

DRAWINGS HAVE BEEN PREPARED TO SCALE AS INDICATED; HOWEVER, MINOR VARIATIONS MAY OCCUR DUE TO REPRODUCTION. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE BEGINNING ANY WORK. ANY DISCREPANCIES MUST BE REPORTED TO ELEANOR DESIGNS PRIOR TO COMMENCEMENT OF CONSTRUCTION. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS.

MAIN FLOOR :	2849.52 sq.
UPPER FLOOR:	2988.28 sq.
TOTAL AREA:	5837.80 sq.
GARAGE :	915.25 sq.
BSMT DEV. :	3040.56 sq.

**GOOD EARTH BUILDERS**

6336 BOWMONT CRES  
NW, CALGARY, AB  
LOT 12, BLOCK 1 PLAM  
7215 HF

**STATUS:**  
NOT ISSUED FOR CONSTRUCTION

**DRAWING NAME:**  
LANDSCAPING PLAN &  
SECTIONS

CHECKED BY: A.K.	DRAWN BY: A.K.
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SCALE: As indicated  
PRINTED ON 24x36 PAPER

SHEET #:

**.AS.2**

NOTES:



EXISTING TREE SCHEDULE:					
Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location
T1	Bush	-	4.00	3.00	In Subject Property
T2	Bush	-	3.00	2.50	In Subject Property
T3	Bush	-	2.00	2.50	In Subject Property
T4	Bush	-	1.00	1.50	In Subject Property
T5	Deciduous	1.00	10.00	8.00	In Subject Property
T6	Coniferous	0.05	1.00	3.00	In Subject Property
T7	Bush	-	1.50	1.80	On Property Line
T8	Bush	-	3.00	3.00	In Adjacent Property
T9	Bush	-	2.00	2.50	In Subject Property
T10	Coniferous	0.45	4.50	10.00	In Subject Property
T11	Bush	-	3.00	3.00	In Subject Property
T12	Deciduous	0.50	3.50	8.00	In Subject Property
T13	Coniferous	0.45	4.50	4.00	In Adjacent Property
T14	Deciduous	0.60	5.00	8.00	In Subject Property



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MAIN FLOOR :	2849.5
UPPER FLOOR:	2988.2
TOTAL AREA:	5837.8
GARAGE :	915.2
BSMT DEV. :	3040.5

**CLIENT:**

**GOOD EARTH  
BUILDERS**

6336 BOWMONT C  
NW, CALGARY, A  
LOT 12, BLOCK 1 P  
7215 HF

[illegible]

STATUS:	NOT ISSUED FOR CONSTRUCTION
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**DRAWING NAME:**  
BASEMENT PLAN -  
PROPOSED

CHECKED BY: A.K.	DRAWN BY: A.K.
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SCALE: 1/4" = 1'-0"  
PRINTED ON 24x36 PAPER

SHEET #:

## A1.0a

**NOTES:**



1 BASEMENT FLOOR PLAN - PROPOSED  
1/4" = 1'-0"

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CLIENT:

**GOOD EARTH  
BUILDERS**

6336 BOWMONT C  
NW, CALGARY, A  
LOT 12, BLOCK 1 P  
7215 HF

[illegible]

STATUS:	NOT ISSUED FOR CONSTRUCTION
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**DRAWING NAME:**  
MAIN FLOOR PLAN -  
PROPOSED

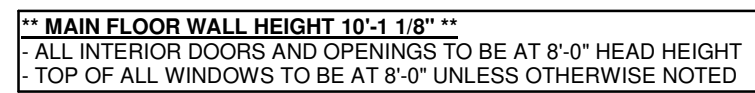
CHECKED BY: A.K.	DRAWN BY: A.K.
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SCALE: 1/4" = 1'-0"  
PRINTED ON 24x36 PAPER

SHEET #:

## A1.1

**NOTES:**



MAIN FLOOR PLAN - PROPOSED

①  $\frac{1}{4}'' = 1'-0''$

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**CLIENT:**

**GOOD EARTH  
BUILDERS**

6336 BOWMONT CR  
NW, CALGARY, AB  
LOT 12, BLOCK 1 PL  
7215 HF

o.	Date:	Description:
1.	2025-06-18	DESIGN SIGN-OFF

STATUS:  
NOT ISSUED FOR CONSTRUCTION

**DRAWING NAME:**  
UPPER FLOOR PLAN -  
PROPOSED

CHECKED BY: A.K.	DRAWN BY: A.K.
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SCALE: 1/4" = 1'-0"  
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SHEET #:

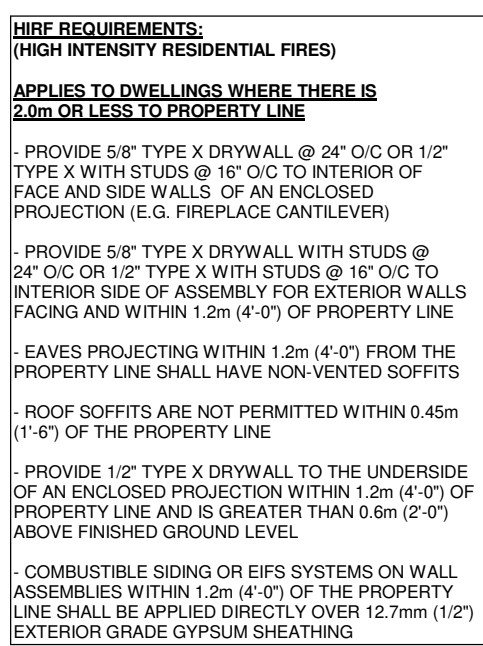
## A1.2

NOTES:



UPPER FLOOR PLAN - PROPOSED

①  $1/4'' = 1'-0''$



LINE SHALL BE APPLIED DIRECTLY OVER 12.7mm (1/2")  
EXTERIOR GRADE GYPSUM SHEATHING

T.O. LIBRE

①  $\frac{1}{4}'' = 1'-0''$

②  $\frac{1}{4}'' = 1'-0''$

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