



FLOOR PLAN BOOKLET

Master Layout Sector 3A-Cluster 2



Legend:

- 1. Entry
- 2. Security Cabin
- 3. Footpath
- 4. 12 M Wide Road
- 5. 1.5 M Flushed Pathway
- 6. Driveway

- 7. Parking
- 8. Shopping Promenade
- 9. Drop Off
- 10. Entry To MLCP
- 11. Round About
- 12. Jogging Track
- 13. Multipurpose Lawn

- 14. Seating Area
- 15. Kids' Play Area
- 16. Gazebo
- 17. Amphitheatre
- 18. Basketball Court on Ground
- 19. Floor Games

- 20. Outdoor Gym
- 21. Skating Rink
- 22. Sculpture
- 23. Outdoor Screen
- 24. Board Games
- 25. Iconic Sculpture
- 26. Plantation

- 27. Futsal Court
- 28. Tennis Court
- 29. Basketball Court on MLCP
- 30. Mini Golf



Master Layout
Sector 3A-Cluster 1B



Legends:

- 1. Infant Play Area
- 2. Basketball Court
- 3. Outdoor Gym

- 4. Multipurpose Lawn
- 5. Stage
- 6. Amphitheatre
- 7. Kids' Play Area

- 8. Senior Seating Area
- 9. Board Games
- 10. Cabana
- 11. Barbeque

- 12. Seating Area
- 13. Gazebo
- 14. Walkway
- 15. Plantation

INTERNAL SPECIFICATIONS

FLOORING

- Vitrified flooring in living, dining, bedroom, kitchen and passage

KITCHEN

- Granite kitchen platform with marble support
- Stainless steel sink
- Tile dado above platform

ELECTRICAL

- Electrical wiring & fitting of concealed type P.V.C. conduit - good quality wires
- All switches of reputed make
- One ELCB per flat and MCB for each room
- TV, Internet, AC point, Ceiling Fan point and regulator point in living
- TV, AC point, Ceiling Fan point and regulator point in bedroom
- Ceiling Fan point and regulator in kitchen

DOORS

- Flushed Doors in living and bedrooms with the laminate finish on both sides

WINDOWS

- Sliding windows with clear glass
- Decorative M. S. railing for living room balcony & kitchen utility
- M. S. grills for bedroom windows
- Mosquito net for bedroom and living room

PAINTING

- All walls painted in premium quality paint

SANITARY

- Anti-skid tiles for all toilets flooring
- All toilets with tiles dado up to beam bottom level
- State-of-the-art CP fittings and sanitary fixtures
- Instant geyser and hot-cold water mixer in shower area
- Dry area - aluminium glass door
- Well-ventilated bathrooms
- Mirror above wash basin
- Elegant false ceilings in toilets

SECURITY

- Intercom system in each flat
- Fire fighting and fire alarm system for entire building



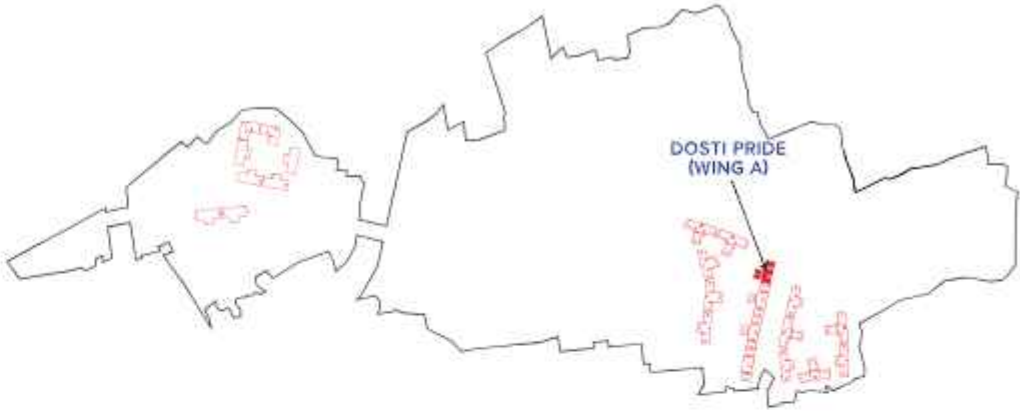
Please Note : All Actual Images of show flat, The furniture, fixtures, accessories, paintings, electronic goods, fittings, decorative items, utensils, false ceiling, finishing material, specifications, features, shades, sizes and colours of tiles etc. are for showcasing purpose only and do not form part of the actual amenities provided in the flat. The actual amenities as mentioned in the Agreement for sale shall be final and provided in the flats.

TYPICAL FLOOR PLAN

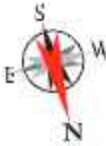
DOSTI PRIDE (WING A)

1st to 7th, 9th to 12th, 14th to 17th,
19th to 22nd, 24th to 27th & 29th (T2-A)

1 BHK - FLAT NO. 1 - 14	SQ. MTRS.	SQ. FT.*
Rera Carpet Area	24.98	269
Enclosed Balcony	5.7	61
Open Balcony Area	0.83	9
Total Usable Area	31.51	339



Please Note: The interiors, furniture, fittings, fixtures, etc. shown in the image/drawing are only artist's conception and not part of actual amenities provided. The actual amenities as mentioned in the Agreement for Sale shall be final and provided in the flats. All dimensions of carpet area are from unfinished wall surface. Minor variations/tolerance of +/- 3% in carpet area may occur on account of design and/or construction exigencies.

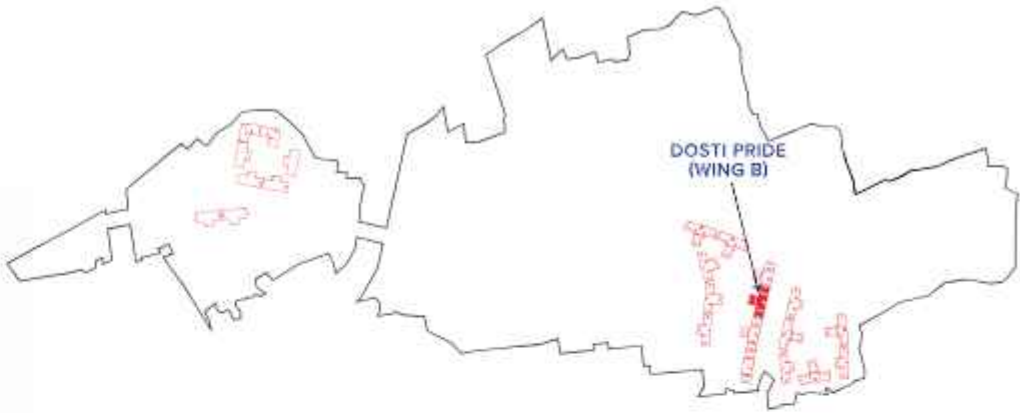


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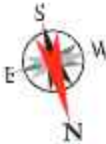
DOSTI PRIDE (WING B)

1st to 7th, 9th to 12th, 14th to 17th, 19th to 22nd,
24th to 27th & 29th (T1-I)

1 BHK - FLAT NO. 1 - 18	SQ. MTRS.	SQ. FT.*
Rera Carpet Area	24.98	269
Enclosed Balcony	5.7	61
Open Balcony Area	0.83	9
Total Usable Area	31.51	339



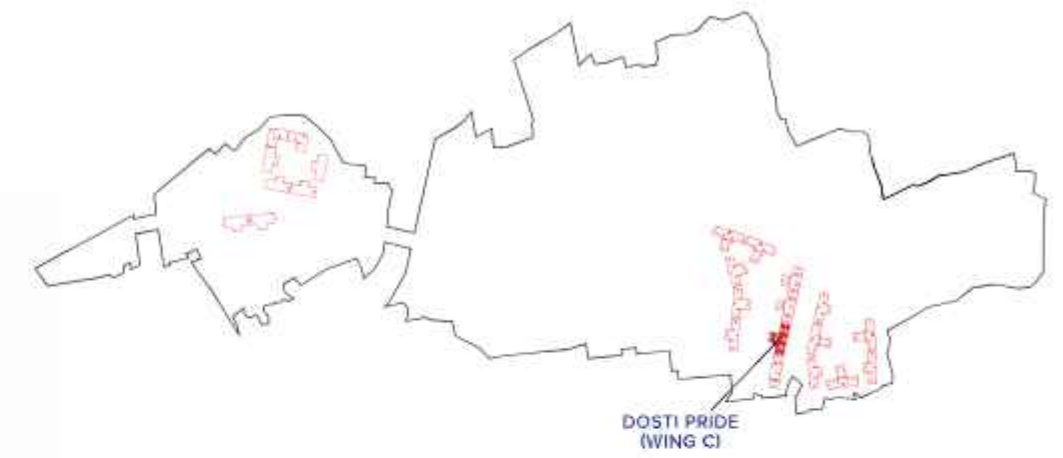
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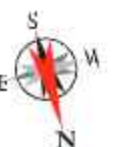
DOSTI PRIDE (WING C)

1st to 7th, 9th to 12th, 14th to 17th, 19th to 22nd,
24th to 27th & 29th **(T1-J)**

1 BHK - FLAT NO. 1 - 1B	SQ. MTRS.	SQ. FT.*
Rera Carpet Area	24.98	269
Enclosed Balcony	5.7	61
Open Balcony Area	0.83	9
Total Usable Area	31.51	339



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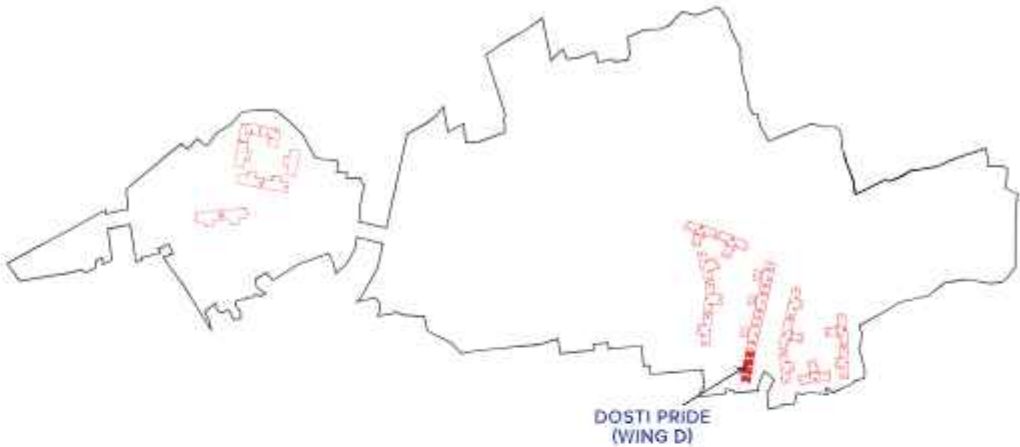


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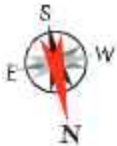
DOSTI PRIDE (WING D)

1st to 7th, 9th to 12th, 14th to 17th, 19th to 22nd,
24th to 27th & 29th (T5-B)

1 BHK - FLAT NO. 1 - 14	SQ. MTRS.	SQ. FT.*
Rera Carpet Area	24.98	269
Enclosed Balcony	5.7	61
Open Balcony Area	0.83	9
Total Usable Area	31.51	339



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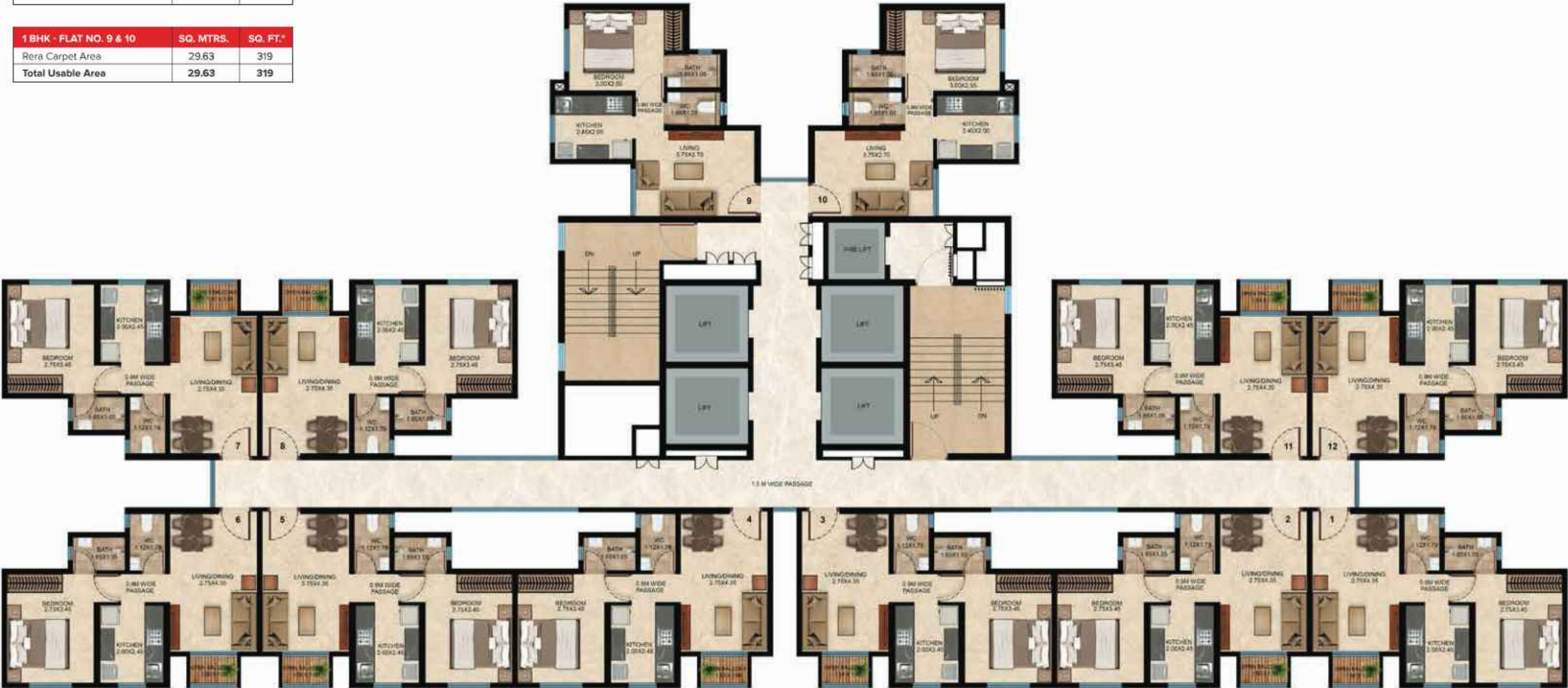
TYPICAL FLOOR PLAN

DOSTI CHARM (WING A)

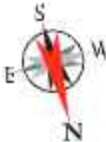
1st to 7th, 9th to 12th, 14th to 17th, 19th to 22nd,
24th to 27th, 29th & 30th (T3A-6)

1 BHK - FLAT NO. 1 - 8 & 11, 12	SQ. MTRS.	SQ. FT.*
Rera Carpet Area	34.45	371
Open Balcony Area	1.28	14
Total Usable Area	35.74	385

1 BHK - FLAT NO. 9 & 10	SQ. MTRS.	SQ. FT.*
Rera Carpet Area	29.63	319
Total Usable Area	29.63	319



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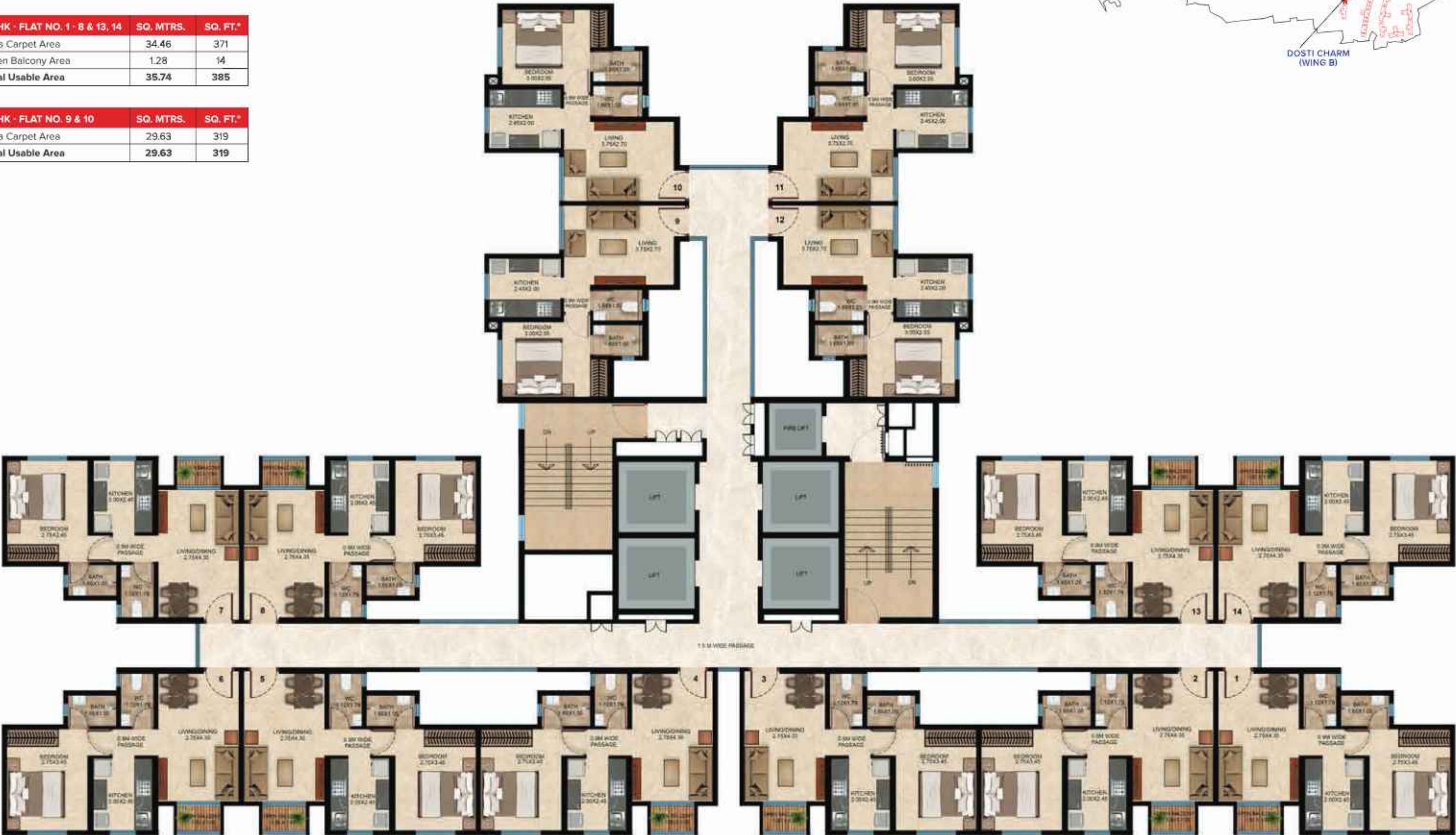
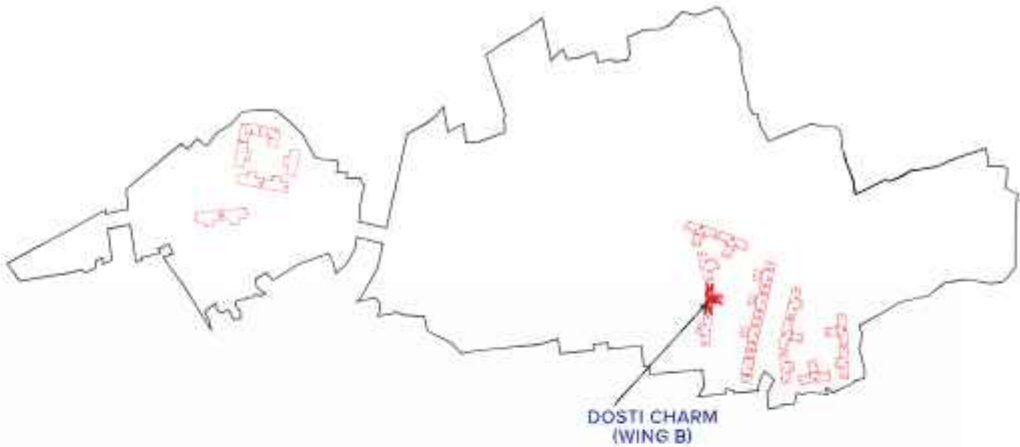
TYPICAL FLOOR PLAN

DOSTI CHARM (WING B)

1st to 7th, 9th to 12th, 14th to 17th, 19th to 22nd,
24th to 27th, 29th & 30th (T3-4)

1 BHK - FLAT NO. 1 - 8 & 13, 14	SQ. MTRS.	SQ. FT.*
Rera Carpet Area	34.46	371
Open Balcony Area	1.28	14
Total Usable Area	35.74	385

1 BHK - FLAT NO. 9 & 10	SQ. MTRS.	SQ. FT.*
Rera Carpet Area	29.63	319
Total Usable Area	29.63	319



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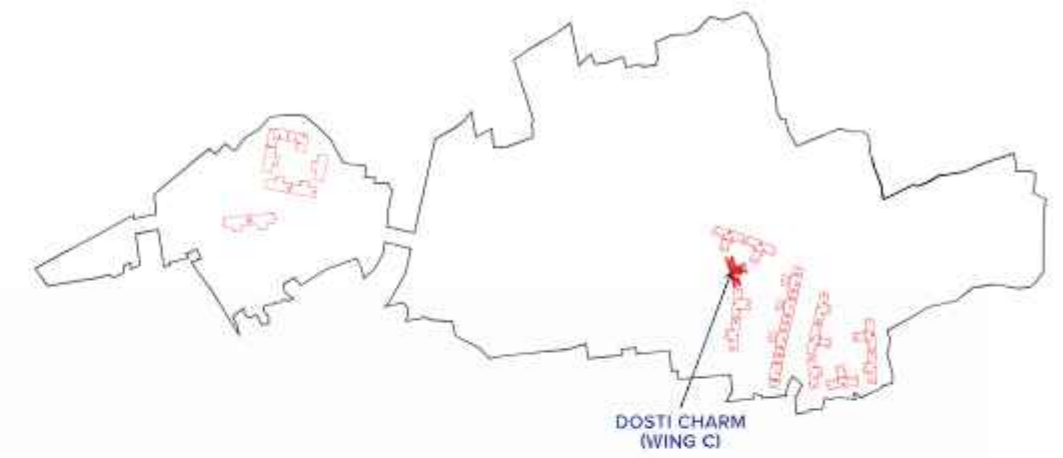
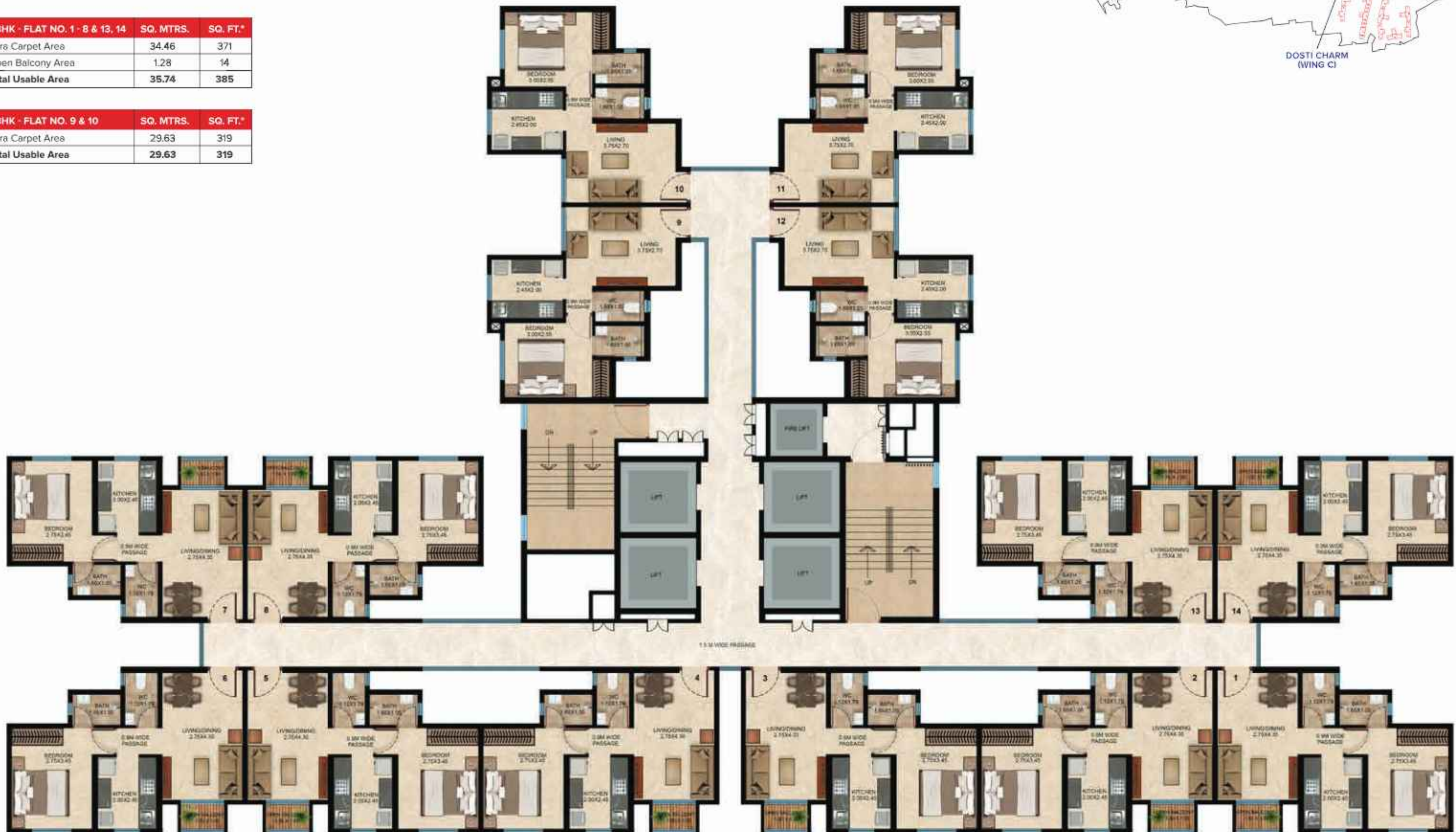
TYPICAL FLOOR PLAN

DOSTI CHARM (WING C)

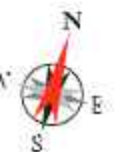
1st to 7th, 9th to 12th, 14th to 17th, 19th to 22nd,
24th to 27th, 29th & 30th (T3-3)

1 BHK - FLAT NO. 1 - 8 & 13, 14	SQ. MTRS.	SQ. FT.*
Rera Carpet Area	34.46	371
Open Balcony Area	1.28	14
Total Usable Area	35.74	385

1 BHK - FLAT NO. 9 & 10	SQ. MTRS.	SQ. FT.*
Rera Carpet Area	29.63	319
Total Usable Area	29.63	319



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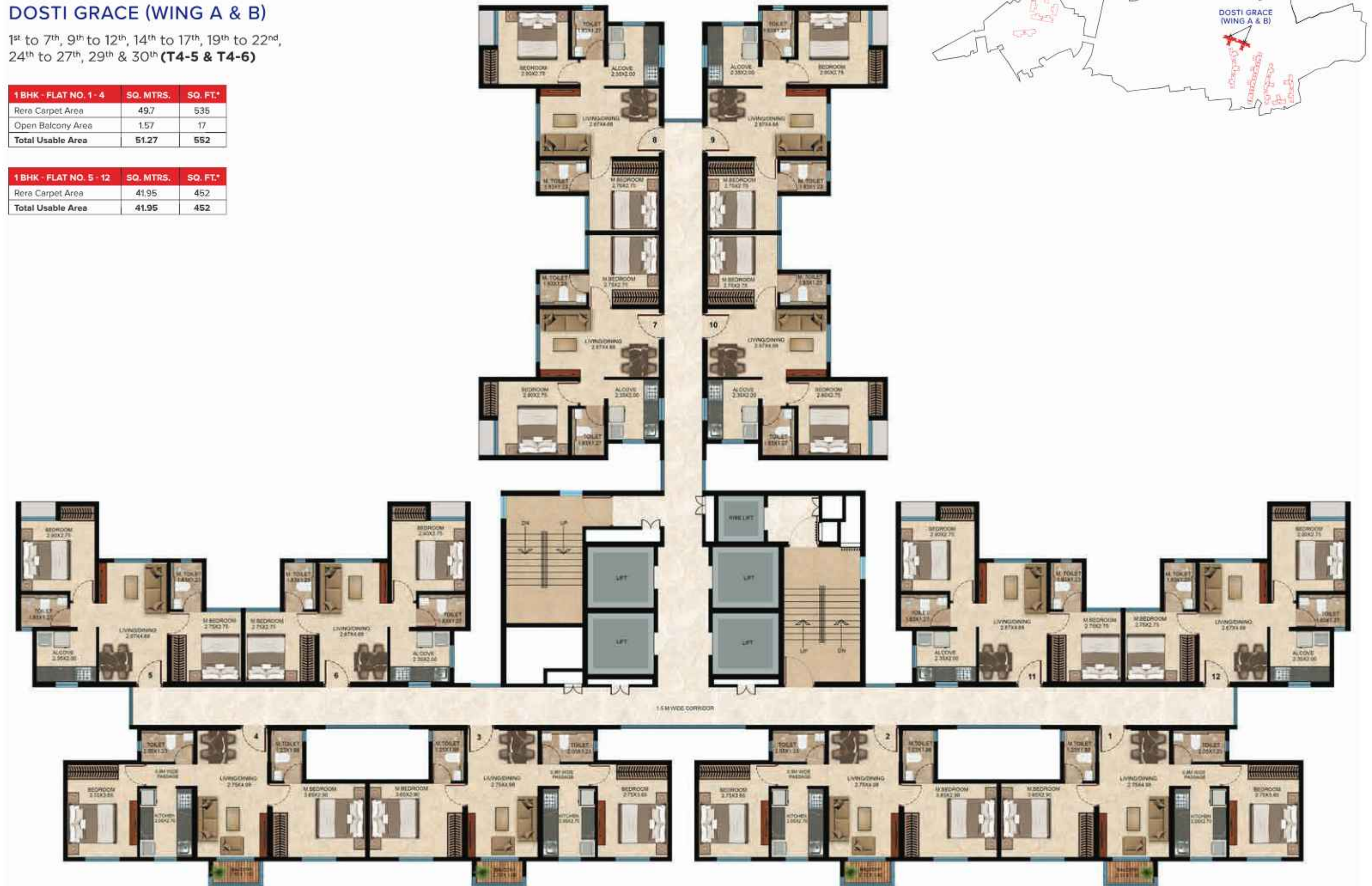
TYPICAL FLOOR PLAN

DOSTI GRACE (WING A & B)

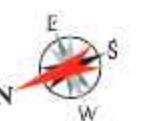
1st to 7th, 9th to 12th, 14th to 17th, 19th to 22nd,
24th to 27th, 29th & 30th (T4-5 & T4-6)

1 BHK - FLAT NO. 1 - 4	SQ. MTRS.	SQ. FT.*
Rera Carpet Area	49.7	535
Open Balcony Area	1.57	17
Total Usable Area	51.27	552

1 BHK - FLAT NO. 5 - 12	SQ. MTRS.	SQ. FT.*
Rera Carpet Area	41.95	452
Total Usable Area	41.95	452



Please Note: The interiors, furniture, fittings, fixtures, etc. shown in the image/drawing are only artist's conception and not part of actual amenities provided. The actual amenities as mentioned in the Agreement for Sale shall be final and provided in the flats. All dimensions of carpet area are from unfinished wall surface. Minor variations/tolerance of +/- 3% in carpet area may occur on account of design and/or construction exigencies.



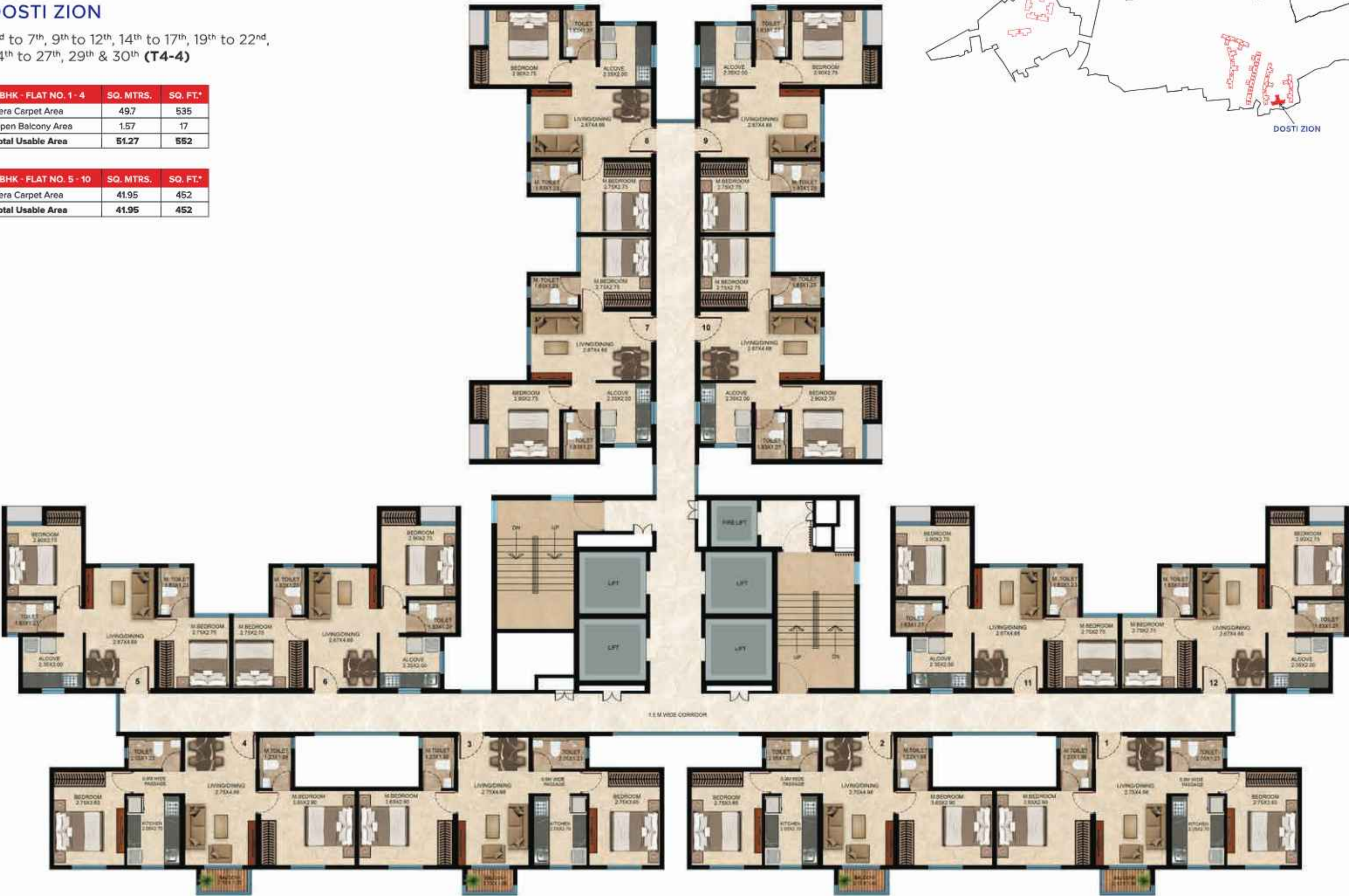
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DOSTI ZION

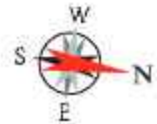
3rd to 7th, 9th to 12th, 14th to 17th, 19th to 22nd,
24th to 27th, 29th & 30th (T4-4)

1 BHK - FLAT NO. 1 - 4	SQ. MTRS.	SQ. FT.*
Rera Carpet Area	49.7	535
Open Balcony Area	1.57	17
Total Usable Area	51.27	552

1 BHK - FLAT NO. 5 - 10	SQ. MTRS.	SQ. FT.*
Rera Carpet Area	41.95	452
Total Usable Area	41.95	452



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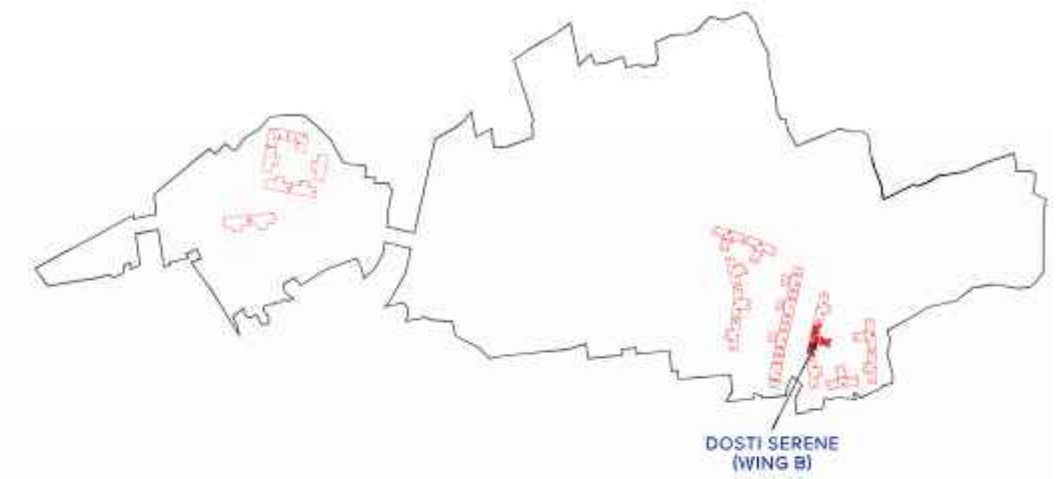
TYPICAL FLOOR PLAN

DOSTI SERENE (WING B)

3rd to 7th, 9th to 12th, 14th to 17th, 19th to 22nd,
24th to 27th, 29th & 30th (T4-3)

1 BHK - FLAT NO. 1 - 4	SQ. MTRS.	SQ. FT.*
Rera Carpet Area	49.7	535
Open Balcony Area	1.57	17
Total Usable Area	51.27	552

1 BHK - FLAT NO. 5 - 12	SQ. MTRS.	SQ. FT.*
Rera Carpet Area	41.95	452
Total Usable Area	41.95	452



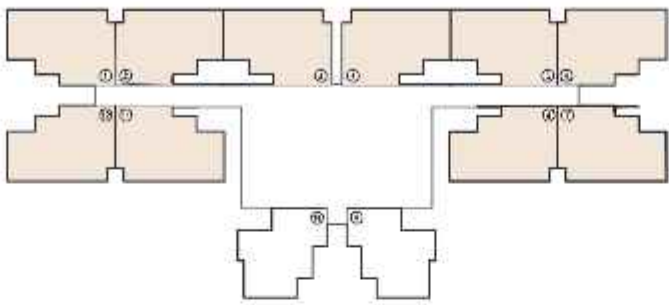
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1 BHK UNIT PLAN

DOSTI CHARM - WING A (T3A-6)

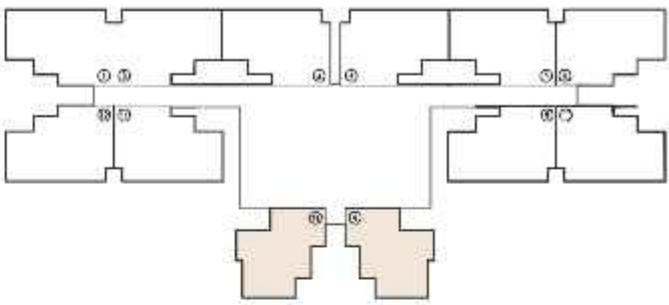
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DOSTI CHARM - WING A (T3A-6)

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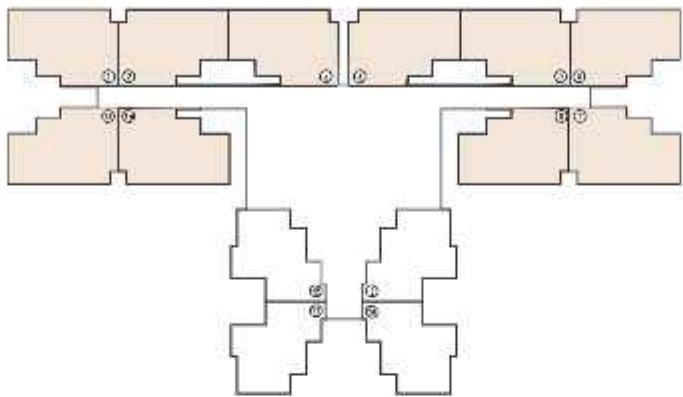
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1 BHK UNIT PLAN

DOSTI CHARM - WING B (T3-4)
DOSTI CHARM - WING C (T3-3)

1 BHK - FLAT NO. 1 - 8 & 13, 14	SQ. MTRS.	SQ. FT.*
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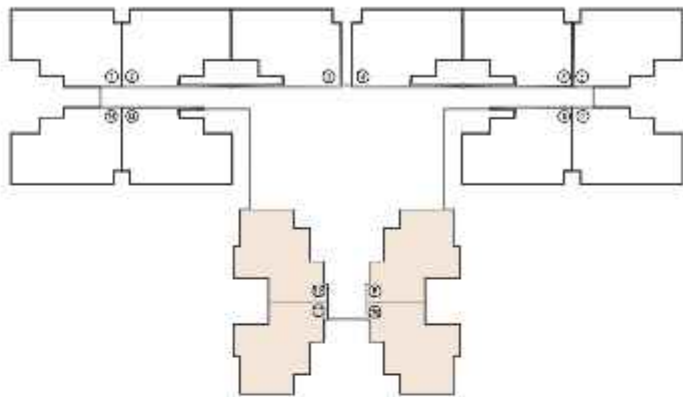


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DOSTI CHARM - WING B (T3-4)
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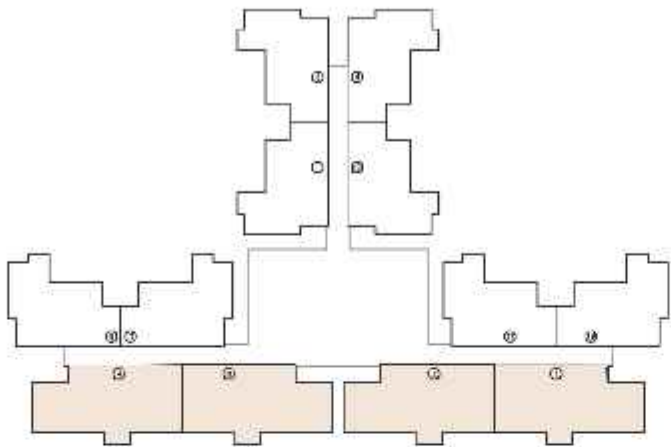


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2 BHK UNIT PLAN

DOSTI GRACE - WING A (T4-5)
DOSTI GRACE - WING B (T4-6)
DOSTI SERENE - WING B (T4-3)
DOSTI ZION (T4-4)

1 BHK - FLAT NO. 1 - 4	SQ. MTRS.	SQ. FT.*
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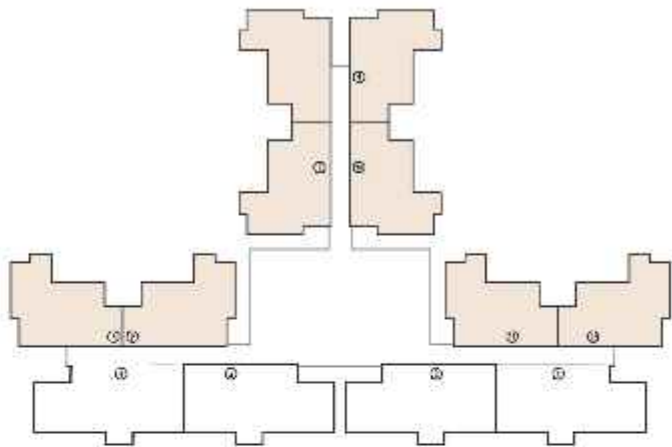


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2 BHK UNIT PLAN

DOSTI GRACE - WING A (T4-5)
DOSTI GRACE - WING B (T4-6)
DOSTI SERENE - WING B (T4-3)
DOSTI ZION (T4-4)

1 BHK - FLAT NO. 5 - 12	SQ. MTRS.	SQ. FT.*
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1 BHK UNIT PLAN

DOSTI PRIDE - WING A (T2-A)
DOSTI PRIDE - WING D (T5-B)

1 BHK - FLAT NO. 1 - 18	SQ. MTRS.	SQ. FT.*
Rera Carpet Area	24.98	269
Enclosed Balcony	5.7	61
Open Balcony Area	0.83	9
Total Usable Area	31.51	339



1 BHK UNIT PLAN

DOSTI PRIDE - WING B (T1-I)
DOSTI PRIDE - WING C (T1-J)

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AWARDS AND ACCOLADES

- Dosti West County awarded 'Iconic Residential Project' at the Mid-Day International Real Estate & Infrastructure Icons Awards 2024
- Dosti West County awarded 'Excellence in Townships Projects' at the Times Real Estate Conclave and Awards 2023-24
- Dosti Realty Ltd. – Awarded Leading Real Estate Developer of The Year at the Credai MCHI Golden Pillar Awards 2023
- Dosti 1 Mumbai - Awarded Best Marketing Campaign of The Year at the Credai MCHI Golden Pillar Awards 2023
- Dosti Greenscapes - Awarded Iconic Residential Project, Pune – at the Mid-Day International Real Estate & Infrastructure Icons Awards 2023
- Dosti Realty Ltd. - Awarded Iconic Real Estate Brand of the Year – at the Times Real Estate Conclave & Awards 2023
- Dosti Greater Thane, Kalher - Awarded Iconic project of The Year - Beyond Thane at Mid-Day Gems of India Awards, 2023
- Dosti Mezzo 22, Sion - Awarded Iconic Premium Residential Project at Mid-Day International Real Estate & Infrastructure Icons Awards 2022
- Dosti West County – Dosti Nest, Thane (W) - Awarded Iconic Project of the Year at Mid-Day International Real Estate & Infrastructure Icons Awards 2022
- Dosti Eastern Bay, Wadala - Awarded Iconic Residential Project of the Year South Mumbai at the Times Real Estate Conclave & Awards 2021
- Dosti Oro 67, Kandivali (W) - Awarded Upcoming Residential Project – Western Suburbs at the Mid-Day Real Estate International Icons Award 2021
- Dosti Eastern Bay, Wadala - Awarded Iconic Residential Project South Mumbai by Hindustan Times Real Estate Titans 2020
- Dosti Eastern Bay, Wadala - Won Iconic Luxury Homes - South Mumbai by Mid-Day Real Estate Icons Awards 2020
- Dosti Realty - Awarded Developer of the Year (Residential) at the Real Estate Business Excellence Awards, 2020 in association with CNN-News 18
- Dosti West County, Thane (W) - Awarded Iconic Planned Project Central Mumbai 2019 - Mid-day Real Estate Icons Awards 2019
- Dosti West County, Thane (W) - Awarded Iconic Planned Project Central Mumbai 2019 by Mid-Day Real Estate & Infrastructure Icons Award 2019
- Dosti West County, Thane (W) - Awarded Best Project of the Year Thane in 2018 by Accommodation Times
- Dosti West County, Thane (W) - Awarded Ultimate Residential project - Thane in 2018 by Hindustan Times
- Dosti Desire, Thane (W) - Awarded Residential project of the Year Thane in 2018 by Accommodation Times
- Dosti Realty Ltd - Awarded Excellence in Quality Residential Projects by Lokmat Corporate Excellence Awards 2018
- Dosti Realty Ltd - Awarded Best Developer Residential by ET Now in 2018
- Dosti Realty Ltd - Awarded Best Green Building for Dosti Ambrosia - Wadala by ET Now in 2018
- Dosti Realty Ltd - Awarded Real Estate Industry Achievement Award - 2017 Grohe Hurun
- Dosti Desire, Thane (W) - Awarded the Iconic Residential Project, Thane - Mid-Day Real Estate Icons in 2017
- Dosti Realty Ltd - Awarded Iconic Developer Thane by Mid-Day Real Estate Icons (Thane & Navi Mumbai) in 2017
- Dosti Planet North, Shil Thane - Awarded Iconic Residential Project Beyond Thane, Mid-Day Real Estate Icons (Thane & Navi Mumbai) in 2017
- Dosti Planet North, Shil Thane - Certified as Times Realty Icons 2017 Navi Mumbai, Thane & Beyond, in the category of Value Homes (Thane & Beyond) in 2017
- Dosti Majesta, Ghodbunder Road, Thane (W) - Certified as Times Realty Icons 2017 Navi Mumbai, Thane & Beyond, in the category of Ultra Luxury Homes (Thane & Beyond) in 2017
- Dosti Ambrosia, Wadala - Project of the Year Mumbai at the 31st National Real Estate Awards by Accommodation Times in 2017
- Dosti Ambrosia, Wadala - Awarded Iconic Residential Project - South Mumbai at the Mid-Day Real Estate Icons Awards in 2016
- Dosti Ambrosia, Wadala - Certified Gold Rating under IGBC for Green Building by LEED in 2016
- Dosti Acres, Wadala - Awarded 2nd place at the Exhibition for Gardening at the Veermata Jeejabai Bhosle Garden, Byculla by the Tree Authority and Brihan Mumbai Mahanagarपालिका in 2015
- Dosti Ambrosia, Wadala - Awarded Best Residential Project of the Year by Construction Times in 2015
- Dosti Vihar, Thane (W) - Won the Premium Apartment Project of the Year (West) by NDTV in 2015
- Dosti Realty Ltd - Ranked Mumbai's Top Developer and the Best in Indian Real Estate for on-time delivery and possession by NDTV in 2014
- Dosti Vihar, Thane (W) - Awarded Project of the Year by Accommodation Times in 2014
- Dosti Imperia, Thane (W) - Pre-certified Green Building aiming for Gold rating by LEED in 2013
- Dosti Vihar, Thane (W) - Won the title of an Artist in Concrete Awards for Space Planning in Big Residential projects by REIFY Artisans & Projects Pvt. Ltd. in 2013
- Dosti Realty Ltd - OHSAS 18001: 2007 (in 2018) & ISO 9001:2008 (in 2012) Certified Company by URS
- Dosti Acres, Wadala - Won the Best Maintained Podium Garden by the Municipal Corporation of Mumbai for 3 consecutive years from 2008 onwards
- Dosti Elite, Sion - Won the 3rd prize for display of class 27-B at the 13th Exhibition for plants, flowers, fruits & vegetables by Municipal Corporation of Mumbai in 2008
- Dosti Elite, Sion - Awarded the Best Maintained Podium Garden for 3 consecutive years
- Dosti Flamingos, Parel-Sewree - Won the Best Maintained Landscaped Garden by the Municipal Corporation of Mumbai in 2005

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Dosti Realty has been in the Real Estate Business for over Four decades and has delivered more than 131 properties, encompassing a portfolio of over 12.15 mn. sq. ft. Dosti Realty is constructing over 21 mn. sq. ft. across the Mumbai Metropolitan Region and Pune. It has sold homes to 20,600+ Happy Families and continues transforming the skyline with its developments. The company has experience in various development types, like Residential, Retail, IT Parks, Educational Institutes, etc. Over the years, it has been known for its Aesthetics, Innovation, Quality, Timely Delivery, Trust and Transparency, values that have built lasting relationships.



Dosti Desire - Dosti Pearl MahaRERA No. P51700005623 & Dosti Desire - Dosti Joy MahaRERA No. P51700008886, Dosti Eastern Bay - Phase 1, 2 & 3 are registered under MahaRERA Nos. P51900025142, P51900030768 & P51900032067, Dosti Mezzo 22 is registered under MahaRERA No. P51900026976, Dosti Desire - Phase 2 is registered under MahaRERA No. P51700049421. All the above projects are available on website - <https://maharera.mahaonline.gov.in> under registered projects. Please note that the sale/lease of premises in the above referred projects shall be subject to and governed by the terms and conditions of Agreement for sale/lease. T&C Apply.

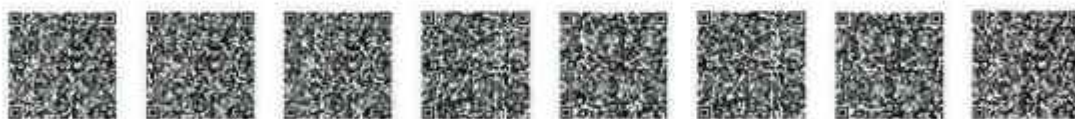


Dosti West County - Phase 4- Dosti Pine is registered under MahaRERA No. P51700025834, Dosti West County - Phase 5 - Dosti Olive - Wing B project is registered under MahaRERA No. P51700054037, Dosti West County - Dosti Tulip is registered under MahaRERA No. P51700032666 Dosti West County - Dosti Nest - Phase 1, 2, 3 & 4 is registered under MahaRERA Nos. P51700033640, P51700033663, P51700049724 & P51700050253, Dosti Planet North - Sector 3 is registered under MahaRERA No.: P51700034985, Dosti Greenscapes - Phase 1, 2, 3 & 4 is registered under MahaRERA Nos. P52100049942, P52100051041, P52100077059 & P52100077092. All the above projects are available on website - <https://maharera.mahaonline.gov.in> under registered projects. Please note that the sale/lease of premises in the above referred projects shall be subject to and governed by the terms and conditions of Agreement for sale/lease. T&C Apply.



Site Office: Dosti Greater Thane, Near SS Hospital, Kalher Junction 421302

Corp. Address: Adrika Developers Pvt. Ltd., Lawrence & Mayo House, 1st Floor, 276, Dr. D. N. Road, Fort, Mumbai 400 001 • www.dostirealty.com



DGT - Sector 3A - Cluster 2 - Phase 1, 2, 3 & 4 are registered with MahaRERA Nos. P51700048334, P51700048335, P51700048333 & P51700053095, Dosti Greater Thane - Sector 3A Cluster 1B Phase 1, 2 & 3 are registered with MahaRERA Nos. P51700053057, P51700053096 & P51700053217, Dosti Greater Thane - Phase 1 is registered with MahaRERA Nos. P51700024923 and are available on website - <https://maharera.mahaonline.gov.in> under registered projects. T&C Apply.

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