

BUILDER/CONTRACTOR:



50 E 2500 N NORTH LOGAN, UT 84341
(435) 752-1480

It is the contractor's responsibility to verify all details and dimensions

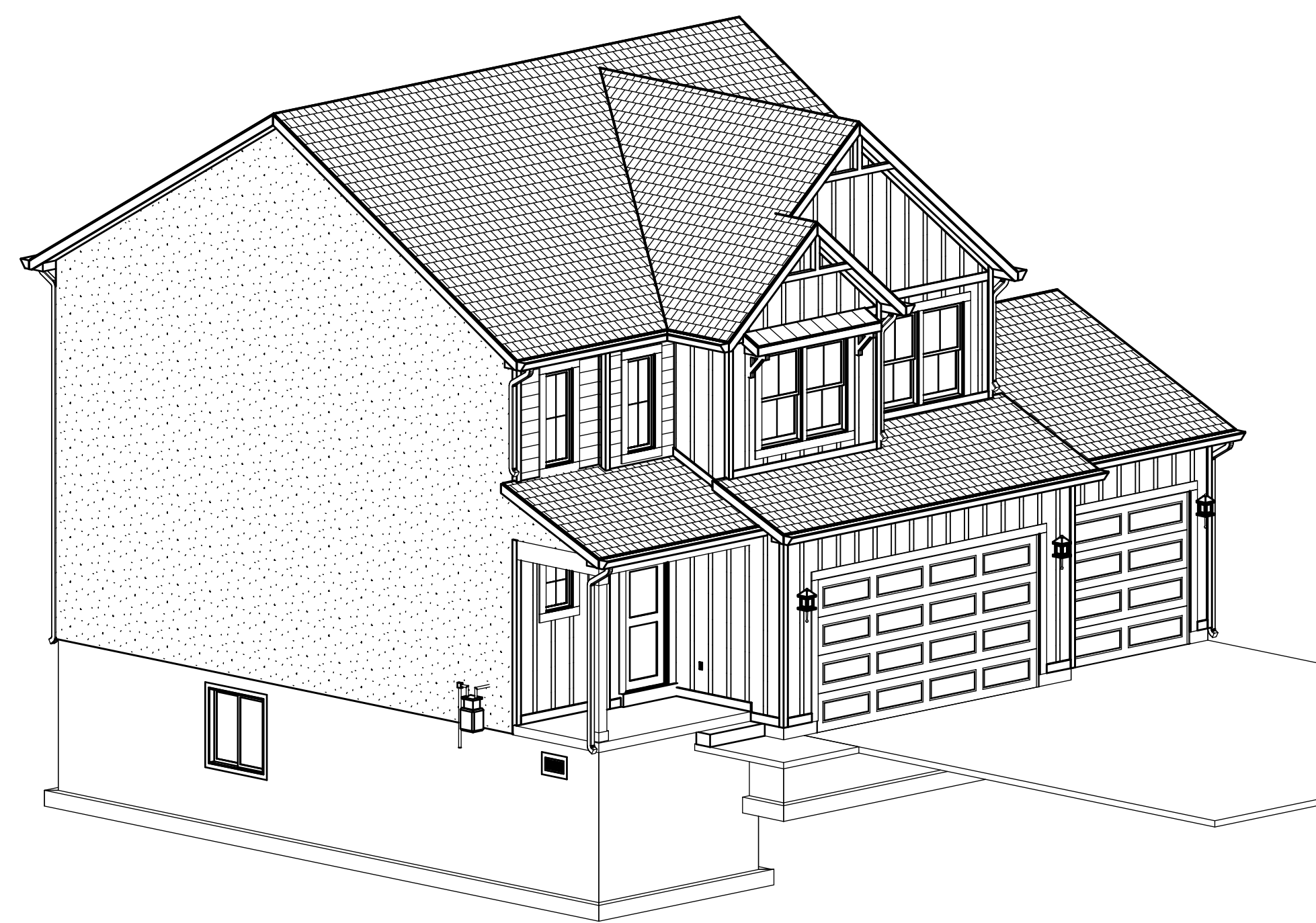
All work shall be performed in accordance with all applicable national, state, and local codes and regulations.

All dimensions are to rough frame of studs or to the outside of masonry.

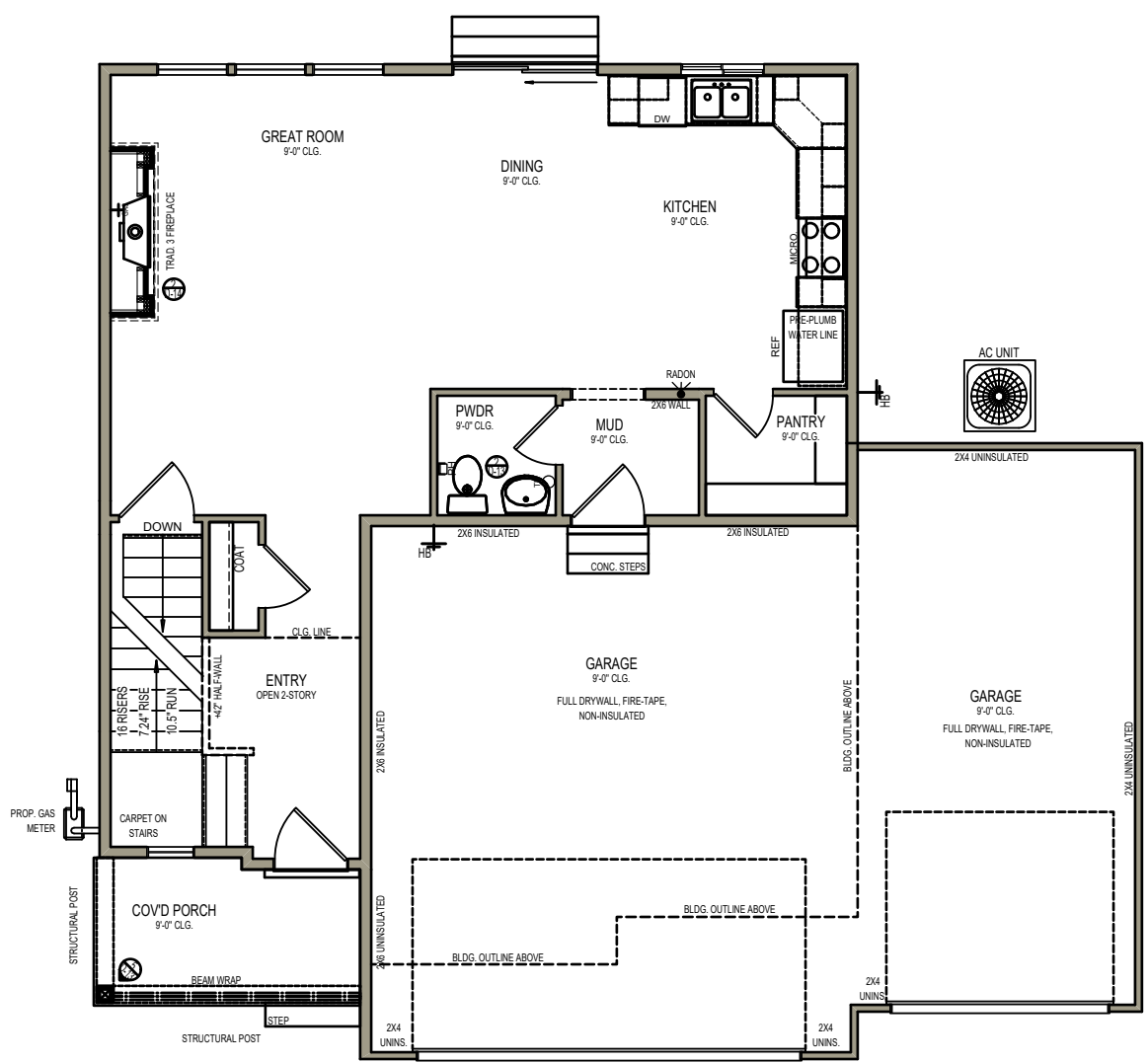
Final cabinet layout will be designed by cabinet supplier.

All footings to be below frost line and must rest on undisturbed soil capable of handling the building.

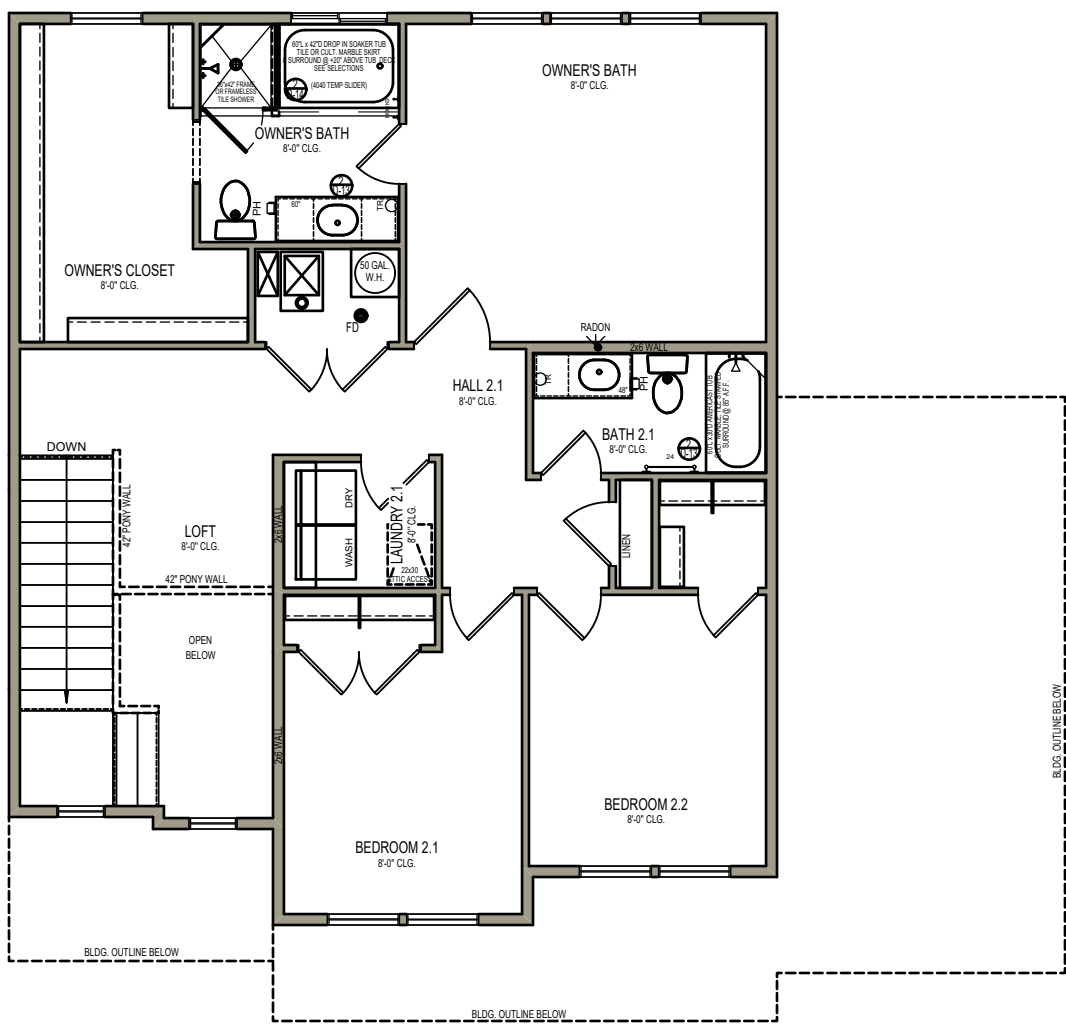
All penetrations are to be sealed in accordance with state and local codes.



FIRST FLOOR PLAN LAYOUT



SECOND FLOOR PLAN LAYOUT



Tanner Hunt & Ashleigh Loos Residence

Vineyard Subdivision
Phase 2, Lot 59, SF, Acres
Parcel:

555 North 275 East
Providence, UT, 84332

PERSCRIPTIVE METHOD ON INSULATION

R-19 BATT INSULATION IN WALLS
R-49 INSULATION IN ATTIC
R-10 INSULATION ON INSIDE OF FND WALL - 4'-0" MIN
U-.32 WINDOWS
R-40 BETWEEN GARAGE & FLOOR ABOVE
R-30 WITH CANTILEVER
NO INSULATION IN GARAGE

BUILDING AREA

MAIN LEVEL: 787.15
UPPER: 1096.76
UNFIN. BASEMENT: 698.26
GARAGE: 753.85
PORCH: 67.81
COLD STORAGE: 50.03
PATIO: 100.00

FINISHED AREA: 1883.91

"FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE WERE MADE BASED ON PLAN DIMENSIONS AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT."

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ENGINEERING

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S1.1 - S1.3	ROOF & FLOOR FRAMING
SD1	STRUCTURAL FRAMING DETAILS
SD2	STRUCTURAL FRAMING DETAILS
SD3	STRUCTURAL SCHEDULES & NOTES

PLANS PRINTED ON 11 x 17 PAPER ARE 1/2 THE SCALE NOTED.



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SADDLEWOOD
COVERSHEET

Date: 11/09/2020

Drawn By:CBM
Checked by: SALES

SCALE: 1/4" = 1'-0"

SHEET:

00

GENERAL CONSTRUCTION NOTES

GENERAL INFO:

- WHEN CALLING FOR AN INSPECTION, CONTRACTOR MUST PROVIDE PERMIT NUMBER, ADDRESS, TYPE OF INSPECTION, AND DATE. INSPECTION IS NEEDED. INSPECTIONS NEED TO BE CALLED IN MIN. OF 24-48 HRS BEFORE INSPECTION IS NEEDED.
- WORK IS NOT TO BEGIN BEFORE PERMIT IS ISSUED, AND PLANS MUST BE FOLLOWED AS APPROVED EVEN IF THEY EXCEED CODE. THE APPROVED SET OF PLANS AND INSPECTION CARD NEED TO BE ON BUILDING SITE FOR ALL INSPECTIONS.
- THE FOLLOWING INSPECTIONS ARE REQUIRED. PLEASE MAKE SURE THAT ALL ITEMS LISTED BELOW ARE COMPLETE AND READY FOR INSPECTION. NOTE: THIS MAY VARY FROM CITY TO CITY.

FOOTINGS:

- BE SURE THAT ALL SETBACKS ARE CORRECT.
- SETBACKS ARE MEASURED FROM THE PROPERTY LINE, NOT THE SIDEWALK.
- LOT CORNERS ARE TO BE STAKED OR OTHERWISE EASY TO LOCATE.
- FOOTINGS ARE TO BE CONTINUOUS EXCEPT THROUGH GARAGE DOORWAY THAT IS 8' OR WIDER.
- HORIZONTAL STEEL IS TO BE TIED IN PLACE.
- INTERIOR WALL FOOTINGS ARE NOT INSPECTED AT THE TIME OF OUTSIDE FOOTINGS, BUT MUST BE INSPECTED BEFORE FLOOR IS POURED.
- THE STEEL IS TO BE CLEAN & FREE OF GREASE & MUD.
- VERTICAL STEEL MUST BE BENT AND ON THE SITE FOR INSPECTION.

FOUNDATION:

- ALL STEEL MUST BE TIED IN PLACE.
- ALL OPENINGS ARE TO BE DOUBLE WARPED WITH STEEL.

UNDERGROUND PLUMBING:

- ALL PIPES INCLUDING WATER & WASTE AS APPLICABLE ARE TO BE INSTALLED & STUBBED AT LEAST 2" PAST THE FOUNDATION.
- PRESSURE TESTS ARE TO BE PROVIDED AS REQUIRED.
- PIPING IS NOT TO BE COVERED EXCEPT THE MINIMUM NEEDED TO HOLD THE PIPES IN PLACE WITH NO JOINTS COVERED.

UNDERGROUND MECHANICAL:

- IN PLACE AND NOT COVERED AND ALL JOINTS TO BE IN PLACE.

TEMPORARY POWER:

- THE TEMPORAY POWER IS TO BE IN PLACE WITH THE UNDERGROUND OR OVERHEAD PIPING IN PLACE.
- THE SERVICE BASE IS TO BE SECURELY INSTALLED AND PROTECTED FROM DAMAGE AND A GROUND ROD MUST BE INSTALLED.
- BEFORE POWER WILL BE CONNECTED, THE OWNER/CONTRACTOR MUST SIGN UP FOR UTILITIES AT THE CITY OFFICES.

BUILDING WATER:

- ALL PIPES ARE TO BE INSTALLED AT REQUIRED DEPTHS.
- BEFORE WATER METER IS INSTALLED OWNER/CONTRACTOR MUST SIGN UP FOR UTILITIES AT THE CITY OFFICES.

BUILDING SEWER:

- ALL PIPES ARE TO BE INSTALLED AT PROPER SLOPES

ROUGH FOUR WAY:

- FRAMING CANNOT BE APPROVED UNTIL THE ELECTRICAL, PLUMBING, AND MECHANICAL ROUGHS ARE FINISHED.

ELECTRICAL:

- ALL WIRING INSTALLED.
- RECESS CANS INSTALLED.
- ALL WIRES IN BOX NEED TO BE MADE UP AND GROUNDS MECHANICALLY CONNECTED.
- ALL BONDING INSTALLED AND CONNECTED.
- ALL VENT FANS AND DUCTS INSTALLED.
- NO WIRES TOUCHING GUSSETTS

PLUMBING:

- ALL WASTE, WATER, AND GAS PIPING INSTALLED WITH APPROPRIATE PRESSURE TEST PROVIDED.
- ALL SHOWER PANS INSTALLED AND FILLED WITH WATER.

MECHANICAL:

- THE FURNACE AND ALL DUCTS NEED TO BE INSTALLED, COMBUSTION AIR DUCTS NEED TO BE INSTALLED AND PROPERLY SIZED.
- ANY COOLING DUCTS, OR PIPING SIZED.
- IF HOT WATER HEATER IS USED, THE PIPES NEED TO BE INSTALLED AND UNDER APPROPRIATE PRESSURE.
- PRE-FAB FIREPLACES INSTALLED INCLUDING THE FLUES, COMBUSTION AIR, AND FIRE BLOCKING.

FRAMING:

- FRAMING IS TO BE APPROVED PRIOR TO THE SIDING, OR BRICK BEING INSTALLED.
- ALL FRAMING MEMBERS ARE TO BE INSTALLED.
- INTERIOR STAIRS INSTALLED.
- ALL BLOCKING AND BRACING INSTALLED.
- ALL WINDOWS ARE TO BE INSTALLED.

DRYWALL:

- ALL DRYWALL TO BE NAILED OR SCREWED IN PLACE.
- USE FIRE RATED DRYWALL IN GARAGE.
- A FIRE WALL FROM SLAB TO TRUSSES, REQ. BETWEEN GARAGE, & STRUCTURE, USING TYPE X
- A DOUBLE LAYER OF TYPE X REQ. FOR CEILINGS IN GARAGES.

MASONRY:

- FOR BOND BEAMS AND GROUTING POURS, ALL STEEL MUST BE IN PLACE AND CLEAN OUTS OPEN.
- FIREPLACES, STEEL REINFORCING, CLEARANCES, AND SEISMIC BRACING ARE REQUIRED PRIOR TO COVERING.

GAS METER:

- THE GAS LINE MUST BE INSTALLED AND THE REQUIRED PRESSURE TEST PROVIDED.
- AT LEAST ONE GAS APPLIANCE MUST BE INSTALLED AND READY TO BE TURNED ON.
- COMBUSTION AIR INSTALLED.

PERMANENT POWER:

- PERMANENT POWER WILL NOT BE APPROVED UNTIL AFTER THE BUILDING PERMIT IS FINALIZED.
- ALL WIRING, COVERS, LIGHTS, RECEPTACLES, SWITCHES, AND BONDING SHALL BE IN PLACE.
- BREAKER BOX AND MAIN DISCONNECT LABELED.

FINAL INSPECTION:

- THE BUILDING NEEDS TO FINISHED INCLUDING FLOOR COVERINGS, READY FOR PERMANENT POWER, PLUMBING, AND MECHANICAL SYSTEMS FINISHED.
- ALL STEPS, GUARDRAILS, AND HANDRAILS INSTALLED.
- EXTERIOR GRADING AND CONCRETE WORK FINISHED.
- CITY SIDE WALK AND CURB (IF REQ'D) INSTALLED TO CITY SPECS.
- A LADDER NEEDS TO BE PROVIDED SO THAT THE ATTIC AREA AND ROOF CAN BE INSPECTED. OCCUPANCY PERMITS SHALL NOT BE GRANTED UNTIL FINAL INSPECTION IS COMPLETED. INSPECTION REQUIREMENTS VARY FROM CITY TO CITY AND ARE SUBJECT TO THEIR REQUIREMENTS.

FOOTING:

1. ALL FOOTINGS SHALL BEAR 12" INTO UNDISTURBED EARTH.
2. FOOTINGS SHALL STEP 1 TO 1.5 RATIO AS REQ'D.
3. EXTERIOR WALL FOOTINGS SHALL BEAR AT A MINIMUM DEPTH OF 30" FOR FROST OR WEATHER PROTECTION.

CONCRETE:

4. ALL CONCRETE SHALL BE BATCHED WITH THE FOLLOWING BAG MIX PER CUBIC YARDS:
STRUCTURAL 5 1/2 BAG - 3000 PSI
EXTERIOR FLAT WORK 6 BAG - 4000 PSI
5. ALL CONCRETE SHALL BE PLACED CURED AND PROTECTED AS SPECIFIED IN COMPLIANCE WITH UBC STANDARDS AND PRACTICES. 4" MAX SLUMP

REINFORCEMENT STEEL:

6. ALL REARS SHALL COMPLY TO ASTM A - 615 GRADE A.O. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A - 185 MINIMUM LAP 6".
7. ALL REBARS SHALL BE SECURELY TIED AND HELD IN PLACE 3" ABOVE EARTH.

CONCRETE WALLS OR COLUMNS:

8. ALL VERTICAL REINFORCEMENT IN COLUMNS OR WALLS SHALL BE DOWELED FROM THE FOOTING OR STRUCTURE BELOW WITH REBAR OF THE SAME SIZE & SPACING REQ'D ABOVE AND CAP SPLICES 12" MIN.

GENERAL CONCRETE:

9. NO ALUMINUM PRODUCTS SHALL BE EMBEDDED IN CONCRETE. ELECTRICAL CONDUITS SHALL BE PLACED IN MID-HEIGHT OF SLABS AND SHALL HAVE AN O.D. LESS THAN 1/3 SLAB THICKNESS.

FOUNDATION WALL REINFORCEMENT:

10. FOLLOW ENGINEERING SPECIFICATIONS.

STRUCTURAL STEEL:

11. ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM 1 - 36 UNO. USE A-307 BOLTS FOR FIELD CONNECTIONS.

LUMBER:

12. ALL FRAMING LUMBER SHALL MEET THE MINIMUM REQUIREMENTS FOR ITS USE.
13. ALL ENDS OF POINTS OF SUPPORTS SHALL BE PROPERLY SUPPORTED AND ALL LOADS MUST BE ABLE TO BE TRACED TO THE FOOTING FOR ALL WOOD JOISTS OF TRUSS RAFTERS.

NAILING:

14. NAILING AS SPECIFIED BY THE ENGINEERING.

BRICK MASONRY:

15. ALL MASONRY SHALL BE REINFORCED WITH BOTH HORIZONTAL AND VERTICAL REINFORCEMENT. ALL BLOCK CELLS OR BRICK CAVITIES WITH REINFORCEMENT SHALL BE GROUTED FULL USING CONCRETE GROUT. CELLS SHALL BE ALIGNED TO PRESERVE UNOBSTRUCTED VERTICAL CAVITIES OF 2" OF 3" MIN. USE 2000PSI GROUT WITH 4"x4" LIFTS ONLY. USE PEA GRAVEL IN GROUT FOR CELLS 4"x4" MIN. SLUMP: 7" TO 10" SLUMP (AVOID SEPARATION) DO NOT USE CELL REINFORCING TO ROD GROUT.
 16. ALL BRICK SHALL BE INSTALLED ACCORDING TO MANUFACTURED SPECIFICATIONS. USE 22 GA. TIES @ 16" O.C. EACH WAY FOR MASONRY TIE. USE #9 WIRE @ 16" O.C. USE 1" GROUT FOR BRICK SPACING.
- SHEETING:

17. 5/8" SHEETING SHALL RUN PERPENDICULAR TO ROOF TRUSSES, STAGGERING JOISTS, SPACINGS SHALL BE DETERMINED BY MANUFACTURER.

ICE BARRIER:

18. ICE BARRIER SHALL BE INSTALLED @ ALL ROOF EDGES, & EVES.
ICE BARRIER SHALL BE INSTALLED AT ROOF TO WALL CONNECTING AND IS TO EXTEND UP WALL 18".
19. ALL REQUIRED EGRESS WINDOWS, INCLUDING ONE IN EVERY BASEMENT AND BEDROOM SHALL HAVE A MINIMUM CLEAR OPEN ABLE AREA OF 5.7 SQ. FT. A MIN. HEIGHT OF 24" AND A MIN. WIDTH OF 20" AND A FINISHED SILL HEIGHT OF NOT MORE THAN 44".

20. WINDOW WELLS SHALL PROVIDE NET CLEAR OPENING OF 9 SQUARE FEET WITH A MINIMUM DIMENSION OF 36".

DAMPROOFING:

21. DAMP PROOFING IS REQUIRED FOR ALL FOUNDATIONS ENCLOSING BASEMENTS BELOW FINISH GRADE.
22. ALL HONEY COMBING THAT CANNOT BE COMPLETED & FULLY DAMP PROOFED MUST BE GROUTED BEFORE DAMPROOF.

BLOCKING:

23. FIRE BLOCKING IS REQ'D IN WALLS AT ALL SOFFITS, DROPPED CEILINGS, COVE CEILINGS, AND AT THE FLOOR AND CEILING LEVELS OF ALL SHAFTS AND CHASES.
24. ALL CHASES MUST BE BLOCKED @ EACH FLOOR LEVEL AND OR EVERY 8'.
25. UNDER STAIR SPACE THAT IS ENCLOSED AND USABLE SHALL HAVE THE WALLS & CEILINGS 5/8" TYPE X SHEETROCK.
26. MINIMUM 2x6 WALL BLOCKING IS REQ'D FOR SHOWER PAN.
27. RIM JOISTS SHALL BE PROTECTED WHERE CONCRETE WILL BE POURED AGAINST THEM.

28. ATTIC VETILATION LOCATED IN GABLE ENDS ONLY SHALL BE A TOTAL OF 1/1500th OF THE AREA OF THE SPACE VENTILATED.

29. ATTIC ACCESS OPENINGS ARE REQ'D FOR ALL ATTICS 30" OR GREATER IN HEIGHT.

30. CRICKETS ARE REQ'D WHERE CHIMNEYS OR OTHER VERTICAL SURFACES INTERSECT SLOPED ROOF AREAS, THEREBY CREATING WATER, SNOW, OR ICE DAMMING CONDITIONS.

31. ALL CRICKETS MUST EXTEND PAST EXTERIOR FINISHES BY 4".

32. STEP FLASHINGS OR FLASHINGS SHALL BE COUNTER FLASHED AT CHIMNEY OR WALL INTERSECTIONS WITH ROOFS.

33. GLASS IF INSTALLED IN OR WITHIN 12" OF DOORS, SHALL BE TEMPERED, UNLESS THE GLASS IN THE DOOR HAS ONE DIMENSION LESS THAN 3" OF THE BOTTOM EDGE OF THE GLASS ADJACENT TO THE DOOR IS 60" OR MORE FROM THE FLOOR.

34. FINISH GRADING SHALL SLOPE 2% AWAY FROM ALL BUILDINGS OR PROVIDE EQUIVALENT DRAINAGE PROTECTION.

35. ADDRESS NUMBERS ARE REQUIRED FOR ALL BUILDINGS, AND SHALL BE AT LEAST 3" HIGH SO AS TO BE PLAINLY VISIBLE FROM THE STREET FRONTING THE PROPERTY.

ELECTRICAL:

36. METER PANELS SHALL BE AT LEAST 36" AWAY FROM ALL DOORS AND WINDOWS.
37. MAIN DISCONNECTS ARE REQ'D ON EXTERIOR OF ALL BUILDINGS.
38. BREAKER PANELS SHALL NOT BE LOCATED ON THE EXTERIOR OF THE BUILDING.
39. UFER GROUNDS ARE REQ'D IN ADDITION TO WATER PIPE GROUNDS. AND ELIMINATE THE NEED OF DRIVEN ROD ELECTRODES.
40. INSTALL A MIN. OF (2) GFCI RECEPTACLES (ONE REAR, ONE FRONT OF EXTERIOR OF HOME.)
41. ALL REQ'D REC. SHALL BE PLACED SO THAT AT NO POINT ALONG THE FLOOR LINE OF WALLS, COUNTERS, ETC. SHALL THE DISTANCE TO A REC. BE GREATER THAN 6'.
42. SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM AND ADJACENT HALLWAYS AND ON EACH LEVEL. THEY SHALL BE WIRED IN SERIES AND HAVE BATTERY BACKUP.
43. GFCI OUTLETS TO BE MOUNTED IN GARAGE 48" ABOVE PAD LEVEL.

MECHANICAL:

44. GAS METERS SHALL BE LOCATED PER LOCAL FUEL COMPANY AND SHALL BE A MIN. OF 3' FROM ELECTRICAL METER PANELS AND PERMANENT AIR VENTS.
45. ADEQUATE COMBUSTION AIR IS REQ'D FOR ALL FUEL BURNING APPLIANCES.
46. VENTILATING FANS ARE REQUIRED FOR ALL BATHROOMS WITH TUBS OR SHOWERS THAT HAVE NO OPEN ABLE WINDOW TO THE EXTERIOR.
47. ALL BATHROOM FANS SHALL BE VENTED TO THE EXTERIOR OF THE BUILDING.
48. DRYER VENT SHALL BE A MIN. OF 14" WITH (2) ELBOWS.
49. RANGE AND COOKTOP CLEARANCES TO UNPROTECTED COMBUSTIBLES SHALL BE 30"
50. ALL HEATING SUPPLY DUCTS SHALL BE INSULATED IN UNINSULATED AREAS AS PER CODE.

PLUMBING:

51. VENTING IS REQ'D FOR ALL FIXTURE TRAPS AS PER CODE.
52. NO PIPING SHALL BE INSTALLED SO AS TO BE SUBJECT TO FREEZING.
53. NO LEAD OR ACID BEARING SOLDER OR FLUES ARE ALLOWED FOR POTABLE H2O PIPING.
54. PRESSURE REDUCING VALVES ARE REQ'D WHEN WATER PRESSURE EXCEEDS 60 PSI.
55. BACK FLOW PROTECTION IS REQUIRED FOR ALL HOSE BIBS, LAWN SPRINKLER SYSTEMS, AND ALL OTHER OUTLETS HAVING HOSE THREADS OR POSING POTENTIAL CROSS CONNECTIONS WITH CITY WATER CONNECTIONS.
56. FLOOR DRAINS SHALL BE PROVIDED NEAR ALL WATER HEATERS.
57. FLOOR DRAINS SHALL BE FULLY VISIBLE AND ACCESSIBLE.
58. WATER CLOSET SPACES SHALL BE A MIN. OF 30" IN WIDTH AND ALLOW FOR A MIN. FRONT CLEARANCE OF 24".
59. AIR GAP PROTECTION IS REQ'D ON ALL DISHWASHER DRAIN CONNECTIONS TO THE DMV SYSTEM.
60. UNFINISHED PLUMBING DMV ROUGH - INS SHALL BE PROPERLY VENTED & CAPPED OFF.
61. ALL OUTSIDE OR GARAGE FAUCETS SHALL BE FROST PROTECTED & WILL DRAIN WHEN SHUT OFF.

GRADING & DRAINAGE:

62. FINISH GRADE SHALL BE FINISHED IN SUCH A WAY THAT ALL DRAINAGE FOR ANY GIVEN LOT SHALL FLOW TOWARD THE STREET, & SHALL NOT FLOW OVER INTO HOME.



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Plan current up to:
Addendum

Proj: Vineyard 59
Client: Tanner Hunt & Ashleigh Loos

SADDLEWOOD
GENERAL CONSTRUCTION NOTES

Date: 11/09/2020

Drawn By:CBM
Checked by: SALES

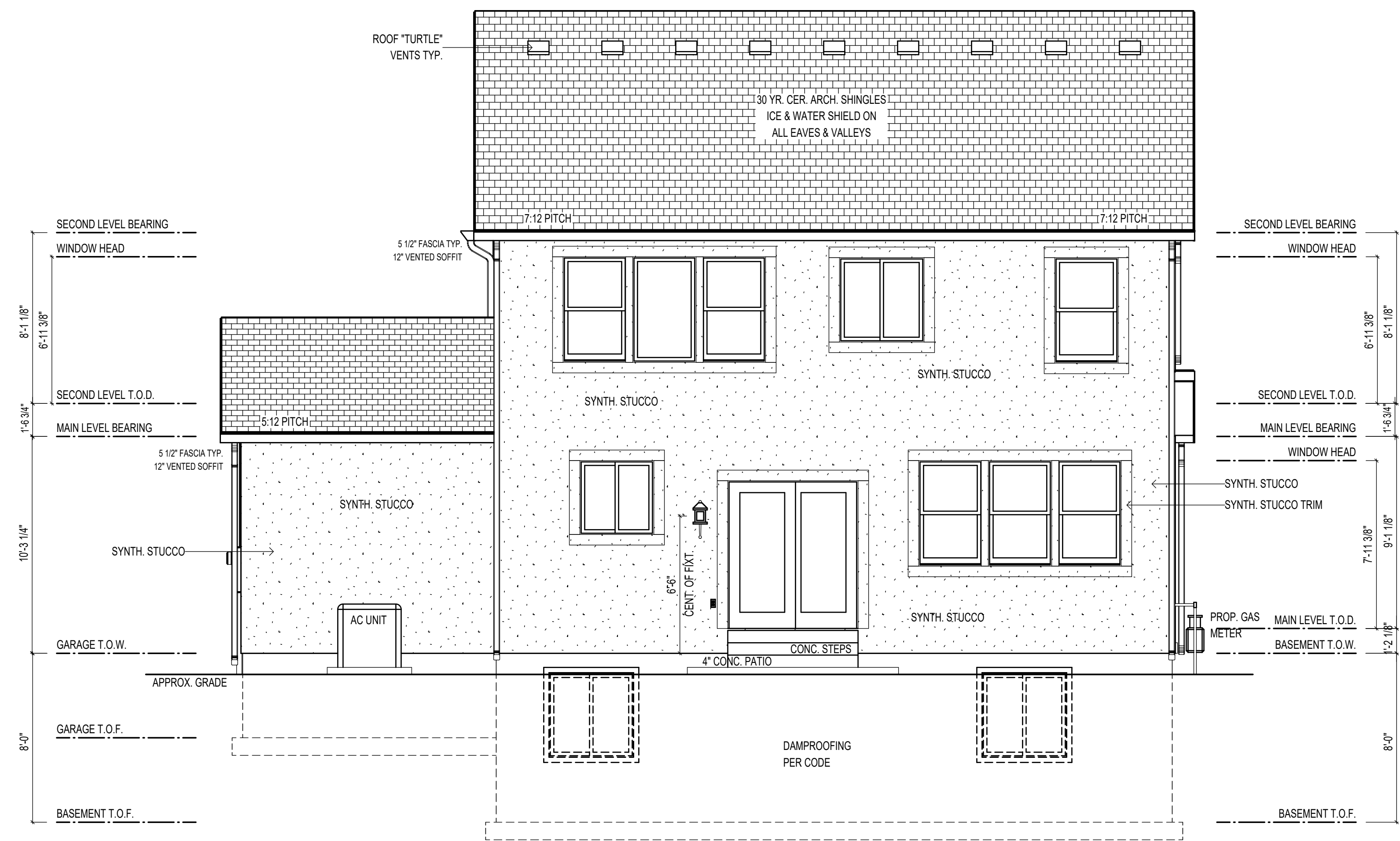
SCALE: 1/4" = 1'-0"

SHEET:

01



FRONT ELEVATION



REAR ELEVATION



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SADDLEWOOD
FRONT/REAR
ELEVATION

Date: 11/09/2020

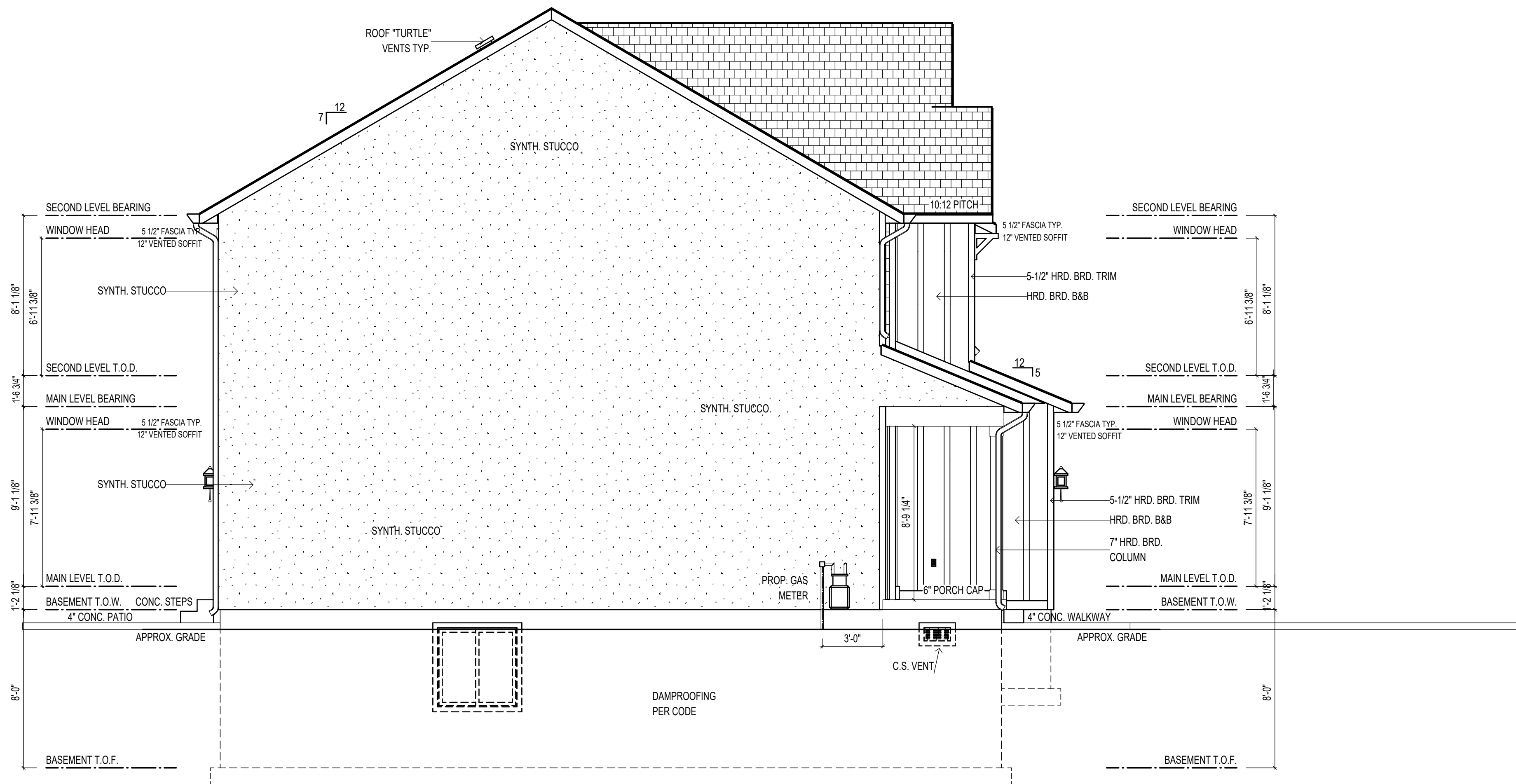
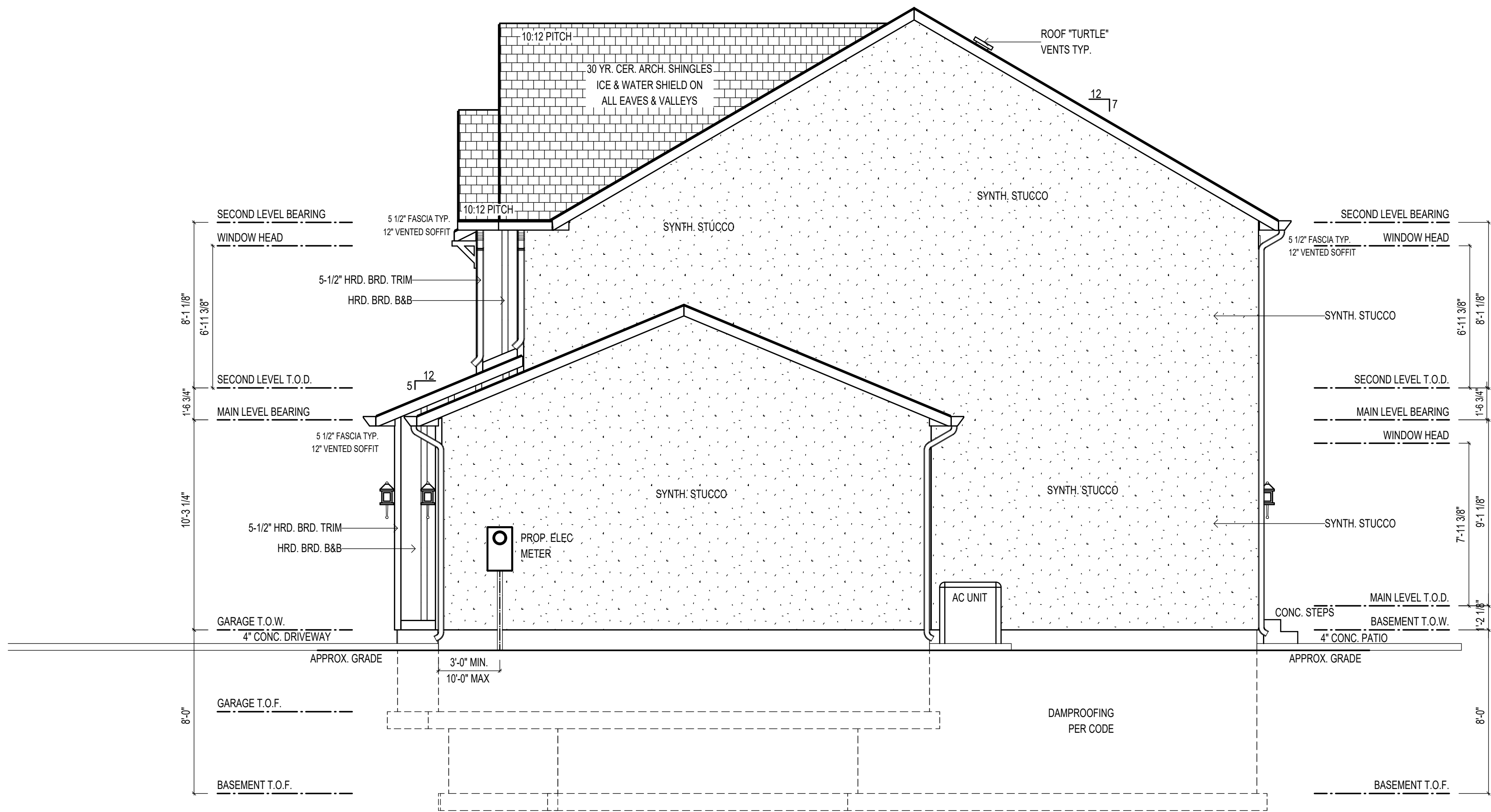
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SHEET:

02

RIGHT ELEVATION



LEFT ELEVATION



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SADDLEWOOD
RIGHT/LEFT
ELEVATIONS

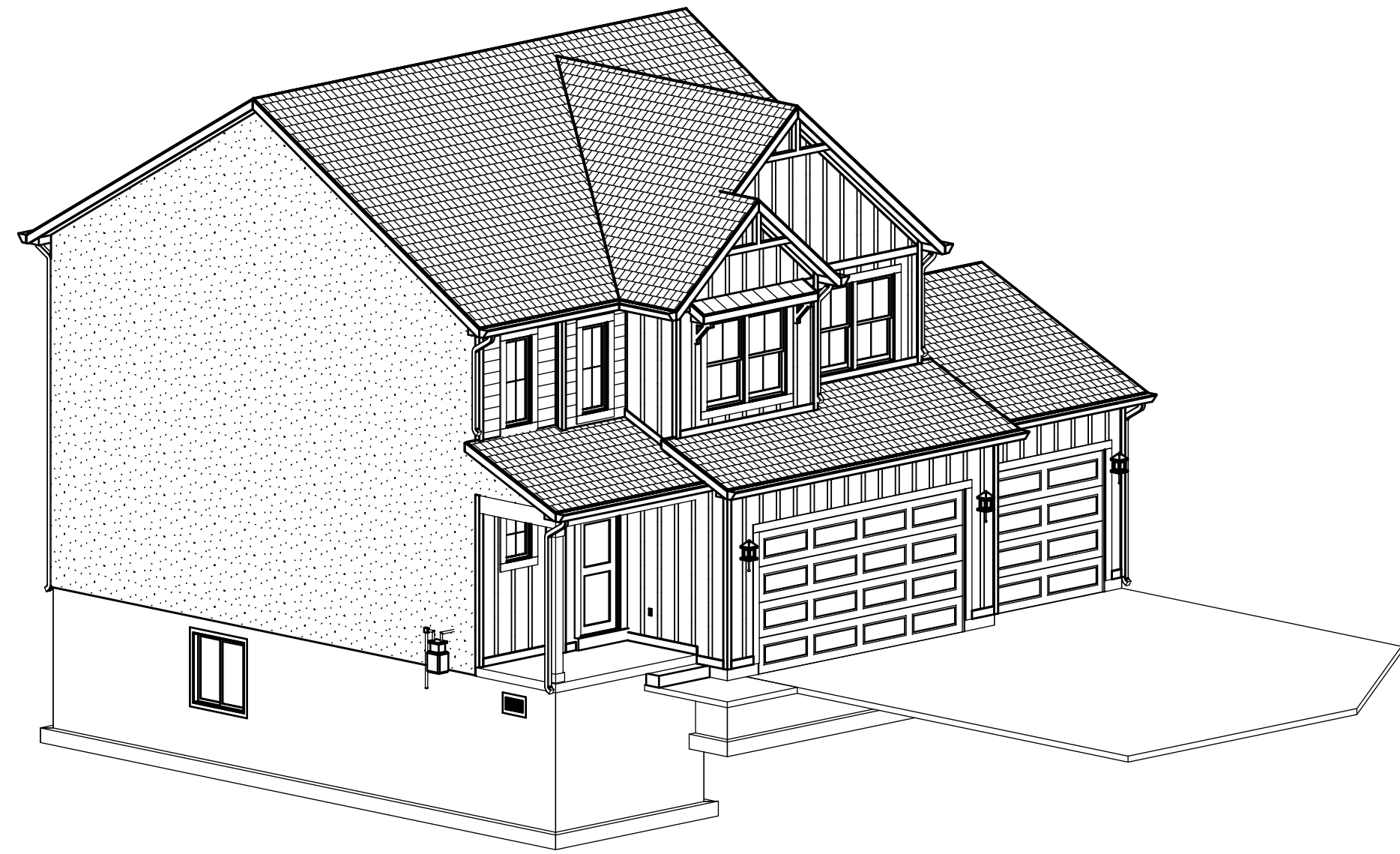
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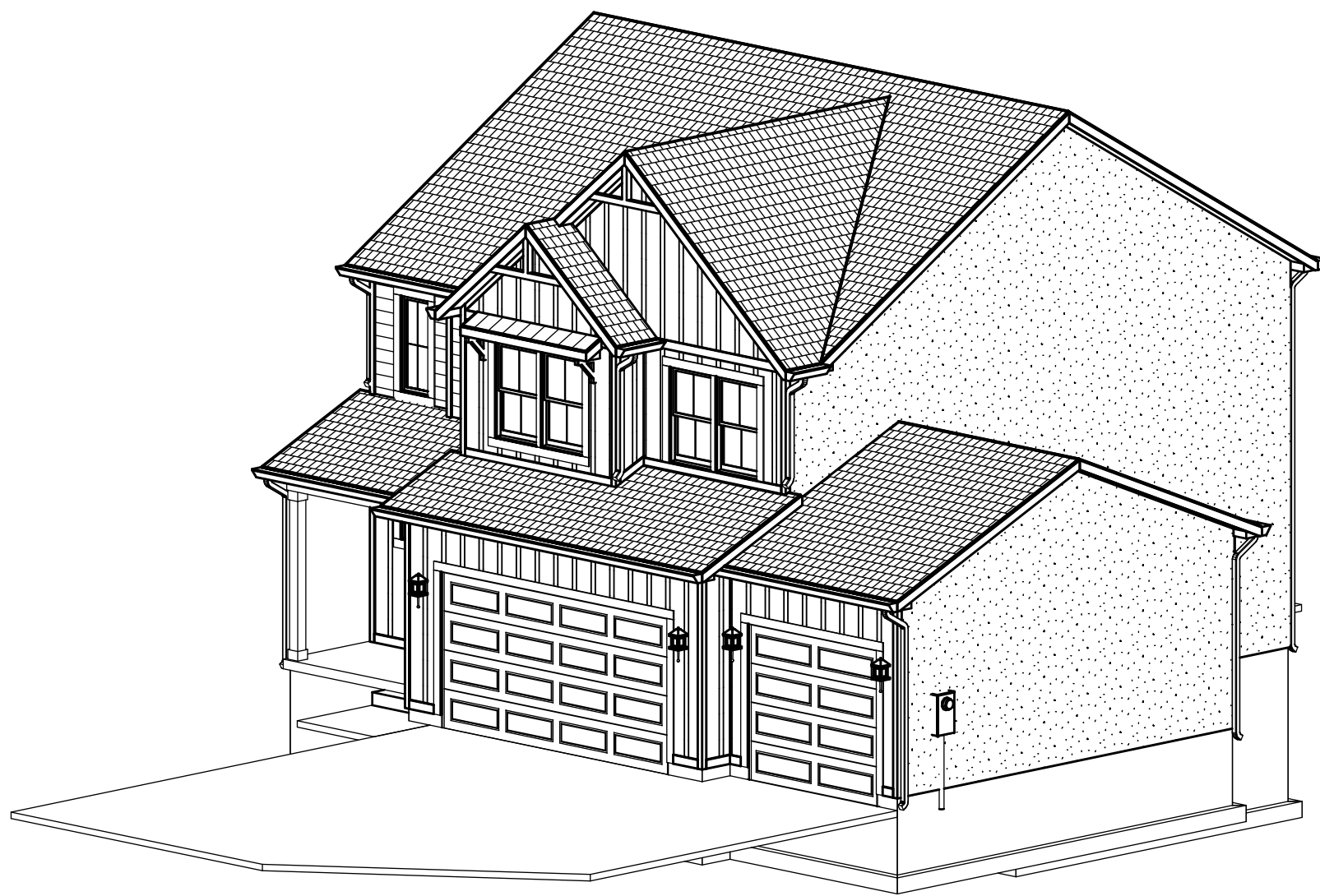
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SHEET:

03



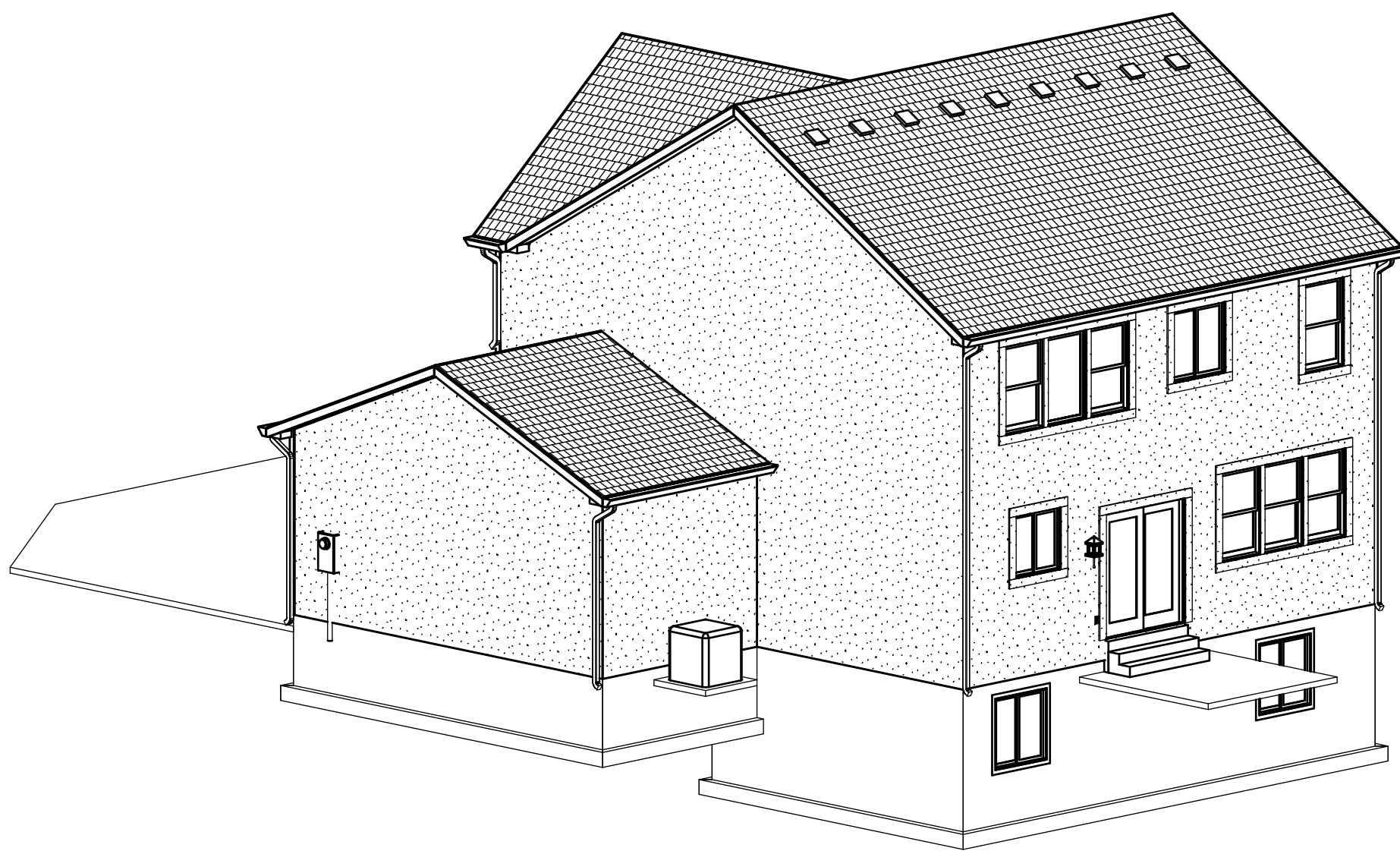
FRONT LEFT ELEVATION



FRONT RIGHT ELEVATION



REAR LEFT ELEVATION



REAR RIGHT ELEVATION



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SADDLEWOOD
PERSPECTIVE VIEWS

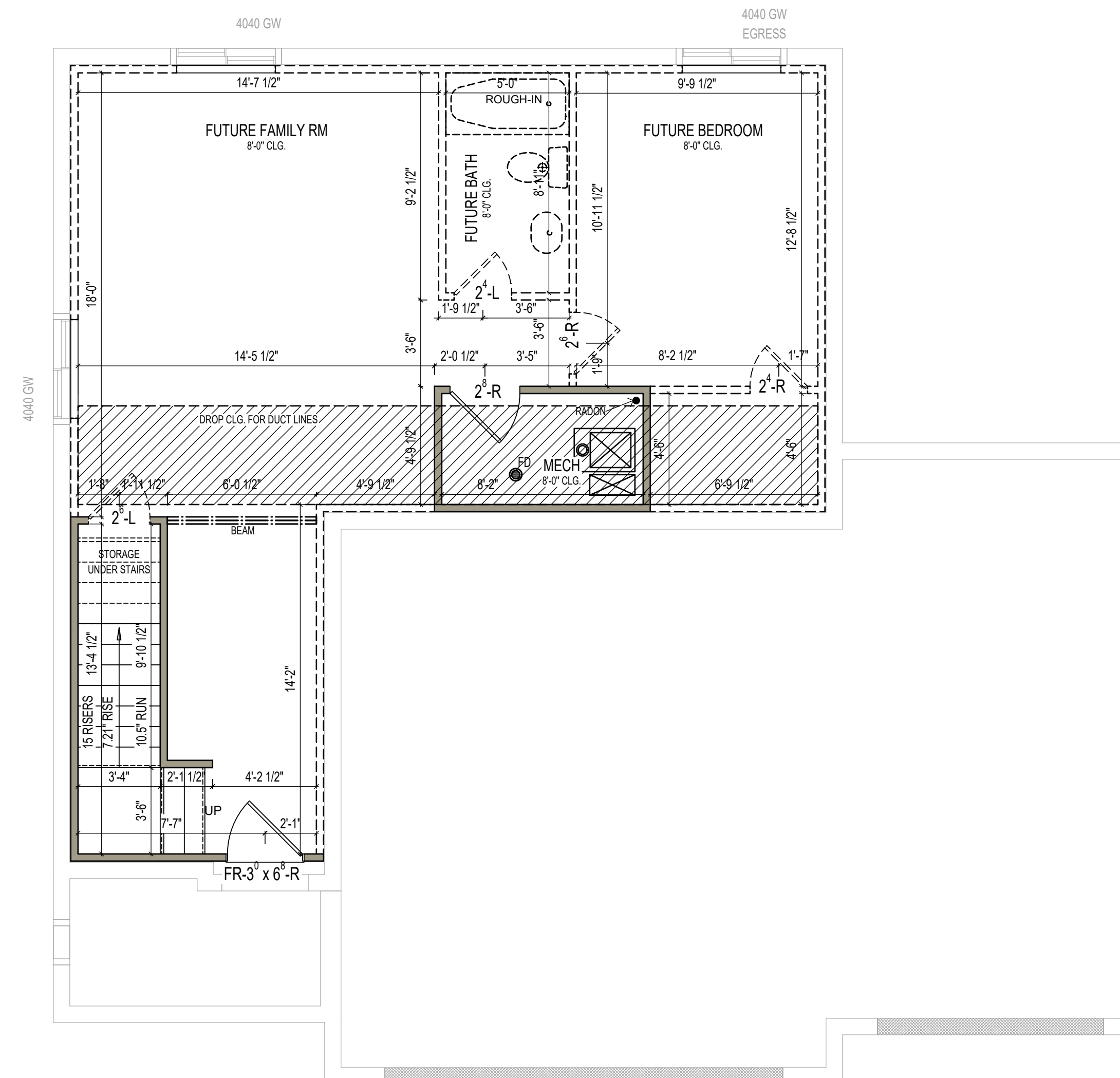
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SCALE: 1/4" = 1'-0"

SHEET:

04



BASEMENT LEVEL FLOOR PLAN

DIMENSION PLAN

8' CEILINGS UNLESS NOTED OTHERWISE



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SADDLEWOOD

BASEMENT LEVEL FLOOR PLAN

DIMENSION PLAN

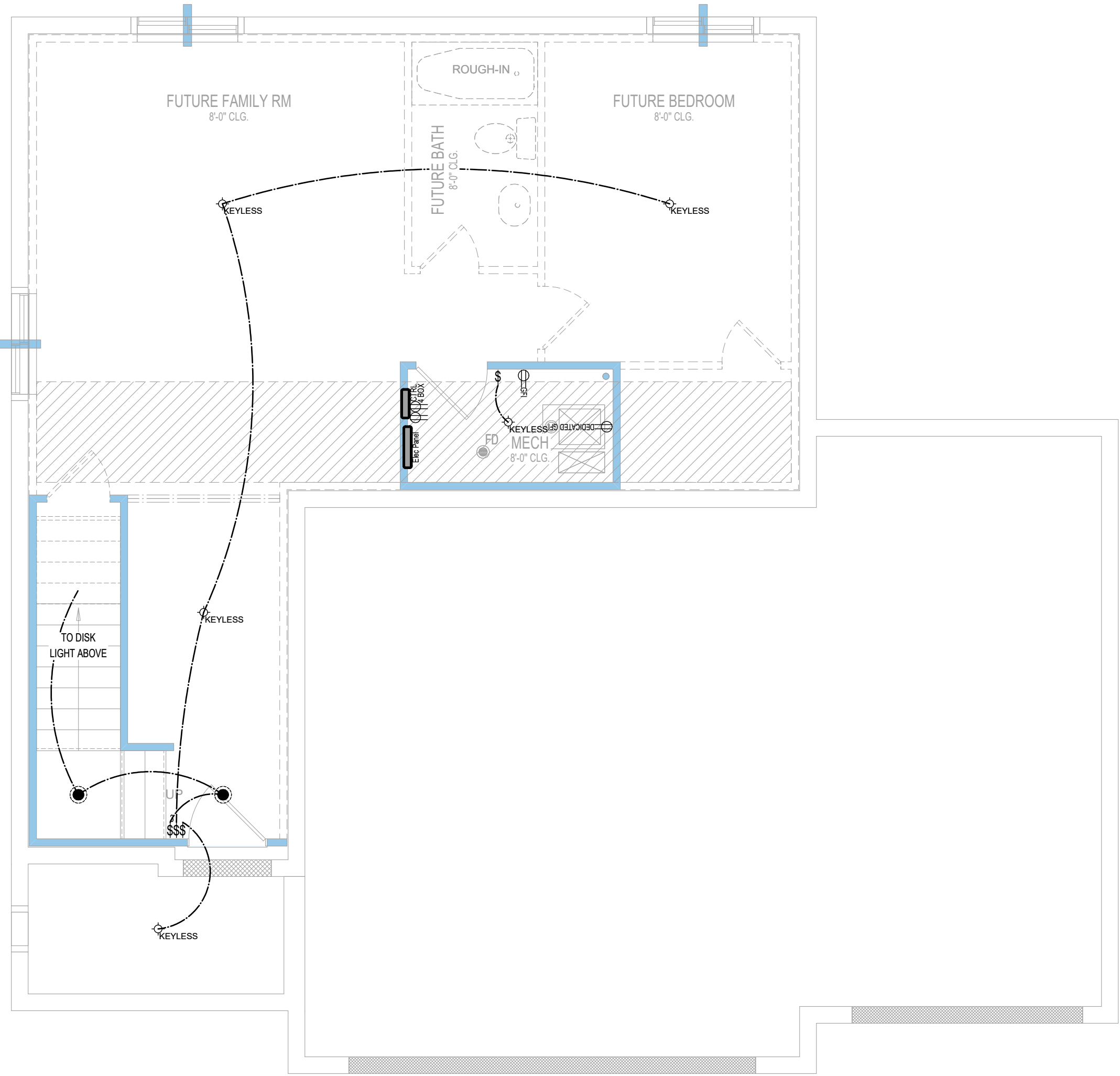
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SCALE: 1/4" = 1'-0"

SHEET:

6D



BASEMENT LEVEL FLOOR PLAN
ELECTRICAL LAYOUT

- ADD CONTROL4 DELUXE SMART HOME AUTOMATION PACKAGE
- LOCATIONS OF ELECTRICAL TERMINATIONS AND ELECTRICAL PANEL ARE APPROXIMATE ONLY, UNLESS NOTED OTHERWISE ON SPECIFIED HOME PLANS
- WIRING FOR FUTURE SATELLITE INCLUDED
- ALL INTERIOR LIGHTS TO BE L.E.D.

ELECTRICAL SYMBOL LEGEND

OUTLETS

	DUPLEX OUTLET
	USB DUPLEX OUTLET
	CEILING OUTLET
	FLOOR OUTLET
	GROUND FAULT INTERRUPTER DUPLEX
	GFI DUPLEX 42" ABOVE FLOOR FINISH
	WEATHER PROOF GFI DUPLEX
	GFI DUPLEX FOR RADON FAN
	DEDICATED GFI DUPLEX
	DEDICATED GFI DUPLEX FOR HEAT TAPE
	220 VOLT OUTLET
	TV/DATA/ETHERNET RECEPTACLE

SWITCHES

	SINGLE POLE SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	CONTROL4 SMART HOME SWITCH
	3-WAY CONTROL4 SMART HOME SWITCH
	DIMMER SWITCH
	3-WAY DIMMER SWITCH

LIGHTING FIXTURES

	CEILING LIGHT FIXTURE
	6" L.E.D. DISK LIGHT
	RECESSED CAN LIGHT
	HANGING CEILING LIGHT FIXTURE
	KEYLESS LIGHT FIXTURE
	EXTERIOR WALL LIGHT FIXTURE
	WALL STRIP LIGHTING
	BATH FAN
	LED WALL STAIR LIGHT
	BOX FOR FUTURE FAN OR LIGHT
	PENDANT LIGHT
	FLOOD LIGHT
	UNDER CABINET LIGHTING
	CEILING FAN

ACCESSORIES & SERVICE

	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	DOOR BELL CHIME
	DOOR BELL BUTTON
	PROGRAMMABLE THERMOSTAT
	SINK GARBAGE DISPOSAL
	GARAGE DOOR OPENER BUTTON
	CONTROL 4 SERVICE PANEL
	ELECTRICAL SERVICE PANEL



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SADDLEWOOD
BASEMENT LEVEL FLOOR PLAN
ELECTRICAL LAYOUT

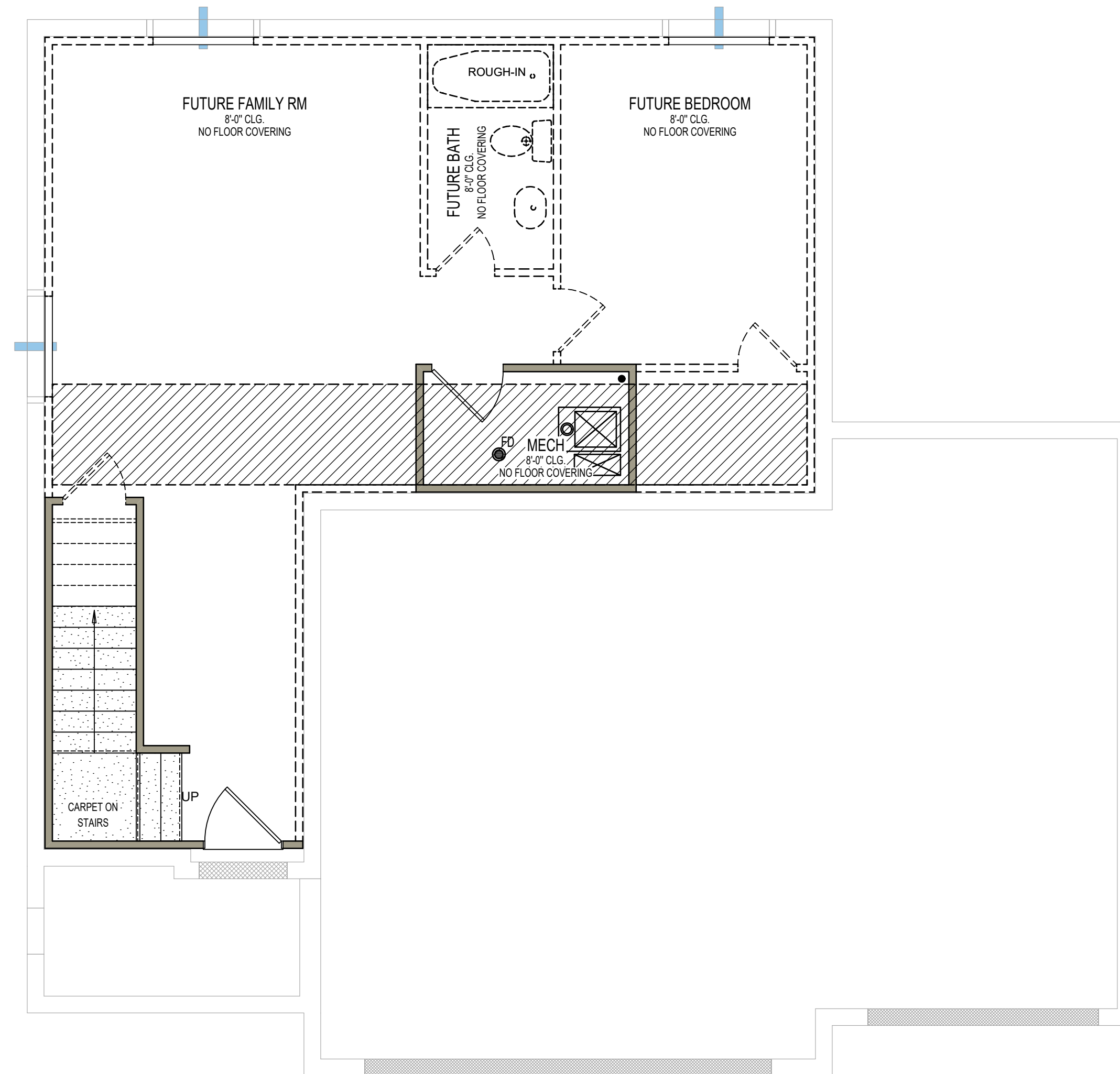
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Checked by: SALES

SCALE: 1/4" = 1'-0"

SHEET:

6E



BASEMENT LEVEL FLOOR PLAN

FINISHES & FLOORING
UNFINISHED BASEMENT



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Addendum

Proj: Vineyard 59
Client: Tanner Hunt & Ashleigh Loos

SADDLEWOOD BASEMENT LEVEL FLOOR PLAN FINISHES, & FLOORING

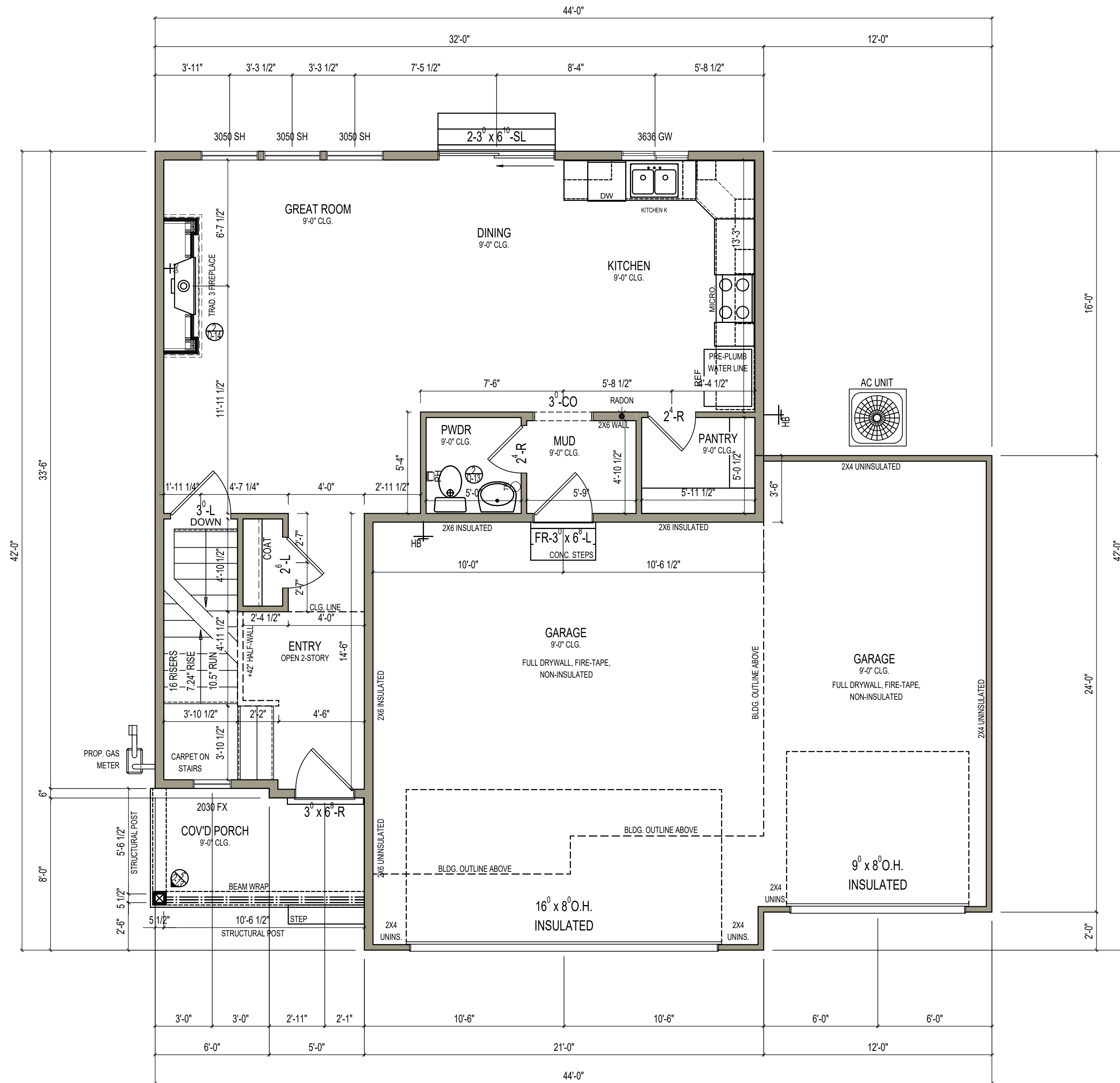
Date: 11/09/2020

Drawn By: CBM
Checked by: SALES

SCALE: 1/4" = 1'-0"

SHEET:

6F



MAIN LEVEL FLOOR PLAN
DIMENSION PLAN
9' CEILING HEIGHT UNLESS NOTED OTHERWISE



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Client: Tanner Hunt & Ashleigh Loos

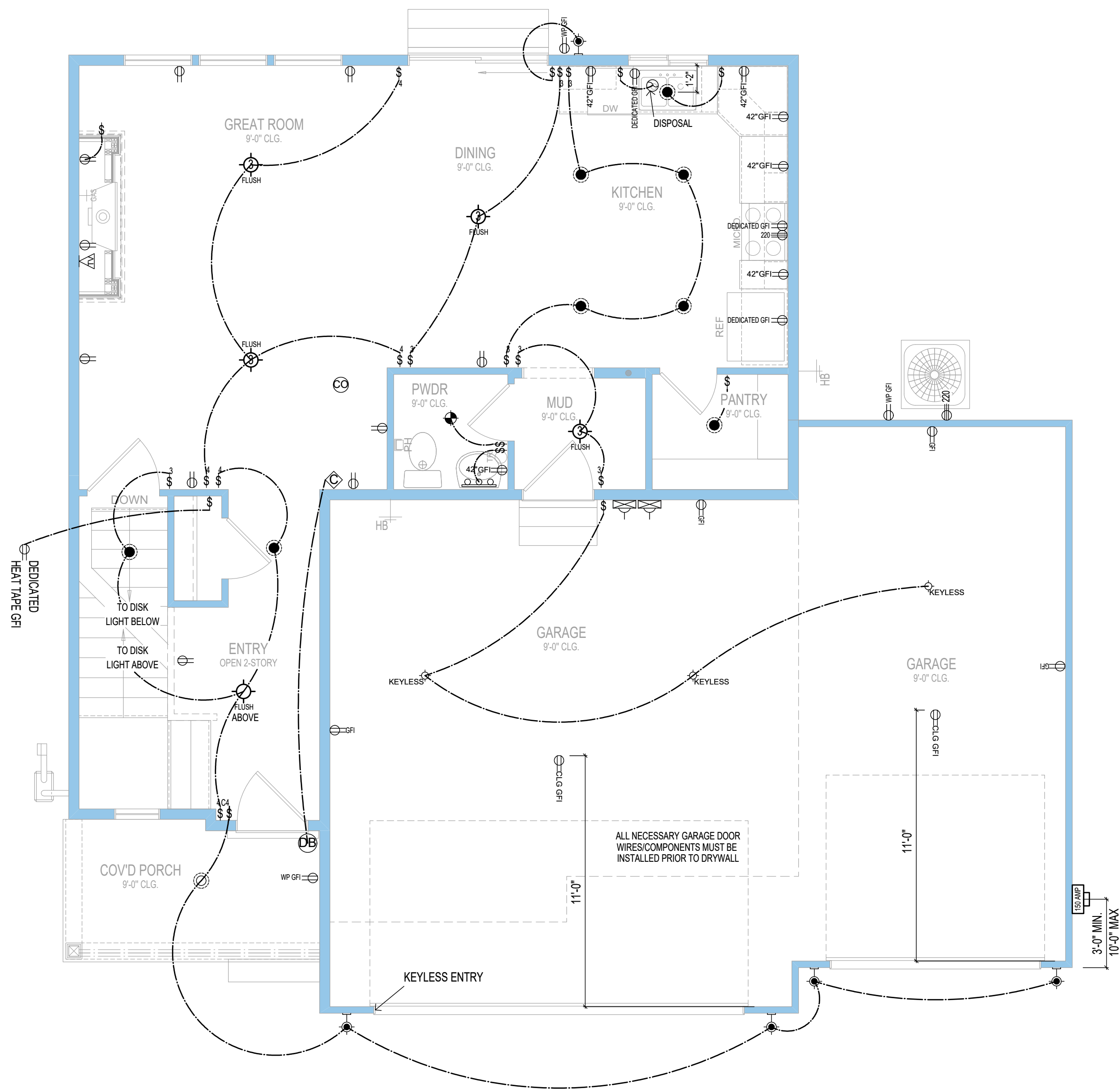
SADDLEWOOD
MAIN LEVEL FLOOR PLAN
DIMENSION PLAN

Date: 11/09/2020

Drawn By: CBM
Checked by: SALES

SCALE: 1/4" = 1'-0"






















SHEET:
7D



MAIN LEVEL FLOOR PLAN
ELECTRICAL LAYOUT

- ADD CONTROL4 DELUXE SMART HOME AUTOMATION PACKAGE
- LOCATIONS OF ELECTRICAL TERMINATIONS AND ELECTRICAL PANEL ARE APPROXIMATE ONLY, UNLESS NOTED OTHERWISE ON SPECIFIED HOME PLANS
- WIRING FOR FUTURE SATELLITE INCLUDED
- ALL INTERIOR LIGHTS TO BE L.E.D.

ELECTRICAL SYMBOL LEGEND

OUTLETS	
	DUPLEX OUTLET
	USB DUPLEX OUTLET
	CEILING OUTLET
	FLOOR OUTLET
	GROUND FAULT INTERRUPTER DUPLEX
	WEATHER PROOF GFI DUPLEX
	GFI DUPLEX FOR RADON FAN
	DEDICATED GFI DUPLEX
	DEDICATED GFI DUPLEX FOR HEAT TAPE
	220 VOLT OUTLET
	TV/DATA/ETHERNET RECEPTACLE
SWITCHES	
	SINGLE POLE SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	CONTROL 4 SMART HOME SWITCH
	3-WAY CONTROL 4 SMART HOME SWITCH
	DIMMER SWITCH
	3-WAY DIMMER SWITCH
LIGHTING FIXTURES	
	CEILING LIGHT FIXTURE
	RECESSED CAN LIGHT
	HANGING CEILING LIGHT FIXTURE
	KEYLESS LIGHT FIXTURE
	EXTERIOR WALL LIGHT FIXTURE
	WALL STRIP LIGHTING
	BATH FAN
	LED WALL STAIR LIGHT
	BOX FOR FUTURE FAN OR LIGHT
	PENDANT LIGHT
	FLOOD LIGHT
	UNDER CABINET LIGHTING
	CEILING FAN
ACCESSORIES & SERVICE	
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	DOOR BELL CHIME
	DOOR BELL BUTTON
	PROGRAMMABLE THERMOSTAT
	SINK GARBAGE DISPOSAL
	GARAGE DOOR OPENER BUTTON
	CONTROL 4 SERVICE PANEL
	ELECTRICAL SERVICE PANEL

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Client: Tanner Hunt & Ashleigh Loos

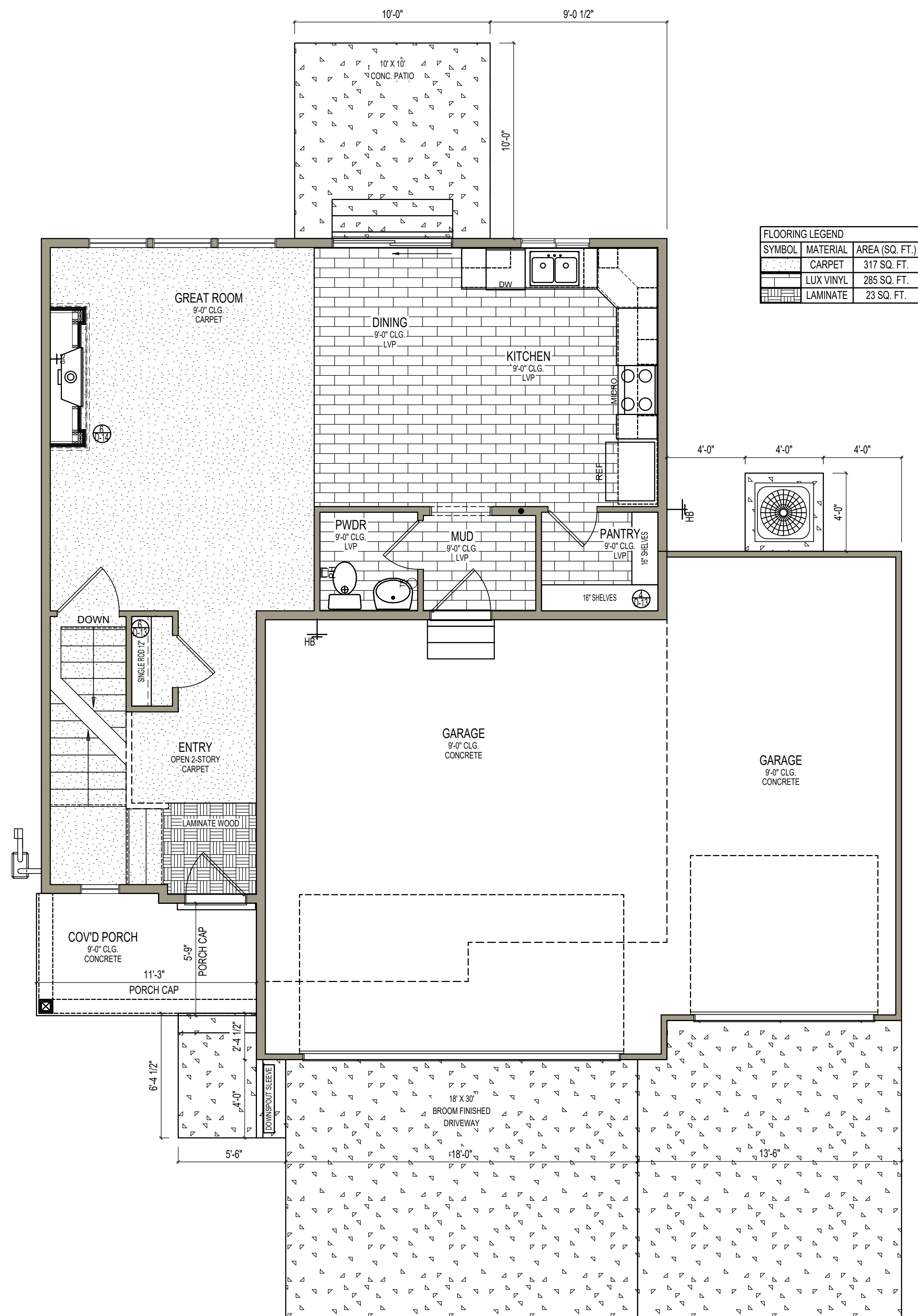
SADDLEWOOD
MAIN LEVEL FLOOR PLAN
ELECTRICAL LAYOUT

Date: 11/09/2020

Drawn By:CBM
Checked by: SALES

SCALE: 1/4" = 1'-0"

SHEET:
7E



MAIN LEVEL FLOOR PLAN
FINISHES, FLOORING & FLATWORK
JAMB & CASE ALL DOORS & WINDOWS

PLANS PRINTED ON 11 x 17 PAPER ARE 1/2 THE SCALE NOTED.



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SADDLEWOOD
MAIN LEVEL FLOOR PLAN
FINISHES, FLOORING, & FLATWORK

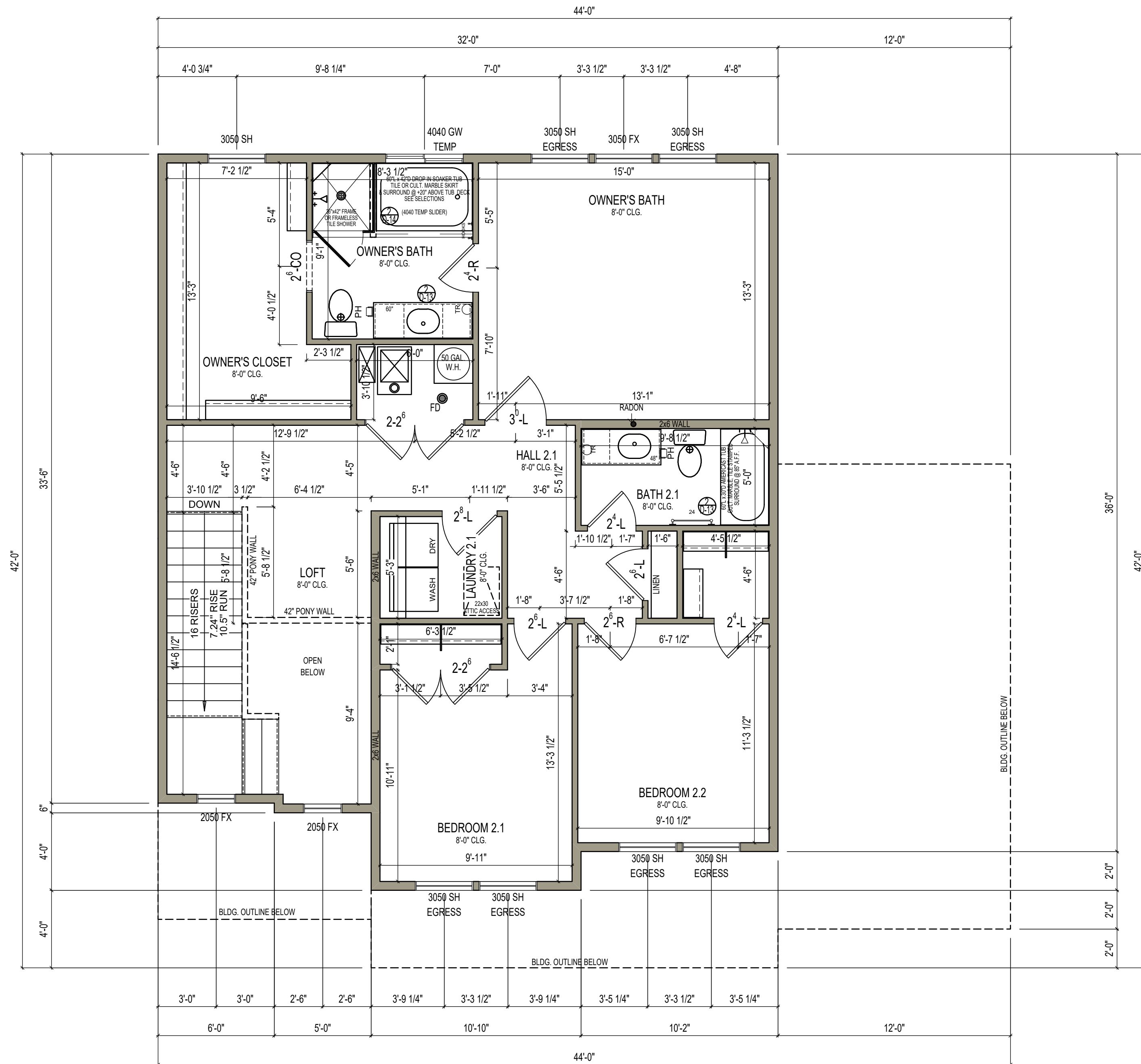
Date: 11/09/2020

Drawn By: CBM
Checked by: SALES

SCALE: 1/4" = 1'-0"

SHEET:

7F



SECOND LEVEL FLOOR PLAN

DIMENSION PLAN

8' CEILING HEIGHT UNLESS NOTED OTHERWISE



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Client: Tanner Hunt & Ashleigh Loos

SADDLEWOOD

SECOND LEVEL FLOOR PLAN

DIMENSION PLAN

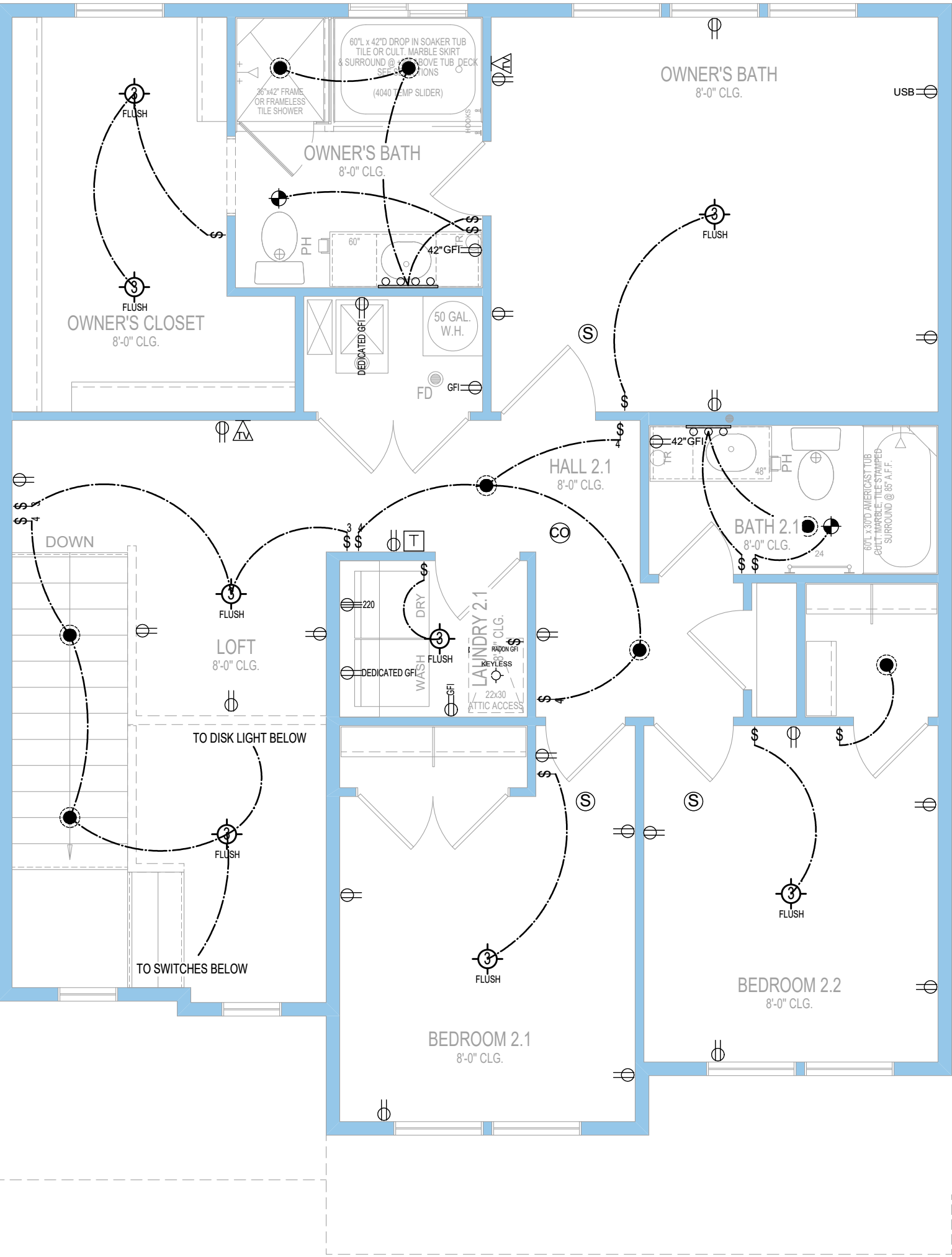
Date: 11/09/2020

Drawn By: CBM
Checked by: SALES

SCALE: 1/4" = 1'-0"

SHEET:

8D



SECOND LEVEL FLOOR PLAN
ELECTRICAL LAYOUT

- ADD CONTROL4 DELUXE SMART HOME AUTOMATION PACKAGE
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ELECTRICAL SYMBOL LEGEND

OUTLETS	
	DUPLEX OUTLET
	USB DUPLEX OUTLET
	CEILING OUTLET
	FLOOR OUTLET
	GROUND FAULT INTERRUPTER DUPLEX
	GFI DUPLEX 42" ABOVE FLOOR FINISH
	WEATHER PROOF GFI DUPLEX
	GFI DUPLEX FOR RADON FAN
	DEDICATED GFI DUPLEX
	DEDICATED GFI DUPLEX FOR HEAT TAPE
	220 VOLT OUTLET
	TV/DATA/ETHERNET RECEPTACLE
SWITCHES	
	SINGLE POLE SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	CONTROL4 SMART HOME SWITCH
	3-WAY CONTROL4 SMART HOME SWITCH
	DIMMER SWITCH
	3-WAY DIMMER SWITCH
LIGHTING FIXTURES	
	CEILING LIGHT FIXTURE
	6" L.E.D. DISK LIGHT
	RECESSED CAN LIGHT
	HANGING CEILING LIGHT FIXTURE
	KEYLESS LIGHT FIXTURE
	EXTERIOR WALL LIGHT FIXTURE
	WALL STRIP LIGHTING
	BATH FAN
	LED WALL STAIR LIGHT
	BOX FOR FUTURE FAN OR LIGHT
	PENDANT LIGHT
	FLOOD LIGHT
	UNDER CABINET LIGHTING
	CEILING FAN
ACCESSORIES & SERVICE	
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	DOOR BELL CHIME
	DOOR BELL BUTTON
	PROGRAMMABLE THERMOSTAT
	SINK GARBAGE DISPOSAL
	GARAGE DOOR OPENER BUTTON
	CONTROL 4 SERVICE PANEL
	ELECTRICAL SERVICE PANEL

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SADDLEWOOD
SECOND LEVEL FLOOR PLAN
ELECTRICAL LAYOUT

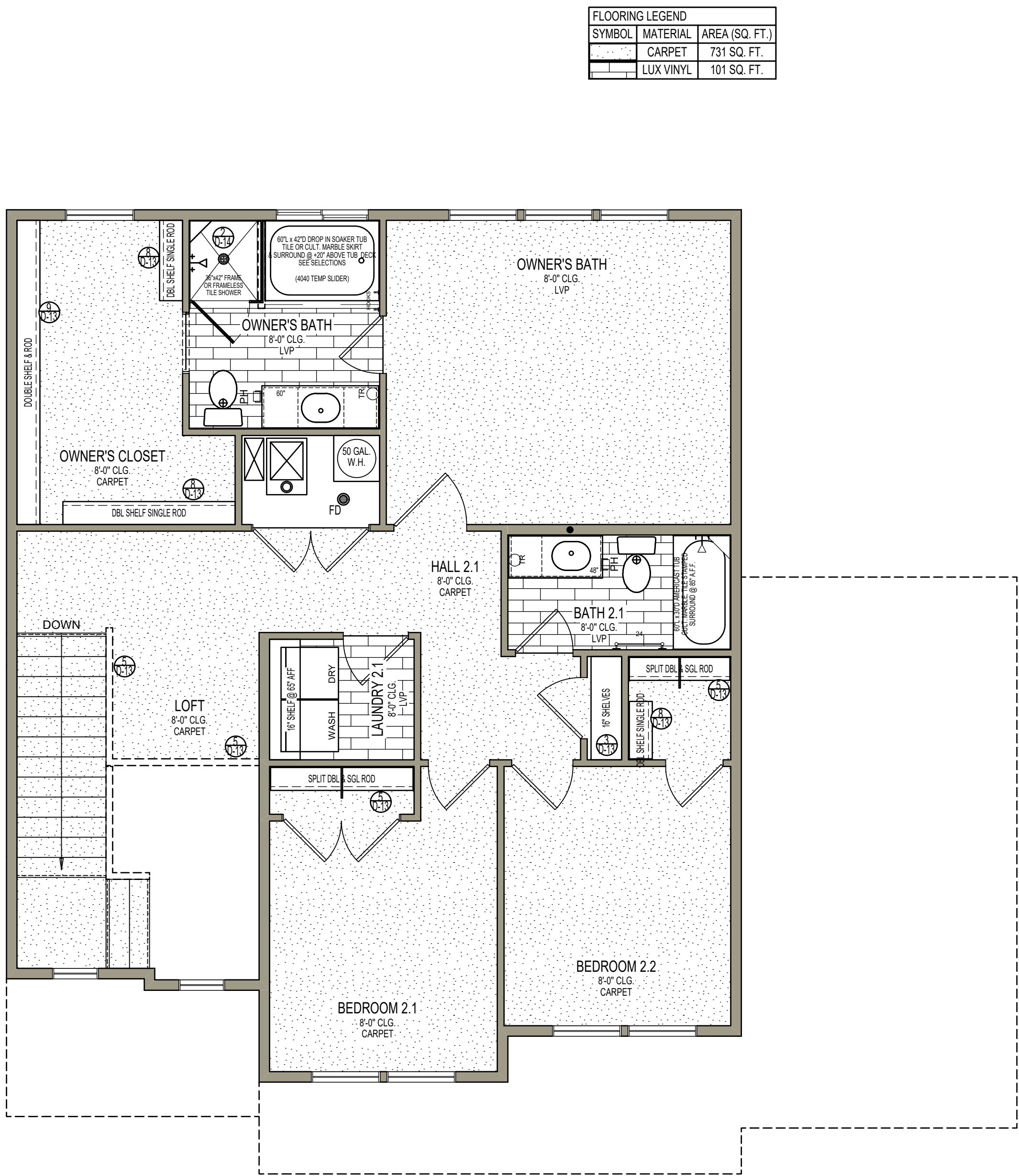
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SECOND LEVEL FLOOR PLAN

FINISHES & FLOORING

JAMB & CASE ALL DOORS & WINDOWS



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SADDLEWOOD

SECOND LEVEL FLOOR PLAN

FINISHES, & FLOORING

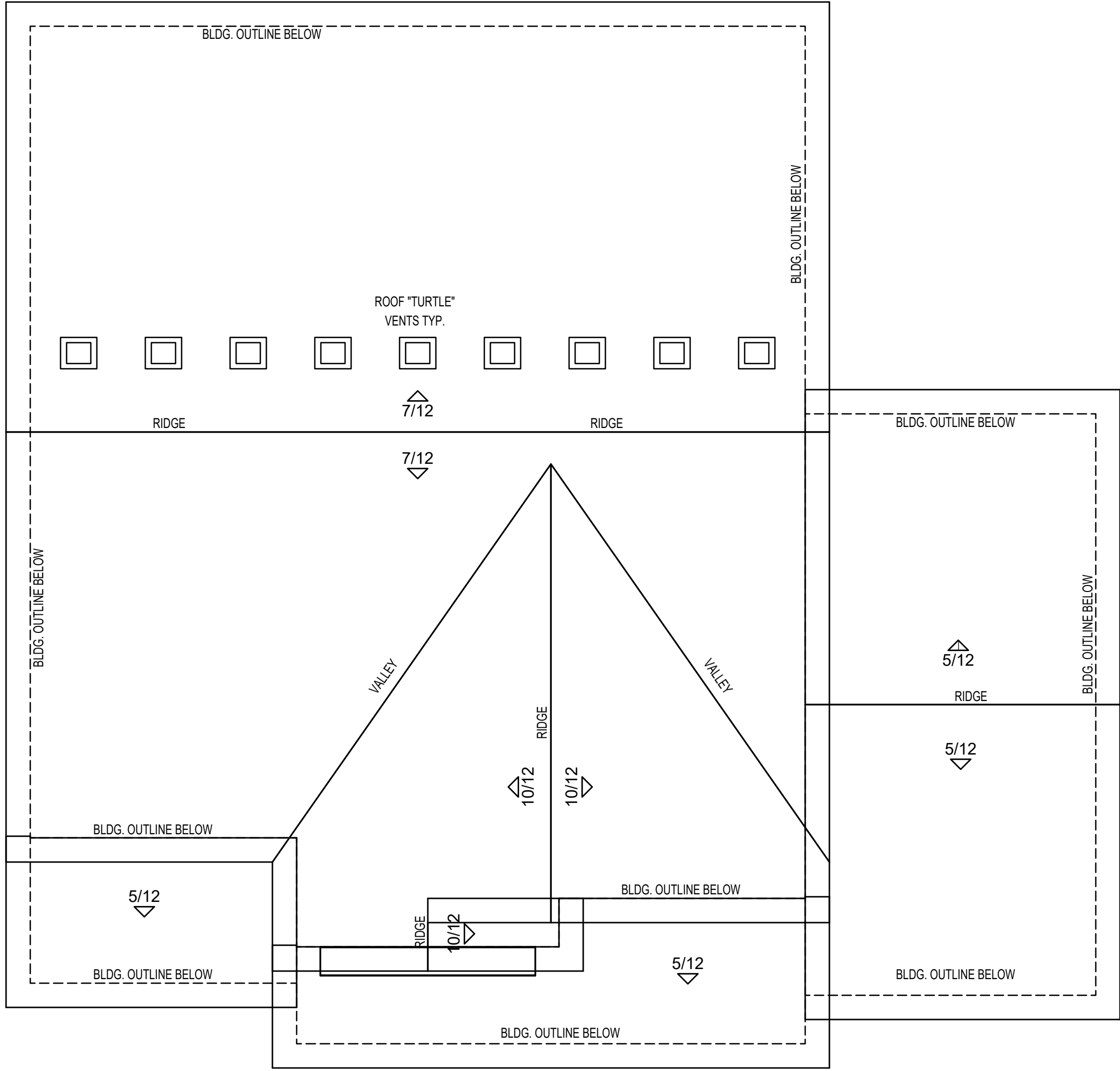
Date: 11/09/2020

Drawn By: CBM
Checked by: SALES

SCALE: 1/4" = 1'-0"

SHEET:

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ROOF PLAN
BIRDS-EYE VIEW



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SADDLEWOOD
ROOF PLAN
BIRDS-EYE VIEW

Date: 11/09/2020

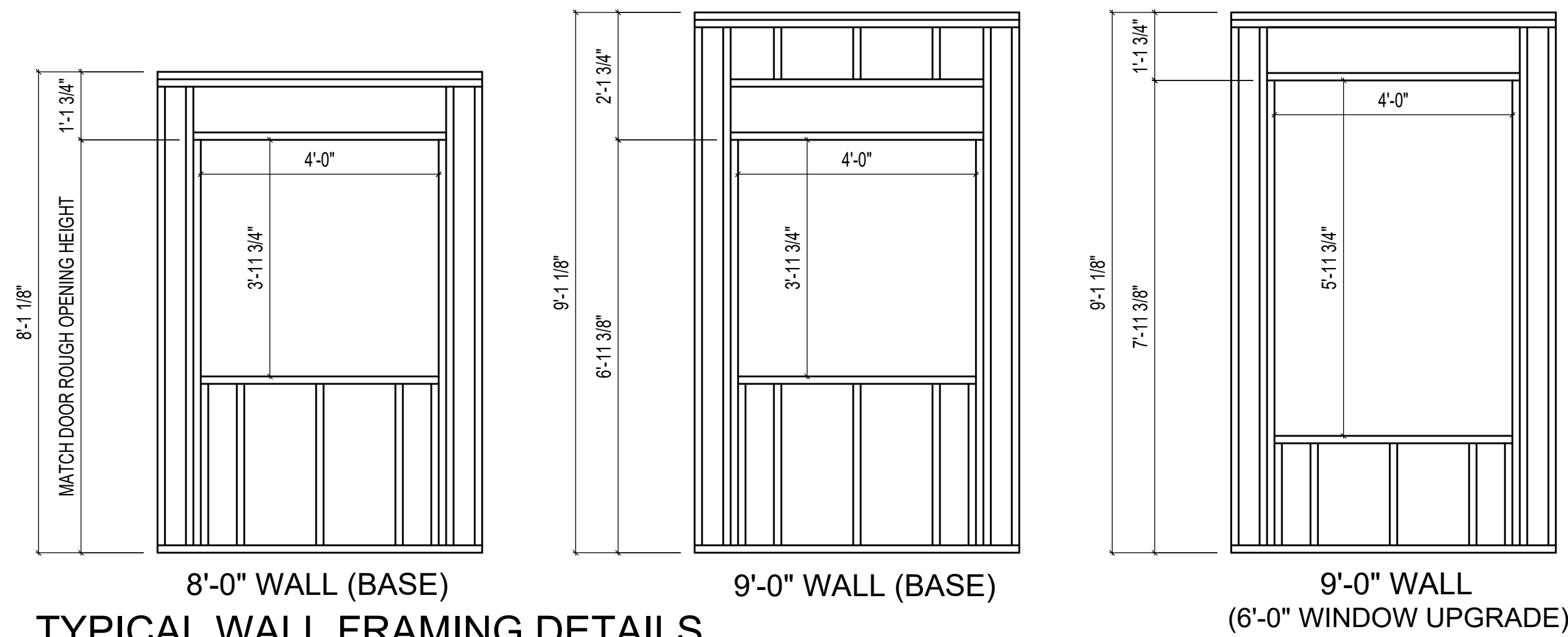
Drawn By: CBM
Checked by: SALES

SCALE: 1/4" = 1'-0"

SHEET:

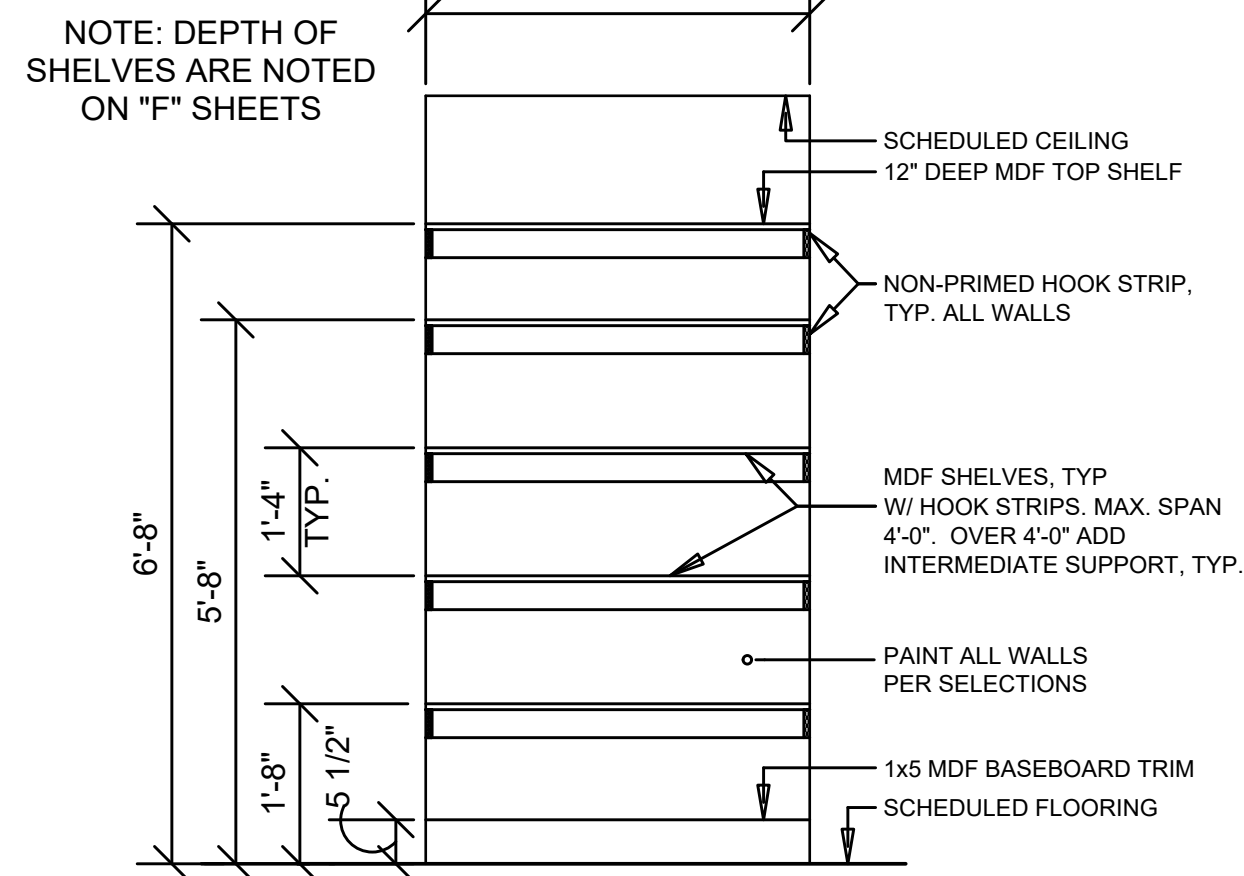
11

FRAME WINDOW HEIGHTS 1/4" SMALLER FOR IDEAL WINDOW FITS



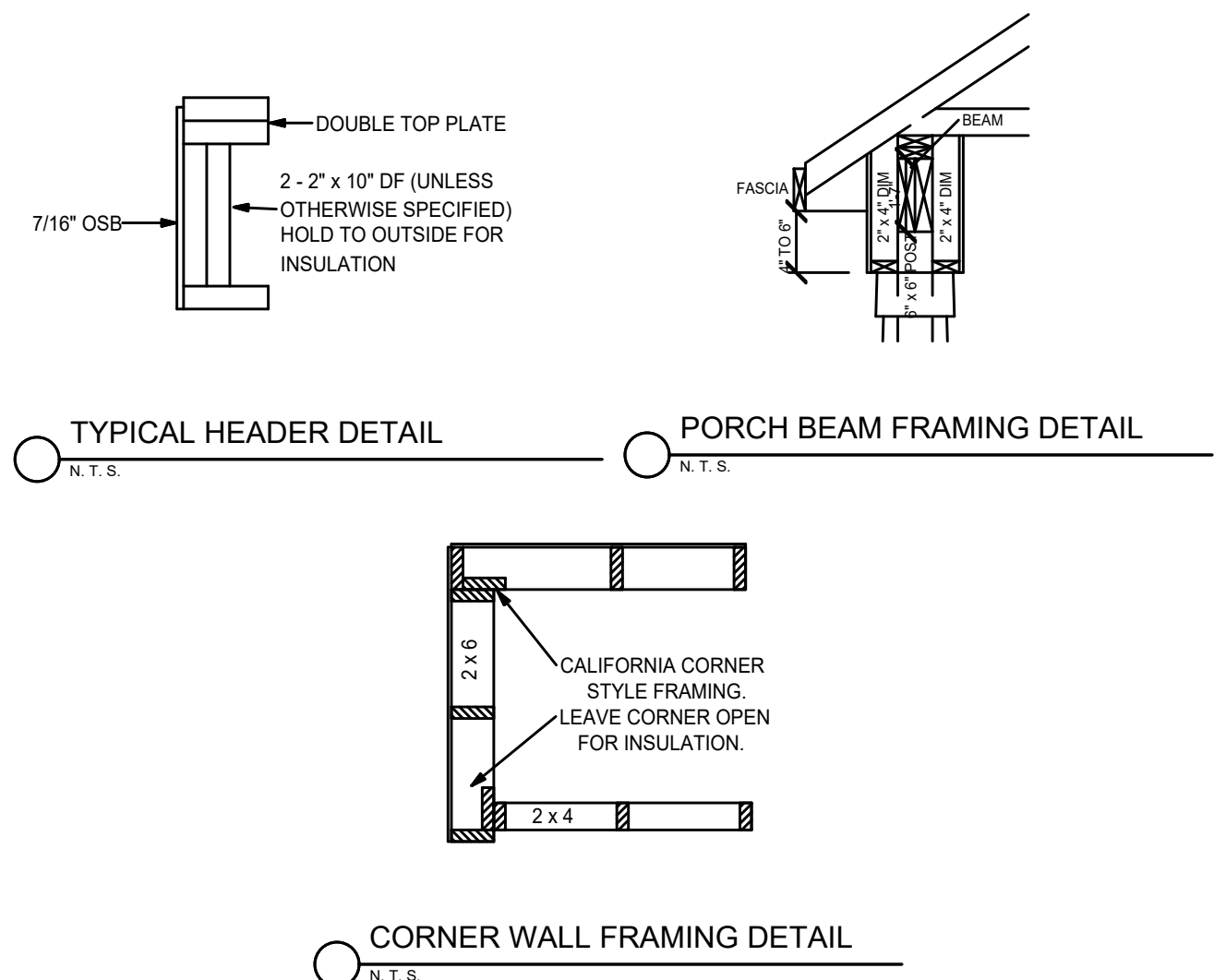
10 TYPICAL WALL FRAMING DETAILS

SCALE: 1/2" = 1'-0"



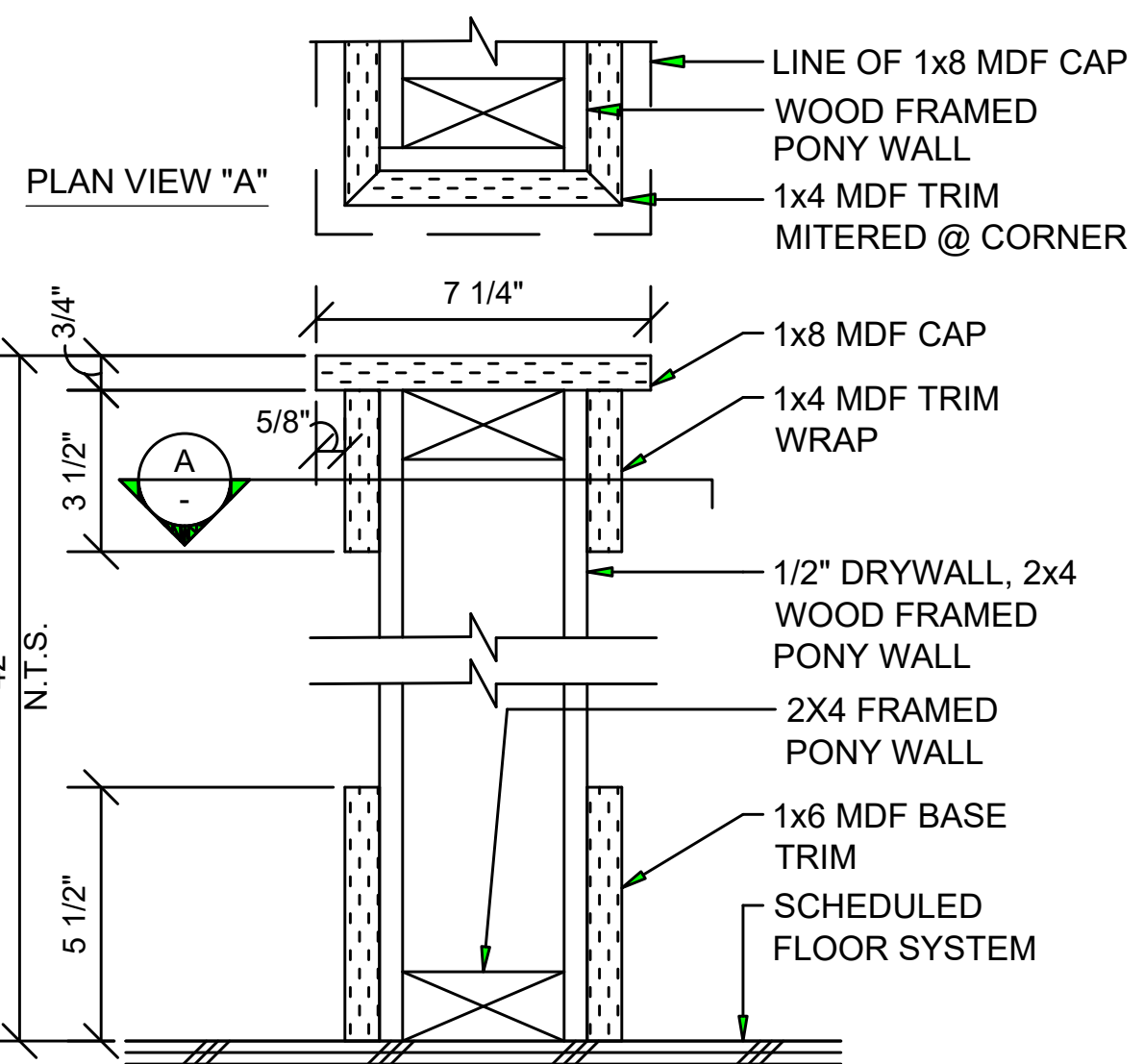
4 SHELVING (9' CEILING)

SCALE: 1/2" = 1'-0"



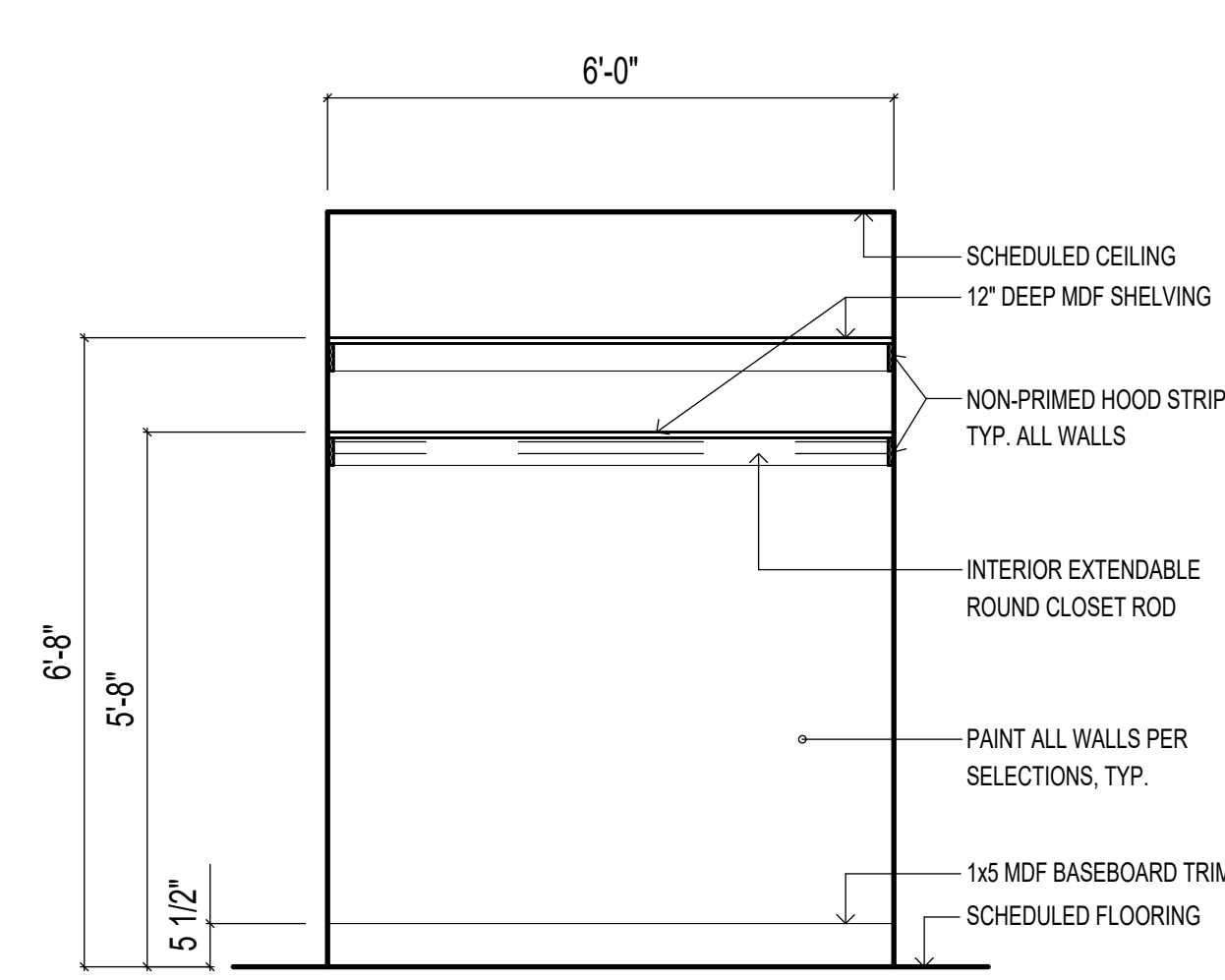
1 TYP. FRAMING DETAILS

SCALE: N.T.S.



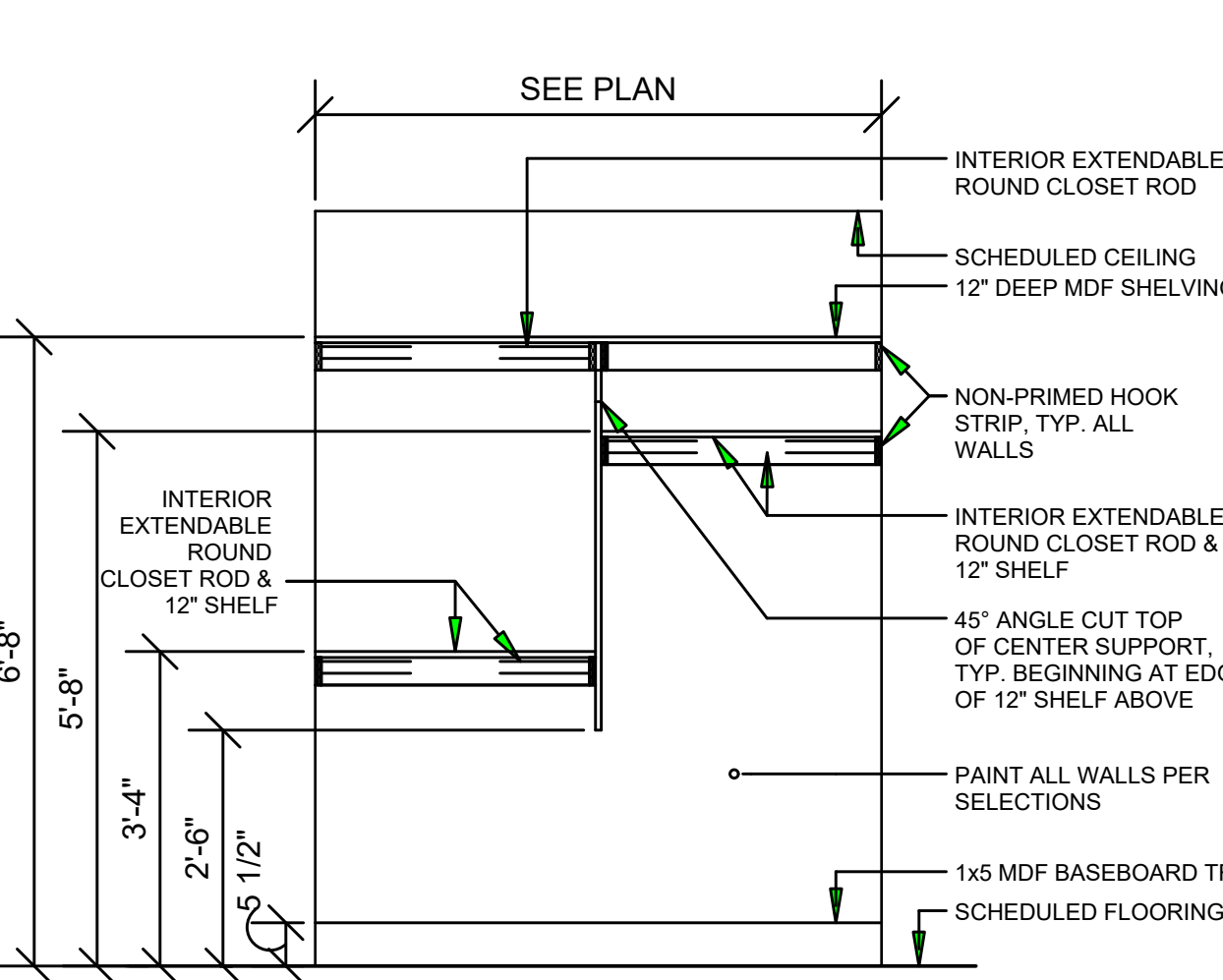
11 42" PONY WALL SECTION DETAIL

SCALE: 3" = 1'-0"



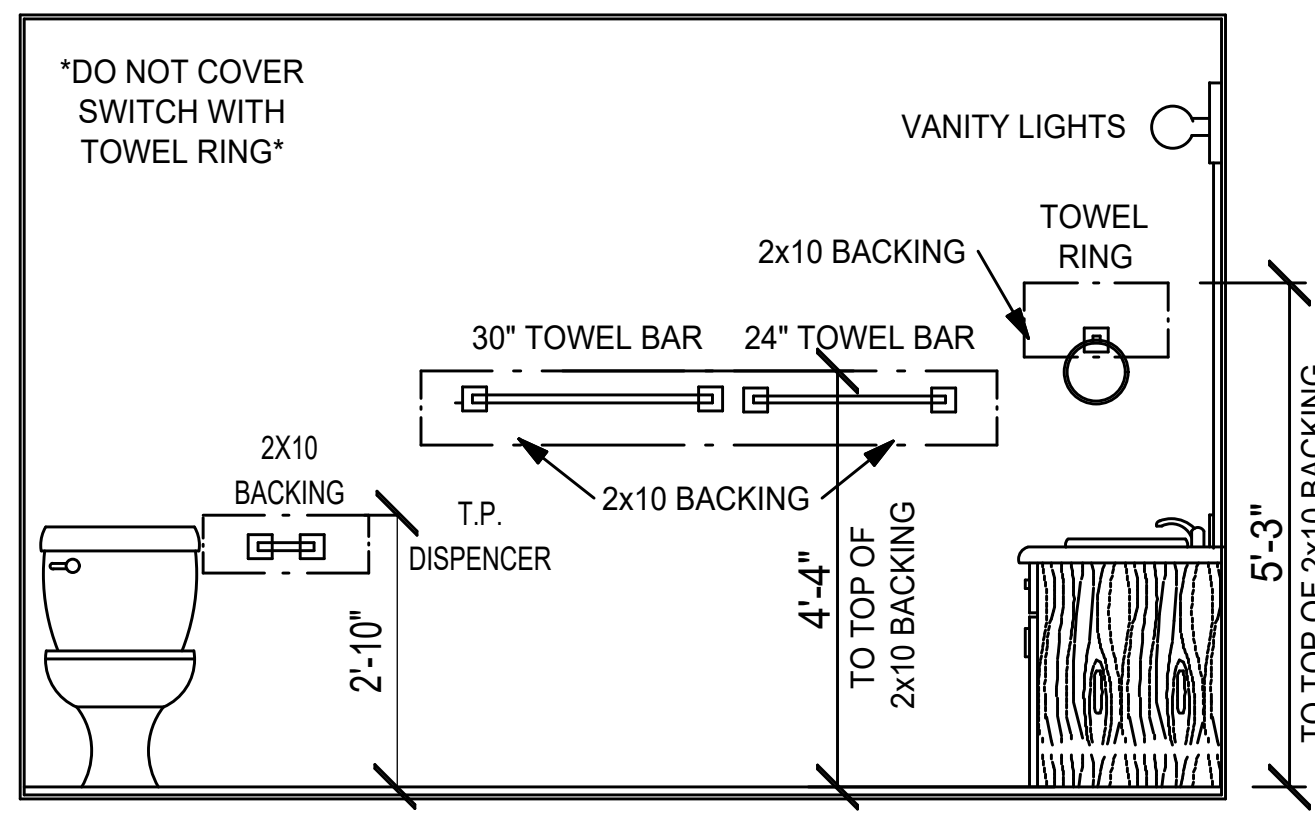
8 SINGLE ROD, DOUBLE SHELVES

SCALE: 1/2"=1'-0"



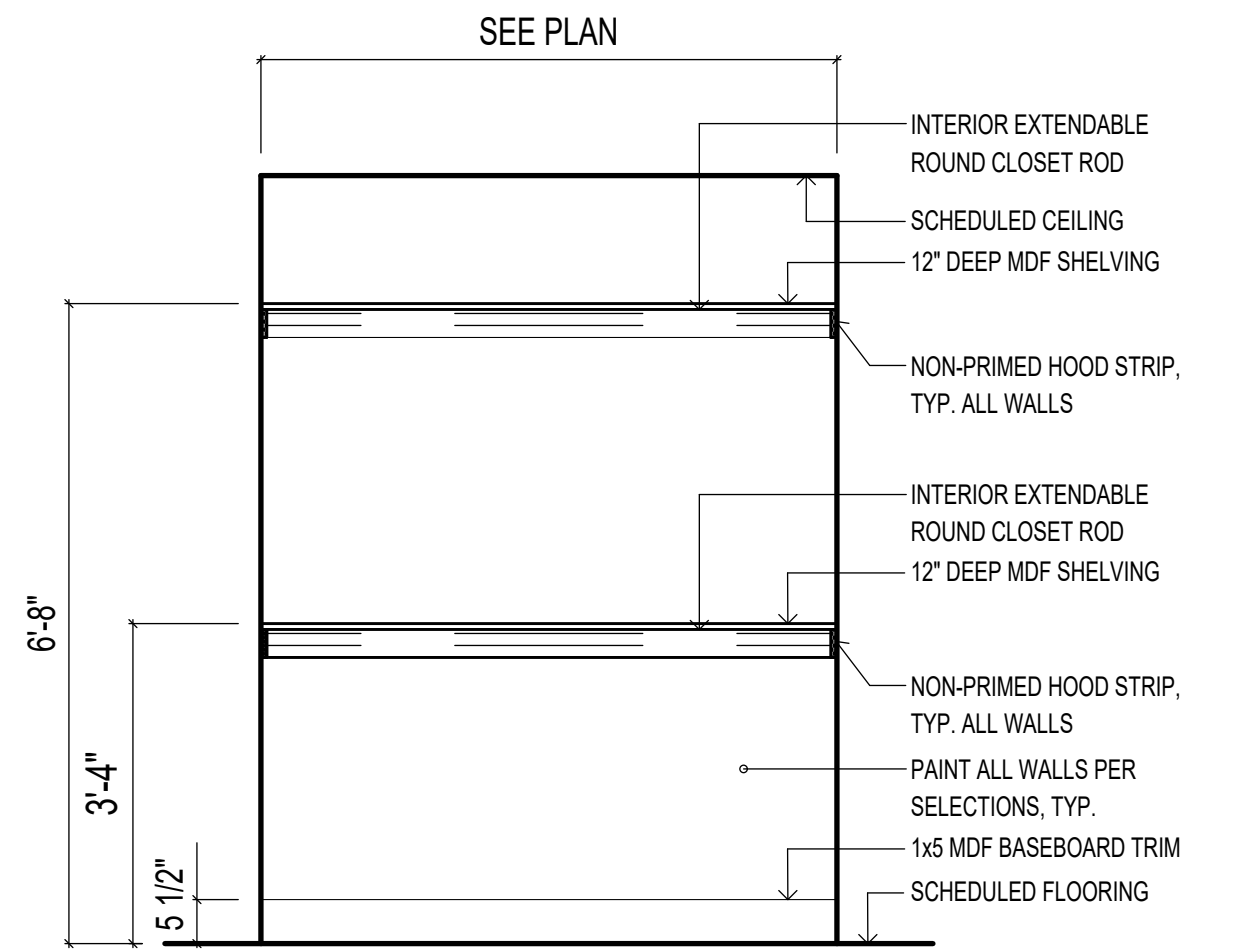
5 SPLIT CLOSET SHELVING

SCALE: 1/2" = 1'-0"



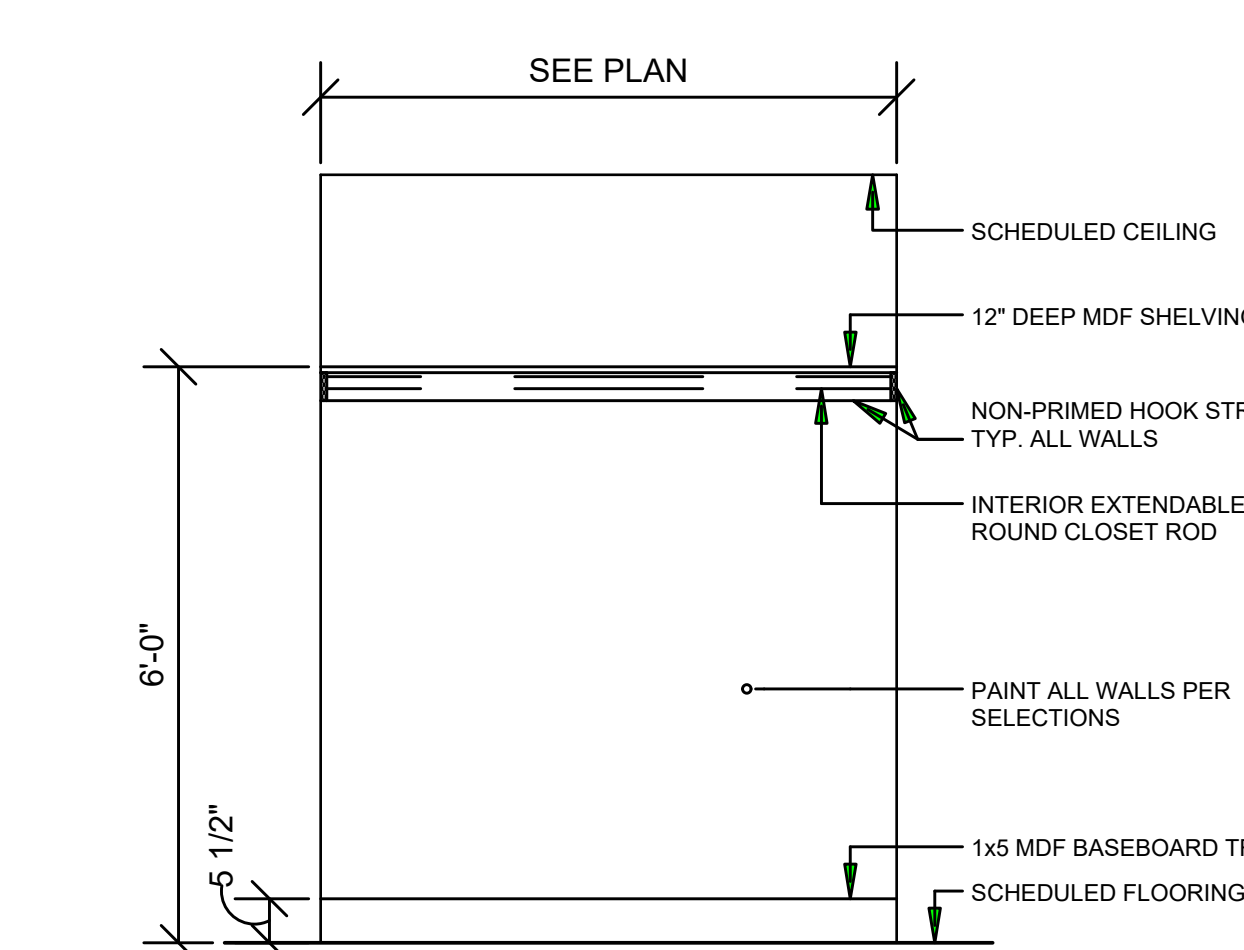
2 HARDWARE BACKING DETAIL

SCALE: 1/2" = 1'-0"



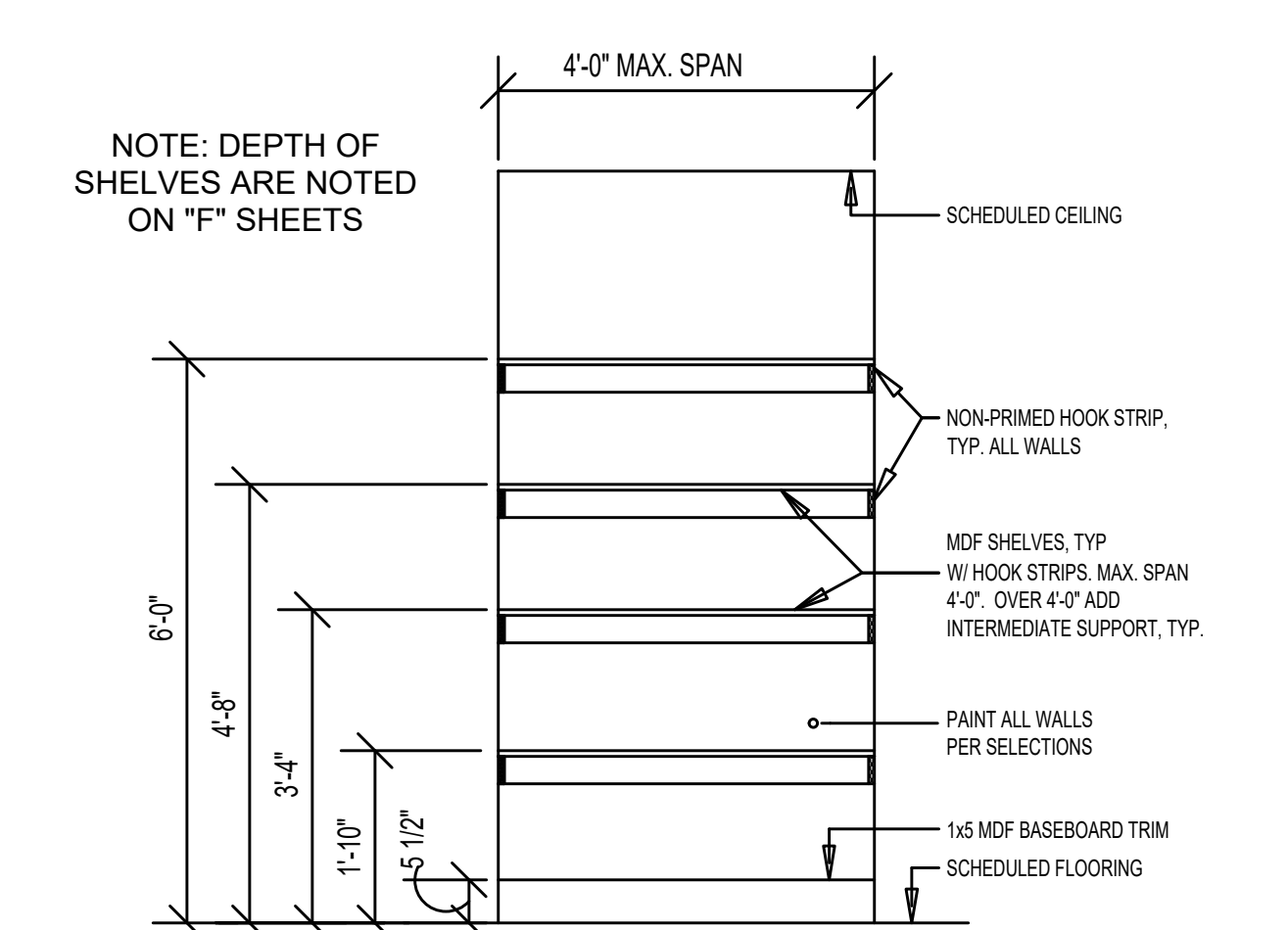
9 DOUBLE ROD, DOUBLE SHELVES

SCALE: 1/2"=1'-0"



6 SINGLE ROD CLOSET SHELVING

SCALE: 1/2" = 1'-0"



3 SHELVING (8' CEILING)

SCALE: 1/2" = 1'-0"

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SADDLEWOOD
DETAILS

Date: 11/09/2020

Drawn By: CBM
Checked by: SALES

SCALE: 1/4" = 1'-0"

SHEET:

D-13

