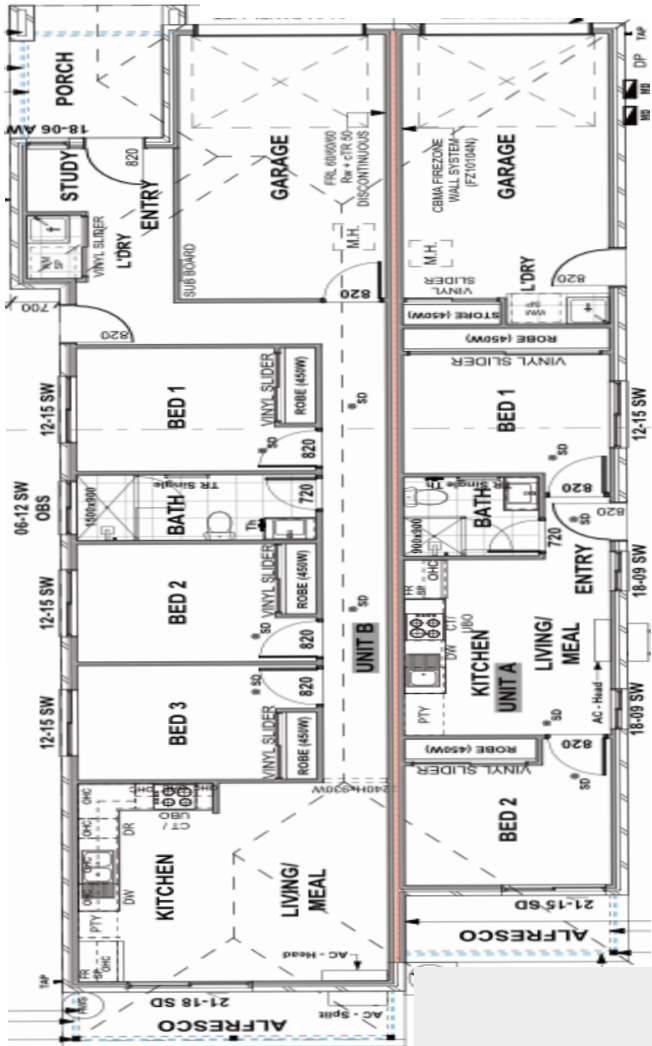


Lot 10 Dalaipi Estate, Morayfield



\$812,000



SECONDARY DWELLING

5 3 2 2

HOUSE PRICE: \$445,000
DESIGN TOTAL: 188 sqm

LAND PRICE: \$367,000
LAND SIZE: 323 sqm

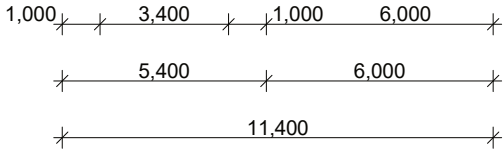
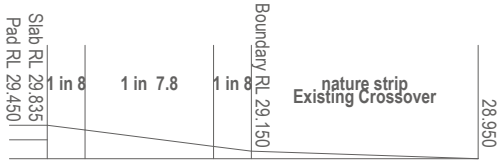
FIXED PRICE PACKAGE INCLUDES:

- Allegra Homes Quality Home Inclusions
- Upgraded façade for street appeal
- Fixed site costs for price certainty
- Colorbond® SteelRoof with Anticon blanket under
- 7 Star Energy rating
- Stainlesssteel kitchen appliances
- Caesarstonebenchtops to kitchen
- Free-standing Bath and frameless mirrors
- Semi-Framless shower screens to Ensuite and bathroom
- Carpet and Tiling throughout
- Integrated concrete slab to Alfresco
- Clothesline & Letterbox
- Expertly selected interior & exterior colour schemes
- Council application fees
- Exposed aggregate Driveway & Porch
- Turf, fencing & landscaped garden bed

QBCC: 15029088 | PHONE: 07 5606 8978 | ADDRESS: SUITE 401, LEVEL 4 / 12 SHORT STREET, SOUTHPORT, QLD 4215 | INFO@ALLEGRAHOMES.COM.AU



*ILLUSTRATIONS FOR MARKETING PURPOSES ONLY. MATERIALS, COLOURS, LANDSCAPING MAY BE AMENDED OR VARIED. AGENT RESERVES THE RIGHT TO AMEND SPECIFICATIONS AND PRICES WITHOUT NOTICE. ALL FLOOR PLANS ARE INDICATIVE ONLY, PLEASE CHECK CONTRACT FOR INCLUSIONS.

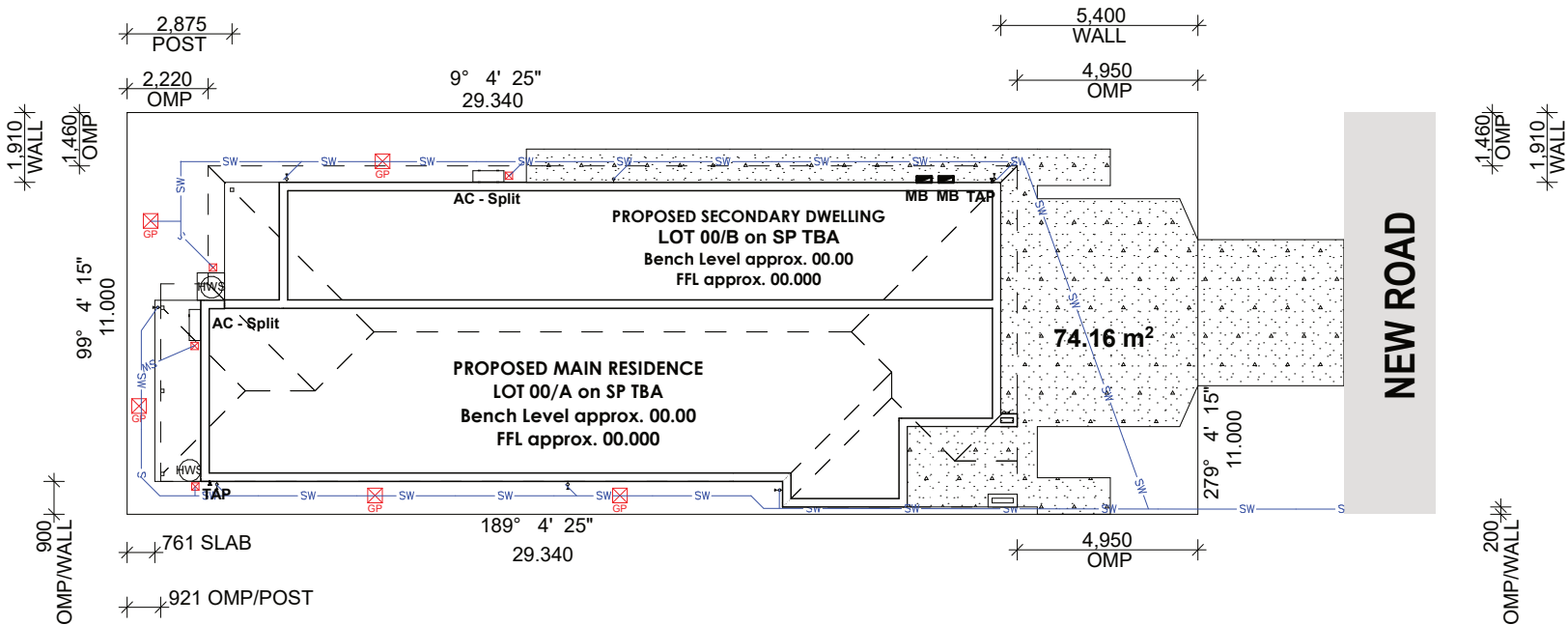


Site Notes

- 1.) Contours and levels shown are provided by a Licenced Surveyor.
- 2.) Topography shown is based on an assumed Datum Point.
- 3.) All survey pegs are to be located prior to earthworks earthworks.
- 4.) Surface water to be drained away from dwelling (provide a 1:20 minimum fall).
- 5.) Unless noted otherwise, removal of existing trees and construction of retaining walls and on site drainage requirements, where required, shall be provided by owner.
- 6.) Maximum batters shall be provided as follows:
(i) CUT-1:1 (ii) FILL-1:2 (iii) VEHICULAR ACCESS-1:5
- 7.) The working PAD RL noted on the site plan shall have a tolerance of up to 100mm
- 8.) The Builder takes no responsibility for retaining or drainage requirements caused by conditions on adjoining properties. Such works are to be carried out by the owner.



NEW ROAD
'DALAIPI ESTATE'
MORAYFIELD QLD 4506

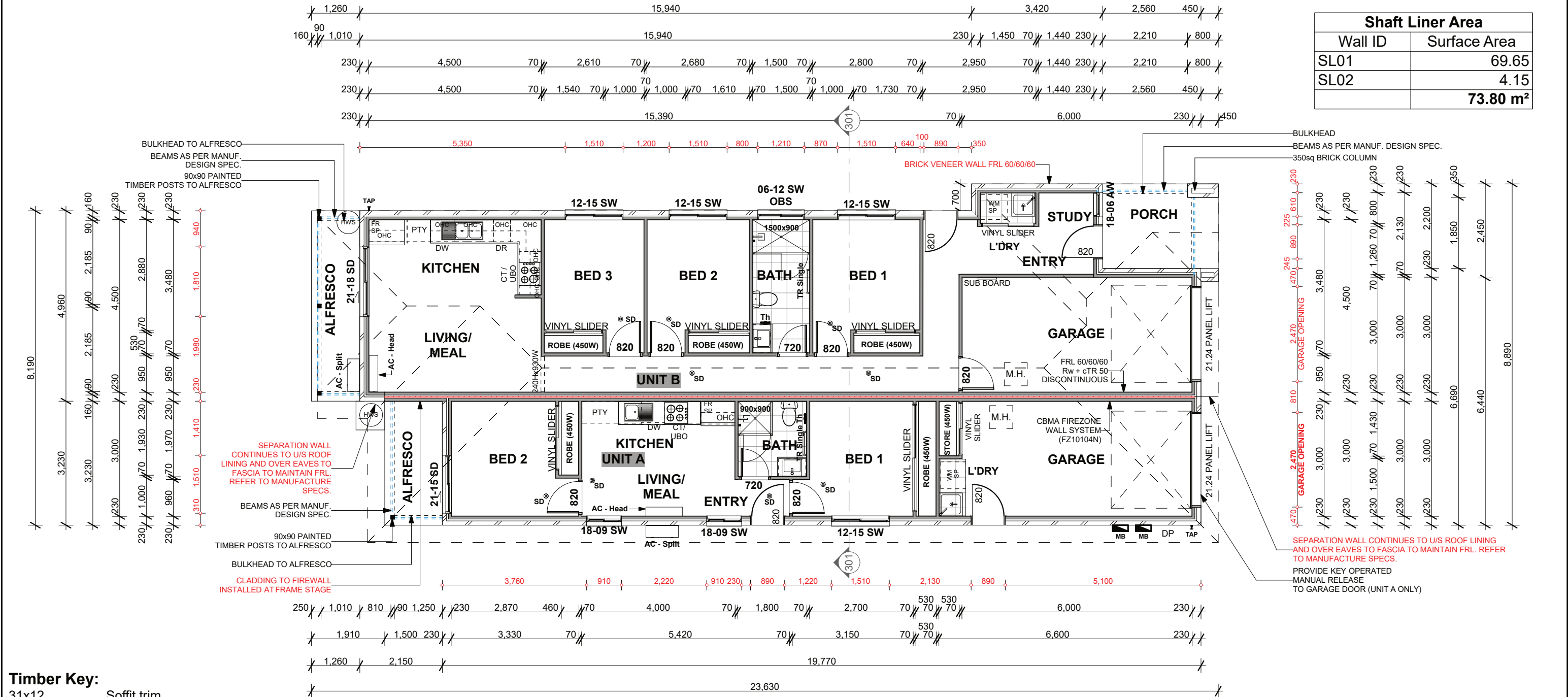


Contours and levels shown are produced from developer disclosure plan and are not guaranteed to be correct. Confirm All Levels and Heights Before Construction.

NOTE:

- Driveway, path and front porch concrete finish as required by Estate covenants.
- Ground preparation to all areas to be landscaped, including turf
- Selected plants and garden bed areas with concrete paver edge and mulch. A grade Wintergreen turf laid and rolled. Decorative gravel to sides if required also rock at the discretion of the builder
- 1800mm (approximate) high timber paling fence to perimeter (3 sides) with returns to house including single gate each side of the dwelling.
- Builder's standard lift up clothesline
- Builder's standard feature Letterbox including numbers
- Retaining wall Structural or other are entirely at the discretion of the builder as to their location and requirement and are timber, rock or reinforced concrete block at the builders discretion and in the material of the builders choice.

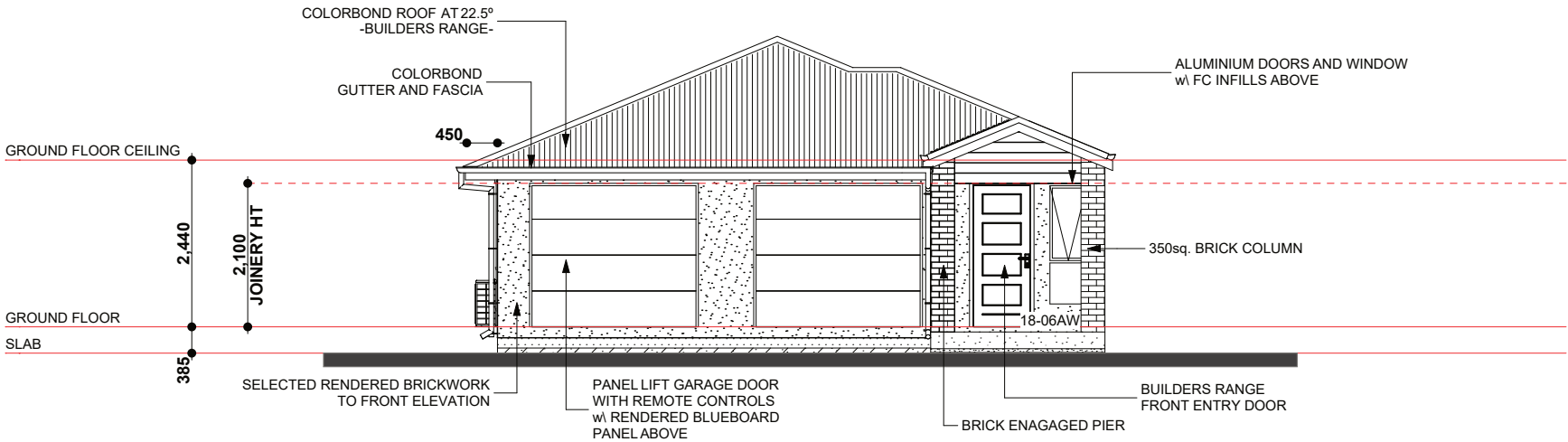
	We reserve the right to alter designs, colours and specifications without notice. Whilst every care has been taken in the preparation of this document, the particulars contained herein are not to be constructed as any representation of fact. All information provided to us is from reputable sources and no responsibility is accepted by the vendor, it's servants or agents for any errors or omissions. All interested parties should make their own enquiries to satisfy themselves in relation to all matters.	© Allegra Homes. The copyright of these plans are owned by Allegra Homes. The plans may not be reproduced, copied or dealt with in any manner which infringes the exclusive rights of Allegra Homes.	I/ WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT	Issue	Date	Drawn	Amendments	CLIENT: CLIENT NAME(S) AT: LOT 00 No. TBA NEW ROAD 'ESTATE' SUBURB, QLD, 4000 SP TBA	Facade: CUSTOM	Title: 101_SITE PLAN	Issue: PA	Scale: 1:200
									Design Name: CUSTOM		Plot Date: 28/05/2024	
				SIGNATURE	DATE						Wind Rating: ##	Drawn By: TG
				SIGNATURE	DATE	PA	28.05.24	TG	CONTRACT SET		Checked By: JC	



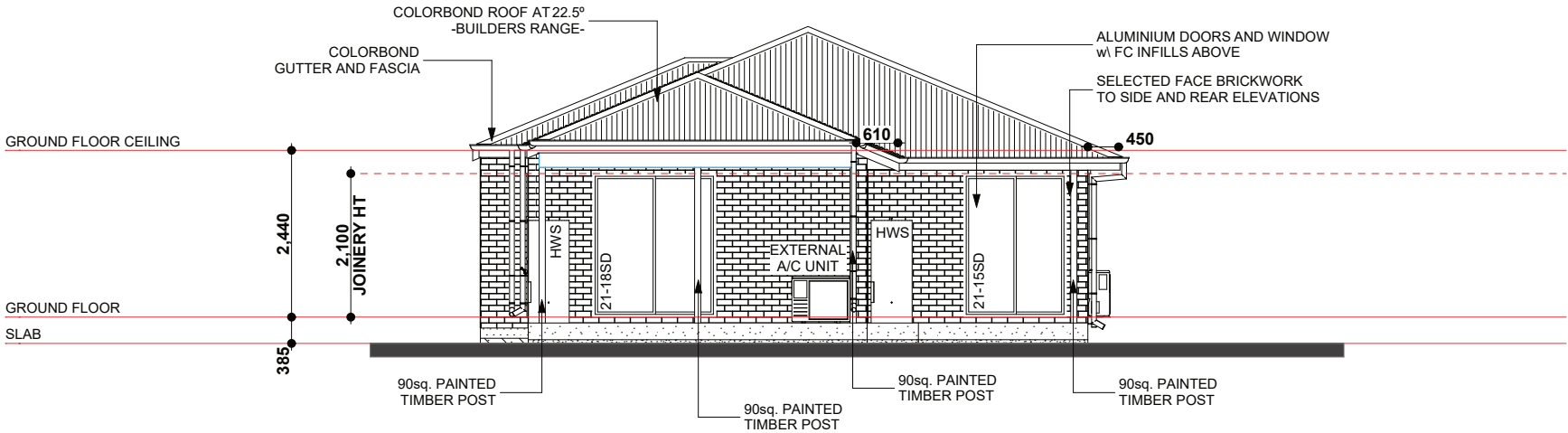
Cladding Key:

- 4.5mm Soffit
- 6mm FC Sheet
- 8.5mm Ezi-Lap
- 9mm Axon
- 8mm Matrix
- 7.5mm Blue Board
- 9mm Primeline

- NOTES:
- PROVIDE MIN 3 No. STUDS TO SIDES OF DOOR/WINDOW OPENINGS TO SUIT LIGHT WEIGHT CLADDING FIXING
 - NOTE: PROVIDE 66x42 TIMBER STOPS TO ALL CORNERS TO SUIT FINISHING OF WEATHERBOARDS.
 - 42x19 SURROUNDS TO ALL WINDOWS IN LIGHTWEIGHT CLADDING
 - 42x42 SURROUNDS TO ALL GLASS SLIDING DOORS IN LIGHTWEIGHT CLADDING
 - 50x38 BATTENS TO LIGHT WEIGHT CLADDING AS PER MANUFACTURERS SPECIFICATION
 - 610mm OVERHANG FROM FRAME TO EAVES AND GABLE ENDS



203_ NORTH ELEVATION 1:100



204_ SOUTH ELEVATION 1:100

- NOTES:
- TIMBER ROOF TRUSSES AND WALL FRAMES TO MANUFACTURES SPECIFICATIONS
 - GLAZING TO WINDOWS/DOORS TO AS1288 - 1994
 - ALL WINDOWS TO COMPLY WITH BCA CLAUSE 3.9.2.5
 - LAMINATED GLAZING TO WET AREA WINDOWS TO AS1288 - 1994
 - EXPANSION JOINTS TO BRICKWORK IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS



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I/ WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT

SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____

Issue	Date	Drawn	Amendments
PA	28.05.24	TG	CONTRACT SET

CLIENT: CLIENT NAME(S)
AT: LOT 00 No. TBA NEW ROAD 'ESTATE' SUBURB, QLD, 4000 SP TBA

Facade: CUSTOM

Design Name: CUSTOM

Title: 201_ELEVATIONS

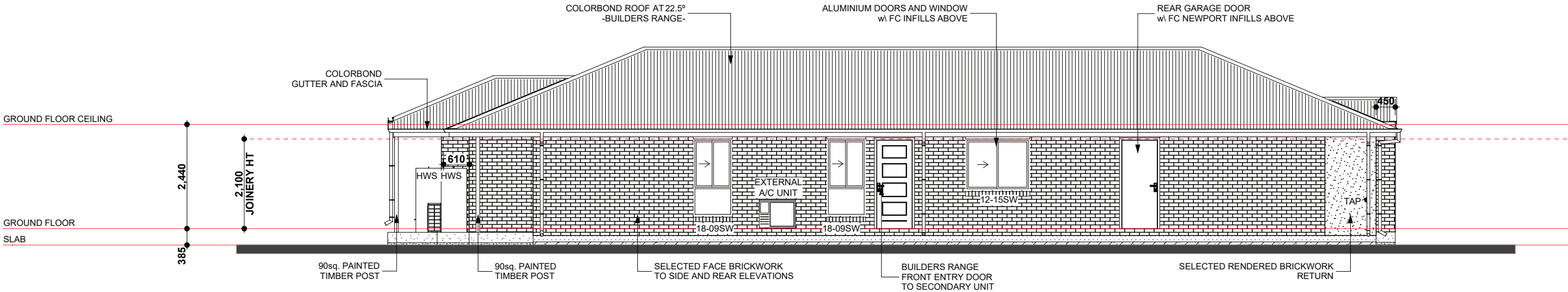
Issue: PA Scale: As Shown

Plot Date: 28/05/2024

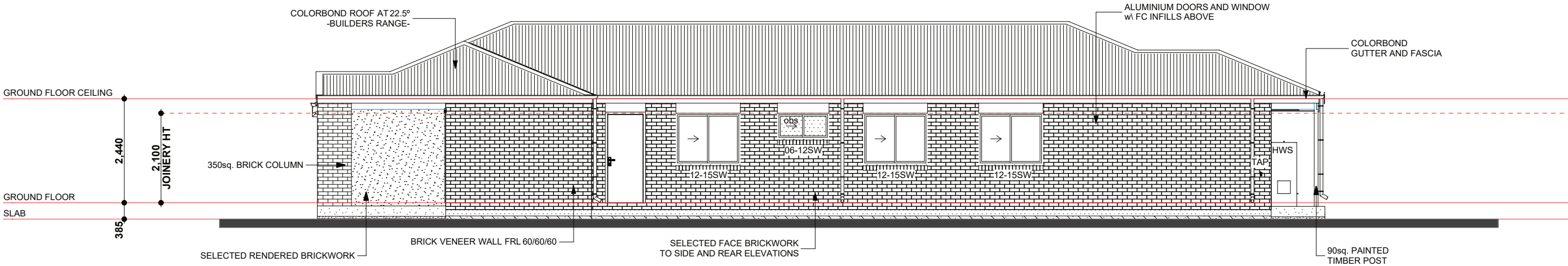
Wind Rating: ## Drawn By: TG Checked By: JC

Cladding Key:

- 4.5mm Soffit
- 6mm FC Sheet
- 8.5mm Ezi-Lap
- 9mm Axon
- 8mm Matrix
- 7.5mm Blue Board
- 9mm Primeline



201_ EAST ELEVATION 1:100



202_ WEST ELEVATION 1:100

NOTES:
- TIMBER ROOF TRUSSES AND WALL FRAMES TO MANUFACTURES SPECIFICATIONS
- GLAZING TO WINDOWS/DOORS TO AS1288 - 1994
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- EXPANSION JOINTS TO BRICKWORK IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS