a flow capacity of more than 2.5 gpm			
Wash Fountains	1.8 gpm / 20 [rim space (inches) @ 60 psi]	4. Any interior faucet that emits more than 2.2 gpm			
Metering Faucets	.20 gallons per cycle				
Tank-type water closets	1.28 gallons / flush <sup>1</sup> and EPA WaterSense Certified				
Flushometer valve water closets	1.28 gallons / flush <sup>1</sup>				
Urinals	Wall mount: 0.125 gallons / flush Floor mount: 0.5 gallons / flush				

**DESIGN EVEREST**  
265 E LOWER LANE  
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**RESIDENTIAL IMPROVEMENTS**  
2762 - 2764 23RD STREET  
2770 23RD STREET, SAN FRANCISCO, CA 94110  
BLOCK / LOT : 4152 / 020

2762 - 2764 23RD STREET  
2770 23RD STREET, SAN FRANCISCO, CA 94110  
BLOCK / LOT : 4152 / 020



SHEET TITLE:  
**GS5**  
**B103**

GREEN BUILDING COMPLIANCE PROFESSIONAL  
(sign & date)  
Signature by a professional holding at least one of the above certifications is required. If the Licensed Professional does not hold a certification for green design and/or inspection, this section may be completed by another party who will verify applicable green building requirements are met.

**TITLE-24 LOW-RISE RESIDENTIAL ENERGY/GREEN INSPECTION (BUILDING)**  
A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS 2770 23RD STREET APPLICATION NO. ADDENDUM NO.  
ENGINEER/ARCHITECT NAME Francisco Matos PHONE NO. (415) 519-4954

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERS rater. Green Building Attachment E shall be completed as per Administrative Bulletin 093 (AB-093).

In accordance with the requirements of the 2019 California Energy Code, 2019 SFGBC and AB-093, the following documentation is required for the building elements in this project:

**1. Installation**

**Addition and Alteration**

- CF2R-ADD-02-E Non HERS – Prescriptive Additions Simple (IB53)
- CF2R-ALT-05-E Non HERS – Prescriptive Alterations Simple (IB54)

**Envelope**

- CF2R-ENV-01-E Non HERS – Fenestration Installation (IB1)
- CF2R-ENV-03-E Non HERS – Insulation Installation (IB3)
- CF2R-ENV-04-E Non HERS – Roofing-Radiant Barrier (IB4)
- CF2R-ENV-20-H HERS – Building Envelope Air Leakage Test (IB56)
- CF2R-ENV-21-H HERS – Quality Insulation Installation (QI) - Framing Stage (IB64)
- CF2R-ENV-22-H HERS – Quality Insulation Installation (QI) - Insulation Stage (IB65)

**Solar Ready**

- CF2R-SRA-01-E – Solar Ready Buildings – New Construction (IB68)
- CF2R-SRA-02-E – Minimum Solar Zone Area Worksheet – New Construction (IB69)

**2. Verification**

**Existing Conditions**

- CF3R-EXC-20-H HERS – HERS Verification of Existing Conditions for Residential Alterations (VB47)

**Envelope**

- CF3R-ENV-20-H HERS – Building Envelope Air Leakage Test (VB48)
- CF3R-ENV-21-H HERS – Quality Insulation Installation (QI) - Framing Stage (VB56)
- CF3R-ENV-22-H HERS – Quality Insulation Installation (QI) - Insulation Stage (VB57)

**3. Green Building (For New Construction and Major Alterations)**

- Green Building Attachment E (GBC1)

**Required information:**

Prepared by: Francisco Matos Date: 02/06/2022  
Engineer/Architect of Record Signature

Fax: \_\_\_\_\_ Email: franciscl@architects-sf.com

Review by: \_\_\_\_\_ Phone: (415) 519-4954  
DBI Engineer or Plan Checker

**APPROVAL (Based on submitted reports)**

DATE DBI Building Inspector or Energy Inspection Services Staff

QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO:  
Energy Inspection Services (415) 558-6132; or, [dbi.energyinspections@sfgov.org](mailto:dbi.energyinspections@sfgov.org); or FAX (415) 558-6474

Revised 1/23/2020

**Attachment RE**

**TITLE-24 LOW-RISE RESIDENTIAL ENERGY INSPECTION (ELECTRICAL)**  
A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS 2770 23RD STREET APPLICATION NO. ADDENDUM NO.  
ENGINEER/ARCHITECT NAME Francisco Matos PHONE NO. (415) 519-4954

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERS rater.

In accordance with the requirements of the 2019 California Energy Code, the following documentation is required for the electrical elements in this project:

**1. Installation**

**Electrical**

- CF2R-LTG-01-E Lighting – Single Family Dwellings (IE1)
- CF2R-LTG-02-E Lighting – Multi-Family Dwellings (IE2)

**Solar**

- CF2R-PVB-01-E Photovoltaic Systems (IE18)
- CF2R-PVB-02-E Battery Storage Systems (IE19)

**Required information:**

Prepared by: Francisco Matos Date: 02/06/2022  
Engineer/Architect of Record Signature

Fax: \_\_\_\_\_ Email: franciscl@architects-sf.com

Review by: \_\_\_\_\_ Phone: (415) 519-4954  
DBI Engineer or Plan Checker

**APPROVAL (Based on submitted reports)**

DATE DBI Electrical Inspector or Energy Inspection Services Staff

QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO:  
Energy Inspection Services (415) 558-6132; or, [dbi.energyinspections@sfgov.org](mailto:dbi.energyinspections@sfgov.org); or FAX (415) 558-6474

Revised 1/23/2020

**Attachment RP**

**TITLE-24 LOW-RISE RESIDENTIAL ENERGY INSPECTION (PLUMBING)**  
A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS 2770 23RD STREET APPLICATION NO. ADDENDUM NO.  
ENGINEER/ARCHITECT NAME Francisco Matos PHONE NO. (415) 519-4954

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERS rater.

In accordance with the requirements of the 2019 California Energy Code, the following documentation is required for the plumbing work in this project:

**1. Installation**

**Plumbing**

- CF2R-PLB-01-E DHW Non-HERS - Multifamily Central Hot Water System Distribution (IP6)
- CF2R-PLB-02-E DHW Non-HERS - Single Dwelling Unit Hot Water System Distribution (IP5)
- CF2R-PLB-03-E DHW Non-HERS - Pool and Spa Heating System (IP7)
- CF2R-PLB-21-H DHW HERS - HERS Multifamily Central Hot Water System Distribution (IP9)
- CF2R-PLB-22-H DHW HERS - HERS Single Dwelling Unit Hot Water System Distribution (IP8)

**Solar**

- CF2R-STH-01-E Solar Water Heating System (IP1)

**Mechanical**

- CF2R-MCH-04-E Non HERS – Evaporative coolers (IP2)

**2. Verification**

- CF3R-PLB-21-H DHW HERS - HERS Multifamily Central Hot Water System Distribution (VP2)
- CF3R-PLB-22-H DHW HERS - HERS Single Dwelling Unit Hot Water System Distribution (VP3)

**Required information:**

Prepared by: Francisco Matos Date: 02/06/2022  
Engineer/Architect of Record Signature

Fax: \_\_\_\_\_ Email: franciscl@architects-sf.com

Review by: \_\_\_\_\_ Phone: (415) 519-4954  
DBI Engineer or Plan Checker

**APPROVAL (Based on submitted reports)**

DATE DBI Plumbing Inspector or Energy Inspection Services Staff

QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO:  
Energy Inspection Services (415) 558-6132; or, [dbi.energyinspections@sfgov.org](mailto:dbi.energyinspections@sfgov.org); or FAX (415) 558-6474

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SHEET TITLE:

**T24**

**B104**