

Approved Building Consent Documents

PLEASE NOTE
This consent is subject to construction monitoring

**Please Note: A copy of the stamped
approved documents must be
available on site for all inspections.**

IN THE MATTER

of Land Transfer Plan 520597

AND

IN THE MATTER

of subdivision consent pursuant to sections 104, 105 and 108 of the Resource Management Act 1991.

CONSENT NOTICE PURSUANT TO SECTION 221

RESOURCE MANAGEMENT ACT 1991

Pursuant to sections 108 and 221 of the Resource Management Act 1991 **THE NAPIER CITY COUNCIL**, by resolution passed on 9th of October 2017, imposed the following conditions of consent on the subdivision of Part Lot 41 Deeds Plan 120, (Scheme Plan Number RMS17075), at 250 Guppy Road, Napier.

Conditions:

1. All new habitable buildings constructed on Lots 1 to 6 must have a minimum finished floor level of:
Lots 1 to 5 – 15.6m
This consent is subject to construction monitoring

Lot 6 – 15.8m

(All heights are in terms of the Hawkes Bay Local Authority Datum 1972)

2. All new buildings on **Lots 1 to 6** are to have Engineer designed foundations.

Dated at Napier this 18th day of April 2018

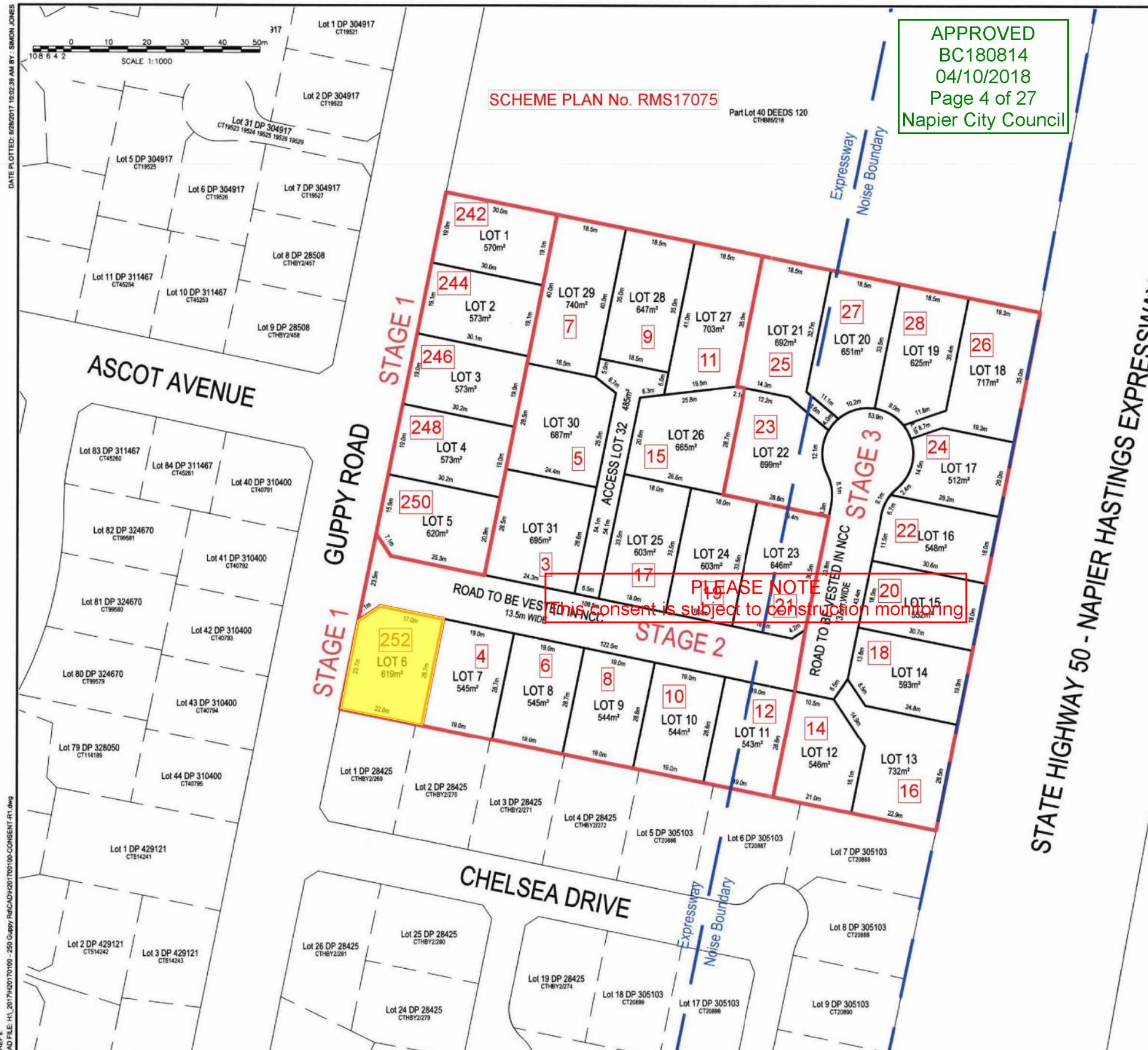

Authorised Officer

NAPIER CITY COUNCIL

June and Andy Ranyard

New Napier Home





Rev	Date	Description	Appr.	Issued
1	23/08/2017	FOR APPROVAL	KRC	KRC

NOTES

- This plan has been produced for resource consent purposes. Boundaries and dimensions are subject to resource consent approval and land transfer survey.
- Easements may be required for cross-boundary services.
- Current Napier City Council Zoning: Main Residential. NCC Planning Map: J4
- The proposed scheme plans should be read in conjunction with proposed services plan H2070100-C040.
- Proposed Amalgamation Condition:
 - "That Lot 32 hereon (Legal Access) be held in five undivided one-fifth shares by the owners of Lots 26, 27, 28, 29 & 30 hereon as Tenants in Common in the said shares and that individual Computer Freehold Registers be issued in accordance".

NAPIER CITY COUNCIL APPROVED

Subdivision Planner:

Date Ap:

Authorised Officer:

Date Aut:

Part Lot 44 DEEDS 120 CTHB85/44



Fieldwork	Date	All Rights Reserved.
Drawn	Date	This document is produced by Development Nous Ltd for the benefit of and use by the client in accordance with the terms of engagement.
Checked	Date	Development Nous Ltd does not and shall not assume any responsibility whatsoever to any third party arising out of any use or reliance by any party on the contents of this document.
Designed	Date	
Approved	Date	
Client	240 GUPPY LTD	
PROPOSED SUBDIVISION OF PART LOT 41 DEEDS PLAN 120 COMPRISED IN CFR HBD3/143		
250 GUPPY ROAD, TARADALE NAPIER OVERALL SCHEME PLAN		
Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES	
Datum	Council Ref.	Scale
HB2000		1:1000
Drawing Number		Size
H20170100-C010		A3
		Revision
		1



Homeworkx
New homes design and build

June and Andy Ranyard

Lot 6
Riverend Development
Guppy Road, Napier

Drawing Title: Location Plan

Drawing Scale:

Designed by Gordon Sanson
LBP 117656

Notes:

Date Drawing Printed:
Saturday, August 25, 2018

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GENERAL

1. Do not scale from drawings. These drawings are to be read in conjunction with the architectural drawings and all other related documents. Refer to architectural drawings for dimensions, rebates & recesses.
2. Contact the architect/engineer if any discrepancies are found.
3. Under no circumstances shall polystyrene spacers be used. Use recommended spacers as per details provided.
4. DPM shall be in accordance with NZS3604 (polyethylene sheet, min. 0.25mm). Do not use multiple layers. All penetrations through the DPM shall be sealed.
5. A layer of sand blinding or granular fines (GAP7) shall be placed, screeded and compacted over the building platform. The maximum thickness of this layer shall be no more than 50mm.
6. All service trenches shall be properly backfilled and compacted.
7. Where underfloor heating is installed, floor topping shall be increased to 110mm.
8. Where concrete polishing and/or architectural cuts are made to the floor, the floor thickness shall be increased such that the final topping depth is no less than that specified on the plans after all polishing/cuts.
9. Polystyrene pods shall be 1100 x 1100 x 220mm.

CONCRETE

1. All concrete work and materials shall conform to NZS3109 and applicable building consent authority regulations.
2. No cuts shall be made to the floor other than those shown on the drawings.
3. Unless otherwise noted, concrete shall be:
Firth Raftmix, 20MPa minimum or 25MPa minimum within 'exposure zone D' (if in doubt, confirm with local BCA)

REINFORCEMENT

1. Unless otherwise specified, all reinforcement shall be Ductility Class E, in accordance with NZS 4671.
2. All bend diameters shall comply with NZS 3109. Re-bending of reinforcement is not permitted. 'Spot' welding of reinforcement is not permitted.
3. All mesh reinforcement shall be Ductility Class E as per NZS4671
4. Unless otherwise specified by proprietary product specifications, mesh shall be lapped a minimum of 250mm or by a grid plus 50mm, whichever is greater.
5. Unless otherwise specified on plans, minimum covers are:
exposed to earth: 75mm
exposed to edge: 50mm
protected by damp proofing: 50mm
6. Unless otherwise specified, reinforcement laps are:

Reinforcement Grade	Nomination	min. lap (whichever is greater)	concrete strength (MPa)
300	'D'	40Ø or min. 600mm	all blockfill, 20 and 25
500	'HD'	70Ø	all blockfill
500	'HD'	56Ø	20
500	'HD'	50Ø	25

SITE CONDITIONS

1. Design based on soils report/assessment
By: O'Callaghan Design Ltd. Ref: 250 Guppy Road Stage 1 Earthworks Dated: 19 March, 2018
Specifically: Design based on all unsuitable material removed and uniform non-expansive soils across building platform with a minimal allowable bearing capacity of: 50 kPa. For filled ground, minimum allowable bearing capacity of 100kPa for hardfill such as GAP40 etc, and minimum shear strength of 150 kPa for clay fill, subject to engineers confirmation.
2. Building platform, where filled above CGL/FGL, shall be extended min. 1.0m beyond the building footprint.
3. Where compacted fill (to replace excavated material) is required to form building platform, the fill/excavation shall be extended horizontally past the building edge by at least 1.0m.
4. Confirm position & depth of all public pipes on the site, prior to any works. If different to the site plan then Wilton Joubert Ltd. shall be contacted.
5. Building foundation shall be outside of 45° influence line from the bottom of any public pipes, tanks or manholes.

NOTES:
Do not scale from Drawings.
Refer Architectural Drawings for overall dimensions. To be read in conjunction with all other related documents.

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BC180814
04/10/2018
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Napier City Council

Revision	Description	Date



Job Title:
Proposed Residence
Lot 6, Riverend Development
252 Guppy Road
Taradale

Sheet Title:
General Notes

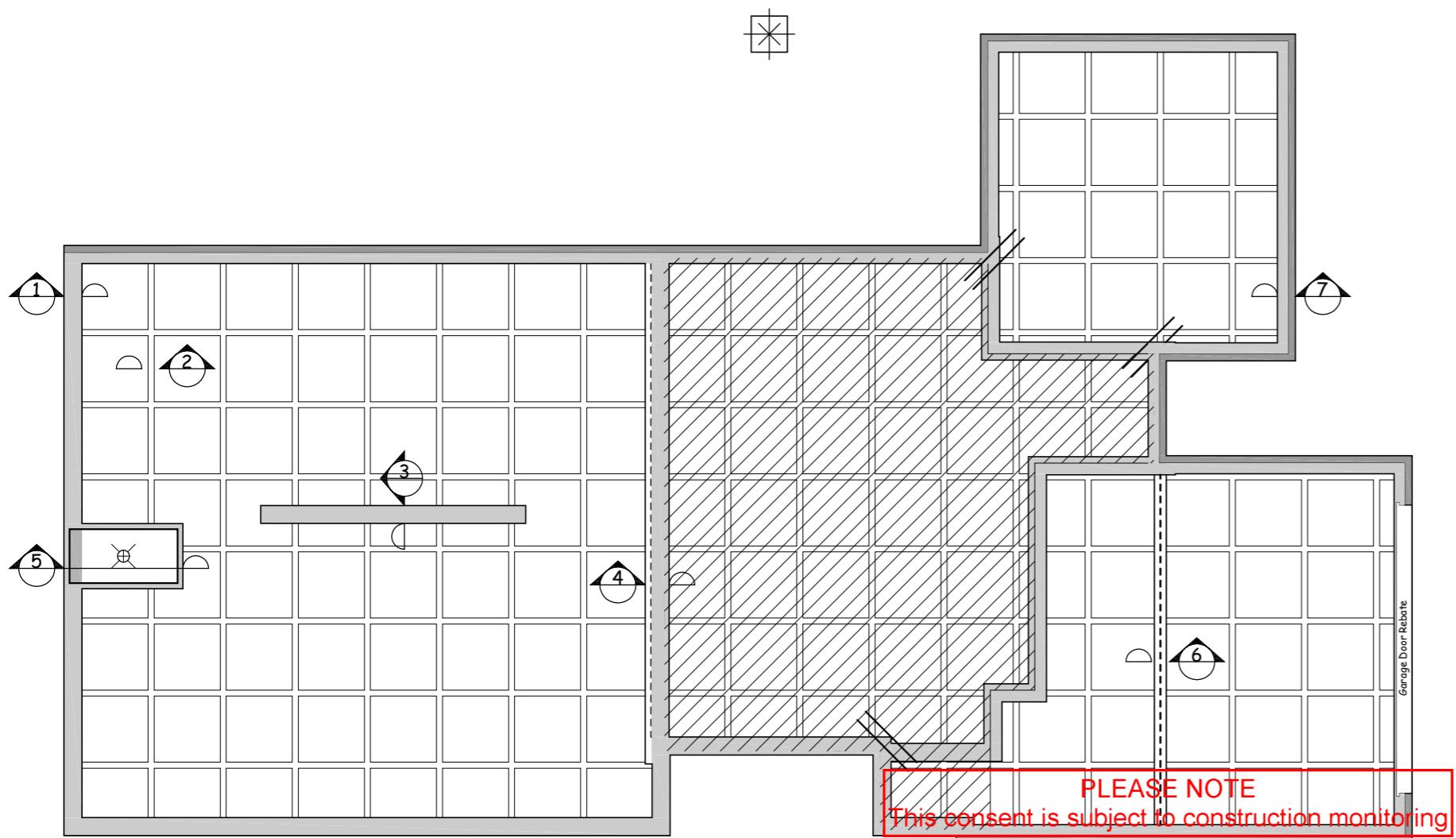
Designed	RC	Drawn	TE
Checked	NL	Checked	..
Scale	1:100 & 1:25	Date	09-08-2018
Job #	78686	Page No.	SO

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Quantities of Spacers
(Quantities are approximate
and to be used as a guide only)

Item	Qty.
WJ100 Centre Spacer	250
WJ101 Clip-on Spacer	110

NOTES:
Do not scale from Drawings.
Refer Architectural Drawings for
overall dimensions. To be read in
conjunction with all other related
documents.



Legend:

Re Entrant corner steel
2/HD12 x 1200mm
at 200 crs

6mm sawcut
100mm deep do not
cut into edge beam

Shower setdown:
pods within area of shower + 100mm
are cut down by 50mm max
so as to maintain 85mm topping
HD12 trim around top.

Area of burnished floor
NOTE:
Allow for extra concrete topping
so as to maintain a minimum
thickness of 85mm after any
polishing, burnishing or other
Architectural treatment.

600² x 600 deep
post footing
2/HD12 vertical
refer Architects spec's for
plinth and/or post fixings

Revision	Description	Date

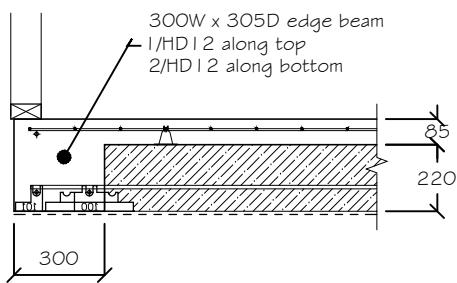


Northland: 09 945 4188
Auckland-Waikato: 09 527 0196
Canterbury: 021 824 063
Southern Lakes: 03 443 6209
www.wiltonjoubert.co.nz

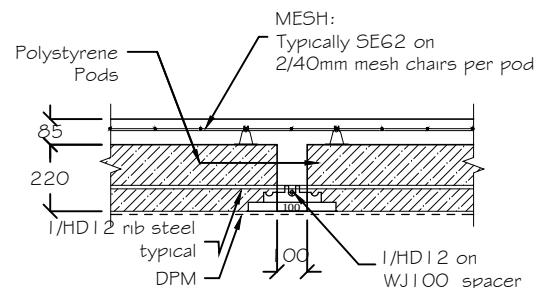
Job Title:
Proposed Residence
Lot 6, Riverend Development
252 Guppy Road
Taradale

Sheet Title:
Ribraft Floor
Plan

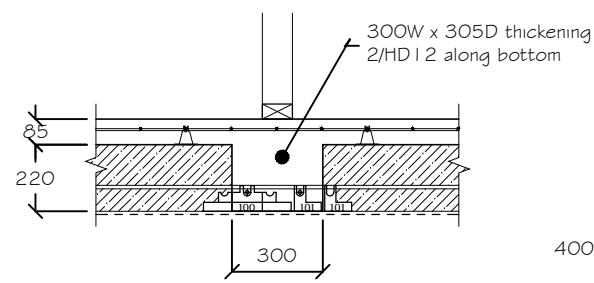
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Checked	NL	Checked	...
Scaled	1:100	Date	09-08-2018
Job # 78686			Page No.
			S1



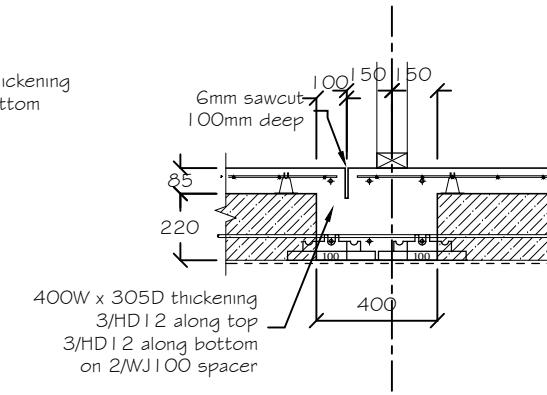
1 Detail
Raftfloor Edge Beam - 300
Scale 1:25



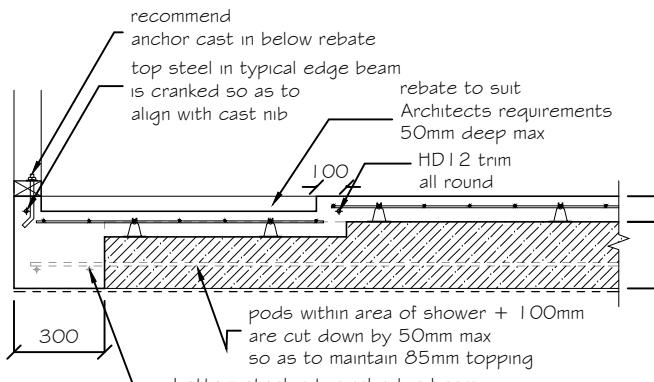
2 Detail
Raftfloor Internal Rib - 100
Scale 1:25



3 Detail
Raftfloor Internal Rib - 300
Scale 1:25

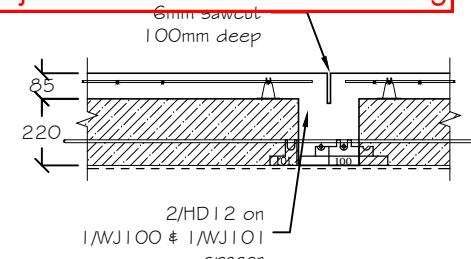


4 Detail
Raftfloor Internal Rib - 400
with Sawcut
Scale 1:25

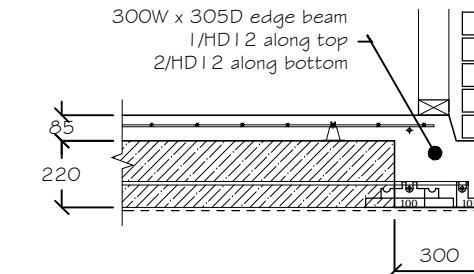


5 Detail
Raftfloor Shower Setdown at
Edge Beam - 300
Scale 1:25

PLEASE NOTE
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6 Detail
Raftfloor Internal Rib - 200
with Sawcut
Scale 1:25



7 Detail
Raftfloor Edge Beam - 300
Scale 1:25

Quantities of Spacers	
(Quantities are approximate and to be used as a guide only)	
Item	Qty.
WJ100 Centre Spacer	250
WJ101 Clip-on Spacer	110

NOTES:

Do not scale from Drawings.
Refer Architectural Drawings for overall dimensions. To be read in conjunction with all other related documents.

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04/10/2018
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Revision	Description	Date

WILTON JOUBERT
Consulting Engineers

Northland: 09 945 4188
Auckland-Waikato: 09 527 0196
Canterbury: 021 824 063
Southern Lakes: 03 443 6209
www.wiltonjoubert.co.nz

Job Title:
Proposed Residence
Lot 6, Riverend Development
252 Guppy Road
Taradale

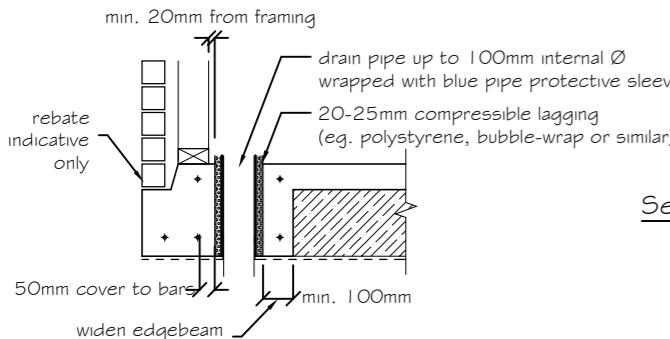
Sheet Title:
Ribraft Floor
Details

Reviewed	RC	Drawn	TE
Checked	NL	Checked	
Signed	1:25	Date	09-08-2018
Job #	7866	Page No.	S2

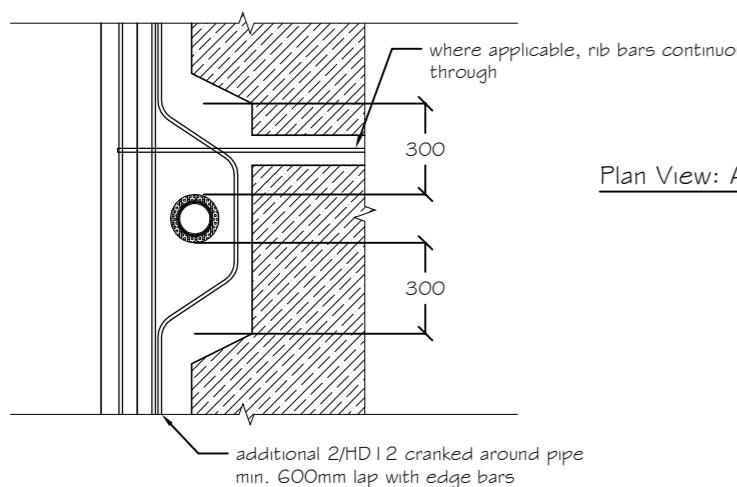
NOTE:

Allow for extra concrete topping so as to maintain a minimum thickness of 85mm after any polishing, burnishing or other Architectural treatment.

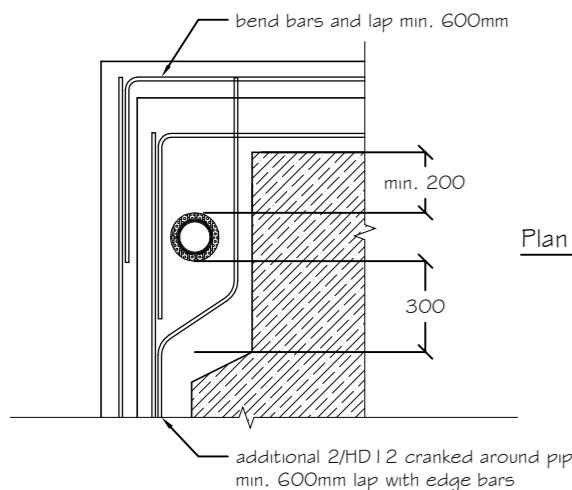
NOTES:
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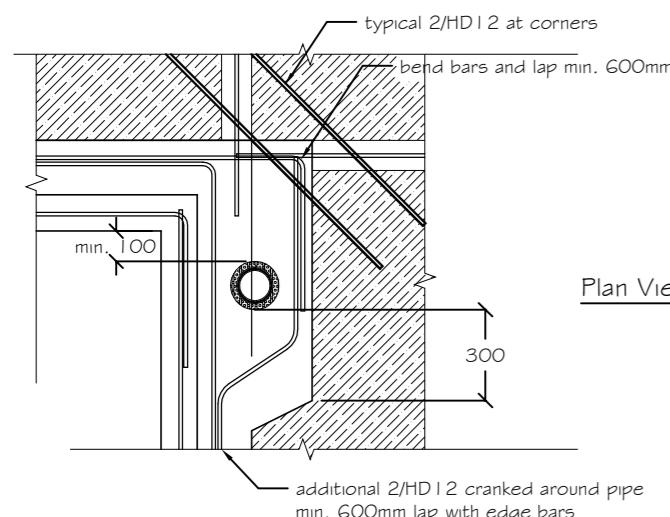
Section View: At Edge



Plan View: At Edge

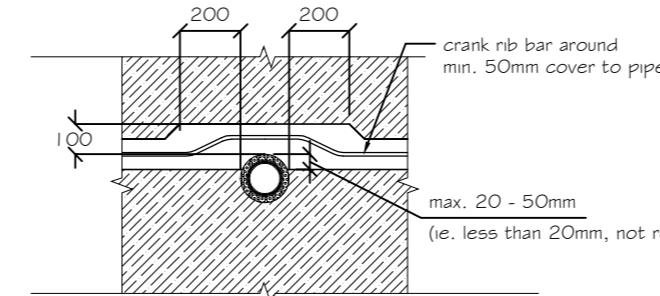


Plan View: At Open Corner

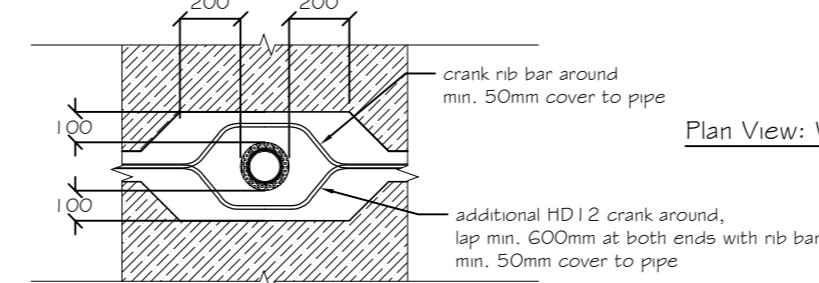


Plan View: At Closed Corner

Typical Detail Around Pipes
 Raftfloor Edge Beam



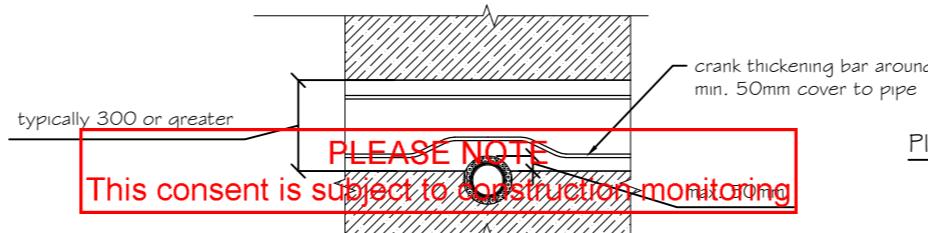
Plan View: At Rib Edge



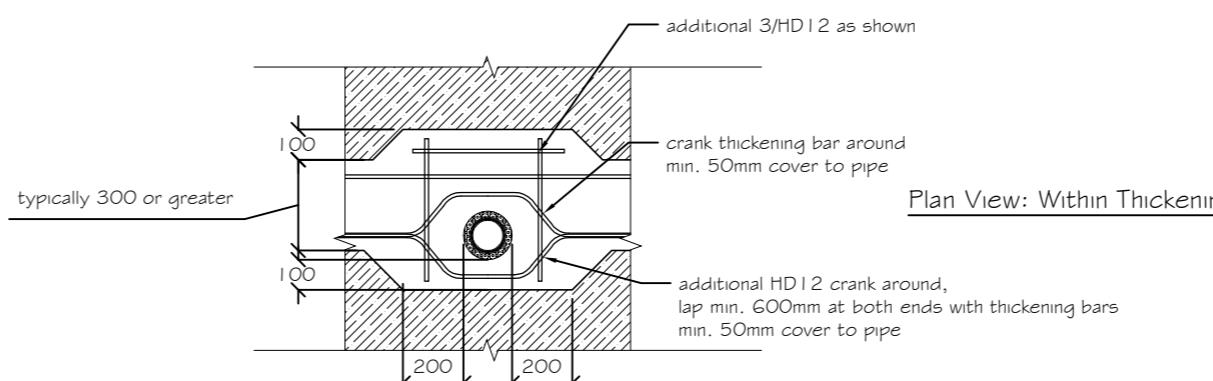
Plan View: Within Rib

Typical Detail Around Pipes

Raftfloor Internal Ribs



Plan View: At Thickening Edge



Plan View: Within Thickening

Typical Detail Around Pipes

Raftfloor Internal Thickenings

NOTES:

These details are applicable where plumbing/services are conveyed underground. Services are to be taken through polystyrene pods as much as possible. If this is unavoidable, it may be taken through ribs/thickenings, provided the details (or similar in principle) on this sheet are used.

All service trench backfill shall be properly compacted.

Member sizes and reinforcing shown are indicative only, details shown on raftslab plan & details shall take precedence over the details shown here.

Revision	Description	Date



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Job Title:
 Proposed Residence
 Lot 6 Riverend Development
 252 Guppy Road
 Taradale

Sheet Title:
 Typical Pipe Details

Prepared	RC	Drawn:	MH
Checked	NL	Checked:	NL
Scale:	1:25	Date:	09.08.2018
Job No:	# 78686	Rev No:	
			D1

GUPPY ROAD

Centre of Road

185

**Top of Kurb
40**

Datum

Belaire Fence - Solid posts and infill pool fence

Existing Fence

Half Share Fence

Solid posts and infill pool fence

PLEASE NOTE
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PLAN AREA
219.0 SQ M

Rooms and Dimensions:

- MASTER BEDROOM: 4 000 X 4 200
- BEDROOM 2: 3 150 X 3 300
- BEDROOM 3: 3 300 X 3 300
- BATHROOM: 2 110 X 3 300
- STUDY: 2 400 X 3 510
- DINING: 3 125 X 3 905
- KITCHEN: 2 885 X 4 715
- FAMILY: 5 325 X 4 255
- LOUNGE: 4 800 X 5 000
- ENTRY: 2 755 X 1 800
- GARAGE: 6 000 X 6 000

Construction Monitoring:

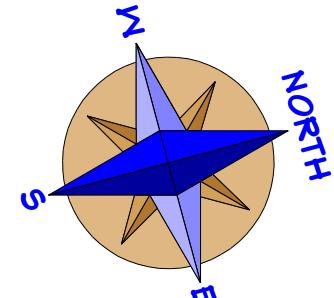
- FFL 500
- FFL 500

Boundary Labels:

- 140
- 310
- 140
- 5 150
- 5 030
- Gate
- Gate

Datum:

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**See attached
Consent Notice
for minimum floor
levels.**

G R Thorp
Snr. Services
Engineer
10/09/2018



Homeworx

New homes design and build

June and Andy Ranyard

Lot 6
Riverend Development
Guppy Road, Napier

Drawing Title: Site Plan

Drawing Title: SITE

Designed by Gordon Sans
LBP 117656

1

Room Dimensions to wall gib (approximate)

Date Drawing Printed:

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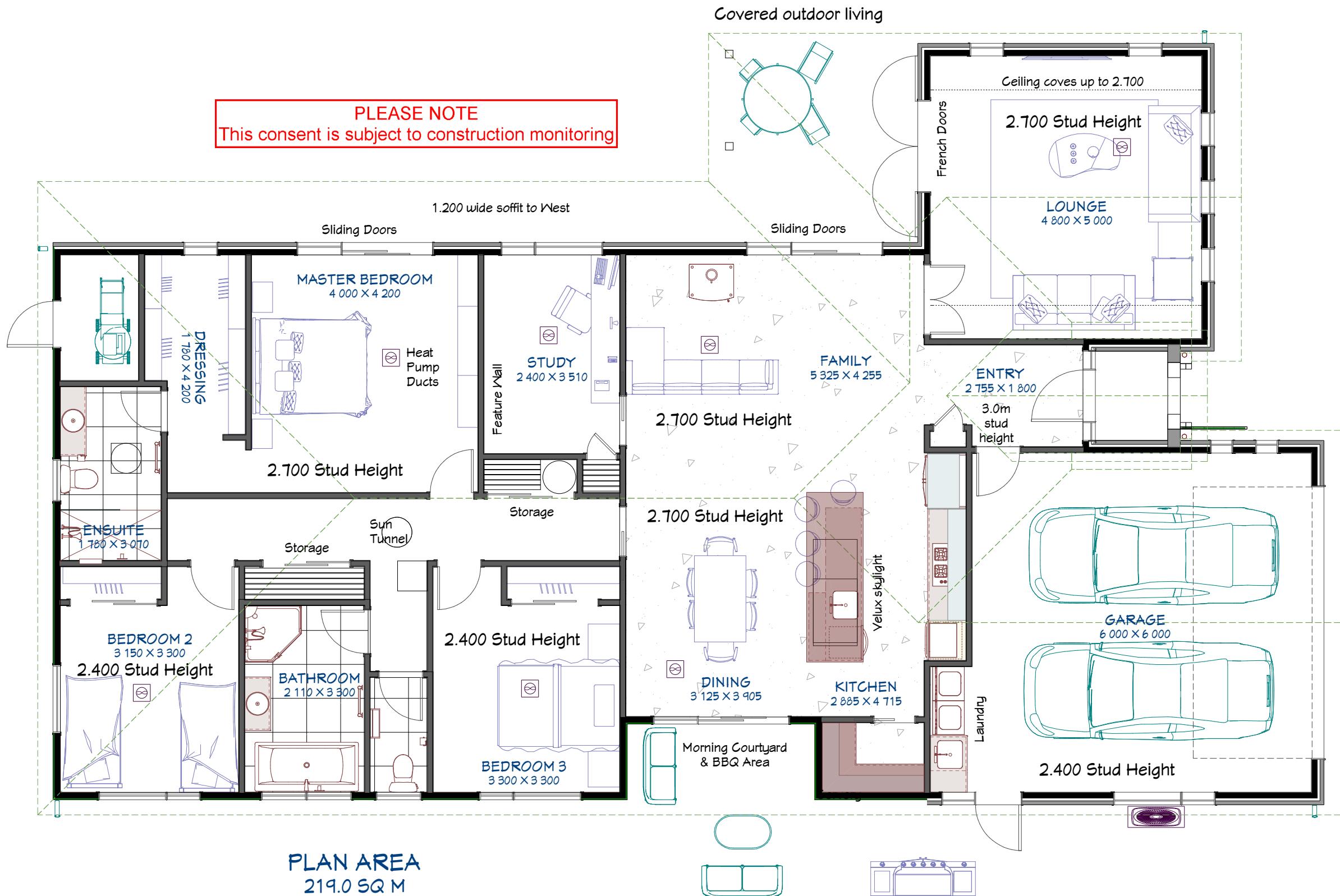
P L A N N I N G C H E C K

Planner: LMSlawson

Date Completed: 18/09/2018

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Napier City Council

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Homeworx
New homes design and build

June and Andy Ranyard

Lot 6
Riverend Development
Guppy Road, Napier

Drawing Title: Floor Plan
Drawing Scale: 1:75

Designed by Gordon Sanson
LBP 117656

Notes:

Date Drawing Printed:

Saturday, August 25, 2018

4

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TIMBER SCHEDULE (High Wind Zone)

All timber to comply with NZS3602 and grades to me SG8 unless otherwise stated.

TIMBER TREATMENTS

Bottom plate: 90 x 45 H3.2

Studs:

- 90 x 45 @ 600 ccs, dwangs @ 800 ccs, 2.400 stud height
- 90 x 45 @ 400 ccs, dwangs @ 800 ccs, 2.700 stud height

Top plate: Double 90 x 45 H1.2

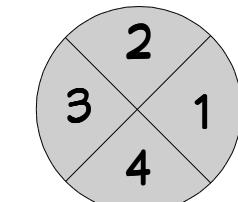
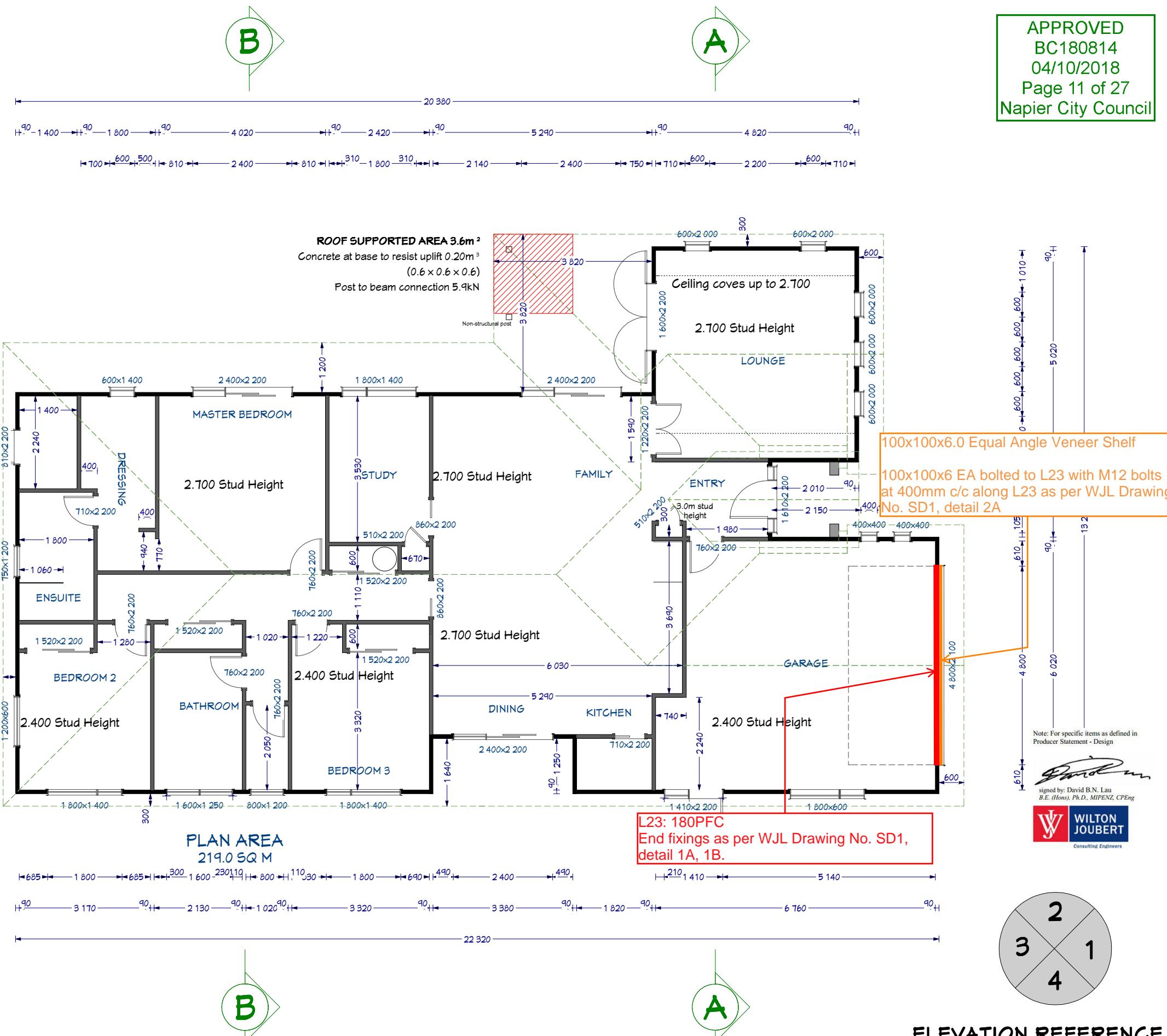
Trusses: Per truss design and layout @ 900 ccs, H1.2

Veranda post: Prolam 180 x 180 H5

Veranda beam: PLVL8: 300100 H3.2

NOTES:

1. All SED lintels shall be fixed with min. Lumberlok type F fixings unless otherwise specified.
2. These mark-ups are to be read in conjunction with the architectural drawings and all other related documents. Refer to architectural drawings for dimensions.
3. Contact the architect/engineer if any discrepancies are found.
4. Check all structural beams, components and dimensions prior to fabrication and installation.
5. Durability requirements as per NZS 3604



ELEVATION REFERENCE

STRUCTURAL STEELWORK

1. Unless otherwise stated on drawings, workmanship and materials shall be to the current edition of the following standards:

AS/NZS 1252 High-strength steel fastener assemblies for structural engineering - Bolts, nuts and washers

AS/NZS 1554 Structural steel welding - Welding of steel structures

AS/NZS 2980 Qualification of welders for fusion welding of steels

NZS 3404 Steel structures standard

2. Steel shall be mild steel of approved origin and conforming to NZS 3404.

3. Unless otherwise stated on drawings, steel grades shall be no less than the following:

Hot rolled sections (UB, UC, PFC, EA)	G300+
Hollow sections (SHS, RHS, CHS)	G350LO
Flats and plates	G300

4. All welded connections shall be metal arc welded.

5. All welding shall be Class SP, undertaken by welders currently qualified in the method and position in use.

6. All welding to be supervised by qualified welding supervisor.

7. Site welding shall be carried out only where absolutely necessary and shall be undertaken by arc welding only, subject to 100% visual inspection by welding supervisor.

8. Bolts shall be G4.6/S, unless noted otherwise. At least one washer shall be provided under the head and nut of each bolt assembly.

9. Holes for bolts shall be drilled or punched and not gas cut.

10. Edge distances shall be 1.75D from the centre of the bolt to the cut edge of the steel unless shown otherwise on drawings, where D is the nominal bolt diameter. The minimum distance between adjacent bolts shall be as indicated on the drawings, 2.5D if not shown

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NOTES:
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2. Contact the architect/engineer if any discrepancies are found.

3. Unless otherwise noted, concrete shall be 20MPa minimum or 25MPa minimum within 'exposure zone D' (if in doubt, confirm with local BCA)

4. 'FWAR' in these connection details refers to Fillet Weld All Round.

5. Check all structural beams' components and dimensions prior to fabrication and installation.

6. All steel beams should be packed with SG8 timber and bolted with M12 bolts at min. 600crs.

Revision	Description	Date

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Northland: 09 945 4188
Auckland-Waikato: 09 527 0196
Canterbury: 021 824 063
Southern Lakes: 03 443 6209
www.wiltonjoubert.co.nz

Job Title:
Proposed Residence:
Lot 6
252 Guppy Road
Taradale

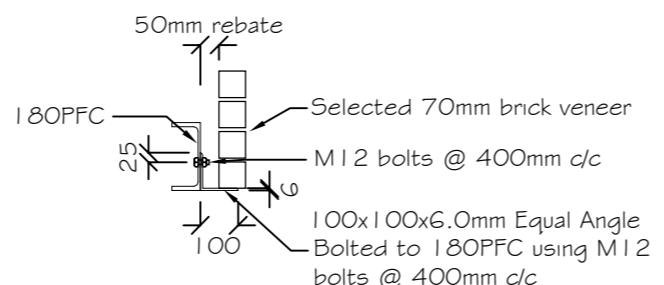
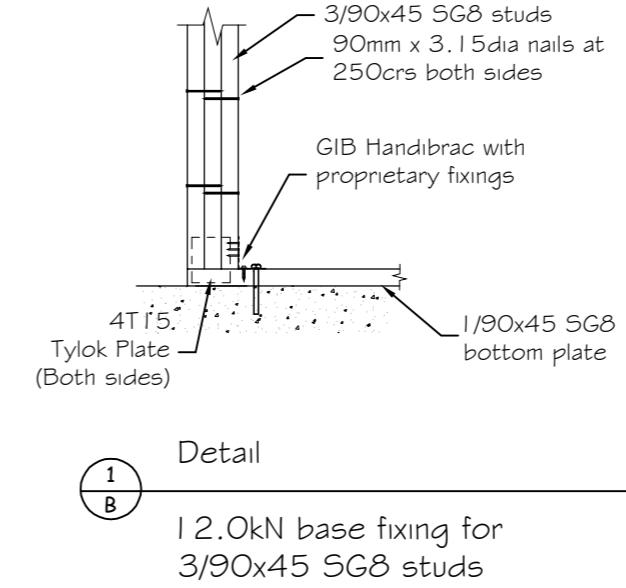
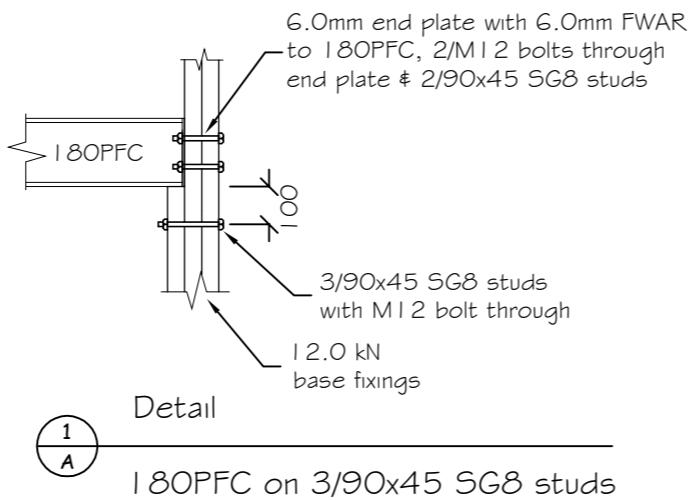
Sheet Title:
Connections

Designed:	RC	Drawn:	RC
Checked:	NL	Checked:	DL
Supervised:	1:20	Date:	02-10-2018
Job No:	Job # 78686rev01		
Review No:	SD0		

NOTE:

1. Check all structural beams, components and dimensions prior to fabrication and installation.
2. Ensure truss and frame manufacturers understand what connections are shown. If a connection does not work practically, contact Wilton Joubert prior to manufacturer.
3. All structural steel & connections' coating / durability requirements shall be as per NZS3604:2011 or proprietary coatings (solutions) to comply with AS/NZS2312.

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BC180814
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Napier City Council

- NOTES:**
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 2. Contact the architect/engineer if any discrepancies are found.
 3. Unless otherwise noted, concrete shall be 20MPa minimum or 25MPa minimum within 'exposure zone D' (if in doubt, confirm with local BCA)
 4. 'FWAR' in these connection details refers to Fillet Weld All Round.
 5. Check all structural beams' components and dimensions prior to fabrication and installation.
 6. All steel beams should be packed with SG8 timber and bolted with M12 bolts at min. 600crs.

Revision	Description	Date



Northland: 09 945 4188
Auckland-Waikato: 09 527 0196
Canterbury: 021 824 063
Southern Lakes: 03 443 6209
www.wiltonjoubert.co.nz

Job Title:
Proposed Residence:
Lot 6
252 Guppy Road
Taradale

Sheet Title:
Connections

Designed By:	RC	Drawn: By:	RC
Checked By:	NL	Checked By:	DL
Supervised By:	I:20	Date:	02-10-2018
Job #	78686rev01	Page No:	SD1
Review No:			



ELEVATION A

ELEVATION MATRIX		ALL ELEVATIONS
Wind Zone	High	1
Number of Storeys	Single-Low	0
Roof/Wall Intersection	Medium	1
Eaves Width	101 - 450	2
Envelope Complexity	Low	0
Deck Design	None	0
Total		4

PLANNING CHECK

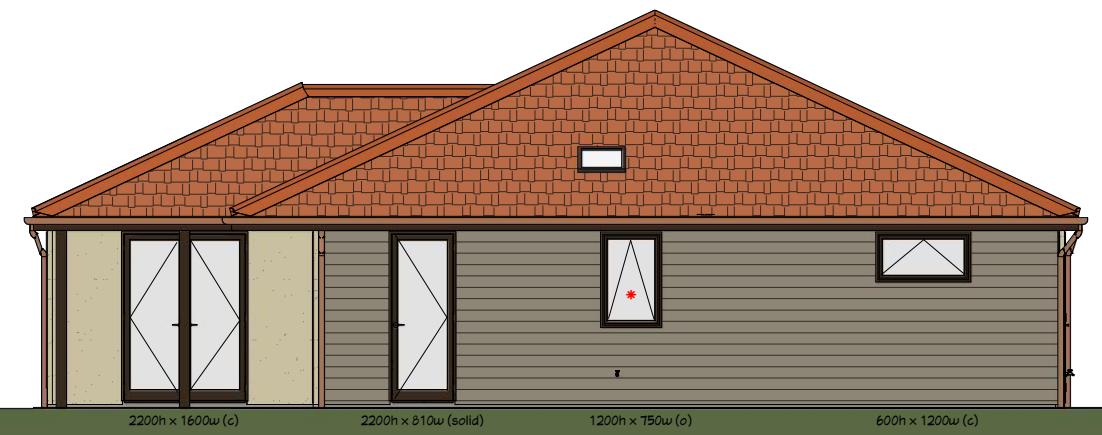
Planner: LNUlawson

Date Completed: 18/09/2018



ELEVATION B

PLEASE NOTE
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ELEVATION C

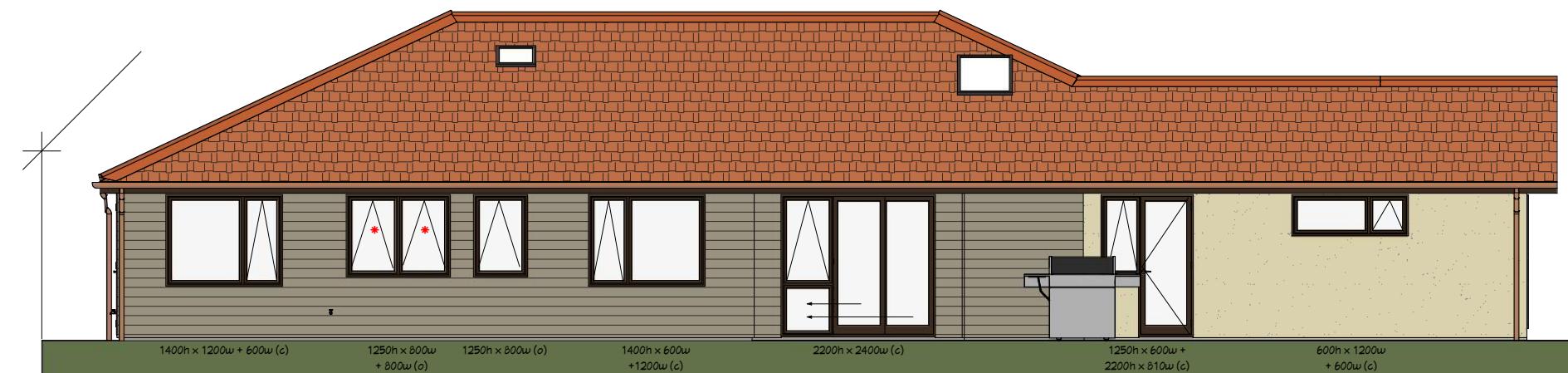
Gerard Milano steel tile roof with barrel trim and Chip Coating

Colorsteel gutter on colorsteel fascia to colorsteel downpipes

Paint finish flush jointed brick cladding with feature 180mm Linea Weatherboard

Double glazed powder coated aluminium joinery

Reinforced and insulated concrete floor



ELEVATION D

c = clear glaze
o = stippolite obscure
* = safety glass



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Lot 6
Riverend Development
Guppy Road, Napier

Drawing Title: Elevations
Drawing Scale: 1:100

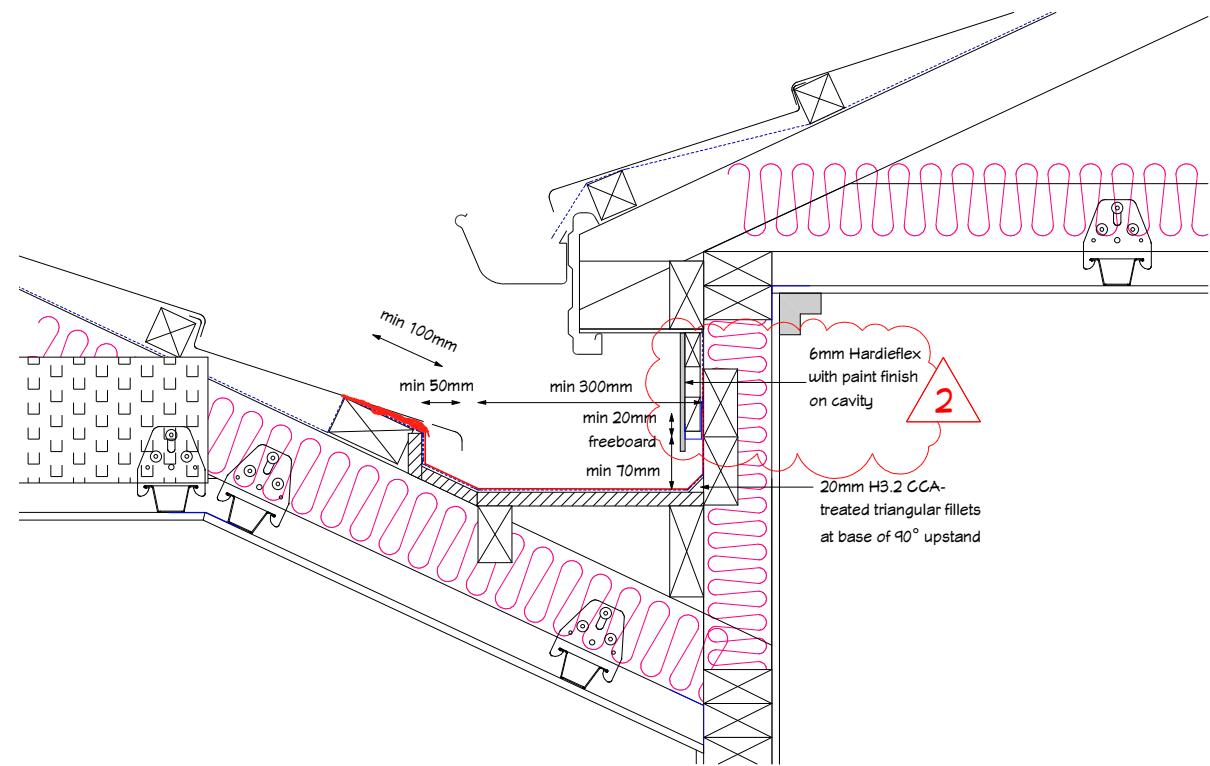
Designed by Gordon Sanson
LBP 117656

Notes:
Windows to NZS4211:2008; Glazing to NZS4223:1999
All exterior joinery (including garage) to be standard IGU double glazing
Safety glazing to comply with NZS4229:1999 part 3 as modified by NZBC acceptable solution F2/AS1

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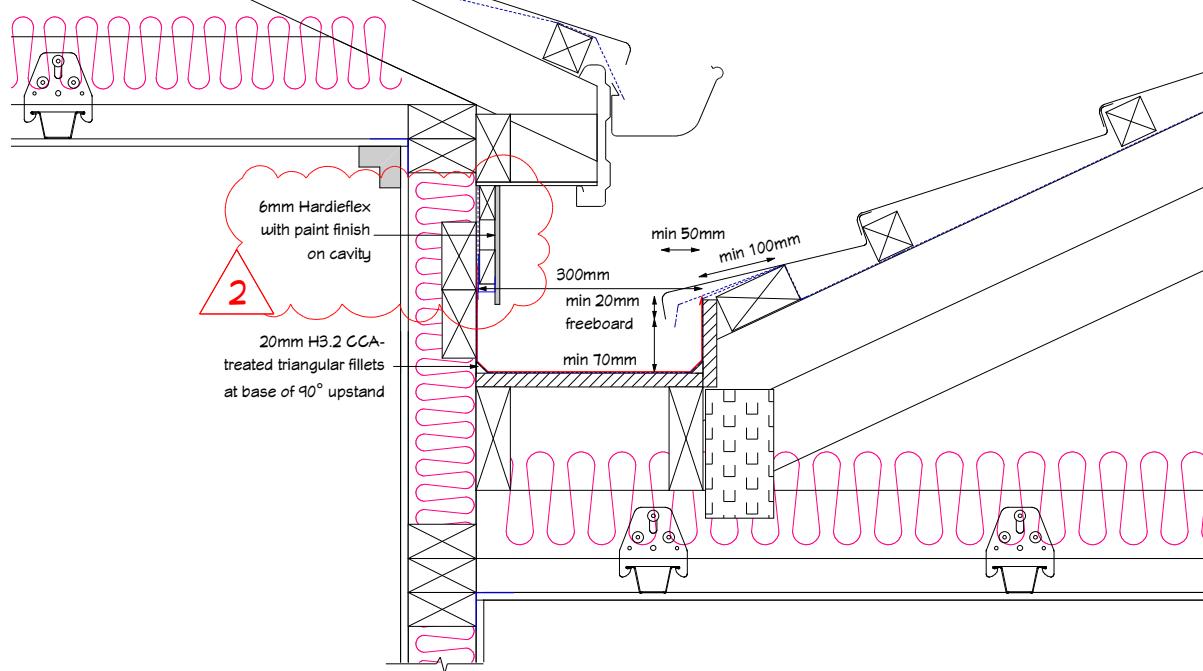


Internal Gutter Detail 1
Scale 1:10

NOTE: 6mm HARDIEFLEX TO BE INSTALLED AS PER SECTION 9.1 OF E2/AS1

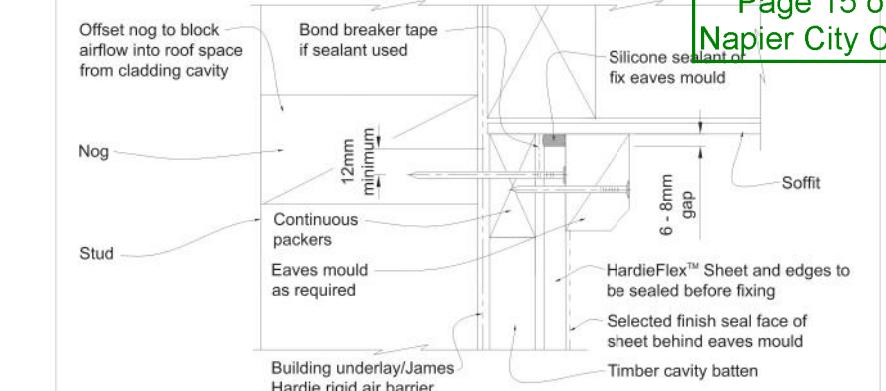
2

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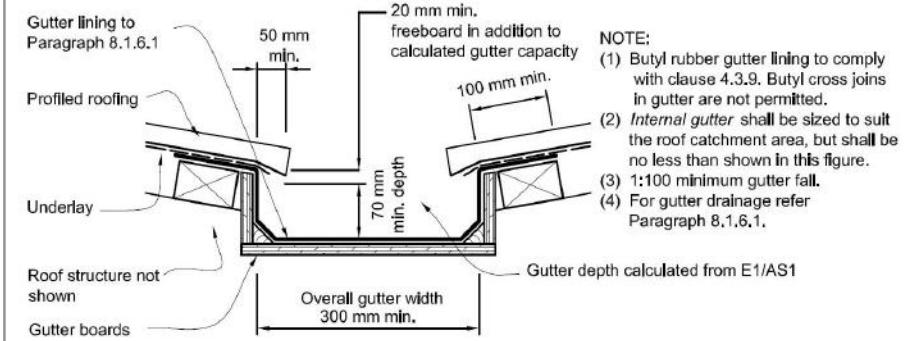
Internal Gutter Detail 2
Scale 1:10

Figure 32: Cavity soffit detail



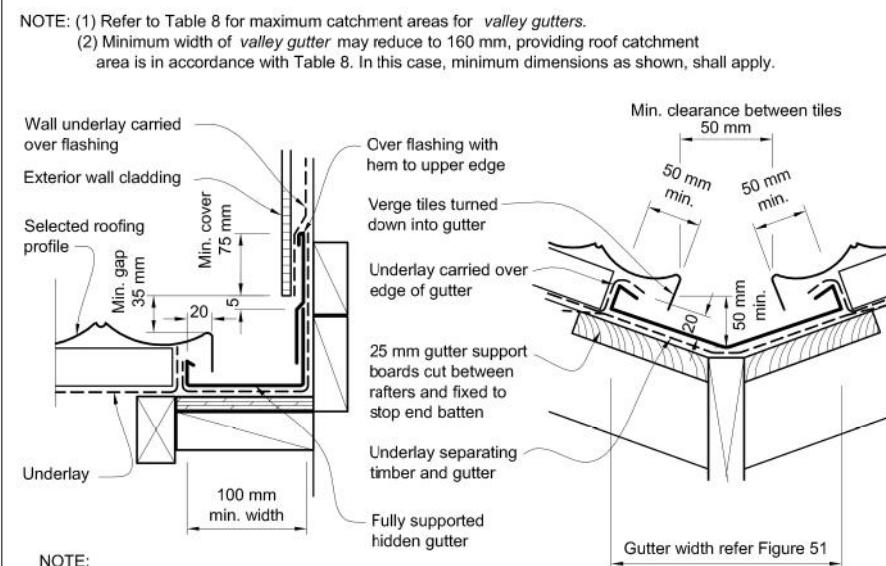
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Figure 52: Internal gutter for profiled metal
Paragraphs 4.3, 4.5, 8.1.6.1 and 8.4.16



- (1) Butyl rubber gutter lining to comply with clause 4.3.9. Butyl cross joins in gutter are not permitted.
- (2) Internal gutter shall be sized to suit the roof catchment area, but shall be no less than shown in this figure.
- (3) 1:100 minimum gutter fall.
- (4) For gutter drainage refer Paragraph 8.1.6.1.

Figure 37: Hidden and valley gutter flashings for metal tile
Paragraphs 8.1.6.2, 8.3.3, 8.3.8, Figure 51



NOTE:
(1) Refer to Table 8 for maximum catchment areas for valley gutters.
(2) Minimum width of valley gutter may reduce to 160 mm, providing roof catchment area is in accordance with Table 8. In this case, minimum dimensions as shown, shall apply.

(a) PARALLEL HIDDEN GUTTER

(b) VALLEY GUTTER



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Guppy Road, Napier

Drawing Title: Entry Details
Drawing Scale: As shown

Designed by Gordon Sanson
LBP 117656

Notes:
REV 1: SHEET & DETAILS ADDED
REV 2: DETAILS AMENDED
HARDIES SOFFIT DETAIL ADDED

Date Drawing Printed:
Monday, October 1, 2018

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ROOF: Gerard Milano texture tile roof over tile battens on self supporting building underlay on trusses per truss design and layout. (Refer to Gerard Technical Specifications for roof flashing and junction details.)

EAVES: 135 Continuous Colorsteel gutter on colorsteel fascia to Colocote Magnaflow down pipes, 4.5mm Hardiflex soffit lining.

CEILINGS: 10mm gib ultraline ceilings on 35mm Rondo battens @ max 450 crs fixed to truss bottom chord and nogging with Rondo clips. R3.6 batt ceiling insulation. Square stopped scotia to lounge and garage. 55mm Gib Alto house. 30mm bevel MDF scotia to wardrobes and cupboards.

WINDOWS: Powder coated aluminium joinery, double glazed with glass type per elevations. 18mm pine reveals with 60mm bevel edge architraves.

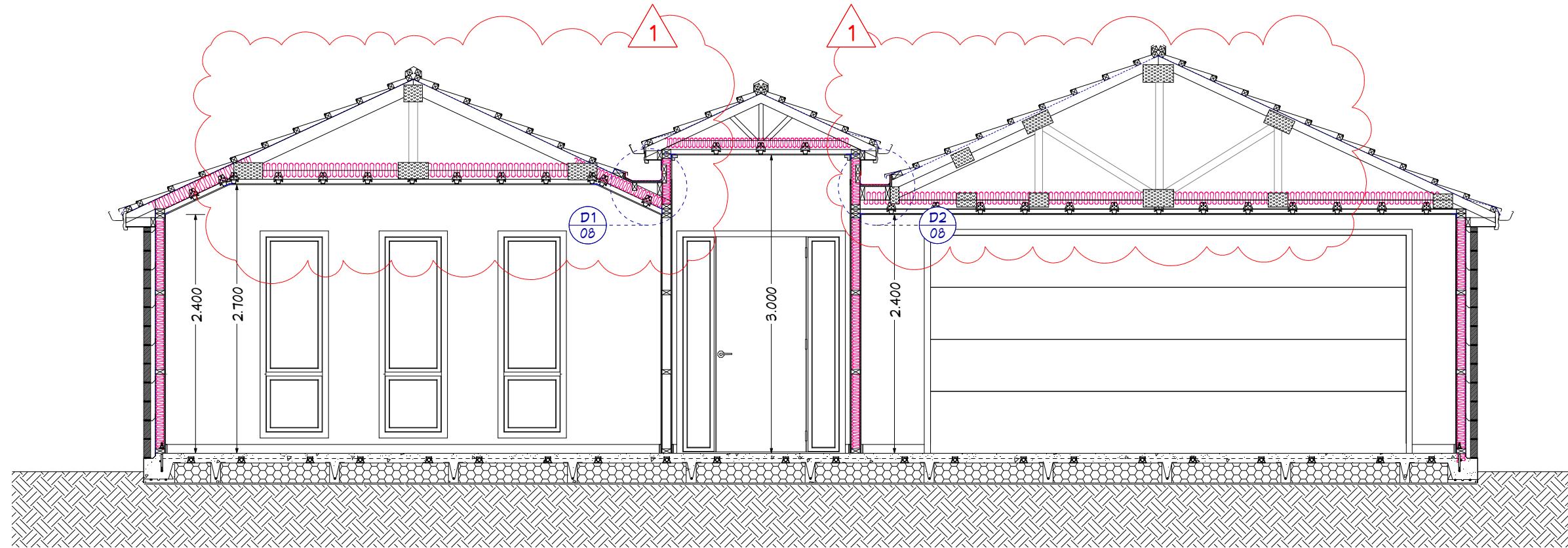
WALLS: 90 x 45 H1.2 Studs at 600 crs max external, 600 crs internal non-load bearing. Dwangs 800 crs. 90 x 45 H1.2 Soffit nogg. 10mm Gib interior linings stopped to level 4 and paint finish. 85mm bevel edge skirting. R2.6 Ultra wall batts

CLADDING: Dulux Weathershield paint over Maxi Render Brick 70 cladding with feature 180mm Linea Weatherboard classic cladding, over building wrap.

DOORS: Hollow core interior doors with 18mm pine reveals and 60mm bevel edge architraves

FLOOR: Engineered concrete floor slab as per engineers design.

NOTE: Refer to engineer drawings for full extent of engineered floor.



CROSS SECTION A - A

Scale 1:50

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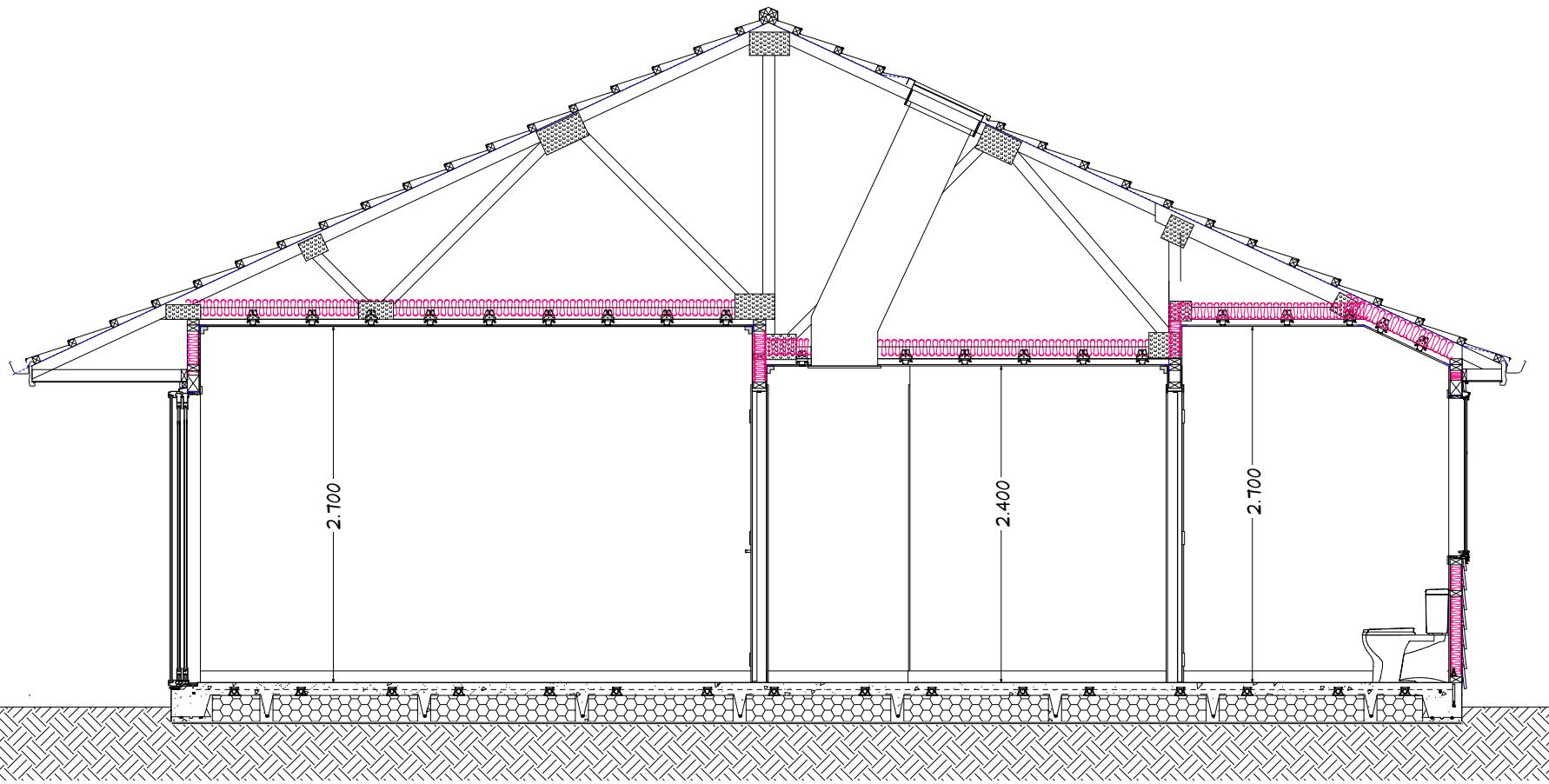
04/10/2018
Page 17 of 27
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10mm Gib interior linings stopped to level 4
and paint finish. 85mm bevel edge skirting.
R2.6 Ultra wall batts

CLADDING:Dulux Weathershield paint
over Maxi Render Brick 70 cladding with
feature 180mm Linea Weatherboard
classic cladding, over building wrap.

DOORS: Hollow core interior doors with
18mm pine reveals and 60mm bevel edge
architraves

FLOOR: Engineered concrete floor slab as
per engineers design.

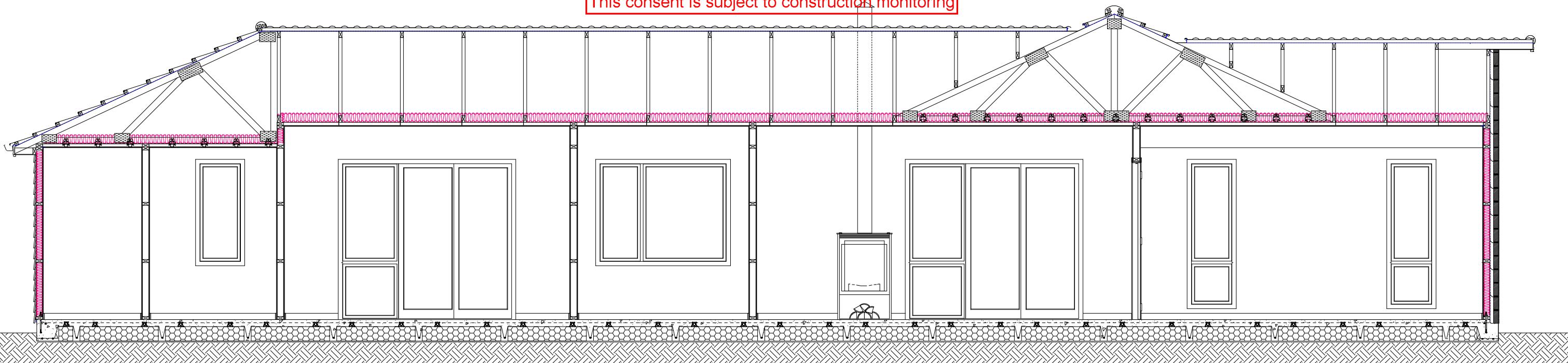
NOTE: Refer to engineer drawings for
full extent of engineered floor.



CROSS SECTION B - B

Scale 1:50

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CROSS SECTION C - C

Scale 1:50



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Guppy Road, Napier

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Drawing Scale:

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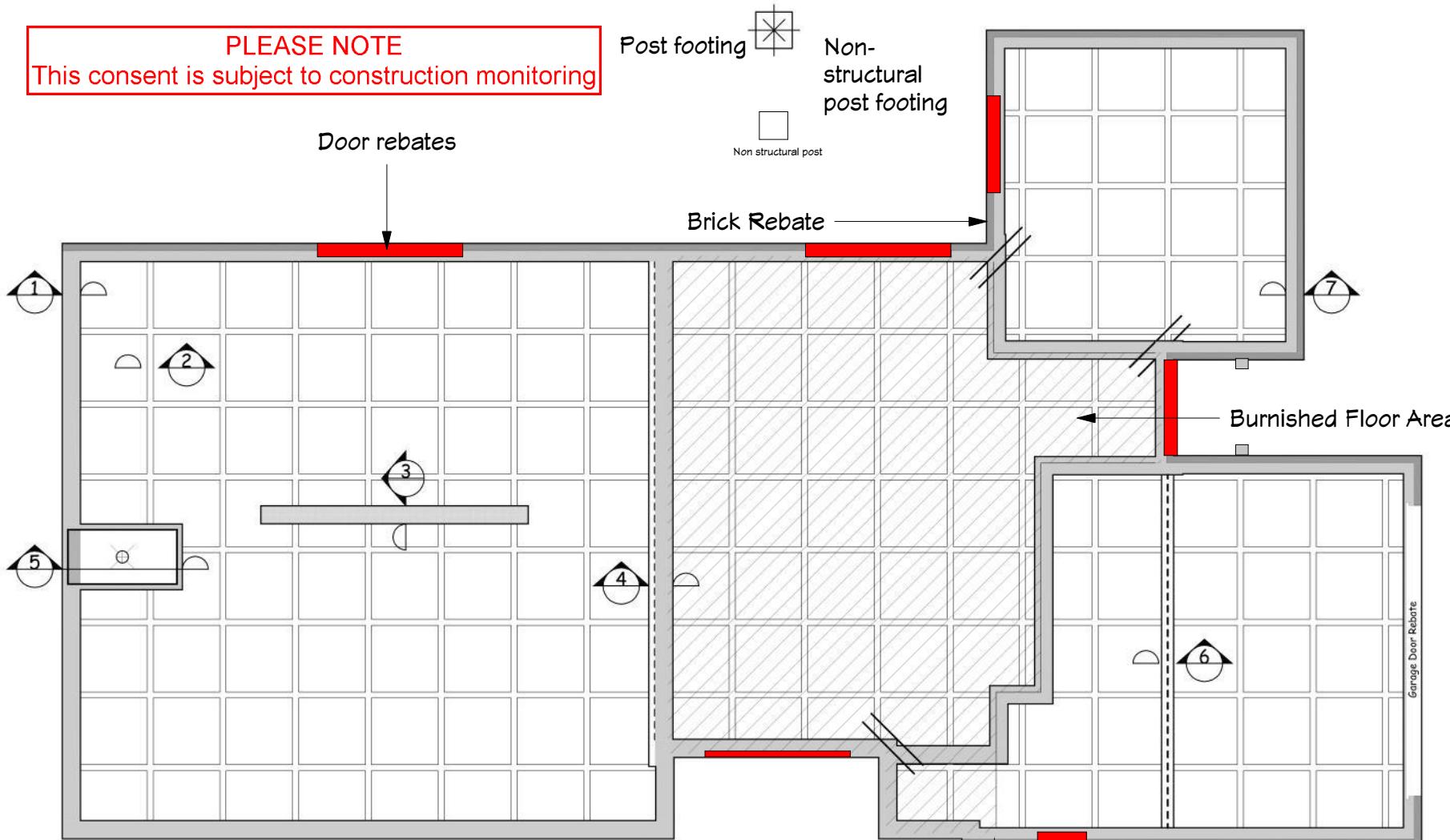
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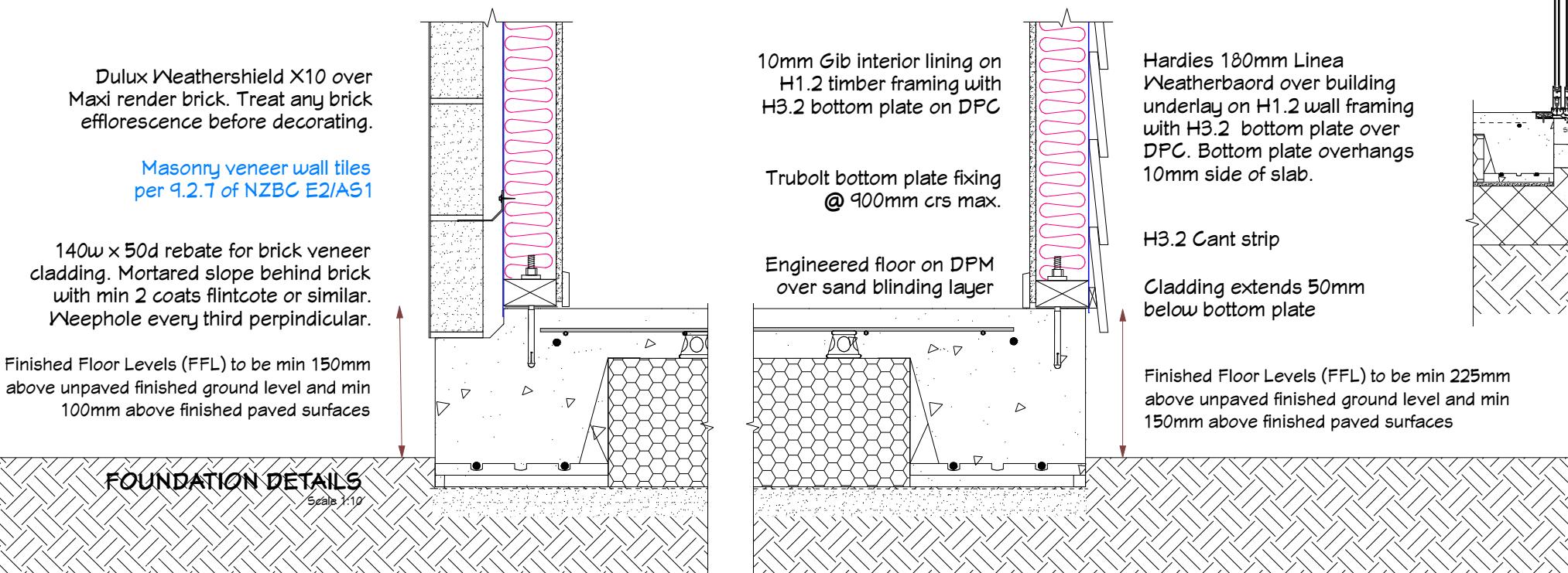
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FLOOR PLAN

Scale 1:100



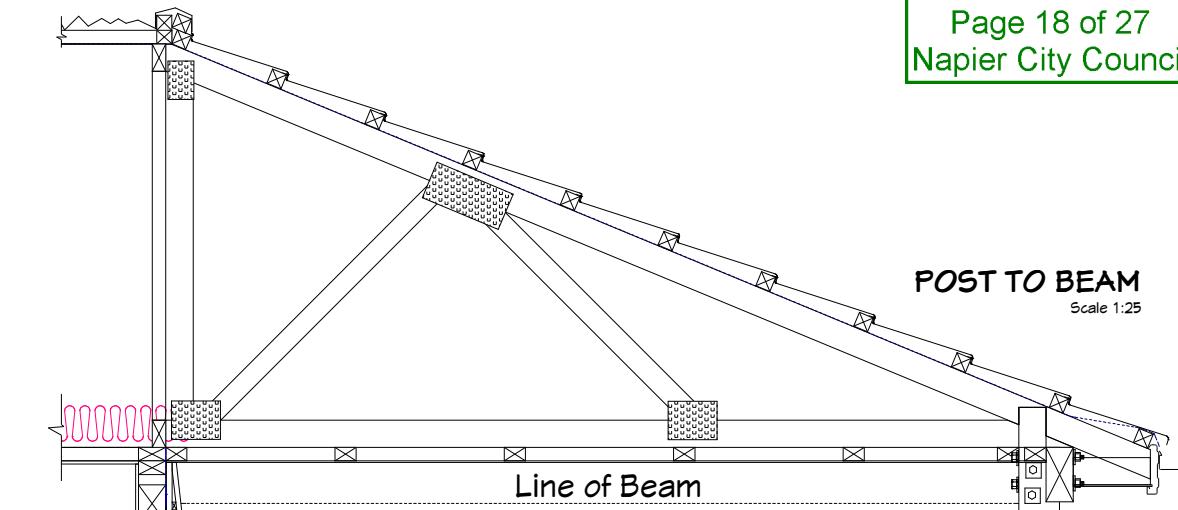
FOUNDATION DETAILS

Scale 1:10



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Prolam PLVL8H3-200100 beams fixed to Prolam PLP8H5-150-135x135 visual post with 2/M12 bolts each beam. Post notched 45mm for beam.



POST FOOTING

Scale 1:25

NOTE: Refer Engineer's detail for full extent of floor design.

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Guppy Road, Napier

Drawing Title:
Drawing Scale:

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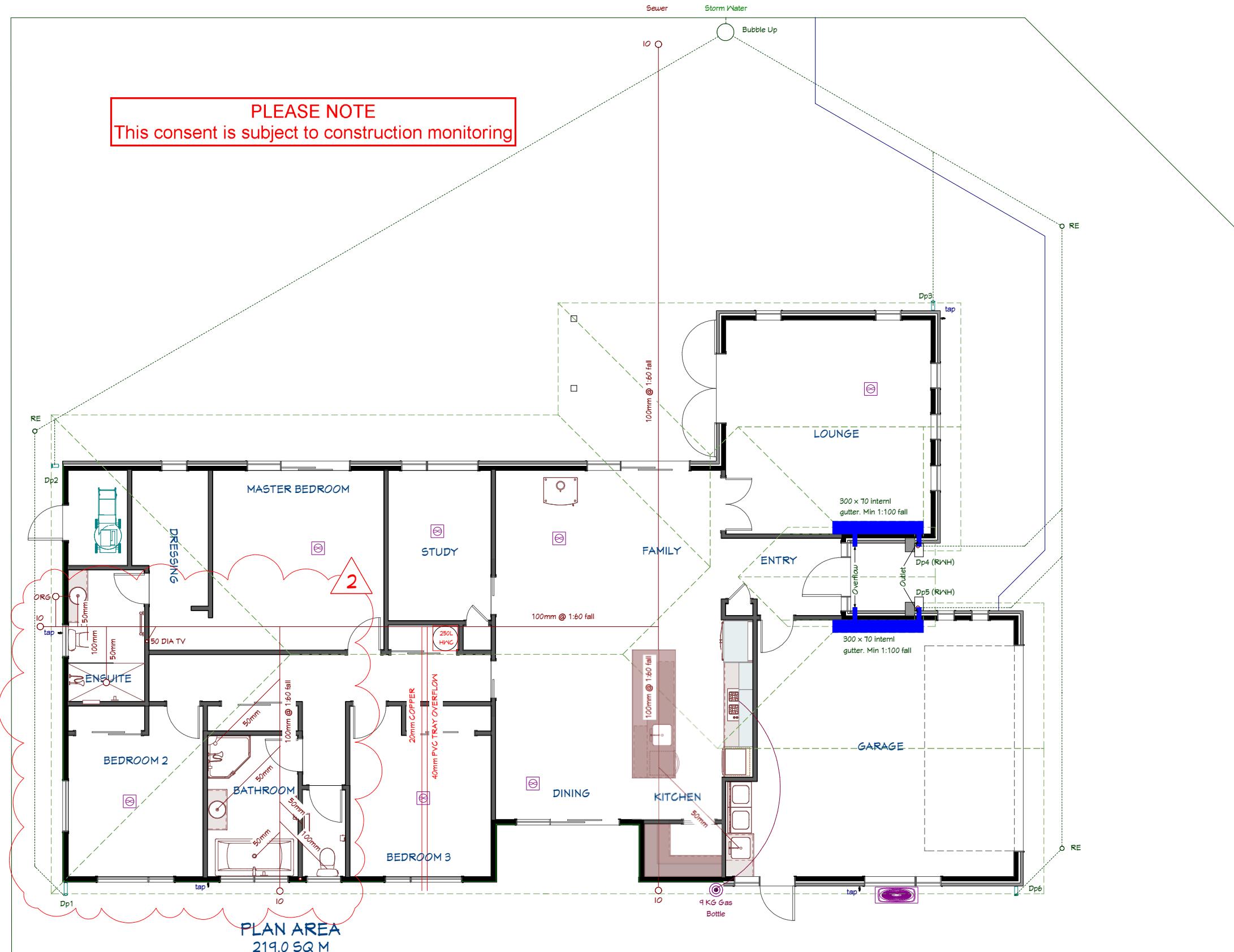
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All UPVC
pipes under
the slab to be
100mm or
65mm

FOULWATER DESIGN
TO AS/NZS3500.2

ENSUITE
WC pan: 6 fixture units
Shower: 2 fixture units
Basin: 1 fixture unit
WC
WC Pan: 6 fixture units
Basin: 1 fixture unit
MAIN BATHROOM
Bath: 4 fixture units
Basin: 1 fixture unit
Shower: 2 fixture units
LAUNDRY
Tub: 5 fixture units
Washing Machine: 5 fixture units
KITCHEN
Sink & waste: 3 fixture units
Dishwasher: 3 fixture units

DRAINAGE
Total 39 fixture units
= 100mm @ 1:60 fall

Water pipes to be polybutylene
Mains Supply 25mm black & blue
Hold & Cold 20mm main feed
with 15mm branch feed

STORMWATER DESIGN TO NZBC E1/AS1

dp1 catchment 65 m²
dp2 catchment 77 m²

dp4 catchment 20 m²
dp5 catchment 34 m²
dp6 catchment 46 m²
(25 mm downscaling via ratio to larger area)

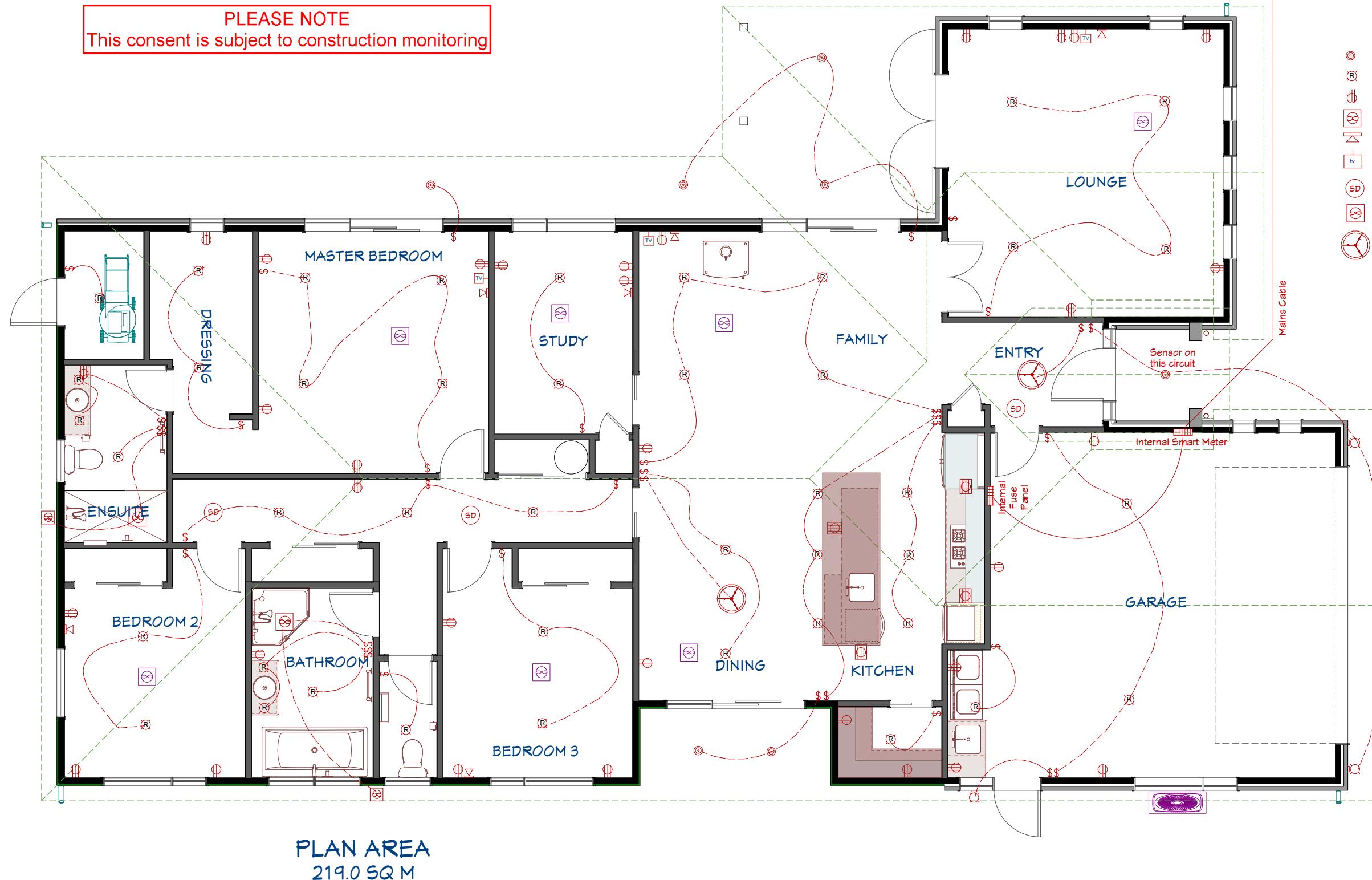
MODIFIED CATCHMENT AREA
(dp's 1-3)
 $0.01 \times (\text{roof area } 175 \text{ m}^2) \times \text{rainfall } 85\text{mm} = 149$
Therefore min. 100m pipe @ 1:120 fall

$$(dp's \ 4-6) \\ 0.01 \times (\text{roof area } 100 \text{ m}^2) \times \text{rainfall } 85\text{mm} = 85 \\ \text{Therefore min } 100\text{m pipe @ 1:120 fall}$$

(combined)
 $0.01 \times (\text{roof area } 275 \text{ m}^2) \times \text{rainfall } 85\text{mm} = 234$
 Therefore min 150m pipe @ 1:200 fall
 (2 x 100mm storm water connections)

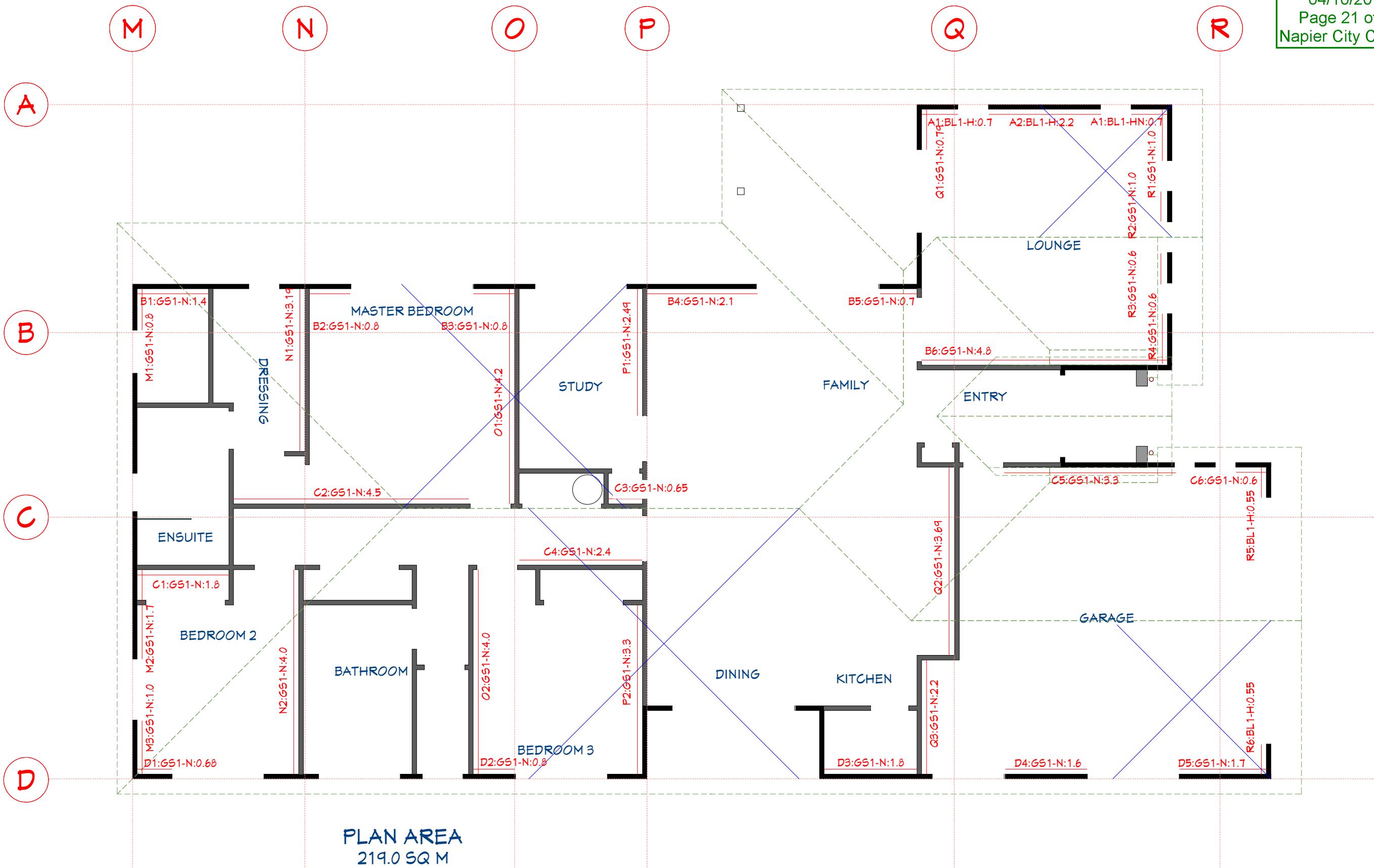


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Guppy Road, Napier

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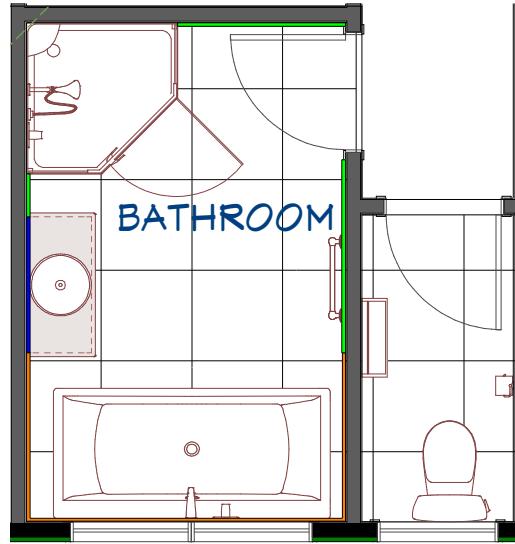
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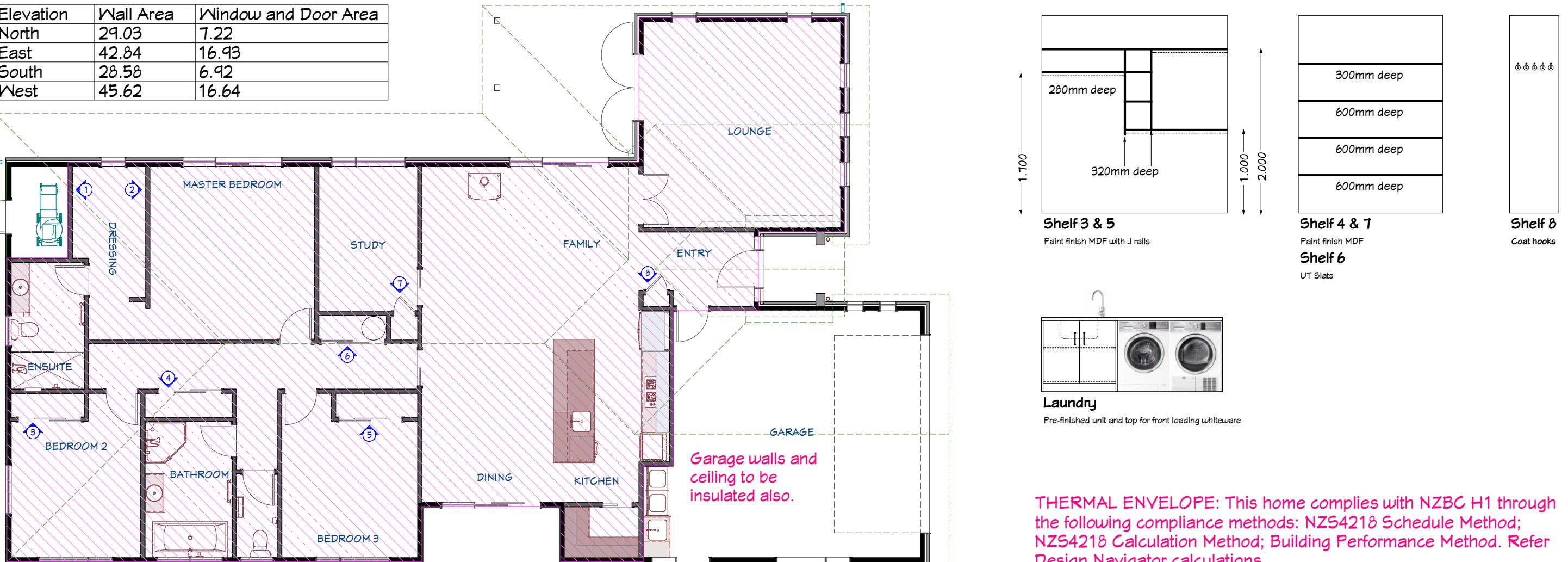
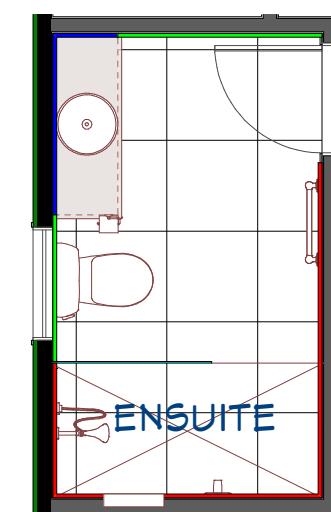
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Bathroom Plans

Scale 1:50

Elevation	Wall Area	Window and Door Area
North	29.03	7.22
East	42.84	16.93
South	28.58	6.92
West	45.62	16.64



Thermal Envelope Area

Scale 1:100



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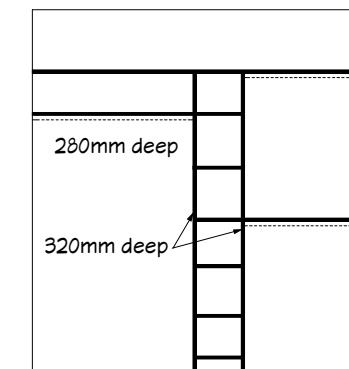
Lot 6
Riverend Development
Guppy Road, Napier

Drawing Title: Finishing Plan
Drawing Scale: 1:100

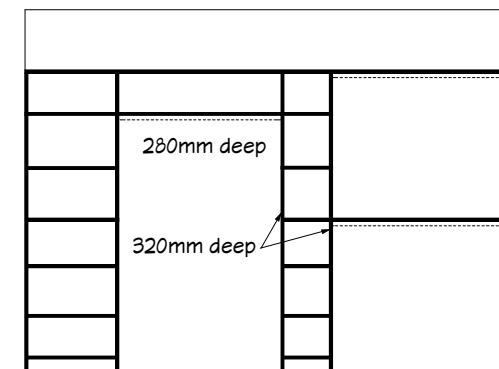
Designed by Gordon Sanson
LBP 117656

SHELVING PLAN

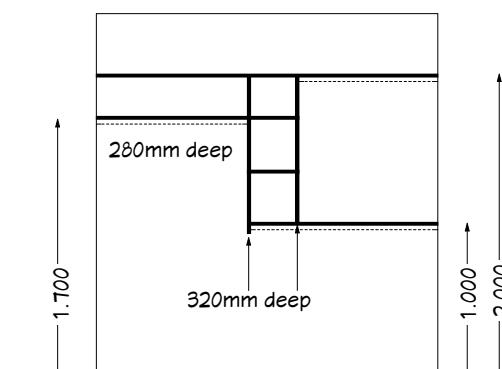
Scale 1:50



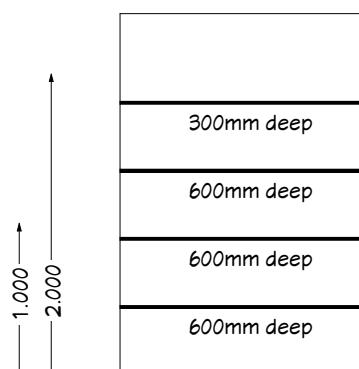
Shelf 1
Paint finish MDF with J rails



Shelf 2
Paint finish MDF with J rails



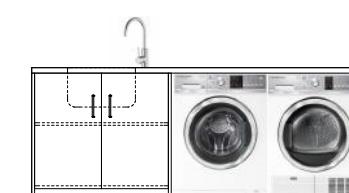
Shelf 3 & 5
Paint finish MDF with J rails



Shelf 4 & 7
Paint finish MDF
Shelf 6
UT Slats



Shelf 8
Coat hooks



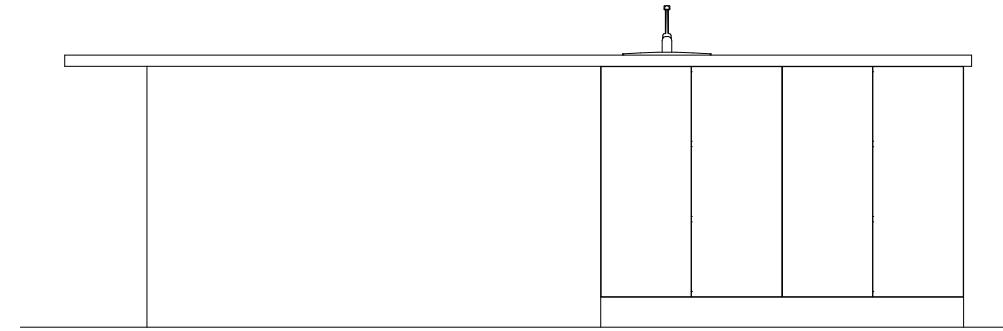
Laundry
Pre-finished unit and top for front loading whiteware

THERMAL ENVELOPE: This home complies with NZBC H1 through the following compliance methods: NZS4218 Schedule Method; NZS4218 Calculation Method; Building Performance Method. Refer Design Navigator calculations.

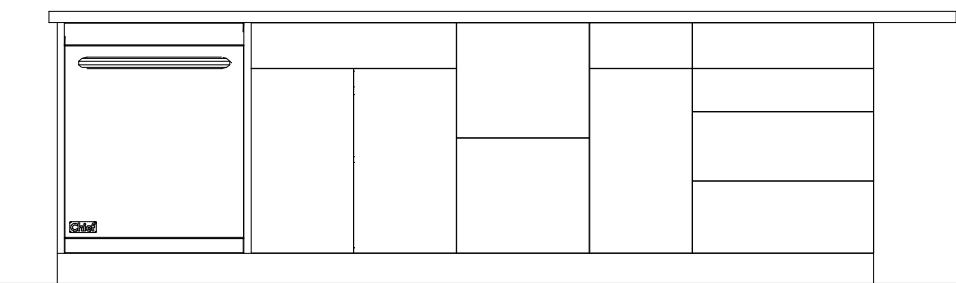
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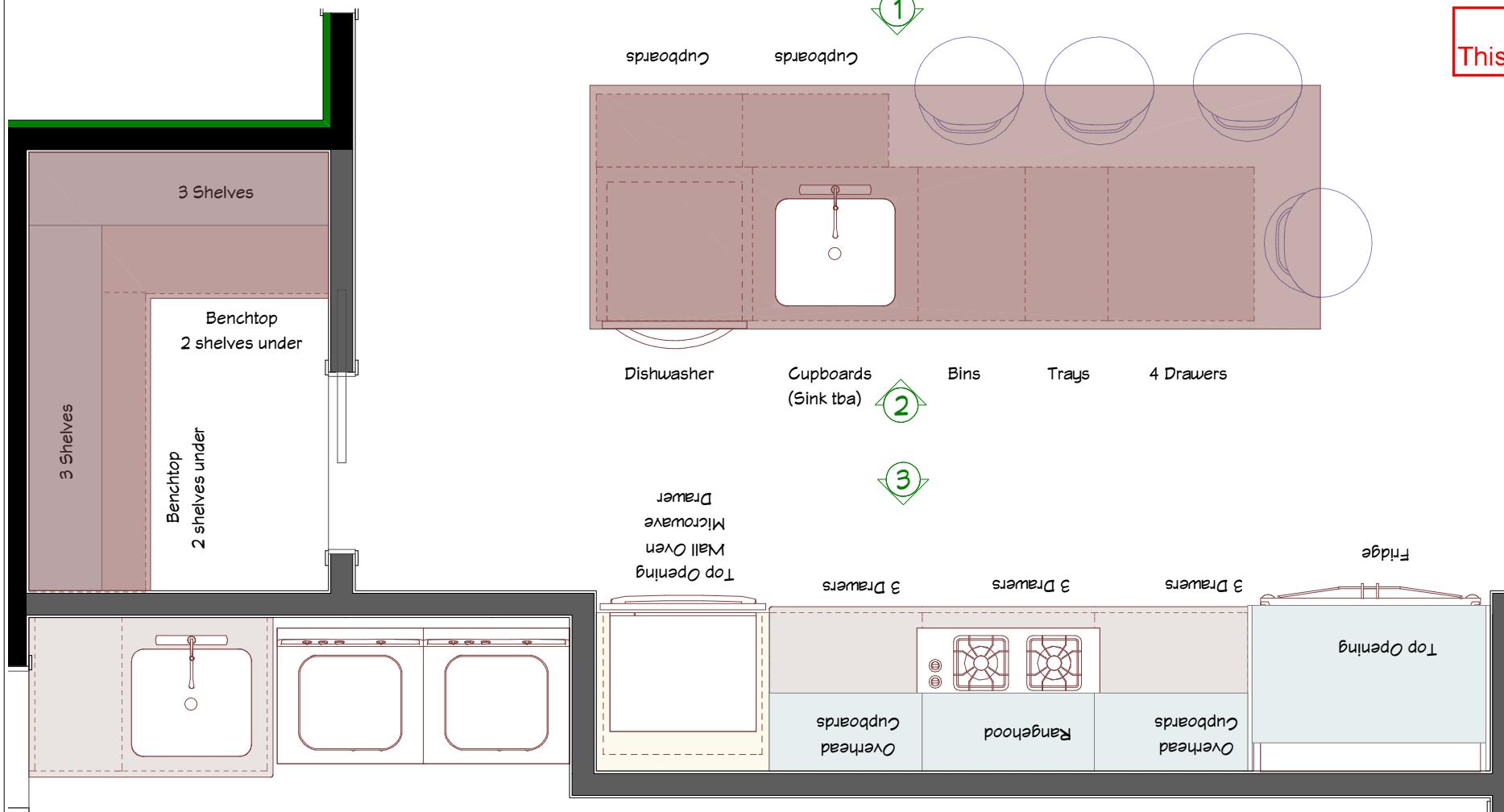
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Kitchen Elevation 1

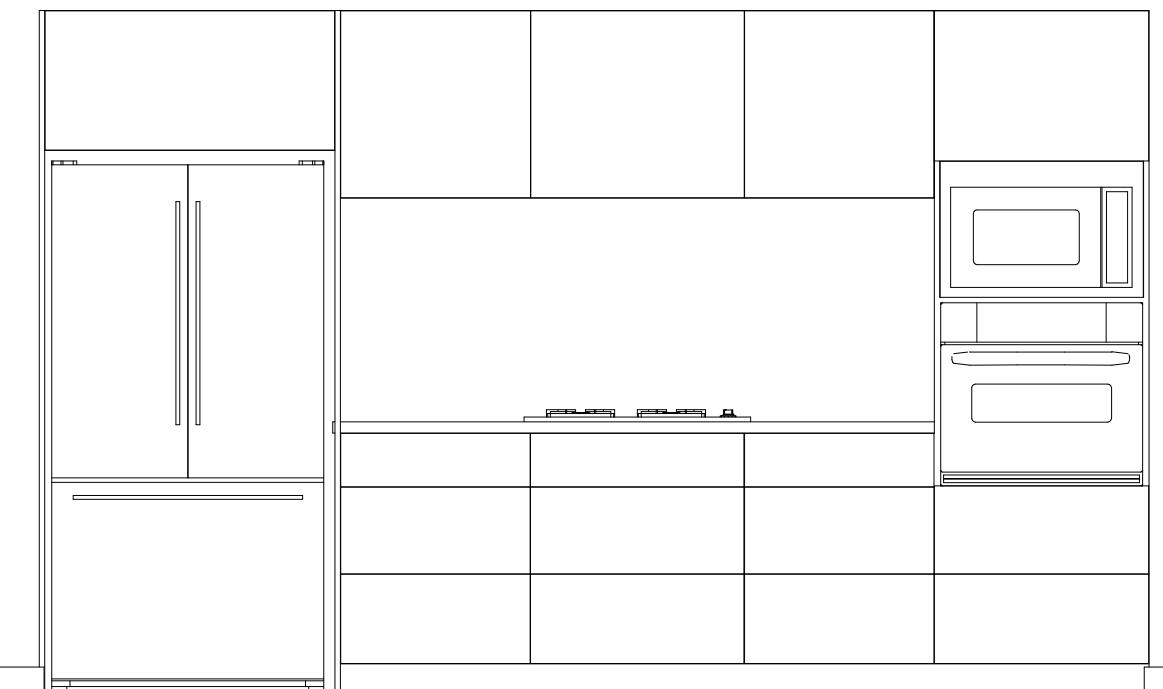


Kitchen Elevation 2

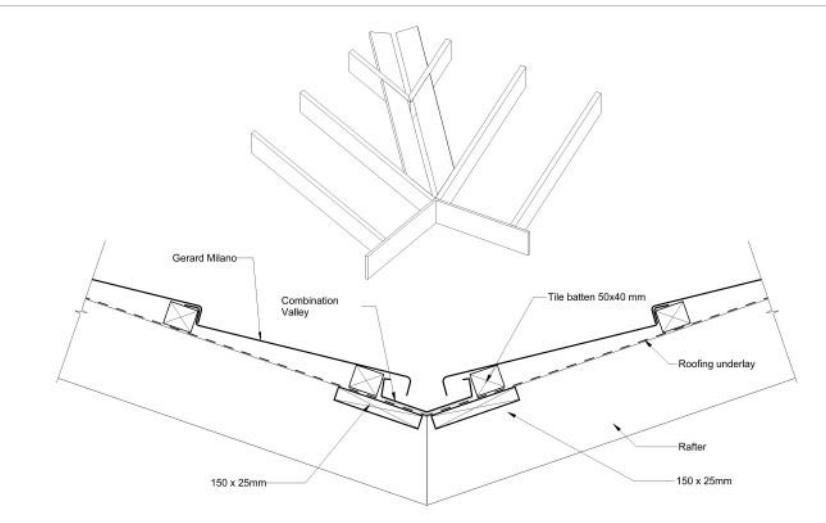


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Kitchen Elevation 3



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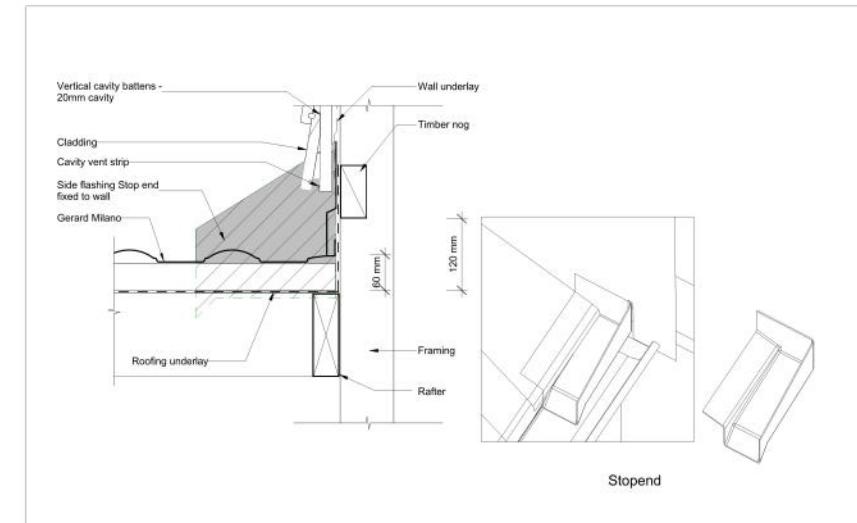


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Gerard Milano
Valley - Combination Valley

GERARD

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Scale: 1:5
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Phone 0800 244 737
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Quick Code: GR_MV_282

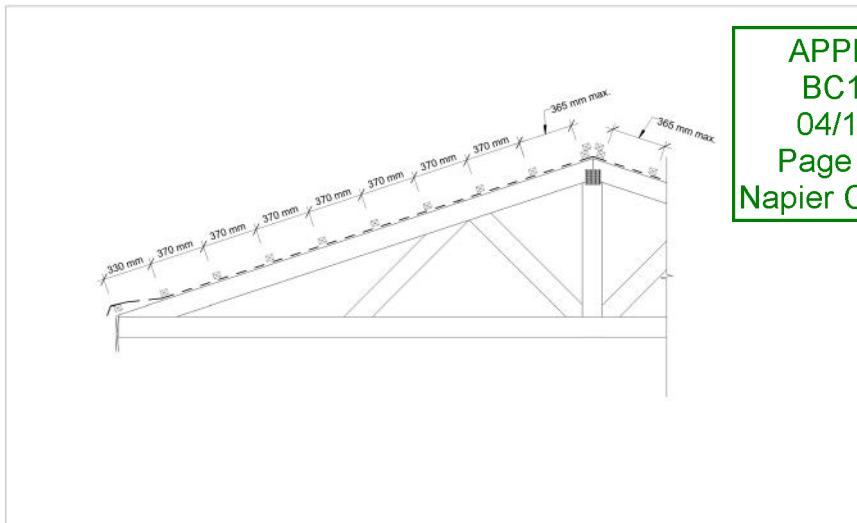


Roof Tiles 2017
Gerard Milano
Wall Parallel - Stop End Wall

GERARD

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Quick Code: GR_MW_360

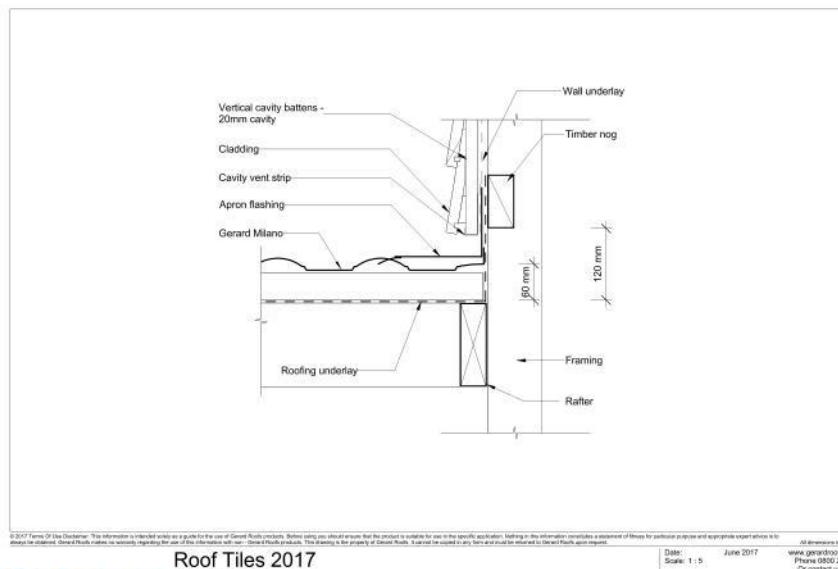


Roof Tiles 2017
Gerard Milano
Rafter Length

GERARD

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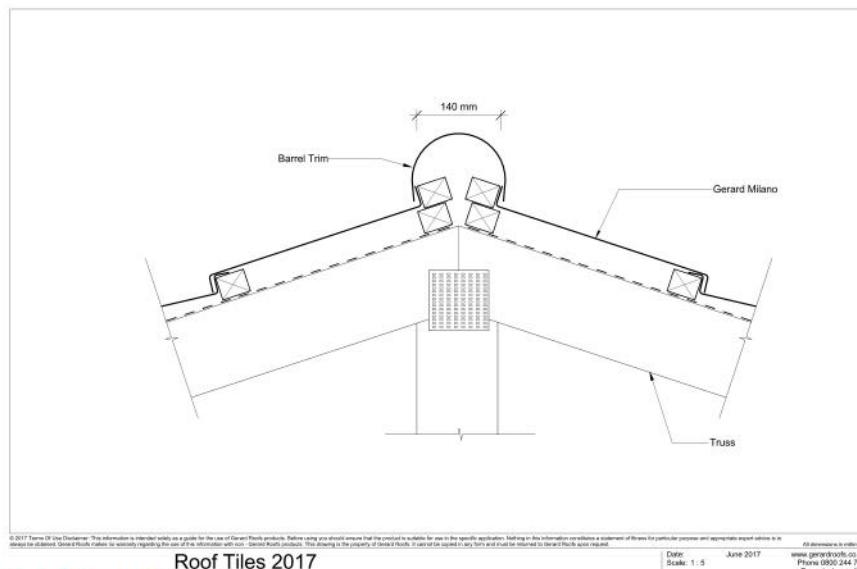


Roof Tiles 2017
Gerard Milano
Wall Parallel - Apron Flashing

GERARD

Date: June 2017
Scale: 1:5
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Phone 0800 244 737
Or contact us online

Quick Code: GR_MW_320

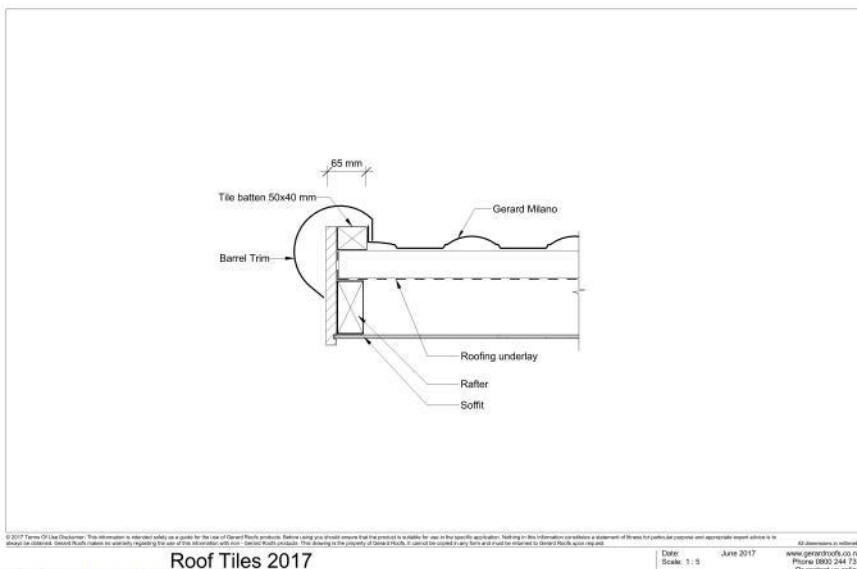


Roof Tiles 2017
Gerard Milano
Ridge - Milano Ridge Flashing

GERARD

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Quick Code: GR_MR_242

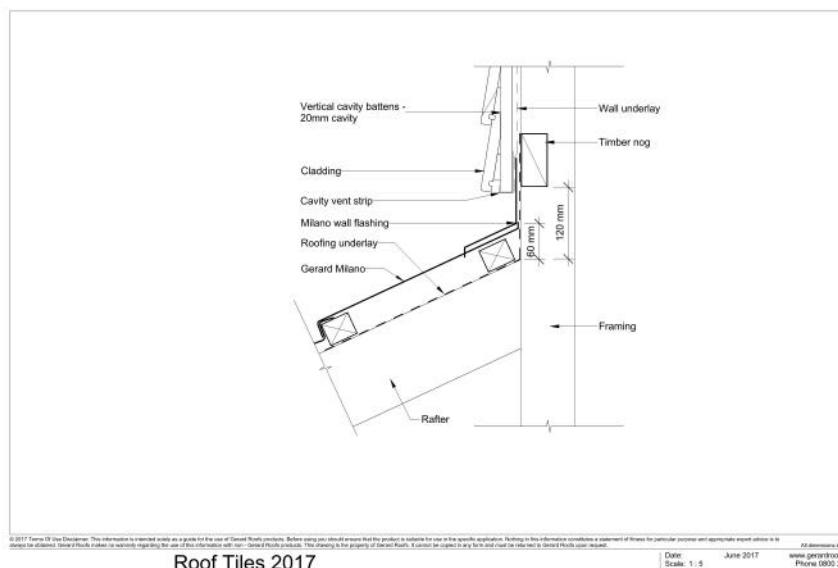


Roof Tiles 2017
Gerard Milano
Gable End - Barrel

GERARD

Date: June 2017
Scale: 1:5
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Or contact us online

Quick Code: GR_MG_090

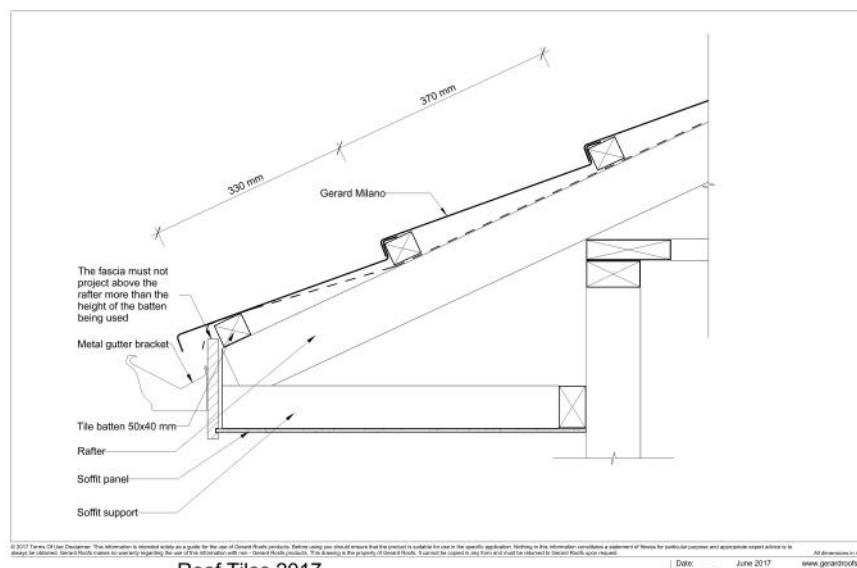


Roof Tiles 2017
Gerard Milano
Wall Transverse - Milano Wall Flashing

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Quick Code: GR_MW_390



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Gerard Milano
Eave

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New homes design and build

June and Andy Ranyard

Lot 6
Riverend Development
Guppy Road, Napier

Drawing Title: **Typical Gerard**
Drawing Scale: **Milano Roof Details**

Designed by Gordon Sanson
LBP 117656

Notes:

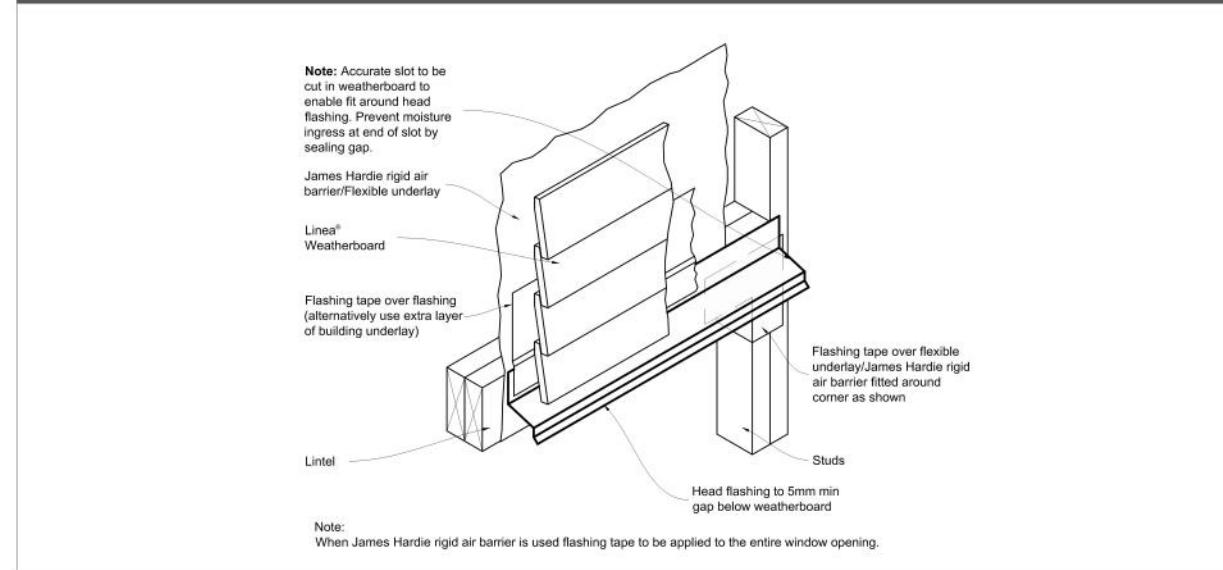
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Figure 17: Direct fix head flashing termination



Typical Linea Details Also refer to Technical Literature contained in Specifications

Figure 15: Direct fix window and door head without facings

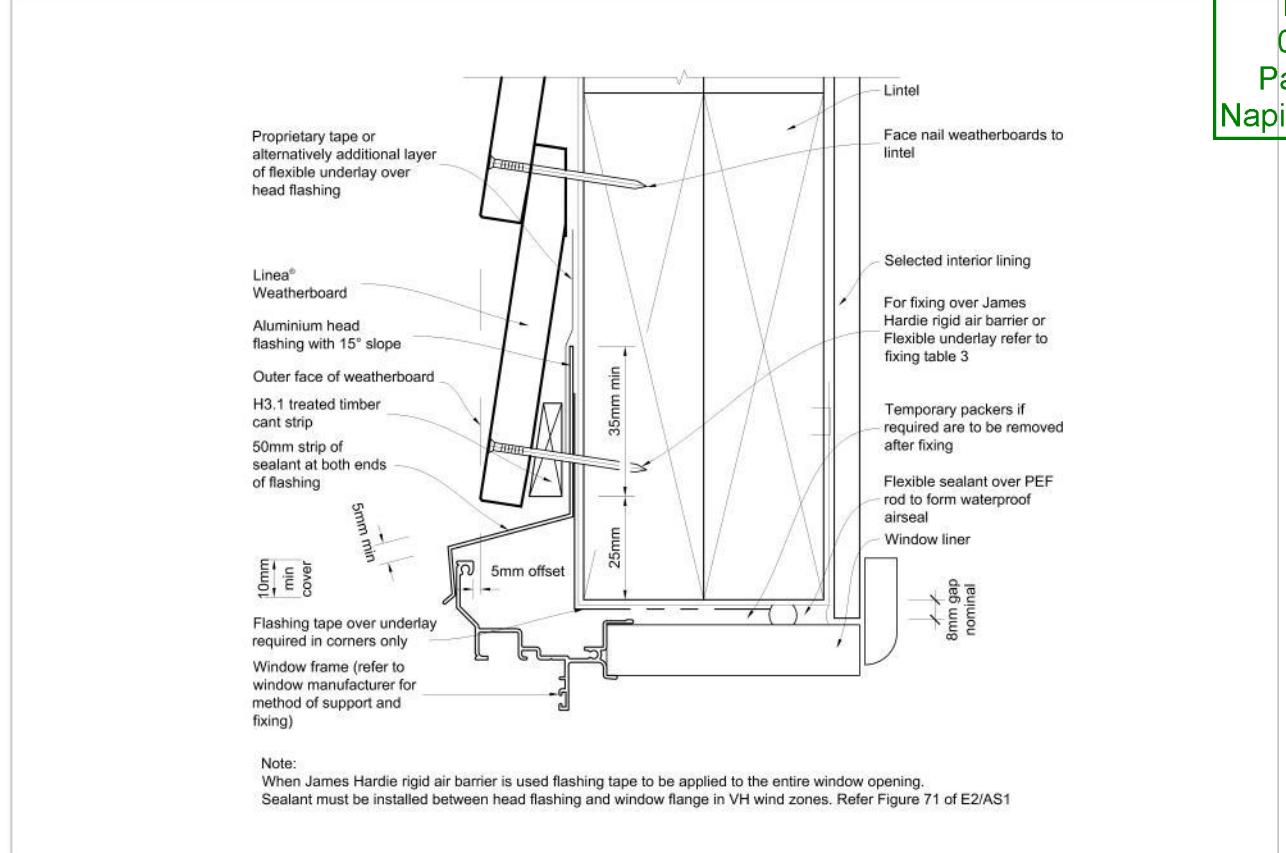
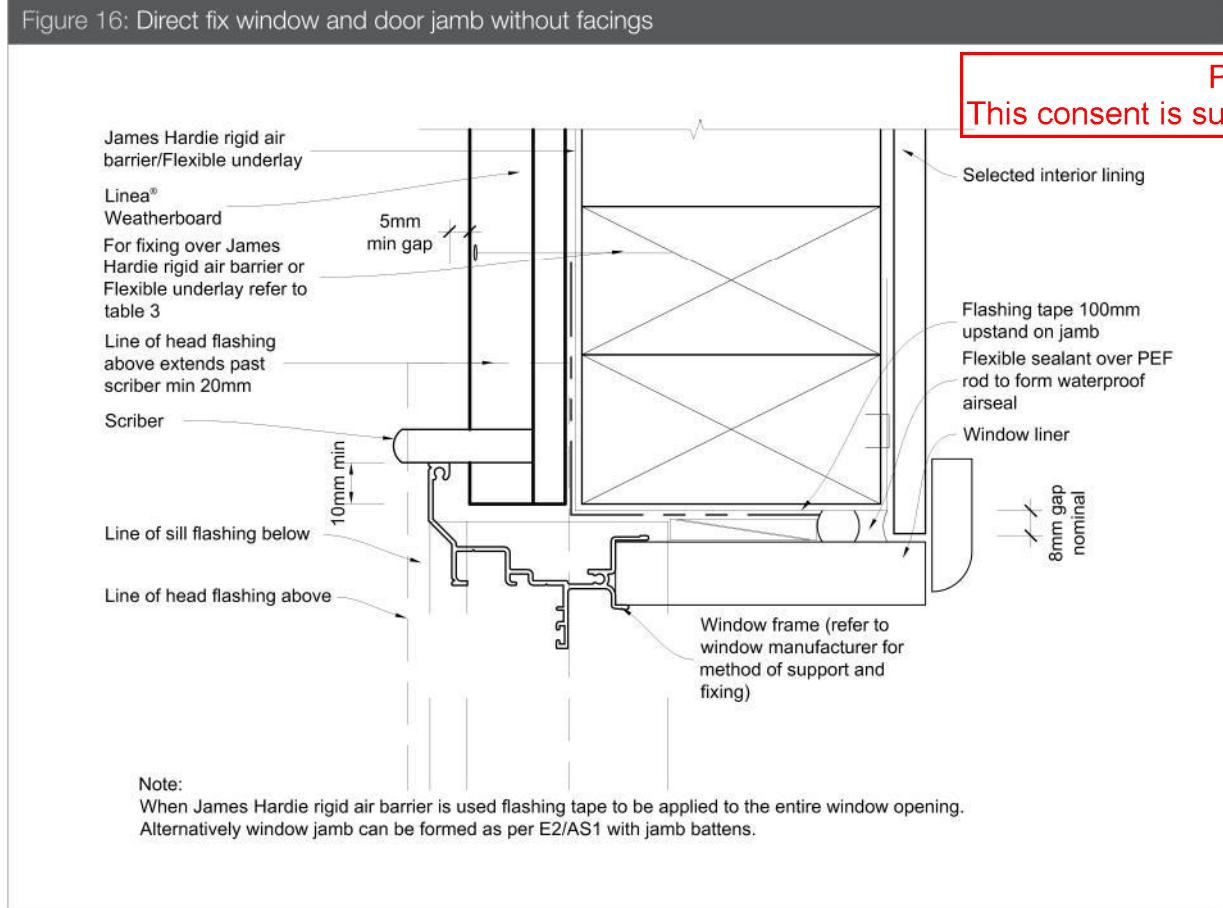


Figure 16: Direct fix window and door jamb without facings



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Figure 14: Direct fix window and door sill without facings

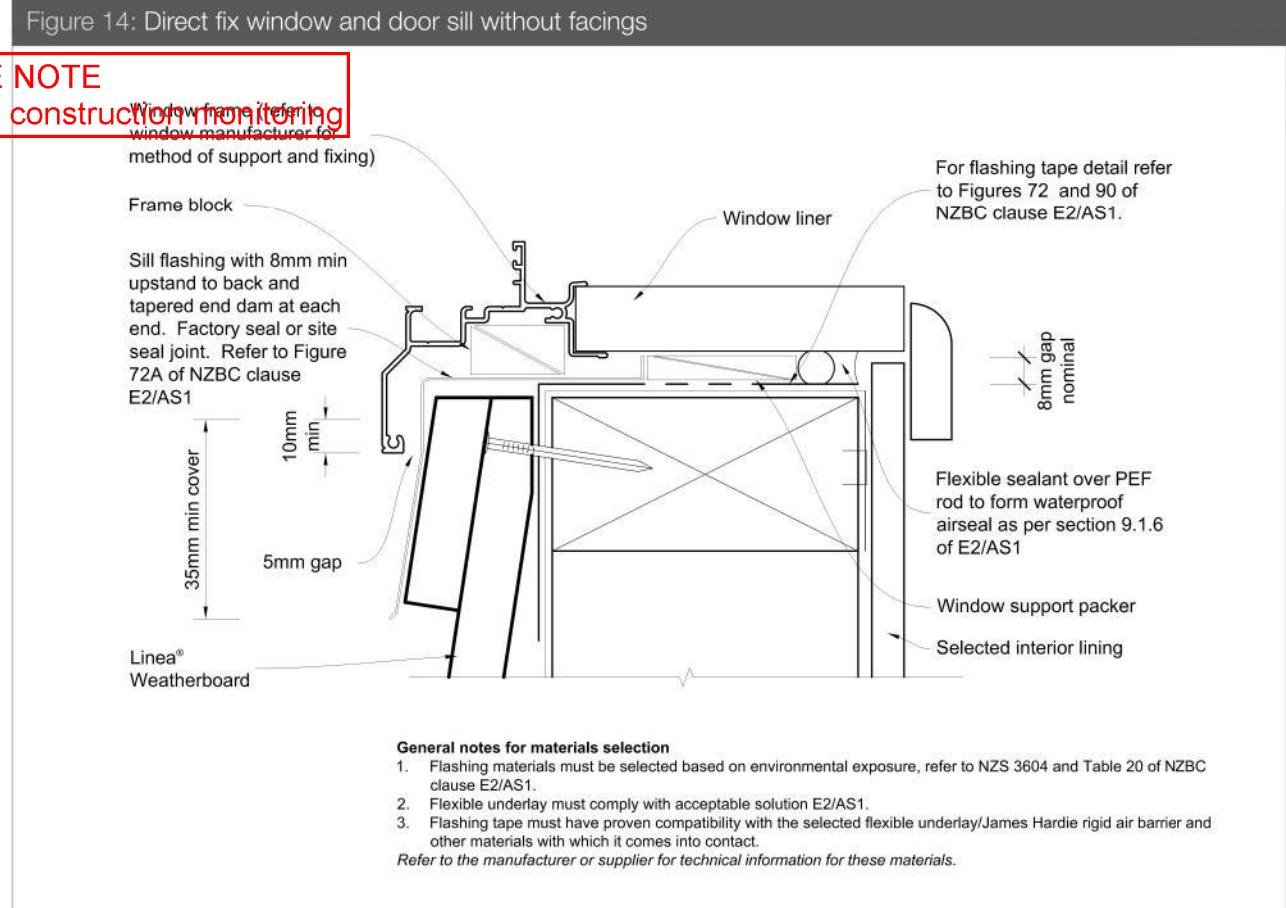


Figure 20: Junction between Linea® Weatherboard on cavity and brick veneer

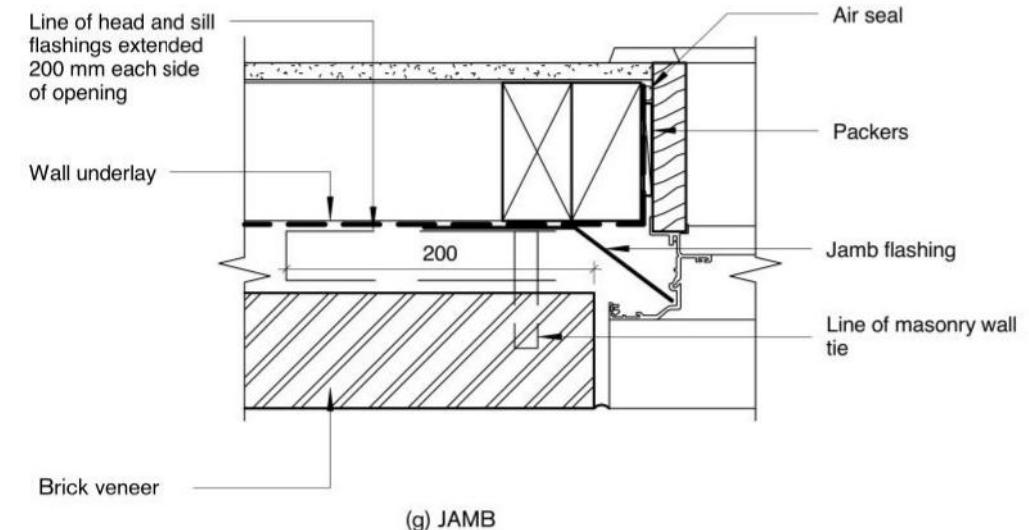
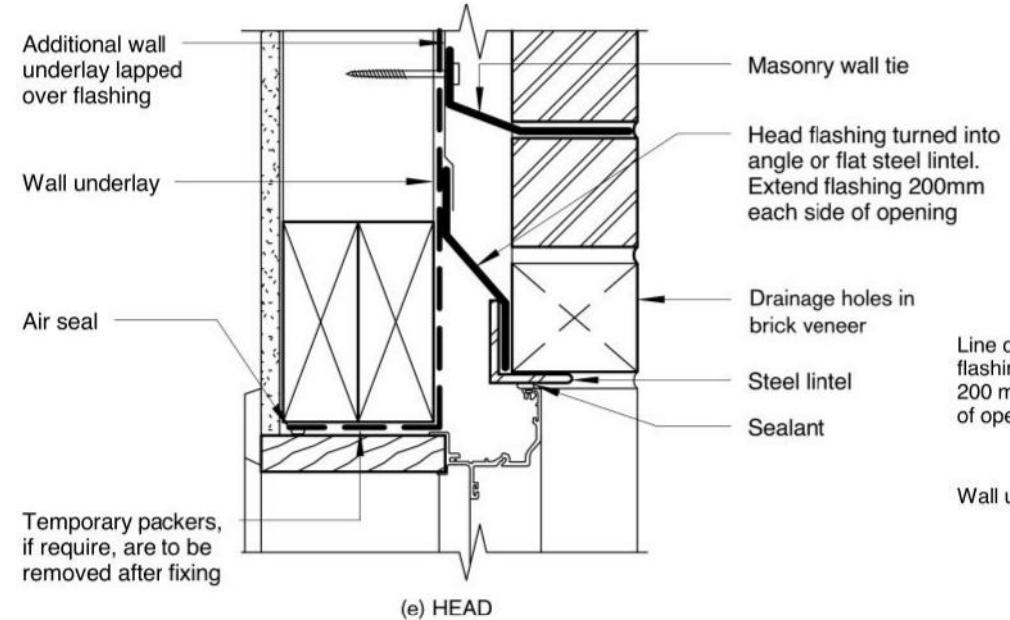
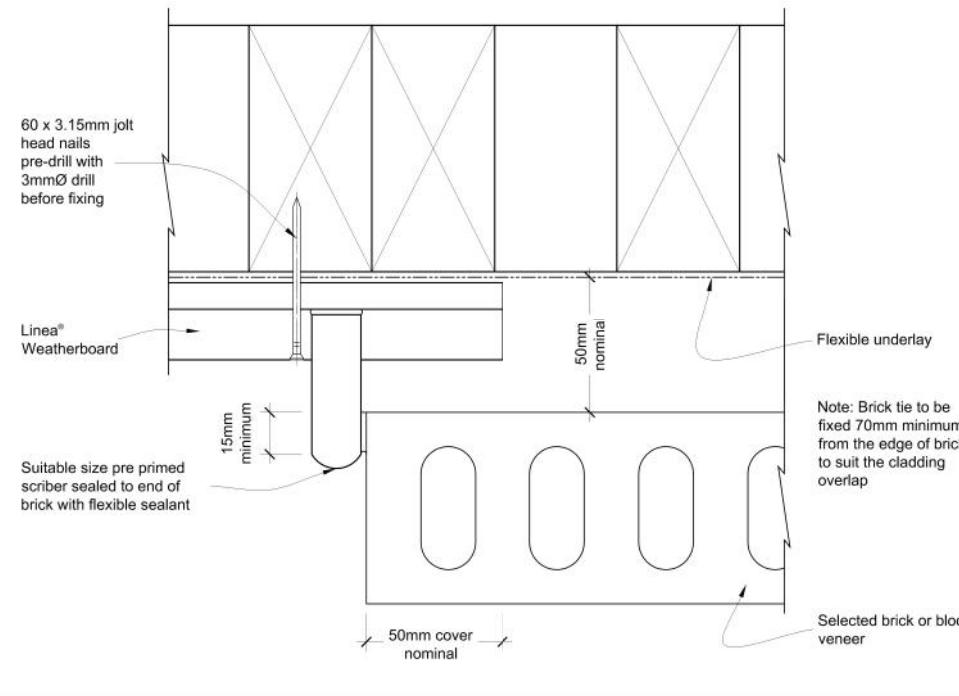
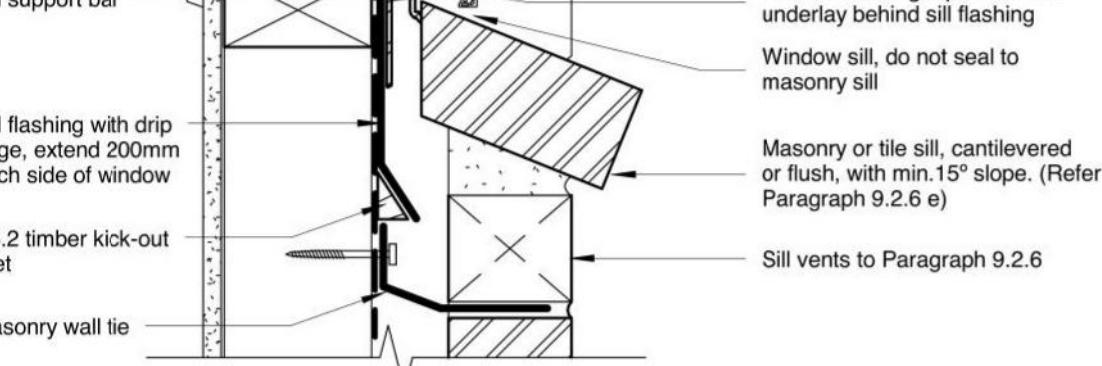
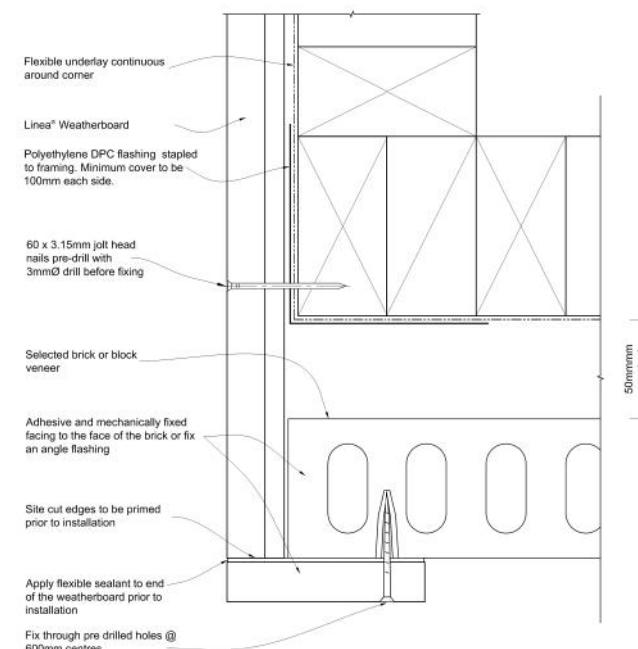


Figure 22: External corner junction between Linea® Weatherboard and brick veneer



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Drawing Title: Rear Yard

Drawing Scale:

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