contractor and/or owner)

\*\*FLOORING AS PER SOLE DISCRETION OF CONTRACTOR and/OR OWNER. \*\*FINISH FLOORING AT BATHROOMS and KITCHEN AREAS SHALL BE TILE.

(Flooring areas might be change to sole discretion of

\*\*KITCHEN AREA NOTES: \*Detailed kitchen layout by others. \*Cabinets Designers OR Owner to provide heights and placement for Backing Cabinets. \*Range Exhaust Hood Thru Roof, provide electrical as required per manufacturer spec's. \*Provide water line at Refrigerator location to fill the ice maker compartment.

\*Kitchen Island: 36" Hgt. Flat Counter Top (Contractor/OR Owner to verify and provide dimensions required to fit under support framing.)

INTERIOR DOORS ANNOTATION'S (See Floor plan for Door's location and Annotation)

Dimensions shown here they are for references only, See Floor plan for actually Doors Width/Height for this project.

AREA TABULATION LIVING AREA: 1754 S.F 99 S.F. LANAI: 248 S.F. 505 S.F. GARAGE

TOTAL AREA 2606 S.F.

# HATCH LEGEND

INDICATE CONC. MASONRY WALLS (8" Width nominal size)

INDICATE INTERIOR WOOD FRAME WALLS (4" Width nominal size, Partition walls)

INDICATE INTERIOR FRAME LOAD BRG. WALL INSULATED (4" Width nominal size, See Framing plan for Spec's)

# NOTES.....

\*\*a).-W/H (Water Heater) Base @ Min. Finish Floor Elevation (Contractor/OR Owner to verify)

\*\*b).-Shower space partition wall: 40" height wall w/tempered glass above. wall design could be change to sole discretion of contractor/or Owner)

\*\*c).-Shower space access: It's optional to have a by-pass tempered glass door/or to be open for curtains. (Contractor/or owner to verify and agree final design)

\*\*d).—Exhaust bathroom/shower shall be come out through the roof

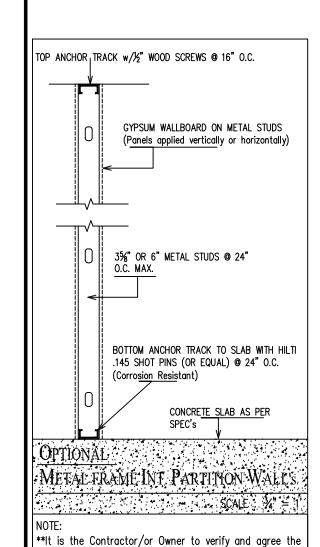
\*\*e).—.Bath tub Model: (Bath tub Model might be change to sole discretion of contractor/or Owner)

\*\*f).— Exterior Hose bib might be change location/OR to provide to sole discretion of Owner/or Contractor if they area not shown on the plans.

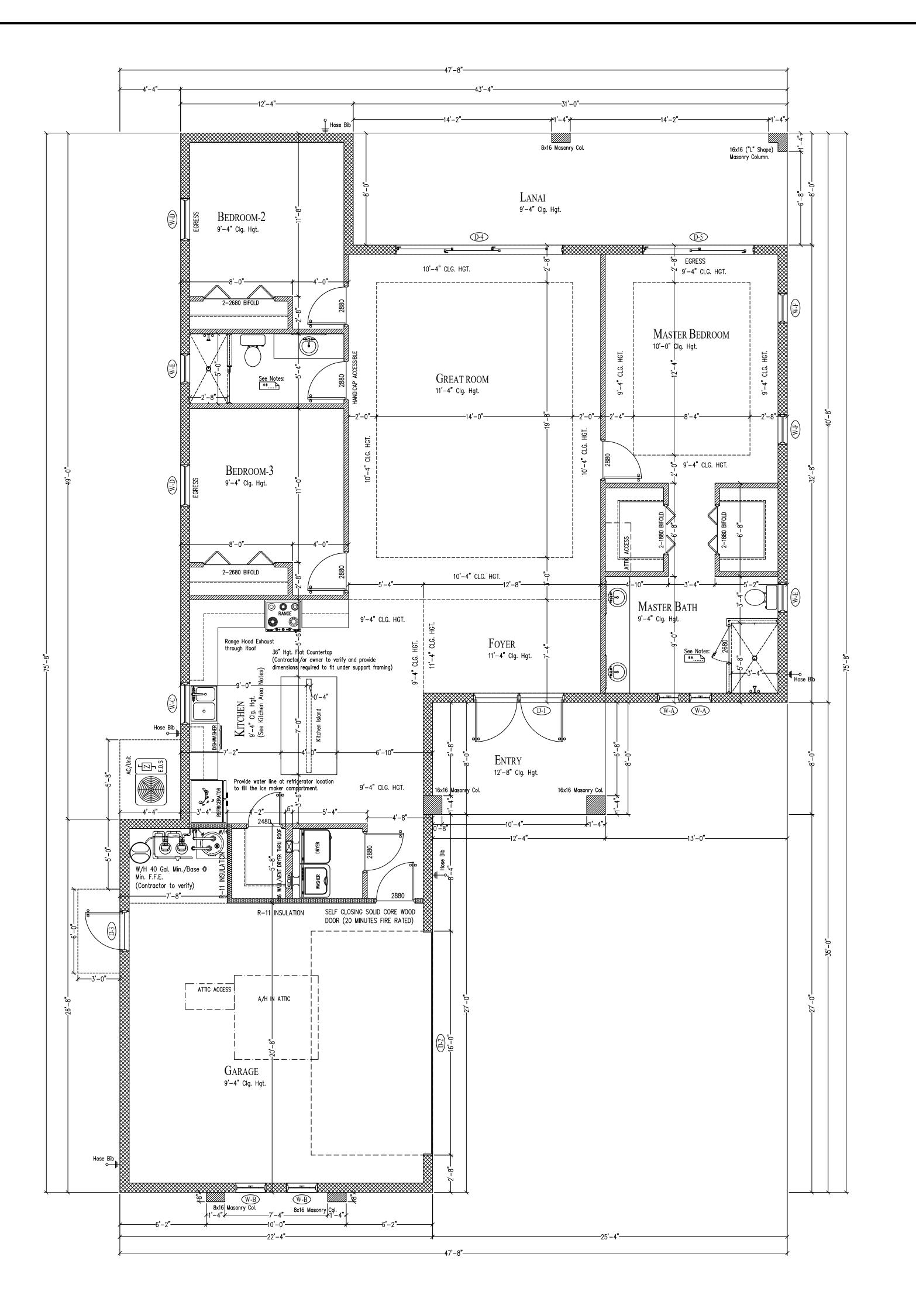
\*\*g).-16"wide x 36"height notch masonry (NICHE SOAP) bottom of notch @ 40" A.F.F.

\*\*h).—16"wide x 36"height notch frame (NICHE SOAP) bottom of notch @ 40" A.F.F.

\*\*i).-NICHE SOAP (notch masonry) \*Niche soap width to harmonize window above \*Bottom of notch @ 40" A.F.F. \*Top 8" bellow window sill



ptional method of interior partition walls.



GENERAL NOTES:

1.-It is the intent of the designer that this work be in conformance with all requirements of the building authorities having jurisdiction over this type of construction and occupancy. All contractors shall do their work in conformance with all applicable codes and regulations.

2.—Contractor to verify all dimensions prior to construction written dimensions to take precedence over scaled dimensions.

3.-Masonry contractor to verify masonry opening dimensions for all windows, sliding glass doors, & entry doors, as shown on the plan, with door and window manufacturer.

4.—It is the contractor's responsibility to check these plans for dimensional errors, and/or omissions prior to construction, if any errors or omissions exist in the drawings and specifications, the contractor shall notify the designer, in writing, within 10 days of receipt of plans, and prior to any construction, or contractor assumes the responsibility for the results and all costs of

5.—The contractor shall supply, locate, and build into the work all inserts, anchors, angles, plates, openings, sleeves ,hangers, slab depressions, and pitches as may be required to attach and accommodate other work.

rectifying same.

6.—All details and sections shown on the drawings are intended to be typical and shall be construed to apply to any similar situation elsewhere in the work except where a different detail is shown.

.-Designer does not assume any responsibility for supervision of construction or construction methods, contractor to adhere strictly to the standard building code, together with local amendments, and all other applicable state county, and local statutes, ordinances, regulation and rules.

GENERAL NOTES The general contractor, all sub-trades and anyone who—so—ever installing applying and or using any materials, products, equipment or applications o any following manufactures specifications as per

their guidelines, in failing to do so that person will assume all responsibility. All construction must comply with Florida Building Code in effect. all construction must be as specified. All work to be completed in a workman like manner according to standard practices. any deviation from plans must be approved by

If the owner, any trade and/or contractor revises, adds, deletes, changes or alters these drawings in any way what-so-ever, whether it be on the drawings or in the field, that person will there by assume all responsibility for the results and all cost of rectifying the same.

designer and/or owner before work is begun.

Building finish material and appliances model and trademark to be selected by contractor or owner. To comply with minimum Florida Building Code, the builder reserves the right at any time to modify plans specifications, make in field changes and substitute materials without owners notice or GENERAL NOTES:

EXTERIOR WALLS 8" WIDTH (Nominal Size) UNLESS OTHERWISE SPECIFIED. ALL INTERIOR WALLS 4" WIDTH (Nominal Size) UNLESS OTHERWISE SPECIFIED.

ALL WALLS ARE BASED ON NOMINAL SIZES STATED ABOVE, ROOM DIMENSIONS MAY VARY DUE TO KILN DRYING, FURRING, INSULATION, TRUSS ALIGNMENT, CODE REQUIREMENTS, OR OTHER CONDITIONS NECESSARY TO COMPLETE CONSTRUCTION

TRUSSES & ENG. MAY VARY FROM BASIC MODEL SUBJECT TO MANUFACTURER DESIGN. CONSTRUCTION MAY DIFFER FROM PLAN ELEVATION VIEWS SUBJECT TO MANUFACTURER DESIGN DROP CEILINGS, GIRDER PLACEMENT, & WALL ALIGNMENT

ARE SUBJECT BUILDERS DESECRATION TO ACCOMMODATE MFG. TRUSS DESIGN. CHASES OFFSETS, & DROP CEILINGS, MAY BE NECESSARY TO RUN MECHANICAL

COMPONENTS AS BUILDER DEEMS NECESSARY. USE PRESSURE TREATED WOOD ON CONCRETE SURFACES OR ISOLATE CONV.

WOOD w/ WATERPROOF MATERIALS. KITCHEN & BATH CABINETS INCLUDED ARE AS PER STANDARD MODEL, ALL EXPENSES FOR UPGRADE & ALTERATION FROM STANDARD MODEL CABINETS,

INDICATED OR NOT INDICATED ON THIS PLAN WILL BE SUPPLY BY THE OWNER. RECESS SHOWER AND PLUMBING FIXTURES REQUIRED TO BE AT BASE OR ABOVE FLOOD ELEVATION.

SET PLUMBING STUB OUT TO ALLOW FOR GRAVITY FLOW TO DRAINAGE.

ENCLOSED AREAS BELOW BASE FLOOD ELEVATION SHALL HAVE HYDROSTATIC

PROVIDE BATT INSULATION @ ALL WALLS BETWEEN LIVING AREAS AND EXTERIOR

USE: R-11 @ 2X4 WALLS, R-19 @ 2X6 WALLS

TERMITE PROTECTION SHALL BE PROVIDED IN STRICT COMPLIANCE WITH FLORIDA

THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.

ALL EXTERIOR WINDOWS AND DOORS SHALL BE CAULKED AND WEATHER

PROVIDE METAL THRESHOLD AT ALL EXTERIOR DOORS AND AT DOOR BETWEEN GARAGE AND LIVING AREA.

WINDOWS UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION.

REFER TO STRUCTURAL SHEETS FOR WIND LOAD DESIGN CALCULATIONS.

ALL BATHROOM FLOORS AND WALLS SHALL BE OF APPROVED IMPERVIOUS

GLAZING IN SWING DOORS, FIXED AND SLIDING PANELS OF SLIDING GLASS DOORS SHALL BE TEMPERED.

ALL GLAZING AND MIRRORS IN HAZARDOUS AREAS SHALL BE TEMPERED UNLESS IMPACT RESISTANT.

ALL EXTERIOR WINDOWS AND DOORS TO BE NON-IMPACT RESISTANT WILL RECEIVE SHUTTERS, EXCEPT THE FRONT ENTRY DOOR WHICH REQUIRES A KICKOUT PANEL WHEN SHUTTERED FOR EMERGENCY ESCAPE CONDITIONS.

(U.N.O. ALL IMPACT RESISTANT IS AN UPGRADE OPTION)

THIS PLAN IS A GRAPHIC REPRESENTATION FOR ESTIMATING PURPOSES ONLY, DUE TO VARIATIONS IN AGENCY REQUIREMENTS, SUBDIVISIONS SPECIFICATIONS, CONSTRUCTION TECHNIQUES, DIVERSITY IN MATERIALS, AND PLAN REVISIONS, ALL DIMENSIONS AND ELEVATIONS MAY VARY PER INDIVIDUAL PLAN. ACTUAL FIELD CONDITIONS MAY VARY AND MUST BE VERIFIED BEFORE PROCEEDING WITH

EACH BEDROOM MUST HAVE ONE WINDOW THAT COMPLIES WITH EGRESS CODES. F THERE IS NO ACCESS TO EXTERIOR THROUGH A DOOR. EGRESS WINDOWS SHALL PROVIDE CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH AND 24" IN HEIGHT AND 5.7 SQUARE FT. IN AREA (5.0 SQ. FT. IN AREA ON GRADE LEVEL). THE SILL HEIGHT SHALL BE NOT MORE THAN 44" ABOVE FINISH FLOOR. LATCHING DEVICES SHALL BE LESS THAN 54" ABOVE THE FLOOR.

Roof Attic Access

\*\*THE ROUGH-FRAMED OPENING FOR THE ATTIC ACCESS SHALL BE NOT LESS THAN 22" (inches) BY 30" (inches) PER CODE R807

### CEILING CONSTRUCTION:

THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT.

NOTE:...!! CONTRACTOR/OR OWNER IS RESPONSIBLE TO VERIFY WINDOW ROUGH OPENING'S WITH MANUFACTURER SPECIFICATIONS PRIOR TO COMMENCE ANY WORK. \*\*VERIFY ALL EGRESS WINDOWS SPECIFICATIONS

\*\*KITCHEN WINDOWS SILL 6" MIN. ABOVE KITCHEN COUNTERS (36" Min. Kitchen Counter Hgt.)

Door-Window-Skylight-Garage door-Shuter Schedule DOORS and WINDOWS OPENINGS ENGINEERING WIND PRESSURES TO THE WORST CASE, CONTRACTOR/OR OWNER TO SELECT FINAL DESIGN/OR STYLE IN ACCORDANCE WHIT FLORIDA PRODUCT APPROVAL CERTIFICATION.

L A B	TYPE DOOR'sAnnotation	SIZE Width x Height	LUPEININU		DEBRIS PROTECTION			FLORIDA PRODUCT		
E L	Door Width Door Height (8'-0")		Width x Height		PROTECTION	IMPACT GLASS RESISTANT	SHUTTERS PROTECTION	APPROVAL		
(D-1)	2-3080 EXT. DOOR	72" x 96"	74" x 98"	+24.8/-31.3	NO	YES	NO	FL #253.4		
(D-2)	1680 Steel Garage Door	192" x 96"	192" x 96"	+23.0/-27.8	NO	YES	NO	FL #32170.17		
(D-3)	2880 EXT. DOOR	32" x 96"	34" x 98"	+26.2/-34.2	NO	YES	NO	FL #3905.1		
(D-4)	1280 Sliding Glass Door	144" x 96"	146" x 98"	+23.5/-28.8	NO	YES	NO	FL #251.4		
(D-5)	8080 Sliding Glass Door	96" x 96"	98" x 98"	+24.3/-30.3	NO	YES	NO	FL #251.4		

## WINDOWS

'	INDONS							
W-A	15-CA	19-1/8" x 63"	19-7/8"x63"	+27.6/-36.9	NO	YES	NO	FL #245.2
W-B	H35-CA	26-1/2" x 63"	27-1/4"x63"	+27.3/-36.4	NO	YES	NO	FL #245.2
W-C	24-SH	36" x 49-5/8"	37-3/4" x 50-5/8"	+27.2/-36.1	NO	YES	NO	FL #239.2
W-D	25-SH	36" x 62"	37-3/4" x 63"	+26.8/-35.3	NO	YES	NO	FL #239.2
W-E	H34-SH	25-1/2" x 49-5/8"	27-1/4" x 50-5/8"	+27.6/-36.9	NO	YES	NO	FL #239.2
W-F	H35-SH	25-1/2" x 62"	27-1/4" x 63"	+27.3/-36.4	NO	YES	NO	FL #239.2

.- THE TABLE ABOVE IS IN ACCORDANCE WITH THE PROVISIONS OF FLORIDA BUILDING CODE 2020 INCLUDING THE 7th EDITION OF 2.- SIGNIFY PRESSURES ACTING TOWARD THE BUILDING

3.- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF OPENINGS. 4.- FASTEN ALL WINDOWS FRAMES IN ACCORDANCE WITH THE MANUFACTURER SPEC's.

\*\*ABBREVIATIONS: SH= Single Hung / DH= Double Hung / HR= Horizontal Roller / FG= Fixed Glass / CA= Casement

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WHERE TO GO DESIGNS

DRAWN BY:

23-243

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SITE

ROJECT 9