

740 FORLEE DRIVE SE  
CALGARY, AB  
LOT 7, BLOCK 16, PLAN 1631 JK

**BUILDER:**

ALL CONCEPTS, DRAWINGS, AND DESIGN ELEMENTS CONTAINED HEREIN ARE THE EXCLUSIVE PROPERTY OF ELEANOR DESIGNS. REPRODUCTION, DISTRIBUTION, OR USE OF THIS MATERIAL IN WHOLE OR IN PART, IN ANY FORM OR BY ANY MEANS, IS STRICTLY PROHIBITED WITHOUT THE PRIOR WRITTEN CONSENT OF ELEANOR DESIGNS. ALL RIGHTS RESERVED.

**DISCLAIMER:**

DRAWINGS HAVE BEEN PREPARED TO SCALE AS INDICATED; HOWEVER, MINOR VARIATIONS MAY OCCUR DUE TO REPRODUCTION. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE BEGINNING ANY WORK. ANY DISCREPANCIES MUST BE REPORTED TO ELEANOR DESIGNS PRIOR TO COMMENCEMENT OF CONSTRUCTION. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS.

MAIN FLOOR :	2552.16 sq. ft.
UPPER FLOOR:	2484.28 sq. ft.
TOTAL AREA:	5036.44 sq. ft.
GARAGE :	915.25 sq. ft.
BSMT DEV. :	2633.16 sq. ft.

**CLIENT:**

**GOOD EARTH BUILDERS**

740 FORLEE DR SE  
CALGARY, AB  
LOT 7, BLOCK 16  
PLAN 1631 JK

[illegible]

STATUS:	NOT ISSUED FOR CONSTRUCTION
---------	-----------------------------

DRAWING NAME:

COVER SHEET

CHECKED BY: A.K.	DRAWN BY: A.K.
---------------------	-------------------

SCALE: 1/8" = 1'-0"  
PRINTED ON 24x36 PAPER

SHEET #:

**NOTES:**

## GENERAL

- ALL DRAWINGS ARE PREPARED TO SCALE;  
HOWEVER, MINOR DISCREPANCIES MAY OCCUR DUE  
TO REPRODUCTION. CONTRACTORS MUST VERIFY  
ALL DIMENSIONS ON SITE BEFORE STARTING  
CONSTRUCTION. ANY DISCREPANCIES MUST BE  
REPORTED TO ELEANOR DESIGNS PRIOR TO

- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE  
OVER SCALED MEASUREMENTS

## FOUNDATIONS

- FOOTINGS MUST BEAR ON NATIVE, UNDISTURBED SOIL
- FINAL GRADING MAY DIFFER FROM THAT SHOWN ON DRAWINGS. CONTRACTOR TO CONFIRM GRADES PRIOR TO CONCRETE PLACEMENT

- ALL CONCRETE PADS AND FOOTINGS MUST BE REVIEWED AND CONFIRMED BY A STRUCTURAL ENGINEER TO ENSURE SUITABILITY FOR ACTUAL SITE CONDITIONS

## FRAMING

- ALL FRAMING MATERIALS TO BE SPF #2 OR BETTER, OR AS SPECIFIED IN THE DESIGN DOCUMENTS

- FRAMING DIMENSIONS ARE MEASURED FROM THE EXTERIOR SHEATHING FACE TO THE FACE OF INTERIOR WALL STUDS UNLESS OTHERWISE NOTED

## ELECTRICAL

- ELECTRICAL LAYOUT SHOWN IS CONCEPTUAL ONLY.  
FINAL DESIGN AND LAYOUT TO BE CONFIRMED BY THE  
LICENSED ELECTRICAL CONTRACTOR.

- ALL ELECTRICAL SYSTEMS MUST COMPLY WITH APPLICABLE CODES AND STANDARDS AT THE FEDERAL, PROVINCIAL, AND LOCAL LEVELS

**MECHANICAL**

- MECHANICAL DESIGN AND SPECIFICATIONS TO BE PROVIDED BY THE MECHANICAL ENGINEER

- MECHANICAL CONTRACTOR MUST ENSURE THAT ALL SYSTEMS ARE INSTALLED IN ACCORDANCE WITH ENGINEERING DOCUMENTS AND ALL RELEVANT NATIONAL, PROVINCIAL, AND MUNICIPAL CODES

## DOOR AND WINDOWS

- WINDOWS AND DOOR SIZES SHOWN ARE TO BE VERIFIED BY MANUFACTURER. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.

-WINDOW MANUFACTURER TO ENSURE ALL WINDOWS  
SUPPLIED TO COMPLY WITH NAFS REQUIREMENTS.  
MINIMUM PERFORMANCE GRADE 30  
MIN. POSITIVE DESIGN PRESSURE 1440PA  
MIN. NEGATIVE DESIGN PRESSURE 1440PA  
MIN. WATER PENETRATION PRESSURE 330 PA  
MIN. CANADIAN AIR INFILTRATION A2

ALL REQUIREMENTS CALCULATED AS PER  
WWW.FENESTRATIONCANADA.CA ONLINE CALCULATOR  
FOR WINDOWS WITHIN 10mm OF GRADE ON ROUGH  
TERRAIN TYPE. MANUFACTURER CALCULATIONS TO  
SUPERCEDE ARCHITECTURAL DWGS.

- MAXIMUM U VALUE FOR ALL WINDOW TO BE 2.0

## STRUCTURAL

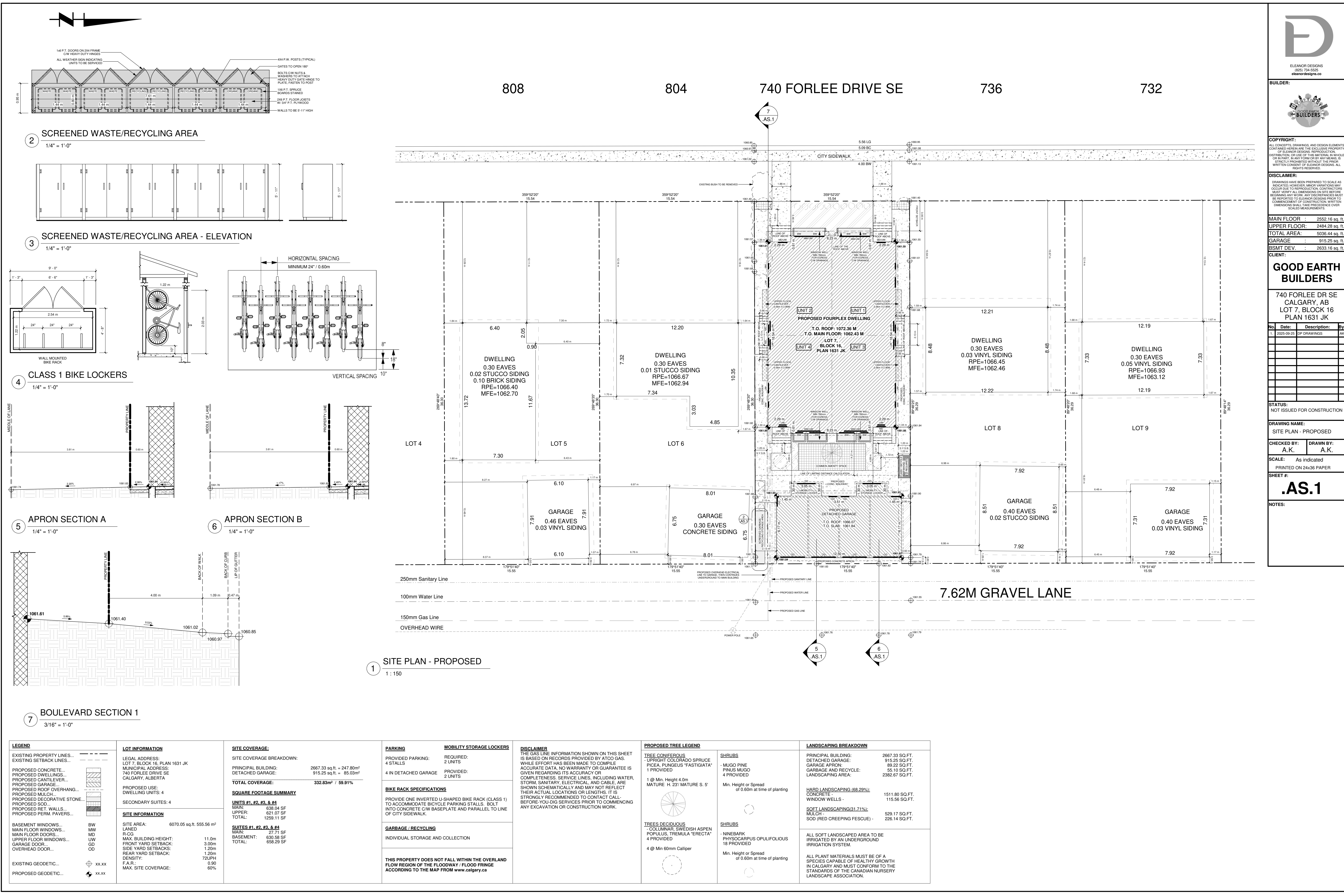
- TRUSS SUPPLIER SHALL PROVIDE TRUSS DESIGNS AND VERIFY ALL ROOF SLOPES. TRUSSES MUST CONFORM TO THE LATEST EDITION OF THE APPLICABLE BUILDING CODE AND BE CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER IN ALBERTA

- ALL BEAMS AND LINTELS TO BE SIZED ACCORDING TO ALBERTA BUILDING CODE TABLES

- FLOOR JOIST LAYOUTS AND SPECIFICATIONS SHALL BE PROVIDED AND CERTIFIED BY THE JOIST MANUFACTURER

SHEET #	SHEET NAME
.AS.1	SITE PLAN - PROPOSED
A1.0a	BASEMENT PLAN - PROPOSED
A1.1	MAIN FLOOR PLAN - PROPOSED
A1.2	UPPER FLOOR PLAN - PROPOSED
A3.0	FRONT & REAR ELEVATION - PROPOSED
A3.1	LEFT & RIGHT ELEVATION - PROPOSED
G1.0	GARAGE PLANS - PROPOSED







BUILDER:



**COPYRIGHT:**  
ALL CONCEPTS, DRAWINGS, AND DESIGN ELEMENTS CONTAINED HEREIN ARE THE EXCLUSIVE PROPERTY OF ELEANOR DESIGNS. REPRODUCTION, DISTRIBUTION, OR USE OF THIS MATERIAL IN WHOLE OR IN PART, IN ANY FORM OR BY ANY MEANS, IS STRICTLY PROHIBITED WITHOUT THE PRIOR WRITTEN CONSENT OF ELEANOR DESIGNS. ALL RIGHTS RESERVED.

**DISCLAIMER:**

DRAWINGS HAVE BEEN PREPARED TO SCALE AS INDICATED; HOWEVER, MINOR VARIATIONS MAY OCCUR DUE TO REPRODUCTION. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE BEGINNING ANY WORK. ANY DISCREPANCIES MUST BE REPORTED TO ELEANOR DESIGNS PRIOR TO COMMENCEMENT OF CONSTRUCTION. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS.

MAIN FLOOR :	2552.16 sq. ft.
UPPER FLOOR:	2484.28 sq. ft.
TOTAL AREA:	5036.44 sq. ft.
GARAGE :	915.25 sq. ft.
BSMT DEV. :	2633.16 sq. ft.

**CLIENT:**

**GOOD EARTH BUILDERS**

740 FORLEE DR SE  
CALGARY, AB  
LOT 7, BLOCK 16  
PLAN 1631 JK

[illegible]

STATUS:	NOT ISSUED FOR CONSTRUCTION
---------	-----------------------------

**DRAWING NAME:**  
BASEMENT PLAN -  
PROPOSED

CHECKED BY: A.K.	DRAWN BY: A.K.
---------------------	-------------------

SCALE: 1/4" = 1'-0"  
PRINTED ON 24x36 PAPER

SHEET #:

## A1.0a

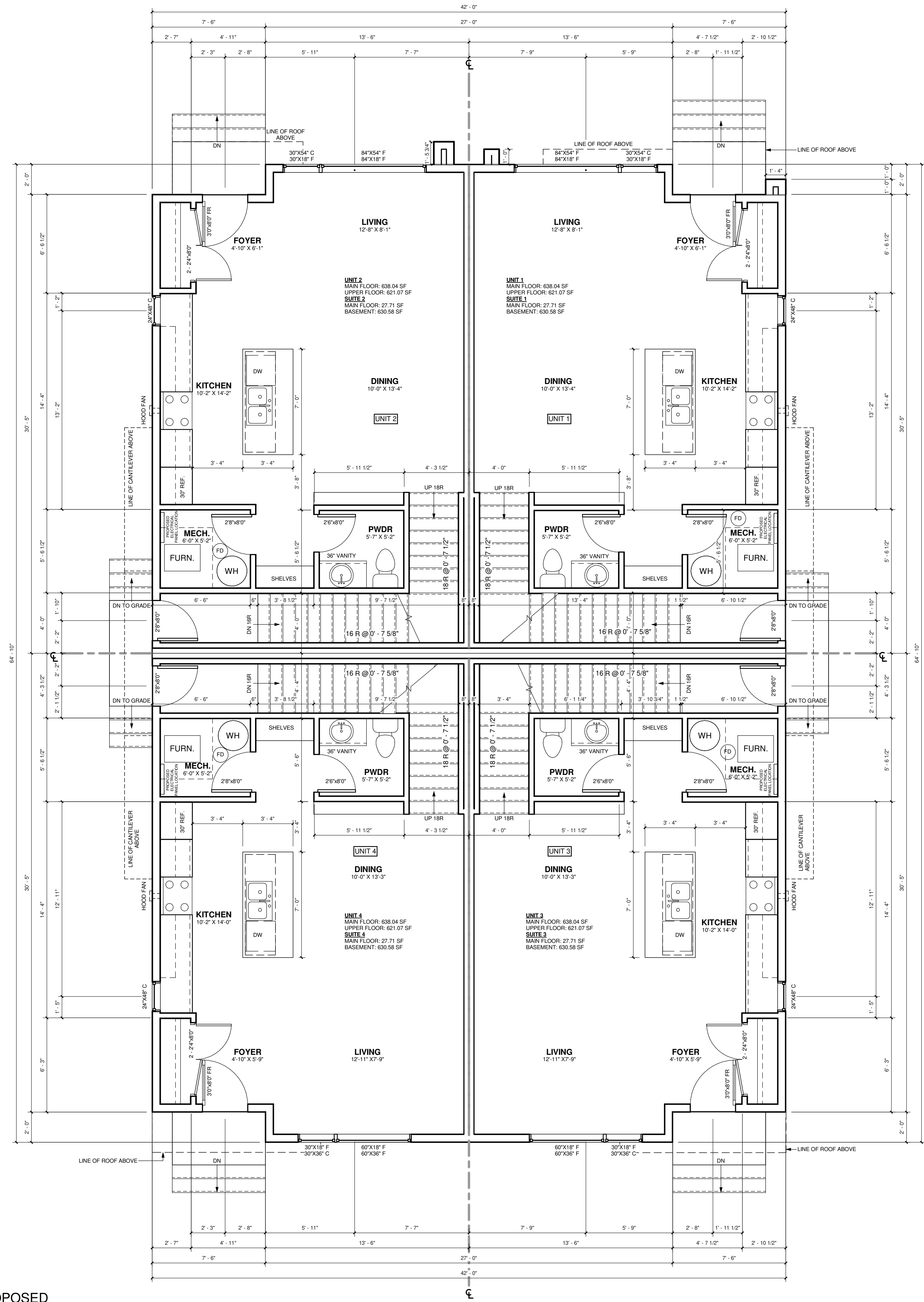
**NOTES:**



1  $\frac{1}{4}'' = 1'-0''$

•• BASEMENT WALL HEIGHT 9' 0" •

- ALL INTERIOR DOORS AND OPENINGS TO BE AT 6'-8" HEAD HEIGHT  
- TOP OF ALL WINDOWS TO BE AT 8'-0" UNLESS OTHERWISE NOTED



1 MAIN FLOOR PLAN - PROPOSED

1/4" = 1'-0"

\*\* MAIN FLOOR WALL HEIGHT 10'-1 1/8" \*\*  
- ALL INTERIOR DOORS AND OPENINGS TO BE AT 8'-0" HEAD HEIGHT  
- TOP OF ALL WINDOWS TO BE AT 8'-0" UNLESS OTHERWISE NOTED



ELEANOR DESIGNS  
(403) 734-5555  
eleanordesigns.co

BUILDER:



**COPYRIGHT:**  
ALL CONCEPTS, DRAWINGS, AND DESIGN ELEMENTS CONTAINED HEREIN ARE THE EXCLUSIVE PROPERTY OF ELEANOR DESIGNS. REPRODUCTION, DISTRIBUTION, OR USE OF THIS MATERIAL IN WHOLE OR IN PART, IN ANY FORM OR BY ANY MEANS, IS STRICTLY PROHIBITED WITHOUT THE PRIOR WRITTEN CONSENT OF ELEANOR DESIGNS. ALL RIGHTS RESERVED.

**DISCLAIMER:**  
DRAWINGS HAVE BEEN PREPARED TO SCALE AS INDICATED. HOWEVER, UNLESS VARIATIONS MAY OCCUR DUE TO REPRODUCTION, CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE BEGINNING ANY WORK. ANY DISCREPANCIES MUST BE REPORTED TO ELEANOR DESIGNS PRIOR TO COMMENCEMENT OF CONSTRUCTION. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS.

MAIN FLOOR : 2552.16 sq. ft.  
UPPER FLOOR: 2484.28 sq. ft.  
TOTAL AREA: 5036.44 sq. ft.  
GARAGE : 915.25 sq. ft.  
BSMT DEV. : 2633.16 sq. ft.

CLIENT:

**GOOD EARTH BUILDERS**

740 FORLEE DR SE  
CALGARY, AB  
LOT 7, BLOCK 16  
PLAN 1631 JK

No.	Date:	Description:	By:
1	2025-09-25	DP DRAWINGS	AM

**STATUS:**  
NOT ISSUED FOR CONSTRUCTION

**DRAWING NAME:**  
MAIN FLOOR PLAN - PROPOSED

CHECKED BY: A.K.      DRAWN BY: A.K.

SCALE: 1/4" = 1'-0"  
PRINTED ON 24x36 PAPER

SHEET #:

**A1.1**

NOTES:

**BUILDER:**

**COPYRIGHT:**  
ALL CONCEPTS, DRAWINGS, AND DESIGN E  
CONTAINED HEREIN ARE THE EXCLUSIVE P  
OF ELEANOR DESIGNS. REPRODUCTION,  
DISTRIBUTION, OR USE OF THIS MATERIAL  
OR IN PART, IN ANY FORM OR BY ANY ME  
STRICTLY PROHIBITED WITHOUT THE E  
WRITTEN CONSENT OF ELEANOR DESIG  
RIGHTS RESERVED.

**DISCLAIMER:**  
DRAWINGS HAVE BEEN PREPARED TO SHOW THE GENERAL CONCEPTS AND DIMENSIONS INDICATED; HOWEVER, MINOR VARIATIONS MAY OCCUR DUE TO REPRODUCTION. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE BEGINNING ANY WORK. ANY DISCREPANCY MUST BE REPORTED TO ELEANOR DESIGNS PRIOR TO COMMENCEMENT OF CONSTRUCTION. WHEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS.

MAIN FLOOR :	2552.1
UPPER FLOOR:	2484.2
TOTAL AREA:	5036.4
GARAGE :	915.2
BSMT DEV. :	2633.1

**CLIENT:**

**GOOD EARTH  
BUILDERS**

740 FORLEE DR S  
CALGARY, AB  
LOT 7, BLOCK 1  
PLAN 1631 JK

[illegible]

**STATUS:**  
NOT ISSUED FOR CONSTRUCTION

**DRAWING NAME:**  
UPPER FLOOR PLAN -  
PROPOSED

CHECKED BY: A.K.	DRAWN BY: A.K.
---------------------	-------------------

SCALE: 1/4" = 1'-0"  
PRINTED ON 24x36 PAPER

SHEET #:

## A1.2

**NOTES:**

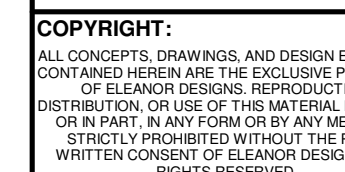


①  $\frac{1}{4}'' = 1'-0''$

**\*\* UPPER FLOOR WALL HEIGHT 9'-1 1/8" \*\***



BUILDER:



DISCLAIMER

DRAWINGS HAVE BEEN PREPARED TO SHOW THE DIMENSIONS INDICATED; HOWEVER, MINOR VARIATIONS MAY OCCUR DUE TO REPRODUCTION. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE BEGINNING ANY WORK. ANY DISCREPANCIES MUST BE REPORTED TO ELEANOR DESIGNS PRIOR TO COMMENCEMENT OF CONSTRUCTION. WHEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS.

MAIN FLOOR :	2552.1
UPPER FLOOR:	2484.2
TOTAL AREA:	5036.4
GARAGE :	915.2
BSMT DEV. :	2633.1
CLIENT:	

**GOOD EARTH  
BUILDERS**

740 FORLEE DR S  
CALGARY, AB  
LOT 7, BLOCK 1  
PLAN 1631 JK

**STATUS:**  
NOT ISSUED FOR CONSTRUCTION

DRAWING NAME:

**DRAWING NAME:**  
FRONT & REAR  
ELEVATION - PROPOSED

CHECKED BY: A.K.	DRAWN BY: A.K.
---------------------	-------------------

SCALE: 1/4" = 1'-0"

SHEET #:

### A3.0

NOTES:



**(HIGH REQUIREMENTS: HIGH INTENSITY RESIDENTIAL FIRES)**

**APPLY TO DWELLINGS WHERE THERE IS 2.0m OR LESS TO PROPERTY LINE**

PROVIDE 8" TYPE X DRYWALL WITH 24" OR 12" INTERIOR SPACING OF STUDS TO THE EXTERIOR OF FACE AND SIDE WALLS OF AN ENCLOSED PROJECTION PROJECTING WITHIN 1.2m (4'0") OF THE PROPERTY LINE

PROVIDE 5" TYPE X DRYWALL WITH STUDS @ 24" OR 12" TYPE X WALL STUDS WITH 16" @ 24" TO INTERIOR SIDE OF ASSEMBLY FOR EXTERIOR WALLS FROM PROPERTY LINE TO FACE OF PROJECTION LINE

EAVES PROJECTING WITHIN 1.2m (4'0") FROM THE PROPERTY LINE SHALL HAVE NON-VENTED SOFFITS

ROOF SOFFITS ARE NOT PERMITTED WITHIN 0.45m (1'-6") OF THE PROPERTY LINE

PROVIDE 1/2" TYPE X DRYWALL TO THE UNDERSIDE OF THE PROJECTION WITHIN 1.2m (4'0") OF PROPERTY LINE AND IS GREATER THAN 0.6m (2'-0")

COMBUSTIBLE SIDING OR EIFS SYSTEMS ON WALL ASSEMBLIES WITHIN 1.2m (4'0") OF THE PROPERTY LINE SHALL BE APPLIED DIRECTLY OVER 12.7mm (1/2") OF INSULATION







