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COMMENCEMENT OF CONSTRUCTION. WRITTEN
DIMENSIONS SHALL TAKE PRIORITY OVER
SCALED MEASUREMENTS.

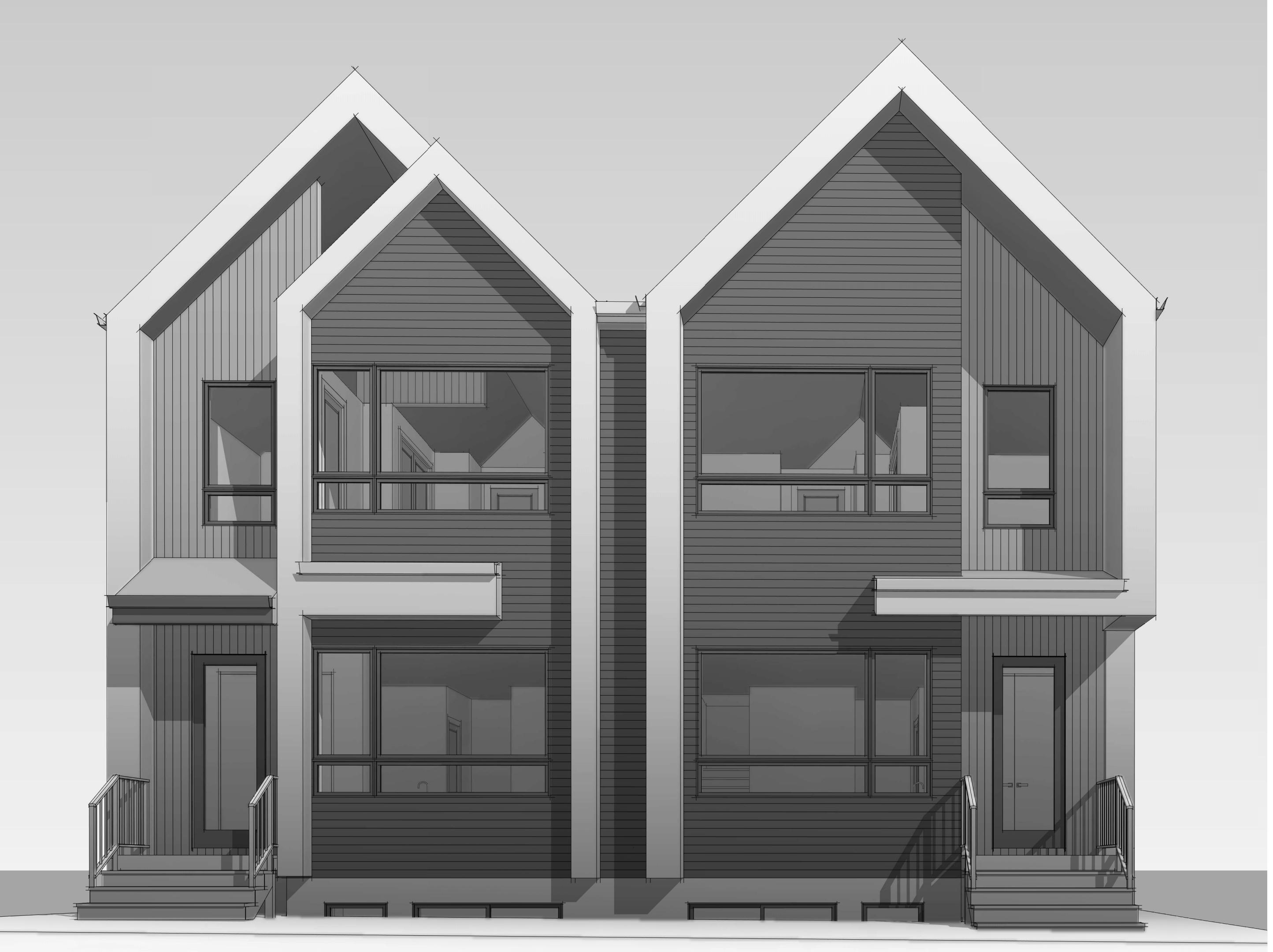
DESIGN SIGN-OFF DRAWINGS

PROPOSED MULTI DWELLING UNIT

(ISSUED AUGUST 18, 2025)

6336 BOWMONT CRESCENT NW
CALGARY, AB
LOT 12, BLOCK 1, PLAN 7215 HF

GENERAL NOTES	
GENERAL	MECHANICAL
- ALL DRAWINGS ARE PREPARED TO SCALE; HOWEVER, MINOR DISCREPANCIES MAY OCCUR DUE TO REPRODUCTION. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE STARTING CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO ELEANOR DESIGNS PRIOR TO PROCEEDING	- MECHANICAL DESIGN AND SPECIFICATIONS TO BE PROVIDED BY THE MECHANICAL ENGINEER
- WRITTEN DIMENSIONS SHALL TAKE PRIORITY OVER SCALED MEASUREMENTS	- MECHANICAL CONTRACTOR MUST ENSURE THAT ALL SYSTEMS ARE INSTALLED IN ACCORDANCE WITH ENGINEERING DOCUMENTS AND ALL RELEVANT NATIONAL, PROVINCIAL, AND MUNICIPAL CODES
FOUNDATIONS	DOOR AND WINDOWS
- FOOTINGS MUST BEAR ON NATIVE, UNDISTURBED SOIL	- WINDOWS AND DOOR SIZES SHOWN ARE TO BE VERIFIED BY MANUFACTURER. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.
- FINAL GRADING MAY DIFFER FROM THAT SHOWN ON DRAWINGS. CONTRACTOR TO CONFIRM GRADES PRIOR TO CONCRETE PLACEMENT	- WINDOW MANUFACTURER TO ENSURE ALL WINDOWS SUPPLIED TO COMPLY WITH NAFS REQUIREMENTS. MINIMUM PERFORMANCE GRADE 30 MIN. POSITIVE DESIGN PRESSURE 1440Pa MIN. NEGATIVE DESIGN PRESSURE 1440Pa MIN. AIR INfiltration 300 Pa MIN. CANADIAN AIR INfiltration A2 ALL REQUIREMENTS CALCULATED AS PER WWW.FENESTRATIONCANADA.CA ONLINE CALCULATOR FOR WINDOWS WITHIN 10mm OF GRADE ON ROUGH TERRAIN TYPE. MANUFACTURER CALCULATIONS TO SUPERcede ARCHITECTURAL DWGs.
- ALL CONCRETE PADS AND FOOTINGS MUST BE REVIEWED AND APPROVED BY A STRUCTURAL ENGINEER TO ENSURE SUITABILITY FOR ACTUAL SITE CONDITIONS	- MAXIMUM U VALUE FOR ALL WINDOW TO BE 2.0
FRAMING	STRUCTURAL
- ALL FRAMING MATERIALS TO BE SPF #2 OR BETTER, OR AS SPECIFIED IN THE DESIGN DOCUMENTS	- TRUSS SUPPLIER SHALL PROVIDE TRUSS DESIGNS AND VERIFY ALL ROOF SLOPES. TRUSSES MUST CONFORM TO THE LATEST EDITION OF THE APPLICABLE BUILDING CODE AND BE CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER IN ALBERTA
- FRAMING DIMENSIONS ARE MEASURED FROM THE EXTERIOR SHEATHING FACE TO THE FACE OF INTERIOR WALL STUDS UNLESS OTHERWISE NOTED	- ALL BEAMS AND LINTELS TO BE SIZED ACCORDING TO ALBERTA BUILDING CODE TABLES
ELECTRICAL	- FLOOR JOIST LAYOUTS AND SPECIFICATIONS SHALL BE PROVIDED AND CERTIFIED BY THE JOIST MANUFACTURER
- ELECTRICAL LAYOUT SHOWN IS CONCEPTUAL ONLY. FINAL DESIGN AND LAYOUT TO BE CONFIRMED BY THE LICENSED ELECTRICAL CONTRACTOR	
- ALL ELECTRICAL SYSTEMS MUST COMPLY WITH APPLICABLE CODES AND STANDARDS AT THE FEDERAL, PROVINCIAL, AND LOCAL LEVELS	



DRAWING INDEX		
SHEET #	SHEET NAME	
AS.1	SITE PLAN - PROPOSED	
AS.2	LANDSCAPING PLAN & SECTIONS	
A1.0a		
A1.1	MAIN FLOOR PLAN - PROPOSED	
A1.2	UPPER FLOOR PLAN - PROPOSED	
A3.0	FRONT & REAR ELEVATION - PROPOSED	
A3.1	LEFT & RIGHT ELEVATION - PROPOSED	
G1.0	GARAGE PLANS - PROPOSED	

MAIN FLOOR : 2849.52 sq. ft.

UPPER FLOOR: 2988.28 sq. ft.

TOTAL AREA: 5837.80 sq. ft.

GARAGE : 915.25 sq. ft.

BSMT DEV. : 3040.56 sq. ft.

CLIENT:

**GOOD EARTH
BUILDERS**

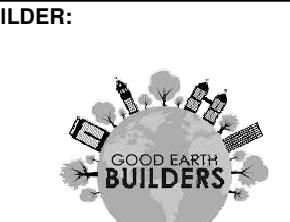
6336 BOWMONT CRES
NW, CALGARY, AB,
LOT 12, BLOCK 1 PLAN
7215 HF

No Date: Description: By

1. 2025-08-18 DESIGN SIGN-OFF AK

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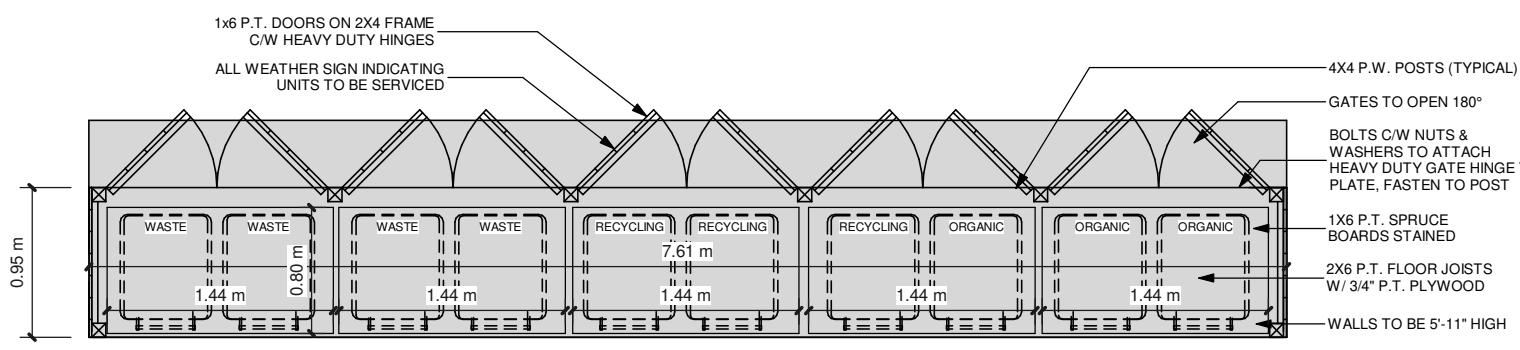
250mm Sanitary Line

150mm Water Line

6336
BOWMONT CRES N.W.

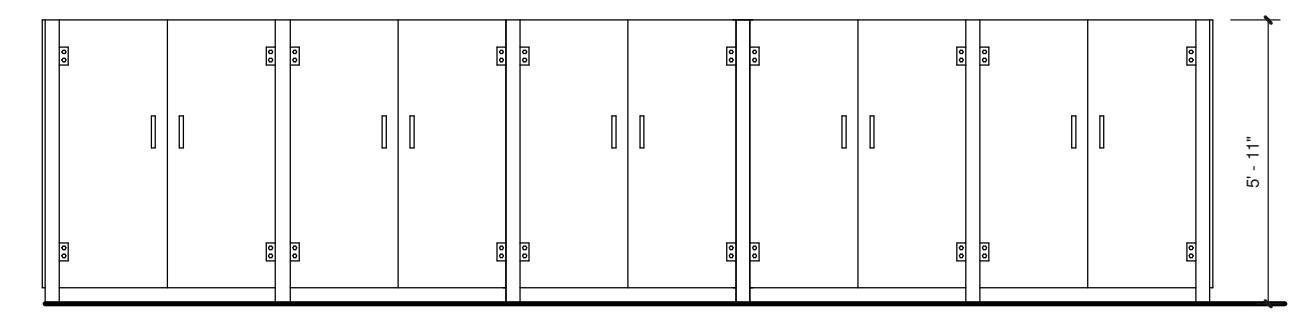
6332

6328



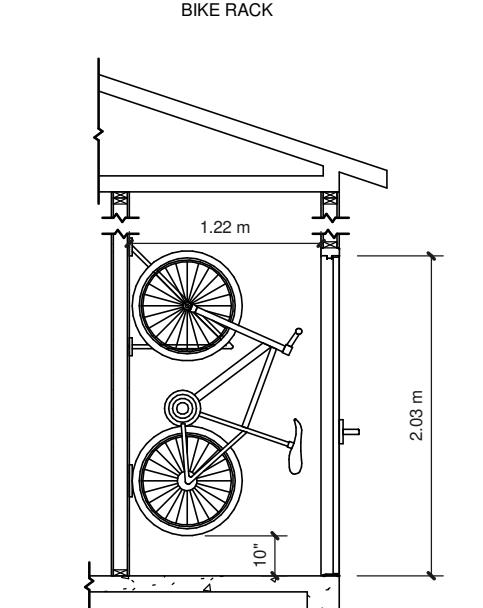
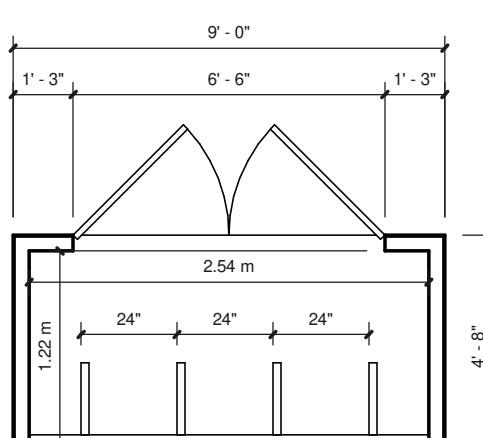
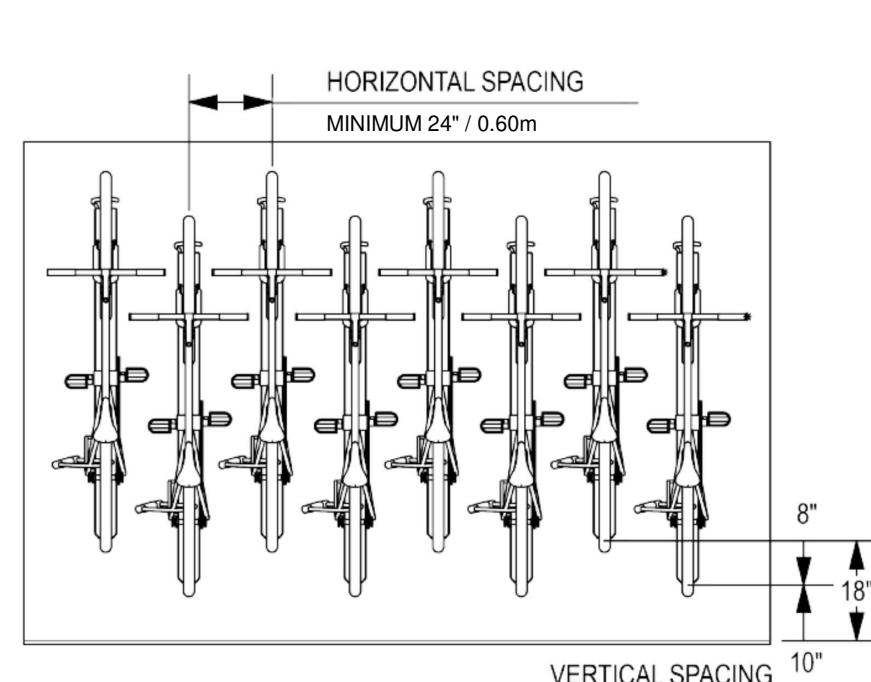
SCREENED WASTE/RECYCLING AREA

1/4" = 1'-0"



SCREENED WASTE/RECYCLING AREA - ELEVATION

1/4" = 1'-0"



CLASS 1 BIKE LOCKERS

1/4" = 1'-0"

LOT 22
BLOCK 1
PLAN 821176

1 SITE PLAN - PROPOSED

1 : 150

6344 6340 6336 6332 6328

250mm Sanitary Line

150mm Water Line

4

1/4" = 1'-0"

LEGEND
EXISTING PROPERTY LINES...
EXISTING SETBACK LINES...
PROPOSED CONCRETE...
PROPOSED CANTILEVER...
PROPOSED CANTILEVER...
PROPOSED GARAGE...
PROPOSED ROOF OVERHANG...
PROPOSED MULCH...
PROPOSED DECORATIVE STONE...
PROPOSED SO...
PROPOSED RET. WALLS...
PROPOSED PERM. PAVERS...
BASEMENT WINDOWS...
MAIN FLOOR WINDOWS...
UPPER FLOOR WINDOWS...
GARAGE DOOR...
OVERHEAD DOOR...
EXISTING GEODETIC...
PROPOSED GEODETIC...

LOT INFORMATION

LEGAL ADDRESS:
LOT 12, BLOCK 1, PLAN 7215 HF
MULTI-FAMILY RES.
6336 BOWMONT CRES NW
CALGARY, ALBERTAPROPOSED USE:
DWELLING UNITS: 4

SECONDARY SUITES: 4

SITE INFORMATION

SITE COVERAGE:

SITE COVERAGE BREAKDOWN:

PRINCIPAL BUILDING:

DETACHED GARAGE:

TOTAL COVERAGE:

379.65m² / 57.10%

SQUARE FOOTAGE SUMMARY

PARKING

PROVIDED PARKING:

4 STALLS

4 IN DETACHED GARAGE

PROVIDED:

2 UNITS

2 UNITS

MOBILITY STORAGE LOCKERS

REQUIRED:

2 UNITS

2 UNITS

2 UNITS

2 UNITS

2 UNITS

BIKE RACK SPECIFICATIONS

PROVIDE ONE INVERTED U-SHAPE BIKE RACK (CLASS 1)
TO ACCOMMODATE BICYCLE PARKING STALLS. BOLT
INTO CONCRETE C/W BASEPLATE AND PARALLEL TO LINE
OF CITY SIDEWALK.

GARBAGE / RECYCLING

INDIVIDUAL STORAGE AND COLLECTION

DISCLAIMER
THE GAS LINE INFORMATION SHOWN ON THIS SHEET
IS BASED ON RECORDS PROVIDED BY ATCO GAS.
WHILE EFFORT HAS BEEN MADE TO COMPILE
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COMPLETENESS. SERVICE LINES, INCLUDING WATER,
STORM, SANITARY, ELECTRICAL AND CABLE, ARE
SHOWN AS REFERENCE ONLY. THESE MAPS MAY NOT REFLECT
THE ACTUAL LOCATIONS OR LENGTHS. IT IS
STRONGLY RECOMMENDED TO CONTACT CALL-BEFORE-YOU-DIG SERVICES PRIOR TO COMMENCING
ANY EXCAVATION OR CONSTRUCTION WORK.

PROPOSED TREE LEGEND

TREE CONIFEROUS
- UPRIGHT COLORADO SPRUCE
PICEA PUNGENS "FASTIGIATA"
2 PROVIDED2 @ Min. Height 4.0m
MATURE H. 23' MATURE S. 5'TREES DECIDUOUS
- COLUMNAR SWEDISH ASPEN
POPULUS TREMULA "ERECTA"
5 PROVIDED

LANDSCAPING BREAKDOWN

SHRUBS
- MUGO PINE
PINUS MUGO
4 PROVIDEDMin. Height or Spread
of 0.60m at time of plantingSHRUBS
- NINEBARK
PHYSOCARPUS OPULIFOLIOSUS
18 PROVIDEDMin. Height or Spread
of 0.60m at time of plantingPRINCIPAL BUILDING:
DETACHED GARAGE:
GARAGE APRON:
GARBAGE AND RECYCLE:
LANDSCAPING AREA:
HARD LANDSCAPING (63.97%):
CONCRETE -
WINDOW WELLS -
SOFT LANDSCAPING (36.03%):
MULCH -
SOD (RED CREEPING FESCUE) -
ALL PLANT MATERIALS MUST BE OF A
SPECIES CAPABLE OF HEALTHY GROWTH
IN CALGARY AND MUST CONFORM TO THE
STANDARDS OF THE CANADIAN NURSERY
LANDSCAPE ASSOCIATION.3171.30 SQ.FT.
915.25 SQ.FT.
215.94 SQ.FT.
57.33 SQ.FT.
2798.05 SQ.FT.
1674.43 SQ.FT.
115.56 SQ.FT.
608.87 SQ.FT.
399.19 SQ.FT.A.G.T Line
Overhead WireTHIS PROPERTY DOES NOT FALL WITHIN THE OVERLAND
FLOW REGION OF THE FLOODWAY / FLOOD FRINGE
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UPPER FLOOR: 2988.28 sq. ft.
TOTAL AREA: 5837.80 sq. ft.
GARAGE : 915.25 sq. ft.
BSMT DEV. : 3040.56 sq. ft.CLIENT:
**GOOD EARTH
BUILDERS**6336 BOWMONT CRES
NW, CALGARY, AB
LOT 12, BLOCK 1 PLAN
7215 HFNo Date Description By
1 2025-08-18 DESIGN SIGN-OFF AK

STATUS: NOT ISSUED FOR CONSTRUCTION

DRAWING NAME: SITE PLAN - PROPOSED

CHECKED BY: A.K. DRAWN BY: A.K.

SCALE: As indicated
PRINTED ON 24x36 PAPERSHEET #: .AS.1
NOTES:



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MAIN FLOOR : 28

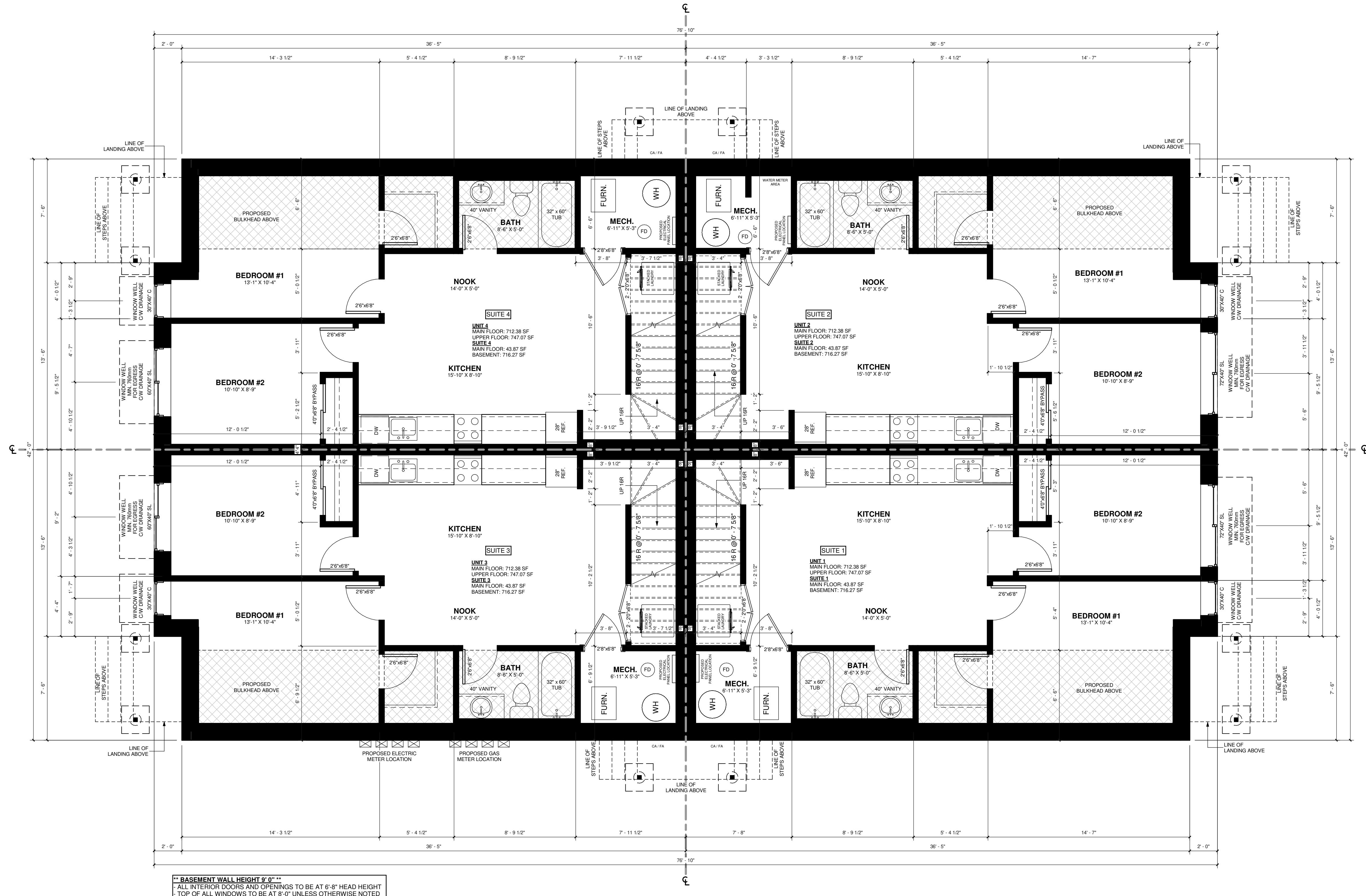
UPPER FLOOR: 298

TOTAL AREA:	5837.80 sq. ft.
GARAGE	: 915.25 sq. ft.
PCM/T. DEV.	6243.56 sq. ft.

BSMT DEV. : 30

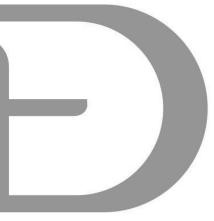
**GOOD EARTH
BUILDERS**

6336 BOWMONT CRES
NW, CALGARY, AB
LOT 12, BLOCK 1 PLAN
7215 HF



BASEMENT FLOOR PLAN - PROPOSED

(1) ——————
1/4" —



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TOTAL AREA:	5837.80 sq. ft.
GARAGE :	915.25 sq. ft.
COMT. REV.	2010-50

CLIENT:

GOOD EARTH BUILDERS

6336 BOWMONT CRES
NW, CALGARY, AB
LOT 12, BLOCK 1 PLAN
7215 HF

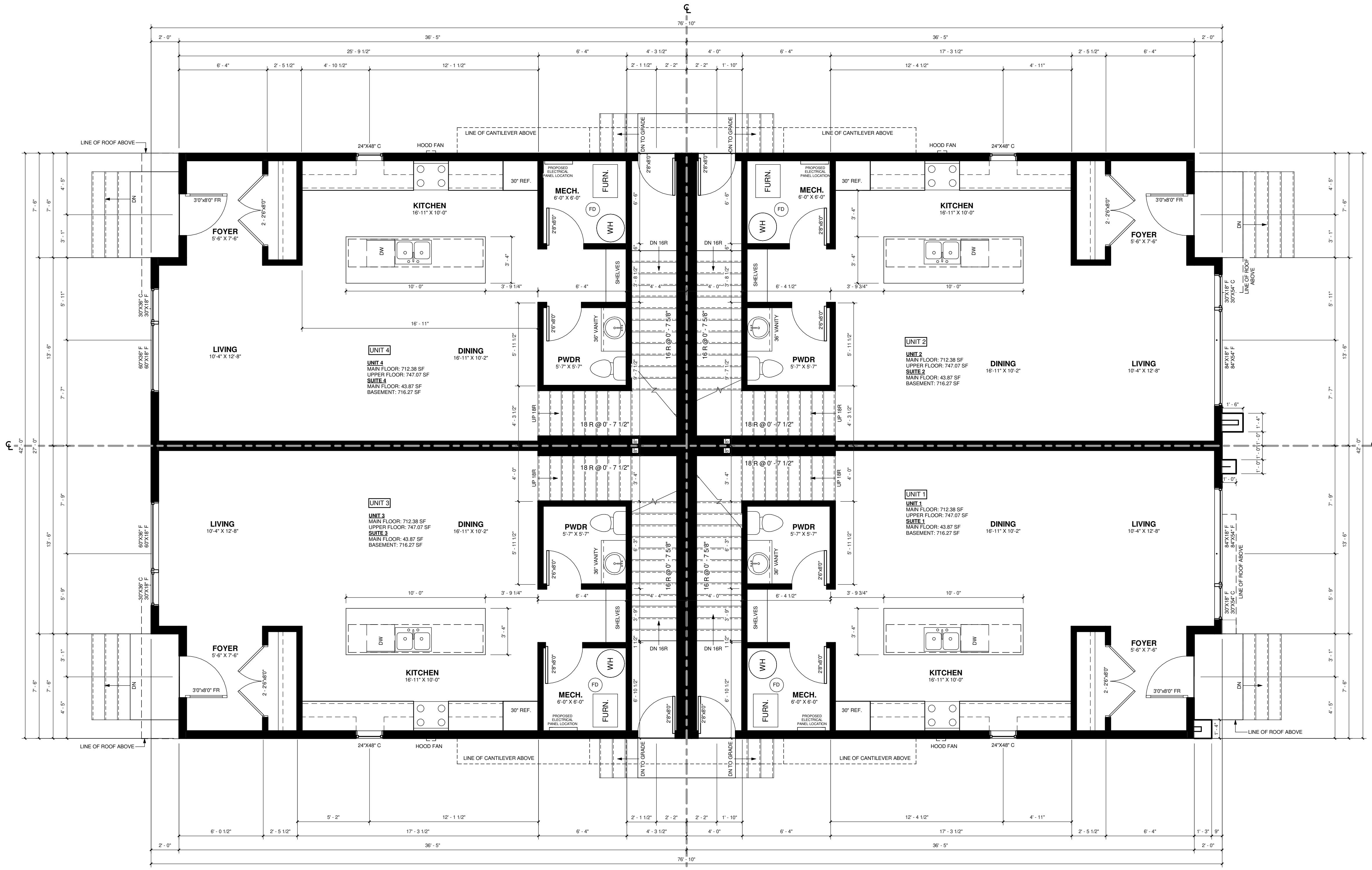
STATUS:
NOT ISSUED FOR CONSTRUCTION

**DRAWING NAME:
MAIN FLOOR PLAN -
PROPOSED**

CHECKED BY: A.K.	DRAWN BY: A.K.
SCALE: 1/4" - 1' 0"	

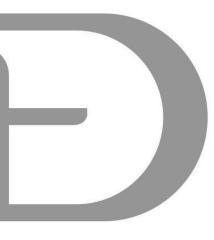
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HEET #: A1 1

NOTES:



**** MAIN FLOOR WALL HEIGHT 10'-1 1/8" ****
- ALL INTERIOR DOORS AND OPENINGS TO BE AT 8'-0" HEAD HEIGHT
- TOP OF ALL WINDOWS TO BE AT 8'-0" UNLESS OTHERWISE NOTED

MAIN FLOOR PLAN - PROPOSED



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UPPER FLOOR:	2988.28 sq. ft.
TOTAL AREA:	5837.80 sq. ft.
WASTAGE :	915.25 sq. ft.

ARAGE : 915.25 sq. ft.
SMT DEV. : 3040.56 sq. ft.

GOOD EARTH BUILDERS

6336 BOWMONT CRES
NW, CALGARY, AB
LOT 12, BLOCK 1 PLAN
7215 HF

STATUS:
NOT ISSUED FOR CONSTRUCTION

DRAWING NAME:
UPPER FLOOR PLAN -
PROPOSED

CHECKED BY: A K **DRAWN BY:** A K

SCALE: 1/4" = 1'-0"
PRINTED ON 24x36 PAPER
HEET #:

A1.2

NOTES:

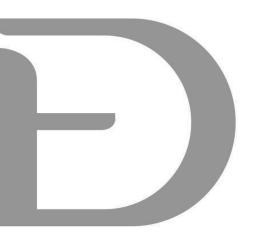
This detailed architectural floor plan illustrates a large residential complex, likely a townhouse or apartment building, featuring multiple units (UNIT 1 through UNIT 4) and various functional areas.

Key Features and Dimensions:

- Units:** The plan shows four main units (UNIT 1, UNIT 2, UNIT 3, UNIT 4) arranged in a staggered layout. Each unit includes a primary bedroom, ensuite, bathroom, and multiple bedrooms (BEDROOM 2 and BEDROOM 3).
- Rooms and Amenities:** Each unit contains a primary bedroom, an ensuite with a 60"x36" shower, a bathroom with a 32"x60" tub, and two additional bedrooms (BEDROOM 2 and BEDROOM 3). Units also feature stacked laundry areas, 46" vanities, and various storage compartments.
- Dimensions:** The overall width of the building is 19'-11 1/2". Individual rooms and hallways are labeled with their specific dimensions, such as 15'-0" x 11'-4" for primary bedrooms and 10'-5" x 10'-3" for secondary bedrooms.
- Vertical Layout:** The plan includes multiple levels, indicated by dashed horizontal lines representing the "LINE OF ROOF ABOVE" and "LINE OF ROOF BELOW".
- Exterior and Internal Details:** External dimensions like 13'-6", 8'-1", and 42'-0" are provided for exterior walls. Internal details include fire doors (FD), windows (W), and various fixtures like sinks and toilets.

© UPPER FLOOR PLAN - PROPOSED

$$1 \quad \frac{-}{1/4" = 1}$$



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BUILDERS**

6336 BOWMONT CRES
NW, CALGARY, AB
LOT 12, BLOCK 1 PLAN
7215 HF

No	Date	Description	By
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BUILDERS**

6336 BOWMONT CRES
NW, CALGARY, AB
LOT 12, BLOCK 1 PLAN
7215 HF

No	Date:	Description:	By:
1	2025-08-18	DESIGN SIGN-OFF	A.K.

STATUS:
NOT ISSUED FOR CONSTRUCTION

DRAWING NAME:
GARAGE PLANS -
PROPOSED

CHECKED BY: A.K.
DRAWN BY: A.K.
SCALE: 1/4" = 1'-0"
PRINTED ON 24x36 PAPER

SHEET #:
G1.0

NOTES:

