



LAZAROVSKI DESIGN

LAZAROVSKI DESIGN PTY LTD
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GEELONG: L1/87 LITTLE MALOP ST
GEELONG VIC 3220

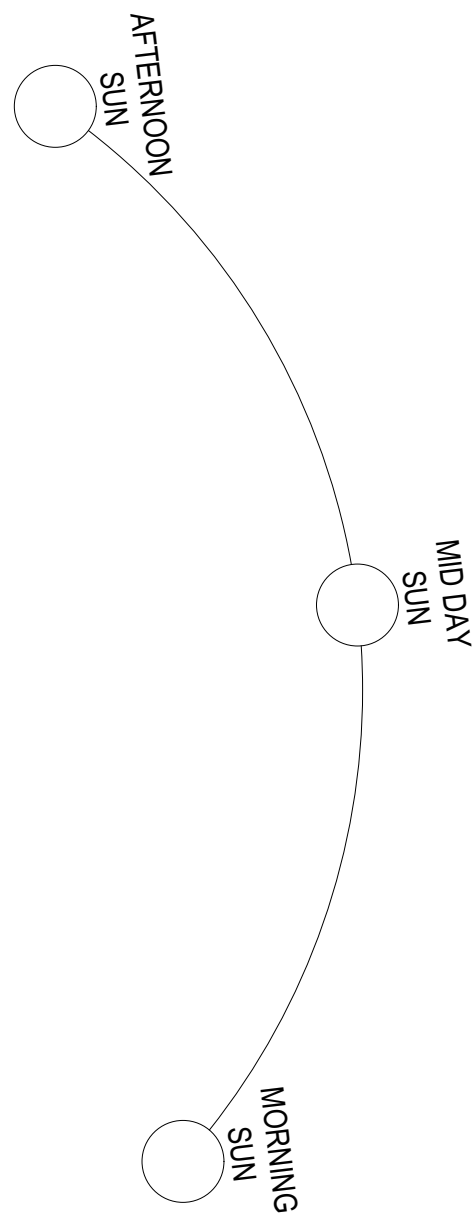
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TOWN PLANNING APPLICATION

PROPOSED:
UNIT DEVELOPMENT

AT:
26 HISPANO DRIVE
KEILOR DOWNS VIC 3038



LEGEND

- 1

NOISE DIRECTION
- 2

CBD

21.2 km
- 3

SCHOOL

500 m
- 4

PUBLIC TRANSPORT

190 m
- 5

PARKLAND

0.75 km
- 6

SHOPS

1.1 km
- 7

ADJOINING B/V RES
- 8

ADJOINING W/B RES
- 9

ADJOINING SHED
- 10

VACANT LAND
- CP

CARPORT
- G

GARAGE
- TPF

TIMBER PAILING FENCE
- CBF

COLOURBOND FENCE
- PW

POST & WIRE FENCE
- SF

STEEL FENCE
- BF

BRICK FENCE
- POS

EXISTING VEHICLE CROSSING
- POS

PRIVATE OPEN SPACE
- HABITABLE ROOM WINDOWS
- 4.0

FRONT SETBACK
- 1

↓
- 2

↘
- 3

↑
- 4

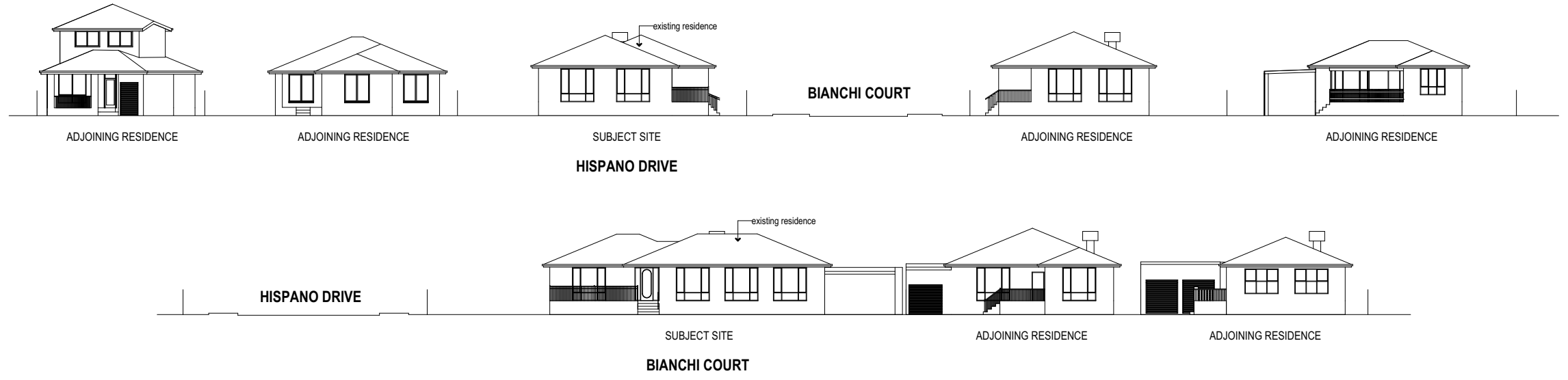
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- 5

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- 6

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NEIGHBOURHOOD & SITE DESCRIPTION

SCALE 1:500



ADJOINING PROPERTY - No. 30 HISPANO DR



ADJOINING PROPERTY - No. 28 HISPANO DR



SUJECT SITE - No. 26 HISPANO DR



ADJOINING PROPERTY - No. 1 BIANCHI CT



ADJOINING PROPERTY - No. 3 BIANCHI CT

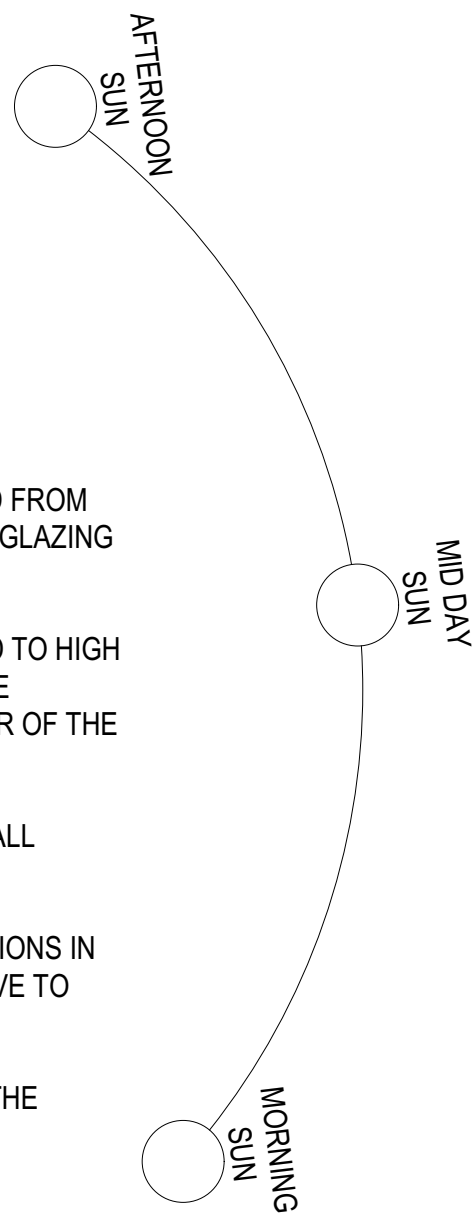
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SCALE:
1:500 @ A2

SHEET:
A02

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ADJACENT PRIVATE OPEN SPACES TO BE PROTECTED FROM OVER LOOKING WITH A 1.8M HIGH FENCE & OBSUCRE GLAZING TO OVERLOOKING WINDOWS

MATERIALS, COLOURS AND TEXTURES ARE SELECTED TO HIGH LIGHT THE ARCHITECTURAL FORMS AND REFLECT THE ADJACENT DWELLINGS & THE PREVAILING CHARACTER OF THE AREA

CREATE PRIVATE NORTH FACING COURTYARDS FOR ALL RESIDENCES, AND NORTH FACING IVING AREAS

BREAK UP LARGE FORMS WITH ARTICULATED DIMENSIONS IN PLAN AND ELEVATIONS TO MAINTAIN A SCALE RELATIVE TO ADJOINING BUILDINGS

SETBACK MAINTAINED AT 7.000 METERS SIMILAR TO THE ADJOINING PROERTIES

SITE IS RELATIVELY FLAT

LEGEND

- 1

NOISE DIRECTION
- 2

CBD

21.2 km
- 3

SCHOOL

500 m
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PUBLIC TRANSPORT

190 m
- 5

PARKLAND

0.75 km
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SHOPS

1.1 km
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EXISTING VEHICLE CROSSING
- POS

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- 4.0

FRONT SETBACK
- 1

↓
- 2

↘
- 3

↑
- 4

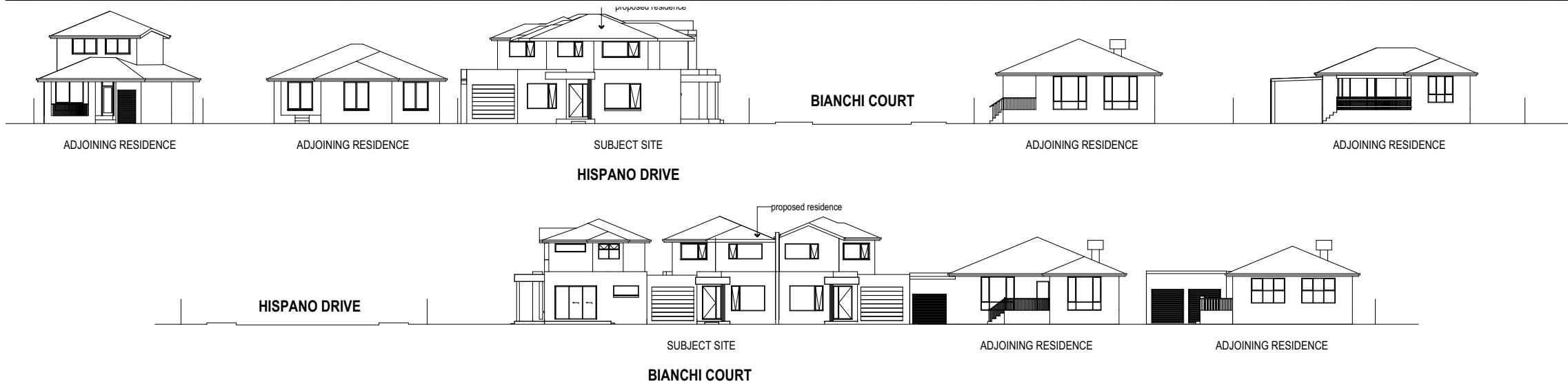
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- 5

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- 6

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NEIGHBOURHOOD & SITE DESCRIPTION

SCALE 1:500



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SUJECT SITE - No. 26 HISPANO DR



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AMENDMENTS:

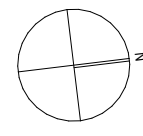
SCALE:
1:500 @ A2

SHEET:
A03

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- ESD Notes:**
- all rainwater tanks are to be connected to the toilets
 - taps to be supplied to all rainwater tanks for irrigation.
 - minimum average of 6.5 stars NATHERS rating to be achieved.
 - electrical switchboard to a minimum of 15 amp for any future electrical vehicle charging requirements to be provided in the garage of each dwelling.
 - all external lighting will be controlled by a motion detector.
 - maximum illumination power density of 4W/m2 in each dwelling.
 - use low VOC materials, paints, sealants & adhesives where possible and E1 or E0-grade engineered wood products.
 - recycle a minimum of 70% of construction waste and minimum 30% demolition waste be reused or recycled / diverted from landfill
 - all windows to be lockable in an open position



SITE LAYOUT & GROUND FLOOR PLAN

SCALE 1:100

AREA: DWELLING 1
ground floor 87.72m ² 9.44sq
first floor 68.13m ² 7.73sq
garage 24.84m ² 2.67sq
porch 8.04m ² 0.85sq
total 187.54m ² 20.10sq

AREA: DWELLING 2
ground floor 98.37m ² 10.59sq
first floor 76.50m ² 8.23sq
garage 23.50m ² 2.53sq
porch 3.17m ² 0.34sq
total 201.54m ² 21.69sq

AREA: DWELLING 3
ground floor 99.53m ² 10.71sq
first floor 73.47m ² 7.91sq
garage 23.26m ² 2.50sq
porch 3.17m ² 0.34sq
total 199.43m ² 21.47sq

SITE ANALYSIS
site area 690.02m ²
built up area 369.61m ²
site coverage 53.57%
permeability 254.50m ²
68.86%

LEGEND

- EV electric vehicle infrastructure
- DGW double glazed windows
- existing tree to be retained
- existing tree to be removed

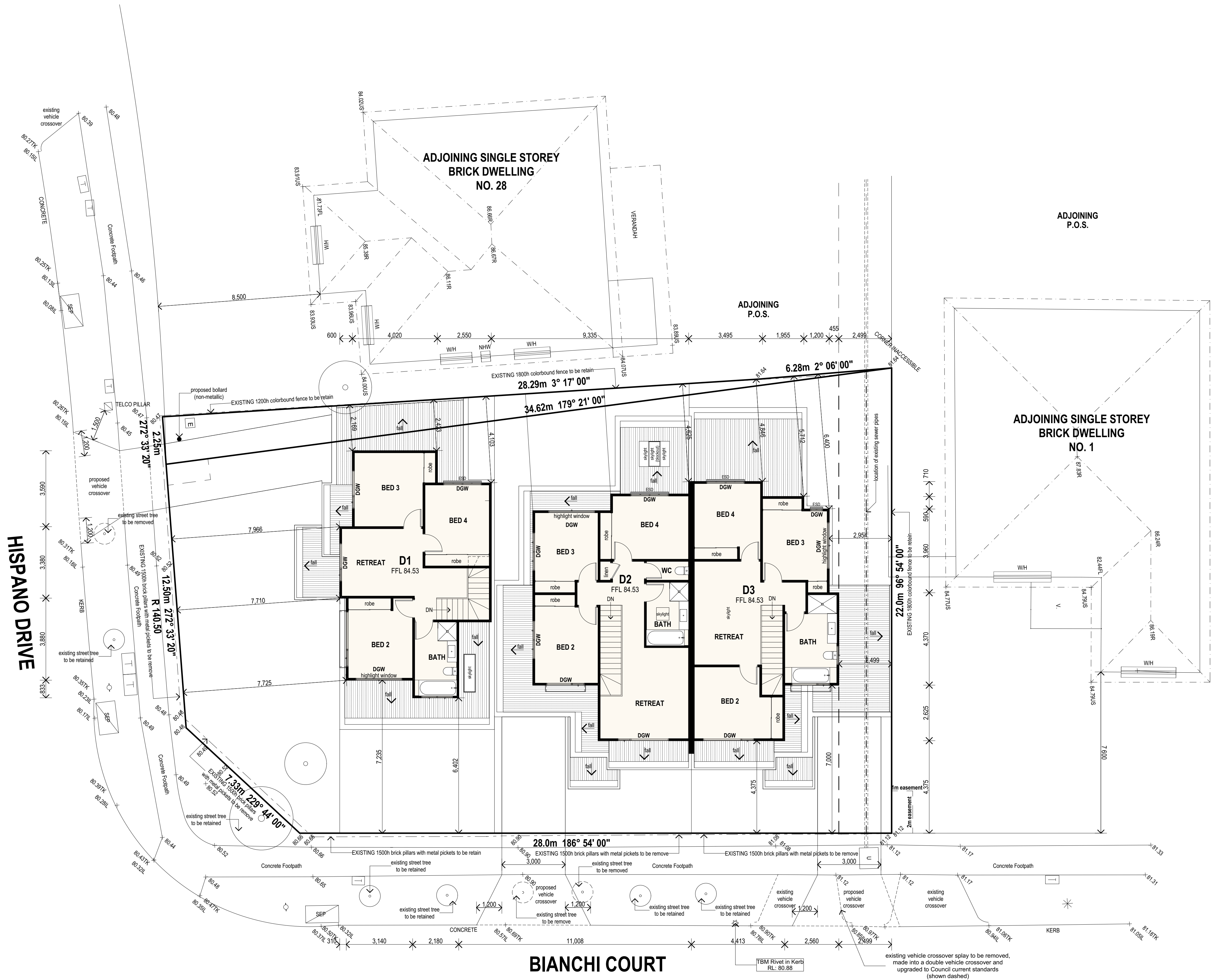
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SCALE:
1:100 @ A1
SHEET:

A04

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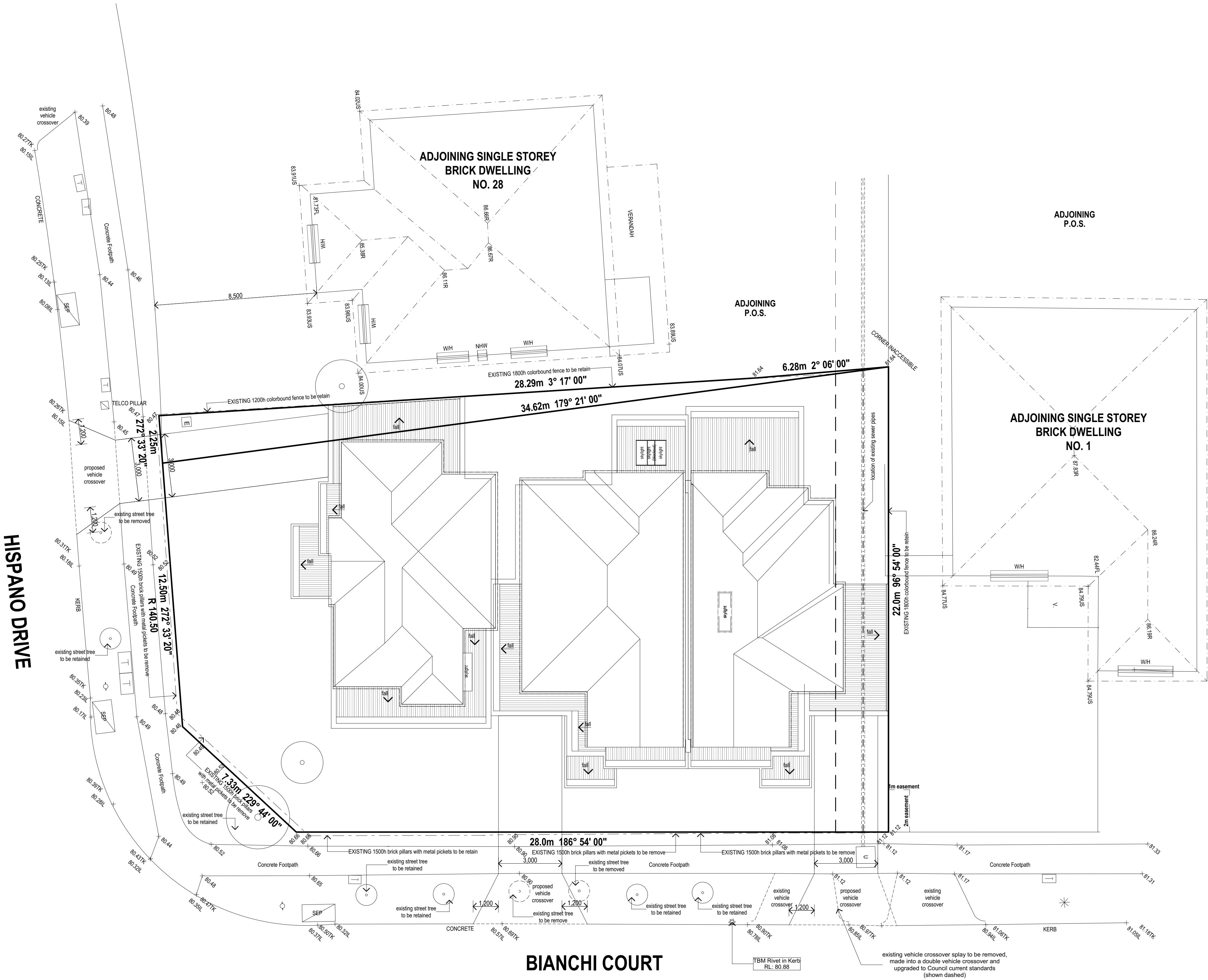


FIRST FLOOR PLAN
SCALE 1:100

- LEGEND**
- EV electric vehicle infrastructure
 - DGW double glazed windows
 - existing tree to be retained
 - existing tree to be removed



CR1
colourbond roof 22.5° pitch
basalt



ROOF PLAN
SCALE 1:100

- LEGEND
- existing tree to be retained
 - existing tree to be removed

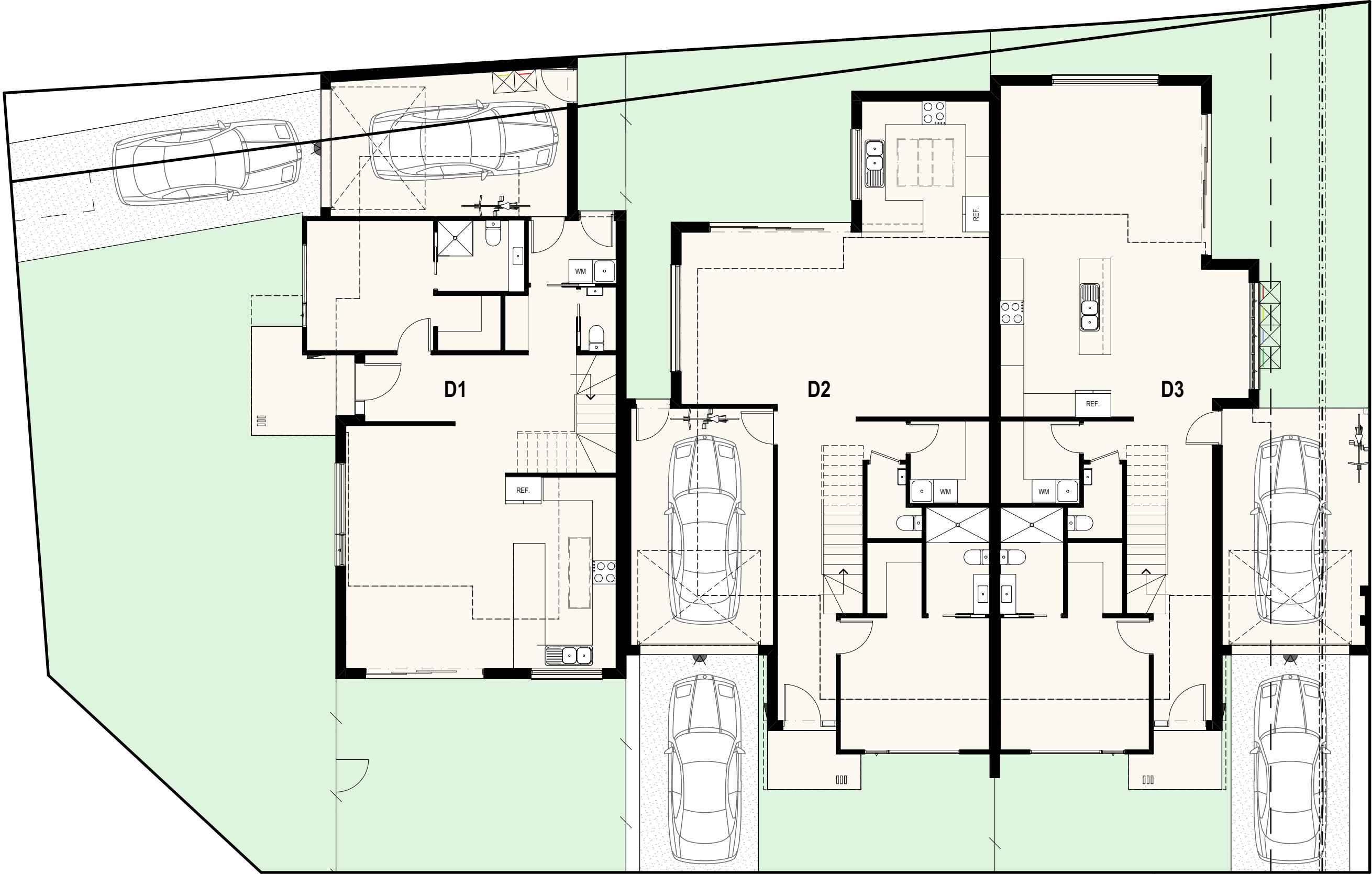
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AMENDMENTS:

SCALE:
1:100 @ A1

SHEET:
A06

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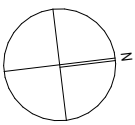


GARDEN AREA REQUIREMENT

LOT SIZE m ²	MINIMUM REQ.	SITE AREA m ²	GARDEN AREA REQUIREMENT	PROPOSED GARDEN AREA
400m ² - 500m ²	25%	N/A	N/A	N/A
501m ² - 650m ²	30%	N/A	N/A	N/A
650m ² and above	35%	690.02m ²	241.51m ²	252.01m ² = complies

LEGEND

- CONCRETE DRIVEWAY
- GARDEN AREA (MIN 1m WIDE)
- BUILT UP AREA



GARDEN AREA REQUIREMENT PLAN

SCALE 1:100

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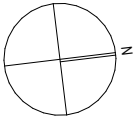
AMENDMENTS:

SCALE:
1:100 @ A2

SHEET:
A07



UNIT	S.P.O.S >4m	P.O.S <4m	P.O.S BALANCE	TOTAL
1	35.88m²	4.84m²	106.74m²	147.46m²
2	35.49m²	0m²	19.74m²	55.23m²
3	43.32m²	0m²	18.18m²	61.50m²



PRIVATE OPEN SPACE PLAN

SCALE 1:100

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AMENDMENTS:

SCALE:
1:100 @ A2

SHEET:
A08

LEGEND

IEQ2.2 - NATURAL CROSS VENTILATION

IEQ3.1 - DOUBLE GLAZED WINDOWS

IEQ3.2 - EXTERNAL SHADING

IEQ3.3 - NORTH FACING LIVING AREAS

UE2.1 - VEGETATED AREAS

UE2.4 - TAPS AND FLOOR WASTE ON BALCONIES

W2.0 - FOOD AND GARDEN WASTE FACILITIES

T1.1 - BICYCLE SPACES

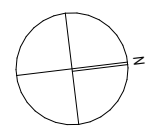
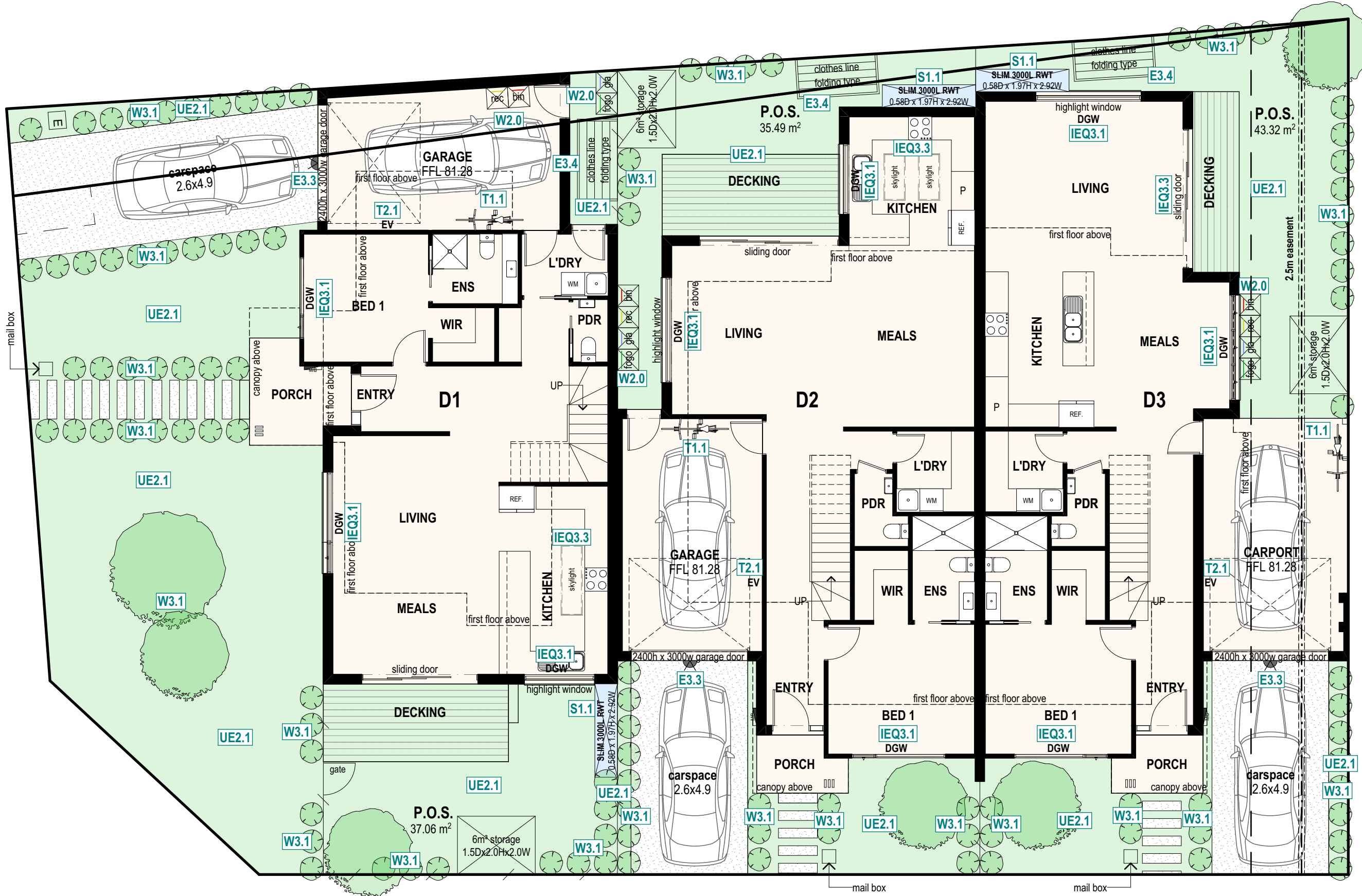
T2.1 - ELECTRIC VEHICLE CHARGING

S1.1 - STORM WATER MANAGEMENT SYSTEMS

E3.3 - EXTERNAL LIGHTING SENSORS

E3.4 - CLOTHES LINE

W3.1 - WATER EFFICIENT GARDEN



BESS PLAN

SCALE 1:100

BESS Report Notes:

Energy3.5 - Artificial Lighting Schedule to be completed as part of the NATHERS Energy Ratings provided Registered Building Surveyor for the issue of a Building Permit at a later date.

IEQ3.1 - Glazing Specifications to be completed as part of the NATHERS Energy Ratings provided Registered Building Surveyor for the issuing of a Building Permit at a later date.

Stormwater1.1 - Refer to Sustainability Design Assessment.

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AMENDMENTS

SCALE:
1:100 @ A1

SHEET:

A10

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SOUTH ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100



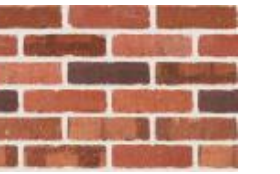
INTERNAL ELEVATION - SOUTH
SCALE 1:100



WEST ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100



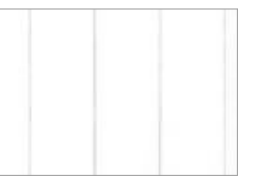
FB1
face brick - recycled look red brick



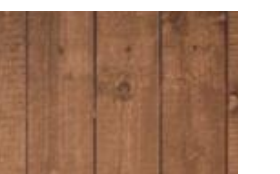
CR1
colourbond roof 22.5° pitch basalt



FC1
axon cladding - basalt



FC2
axon cladding - white



FC3
axon cladding - timber look



RE1
rendered finish - dark grey



FGD
fascia, gutter & downpipes basalt



GD1
garage door - panel list basalt



WD1 / SD1
aluminium windows & sliding doors - night sky



OBS
fixed or openable obscure glazing to 1700h above FFL (openable max 150mm)

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SCALE:
1:100 @ A1
SHEET:
A11

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SCALE:
@ A2

SHEET:

A12

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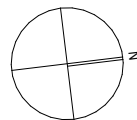
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HISPANO DRIVE

BIANCHI COURT

SHADOW DIAGRAM - 22 SEPT 12pm
SCALE 1:200



Legend

shadow - proposed development shadow - existing fence

LEGEND

existing tree to be retained
existing tree to be removed

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SCALE:
1:200 @ A3

SHEET:
A14

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