

FLOOR PLAN

SCALE : $\frac{1}{8}" = 1'$

GENERAL NOTES:
****FLOORING AS PER SOLE DISCRETION OF CONTRACTOR and/OR OWNER.**

****FINISH FLOORING AT BATHROOMS AND KITCHEN AREAS SHALL BE TILE.**
 (Flooring areas might be change to sole discretion of contractor and/or owner)

****KITCHEN AREA NOTES:**
 *Detailed kitchen layout by others.
 *Cabinets Designers OR Owner to provide heights and placement for Backing Cabinets.
 *Range Exhaust Hood Thru Roof, provide electrical as required per manufacturer spec's.
 *Provide water line at Refrigerator location to fill the ice maker compartment.
 *Kitchen Island: 36" Hgt. Flat Counter Top
 (Contractor/OR Owner to verify and provide dimensions required to fit under support framing.)

INTERIOR DOORS ANNOTATION's

(See Floor plan for Door's location and Annotation)


Door Annotation
 Door Width (2'-8")
 Door Height (8'-0")
 Door profile


NOTE:
 Dimensions shown here they are for references only. See Floor plan for actual Doors Width/Height for this project.


AREA TABULATION

| | |
|---------------|-----------|
| LIVING AREA : | 1754 S.F. |
| ENTRY : | 99 S.F. |
| LANAI : | 248 S.F. |
| GARAGE : | 505 S.F. |
| TOTAL AREA : | 2606 S.F. |

HATCH LEGEND

SHADE 
 INDICATE CONC. MASONRY WALLS
 (8" Width nominal size)

SHADE 
 INDICATE INTERIOR WOOD FRAME WALLS
 (4" Width nominal size, Partition walls)

SHADE 
 INDICATE INTERIOR FRAME LOAD BRG. WALL INSULATED
 (4" Width nominal size, See Framing plan for Spec's)

NOTES

- **a)**—W/H (Water Heater) Base @ Min. Finish Floor Elevation (Contractor/OR Owner to verify)
- **b)**—Shower space partition wall:
 40" height wall w/tempered glass above.
 (wall design could be change to sole discretion of contractor/or Owner)
- **c)**—Shower space access:
 It's optional to have a by-pass tempered glass door/or to be open for curtains.
 (Contractor/or owner to verify and agree final design)
- **d)**—Exhaust bathroom/shower shall be come out through the roof
- **e)**—Both tub Model:
 (Both tub Model might be change to sole discretion of contractor/or Owner)
- **f)**— Exterior Hose bib might be change location/OR to provide to sole discretion of Owner/or Contractor if they area not shown on the plans.
- **g)**—16"wide x 36"height notch masonry (NICHE SOAP)
 bottom of notch @ 40" A.F.F.
- **h)**—16"wide x 36"height notch frame (NICHE SOAP)
 bottom of notch @ 40" A.F.F.
- **i)**—NICHE SOAP (notch masonry)
 *Niche soap width to harmonize window above
 *Bottom of notch @ 40" A.F.F.
 *Top 8" below window sill

TOP ANCHOR TRACK w/16" WOOD SCREWS @ 16" O.C.

GYPSON WALLBOARD ON METAL STUDS
 (Panels applied vertically or horizontally)

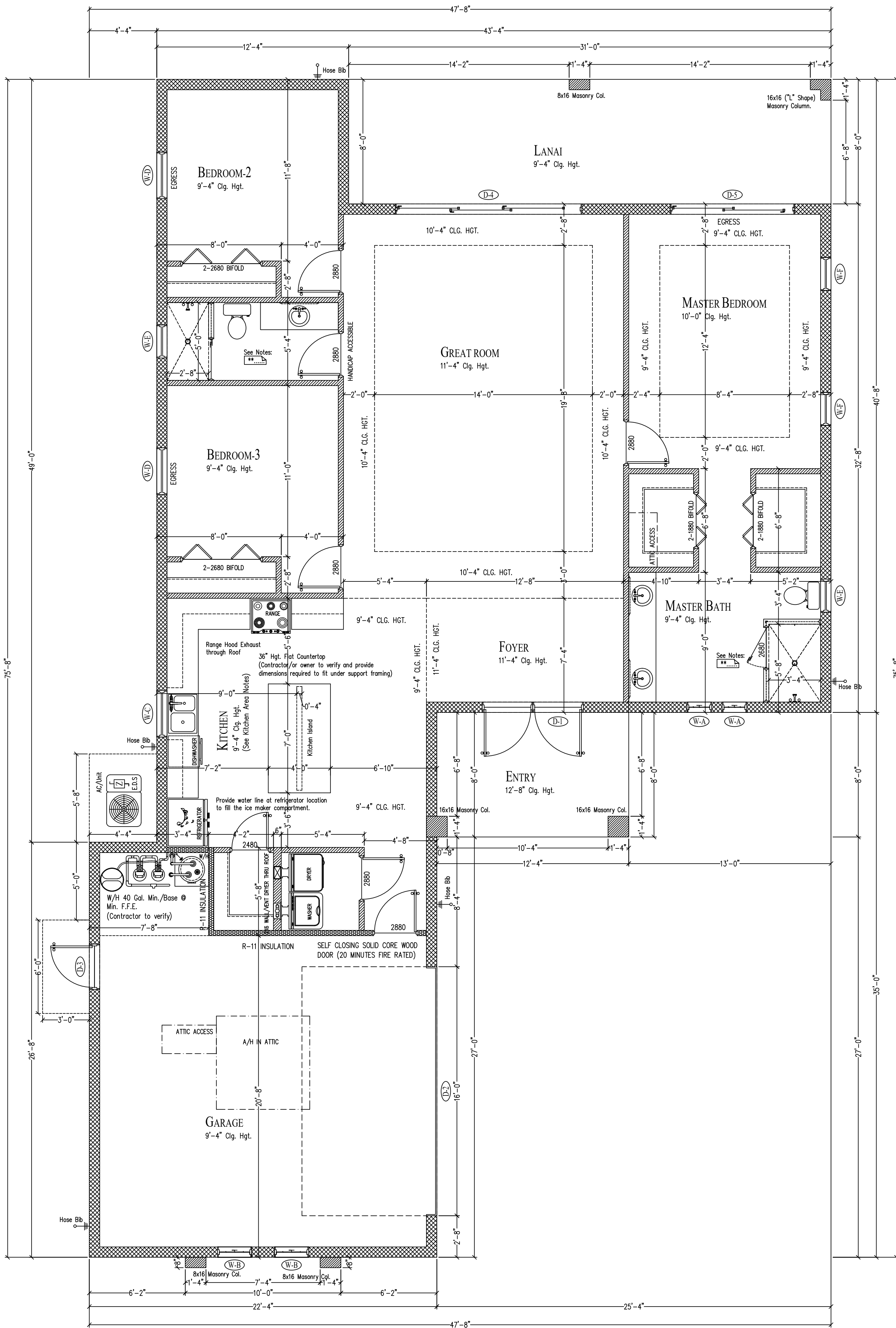
3/8" OR 1" METAL STUDS @ 24" O.C. MAX.

BOTTOM ANCHOR TRACK TO SLAB WITH 145 SHOT PINS (OR EQUIV.) @ 24" O.C. (Corrosion Resistant)

CONCRETE SLAB AS PER SPEC's

OPTIONAL METAL FRAME INT. PARTITION WALLS

NOTE:
****It is the Contractor/or Owner to verify and agree the optional method of interior partition walls.**



GENERAL NOTES:

- It is the intent of the designer that this work be in conformance with all requirements of the building authorities having jurisdiction over this type of construction and occupancy. All contractors shall do their work in conformance with all applicable codes and regulations.
- Contractor to verify all dimensions prior to construction written dimensions to take precedence over scaled dimensions.
- Masonry contractor to verify masonry opening dimensions for all windows, sliding glass doors, & entry doors, as shown on the plan, with door and window manufacturer.
- It is the contractor's responsibility to check these plans for dimensional errors, and/or omissions prior to construction, if any errors or omissions exist in the drawings and specifications, the contractor shall notify the designer, in writing, within 10 days of receipt of plans, and prior to any construction, or contractor assumes the responsibility for the results and all costs of rectifying same.
- The contractor shall supply, locate, and build into the work all inserts, anchors, angles, plates, openings, sleeves, hangers, slab depressions, and pitches as may be required to attach and accommodate other work.
- All details and sections shown on the drawings are intended to be typical and shall be construed to apply to any similar situation elsewhere in the work except where a different detail is shown.
- Designer does not assume any responsibility for supervision of construction or construction methods, contractor to adhere strictly to the standard building code, together with local amendments, and all other applicable state county, and local statutes, ordinances, regulations and rules.

GENERAL NOTES

The general contractor, all sub-trades and anyone who so ever installing applying and or using any materials, products, equipment or applications of any following manufactures specifications as per their guidelines, in failing to do so that person will assume all responsibility.

All construction must comply with Florida Building Code in effect. all construction must be as specified. All work to be completed in a workman like manner according to standard practices. any deviation from plans must be approved by designer and/or owner before work is begun.

If the owner, any trade and/or contractor revises, adds, deletes, changes or alters these drawings in any way what-so-ever, whether it be on the drawings or in the field, that person will there by assume all responsibility for the results and all cost of rectifying the same.

Building finish material and appliances model and trademark to be selected by contractor or owner.

To comply with minimum Florida Building Code, the builder reserves the right at any time to modify plans specifications, make in field changes and substitute materials without owners notice or consent.

ROOF ATTIC ACCESS

****THE ROUGH-FRAMED OPENING FOR THE ATTIC ACCESS SHALL BE NOT LESS THAN 22" (inches) BY 30" (inches) PER CODE 807**

CEILING CONSTRUCTION:

THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN $\frac{1}{2}"$ GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN $\frac{3}{8}"$ TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN $\frac{1}{2}"$ GYPSUM BOARD OR EQUIVALENT.

NOTE: !!! CONTRACTOR/OR OWNER IS RESPONSIBLE TO VERIFY WINDOW ROUGH OPENING's WITH MANUFACTURER SPECIFICATIONS PRIOR TO COMMENCE ANY WORK.
****VERIFY ALL EGRESS WINDOWS SPECIFICATIONS**
****KITCHEN WINDOWS SILL 6" MIN. ABOVE KITCHEN COUNTERS (36" Min. Kitchen Counter Hgt.)**

DOOR-WINDOW-SKYLIGHT-GARAGE DOOR-SHUTER SCHEDULE

DOORS and WINDOWS OPENINGS ENGINEERING WIND PRESSURES TO THE WORST CASE. CONTRACTOR/OR OWNER TO SELECT FINAL DESIGN/OR STYLE IN ACCORDANCE WITH FLORIDA PRODUCT APPROVAL CERTIFICATION.

| L A B E L | TYPE DOOR S... Annotation Door Width (2'-0") Door Height (8'-0") | SIZE Width x Height | MASONRY OPENING Width x Height | DESIGN PRESSURE | WIND-BORN DEBRIS PROTECTION | | | FLORIDA PRODUCT APPROVAL |
|-----------------------|---|------------------------|--------------------------------------|--------------------|--------------------------------|---|----------------------------------|--------------------------------|
| | | | | | PROTECTION REQUIRED | IMPACT GLASS RESISTANT PROTECTION | SHUTTERS RESISTANT PROTECTION | |
| D-1 | 2-3080 EXT. DOOR | 72" x 96" | 74" x 98" | +24.8/-31.3 | NO | YES | NO | FL #253.4 |
| D-2 | 1680 Steel Garage Door | 192" x 96" | 192" x 96" | +23.0/-27.8 | NO | YES | NO | FL #32170.17 |
| D-3 | 2880 EXT. DOOR | 32" x 96" | 34" x 98" | +26.2/-34.2 | NO | YES | NO | FL #3905.1 |
| D-4 | 1280 Sliding Glass Door | 144" x 96" | 146" x 98" | +23.5/-28.8 | NO | YES | NO | FL #251.4 |
| D-5 | 8080 Sliding Glass Door | 96" x 96" | 98" x 98" | +24.3/-30.3 | NO | YES | NO | FL #251.4 |

WINDOWS

| | | | | | | | | |
|-----|--------|-------------------|-------------------|-------------|----|-----|----|-----------|
| W-A | 15-CA | 19-1/8" x 63" | 19-7/8"x63" | +27.6/-36.9 | NO | YES | NO | FL #245.2 |
| W-B | H35-CA | 26-1/2" x 63" | 27-1/4"x63" | +27.3/-36.4 | NO | YES | NO | FL #245.2 |
| W-C | 24-SH | 36" x 49-5/8" | 37-3/4" x 50-5/8" | +27.2/-36.1 | NO | YES | NO | FL #239.2 |
| W-D | 25-SH | 36" x 62" | 37-3/4" x 63" | +26.8/-35.3 | NO | YES | NO | FL #239.2 |
| W-E | H34-SH | 25-1/2" x 49-5/8" | 27-1/4" x 50-5/8" | +27.6/-36.9 | NO | YES | NO | FL #239.2 |
| W-F | H35-SH | 25-1/2" x 62" | 27-1/4" x 63" | +27.3/-36.4 | NO | YES | NO | FL #239.2 |

- THE TABLE ABOVE IS IN ACCORDANCE WITH THE PROVISIONS OF FLORIDA BUILDING CODE 2020 INCLUDING THE 7TH EDITION OF THE FBC.
- SHOWY PRESSURES ACTING TOWARD THE BUILDING
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF OPENINGS.
- FASTEN ALL WINDOWS FRAMES IN ACCORDANCE WITH THE MANUFACTURER SPEC'S.

****ABBREVIATIONS:** SH= Single Hung / DH= Double Hung / HR= Horizontal Roller / FG= Fixed Glass / CA= Casement

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PROJECT DESCRIPTION :

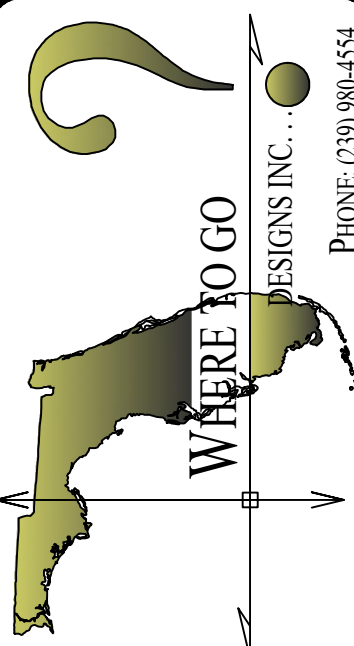
PROPOSED NEW CONSTRUCTION
 (Residential Category)

Structural/Plumbing/Electrical/ Mechanical Engineering

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THIS PLAN HAS BEEN REVIEWED, ENGINEERED
 AND SUPERVISED BY:
 MICHAEL D. STEWART, P.E.
 FL REG. #72459
 5330 SW 11th CT, CAPE CORAL, FL

PROJECT No. : 23-243
 DRAWN BY :
 WHERE TO GO DESIGNS
 DATE : 7-06-2023



PROJECT SITE LOCATION:

716 BAXTER AVE. S.
 LEHIGH ACRES FL. 33974

SHEET :

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