



ELEANOR DESIGNS  
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BE REPORTED TO ELEANOR DESIGNS PRIOR TO  
COMMENCEMENT OF CONSTRUCTION. WRITTEN  
DIMENSIONS SHALL TAKE PRIORITY OVER  
SCALED MEASUREMENTS.

MAIN FLOOR : 2849.52 sq. ft.  
UPPER FLOOR: 2988.28 sq. ft.

TOTAL AREA: 5837.80 sq. ft.

GARAGE : 915.25 sq. ft.

BSMT DEV. : 3040.56 sq. ft.

CLIENT:

**GOOD EARTH  
BUILDERS**

6336 BOWMONT CRES  
NW, CALGARY, AB  
LOT 12, BLOCK 1 PLAN  
7215 HF

No Date: Description: By

1. 2025-08-18 DESIGN SIGN-OFF AK

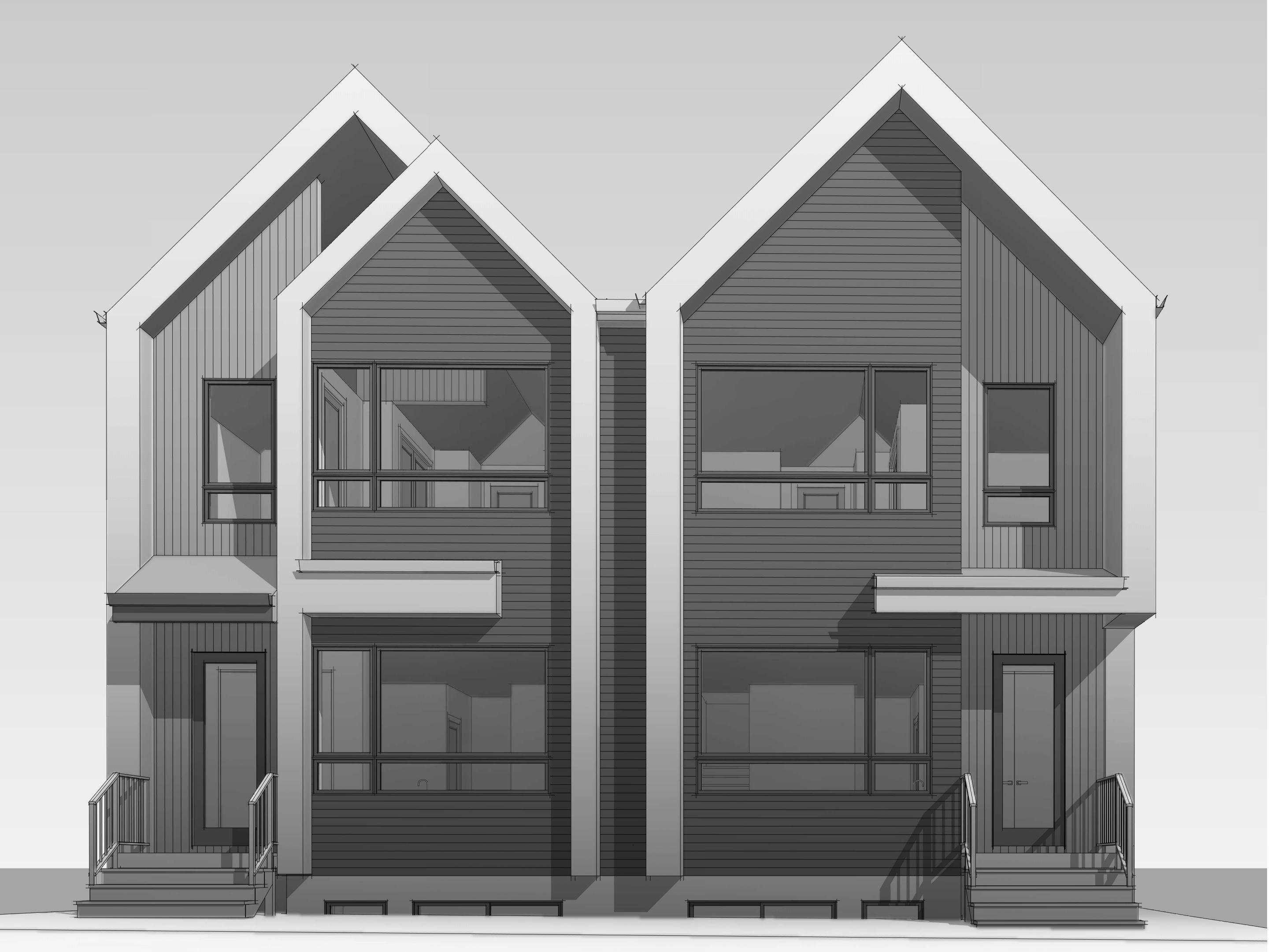
# DESIGN SIGN-OFF DRAWINGS

## PROPOSED MULTI DWELLING UNIT

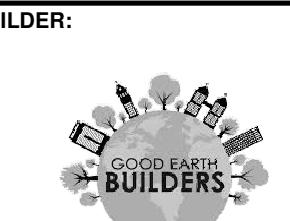
### (ISSUED NOVEMBER 5, 2025)

8102-33 Ave NW, Calgary

GENERAL NOTES	
<b>GENERAL</b>	<b>MECHANICAL</b>
- ALL DRAWINGS ARE PREPARED TO SCALE; HOWEVER, MINOR DISCREPANCIES MAY OCCUR DUE TO REPRODUCTION. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE STARTING CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO ELEANOR DESIGNS PRIOR TO PROCEEDING	- MECHANICAL DESIGN AND SPECIFICATIONS TO BE PROVIDED BY THE MECHANICAL ENGINEER
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS	- MECHANICAL CONTRACTOR MUST ENSURE THAT ALL SYSTEMS ARE INSTALLED IN ACCORDANCE WITH ENGINEERING DOCUMENTS AND ALL RELEVANT NATIONAL, PROVINCIAL, AND MUNICIPAL CODES
<b>FOUNDATIONS</b>	<b>DOOR AND WINDOWS</b>
- FOOTINGS MUST BEAR ON NATIVE, UNDISTURBED SOIL	- WINDOWS AND DOOR SIZES SHOWN ARE TO BE VERIFIED BY MANUFACTURER. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.
- FINAL GRADING MAY DIFFER FROM THAT SHOWN ON DRAWINGS. CONTRACTOR TO CONFIRM GRADES PRIOR TO CONCRETE PLACEMENT	- WINDOW MANUFACTURER TO ENSURE ALL WINDOWS SUPPLIED TO COMPLY WITH NAFS REQUIREMENTS. MINIMUM PERFORMANCE GRADE 30 MIN. POSITIVE DESIGN PRESSURE 1440Pa MIN. NEGATIVE DESIGN PRESSURE 1440Pa MIN. AIR INfiltration 330 Pa MIN. CANADIAN AIR INFILTRATION A2 ALL REQUIREMENTS CALCULATED AS PER WWW.FENESTRATIONCANADA.CA ONLINE CALCULATOR FOR WINDOWS WITHIN 10mm OF GRADE ON ROUGH TERRAIN TYPE. MANUFACTURER CALCULATIONS TO SUPERcede ARCHITECTURAL DWGs.
- ALL CONCRETE PADS AND FOOTINGS MUST BE REVIEWED AND APPROVED BY A STRUCTURAL ENGINEER TO ENSURE SUITABILITY FOR ACTUAL SITE CONDITIONS	- MAXIMUM U VALUE FOR ALL WINDOW TO BE 2.0
<b>FRAMING</b>	<b>STRUCTURAL</b>
- ALL FRAMING MATERIALS TO BE SPF #2 OR BETTER, OR AS SPECIFIED IN THE DESIGN DOCUMENTS	- TRUSS SUPPLIER SHALL PROVIDE TRUSS DESIGNS AND VERIFY ALL ROOF SLOPES. TRUSSES MUST CONFORM TO THE LATEST EDITION OF THE APPLICABLE BUILDING CODE AND BE CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER IN ALBERTA
- FRAMING DIMENSIONS ARE MEASURED FROM THE EXTERIOR SHEATHING FACE TO THE FACE OF THE INTERIOR WALL STUDS UNLESS OTHERWISE NOTED	- ALL BEAMS AND LINTELS TO BE SIZED ACCORDING TO ALBERTA BUILDING CODE TABLES
<b>ELECTRICAL</b>	- FLOOR JOIST LAYOUTS AND SPECIFICATIONS SHALL BE PROVIDED AND CERTIFIED BY THE JOIST MANUFACTURER
- ELECTRICAL LAYOUT SHOWN IS CONCEPTUAL ONLY. FINAL DESIGN AND LAYOUT TO BE CONFIRMED BY THE LICENSED ELECTRICAL CONTRACTOR	
- ALL ELECTRICAL SYSTEMS MUST COMPLY WITH APPLICABLE CODES AND STANDARDS AT THE FEDERAL, PROVINCIAL, AND LOCAL LEVELS	



DRAWING INDEX	
SHEET #	SHEET NAME
AS.1	SITE PLAN - PROPOSED
AS.2	LANDSCAPING PLAN & SECTIONS
A1.0a	MAIN FLOOR PLAN - PROPOSED
A1.1	UPPER FLOOR PLAN - PROPOSED
A1.2	FRONT & REAR ELEVATION - PROPOSED
A3.0	FRONT & REAR ELEVATION - PROPOSED
A3.1	LEFT & RIGHT ELEVATION - PROPOSED
G1.0	GARAGE PLANS - PROPOSED



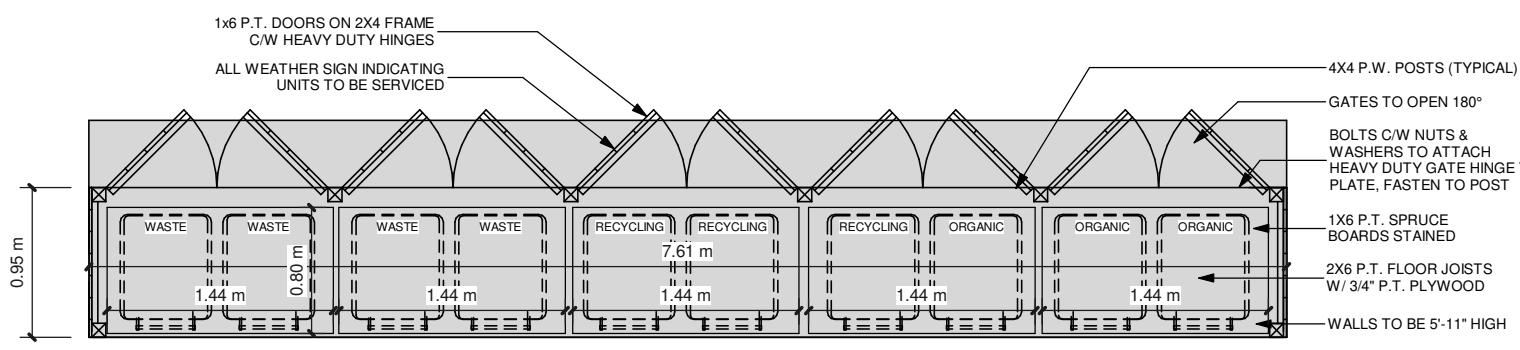
250mm Sanitary Line

150mm Water Line

6336  
BOWMONT CRES N.W.

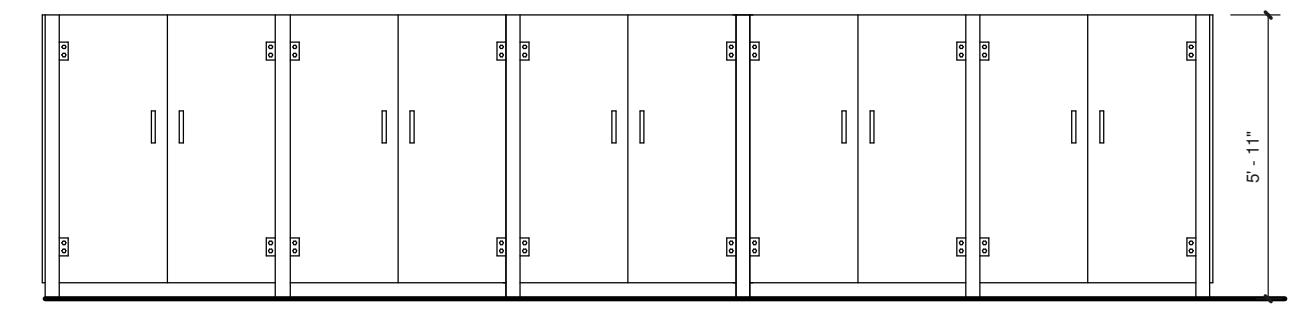
6332

6328



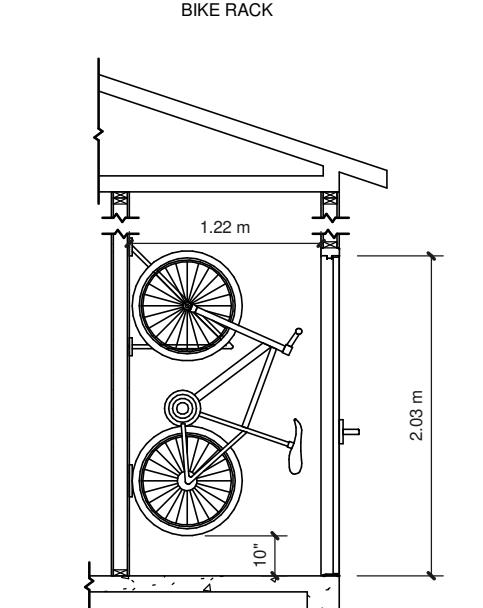
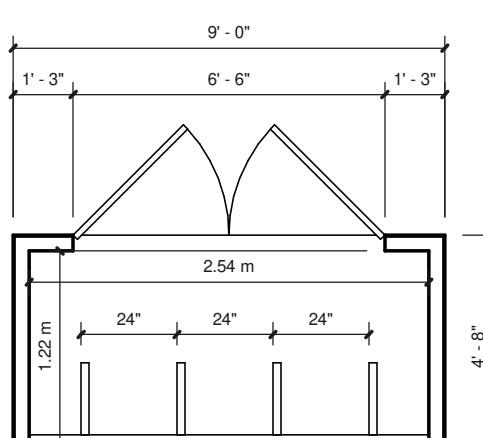
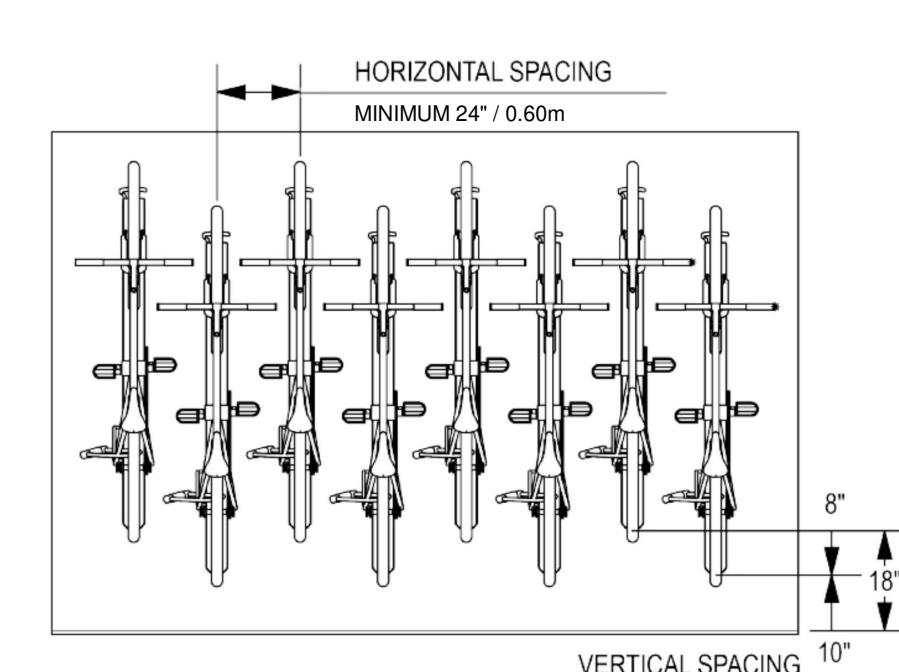
## SCREENED WASTE/RECYCLING AREA

1/4" = 1'-0"



## SCREENED WASTE/RECYCLING AREA - ELEVATION

1/4" = 1'-0"



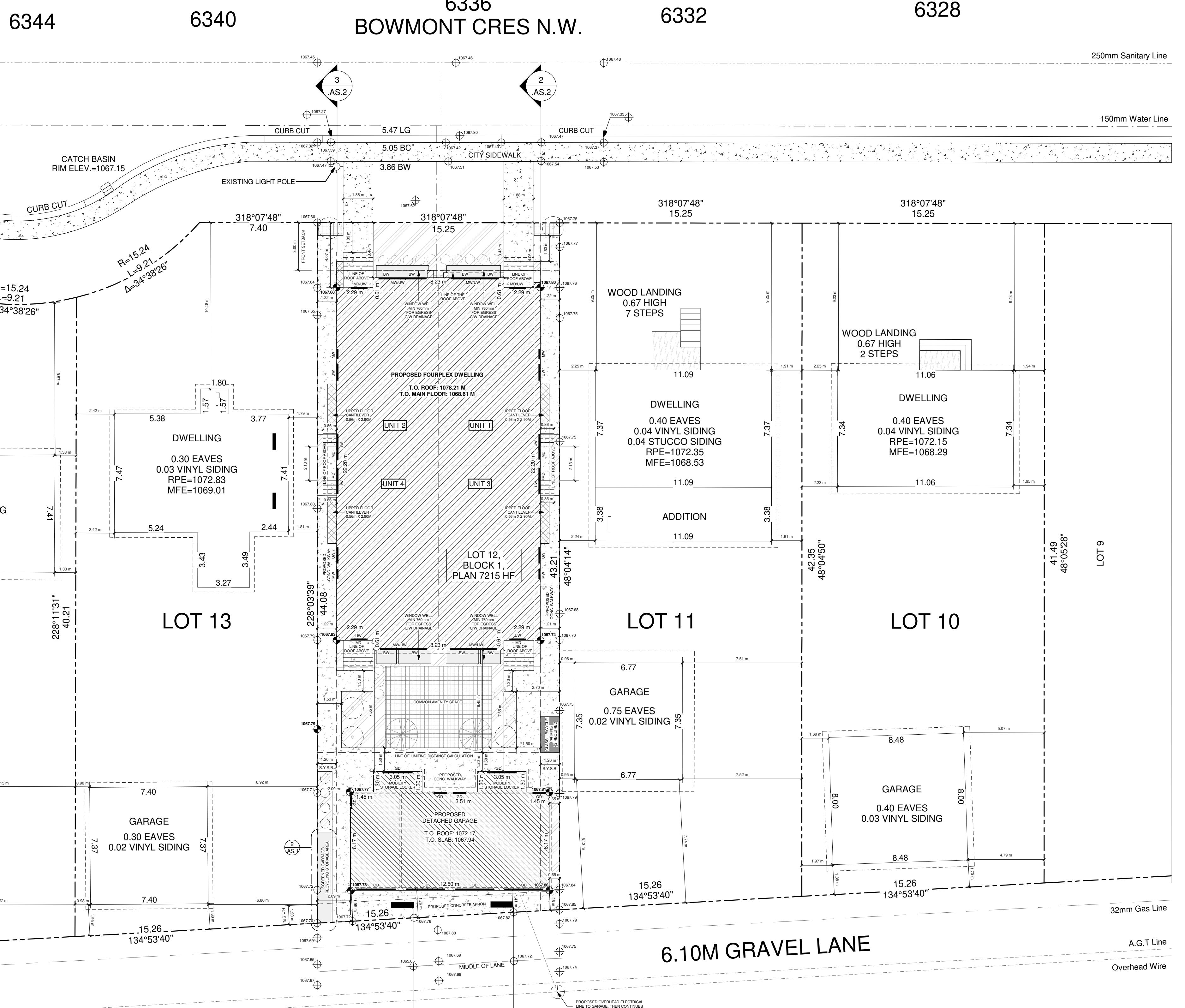
## CLASS 1 BIKE LOCKERS

1/4" = 1'-0"

LOT 22  
BLOCK 1  
PLAN 821176

## SITE PLAN - PROPOSED

1 : 150



LEGEND	
EXISTING PROPERTY LINES...	---
EXISTING SETBACK LINES...	- - -
PROPOSED CONCRETE...	[Hatched]
PROPOSED CANTILEVER...	[Hatched]
PROPOSED CANTILEVER...	[Hatched]
PROPOSED GARAGE...	[Hatched]
PROPOSED ROOF OVERHANG...	[Hatched]
PROPOSED MULCH...	[Hatched]
PROPOSED INTEGRATIVE STONE...	[Hatched]
PROPOSED SO...	[Hatched]
PROPOSED RET. WALLS...	[Hatched]
PROPOSED PERM. PAVERS...	[Hatched]
BASEMENT WINDOWS...	BW
MAIN FLOOR WINDOWS...	MW
UPPER FLOOR WINDOWS...	MD
GARAGE DOOR...	UW
OVERHEAD DOOR...	GD
EXISTING GEODETIC...	xx.xx
PROPOSED GEODETIC...	xx.xx

## LOT INFORMATION

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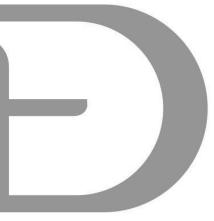
173

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1





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MAIN FLR

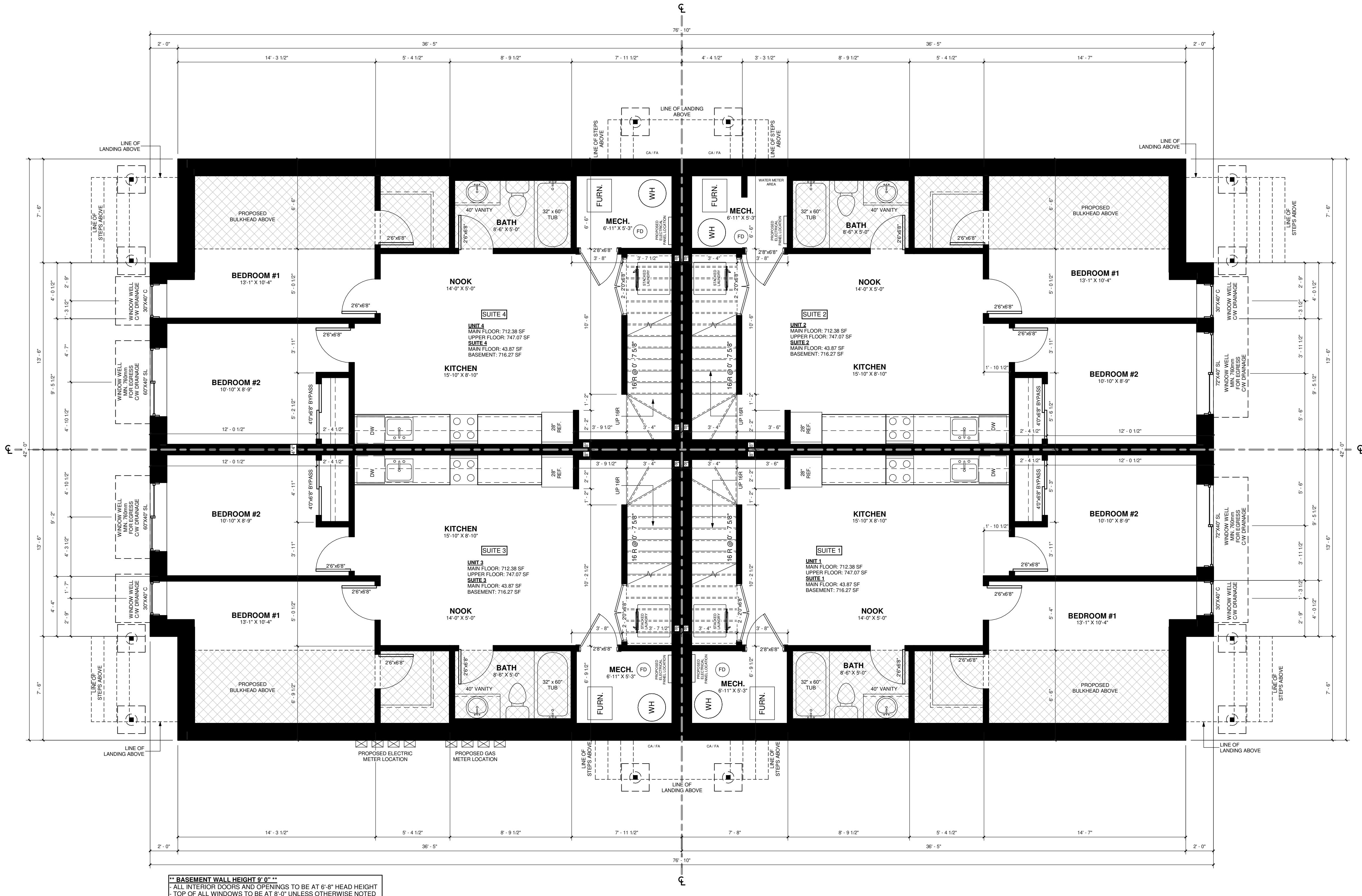
UPPER FLOOR:	2988.28 sq. ft.
TOTAL AREA:	5837.80 sq. ft.
GARAGE :	915.25 sq. ft.

BSMT DB

**GOOD EARTH  
BUILDERS**

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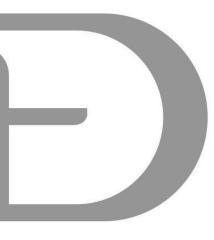
6336 BOWMONT CRES  
NW, CALGARY, AB  
LOT 12, BLOCK 1 PLAN  
7215 HF



BASEMENT FLOOR PLAN - PROPOSED

(1) —————





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UPPER FLOOR:	2988.28 sq. ft.
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WASTAGE :	915.25 sq. ft.

**ARAGE :** 915.25 sq. ft.  
**SMT DEV. :** 3040.56 sq. ft.

# GOOD EARTH BUILDERS

6336 BOWMONT CRES  
NW, CALGARY, AB  
LOT 12, BLOCK 1 PLAN  
7215 HF

**STATUS:**  
NOT ISSUED FOR CONSTRUCTION

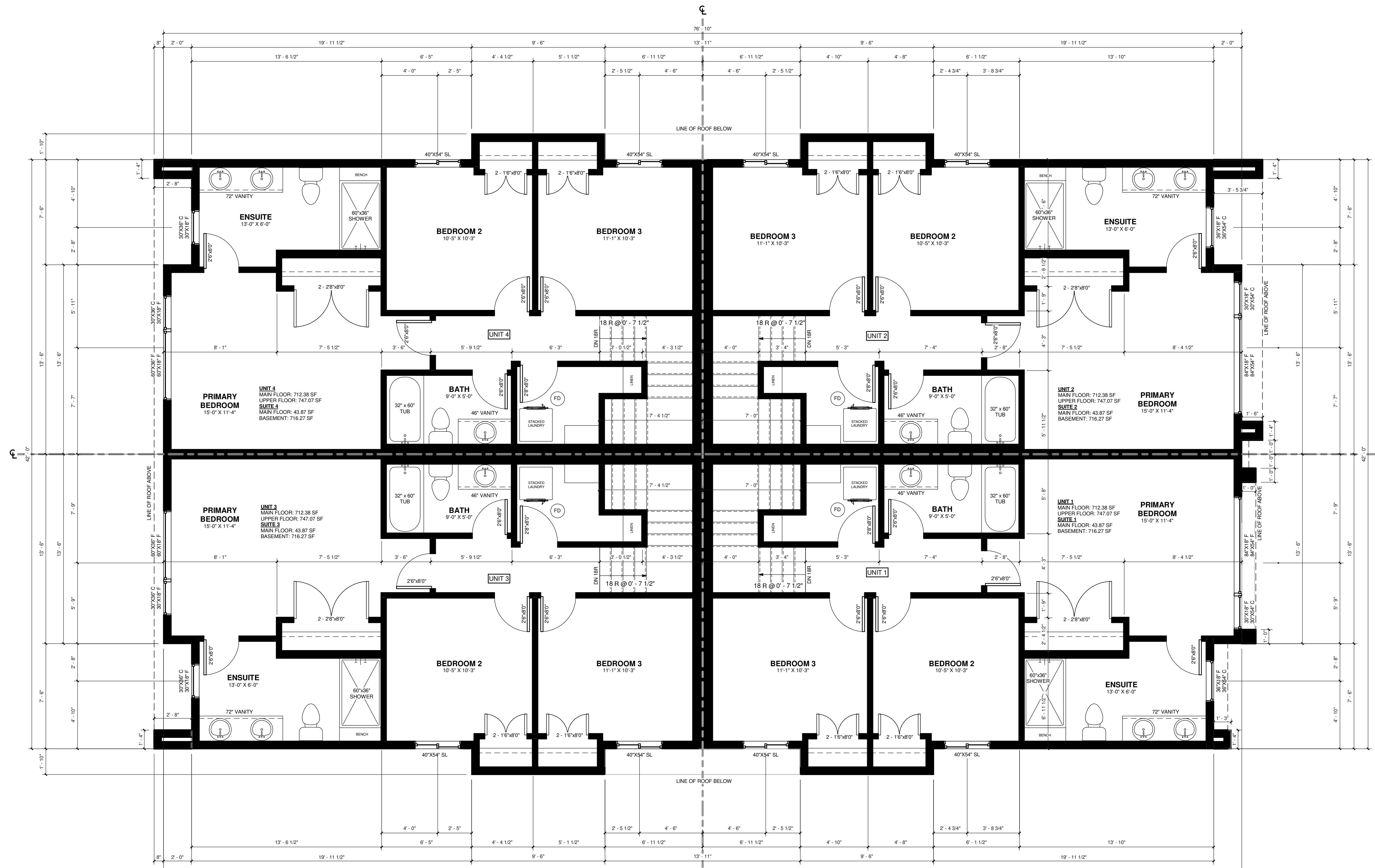
**DRAWING NAME:**  
**UPPER FLOOR PLAN -**  
**PROPOSED**

CHECKED BY:	DRAWN BY:
A.K.	A.K.

CALE: 1/4" = 1'-0"  
PRINTED ON 24x36 PAPER  
SHEET #:

## A1.2

**OTES:**



○ UPPER FLOOR PLAN - PROPOSED

$$\left( \frac{1}{4} \right) - \frac{1}{1/4} = 1$$







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CLIENT:

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BUILDERS**

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LOT 12, BLOCK 1 PLAN  
7215 HF

No	Date:	Description:	By
1	2025-08-18	DESIGN SIGN-OFF	A.K.

STATUS:  
NOT ISSUED FOR CONSTRUCTION

DRAWING NAME:  
GARAGE PLANS -  
PROPOSED

CHECKED BY: A.K.  
DRAWN BY: A.K.  
SCALE: 1/4" = 1'-0"  
PRINTED ON 24x36 PAPER

SHEET #:

**G1.0**

NOTES:

