

DEVELOPMENT PERMIT DRAWINGS
PROPOSED MULTI DWELLING UNIT
(ISSUED SEPTEMBER 25, 2025)

**740 FORLEE DRIVE SE
CALGARY, AB
LOT 7, BLOCK 16, PLAN 1631 JK**



GENERAL NOTES

GENERAL

- ALL DRAWINGS ARE PREPARED TO SCALE; HOWEVER, MINOR DISCREPANCIES MAY OCCUR DUE TO REPRODUCTION. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE STARTING CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO ELEANOR DESIGNS PRIOR TO PROCEEDING
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS

FOUNDATIONS

- FOOTINGS MUST BEAR ON NATIVE, UNDISTURBED SOIL
- FINAL GRADING MAY DIFFER FROM THAT SHOWN ON DRAWINGS. CONTRACTOR TO CONFIRM GRADES PRIOR TO CONCRETE PLACEMENT
- ALL CONCRETE PADS AND FOOTINGS MUST BE REVIEWED AND CONFIRMED BY A STRUCTURAL ENGINEER TO ENSURE SUITABILITY FOR ACTUAL SITE CONDITIONS

FRAMING

- ALL FRAMING MATERIALS TO BE SPF #2 OR BETTER, OR AS SPECIFIED IN THE DESIGN DOCUMENTS
- FRAMING DIMENSIONS ARE MEASURED FROM THE EXTERIOR SHEATHING FACE TO THE FACE OF INTERIOR WALL STUDS UNLESS OTHERWISE NOTED

ELECTRICAL

- ELECTRICAL LAYOUT SHOWN IS CONCEPTUAL ONLY. FINAL DESIGN AND LAYOUT TO BE CONFIRMED BY THE LICENSED ELECTRICAL CONTRACTOR
- ALL ELECTRICAL SYSTEMS MUST COMPLY WITH APPLICABLE CODES AND STANDARDS AT THE FEDERAL, PROVINCIAL, AND LOCAL LEVELS

MECHANICAL

- MECHANICAL DESIGN AND SPECIFICATIONS TO BE PROVIDED BY THE MECHANICAL ENGINEER
- MECHANICAL CONTRACTOR MUST ENSURE THAT ALL SYSTEMS ARE INSTALLED IN ACCORDANCE WITH ENGINEERING DOCUMENTS AND ALL RELEVANT NATIONAL, PROVINCIAL, AND MUNICIPAL CODES

DOOR AND WINDOWS

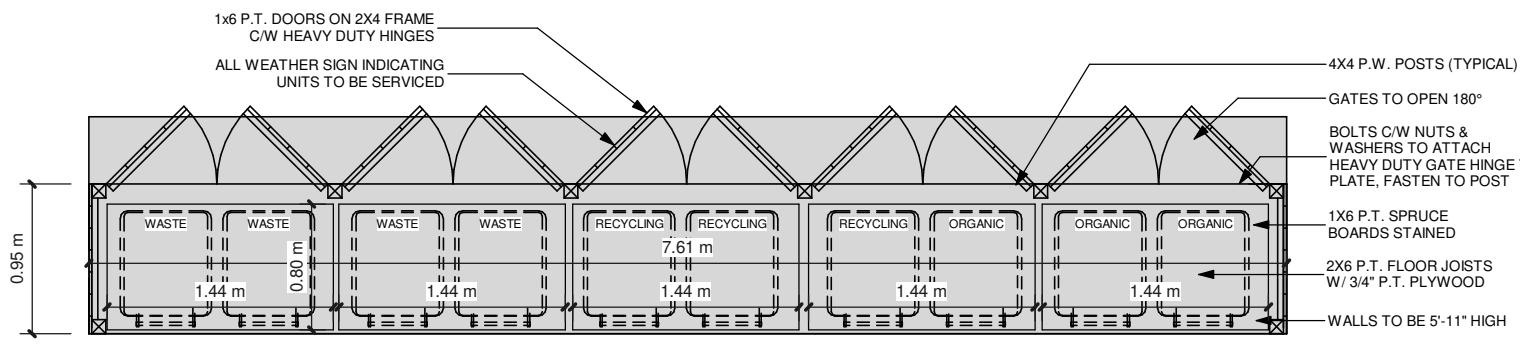
- WINDOWS AND DOOR SIZES SHOWN ARE TO BE VERIFIED BY MANUFACTURER. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.
- WINDOW MANUFACTURER TO ENSURE ALL WINDOWS SUPPLIED TO COMPLY WITH NAFS REQUIREMENTS.
 - MINIMUM PERFORMANCE GRADE 30
 - MIN. POSITIVE DESIGN PRESSURE 1440PA
 - MIN. NEGATIVE DESIGN PRESSURE 1440PA
 - MIN. WATER PENETRATION PRESSURE 330 PA
 - MIN. CANADIAN AIR INFILTRATION A2
- ALL REQUIREMENTS CALCULATED AS PER WWW.FENESTRATIONCANADA.CA ONLINE CALCULATOR FOR WINDOWS WITHIN 10mm OF GRADE ON ROUGH TERRAIN TYPE. MANUFACTURER CALCULATIONS TO SUPERCEDE ARCHITECTURAL DWGS.
- MAXIMUM U VALUE FOR ALL WINDOW TO BE 2.0

STRUCTURAL

- TRUSS SUPPLIER SHALL PROVIDE TRUSS DESIGNS AND VERIFY ALL ROOF SLOPES. TRUSSES MUST CONFORM TO THE LATEST EDITION OF THE APPLICABLE BUILDING CODE AND BE CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER IN ALBERTA
- ALL BEAMS AND LINTELS TO BE SIZED ACCORDING TO ALBERTA BUILDING CODE TABLES
- FLOOR JOIST LAYOUTS AND SPECIFICATIONS SHALL BE PROVIDED AND CERTIFIED BY THE JOIST MANUFACTURER

DRAWING INDEX

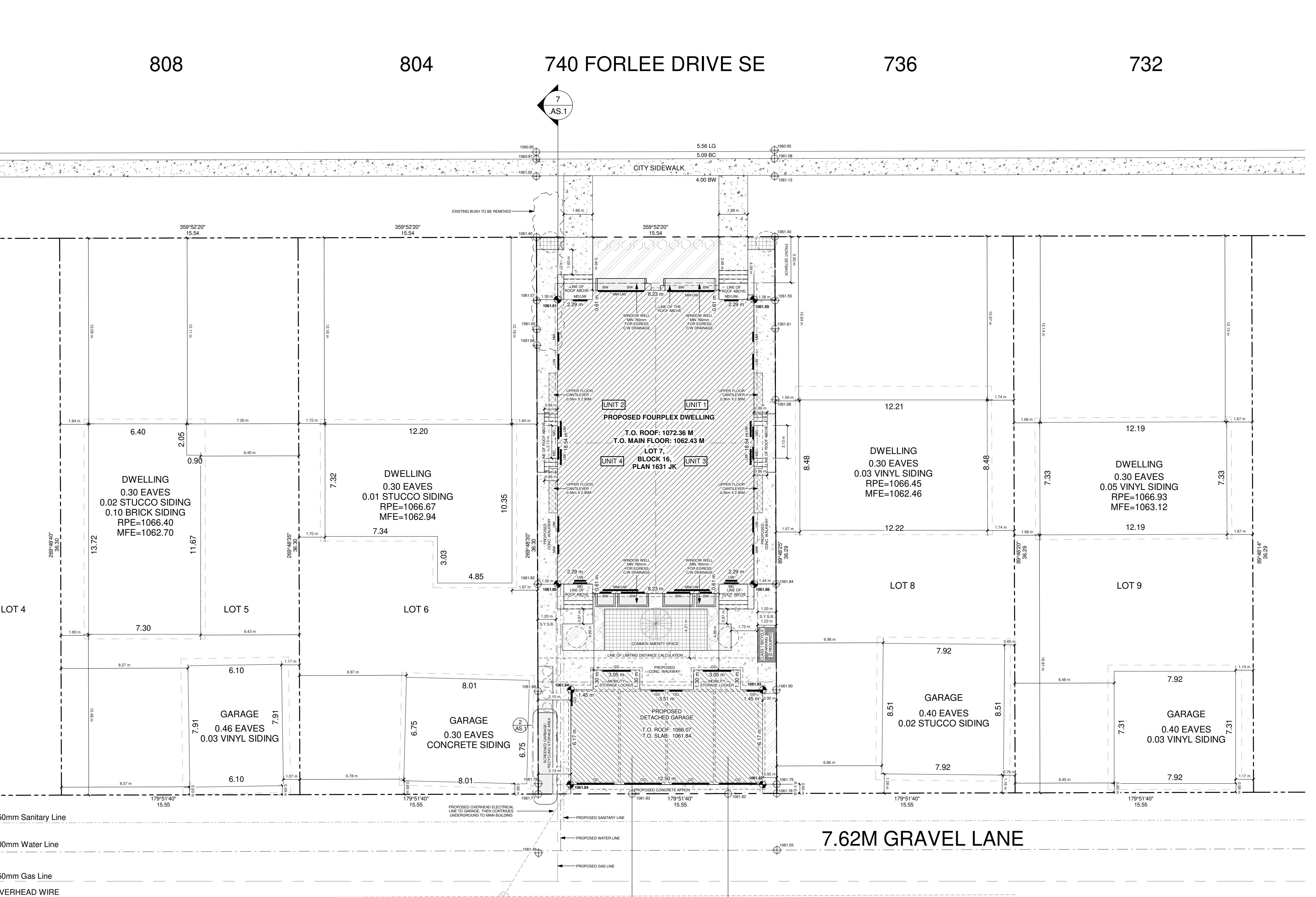
SHEET #	SHEET NAME
.AS.1	SITE PLAN - PROPOSED
A1.0a	BASEMENT PLAN - PROPOSED
A1.1	MAIN FLOOR PLAN - PROPOSED
A1.2	UPPER FLOOR PLAN - PROPOSED
A3.0	FRONT & REAR ELEVATION - PROPOSED
A3.1	LEFT & RIGHT ELEVATION - PROPOSED
C1.0	CARAGE PLANS - PROPOSED



SCREENED WASTE/RECYCLING AREA

2

808



SITE PLAN - PROPOSED

1

1 : 150

BOULEVARD SECTION 1

3/16" = 1'-0"

LEGEND		LOT INFORMATION		SITE COVERAGE		PARKING	MOBILITY STORAGE LOCKERS		DISCLAIMER		PROPOSED TREE LEGEND		LANDSCAPING BREAKDOWN	
EXISTING PROPERTY LINES...	---	LEGAL ADDRESS: LOT 7, BLOCK 16, PLAN 1631 JK	MUNICIPAL ADDRESS: 740 FORLEE DRIVE SE	SITE COVERAGE BREAKDOWN:		PROVIDED PARKING: 4 STALLS	REQUIRED: 2 UNITS		THE GAS INFORMATION SHOWN ON THIS SHEET IS BASED ON RECORDS PROVIDED BY ATCO GAS. WHILE EFFORT HAS BEEN MADE TO COMPILE ACCURATE DATA, NO WARRANTY OR GUARANTEE IS GIVEN REGARDING ITS ACCURACY OR COMPLETENESS. SERVICE LINES, INCLUDING WATER, STORM, SANITARY, ELECTRICAL AND CABLE, ARE SHOWN AS REFERENCE ONLY AND MAY NOT REFLECT THEIR ACTUAL LOCATION OR LENGTH. IT IS STRONGLY RECOMMENDED TO CONTACT CALL-BEFORE-YOU-DIG SERVICES PRIOR TO COMMENCING ANY EXCAVATION OR CONSTRUCTION WORK.		TREE CONIFEROUS - UPRIGHT COLORADO SPRUCE PICEA PUNGENS "FASTIGIATA" 1 PROVIDED	SHRUBS - MUGO PINE PINUS MUGO 4 PROVIDED	PRINCIPAL BUILDING: 2667.33 SQ.FT. DETACHED GARAGE: 915.25 SQ.FT.	
EXISTING SETBACK LINES...	---	PRINCIPAL BUILDING: 2667.33 sq.ft. + 247.80m ²	DETACHED GARAGE: 915.25 sq.ft. + 85.03m ²	TOTAL COVERAGE:	332.83m ² / 59.91%	4 IN DETACHED GARAGE	PROVIDED: 2 UNITS			ACADEMIC SPRUCE PICEA ABIES 1 PROVIDED	SHRUBS - NINEBARK PHYSOCARPUS OPULIFOLIOSUS 18 PROVIDED	DETACHED GARAGE: 89.22 SQ.FT.		
PROPOSED CONCRETE...	---	SITES #1, #2, #3 & #4		SUITES #1, #2, #3 & #4						COLONIAL SPRUCE PICEA ABIES 1 PROVIDED	SHRUBS - SOFT LANDSCAPING (31.71%): MULCH - 529.17 SQ.FT. SOD (RED CREEPING FESCUE) - 226.14 SQ.FT.	GARAGE APRON: 55.10 SQ.FT.		
PROPOSED CANTILEVER...	---	SITE INFORMATION		MAIN: 638.04 SF	UPPER: 621.07 SF					SWEDISH ASPEN POPULUS TREMULA "ERECTA" 4 PROVIDED		LANDSCAPING AREA: 2382.67 SQ.FT.		
PROPOSED GARAGE...	---	SITE AREA: 6070.05 sq.ft. 555.56 m ²	LANED: R-CG	BASEMENT: 638.04 SF	TOTAL: 659.29 SF									
PROPOSED ROOF OVERHANG...	---	MAX. BUILDING HEIGHT: 11.0m	MAX. YARD SETBACK:	3.0m										
PROPOSED RETROGRADE STONE...	---	1.20m	SIDE YARD SETBACK:	1.20m										
PROPOSED SOD...	---	1.20m	REAR YARD SETBACK:	1.20m										
PROPOSED RET. WALLS...	---	72UPH	DEPTH:	0.90										
PROPOSED PERM. PAVERS...	---		F.A.R.:	60%										
EXISTING GEODETIC...	xx.xx		MAX. SITE COVERAGE:											
PROPOSED GEODETIC...	xx.xx													

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COMMENCEMENT OF CONSTRUCTION WRITTEN
DIMENSIONS SHALL TAKE PRIORITY OVER
SCALED MEASUREMENTS.MAIN FLOOR : 2552.16 sq. ft.
UPPER FLOOR: 2484.28 sq. ft.
TOTAL AREA: 5036.44 sq. ft.
GARAGE : 915.25 sq. ft.
BSMT DEV. : 2633.16 sq. ft.
CLIENT:
**GOOD EARTH
BUILDERS**740 FORLEE DR SE
CALGARY, AB
LOT 7, BLOCK 16
PLAN 1631 JKNo Date Description By
1 2025-09-25 DP DRAWINGS AKSTATUS:
NOT ISSUED FOR CONSTRUCTIONDRAWING NAME:
SITE PLAN - PROPOSEDCHECKED BY: A.K.
DRAWN BY: A.K.
SCALE: As indicated
PRINTED ON 24x36 PAPERSHEET #:
.AS.1

NOTES:



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SUMMER:

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ONS SHALL TAKE PRECEDENCE OVER
SCALED MEASUREMENTS.

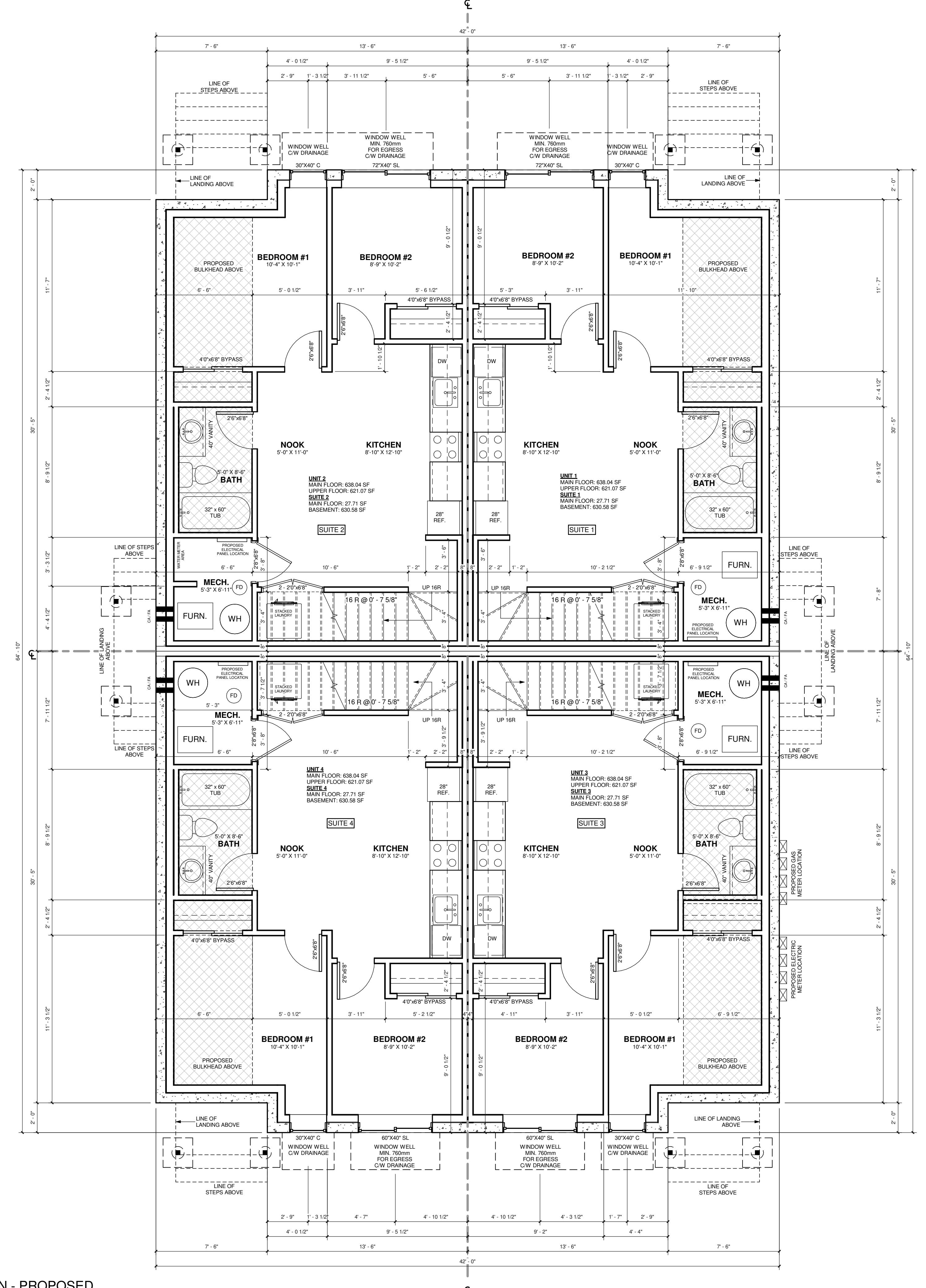
LOOR :

FLOOR:

AREA:	5036.44 sq. ft
GE	: 915.25 sq. ft
DEV.	: 2633.16 sq. ft

Page 1

WOOD EARTH BUILDERS



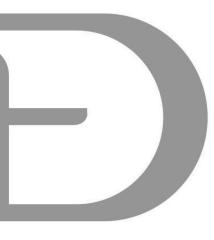
1 BASEMENT FLOOR PLAN - PROPOSED

1 —————
1/4" =

**** BASEMENT WALL H**

BASEMENT WALL HEIGHTS

- ALL INTERIOR DOORS AND OPENINGS TO BE AT 6'-8" HEAD HEIGHT
- TOP OF ALL WINDOWS TO BE AT 8'-0" UNLESS OTHERWISE NOTED



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REMARKS:
HAVE BEEN PREPARED TO SCALE
HOWEVER, MINOR VARIATIONS
DUE TO REPRODUCTION, CONTRACTOR
SHOULD VERIFY ALL DIMENSIONS ON SITE BEFORE
WORK. ANY DISCREPANCIES
SHOULD BE REFERRED TO ELEANOR DESIGNS PRIOR
TO COMMENCEMENT OF CONSTRUCTION. WRITTEN
NOTES OR CHANGES MADE ON THE DRAWINGS
SHALL TAKE PREFERENCE OVER
VERBAL MEASUREMENTS.

OR :	2552.16
LOOR:	2484.28
REA:	5036.44
:	915.25
Y	6666.42

GOOD EARTH BUILDERS

ED FOR CONSTRUCT

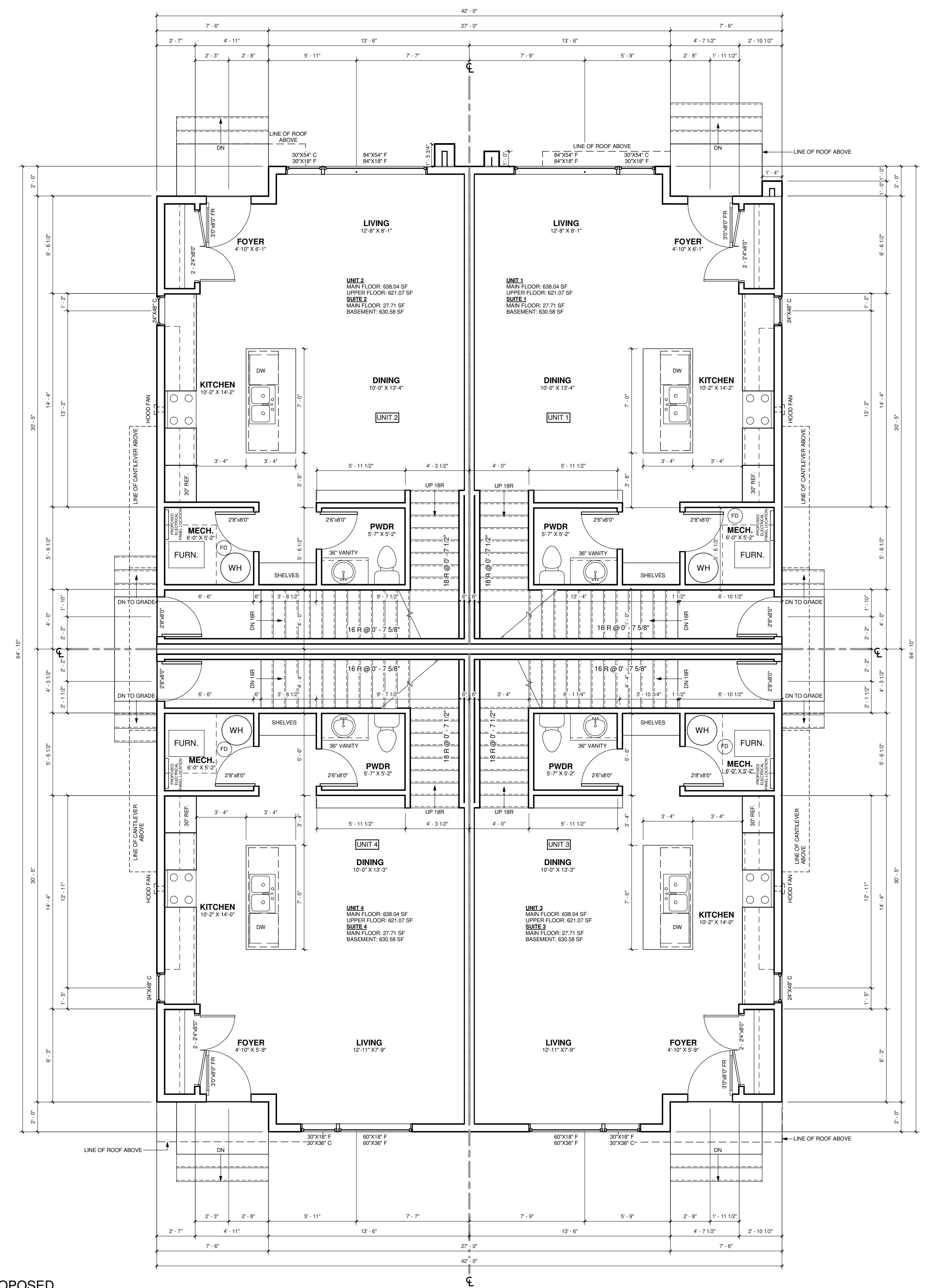
**NAME:
FLOOR PLAN -
PROPOSED**

BY: DRAWN BY:
K. A.K.
1/4" = 1'-0"

ON 24x36 PAPER

A.I.

Page 1 of 1



1 MAIN FLOOR PLAN - PROPOSED

 1/4" = 1'-0"

**** MAIN FLOOR WALL HEIGHT 10'-1 1/8" ****

- ALL INTERIOR DOORS AND OPENINGS TO BE AT 8'-0" HEAD HEIGHT
- TOP OF ALL WINDOWS TO BE AT 8'-0" UNLESS OTHERWISE NOTED

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**BUILDER:**
GOOD EARTH BUILDERSDRAWINGS HAVE BEEN PREPARED TO SCALE AS
INDICATED ON THE DRAWING. MINOR VARIATIONS
MAY OCCUR DUE TO REPRODUCTION. CONTRACTOR
LIAISON IS ADVISED OF THESE VARIATIONS.
BEGGING ANY WORK, ANY DISCREPANCIES MUST
BE RESOLVED BY THE CONTRACTOR. WRITTEN
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SCALED MEASUREMENTS.**MAIN FLOOR :** 2552.16 sq. ft.
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TOTAL AREA: 5036.44 sq. ft.
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CLIENT:**GOOD EARTH
BUILDERS**740 FORLEE DR SE
CALGARY, AB
LOT 7, BLOCK 16
PLAN 1631 JK

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The logo for Good Earth Builders features a central globe with a city skyline silhouette (including a tall skyscraper) rising from its top. The globe is surrounded by stylized trees and foliage. The company name "GOOD EARTH BUILDERS" is written in a bold, sans-serif font across the bottom of the globe.

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DIMENSIONS SHALL TAKE PREFERENCE SCALED MEASUREMENTS.	
MAIN FLOOR :	2552.
UPPER FLOOR:	2484.
TOTAL AREA:	5036.
GARAGE :	915.
PSMT. DEV. :	2622.

BSMT DEV. : 2633.
CLIENT:

GOOD EAR BUILDERS

740 FORLEE DR
CALGARY, AB
LOT 7, BLOCK 1
PLAN 1631 JK

STATUS:
NOT ISSUED FOR CONSTRU

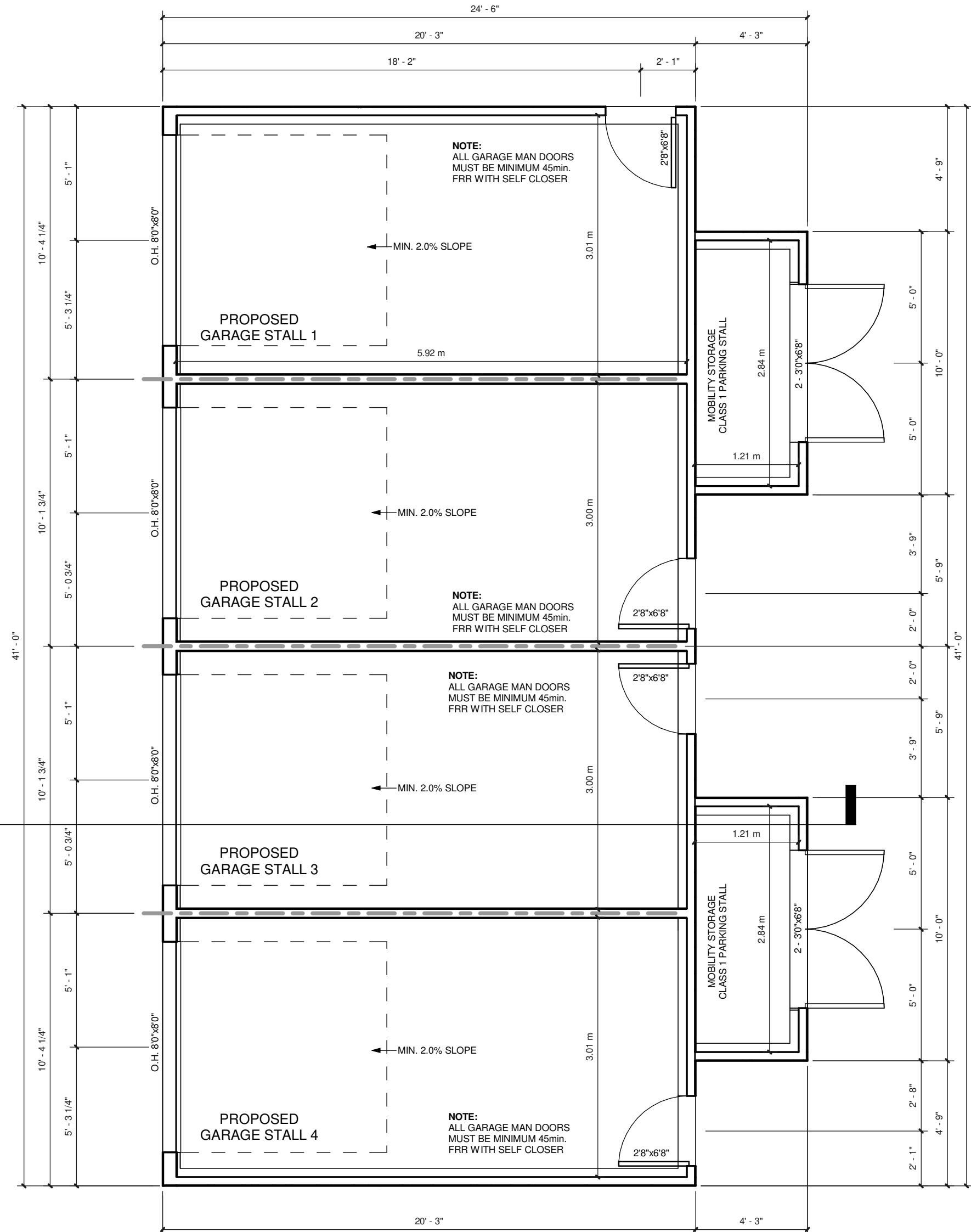
DRAWING NAME:
GARAGE PLANS -
PROPOSED

CHECKED BY: A.K.	DRAWN BY: A.I.
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SCALE: 1/4" = 1'-0"
PRINTED ON 24x36 PAPE
SHEET #:

G1.0

NOTES:



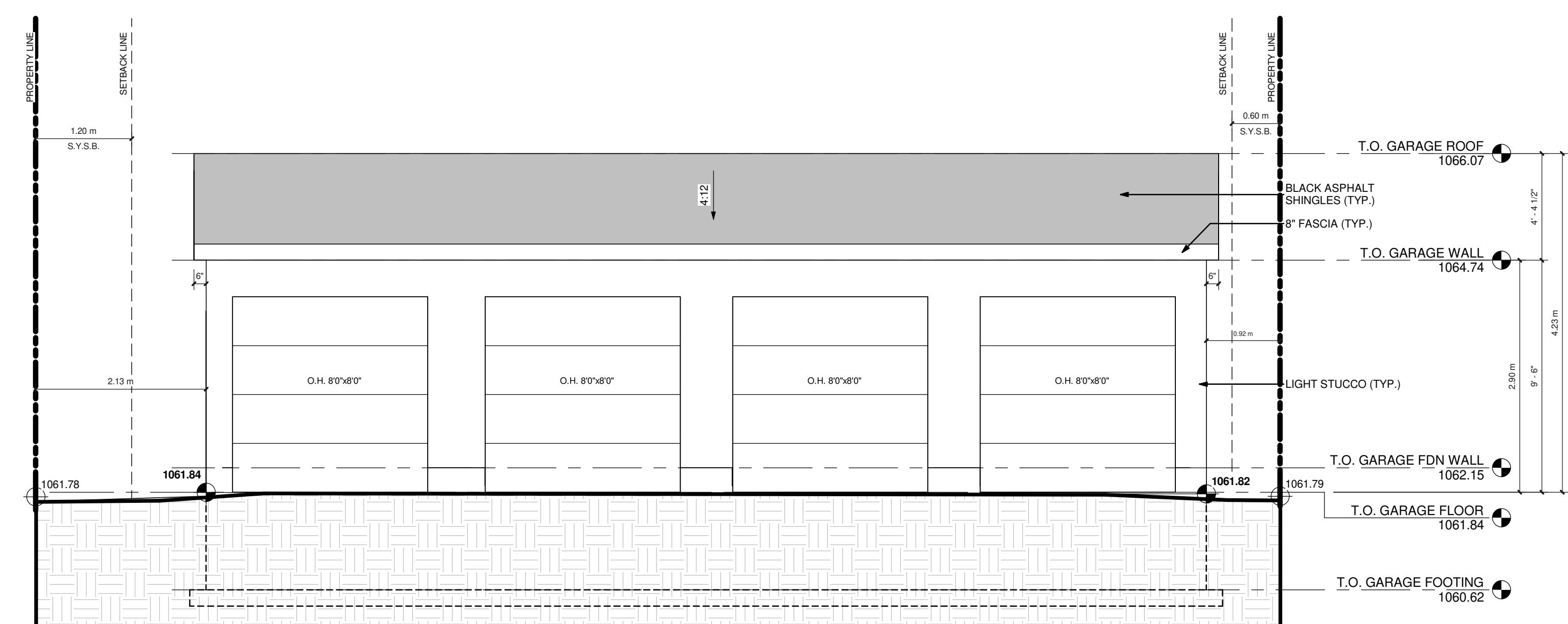
1 GARAGE PLAN - PROPOSED

$$\textcircled{1} \quad \underline{\hspace{1cm}} \quad 1/4" = 1'-0"$$



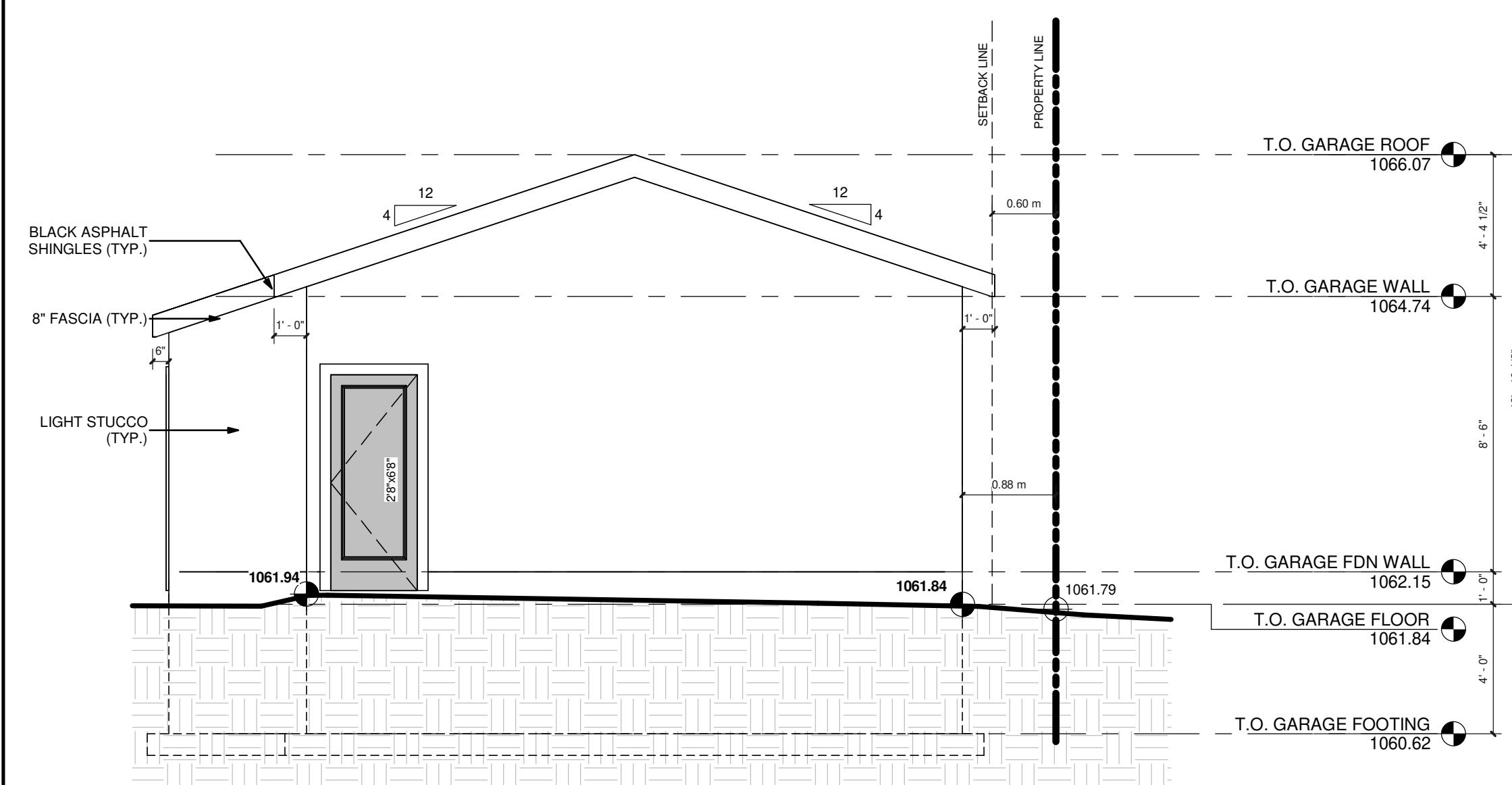
FRONT ELEVATION - PROPOSED

1/4"



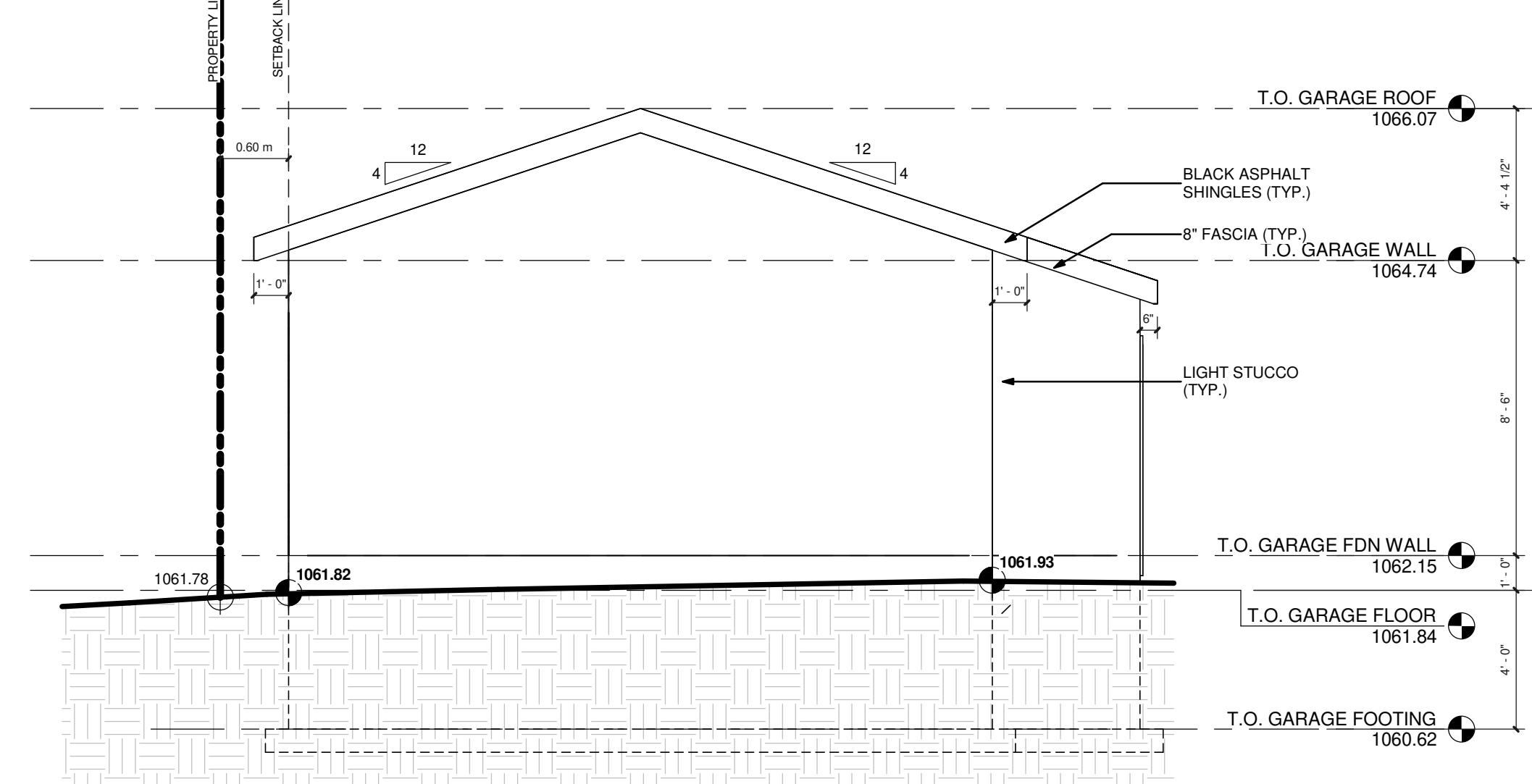
2 REAR ELEVATION - PROPOSED

2 1/4"



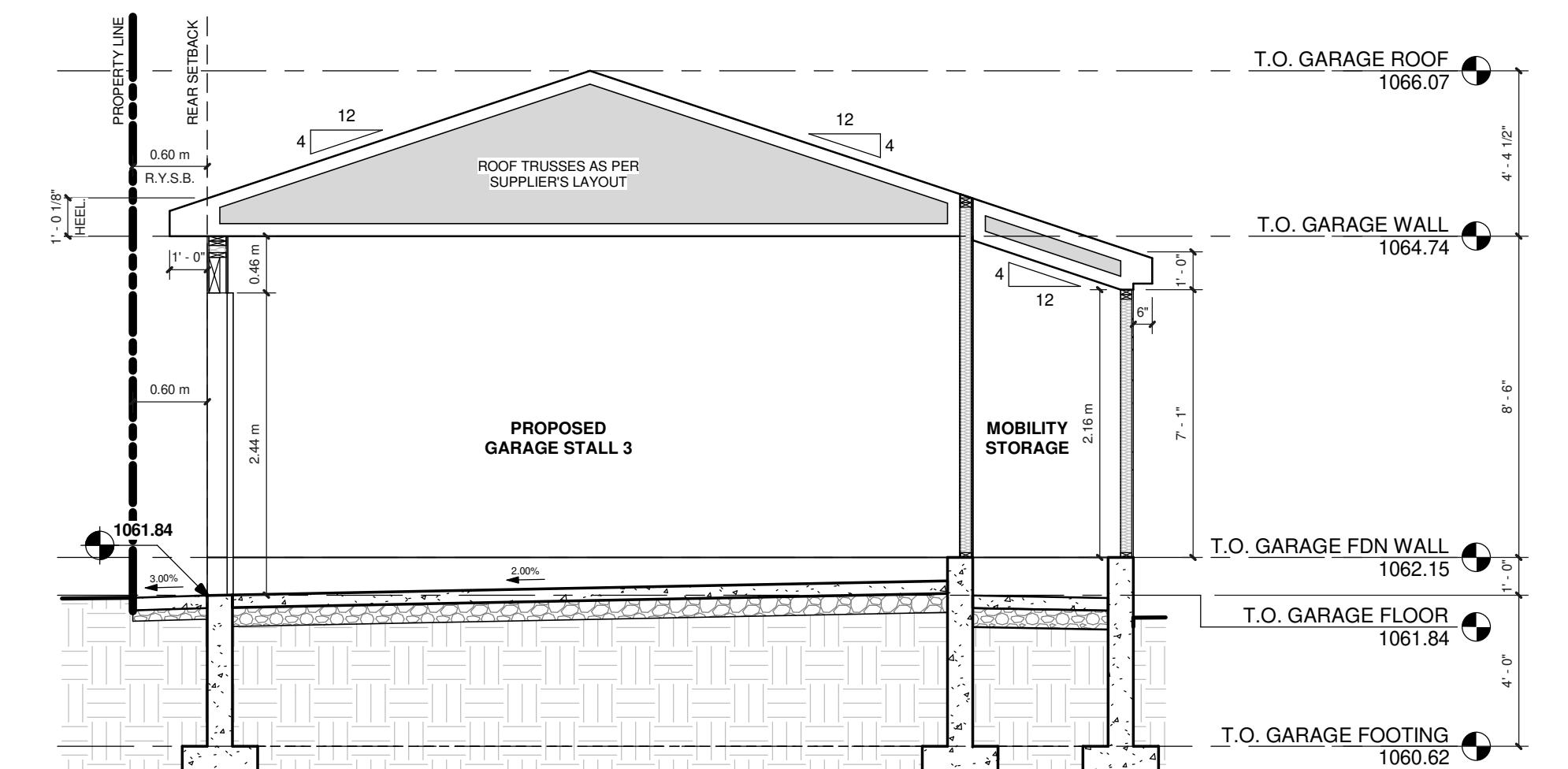
1 LEFT ELEVATION - PROPOSED

$$4 \quad \frac{}{1/4" = 1'-0"}$$



RIGHT ELEVATION - PROPOSED

1/4"



GARAGE APRON SECTION

$$\textcircled{6} \quad - \quad \frac{1}{4}'' = 1'-0''$$