



BILLIE 162 URBAN SS-HS

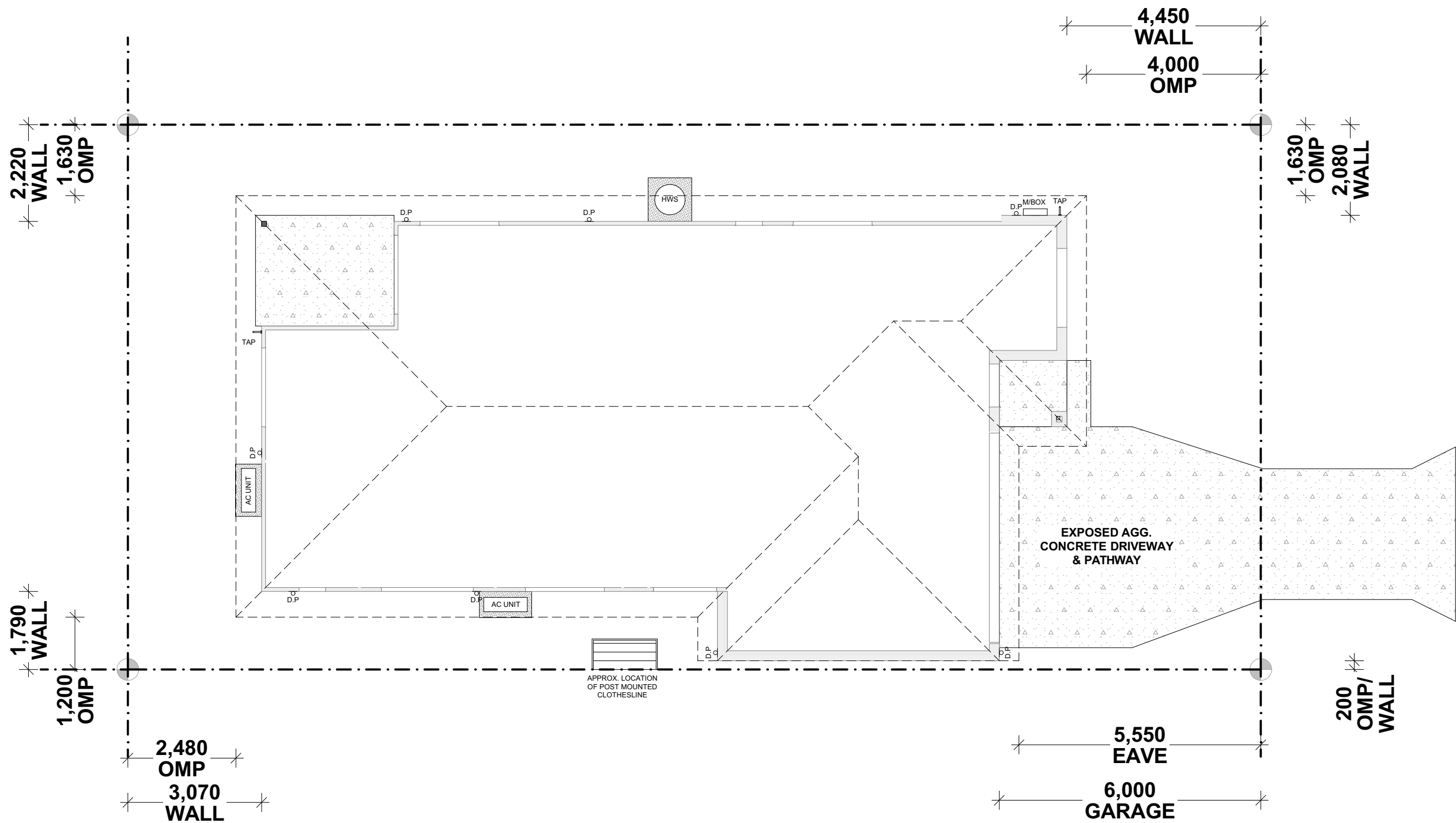
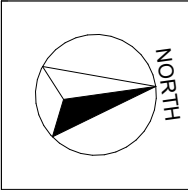


CONTRACT DRAWINGS	
PAGE No.:	
01	COVER SHEET
02	SITE PLAN
03	GROUND FLOOR PLAN
04	ELEVATIONS
05	ELEVATIONS
06	ELECTRICAL

CONTRACT PLANS


PLEASE NOTE : THESE ARE **CONCEPT PLANS ONLY**. PLAN MODIFICATIONS MAY BE REQUIRED DUE TO, BUT NOT LIMITED TO, SITE CONDITIONS, ESTATE COVENANTS AND/OR BUILDING DESIGN GUIDELINES.

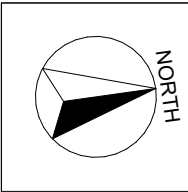
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			TBC	LOT 123 (#4), NEW ROAD, 'EXAMPLE ESTATE', GOLD COAST QLD 4215	CLIENT SIGNATURE:	A	22.11.23 - CONTRACT PLANS	TJ	SCALE: @ A3
			SOIL CLASS:	CLIENT:	CLIENT INITIALS:	B			DRAWING TITLE:
			TBC	JOHN & JANE SMITH	DATE:	C			COVER SHEET
					NOTES:	D			DESIGN:
						E			BILLIE 162 URBAN SS-HS
									DRAWING No.: XX000
									PAGE No.: P. 01
									MV1



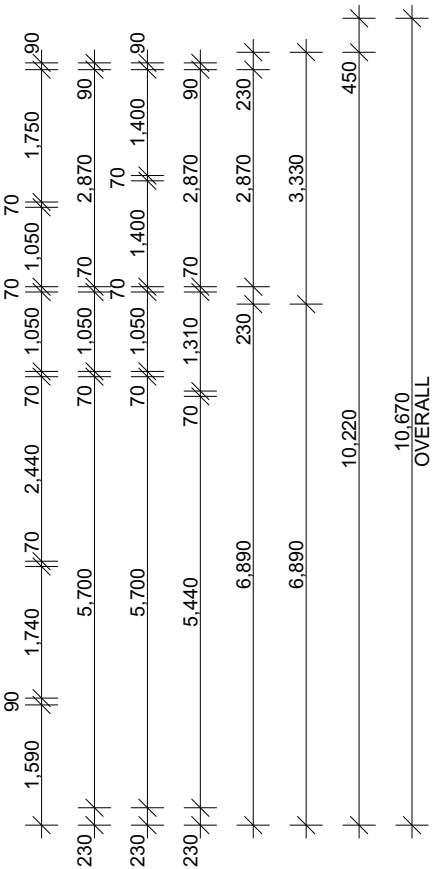
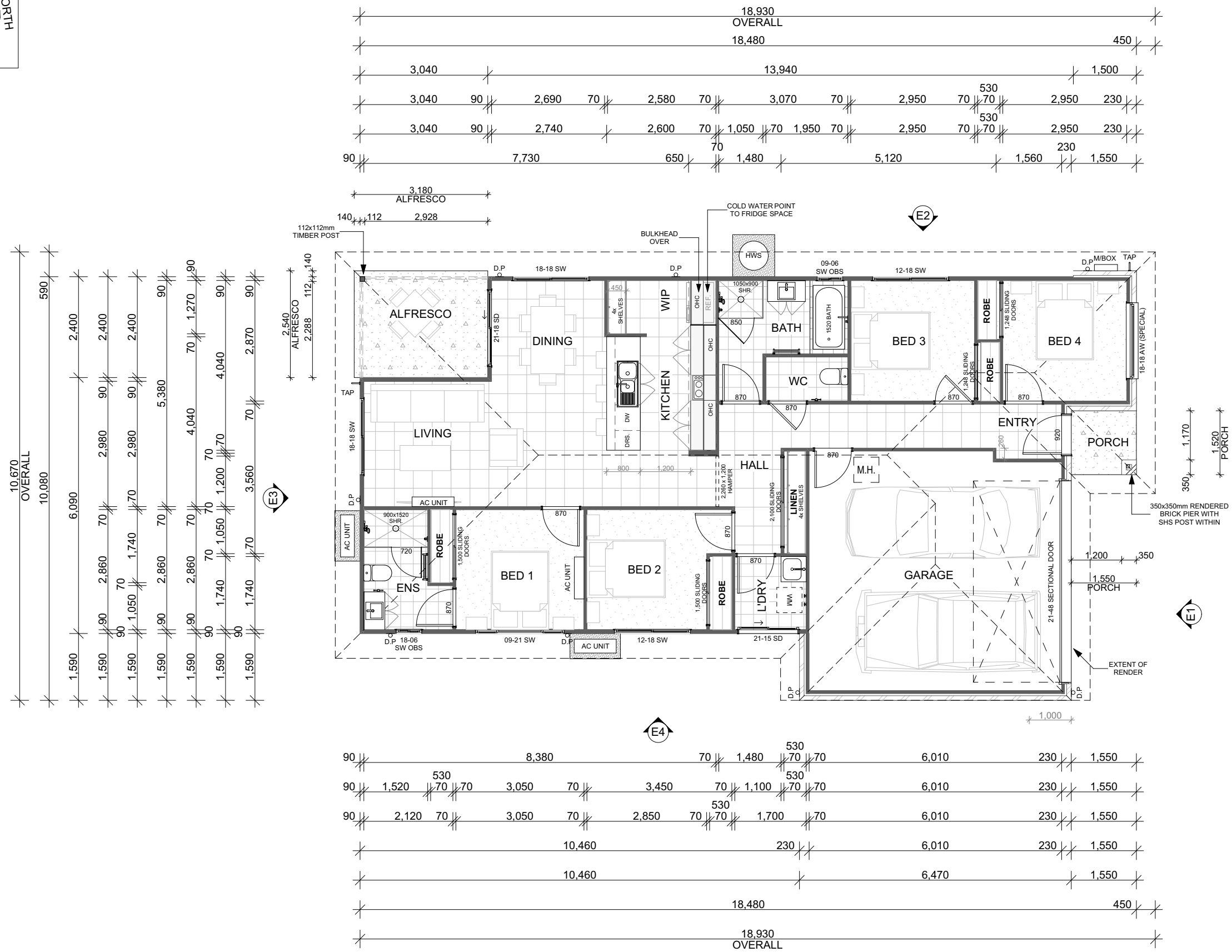
SITE PLAN
1:100

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				TBC	JOHN & JANE SMITH	DATE:	C				DESIGN:		DRAWING No.: XX000
		NOTES:	D				BILLIE 162 URBAN SS-HS		PAGE No.: P. 02				
							E						





DWELLING (AREA)		
		m2
01	LIVING	115.00
02	GARAGE	36.89
03	ALFRESCO	8.08
04	PORCH	2.36
		162.33 m²

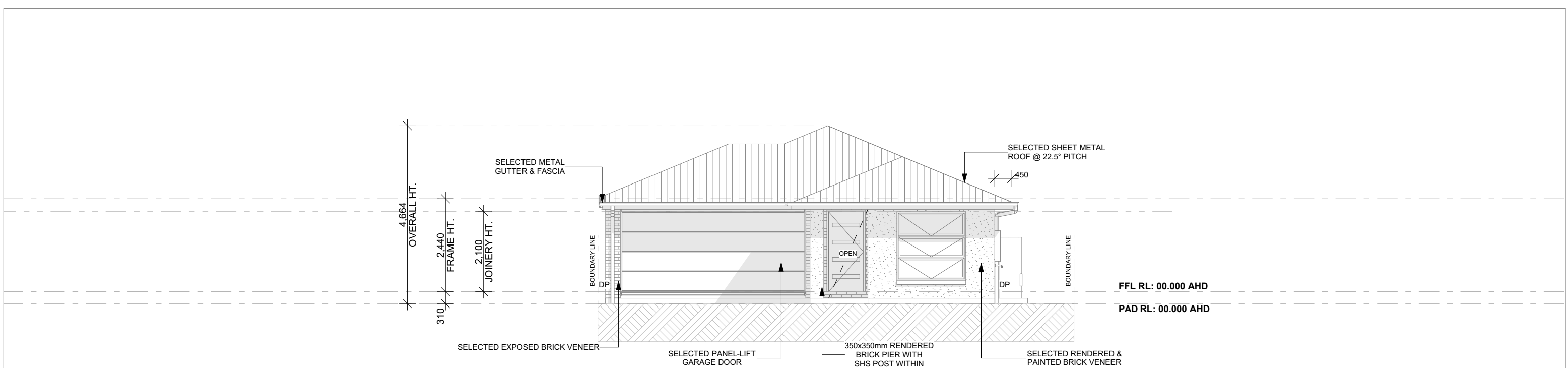


GROUND FLOOR

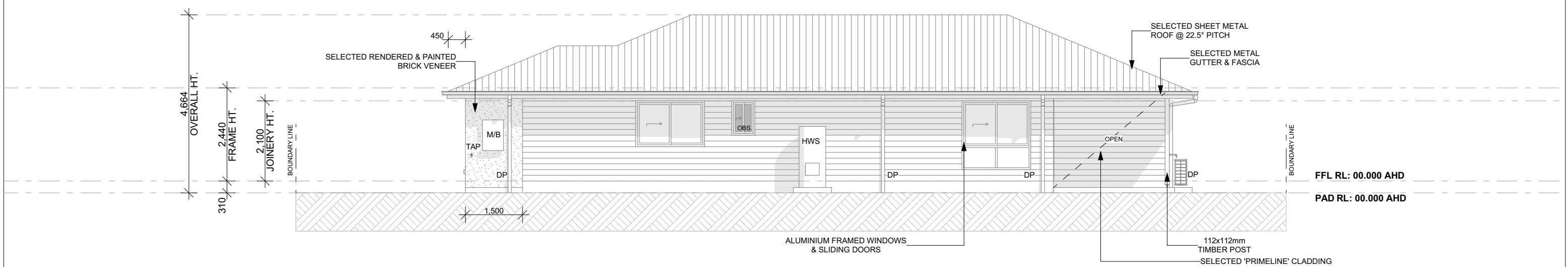
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			TBC	JOHN & JANE SMITH	DATE:	C			GROUND FLOOR PLAN	
					NOTES:	D				
			E	DESIGN:	DRAWING No.: XX000	TW/1				
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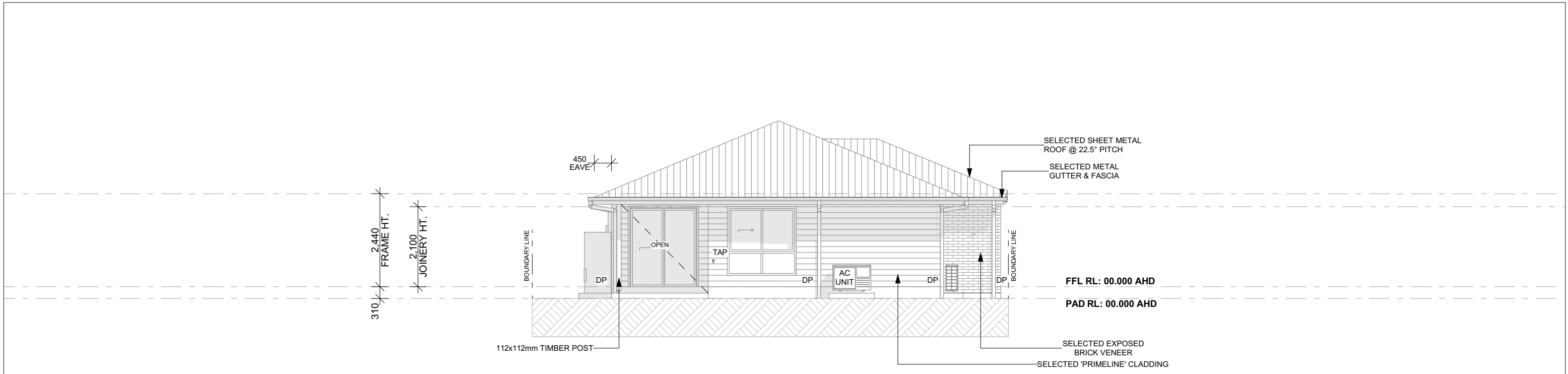
E1 NORTH ELEVATION
1:100



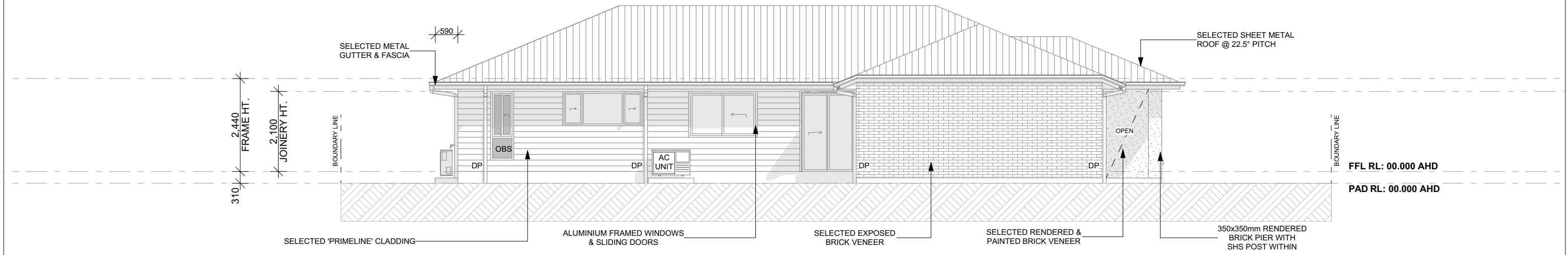
E2 WEST ELEVATION
1:100

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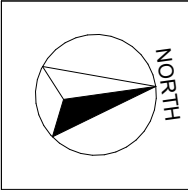
E3 SOUTH ELEVATION
1:100



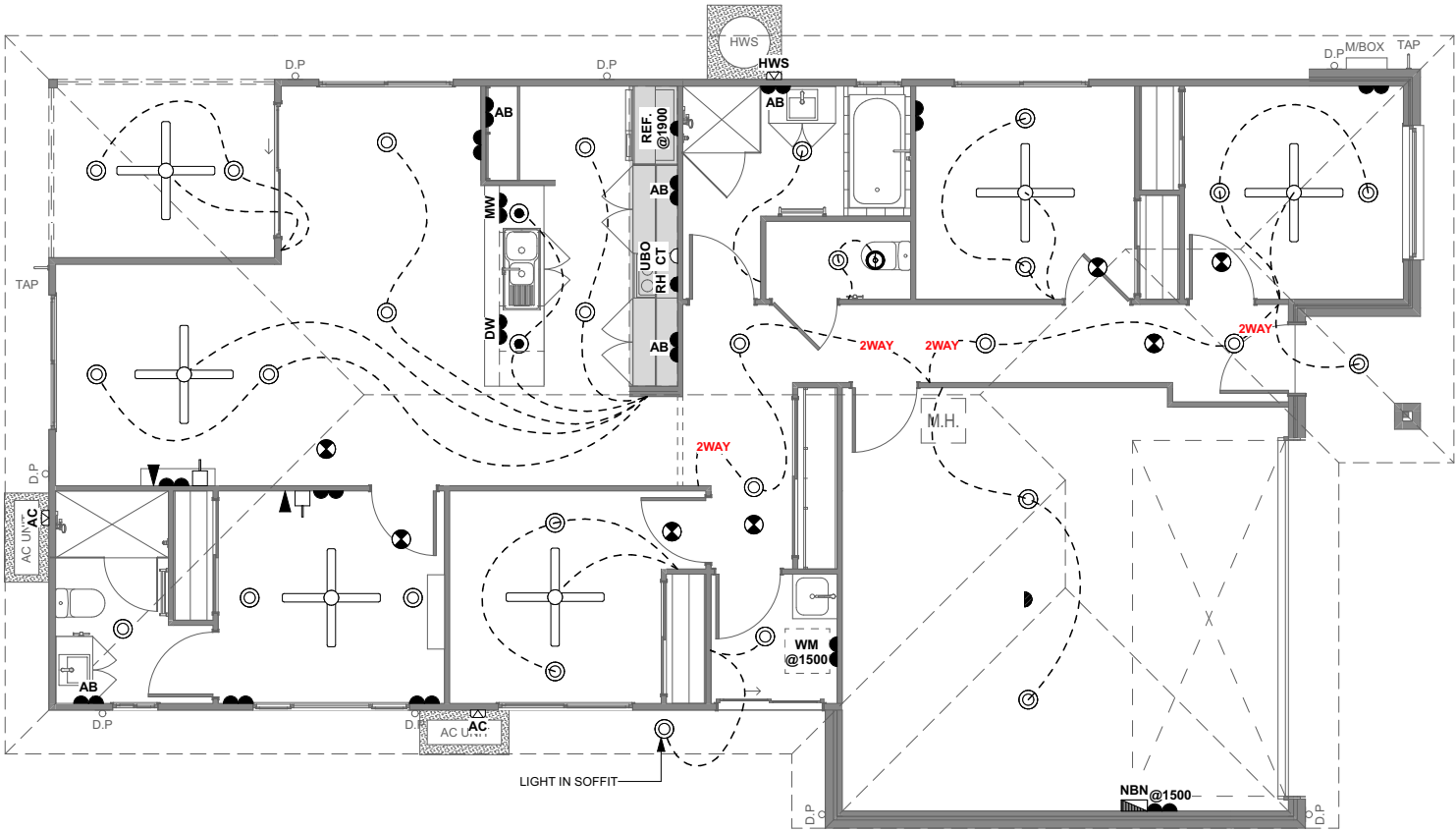
E4 EAST ELEVATION
1:100

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		A	22.11.23 - CONTRACT PLANS																
		B																	
		C																	
		D																	
E																			



ELECTRICAL ITEMS		
	QUANTITY	SYMBOL
CEILING FAN	6	
DOUBLE GPO	16	
DOWNLIGHT	28	
EXHAUST FAN	1	
EXTERNAL ISOLATOR SWITCH	3	
IN CEILING GPO	1	
ISOLATOR SWITCH	1	
NBN	1	
PENDANT LIGHT	2	
PHONE & DATA POINT	2	
SINGLE GPO	2	
SMOKE DETECTOR	7	
TV POINT	2	




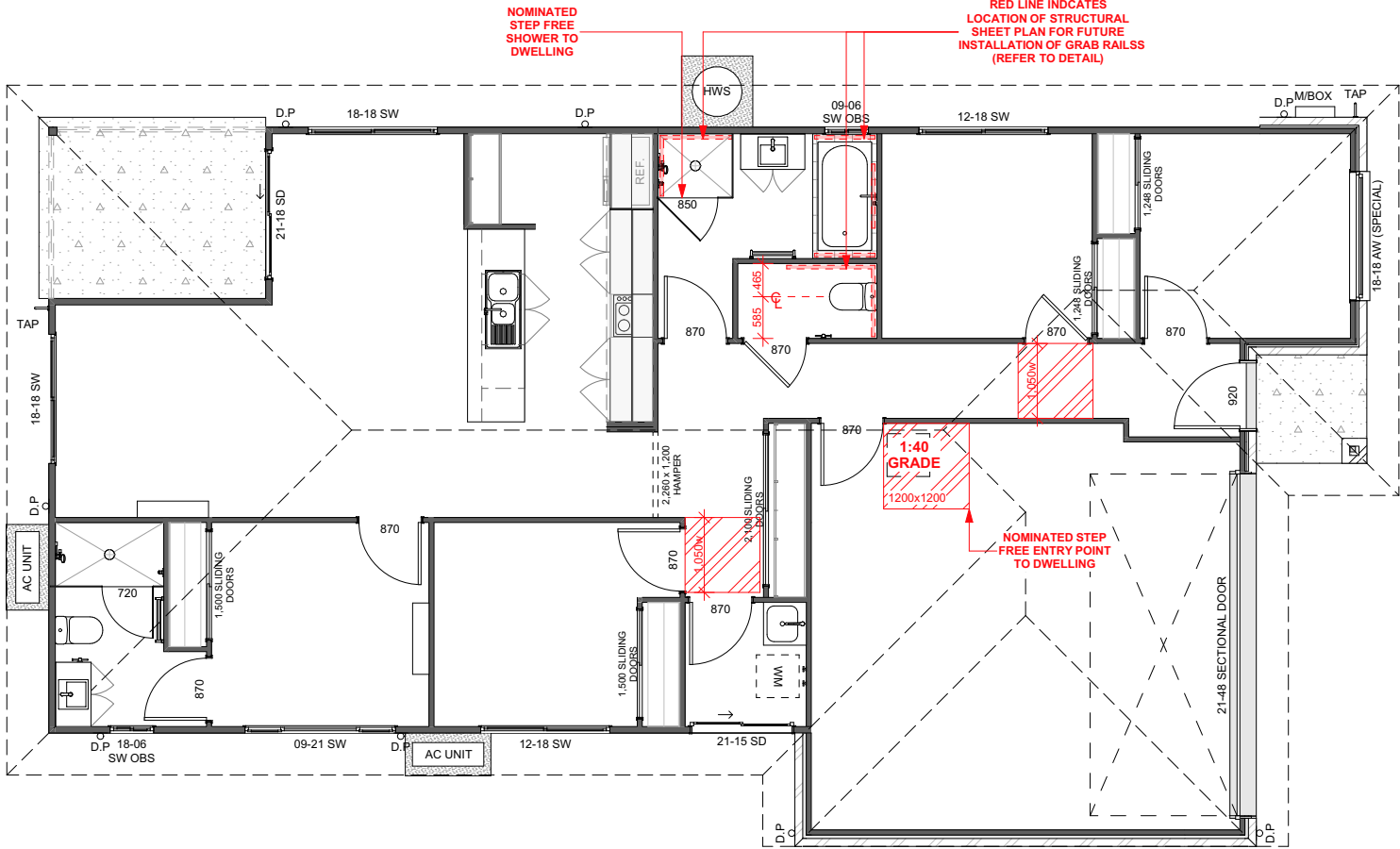
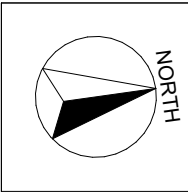
 **ELECTRICAL PLAN**
1:100

ELECTRICAL LEGEND	
REF:	REFRIGERATOR
RH:	RANGEHOOD
UBO:	UNDER BENCH OVEN
CT:	COOKTOP
MW:	MICROWAVE
DW:	DISHWASHER
WM:	WASHING MACHINE
CD:	CLOTHES DRYER
AB:	ABOVE BENCH
UB:	UNDER BENCH
IC:	IN CEILING
HWS:	HOT WATER SYSTEM
AC:	AIR CONDITIONING
WT:	WATER TANK
M/BOX:	METER BOX

ELECTRICAL NOTES:	
ALL GPO'S TO BE @ 300mm ABOVE FLOOR LEVEL UNLESS ABOVE THE BENCH WHERE THEY SHALL BE @ 1050mm ABOVE FLOOR LEVEL WITH THE EXCEPTION OF THE FRIDGE, DISHWASHER AND RANGE HOOD POINTS THAT SHALL BE LOCATED WHERE REQUIRED TO SUIT THE APPLIANCE.	
ALL SWITCHING, GPO'S OR LIGHT FIXTURES ARE SHOWN IN NOMINAL LOCATIONS ON THE PLANS. INSTALLATION WILL BE HORIZONTALLY TO THE NEAREST STUD OR SERVICEABLE LOCATION, AS DETERMINED BY THE BUILDER ON SITE	
WASHING MACHINE AND NBN GPO'S TO BE @ 1500mm ABOVE FLOOR LEVEL.	
ISOLATION SWITCH TO BE LOCATED NEAR EXTERNAL AIR CONDITIONING UNIT AND TO BE 1600 HIGH ABOVE SLAB LEVEL.	
LIGHT SWITCHES TO BE @ 1350mm ABOVE FLOOR LEVEL. 80% OF LIGHTING TO BE ENERGY EFFICIENT.	
CONFIRM WITH BUILDER, POWER REQUIREMENTS FOR THE SELECTED APPLIANCES.	
ALARM LOCATION T.B.C ON SITE	

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				TBC	JOHN & JANE SMITH	DATE:	C			ELECTRICAL	
						NOTES:	D			DESIGN:	
							E		BILLIE 162 URBAN SS-HS	DRAWING No.: XX000	MV1
										PAGE No.: P. 06	



NOGGIN DETAILS REQUIRED HERE

**WATERPROOFING
TO ENTRY DETAIL
REQUIRED HERE**

ADAPTABLE LIVING

1:100



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Suite 4/34 Harvest Court, Southport
QLD 4215
Ph : 07 5512 4188
F : 07 5512 4122
QBCC Lic 15046435



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GOLD COAST QLD 4215

CLIENT:

JOHN & JANE SMITH

CLIENT SIGNATURE:

CLIENT SIGNATURE: _____

CLIENT INITIALS:

DATE:

AMENDMENTS:

A	22.11.23 - CONTRACT PLANS
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B

6

C

STATUS: CONTRACT PLANS

STATUS: CONTRACT PLANS	DATE: 24.11.23
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SCALE: 1:100 @ A3

DRAWING TITLE

ADAPTABLE

ADAPTABLE LIVING COMP

DRAWING No.: XX000

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LVM