

**2483 MOUNT PLEASANT ROAD
SAN JOSE, CA 95148**

BUILDING PERMIT SET



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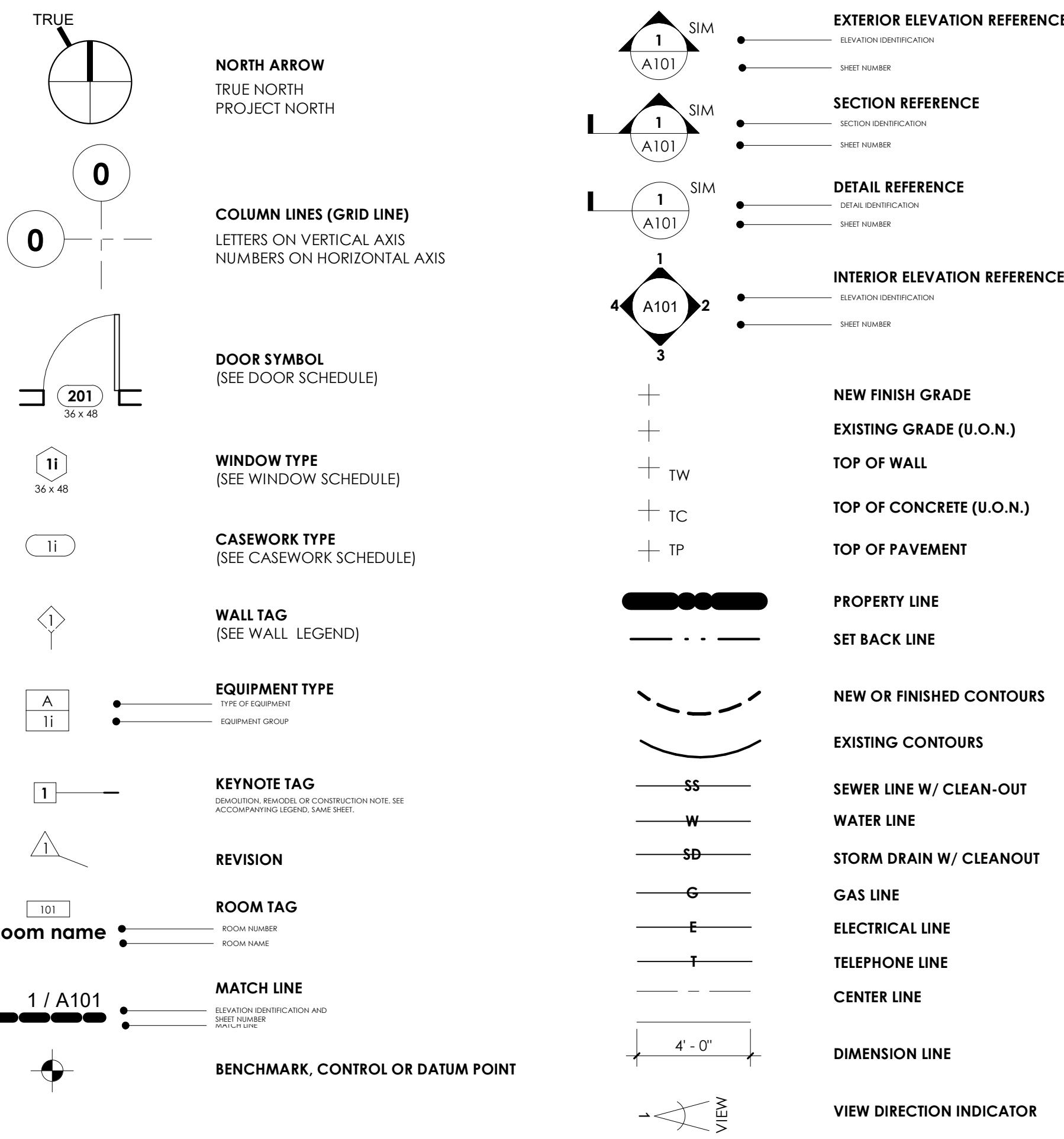
**Farhad
Taghibakhsh**

**2483 MOUNT
PLEASANT ROAD,
SAN JOSE CA
95148**

COVERSHEET

Project Number	Project Number
Date	Issue Date
Drawn By	Autho
Checked By	Checke
A000	
Scale	

PROJECT DATA



ASSESSOR'S PARCEL NUMBER:

654-12-10

ZONING DISTRICT:

RR-D1

TYPE OF CONSTRUCTION:

TYPE-VB

USE:

RESIDENTIAL-R3

FLOOR AREA CALCULATIONS (EXISTING & PROPOSED)

EXISTING FLOOR AREA

LEVEL 1 (EXCLUDING GARAGE) = 1743 SF
LEVEL 1(GARAGE ONLY)= 532SF
LEVEL 2 = 618 SF
TOTAL EXISTING FLOOR AREA = 2893 SF

PROPOSED ADDITIONAL FLOOR AREA

LEVEL 1 = 177 SF
LEVEL 2 = 175 SF
TOTAL ADDITIONAL FLOOR AREA = 352 SF

TOTAL AREA AFTER CONSTRUCTION: 2893SF + 352 SF= 3245SF

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A002	SITE PLAN
A003	1959 SURVEY AND MAP FROM OFFICE OF ASSESSOR
A004	NEW ADDITION ENCROACHMENTS
A100	LEVEL 1&2 - EXISTING PLANS
A101	LEVEL 1&2 - DEMOLITION PLANS
A102	LEVEL 1&2- NEW PLANS
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S5	ROOF PLAN AND SECTION
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No.	Description	Date

PROJECT SCOPE

- 1- 177 SF ADDITION TO MAIN ENTRANCE OF THE BUILDING
- 2- 175 SF ADDITION TO SECOND FLOOR MASTER BEDROOM
- 3- CONVERTING EXISTING DINING ROOM TO AN OFFICE UNIT WITH NEW BATHROOM AND KITCHENETTE
- 4- CONVERSION OF EXISTING BATHROOM TO NEW LAUNDRY ROOM
- 5- ADDING NEW BATHROOM TO THE FIRST FLOOR
- 6- ADDING NEW KITCHEN TO THE FIRST FLOOR

GENERAL NOTES

1. DIMENSIONS ON DRAWINGS: DO NOT SCALE THE DRAWINGS. USE WRITTEN DIMENSIONS. IF CONFLICTS EXIST NOTIFY THE OWNER BEFORE PROCEEDING WITH THE WORK. DIMENSIONS ARE TO THE FACE OF FINISH UNLESS OTHERWISE NOTED.

2. COORDINATION OF WORK: THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF HIGHER WORK AND THAT OF ALL SUB-CONTRACTORS. VERIFY AND COORDINATE ALL ROUTING OF MECHANICAL, ELECTRICAL AND PLUMBING ITEMS. ROUGH-IN DIMENSIONS AND REQUIRED CLEARANCES OF UTILITIES, APPLIANCES, AND OTHER ITEMS ASSOCIATED WITH THE PROJECT WORK SUCH THAT CONFLICTS DO NOT OCCUR. NOTIFY OWNER OF PROBLEMATIC CONDITIONS.

3. CONFLICTS IN DOCUMENTS: NOTIFY OWNER IMMEDIATELY FOR CLARIFICATION SHOULD ANY CONFLICT IN INFORMATION FOUND IN THE DOCUMENTATION BE DISCOVERED.

4. CUTTING AND PATCHING: WHERE WORK REQUIRES CUTTING INTO OR DISRUPTION OF EXISTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING BOTH THE AREA OF WORK AND ITS ADJACENT SURFACES TO MATCH ADJACENT EXISTING SURFACES. PATCHING INCLUDES FINISH PAINTING OF AREA DISRUPTED.

5. TEMPORARY SHORING AND UNDERPINNING: IF REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHORING AND BRACING OF BOULDER EXISTING AND NEW WORK AS REQUIRED TO STABILIZE THE EXISTING AND NEW WORK FROM RISK OF COLLAPSE OR INJURY ON SITE OR TO ADJACENT PROPERTIES. SHORING AND UNDERPINNING WORK IS TO BE PERFORMED UNDER SEPARATE PERMIT OBTAINED BY THE GENERAL CONTRACTOR.

6. AGENCY INSPECTIONS, AND UTILITY COORDINATION: THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED CITY AGENCY INSPECTIONS. IN ADDITION, THE CONTRACTOR IS TO COORDINATE WORK WITH ALL UTILITY COMPANIES (GAS, ELECTRICITY, WATER, PHONES, ETC.) SUCH THAT SERVICE TO THE SITE IS EITHER MAINTAINED OR PROVIDED IN A TIMELY MANNER TO THE COMPLETION OF THE WORK. COORDINATE NEW SERVICES LOCATIONS AND CONFIGURATIONS WITH THE APPROPRIATE PROVIDER AND THE OWNER.

7. SPECIAL INSPECTIONS AND TESTING: IF REQUIRED BY THE GOVERNING AGENCIES, THE OWNER WILL PROVIDE THE CONTRACTOR WITH THE APPROPRIATE DRAWINGS AND REQUIREMENTS. THE CONTRACTOR IS TO IDENTIFY THE UPGRADING OR REPAIRS TO MEET THE REQUIREMENTS. THE CONTRACTOR IS TO COORDINATE THE EXISTING UTILITY SERVICES AND PANELS. WATER AND HVAC ARE ADEQUATE FOR THE PROPOSED SCOPE OF WORK.

8. SITE UTILITIES: THE CONTRACTOR IS TO CAREFULLY REVIEW ANY EXISTING UTILITIES AND IDENTIFY THOSE THAT REQUIRE RELOCATION WITH REGARD TO THE PROPOSED SCOPE OF WORK. CONTRACTOR IS TO IDENTIFY THE UPGRADING OR REPAIRS TO MEET THE REQUIREMENTS. THE CONTRACTOR IS TO COORDINATE THE EXISTING UTILITY SERVICES AND PANELS. WATER AND HVAC ARE ADEQUATE FOR THE PROPOSED SCOPE OF WORK.

9. PROTECTION OF PROPERTY: PROTECT THE ADJACENT PROPERTIES AND IMPROVEMENTS FROM ALL DISTURBANCES AND DAMAGE. DO NOT TRESPASS ON NEIGHBORING PROPERTY. IF REQUIRED, SUBMIT WRITTEN REQUEST TO NEIGHBORS WITH COPY TO OWNER. AT LEAST 10 DAYS PRIOR TO NEEDED DATE OF TRESPASE, IF ANY DAMAGE OR DISTURBANCE OCCURS TO NEIGHBORING PROPERTIES RESTORE TO PREVIOUS EXISTING CONDITION AT NO ADDITIONAL COST TO OWNER.

10. OWNER'S PROPERTY: IF OWNER'S FURNISHINGS, DECORATIONS OR OTHER PERSONAL PROPERTY ARE IN THE WAY OF THE NEW WORK, COORDINATE WITH THE OWNER FOR THEIR SAFE PROTECTION, RELOCATION, OR REMOVAL FROM THE JOBSITE PRIOR TO THE START OF THE WORK.

11. TEMPORARY BARRIERS: PROVIDE TEMPORARY BARRIERS TO PROTECT BOTH EXISTING AREA AND NEW WORK COMPLETED FROM DISTURBANCE, DUST, DIRT, DEBRIS OR OTHER DAMAGE. IF ANY DISTURBANCE OR DAMAGE OCCURS, RESTORE TO PREVIOUS CONDITION AT NO COST TO THE OWNER.

12. DEBRIS REMOVAL: MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATION OF WASTE, DEBRIS AND RUBBISH CAUSED BY OPERATIONS. LEAVE THE JOBSITE CLEAN AND SECURE AT THE END OF EACH WORK DAY.

13. FINAL CLEANING: THE WORK INCLUDES FINAL CLEANING AT THE SITE INCLUDING THE BUILDING INTERIOR, EXTERIOR AND SITE. WIPE DOWN AND DUST ALL SURFACES. VACUUM OR MOP ALL FLOORS. WASH AND POLISH GLASS. REMOVE ANY AND ALL PAINT SPOTS ON EXPOSED SURFACES AND REMOVE DEBRIS AND TRASH.

14. WARRANTIES: ALL WORK PERFORMED IS TO BE GUARANTEED AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION, EXCEPT WHERE LONGER PERIODS ARE GIVEN BY PRODUCT MANUFACTURERS OR ELSEWHERE IN THE CONSTRUCTION DOCUMENTS. NEATLY ARRANGE ALL PRODUCT WARRANTIES, USE MANUALS AND OTHER PERTINENT MATERIALS AND PROVIDE THEM TO THE OWNER AT FINAL COMPLETION OF WORK.

15. DOORS AND WINDOWS: THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING DOOR AND WINDOW COORDINATION:

A) REVIEW ALL ROUGH OPENING SIZES AND LOCATIONS WITH DRAWINGS AND WINDOW SUPPLIER AT SITE PRIOR TO THE COMMENCEMENT OF WORK ON BOTH THE FOUNDATIONS AND THE ROUGH FRAMING. IMMEDIATELY NOTIFY OWNER AND DESIGNER OF ANY DISCREPANCIES BETWEEN THE ROUGH OPENINGS AND THOSE AT THE FOUNDATIONS AND FRAMING AS DESCRIBED IN THE STRUCTURAL DRAWINGS.

B) AT COMPLETION OF ROUGH FRAMING, REVIEW OPENINGS WITH DRAWINGS AND WINDOW SUPPLIER TO COUNT OF WINDOW ORDER TO OWNER FOR REVIEW PRIOR TO PROCEEDING WITH ORDER.

C) VERIFY WITH SUPPLIER THAT WINDOWS TO BE USED FOR EGRESS PURPOSES MEET THE MINIMUM REQUIREMENTS SET FORTH IN THE BUILDING CODE. PROVIDE THE RATINGS AND TEMPERATURE GLASS. DO NOT USE GLASS LEFT FROM THE BUILDING CODE.

D) COORDINATE INSTALLATION OF ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES TO INSURE A WEATHER-TIGHT CONDITION.

DEMOLITION NOTES

1. DEMOLITION DRAWINGS ARE SCHEMATIC. REMOVE ALL WORK AS INDICATED AND AS REQUIRED TO COMPLETE NEW CONSTRUCTION AS INDICATED. REFER TO CIVIL ENGINEERING, LANDSCAPE, MECHANICAL AND ELECTRICAL DRAWINGS FOR FEATURES NOT OTHERWISE SHOWN.

2. NOTES AND SYMBOLS ARE TO APPLY AT ALL AREAS OF SIMILAR GRAPHIC REPRESENTATION. SUCH INDICATIONS MAY BE LIMITED TO PROMOTE CLARITY OR AVOID REDUNDANCY. NO LIMITATION OF APPLICATION SHALL BE CONSTRUED WITHOUT SPECIFIC NOTATION.

3. NOTIFY LOCAL AGENCY HAVING JURISDICTION PRIOR TO STARTING DEMOLITION WORK. COMPLY WITH ALL AGENCY REQUIREMENTS.

4. OWNER WILL REMOVE FURNITURE, STORED MATERIALS AND MOVABLE EQUIPMENT IN THE AREA OF WORK PRIOR TO START OF DEMOLITION.

5. VERIFY EXISTING CONDITIONS AND INVERT ELEVATIONS OF UNDERGROUND UTILITIES PRIOR TO DEMOLITION. NOTIFY DESIGNER OF DISCREPANCIES AND REQUEST DIRECTION.

6. PROVIDE ALL SHORING, BRACING AND SUPPORTS REQUIRED TO PREVENT SETTLEMENT OR DISPLACEMENT.

7. DISCONNECT ALL AFFECTED UTILITIES PRIOR TO STARTING DEMOLITION WORK.

8. NEATLY CUT AND REMOVE SURFACES AND FINISHES AS REQUIRED OR TO A NATURAL POINT OF DIVISION TO ENABLE INSTALLATION OF UTILITIES OR OTHER CONCEALED WORK, WHETHER SPECIFICALLY SHOWN OR INFERRED FOR SUPPORT OR RENOVATION.

9. PROTECT EXISTING WORK DESIGNATED TO REMAIN FROM DAMAGE DUE TO DEMOLITION AND RECONSTRUCTION WORK.

10. REPAIR AND REPLACE ALL EXISTING SURFACES AND FINISHES TO MATCH EXISTING UNDISTURBED WORK.

11. CAP ALL ABANDONED UTILITIES BEHIND FACE OF NEW FINISHES, INCLUDING FINISH GRADE OR PAVING. RECORD ALL LOCATIONS ON RECORD DOCUMENTS.

12. SEE STRUCTURAL DRAWINGS FOR DEMOLITION OF: SHEAR WALLS, INTERIOR PARTITIONS, TRENCHES FOR INSTALLATION OF UNDERGROUND UTILITIES.

13. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR DEMOLITION OF ITEMS NOT OTHERWISE INDICATED, INCLUDING UNDERGROUND OR CONCEALED UTILITIES AND SERVICES.

14. ALL DEMOLISHED MATERIALS ARE THE PROPERTY OF THE CONTRACTOR, EXCEPT FOR SUCH ITEMS AS THE OWNER WISHES TO CLAIM. STOCKPILE THESE ITEMS ON THE SITE AS DIRECTED BY THE OWNER.

15. REMOVE DEMOLISHED MATERIALS FROM SITE AND DISPOSE OF IN A LEGAL MANNER USING LOCAL RECYCLING FACILITIES.

16. REMOVE ALL EXISTING NAILS, TACKS, STAPLES, HANGER WIRES, SIGNAL WIRES, CABLES AND SIMILAR ITEMS FROM SURFACES TO REMAIN. PREPARE ALL REMAINING SURFACES / SUBSTRATE TO RECEIVE INDICATED FINISHES.

17. REMOVE AND STORE DESIGNATED EQUIPMENT / MATERIALS FOR RE-INSTALLATION AS INDICATED.

20. SELECTIVE DEMOLITION INDICATED IN THESE CONTRACT DOCUMENTS EXCLUDES REMOVAL OF HAZARDOUS MATERIALS AND TOXIC SUBSTANCES.

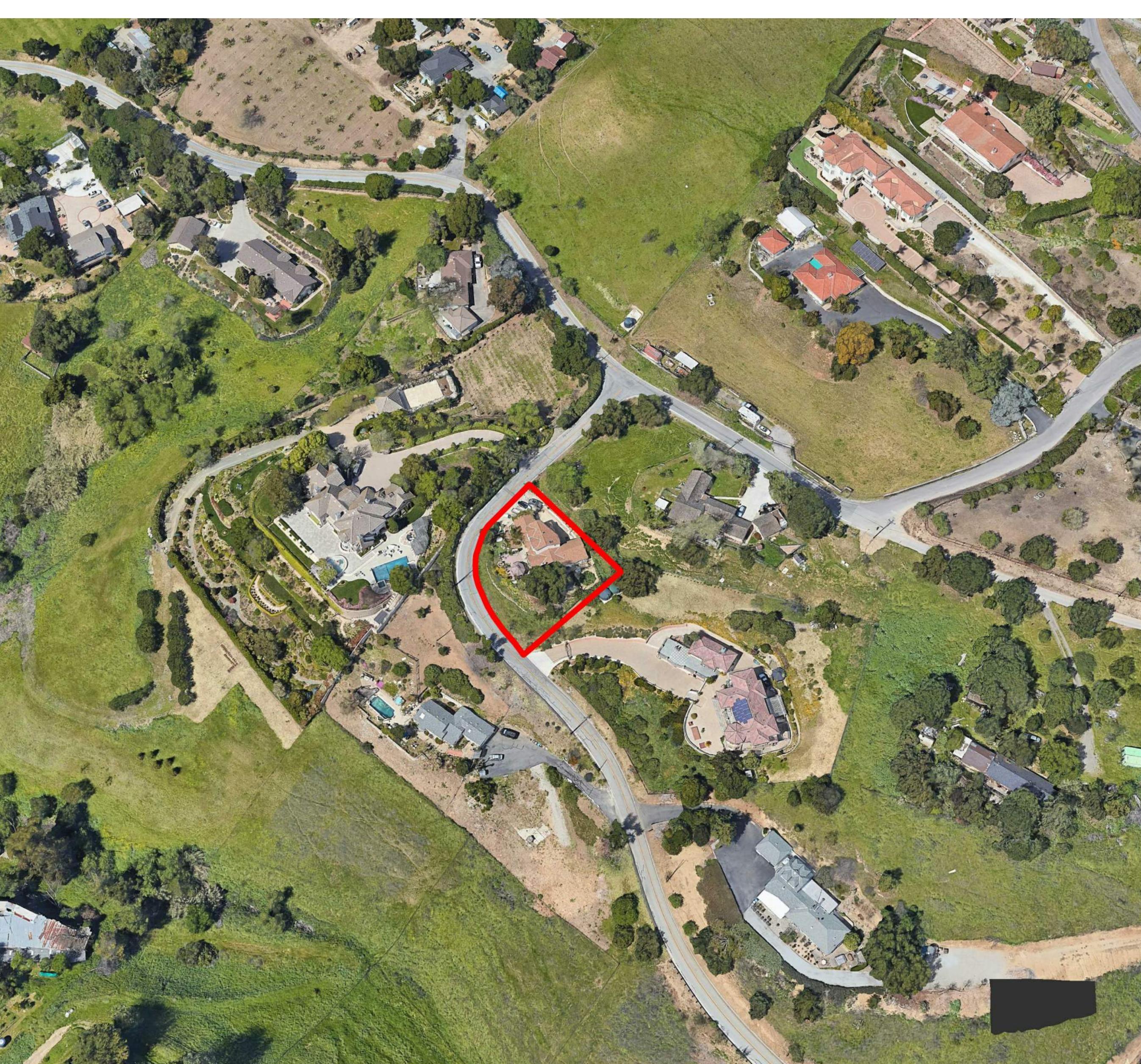
21. PRIOR TO START OF WORK REFER TO HAZARDOUS MATERIALS SURVEY OR ABATEMENT DOCUMENTATION. HAZARDOUS MATERIALS MAY BE PRESENT ON THE SITE OR IN EXISTING CONSTRUCTION. THESE DOCUMENTS DO NOT CONTAIN MEASURES OR PRECAUTIONS FOR HAZARDOUS MATERIALS ABATEMENT.

22. IF HAZARDOUS MATERIALS ARE DISCOVERED OR SUSPECTED DURING DEMOLITION OPERATIONS, STOP WORK AND NOTIFY OWNER'S REPRESENTATIVE FOR INSTRUCTIONS IMMEDIATELY. TAKE MEASURES TO PROTECT WORKERS AND PUBLIC. DIRECT ALL QUESTIONS ABOUT HAZARDOUS MATERIALS TO THE OWNER'S REPRESENTATIVE.

23. COORDINATE DEMOLITION WITH WORK OF HAZARDOUS MATERIAL ABATEMENT WORK AS DIRECTED BY OWNER.

APPLICABLE CODE

SITE CONTEXT



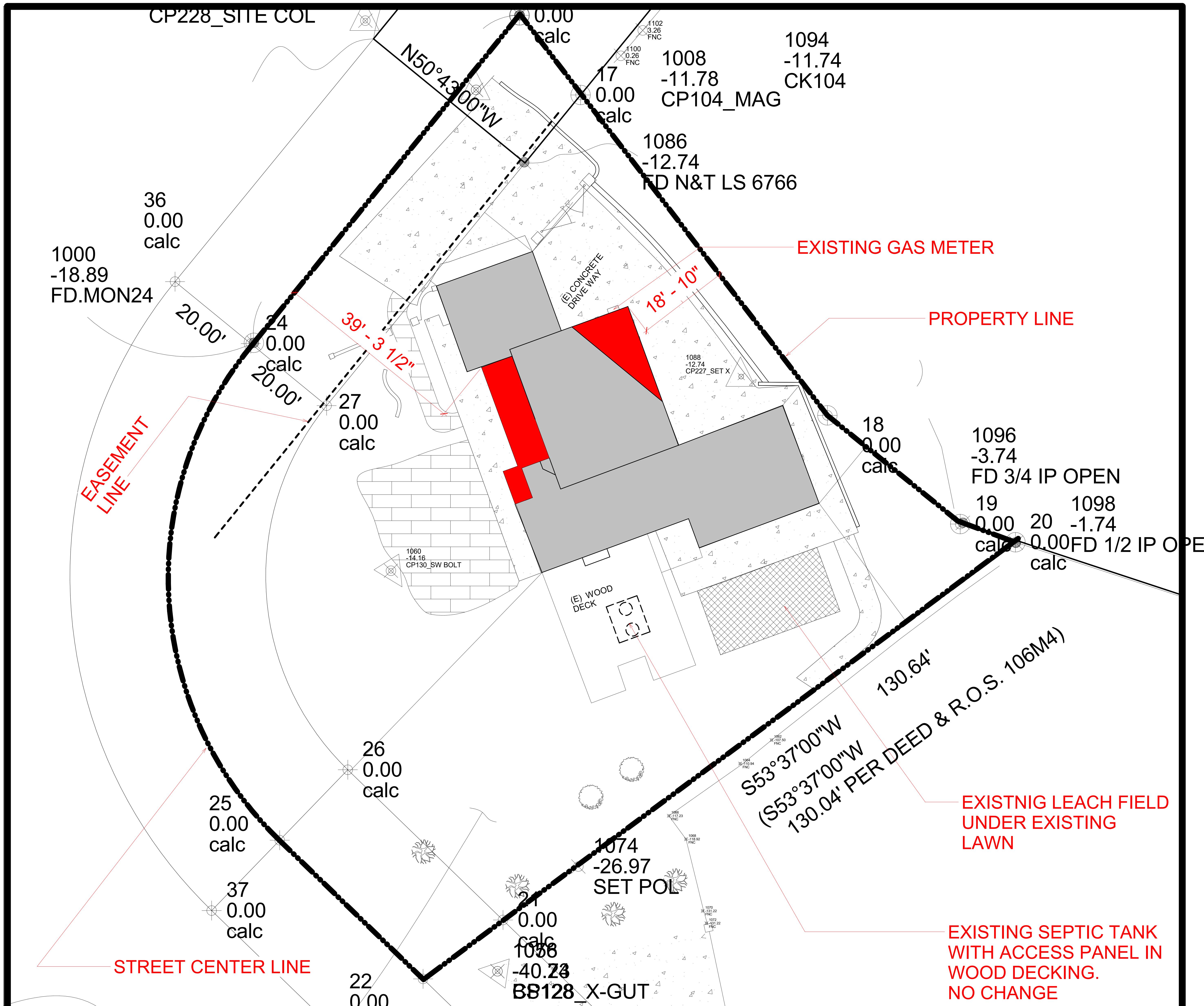
Farhad Taghibakhsh
2483 MOUNT PLEASANT ROAD, SAN JOSE CA 95148

GENERAL NOTES, SHEET INDEX & ABBREVIATIONS

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A001	

Scale 1/4" = 1'-0"

29/09/2020 21:46:04



— PROPERTY LINE BASED ON 1959 SURVEY

— PROPERTY LINE BASED ON 1998 PERMIT SET

AREA = 20 SF

15' - 0"

This architectural floor plan diagram illustrates the layout of several rooms in a building. The rooms include:

- BED ROOM**: Located at the top left and top right.
- LAUNDRY**: Located in the center, featuring two stacked washing machines labeled 'W'.
- DINING ROOM**: Located at the bottom right.
- NEW OFFICE**: Located at the bottom left.

The diagram shows various fixtures and furniture items:

- In the **LAUNDRY** room, there are two stacked washing machines labeled 'W'.
- In the **DINING ROOM**, there is a large rectangular table.
- In the **NEW OFFICE**, there is a desk with a computer monitor and keyboard.
- Throughout the plan, there are multiple sinks, toilets, and bathtubs.
- Doors are indicated by symbols, and windows are shown as glass panes.

A blue dashed line with an arrowhead points from the top left towards the central laundry area, likely indicating a specific view or feature.

GARA

The image shows a detailed architectural floor plan. At the top, a large rectangular room is labeled "KITCHEN". Below this, a vertical corridor or entrance features a small inset diagram of a double sink. To the right of the kitchen, there is a large, L-shaped recessed area. The plan includes various lines representing walls, doors, and windows, along with dashed lines for rooms that are not fully detailed.

LIVING ROOM

DINING ROOM

NEW OFFER

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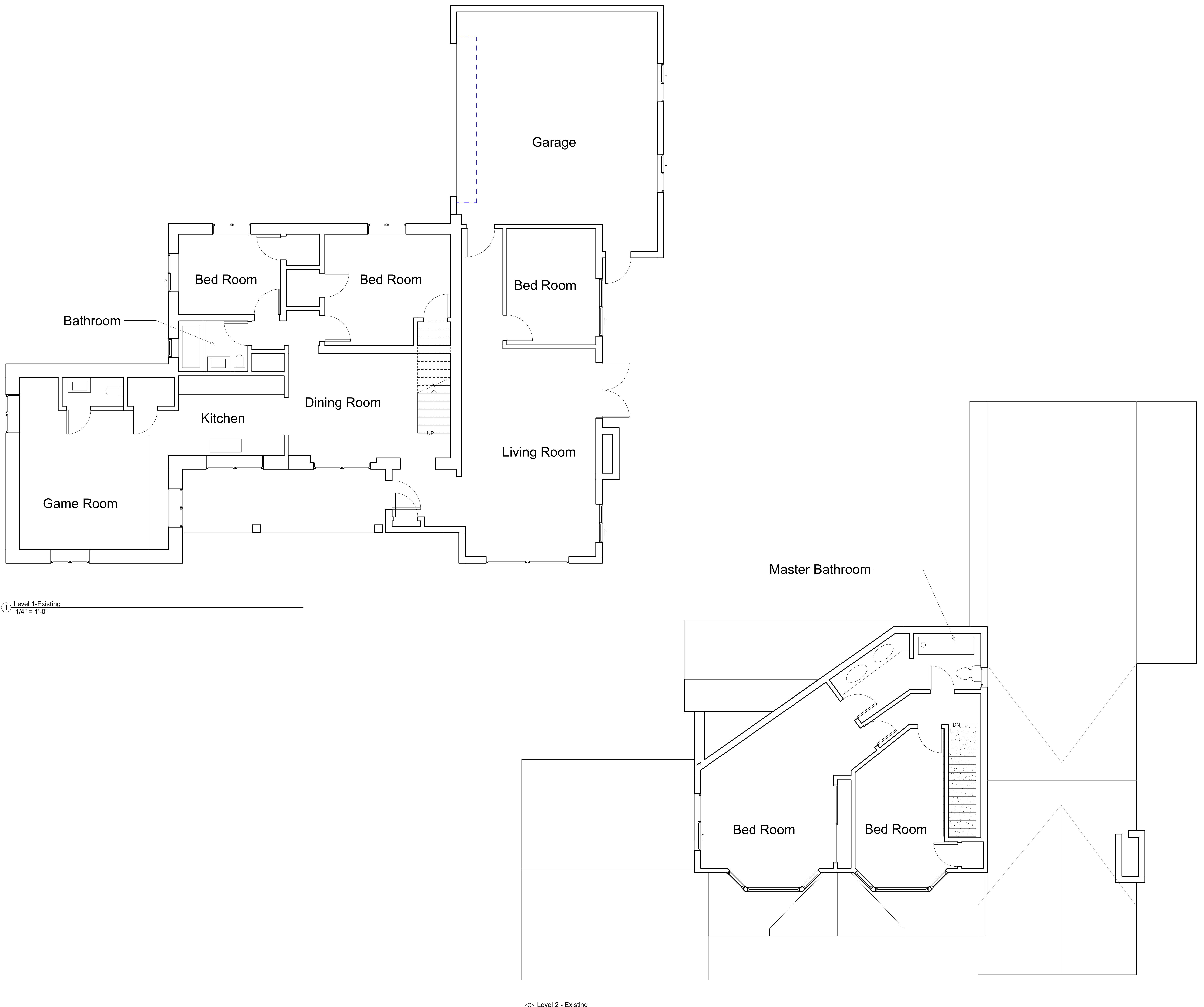
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NEW ADDITION ENCROACHMENTS

Project Number	Project Number
Issue Date	Issue Date
Authorised By	Authorised By
Checked By	Checked By

A004

scale $1/4" = 1'-0"$



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95148**

LEVEL 1&2- EXISTING PLANS

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

A100

1/4" = 1'-0"



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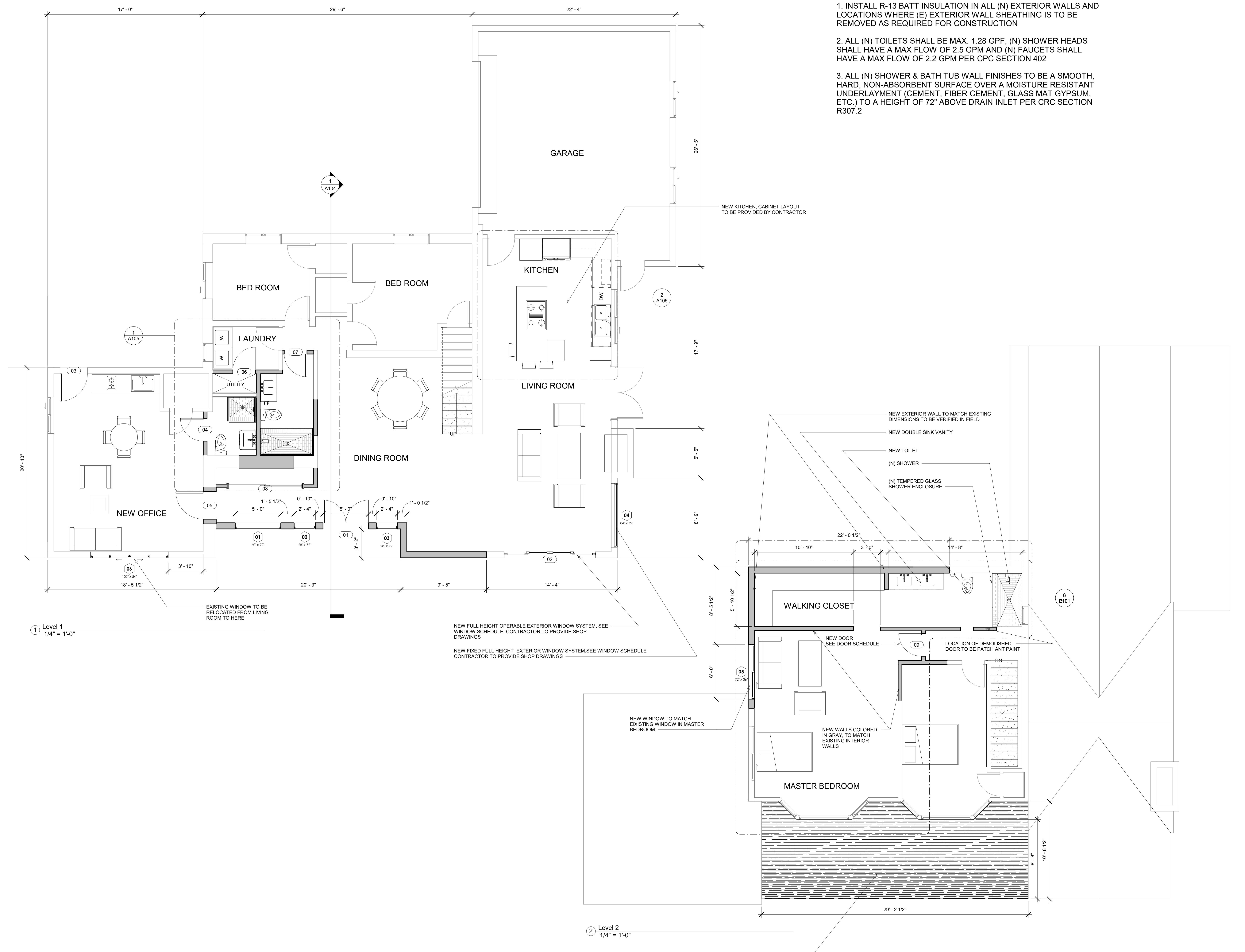
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PLEASANT ROAD,
SAN JOSE CA
95148**

LEVEL 1&2 - DEMOLITION PLANS

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A101	
Scale	1/4" = 1'-0"

A101

1/4" = 1'-0"



LEVEL 1&2- NEW PLANS

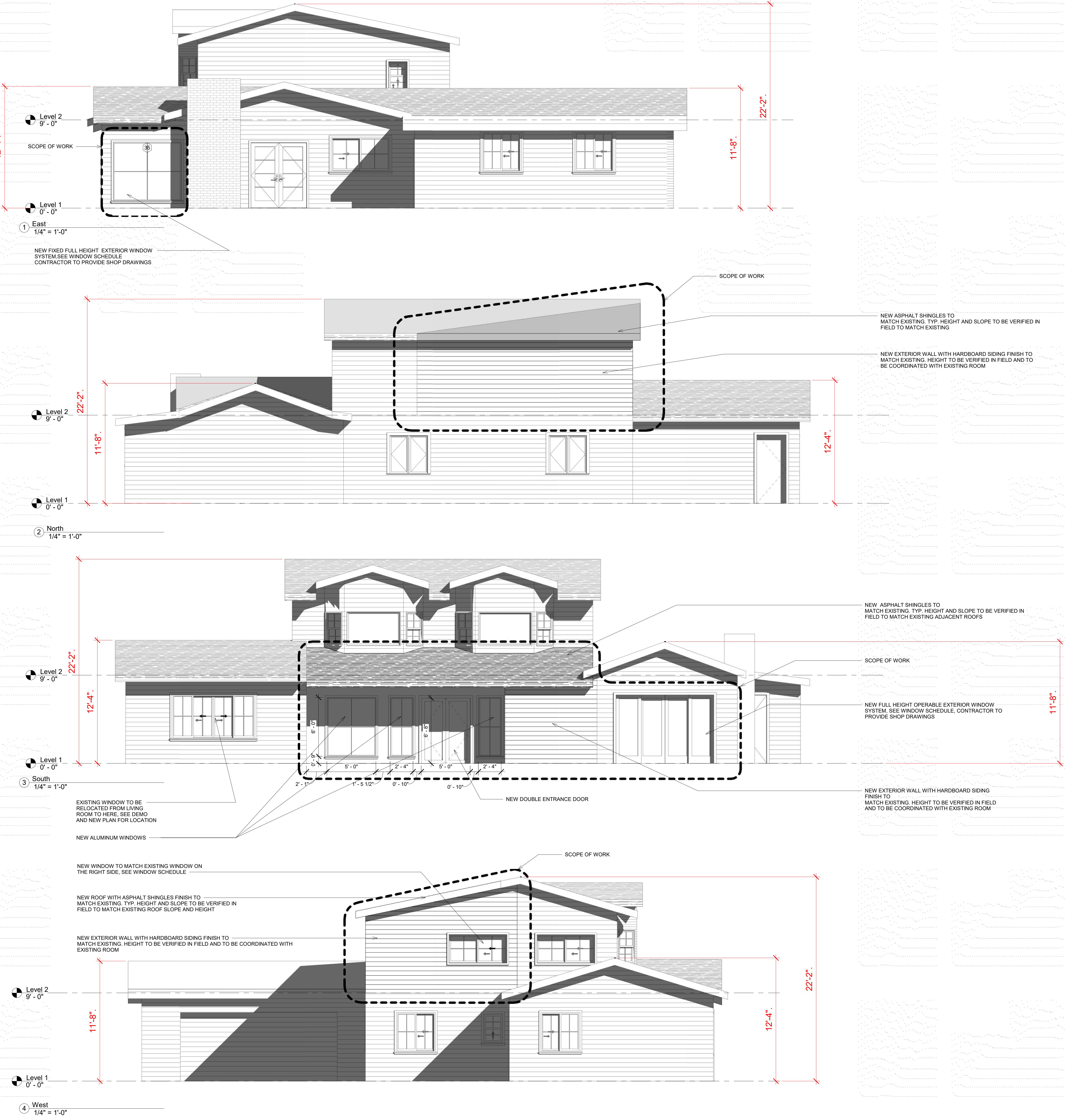
Project Number	A102
Issue Date	1/1" - 1'-0"
Author	1/1" - 1'-0"
Checker	1/1" - 1'-0"

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A compass rose icon with the word "TRUE NORTH" written next to it.

A102

1/4" = 1'-0"




ELEVATIONS

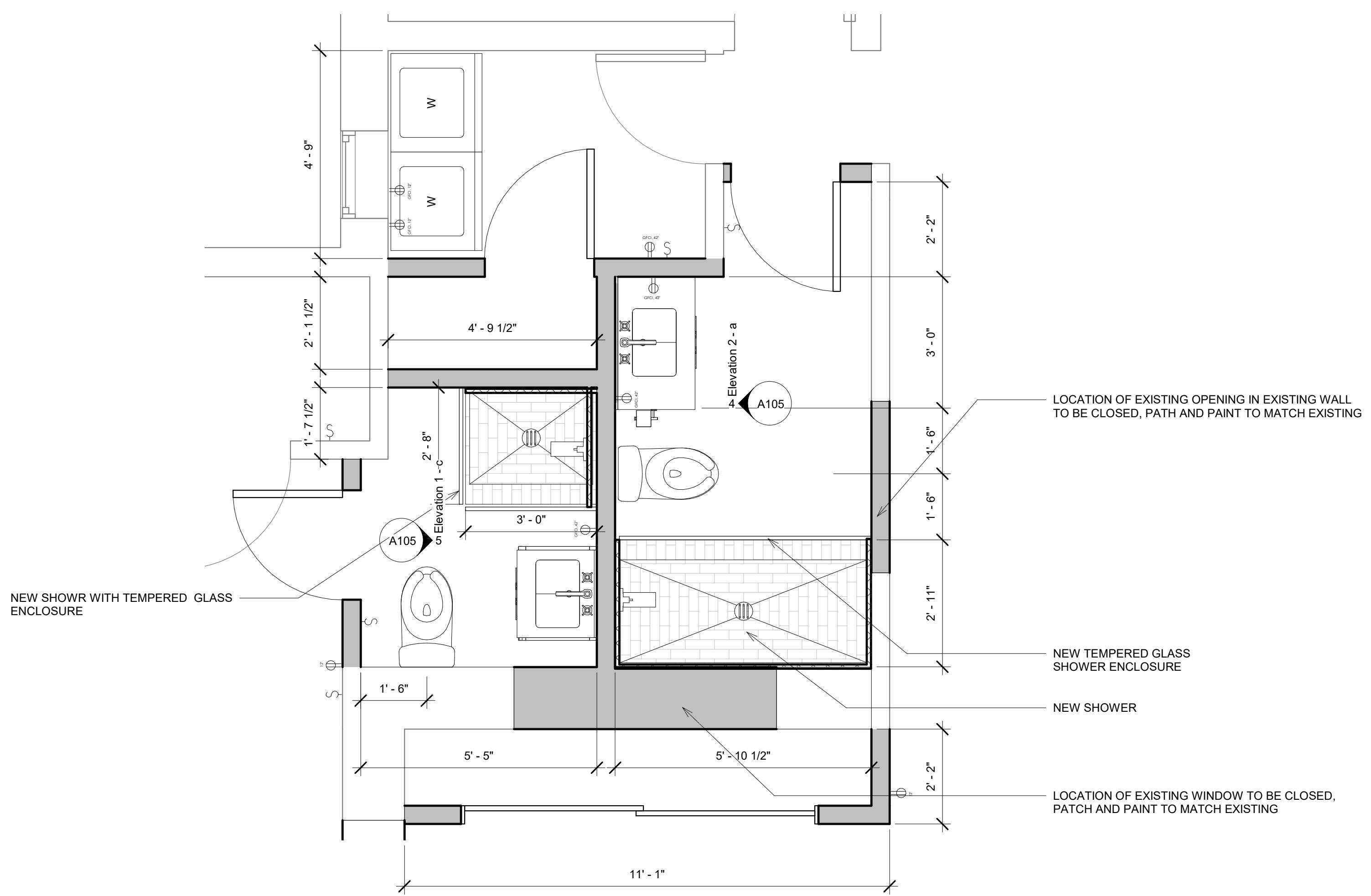
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Check

A 103

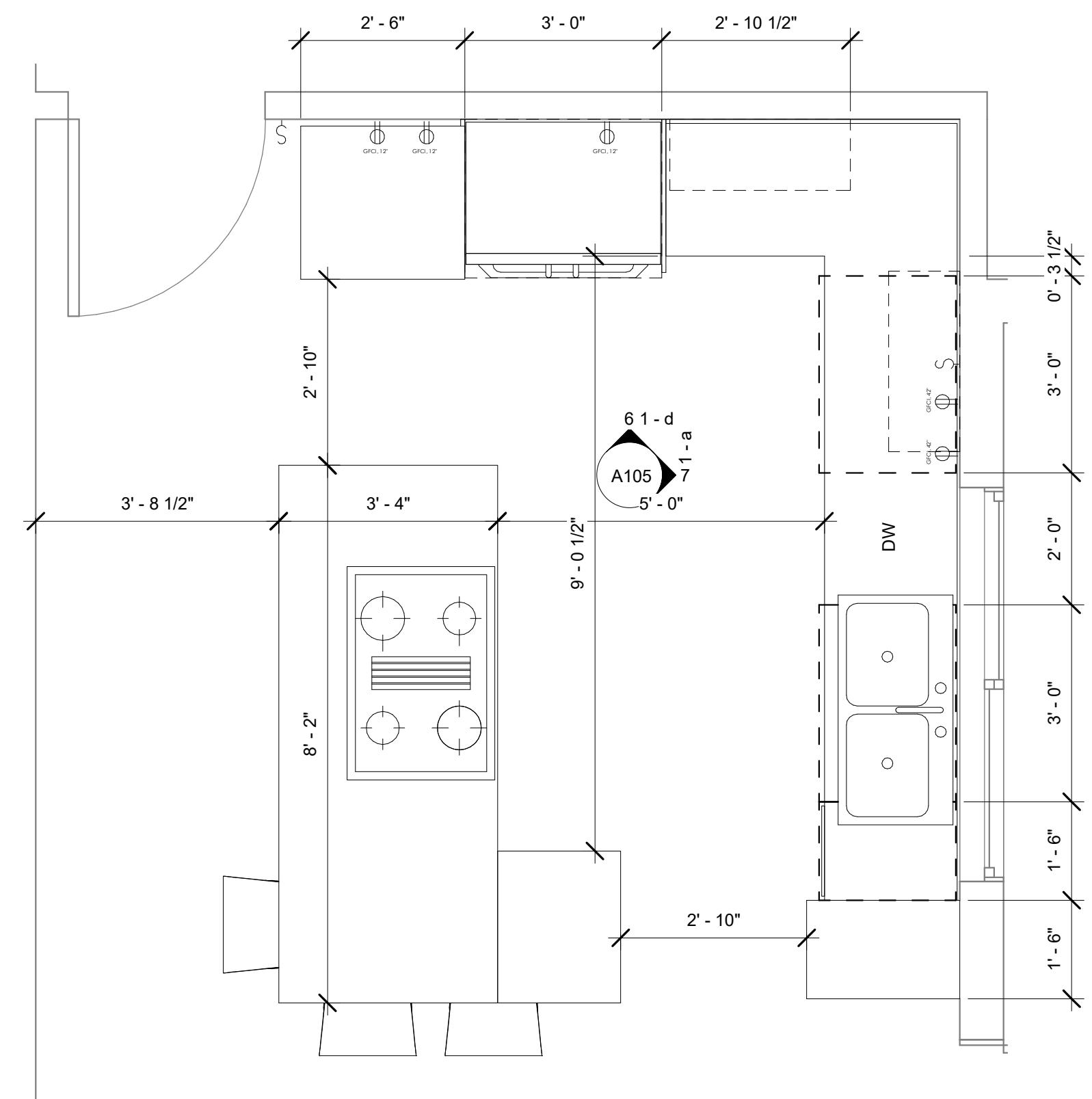
— 1 —

1/4" - 1/2"

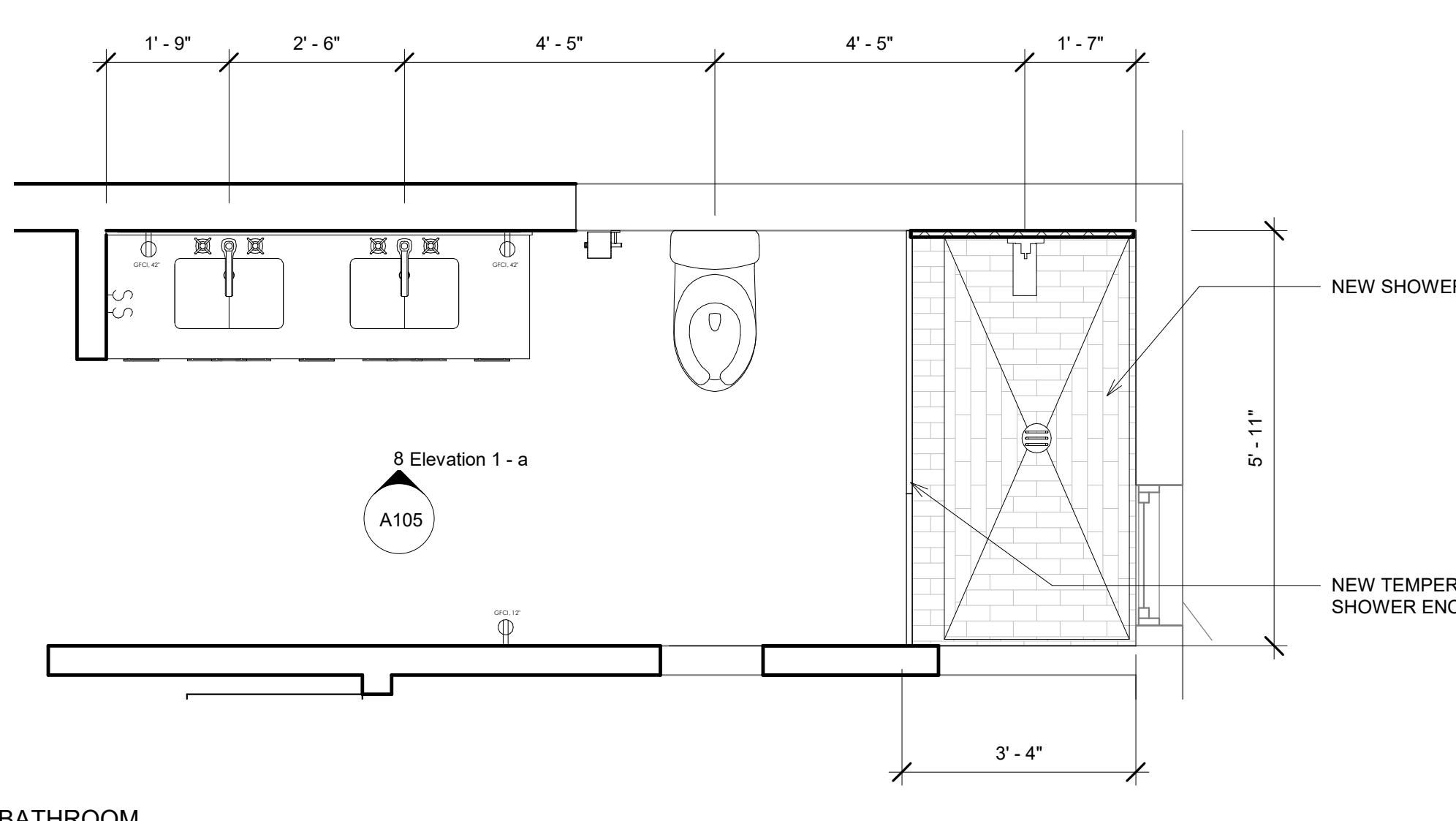




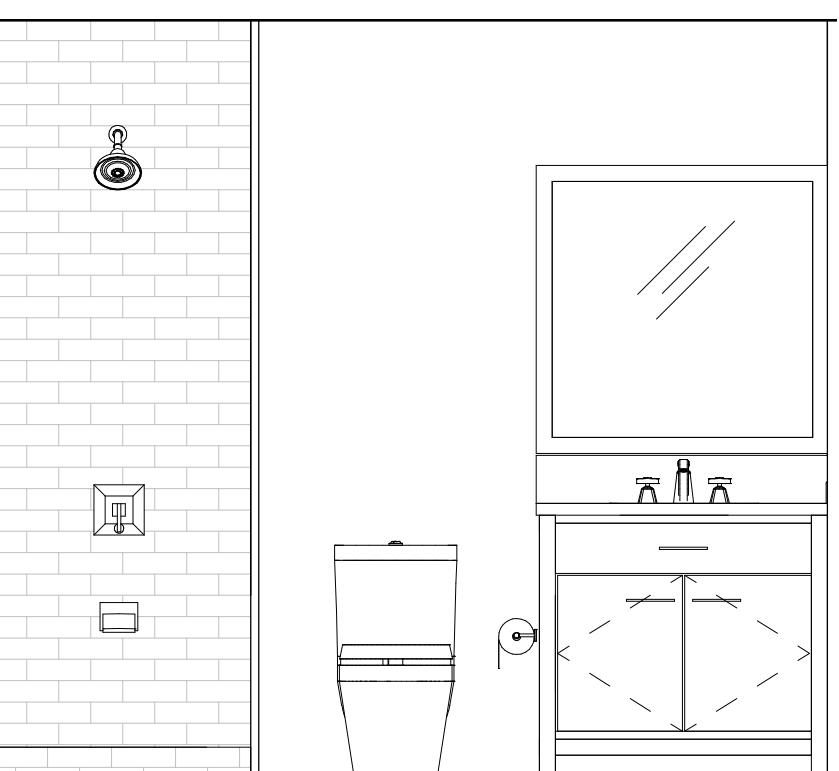
1 LEVEL 1 - BATHROOMS



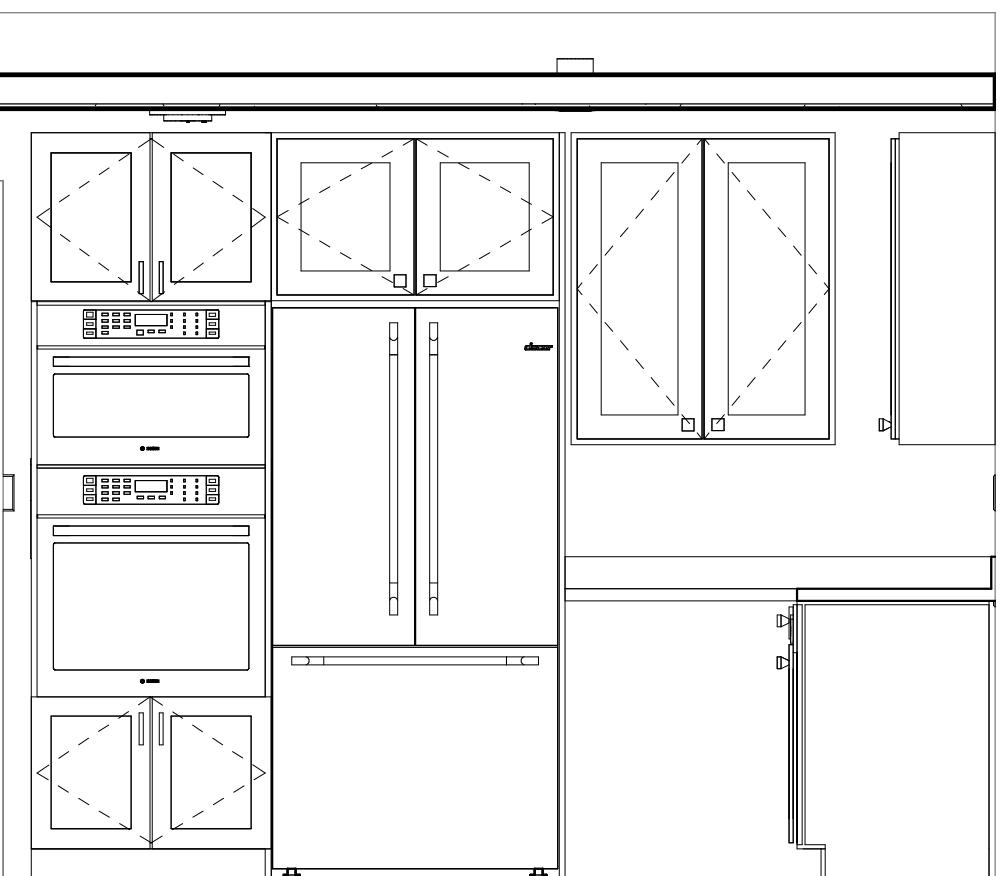
2 LEVEL 1 - KITCHEN



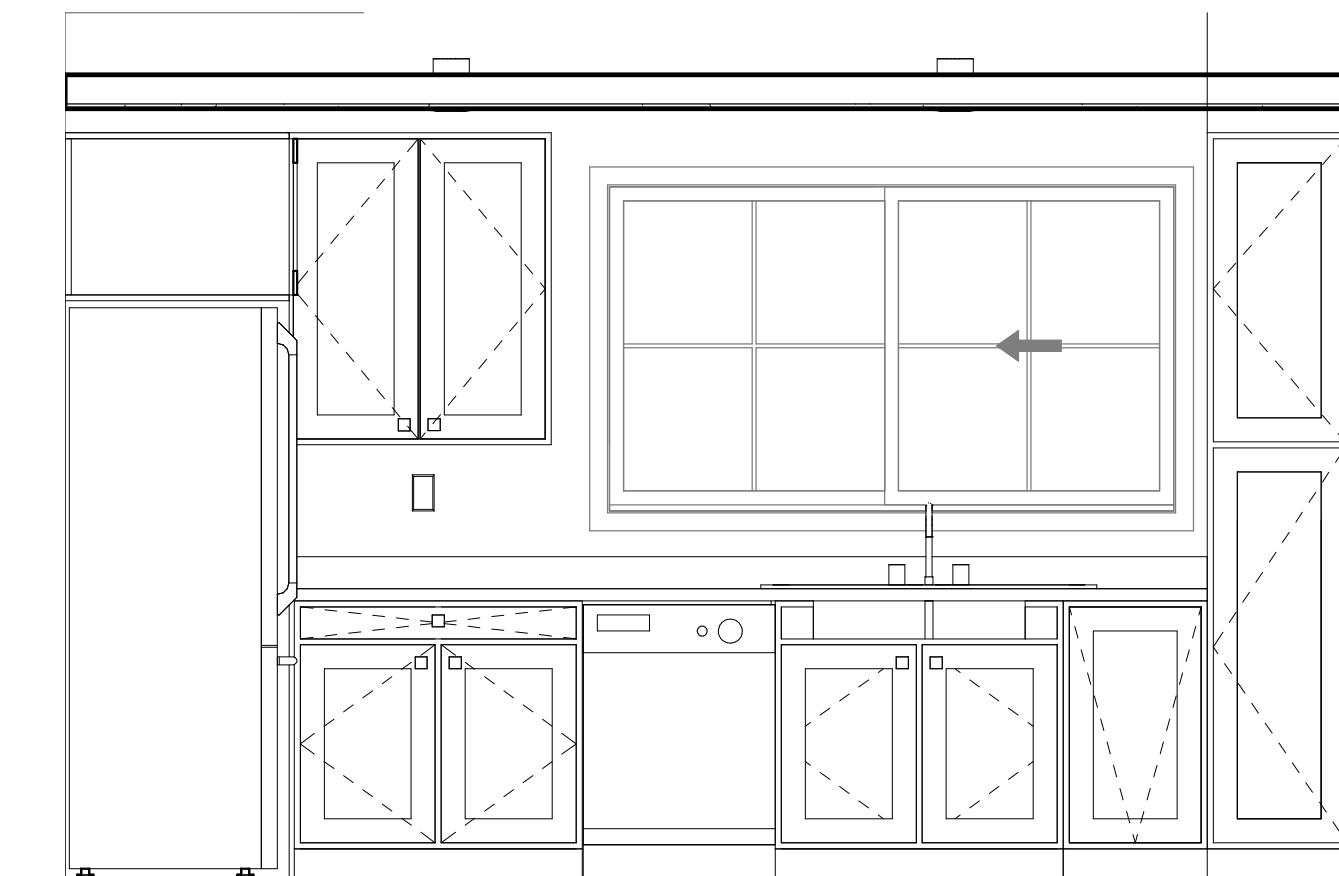
3 LEVEL 2- BATHROOM
1/2" = 1'-0"



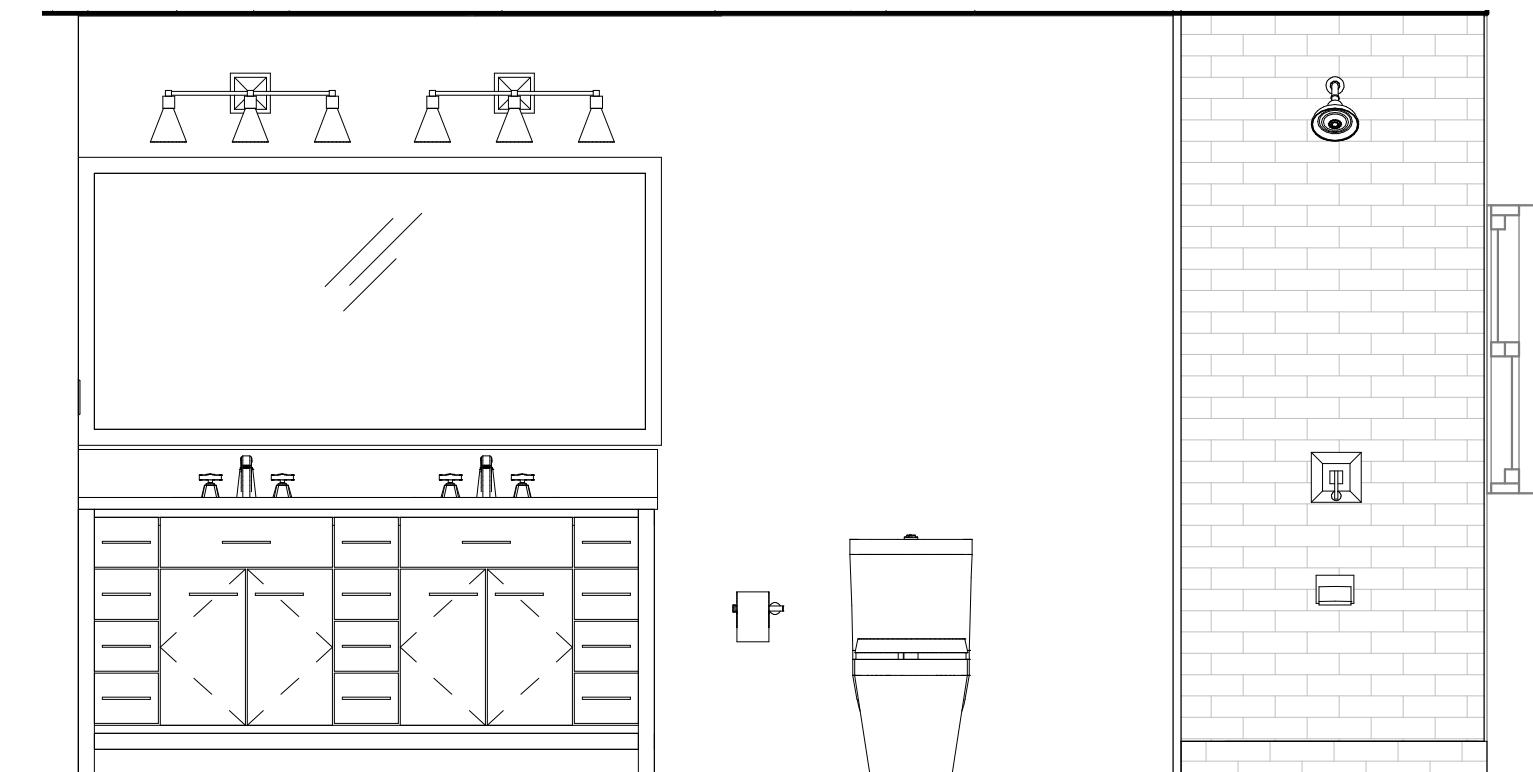
4 Elevation 2 - a
1/2" = 1'-0"



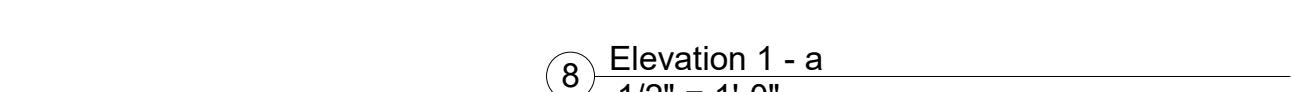
5 Elevation 1 - c
1/2" = 1'-0"



$$\frac{1 - d}{1/2"} = 1' - 0"$$



$$\frac{1-a}{1/2''} = 1'-0''$$



NOTE

PROVIDED LAYOUTS ARE FOR REFERENCE ONLY. CONTRACTOR TO PROVIDE SHOP DRAWINGS

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Farhad Taghibakhsh

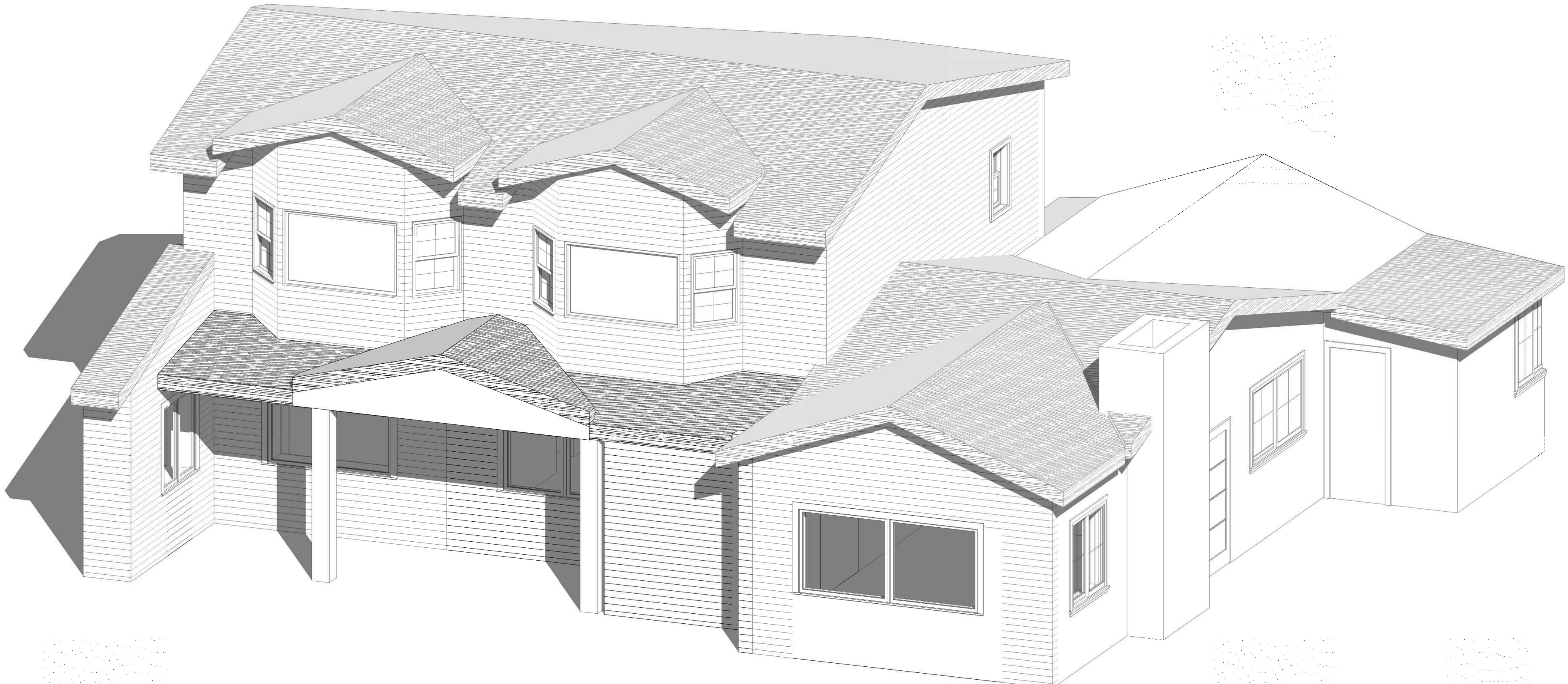
**2483 MOUNT
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ENLARGED PLANS AND INTERIOR ELEVATIONS

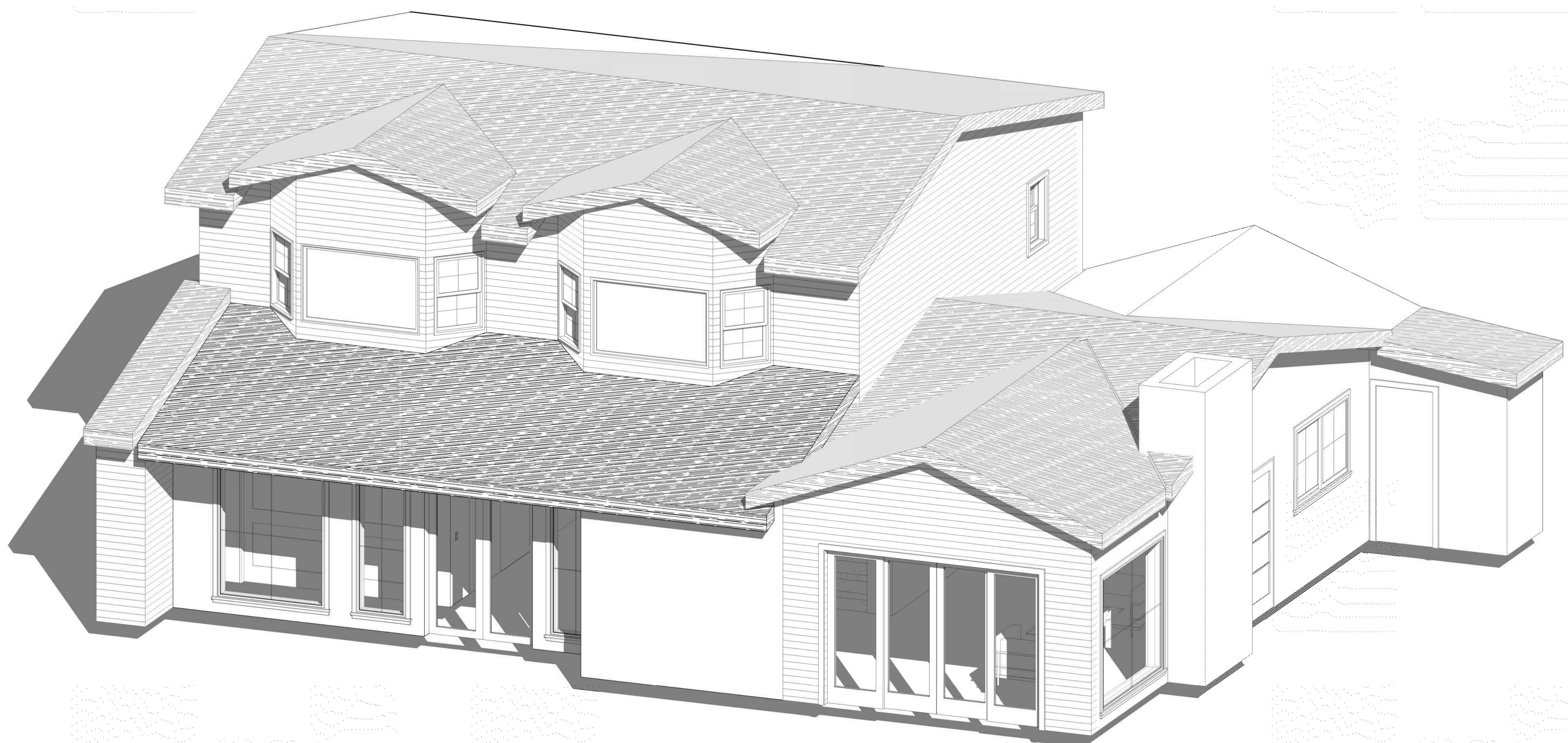
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

A105

1/2" = 1'-0"



1 ENTRANCE-DEMO



2 ENTRANCE-NEW

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
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PERSPECTIVES

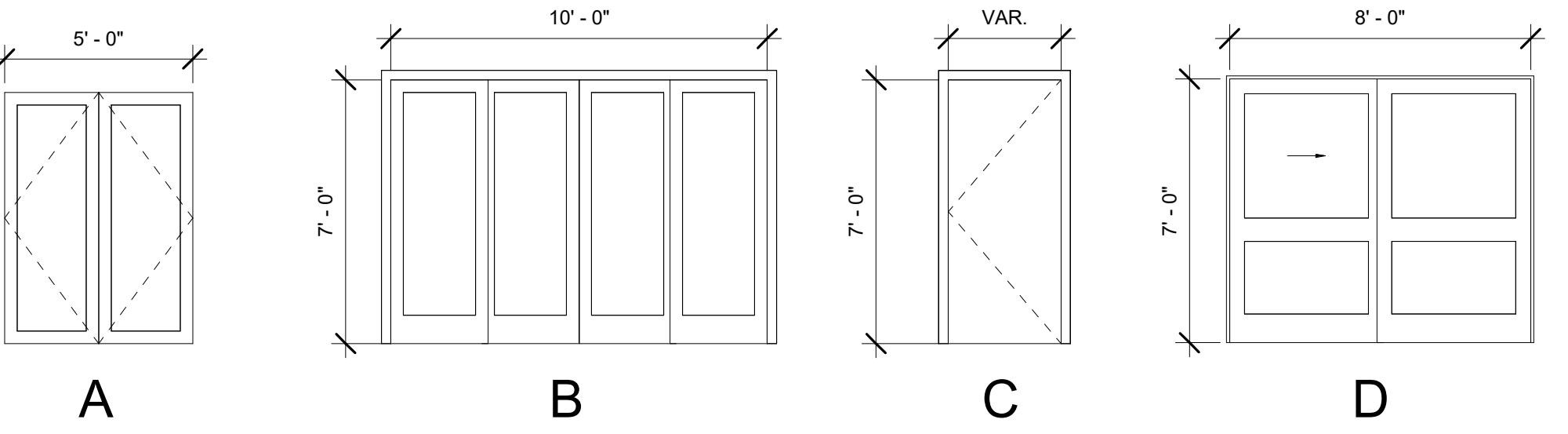
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

A 106

Scale

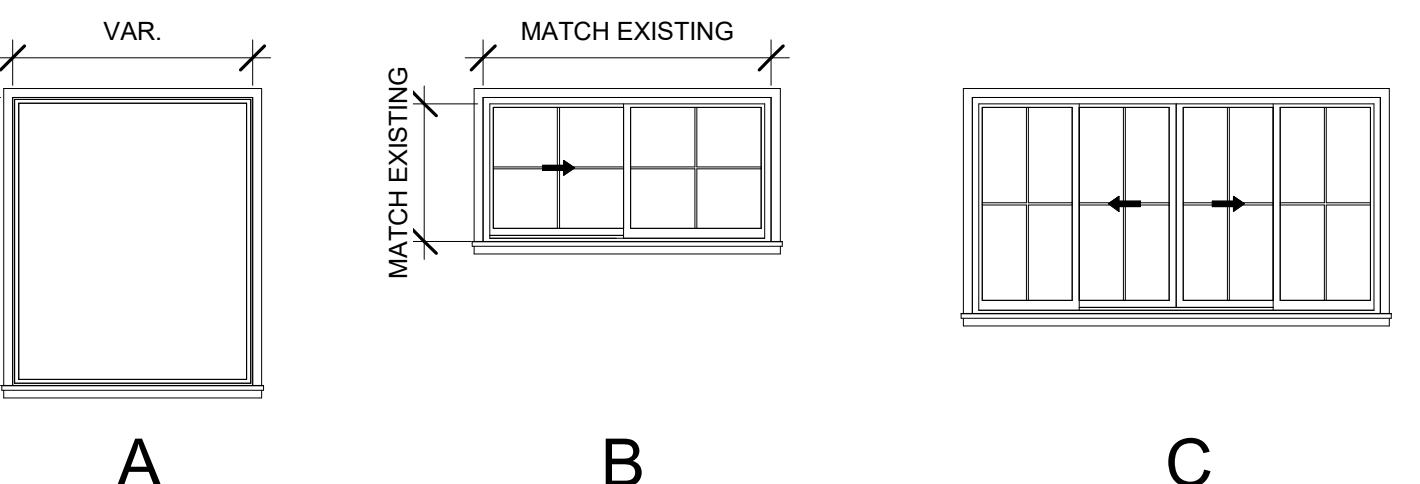


Door Schedule						
Mark	Level	Door Type	Width	Height	Door Material	Location
	Level 1	A	5' - 0"	6' - 8"	ALUMINUM/GLASS	MAIN ENTRANCE
	Level 1	B	10' - 0"	7' - 0"	ALUMINUM/GLASS	MAIN LIVING ROOM
	Level 1	C	3' - 0"	7' - 0"	WOOD	IN-LAW UNIT ENTRANCE
	Level 1	C	2' - 6"	7' - 0"	WOOD	IN-LAW UNIT BATHROOM
	Level 1	C	3' - 0"	7' - 0"	WOOD	IN-LAW UNIT ACCESS
	Level 1	C	2' - 6"	7' - 0"	WOOD	UTILITY ACCESS
	Level 1	C	2' - 6"	7' - 0"	WOOD	BATHROOM
	Level 1	D	8' - 0"	7' - 0"	WOOD	ENTRANCE CLOSET
	Level 2	C	2' - 6"	7' - 0"	WOOD	MASTER BED ROOM



Door Legend
1/4" = 1'-0"

Window Schedule							
Mark	Level	Window Type	Width	Height	Window Material	Window Location	Comments
	Level 1	A	5' - 0"	6' - 0"	ALUMINUM	MAIN ENTRANCE	
	Level 1	A	2' - 4"	6' - 0"	ALUMINUM	MAIN ENTRANCE	
	Level 1	A	2' - 4"	6' - 0"	ALUMINUM	MAIN ENTRANCE	
	Level 1	A	7' - 0"	6' - 0"	ALUMINUM	LIVING ROOM	
	Level 2	B	6' - 0"	3' - 0"	ALUMINUM	MASTER BED ROOM	TO MATCH EXISTING
	Level 1	C	8' - 6"	4' - 6"	ALUMINUM	IN-LAW UNIT	RELOCATED FROM EXISTING LIVING ROOM



Window Legend

WINDOWS AND DOORS TO MEET AIA/ILO SHCC PERMIT TITLE 24 REPORT

DOE AND WINDOW SCHEDULE GENERAL NOTES:

- DIMENSIONS SHOWN FOR DOORS ARE FINISHED DIMENSIONS UNLESS OTHERWISE NOTED. CONTRACTOR TO CONFIRM DIMENSIONS REQUIRED AT ROUGH OPENINGS PRIOR TO ORDERING AND INSTALLING DOORS.

DIMENSIONS SHOWN AT SLIDING GLASS DOORS ARE ROUGH OPENING DIMENSIONS. CONTRACTOR TO CONFIRM DIMENSIONS IN FIELD PRIOR TO ORDERING AND INSTALLING DOORS.

FINISH OF DOOR HARDWARE AND HINGES TO MATCH, TYP.

ALL WOOD DOORS TO BE FLUSH, SOLID CORE, U.O.N

SAFETY GLAZING: PROVIDE TEMPERED SAFETY GLAZING AT ALL VERTICAL HUMAN IMPACT LOAD LOCATIONS AND "HAZARDOUS LOCATIONS" REQUIRED PER CBC 2406.4. COMPLY WITH ANSI Z97.1 AND LABEL EACH PANE PER CBC 2406.2.

TEMPERED PANES: EACH 6MM TEMPERED PANE COMPOSED OF A SINGLE THICKNESS OF TEMPERED GLASS, CLEAR OR TINTED AS INDICATED FOR APPLICATION AND LOCATION IN ASSEMBLIES.

EXTERIOR GLAZING: DOUBLE GLAZED SEALED INSULATING GLASS, 24 MM ASSEMBLY COMPOSED OF 2-6MM PANES OF TEMPERED GLAZING PER GLAZING

FINISH HARDWARE: PROVIDE FINISH HARDWARE AT ALL OPENINGS OF SPECIFIED DESIGN SUITABLE FOR PROPER FUNCTION OF THE OPENING AS INDICATED. INCLUDE ALL NECESSARY FASTENERS OF HARMONIZING MATERIAL AND FINISH FOR ALL HARDWARE.

Consultant
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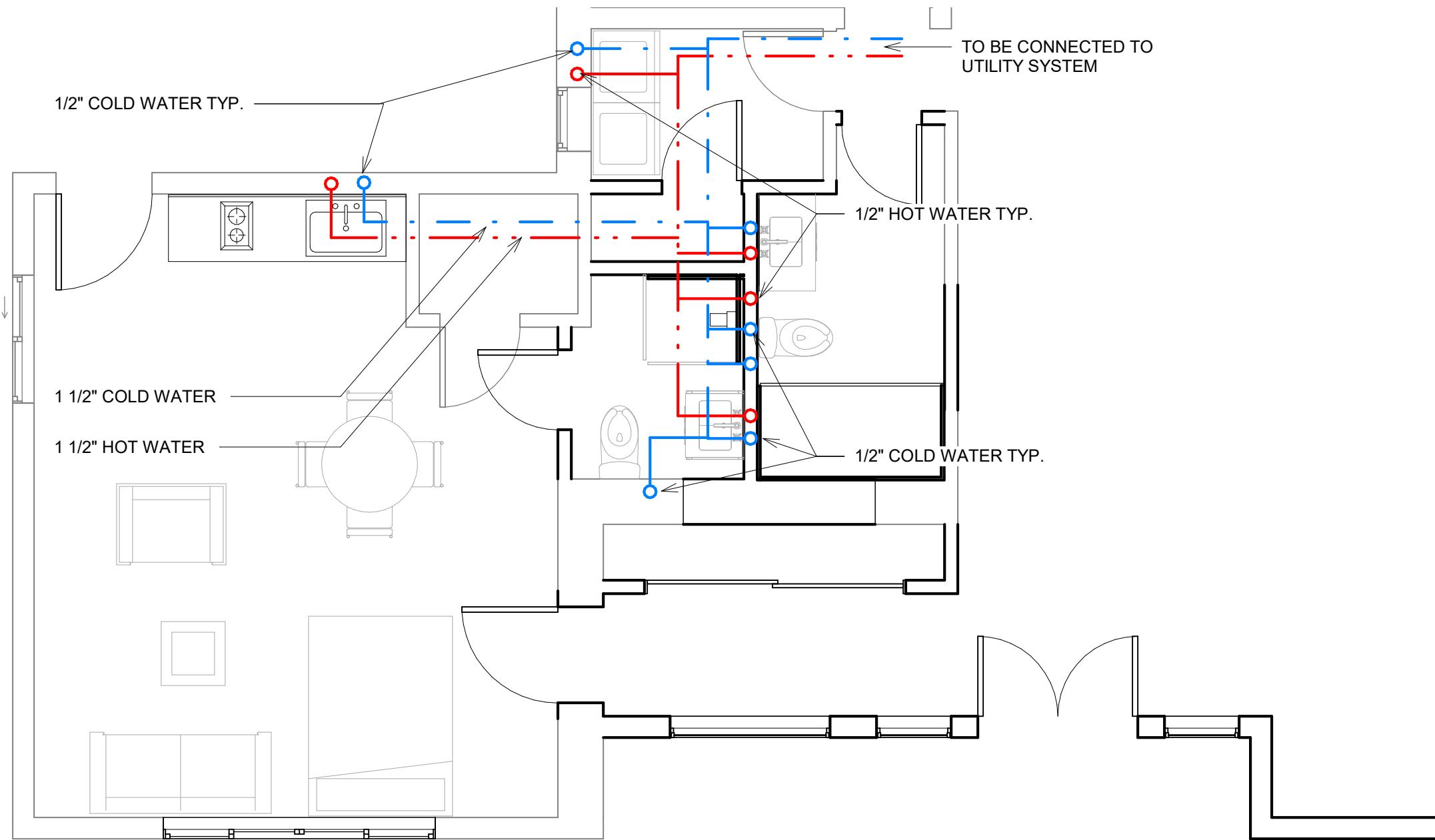
**2483 MOUNT
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DOOR AND WINDOW SCHEDULE

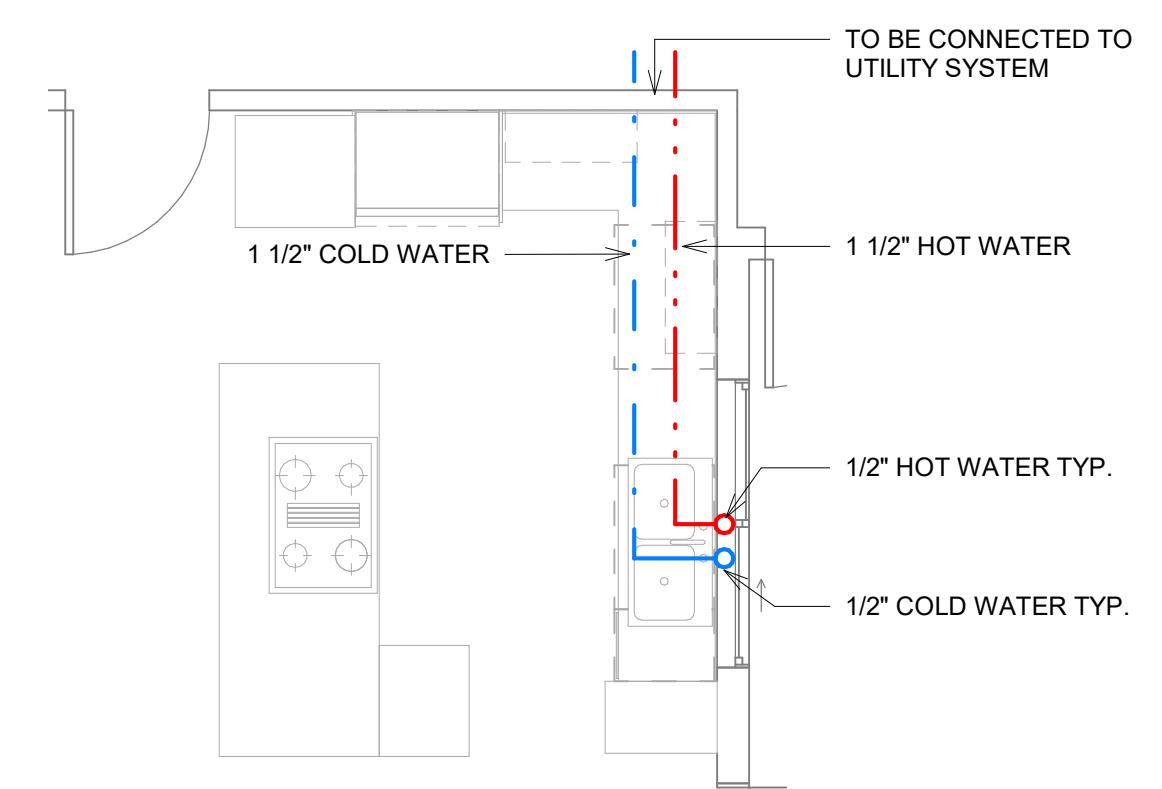
Project Number	A108
Date	1/14/2024
Drawn By	John Doe
Checked By	Jane Smith

A108

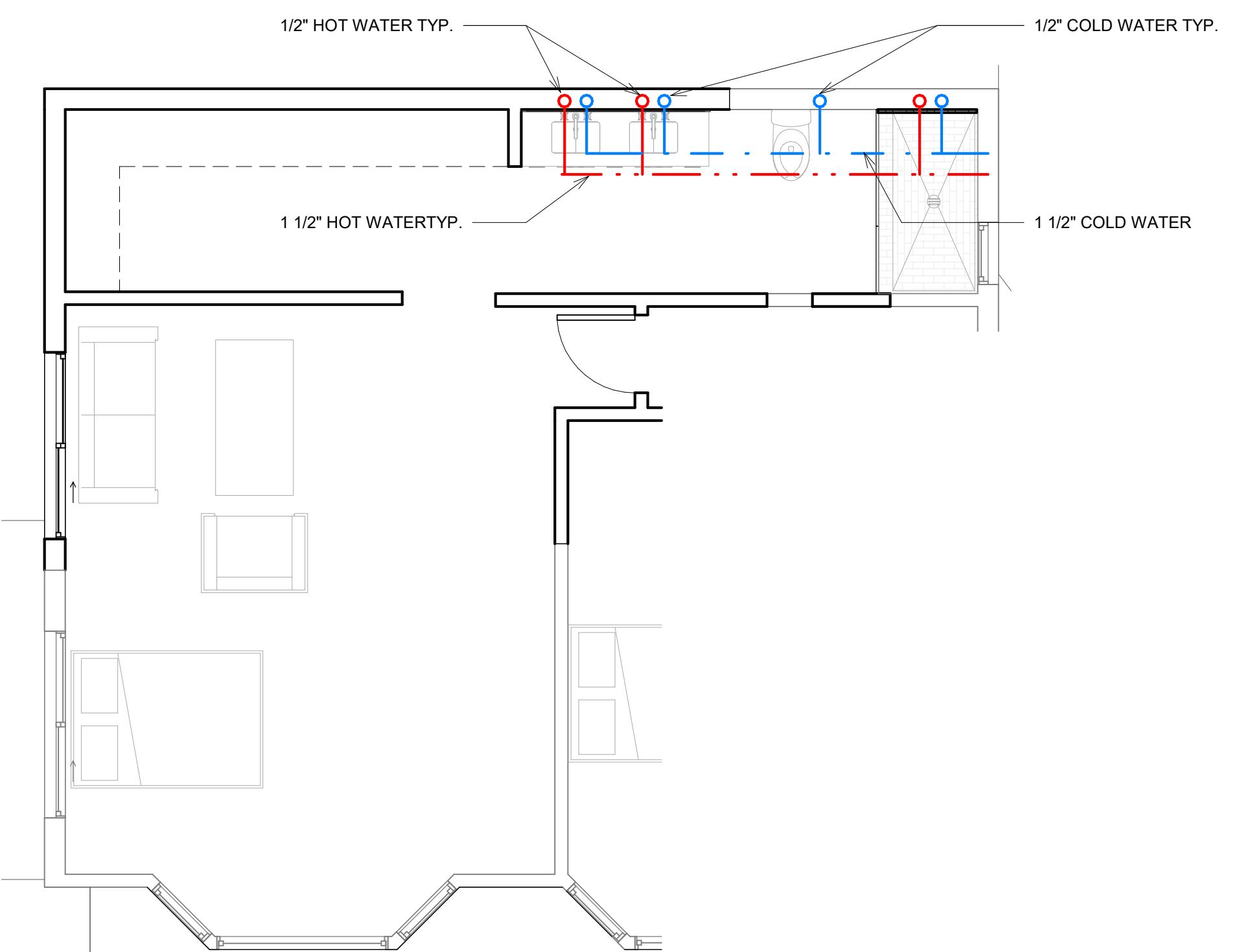
1/4" = 1'-0"



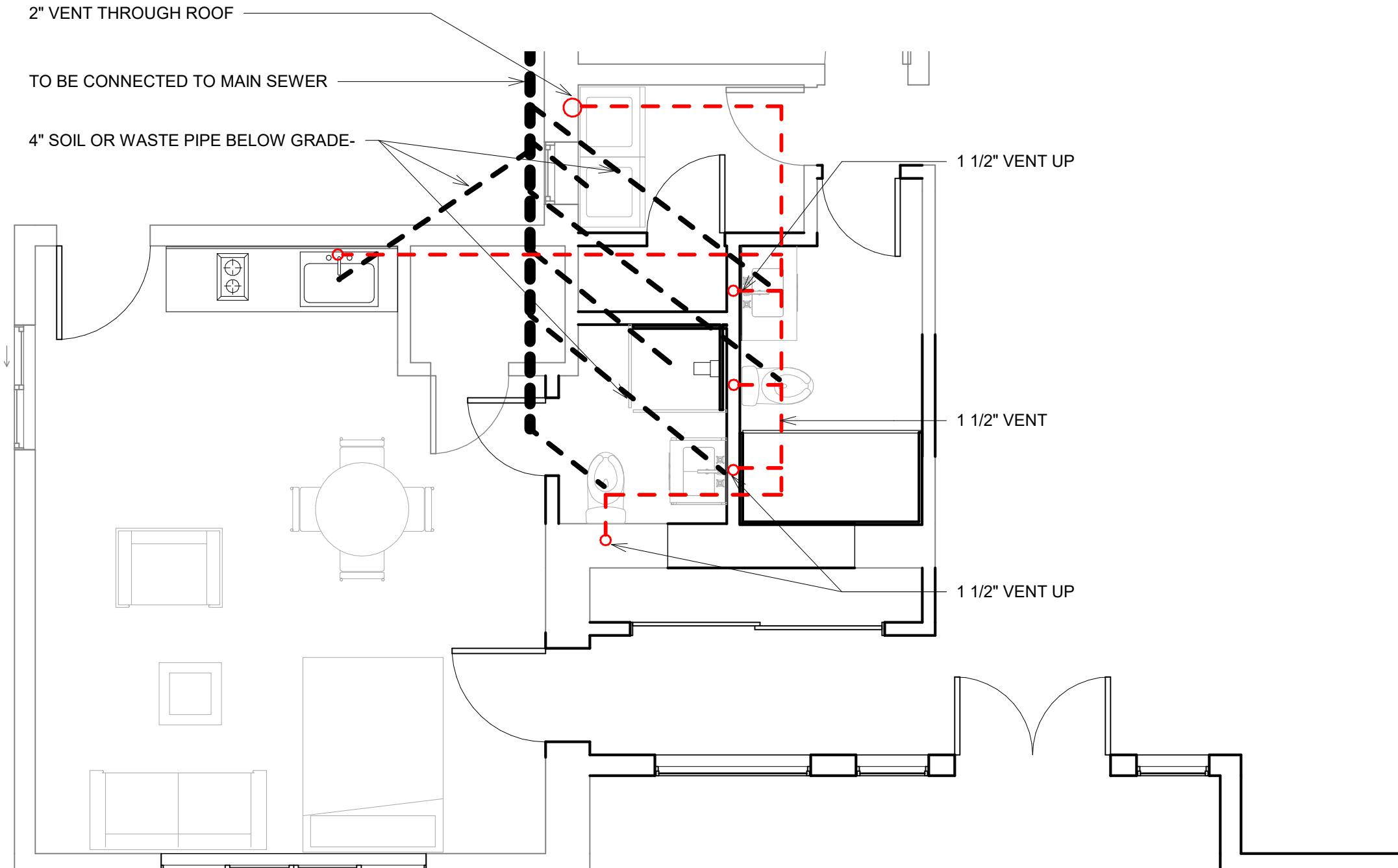
**LEVEL 1 - BATHROOM-LAUNDRY AND
NEW IN-LAW UNIT - HOT WATER
LAYOUT**



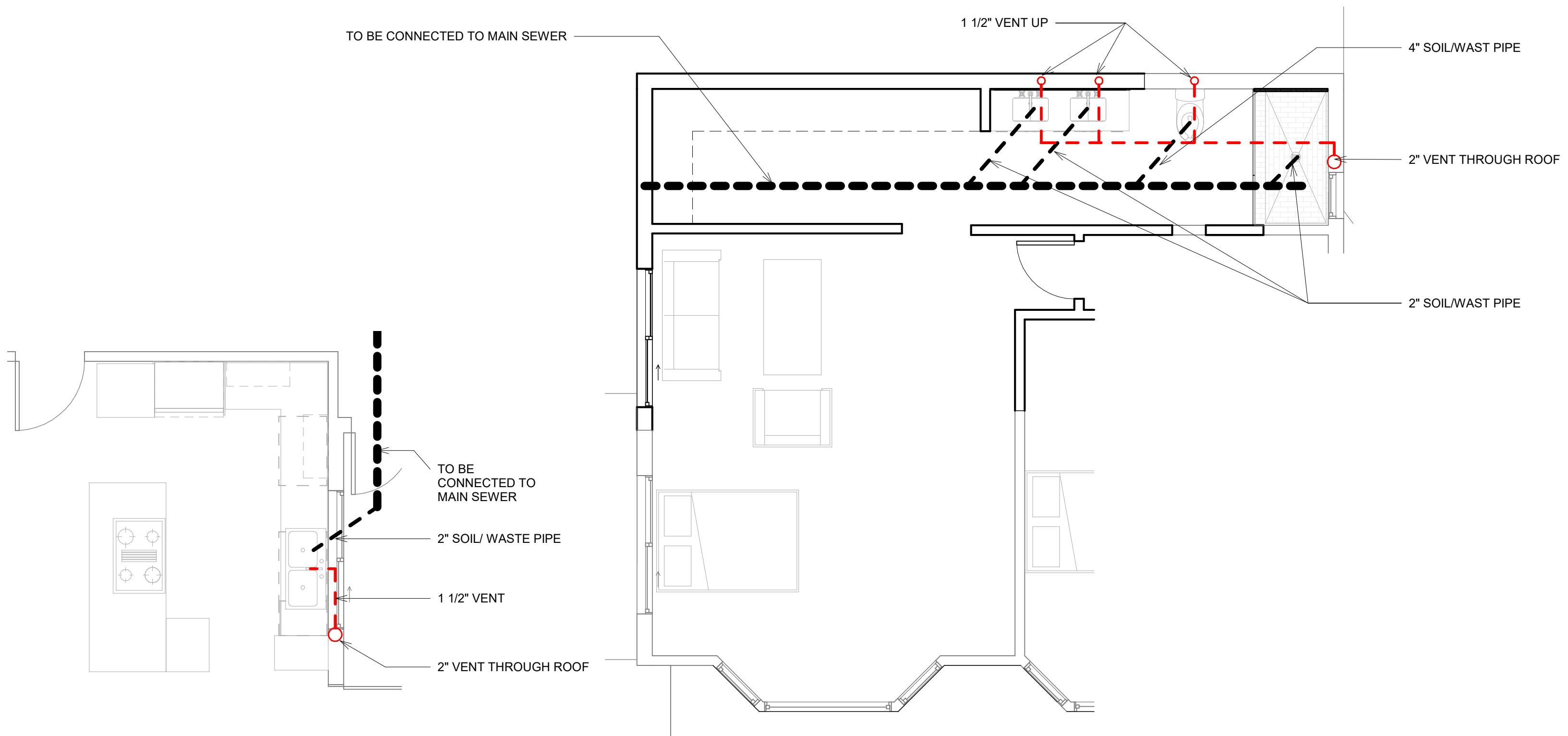
**LEVEL 1 - KITCHEN - HOT WATER
LAYOUT**



**LEVEL 2 - MASTER BED ROOM - HOT
WATER LAYOUT**



LEVEL 1 - BATHROOM-LAUNDRY AND NEW IN-LAW UNIT - SEWER AND VENT LAYOUT



**LEVEL 1 - KITCHEN - SEWER AND VENT
LAYOUT**

5 $1/4"$ = 1'-0"

6 LEVEL 2- BATHROOM

Farhad Taghibakhsh

**2483 MOUNT
PLEASANT ROAD,
SAN JOSE CA
95148**

PLUMBING PLANS

Project Number	Project Number
Issue Date	Issue Date
Drawn By	Author
Checked By	Checker

NOTE:
HOT WATER PIPES TO RECEIVE INSULATION

STRUCTURAL NOTES

1. GENERAL
 - A. THESE NOTES APPLY TO ALL DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED OR SPECIFIED. WHENEVER THERE APPEARS TO BE A CONFLICT BETWEEN THE NOTES, DRAWINGS, OR SPECIFICATIONS, THE MORE CONSERVATIVE OR STRINGENT REQUIREMENT WILL GOVERN, UNLESS OTHERWISE STATED BY THE ENGINEER.
 - B. VERIFY ALL EXISTING CONDITIONS AND PROPOSED DIMENSIONS AT JOB SITE. COMPARE STRUCTURAL DRAWINGS WITH ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS BEFORE COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES AND DO NOT PROCEED WITH AFFECTED WORK UNTIL THEY ARE RESOLVED. DO NOT SCALE DRAWINGS.
 - C. UNLESS OTHERWISE SHOWN OR NOTED, ALL TYPICAL DETAILS SHALL BE USED WHERE APPLICABLE.
 - D. ALL DETAILS SHALL BE CONSIDERED TYPICAL AT SIMILAR CONDITIONS.
 - E. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF THE PERSONS AND PROPERTY, AND FOR ALL NECESSARY INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S OR ENGINEER'S JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
 2. TESTS & INSPECTIONS
 - A. PROVIDE TESTS AND SPECIAL INSPECTIONS FOR ALL ITEMS AS REQUIRED BY SECTION 1704 OF THE CALIFORNIA BUILDING CODE AND LOCAL JURISDICTION. WHERE THERE APPEARS TO BE A CONFLICT BETWEEN BUILDING CODES, THE MORE STRINGENT REQUIREMENTS GOVERN, UNLESS STATED OTHERWISE BY THE ENGINEER.
 - B. THE OWNER SHALL BE RESPONSIBLE FOR RETAINING AN INDEPENDENT TESTING LAB TO PERFORM ALL REQUIRED TESTING AND INSPECTIONS.
 - C. THE FOLLOWING SPECIFIC ITEMS SHALL BE INSPECTED AND/OR TESTED BY THE TESTING LAB:
 1. REINFORCING BARS AND THREADED BOLTS EPOXY GROUTED INTO EXISTING WALLS, FOOTINGS, BEAMS, COLUMNS, ETC.
 2. CONCRETE STRENGTH (SEE BELOW FOR STRENGTH REQUIREMENTS).
 - D. THE FOLLOWING SPECIFIC ITEMS SHALL BE INSPECTED BY THE ENGINEER OF RECORD:
 1. REINFORCING STEEL PLACEMENT.
 2. NAILING OF PLYWOOD SHEAR WALLS AND DIAPHRAGMS.
 - E. PROVIDE PERIODIC INSPECTION AS REQUIRED BY SECTION 1707.3 FOR NAILING, BOLTING, ANCHORING AND OTHER FASTENING COMPONENTS WITHIN THE SEISMIC FORCE RESISTING SYSTEM INCLUDING WOOD SHEARWALLS, WOOD DIAPHRAGMS, DRAG STRUTS, BRACES, SHEAR PANEL AND HOLDOWNS.
 - F. THE CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF 48 HOURS PRIOR TO TIME OF INSPECTION.
 3. DESIGN BASIS
 - A. CONSTRUCT IN CONFORMANCE WITH THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 4. FRAMING LUMBER (UNLESS OTHERWISE NOTED)
 - A. ALL FRAMING LUMBER SHALL BE GRADED PER WCLIB GRADING RULES NO. 16.
 - B. ALL POSTS 4x6 AND LARGER SHALL BE DOUGLAS FIR, SELECT STRUCTURAL. POST SMALLER THAN 4X6 SHALL BE DOUGLAS FIR, #1.
 - C. ALL BEAMS SHALL BE DOUGLAS FIR, #1.
 - D. ALL STUDS, PLATES, BLOCKING, ETC., SHALL BE DOUGLAS FIR, CONSTRUCTION GRADE.
 - E. ALL JOISTS AND RAFTERS SHALL BE DOUGLAS FIR #2 OR BETTER.

5. PLAYWOO

- A. EACH PANEL SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE, TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION, AND SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE U. S. PRODUCT STANDARD PS-1.
 - B. PLYWOOD SHEETS SHALL BE THICKNESS NOTED ON DRAWINGS.
 - C. PLYWOOD SHEETS AT FLOORS AND ROOFS SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO JOISTS AND RAFTERS.
 - D. UNLESS OTHERWISE NOTED ON THE DRAWINGS, TYPICAL ROOF PLYWOOD SHALL BE UNBLOCKED 5/8 INCH 32/16 CDX WITH 8d NAILS @ 6" O.C. @ PANEL EDGES AND WITH 8d NAILS @ 12" O.C. IN THE FIELD. PROVIDE PLYCLIPS BETWEEN JOISTS WHERE EDGES ARE NOT BLOCKED.
 - E. UNLESS OTHERWISE NOTED ON THE DRAWINGS, TYPICAL FLOOR PLYWOOD SHALL BE UNBLOCKED 3/4 INCH 40/20 T&G CDX WITH 10d NAILS @ 6" O.C. @ PANEL EDGES AND WITH 10d NAILS @ 10" O.C. IN THE FIELD (CONTRACTOR MAY OMIT T&G WHERE BLOCKED EDGES ARE SPECIFIED ON THE DRAWINGS).
 - F. UNLESS OTHERWISE SPECIFIED IN A SHEAR WALL SCHEDULE ON THE DRAWINGS, ALL NEW EXTERIOR WALL PLYWOOD SHALL TYPICALLY BE 1/2 INCH 24/0 CDX WITH 8d NAILS @ 6" O.C. AT ALL PANEL EDGES AND WITH 8d NAILS @ 12" O.C. IN THE FIELD IN ACCORDANCE WITH SHEAR WALL TYPE 1.

6. ROUGH CARPENTRY

- A. FOR SCHEDULE OF MINIMUM NAILING SEE TABLE 2304.9.1 OF THE LATEST CALIFORNIA BUILDING CODE. 16 PENNY VINYL COATED SINKERS MAY BE SUBSTITUTED FOR 16 PENNY BOX OR COMMON NAILS FOR ROUGH FRAMING. SINKERS SHALL NOT BE USED WITH METAL CONNECTORS.
 - B. SILLS AND LEDGERS ON CONCRETE SHALL BE PRESSURE TREATED DOUGLAS FIR. SILLS AND LEDGERS SHALL BE FASTENED TO THE CONCRETE WITH A MINIMUM OF TWO FASTENERS PER PIECE AND NO FASTENERS FURTHER THAN 9 INCHES FROM END OF PIECE.
 - C. PLACE JOISTS WITH CROWN UP.
 - D. RE-TIGHTEN ALL BOLTS PRIOR TO CLOSING IN WALLS.
 - E. USE GALVANIZED NAILS, BOLTS, AND HARDWARE WHERE EXPOSED TO WEATHER.
 - F. BLOCK ALL JOISTS AT SUPPORTS PER REQUIREMENTS OF UNIFORM BUILDING CODE.
 - G. ALL TIMBER FASTENERS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE SIMPSON COMPANY'S STANDARD FASTENERS OR APPROVED EQUAL, UPON ENGINEER'S REVIEW.

7. DESIGN CRITERIA

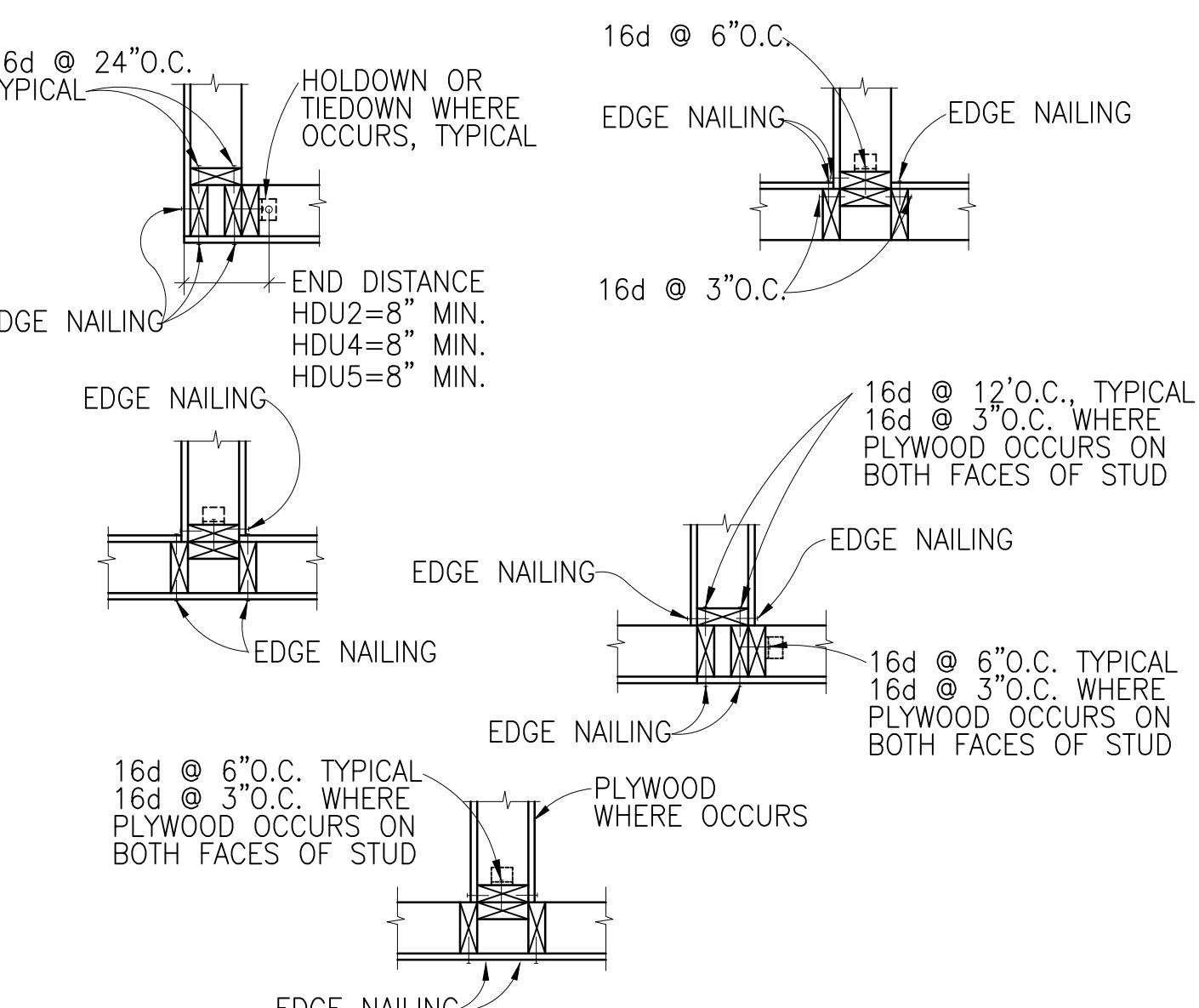
LIVE LOADS
ROOF: 20 PSF
FLOOR: 40 PSF
DECK: 60 PSF

WIND EXPOSURE	B
WIND SPEED	110 MPH
SEISMIC DESIGN CATEGORY	E
SITE CLASS	D
IMPORTANCE FACTOR	1.0
Sds	1.11
Sms	1.66
Ss	1.66
S1	0.76
Sd1	0.76

NAILING SCHEDULE	
CONNECTION	NAILING
JOIST OR RAFTER TO WALL PLATE OR BEAM, TOE NAILS.	3-8d
SOLID BLOCKING: OVER WALLS TO PLATE, TOE NAILS TO JOISTS, TOE NAILS EACH END	3-8d 4-10d
BUILT-UP HEADERS AND BEAMS: FACE NAILS EACH FACE, TOP AND BOTTOM STAGGERED FACE NAILS @ EACH END OF MEMBER	20d @ 32"O.C. 2-20d
MULTIPLE STUDS, FACE NAILS EACH STUD	16d @ 24"O.C.
BUILT-UP POSTS EACH STUD	16d @ 12"O.C.
STUDS @ WALL CORNERS AND INTERSECTIONS, FACE NAILS	16d @ 24"O.C.
STRIPPING ON JOISTS	10d @ 12"O.C. TOE NAILS, EACH FACE STAGGERED

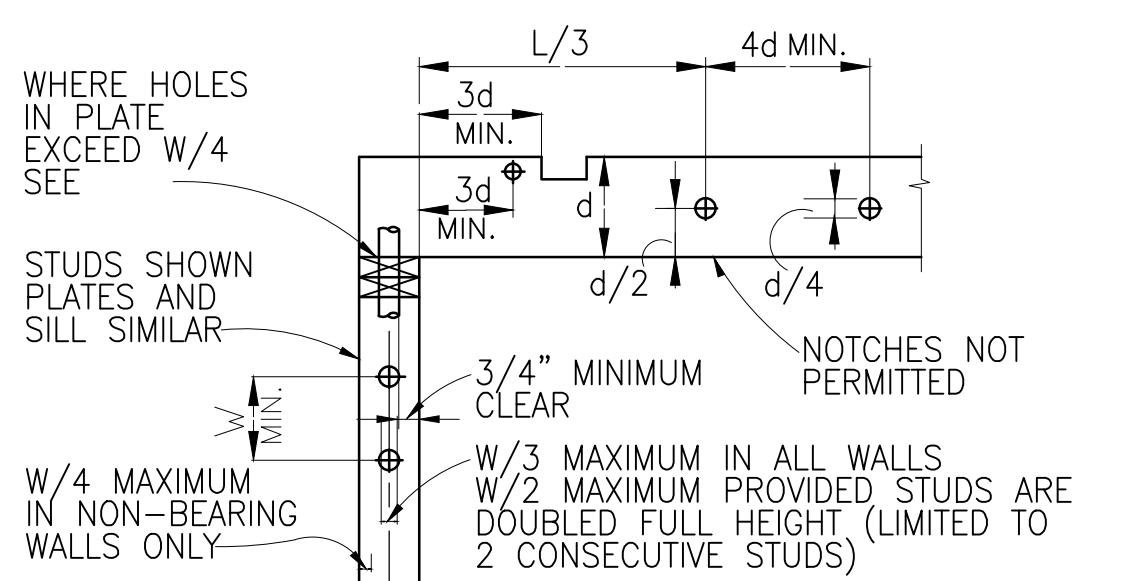
FOR OTHER NAILING NOT SHOWN SEE CBC TABLE 2304.9.1

1 TYPICAL WOOD NAILING SCHEDULE U.O.N



② TYPICAL PLYWOOD SHEATHED STUD WALL DETAILS

d=DEPTH OF JOIST
L=CLEAR SPAN
W=WIDTH OF STUD OR PLATE
NO HOLES OR NOTCHES PERMITTED
WHERE d IS 5 1/2" OR LESS.
NOTCHES IN STUD BEARING
WALLS NOT PERMITTED



3 HOLES AND NOTCHES IN SAWN LUMBER JOISTS AND STUDS

TIMBER CONNECTORS AND CONNECTIONS

1. NAILS: ALL NAILS SHALL BE COMMON WIRE NAILS UNLESS SHOWN OTHERWISE ON THE DRAWINGS. NAILS SHALL NOT BE DRIVEN CLOSER TOGETHER THAN 1/2 OF THEIR LENGTH NOR CLOSER TO THE EDGE OF THE MEMBER THAN 1/4 OF THEIR LENGTH. PRE-DRILL HOLES WHERE WOOD TENDS TO SPLIT. THE PENETRATION OF THE NAIL INTO THE PIECE RECEIVING THE POINT SHALL NOT BE LESS THAN 1/2 THE NAIL LENGTH. REFER TO DETAIL  .
 2. BOLTS: ALL BOLTS IN TIMBER CONNECTORS SHALL BE MACHINE BOLTS WITH STANDARD PLATE WASHERS UNDER HEADS AND NUTS, BEARING ON WOOD UNLESS NOTED OTHERWISE ON THE DRAWINGS. ALL WASHERS EXPOSED TO VIEW SHALL BE MALLEABLE IRON WASHERS UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION FOR MINIMUM SIZES OR PLATE WASHERS.
 3. HOLES: FOR BOLTED CONNECTIONS: HOLES IN TIMBER SHALL BE DRILLED WITH A BIT 1/32" LARGER THAN THE NOMINAL DIAMETER OF THE BOLT. HOLES IN METAL PLATES AND PLATE WASHERS MAY BE PUNCHED WITH A DIAMETER 1/16" LARGER THAN THE NOMINAL DIAMETER OF THE BOLT.
 4. JOIST HANGERS AND FRAMING HARDWARE: FOR JOIST HANGER DESIGNATION, REFER TO PRODUCT MANUFACTURED BY THE SIMPSON CO. APPROVED ALTERNATES OF EQUAL QUALITY AND STRENGTH CAN BE USED.

4 TYPICAL JOIST HANGERS, NAILS, BOLTS AND WASHERS

REMODELING AND ADDITION TO:
MR. TAGHIBAKHSH RESIDENCE
2483 MOUNT. PLEASANT RD.
SAN JOSE CA

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NO. REVISIONS: DATE:

ISSUE DATE: 7/30/2020

DRAWING TITLE:
**GENERAL NOTES
AND DETAILS**

DRAWING NUMBER:

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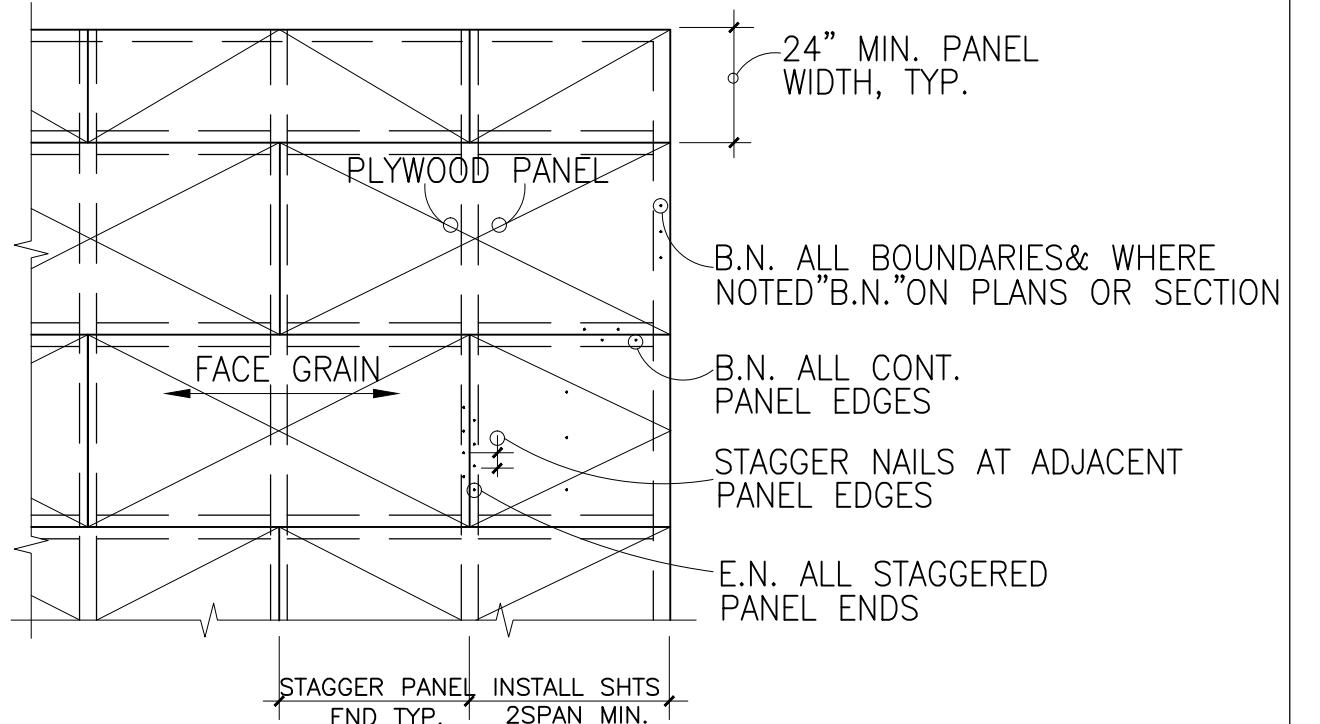
PLYWOOD HORZ. DIAPHRAGM SCHEDULE	
TYPE	ROOF
PLYWOOD	5/8" C-C EXTERIOR
BOUNDARY NAILING (B.N.) (U.O.N. ON PLAN)	8d@6" O.C.
EDGE NAILING (E.N.)	8d@6" O.C.
FIELD NAILING	8d@12" O.C.

NOTES:

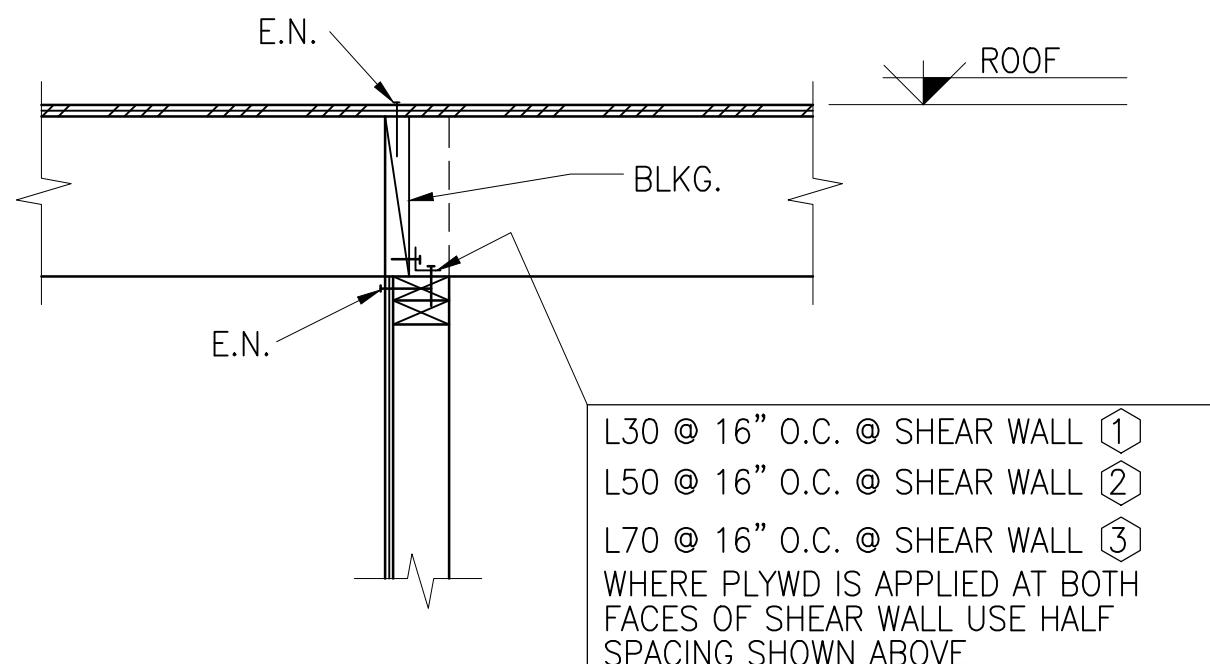
1. MINIMUM NAIL LENGTH SHALL BE 2 INCHES.
2. APPLY CONTINUOUS LINE OF GLUE CONFORMING TO SPECIFICATIONS TO JOISTS AND BLOCKING PRIOR TO LAYING FLOOR PLYWOOD PANELS.
3. .131 P-NAILS MAY BE USED AT CONTRACTOR OPTION WHERE NAILS ARE PNEUMATICALLY DRIVEN. NAIL HEADS SHALL NOT BE DRIVEN INTO OR THROUGH FACE VENEER OF PLYWOOD SHEATHING.

NOTES:

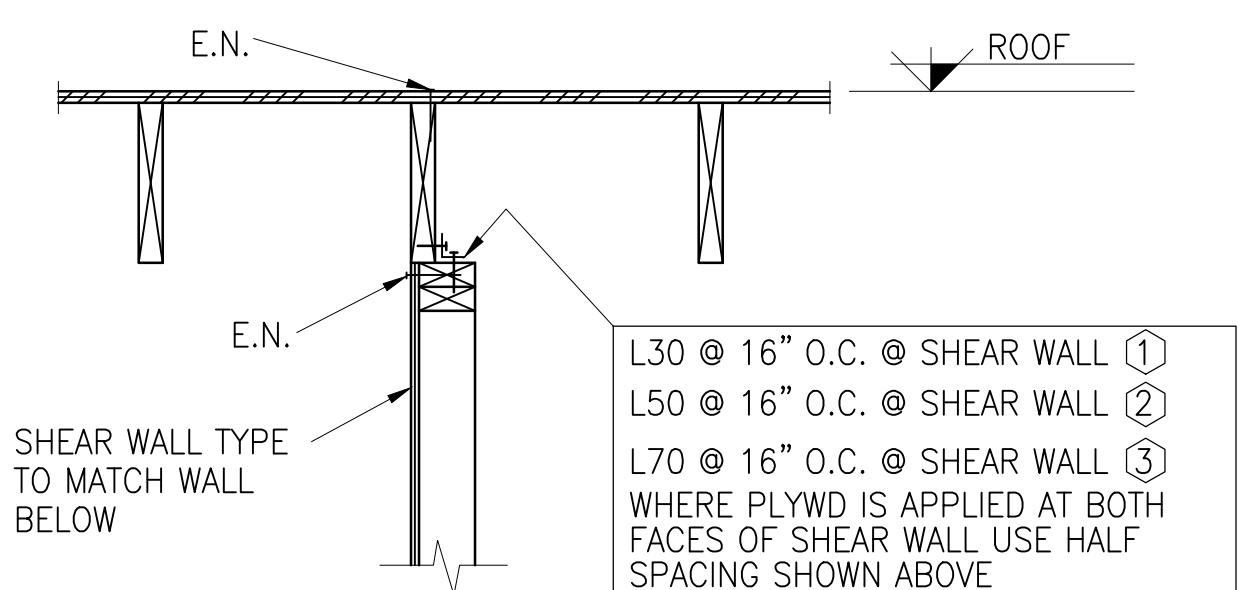
1. MINIMUM NAIL LENGTH SHALL BE 2 INCHES.
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3. .131 P-NAILS MAY BE USED AT CONTRACTOR OPTION WHERE NAILS ARE PNEUMATICALLY DRIVEN. NAIL HEADS SHALL NOT BE DRIVEN INTO OR THROUGH FACE VENEER OF PLYWOOD SHEATHING.



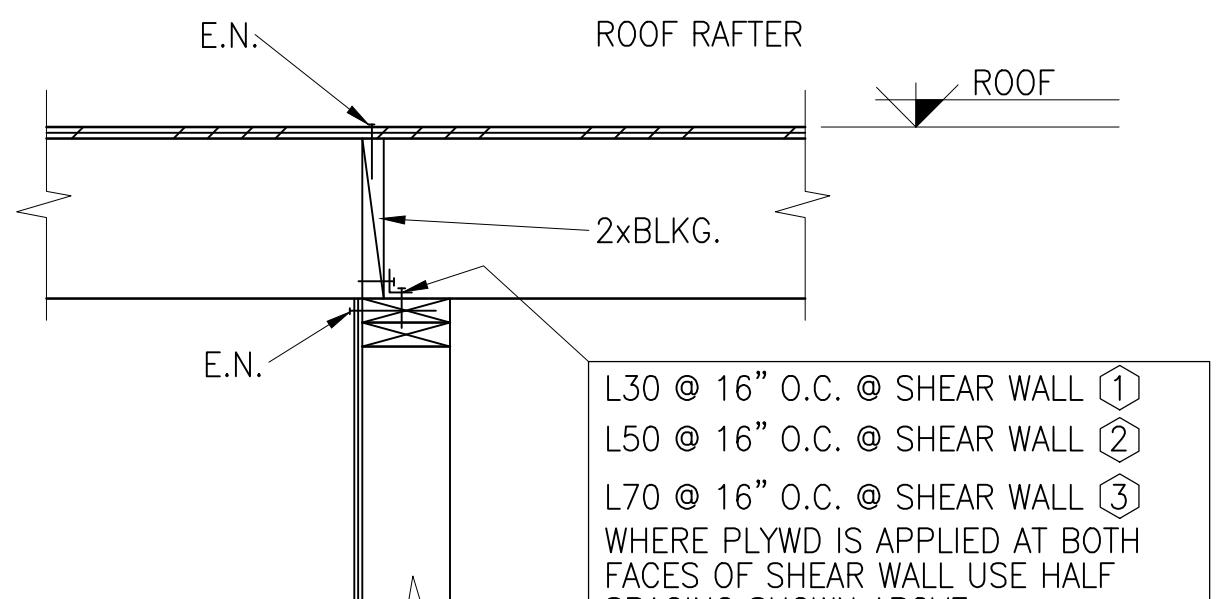
1 TYPICAL PLYWOOD SHEATHED DIAPHRAGM



SHEAR WALL PARALLEL TO ROOF JOIST



SHEAR WALL PARALLEL TO ROOF JOIST



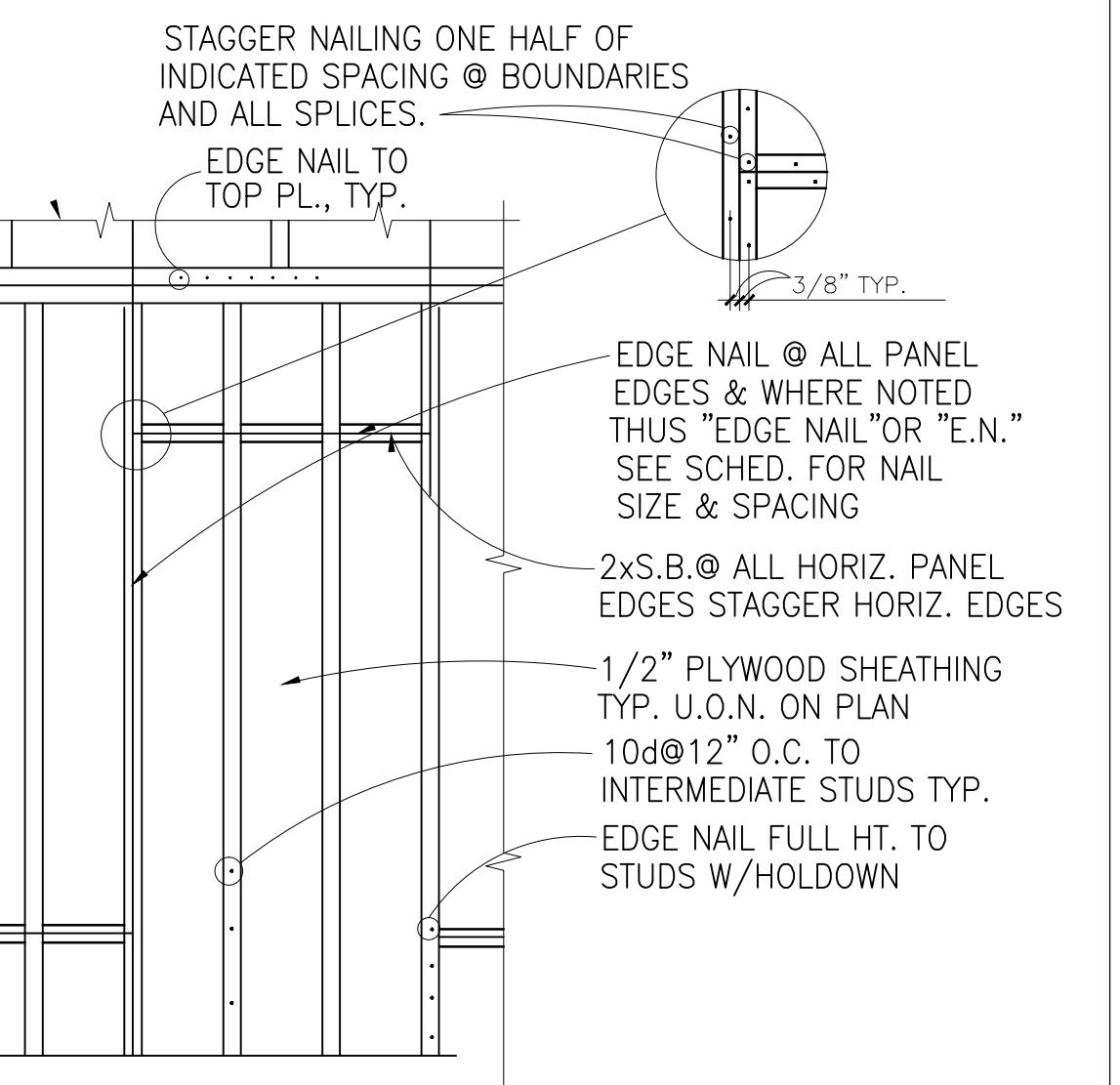
SHEAR WALL PERPENDICULAR TO ROOF JOIST

2 SHEAR TRANSFER AT INTERIOR SHEAR WALLS

PLYWOOD WALL SCHEDULE						
MARK	# OF SIDES	EDGE NAILING	ANCHOR BOLTS	EMBEDMENT		CAPACITY
					EPOXY	(PLF)
1	1	10d @ 6" O.C.	5/8"Ø @ 30" O.C.	9"	5"	310
2	1	10d @ 4" O.C.	5/8"Ø @ 24" O.C.	9"	5"	460
3	1	10d @ 3" O.C.	5/8"Ø @ 16" O.C.	9"	5"	600

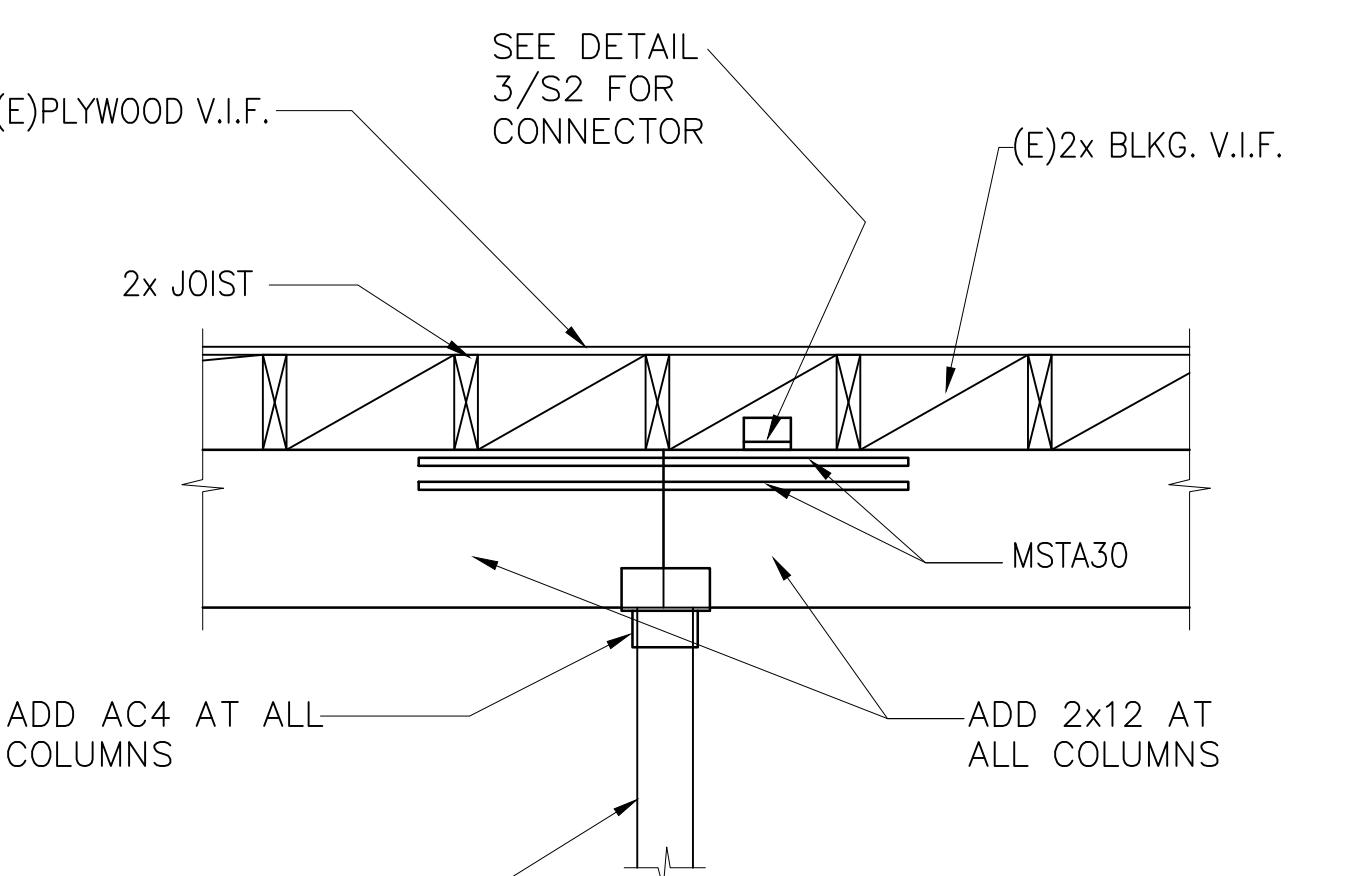
NOTES:

1. MINIMUM NAIL LENGTH SHALL BE 2 INCHES.
2. USE COMMON RING SHANK OR SCREW SHANK NAILS.
3. .131 P-NAILS MAY BE USED AT CONTRACTOR OPTION WHERE NAILS ARE PNEUMATICALLY DRIVEN. NAIL HEADS SHALL NOT BE DRIVEN INTO OR THROUGH FACE VENEER OF PLYWOOD SHEATHING.
4. WHERE PLYWOOD IS SHOWN ON BOTH SIDES OF A WALL SPACING OF THE ANCHOR BOLTS SHOULD BE HALF THE DISTANCE SHOWN ABOVE.
5. ALL NEW ANCHOR BOLTS AT EXISTING FOUNDATIONS SHOULD BE SET WITH SET-X EPOXY WITH THE EMBEDMENTS SHOWN. ANCHOR BOLTS SHALL BE SIMPSON RFB BOLTS W/ SIMPSON SET-X EPOXY.
6. PROVIDE 3x STUDS AT SILL PLATES & PANEL JOINT FRAMINGS FOR SHEAR WALL TYPES 2 & 3 OR IF PLYWOOD IS USED AT BOTH SIDES OF A SHEAR WALL.
7. PROVIDE 3"x3"x0.229" PLATE WASHER FOR ALL ANCHOR BOLTS PER CALIFORNIA RESIDENTIAL CODE, 2010 EDITION.



S:
LL INTERIOR PLYWOOD SHEAR WALLS, USE 4'x10' SHEETS PLACED FULL HEIGHT
TICALLY ELIMINATING ALL HORIZONTAL PANELS EDGE JOINTS WHERE APPLICABLE
ME ALL PLYWOOD SHEATHED WALLS SAME AS BEARING WALLS, EXCEPT
SHOWN, SEE ELEVATION.
DOUBLE SHEATHED WALLS, BOTH VERTICAL AND HORIZONTAL INTERIOR
TS ON OPPOSITE SIDES OF WALL SHALL BE STAGGERED

3 TYPICAL PLYWOOD SHEATED WALLS



4 TYPICAL OPENING REINF. AROUND OPENINGS IN-LINE WITH SHEAR WALLS

MASOUD SALAMAT S.E.

Consulting Engineers

P.O. Box 3632
Walnut Creek, CA 94598
Tel. 650.759.5509

REMODELING AND ADDITION TO:
MR. TAGHIBAKHSH RESIDENCE
2483 MOUNT. PLEASANT RD.
SAN JOSE, CA

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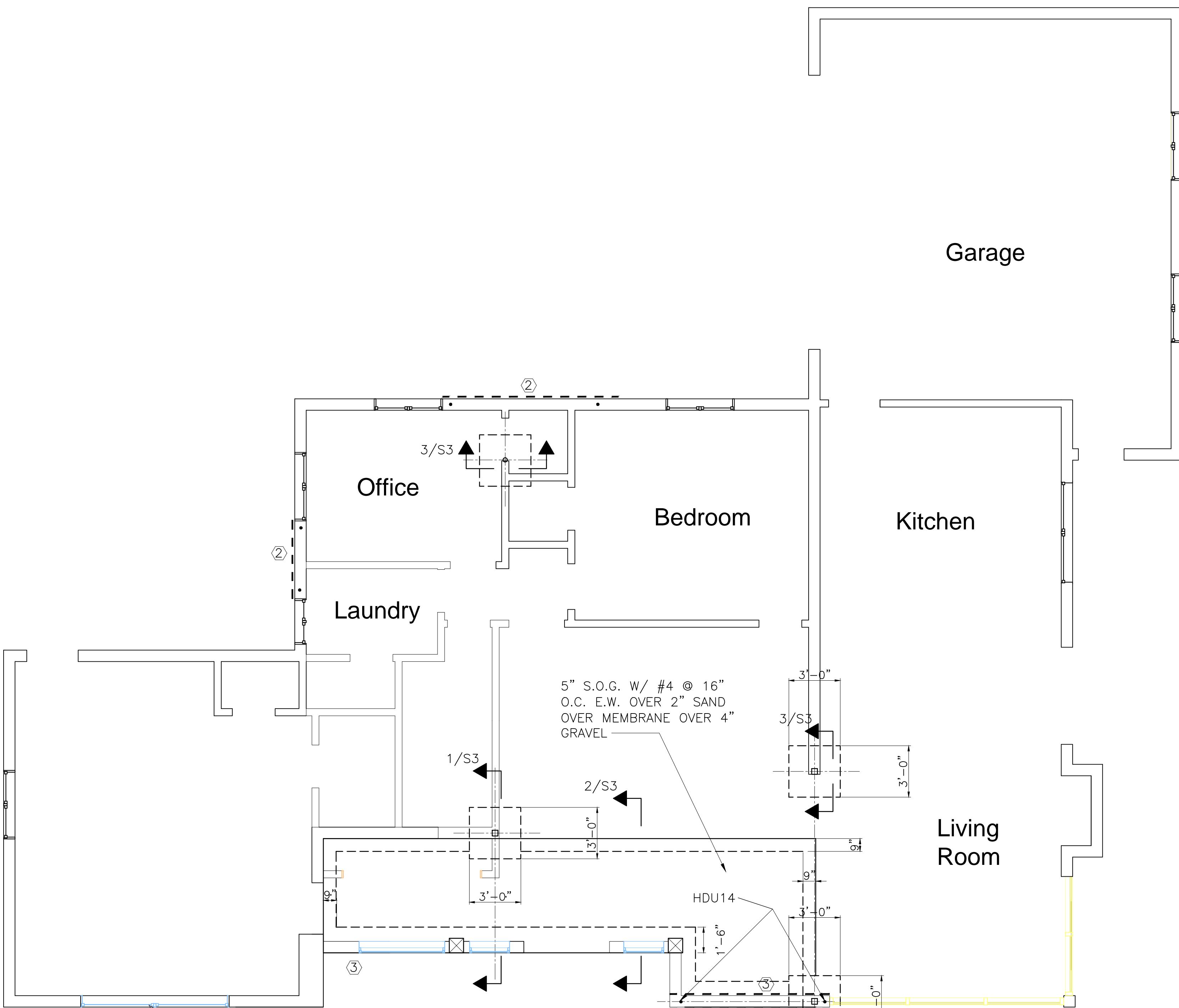
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**GENERAL NOTES
AND DETAILS**

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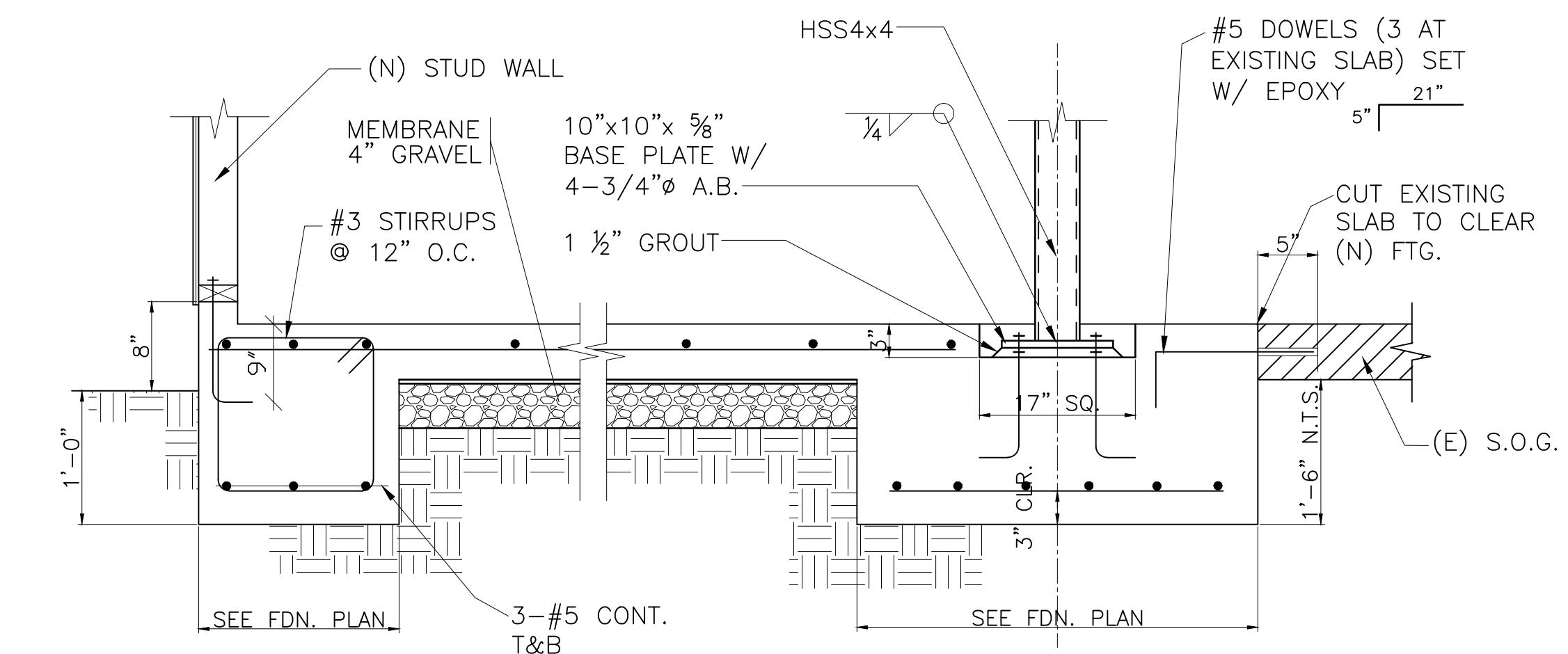
S2

**REMODELING AND ADDITION TO:
MR. TAGHIBAKHSH RESIDENCE
2483 MOUNT. PLEASANT RD.
SAN JOSE, CA**



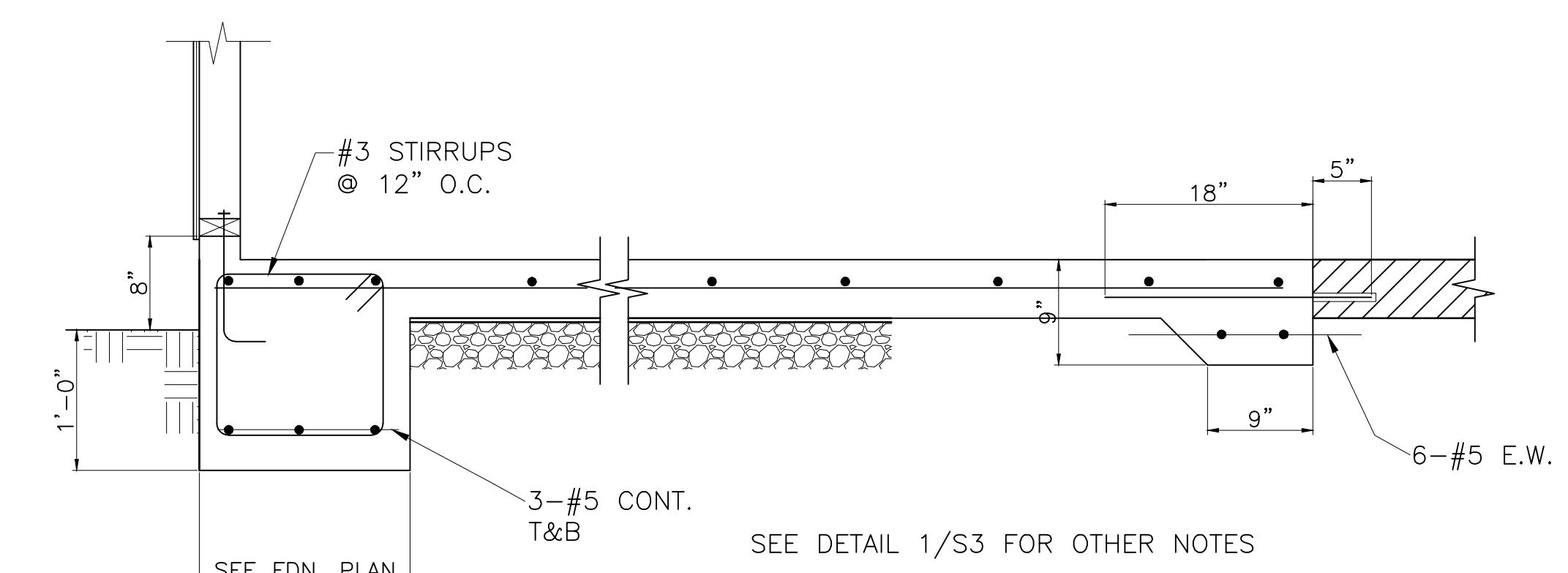
1ST FLOOR / FOUNDATION PLAN

$\frac{1}{4}$ " = 1'-0"



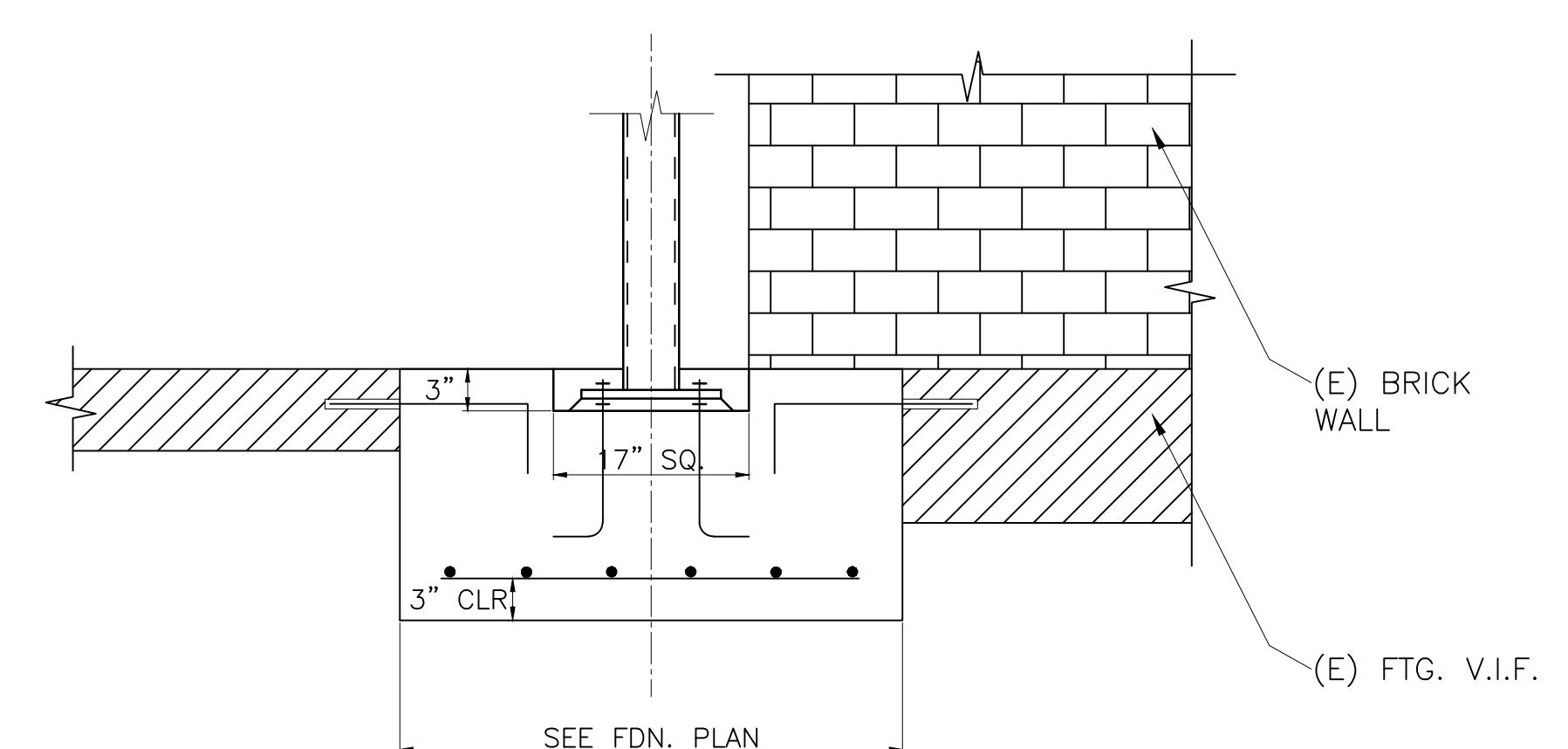
SECTION 1

1" = 1'-0"



SECTION 2

1" = 1'-0"



SECTION 3

1" = 1'-0"

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MASoud SALAMAT S.E.
Consulting Engineers

P.O. Box 3632
Walnut Creek, CA 94598
Tel. 650.759.5509

**REMODELING AND ADDITION TO:
MR. TAGHIBAKHSH RESIDENCE
2483 MOUNT. PLEASANT RD.
SAN JOSE, CA**

NOTICE:
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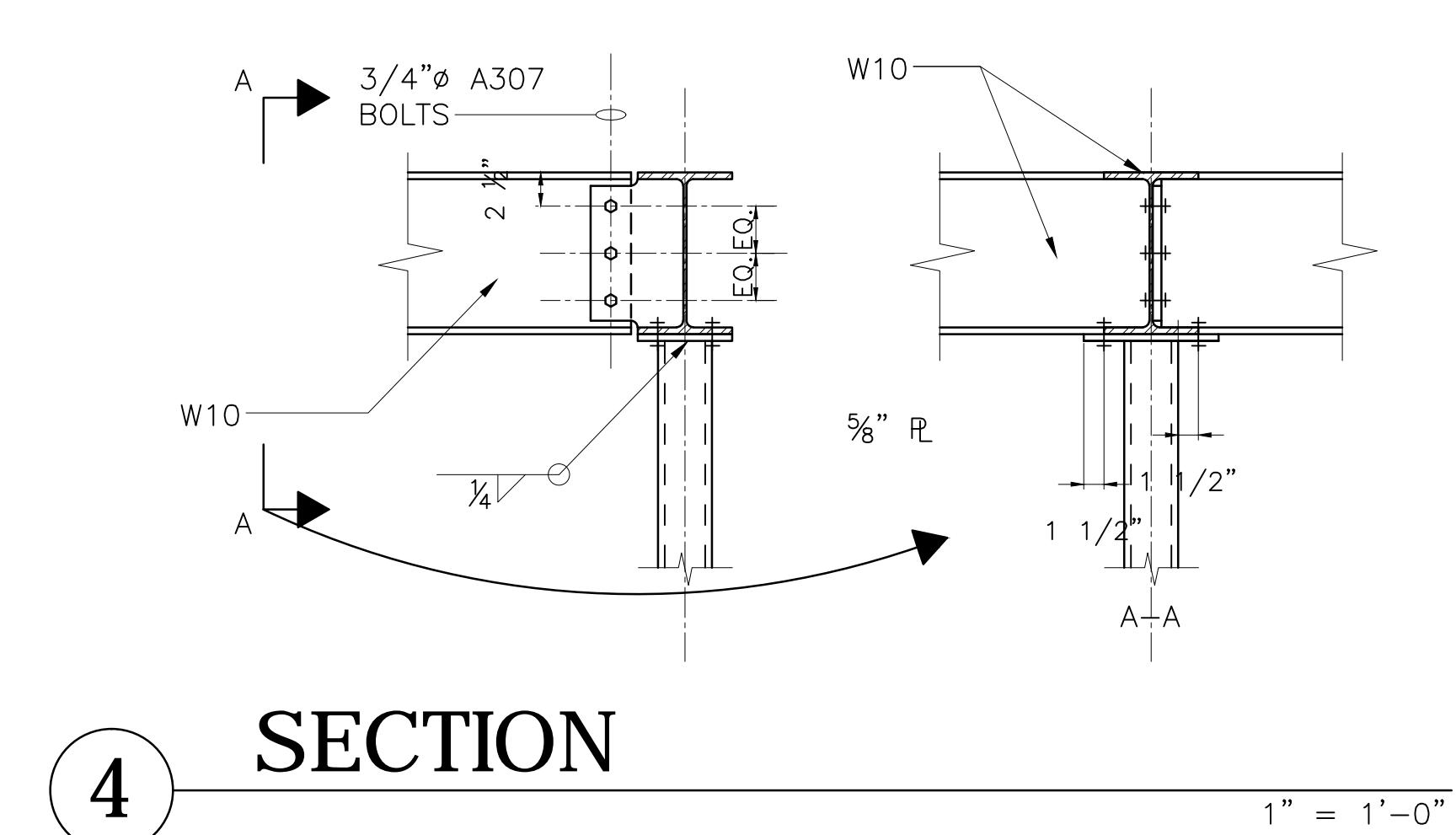
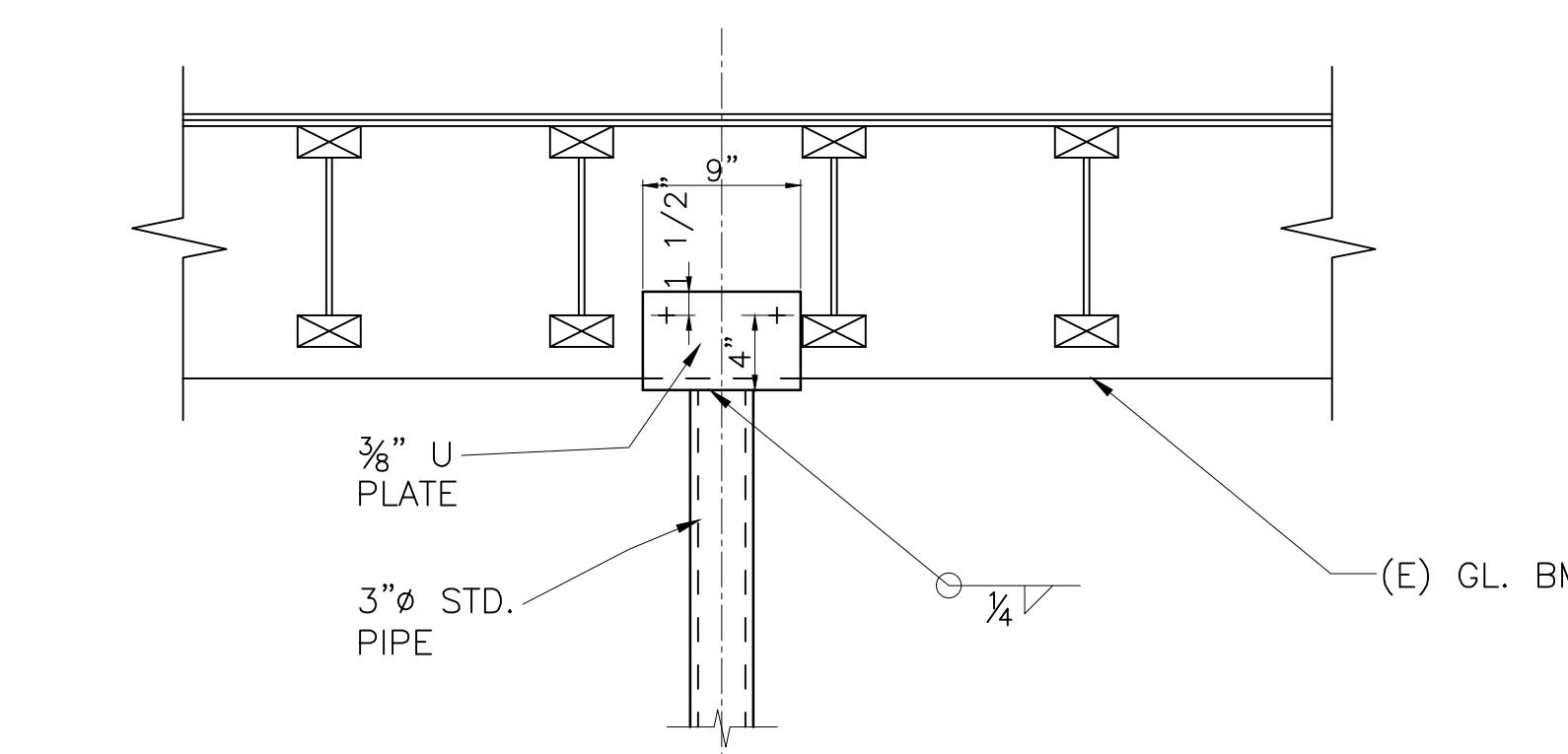
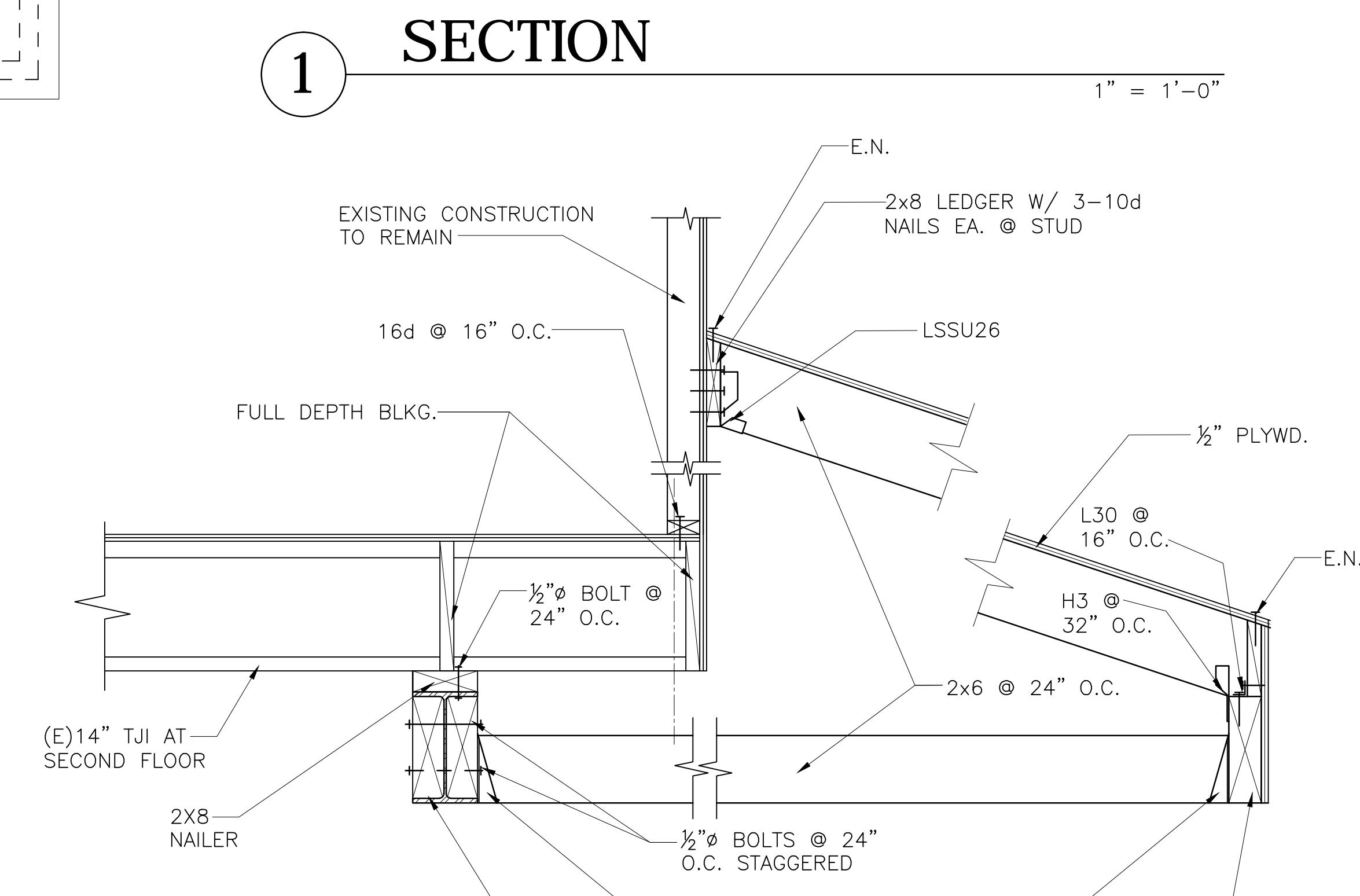
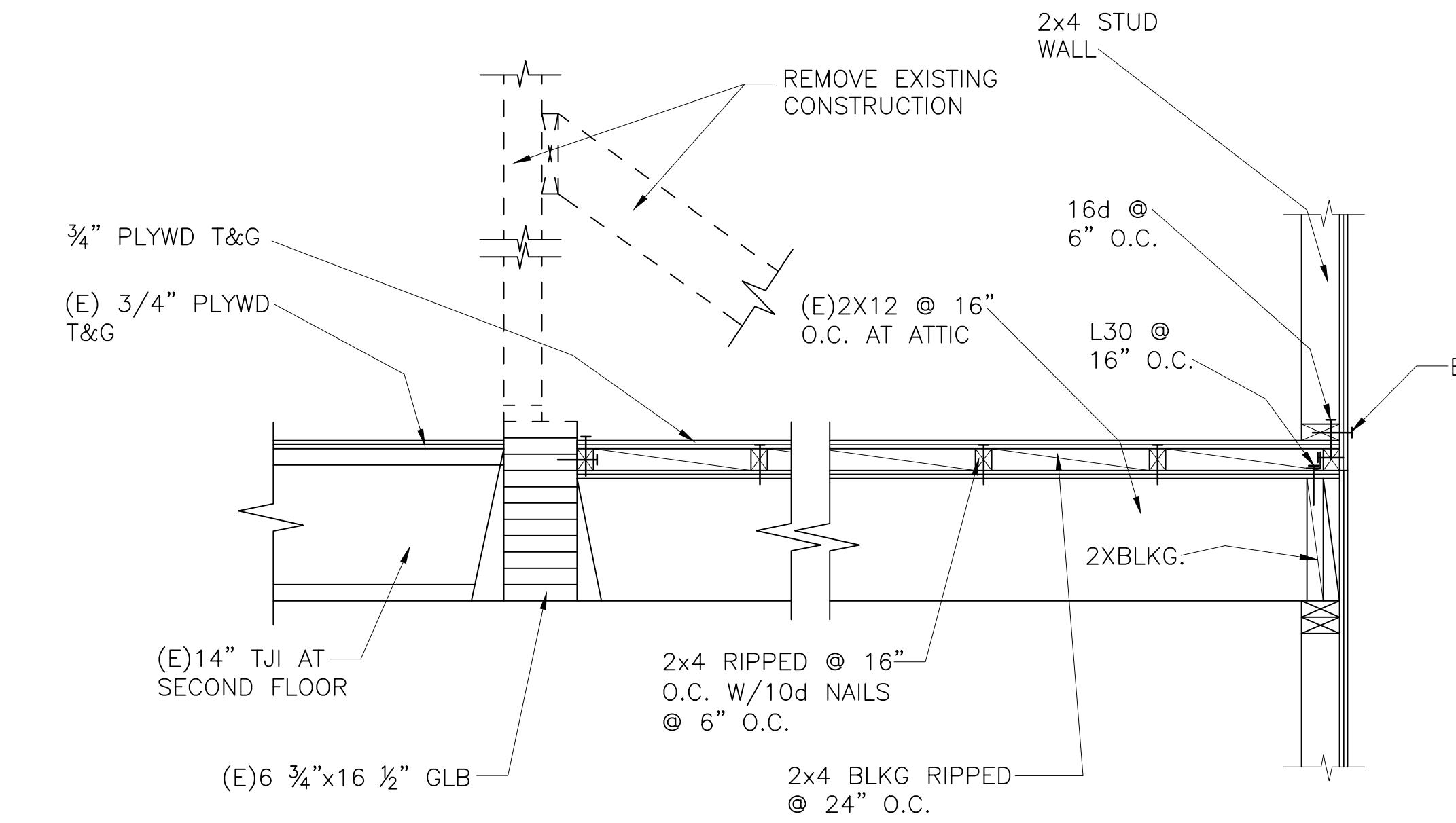
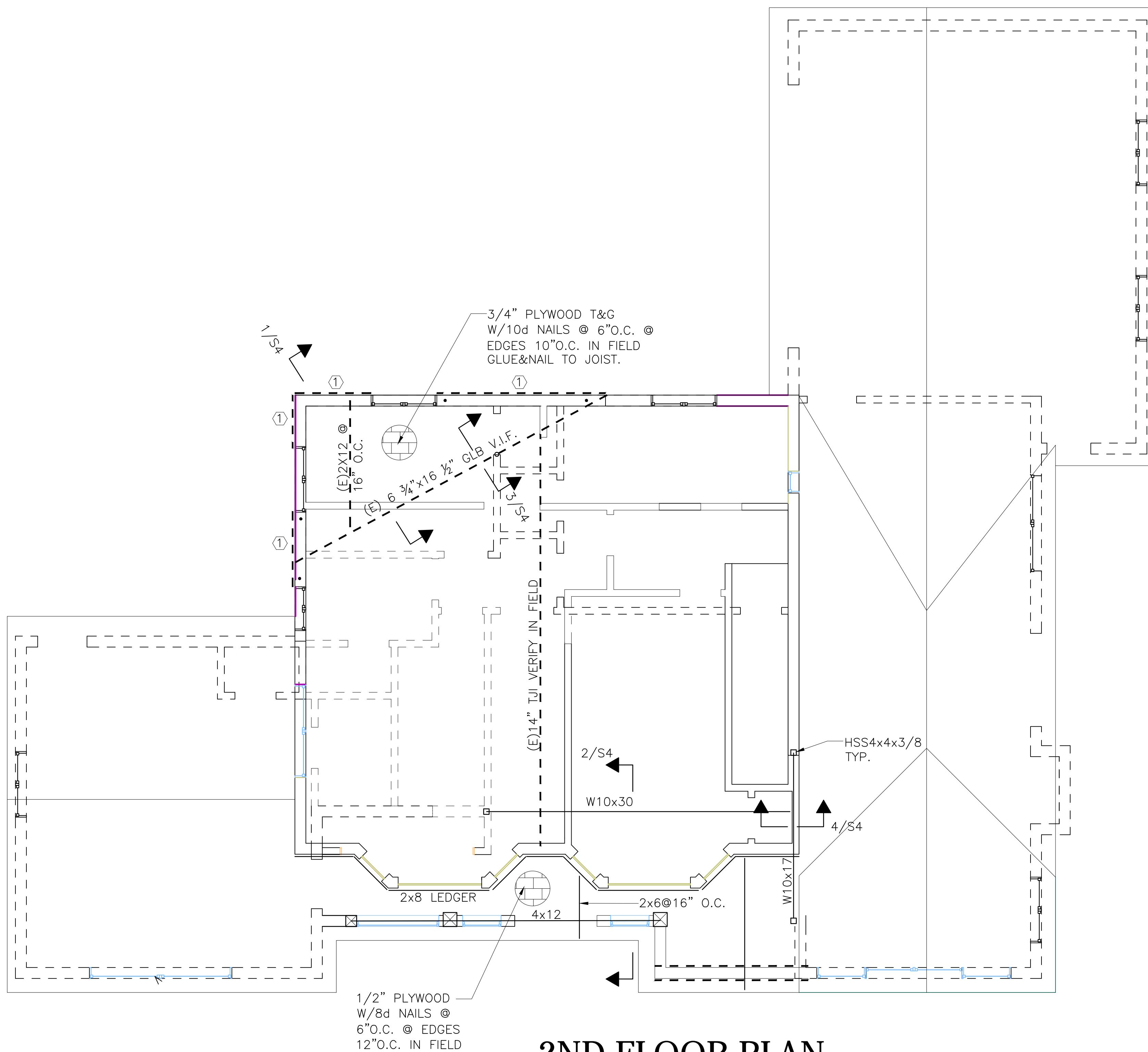
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ISSUE DATE: 7-30-2020
SPACE PLAN DATE:

DRAWING TITLE:

DRAWING NUMBER:

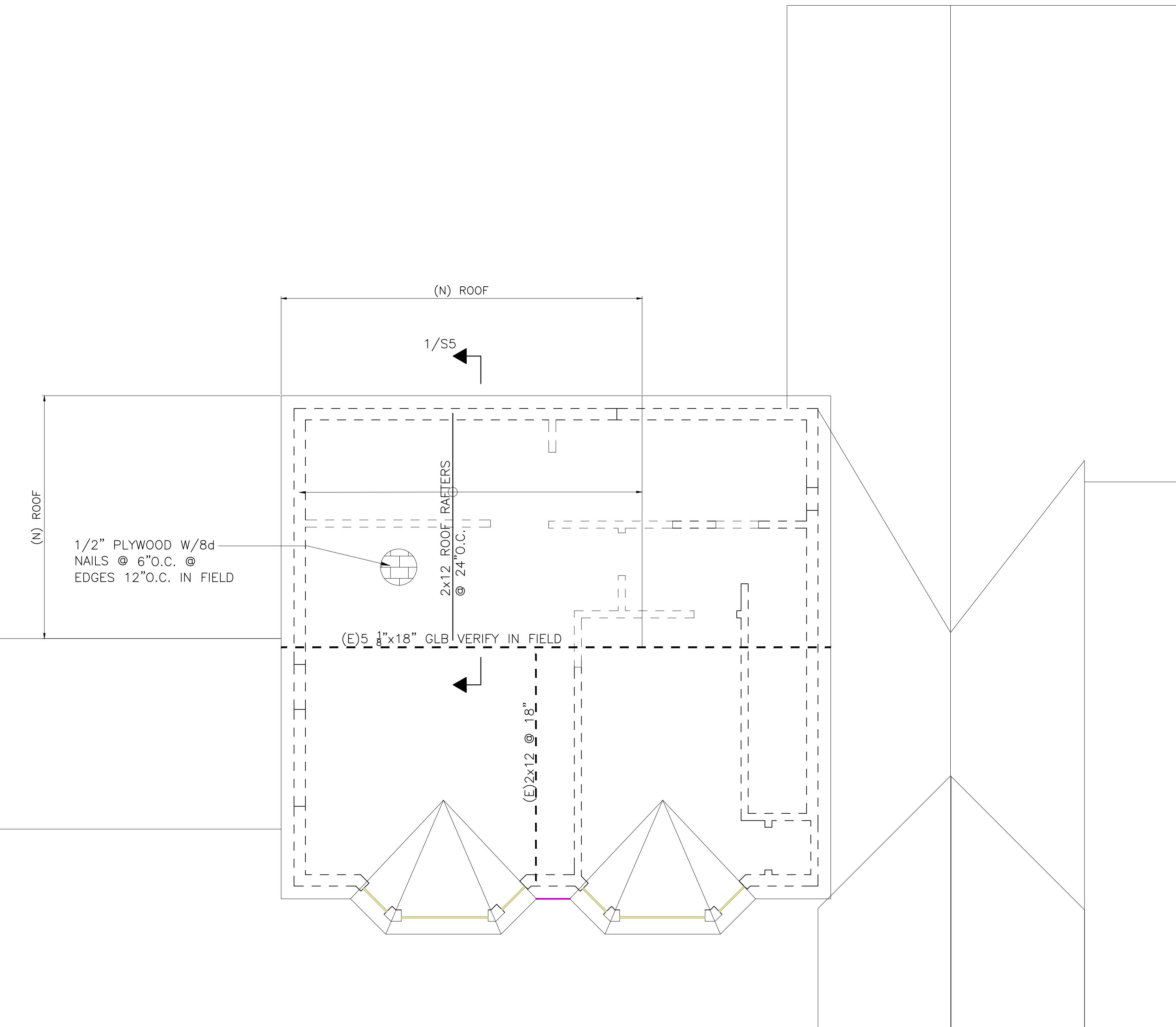
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MASoud SALAMAT S.E.
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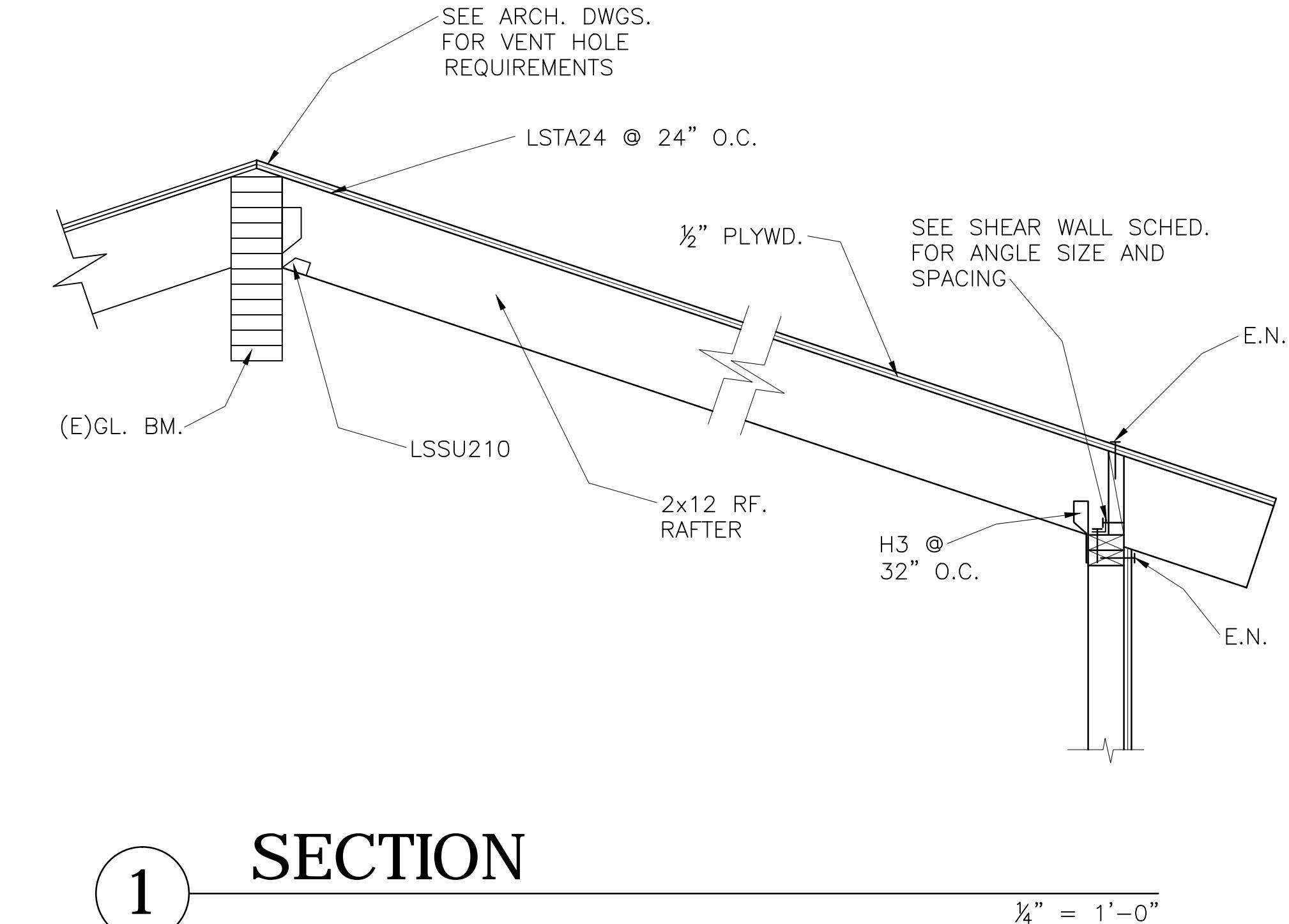
P.O. Box 3632
Walnut Creek, CA 94598
Tel. 650.759.5509

REMODELING AND ADDITION TO:
MR. TAGHIBAKHSH RESIDENCE
2483 MOUNT. PLEASANT RD.
SAN JOSE, CA



ROOF PLAN

1/4" = 1'-0"



1 SECTION

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ISSUE DATE: 7-30-2020
SPACE PLAN DATE:

DRAWING TITLE:

DRAWING NUMBER:

CERTIFICATE OF COMPLIANCE

Project Name: Residential Addition Remodel

Calculation Description: Title 24 Analysis

CF1R-PRF-01E

Calculation Date/Time: 2020-07-27T17:05:37-07:00

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GENERAL INFORMATION

01	Project Name	Residential Addition Remodel								
02	Run Title	Title 24 Analysis								
03	Project Location	2483 Mount Pleasant Road								
04	City	San Jose	05	Standards Version	2019					
06	Zip code		07	Software Version	EnergyPro 8.1					
08	Climate Zone	4	09	Front Orientation (deg/ Cardinal)	250					
10	Building Type	Single family	11	Number of Dwelling Units	1					
12	Project Scope	Addition/Alteration	13	Number of Bedrooms	5					
14	Addition Cond. Floor Area (ft²)	352	15	Number of Stories	2					
16	Existing Cond. Floor Area (ft²)	2332	17	Fenestration Average U-factor	0.4					
18	Total Cond. Floor Area (ft²)	2684	19	Glazing Percentage (%)	16.43%					
20	ADU Bedroom Count	0	21	ADU Conditioned Floor Area	0					
22	Is Natural Gas Available?	Yes								

COMPLIANCE RESULTS

01	Building Complies with Computer Performance								
02	Building does not require field testing or HERS verification								
03	This building incorporates one or more Special Features shown below								

ENERGY USE SUMMARY

Energy Use (kTDV/ft²-yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	70.85	71	-0.15	-0.2
Space Cooling	51.11	47.79	3.32	6.5
IAQ Ventilation	0	0	0	0
Water Heating	16.73	16.73	0	0
Self Utilization Credit	n/a	0	0	n/a
Compliance Energy Total	138.69	135.52	3.17	2.3

Registration Number:

CA Building Energy Efficiency Standards - 2019 Residential Compliance

Registration Date/Time:

Report Version: 2019.1.108

Schema Version: rev 20200101

HERS Provider:

Report Generated: 2020-07-27 17:05:57

CERTIFICATE OF COMPLIANCE

Project Name: Residential Addition Remodel

Calculation Description: Title 24 Analysis

CF1R-PRF-01E

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OPAQUE SURFACES										
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft²)	Window and Door Area (ft²)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
Front-45	Existing	R-0 Wall	205	n/a	60	32	90	none	Existing	No
Front	Existing	R-0 Wall	250	Front	819	148	90	none	Existing	No
Front+45	Existing	R-0 Wall	295	n/a	60	30	90	none	Existing	No
Left	Existing	R-0 Wall	340	Left	531	35	90	none	Existing	No
Rear	Existing	R-0 Wall	70	Back	819	70	90	none	Existing	No
Right	Existing	R-0 Wall	160	Right	531	66	90	none	Existing	No
New Front	Addition	R-15 Wall	250	Front	270	76	90	none	New	n/a
New Left	Addition	R-15 Wall	340	Left	165	24	90	none	New	n/a
New Rear	Addition	R-15 Wall	70	Back	198	0	90	none	New	n/a
Roof	Existing	R-19 Roof Attic	n/a	n/a	1910	n/a	n/a		Existing	No
Roof 2	Addition	R-30 Roof Attic	n/a	n/a	177	n/a	n/a		New	n/a
Raised Floor	Existing	R-0 Floor Crawlspace	n/a	n/a	1910	n/a	n/a		Existing	No
Raised Floor 2	Addition	R-19 Floor Crawlspace	n/a	n/a	177	n/a	n/a		New	n/a

ATTIC										
01	02	03	04	05	06	07	08	09	10	11
Name	Construction	Type	Roof Rise (in 12)	Roof Reflectance	Roof Emissittance	Radiant Barrier	Cool Roof	Status	Verified Existing Condition	
Attic Existing	Attic Roof	Existing	Ventilated	4	0.1	0.85	No	No	Existing	No
Attic Addition	Attic Roof	Addition	Ventilated	4	0.1	0.85	No	No	New	n/a

Registration Number:

CA Building Energy Efficiency Standards - 2019 Residential Compliance

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CERTIFICATE OF COMPLIANCE

Project Name: Residential Addition Remodel

Calculation Description: Title 24 Analysis

CF1R-PRF-01E

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Input File Name: yazd 2483 mount pleasant.ribd19x

REQUIRED SPECIAL FEATURES

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- New ductwork added is less than 40 ft. in length

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry.

Building-level Verifications:

- -- None --

Cooling System Verifications:

- -- None --

Heating System Verifications:

- -- None --

HVAC Distribution System Verifications:

- -- None --

Domestic Hot Water System Verifications:

- -- None --

Building - FEATURES INFORMATION

01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Residential Addition Remodel	2684	1	5	2	0	1

ZONE INFORMATION

01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg.		

CERTIFICATE OF COMPLIANCE

Project Name: Residential Addition Remodel

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Calculation Date/Time: 2020-07-27T17:05:37-07:00

Input File Name: yazd 2483 mount pleasant.rbd19x

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OPAQUE SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-0 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.361	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Exterior Finish: 3 Coat Stucco
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.095	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: 3 Coat Stucco
R-0 Wall1	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.277	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Other Side Finish: Gypsum Board
Attic RoofExisting	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
Attic RoofAddition	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
R-0 Floor Crawlspace	Floors Over Crawlspace	Wood Framed Floor	2x12 @ 16 in. O. C.	R-0	None / None	0.216	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x12
R-19 Floor Crawlspace	Floors Over Crawlspace	Wood Framed Floor	2x10 @ 16 in. O. C.	R-19	None / None	0.046	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-19 / 2x10
R-19 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-19	None / None	0.049	Over Ceiling Joists: R-9.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board

Registration Number:

Registration Date/Time:

HERS Provider:

CA Building Energy Efficiency Standards - 2019 Residential Compliance

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Input File Name: yazd 2483 mount pleasant.rbd19x

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WATER HEATING - HER'S VERIFICATION

01	02	03	04	05	06	07	08
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Central DHW Distribution	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required

SPACE CONDITIONING SYSTEMS

01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Heating Equipment Count	Cooling Equipment Count
Existing FAU1	Heating and cooling system other	Heating Component 1	Cooling Component 1	HVAC Fan 1	Air Distribution System 1	n/a	Existing	No	1	1

HVAC - HEATING UNIT TYPES

01	02	03	04
Name	System Type	Number of Units	Heating Efficiency
Heating Component 1	Central gas furnace	1	AFUE-80

HVAC - COOLING UNIT TYPES

01	02	03	04	05	06	07	08
Name	System Type	Number of Units	Efficiency EER	Efficiency SEER	Zonally Controlled	Multispeed Compressor	HERS Verification
Cooling Component 1	No Cooling	1			Not Zonal	Single Speed	n/a

Registration Number:

Registration Date/Time:

HERS Provider:

CA Building Energy Efficiency Standards - 2019 Residential Compliance

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Calculation Date/Time: 2020-07-27T17:05:37-07:00

Input File Name: yazd 2483 mount pleasant.rbd19x

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OPAQUE SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-30 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-30	None / None	0.032	Over Ceiling Joists: R-20.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board

BUILDING ENVELOPE - HER'S VERIFICATION

01	02	03	04
Quality Insulation Installation (QII)	Quality Installation of Spray Foam Insulation	Building Envelope Air Leakage	CFM50
Not Required	Not Required	Not Required	n/a

WATER HEATING SYSTEMS

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	System Type	Distribution Type	Water Heater Name (#)	Solar Heating System	Compact Distribution	HERS Verification	Status	Verified Existing Condition	Existing Water Heating System				
DHW Sys 1	Domestic Hot Water (DHW)	Standard Distribution System	DHW Heater 1 (1)	n/a	None	n/a	Existing	No					

WATER HEATERS

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Heating Element Type	Tank Type	# Units	Tank Vol. (gal)	Energy Factor or Efficiency	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff.	1st Hr. Rating or Flow Rate	NEEA Heat Pump Brand or Model	Tank Location or Ambient Condition	Status	Verified Existing Condition
DHW Heater 1	Gas	Small Storage	1	50	0.53-EF	<= 75 kBtu/hr	0	80	n/a	n/a	Existing	No	No

Registration Number:

Registration Date/Time:

HERS Provider:

CA Building Energy Efficiency Standards - 2019 Residential Compliance

Report Version: 2019.1.108
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CERTIFICATE OF COMPLIANCE

Project Name: Residential Addition Remodel

Calculation Description: Title 24 Analysis

CF1R-PRF-01E

Calculation Date/Time: 2020-07-27T17:05:37-07:00

Input File Name: yazd 2483 mount pleasant.rbd19x

RESIDENTIAL MEASURES SUMMARY						RMS-1
Project Name Residential Addition Remodel		Building Type <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Addition Alone <input type="checkbox"/> Multi Family <input checked="" type="checkbox"/> Existing+ Addition/Alteration		Date 7/27/2020		
Project Address 2483 Mount Pleasant Road San Jose		California Energy Climate Zone Total Cond. Floor Area CA Climate Zone 04 2,684		Addition 352	# of Units 1	
INSULATION						
Construction Type	Area Cavity (ft ²)	Special Features	Status			
Wall Wood Framed	- no insulation 28		Existing			
Wall Wood Framed	- no insulation 671		Existing			
Wall Wood Framed	- no insulation 30		Existing			
Wall Wood Framed	- no insulation 496		Existing			
Wall Wood Framed	- no insulation 749		Existing			
Door Opaque Door	- no insulation 40		Existing			
Wall Wood Framed	- no insulation 465		Existing			
Roof Wood Framed Attic	R 19 1,910		Existing			
FENESTRATION	Total Area: 441	Glazing Percentage: 16.4%	New/Altered Average U-Factor: 0.40			
Orientation Area(ft ²)	U-Fac	SHGC	Overhang	Sidefins	Exterior Shades	Status
Right (SW)	32.0	1.280	0.80	none	none	N/A
Front (W)	108.0	0.400	0.25	none	none	N/A
Front (W)	40.0	1.280	0.80	none	none	N/A
Front (NW)	30.0	1.280	0.80	none	none	N/A
Left (N)	35.0	1.280	0.80	none	none	N/A
Rear (E)	30.0	1.280	0.80	none	none	N/A
Right (S)	42.0	0.400	0.25	none	none	N/A
Right (S)	24.0	1.280	0.80	none	none	N/A
Front (W)	76.0	0.400	0.25	none	none	N/A
Left (N)	24.0	0.400	0.25	none	none	N/A
HVAC SYSTEMS						
Qty. Heating	Min. Eff	Cooling	Min. Eff	Thermostat	Status	
1 Central Furnace	80% AFUE	No Cooling	14.0 SEER	Setback	Existing	
HVAC DISTRIBUTION						
Location	Heating	Cooling	Duct Location	Duct R-Value	Status	
Existing FAU	Ducted	Ducted	Attic	6.0	Altered	
WATER HEATING						
Qty. Type	Gallons	Min. Eff	Distribution	Status		
EnergyPro 8.1 by EnergySoft User Number: 3385	ID: 200727	Page 12 of 19				

RESIDENTIAL MEASURES SUMMARY						RMS-1
Project Name Residential Addition Remodel		Building Type <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Addition Alone <input type="checkbox"/> Multi Family <input checked="" type="checkbox"/> Existing+ Addition/Alteration		Date 7/27/2020		
Project Address 2483 Mount Pleasant Road San Jose		California Energy Climate Zone Total Cond. Floor Area CA Climate Zone 04 2,684		Addition 352	# of Units 1	
INSULATION						
Construction Type	Area Cavity (ft ²)	Special Features	Status			
Wall Wood Framed	- no insulation 28		Existing			
Wall Wood Framed	- no insulation 671		Existing			
Wall Wood Framed	- no insulation 30		Existing			
Wall Wood Framed	- no insulation 496		Existing			
Wall Wood Framed	- no insulation 749		Existing			
Door Opaque Door	- no insulation 40		Existing			
Wall Wood Framed	- no insulation 465		Existing			
Roof Wood Framed Attic	R 19 1,910		Existing			
FENESTRATION	Total Area: 441	Glazing Percentage: 16.4%	New/Altered Average U-Factor: 0.40			
Orientation Area(ft ²)	U-Fac	SHGC	Overhang	Sidefins	Exterior Shades	Status
Right (SW)	32.0	1.280	0.80	none	none	N/A
Front (W)	108.0	0.400	0.25	none	none	N/A
Front (W)	40.0	1.280	0.80	none	none	N/A
Front (W)	30.0	1.280	0.80	none	none	N/A
Left (N)	35.0	1.280	0.80	none	none	N/A
Rear (E)	30.0	1.280	0.80	none	none	N/A
Right (S)	42.0	0.400	0.25	none	none	N/A
Right (S)	24.0	1.280	0.80	none	none	N/A
Front (W)	76.0	0.400	0.25	none	none	N/A
Left (N)	24.0	0.400	0.25	none	none	N/A
HVAC SYSTEMS						
Qty. Heating	Min. Eff	Cooling	Min. Eff	Thermostat	Status	
1 Central Furnace	80% AFUE	No Cooling	14.0 SEER	Setback	Existing	
HVAC DISTRIBUTION						
Location	Heating	Cooling	Duct Location	Duct R-Value	Status	
Existing FAU	Ducted	Ducted	Attic	6.0	Altered	
WATER HEATING						
Qty. Type	Gallons	Min. Eff	Distribution	Status		
EnergyPro 8.1 by EnergySoft User Number: 3385	ID: 200727	Page 13 of 19				

2019 Low-Rise Residential Mandatory Measures Summary						
Note: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. *Exceptions may apply.						
(0120)						
Building Envelope Measures:						
\$110.6(a): Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283 or AAMA/WDMA/CSA 101.1.S.2(A440-11)*.						
\$110.6(a5): Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-11(a).						
\$110.6(b): Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or J44.5 for exterior doors. They must be caulked and/or weather-stripped.*						
\$110.7: Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.						
\$110.8(a): Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).						
\$110.8(g): Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).						
\$110.8(i): Roofing Products Solar Reflectance and Thermal Emissance. The thermal emissance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per § 10-11.3 when the installation of a cool roof is specified on the CFI-R.						
\$110.8(j): Radiant Barrier. When required, radiant barriers must have an emissance of 0.05 or less and be certified to the Department of Consumer Affairs.						
Ceiling and Rafters Roof Insulation. Minimum R-22 insulation in wood-frame ceiling; or the weighted average U-factor must not exceed 0.043. Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof insulation. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a continuous roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.						
\$150.0(a): Loose-fit insulation. Loose-fit insulation must meet the manufacturer's required density for the labeled R-value.						
\$150.0(b): Wall insulation. Minimum R-13 insulation in 2x4 inch wood framing or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102. masonry walls must meet Table 150.1-A or B.						
\$150.0(d): Raised-floor insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.						
\$150.0(f): Slab edge insulation. Slab edge insulation must meet all of the following: have a water absorption rate for the insulation material alone without facings, no greater than 0.3 percent, have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).						
\$150.0(g): Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to § 150.0(d).						
\$150.0(g2): Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.						
\$150.0(q): Fenestration products, including skylights separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58.						
Fireplaces, Decorative Gas Appliances, and Gas Log Measures:						
\$110.5(e): Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.						
\$150.0(e1): Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the fireplace.						
\$150.0(e2): Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.						