



# LAZAROVSKI DESIGN

LAZAROVSKI DESIGN PTY LTD  
MELBOURNE: 101 MORAY ST  
SOUTH MELBOURNE VIC 3205  
hello@lazarovski.com.au | 1300 95 88 88 | CDP-AD 64532

GEELONG: L1/87 LITTLE MALOP ST  
GEELONG VIC 3220

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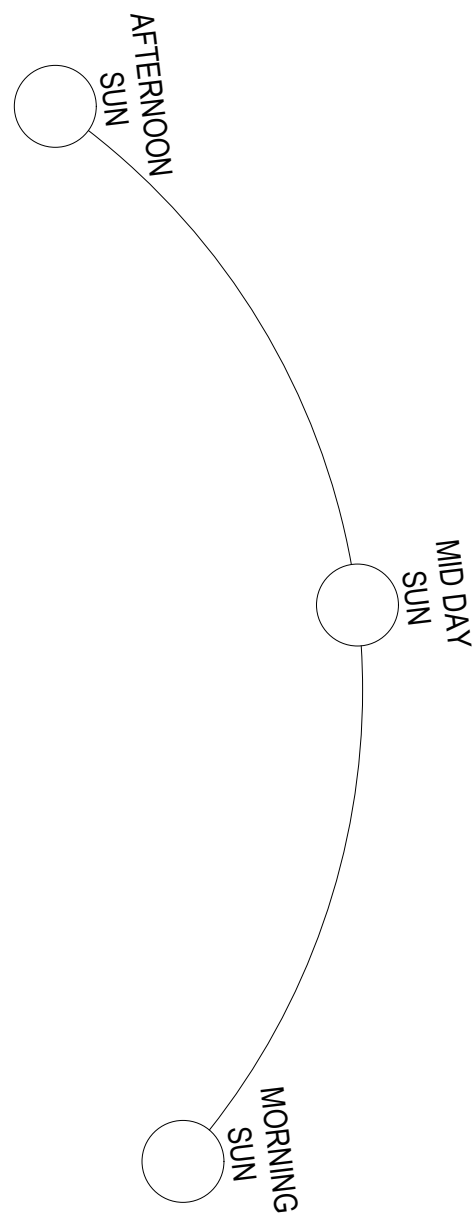
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## TOWN PLANNING APPLICATION

PROPOSED:  
UNIT DEVELOPMENT

AT:  
26 HISPANO DRIVE  
KEILOR DOWNS VIC 3038





LEGEND

- 1

NOISE DIRECTION
- 2

CBD

21.2 km
- 3

SCHOOL

500 m
- 4

PUBLIC TRANSPORT

190 m
- 5

PARKLAND

0.75 km
- 6

SHOPS

1.1 km
- 7

ADJOINING B/V RES
- 8

ADJOINING W/B RES
- 9

ADJOINING SHED
- 10

VACANT LAND
- CP

CARPORT
- G

GARAGE
- TPF

TIMBER PAILING FENCE
- CBF

COLOURBOND FENCE
- PW

POST & WIRE FENCE
- SF

STEEL FENCE
- BF

BRICK FENCE
- POS

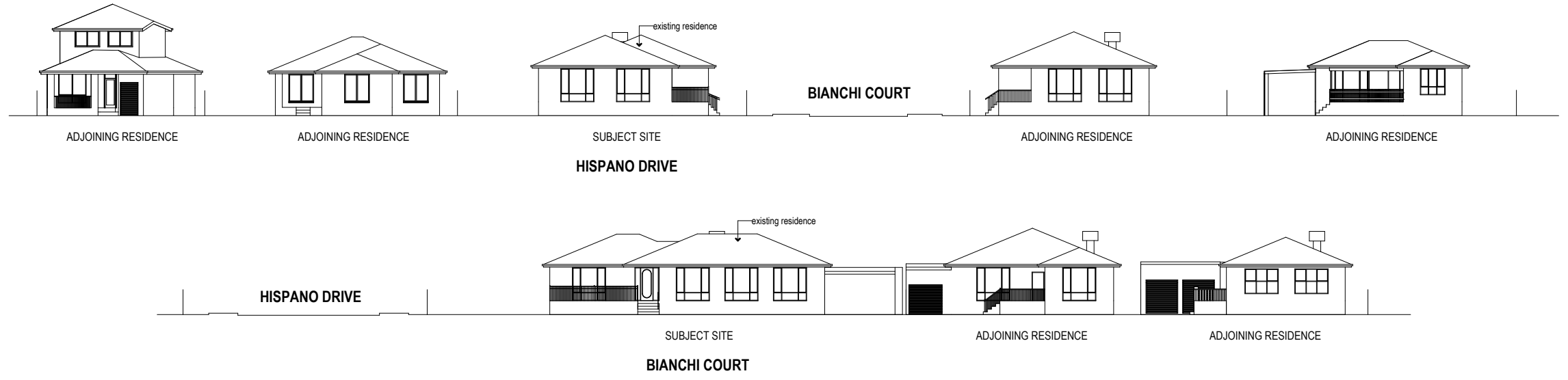
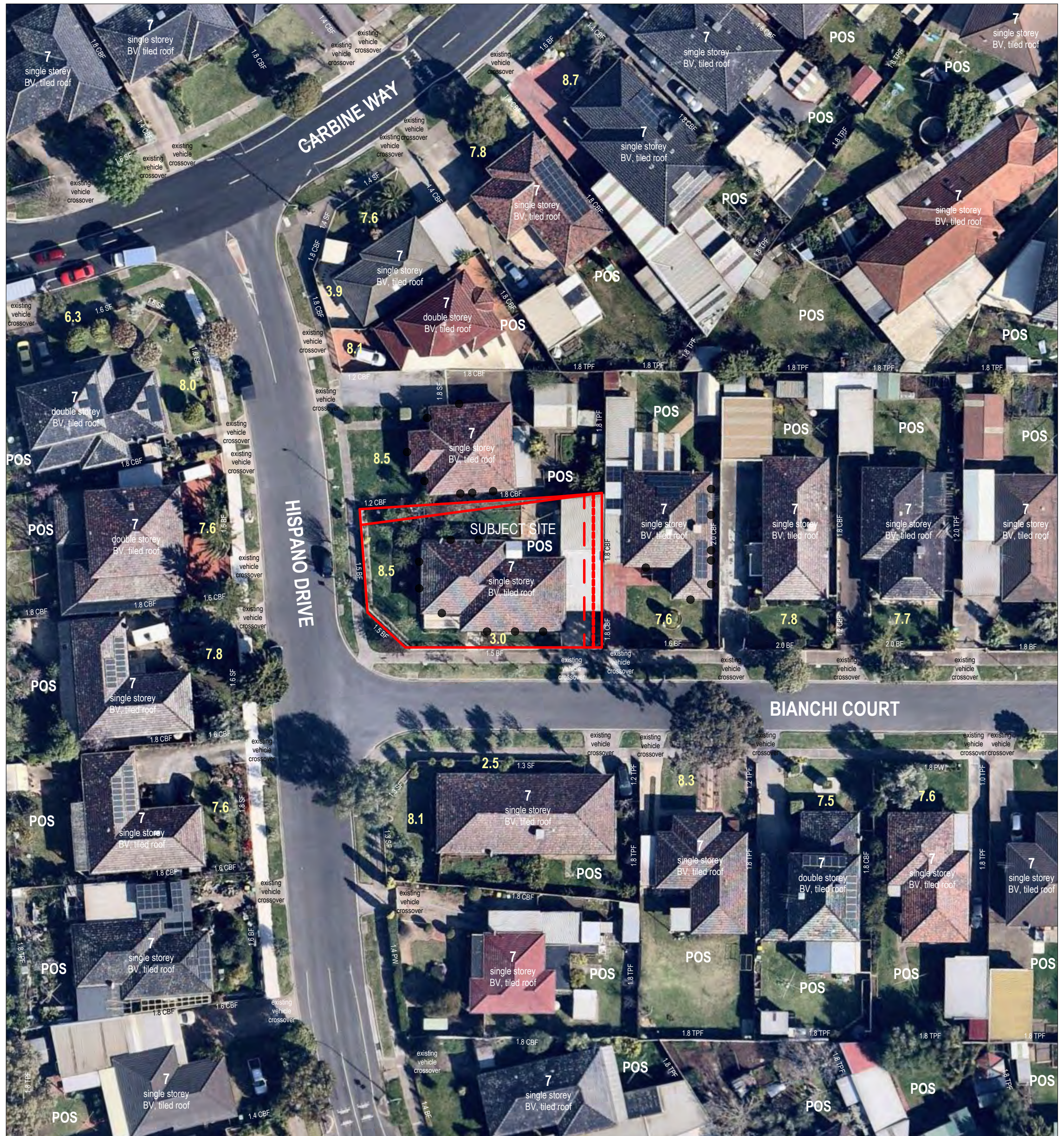
EXISTING VEHICLE CROSSING
- POS

PRIVATE OPEN SPACE
- HABITABLE ROOM WINDOWS
- 4.0

FRONT SETBACK
- 1
- 2
- 3
- 4
- 5
- 6

NEIGHBOURHOOD & SITE DESCRIPTION

SCALE 1:500



ADJOINING PROPERTY - No. 30 HISPANO DR



ADJOINING PROPERTY - No. 28 HISPANO DR



SUJECT SITE - No. 26 HISPANO DR



ADJOINING PROPERTY - No. 1 BIANCHI CT



ADJOINING PROPERTY - No. 3 BIANCHI CT

PROPOSED:  
UNIT DEVELOPMENT  
AT:  
26 HISPANO DRIVE  
KEILOR DOWNS VIC 3038

DATE:  
7/02/2023  
PROJECT NO:  
83353

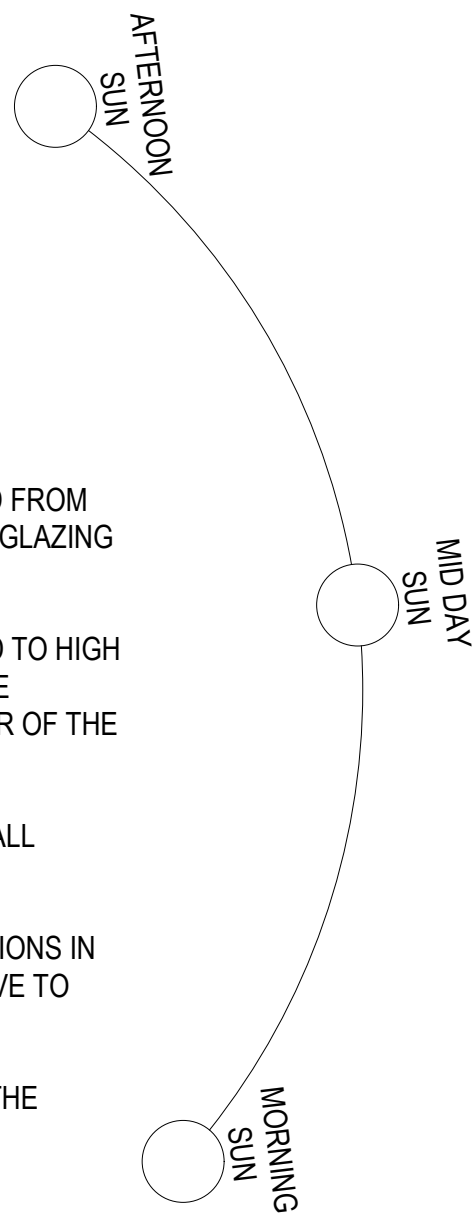
AMENDMENTS:

SCALE:  
1:500 @ A2

SHEET:  
A02

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ADJACENT PRIVATE OPEN SPACES TO BE PROTECTED FROM OVER LOOKING WITH A 1.8M HIGH FENCE & OBSUCRE GLAZING TO OVERLOOKING WINDOWS

MATERIALS, COLOURS AND TEXTURES ARE SELECTED TO HIGH LIGHT THE ARCHITECTURAL FORMS AND REFLECT THE ADJACENT DWELLINGS & THE PREVAILING CHARACTER OF THE AREA

CREATE PRIVATE NORTH FACING COURTYARDS FOR ALL RESIDENCES, AND NORTH FACING IVING AREAS

BREAK UP LARGE FORMS WITH ARTICULATED DIMENSIONS IN PLAN AND ELEVATIONS TO MAINTAIN A SCALE RELATIVE TO ADJOINING BUILDINGS

SETBACK MAINTAINED AT 7.000 METERS SIMILAR TO THE ADJOINING PROERTIES

SITE IS RELATIVELY FLAT

LEGEND

- 1

NOISE DIRECTION
- 2

CBD

21.2 km
- 3

SCHOOL

500 m
- 4

PUBLIC TRANSPORT

190 m
- 5

PARKLAND

0.75 km
- 6

SHOPS

1.1 km
- 7

ADJOINING B/V RES
- 8

ADJOINING W/B RES
- 9

ADJOINING SHED
- 10

VACANT LAND
- CP

CARPORT
- G

GARAGE
- TPF

TIMBER PAILING FENCE
- CBF

COLOURBOND FENCE
- PW

POST & WIRE FENCE
- SF

STEEL FENCE
- BF

BRICK FENCE
- POS

EXISTING VEHICLE CROSSING
- POS

PRIVATE OPEN SPACE
- HABITABLE ROOM WINDOWS
- 4.0

FRONT SETBACK
- 1

↓
- 2

↘
- 3

↑
- 4

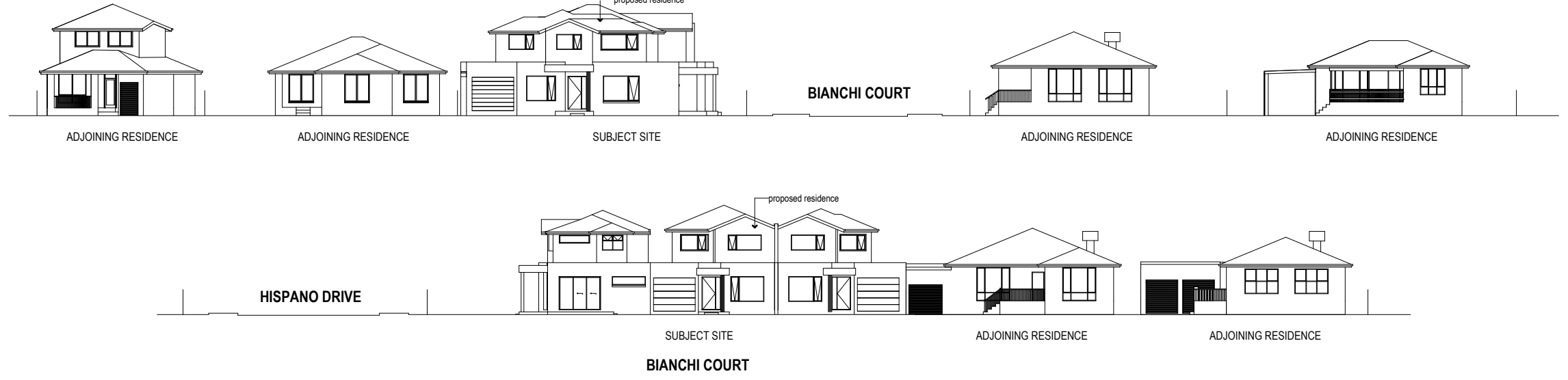
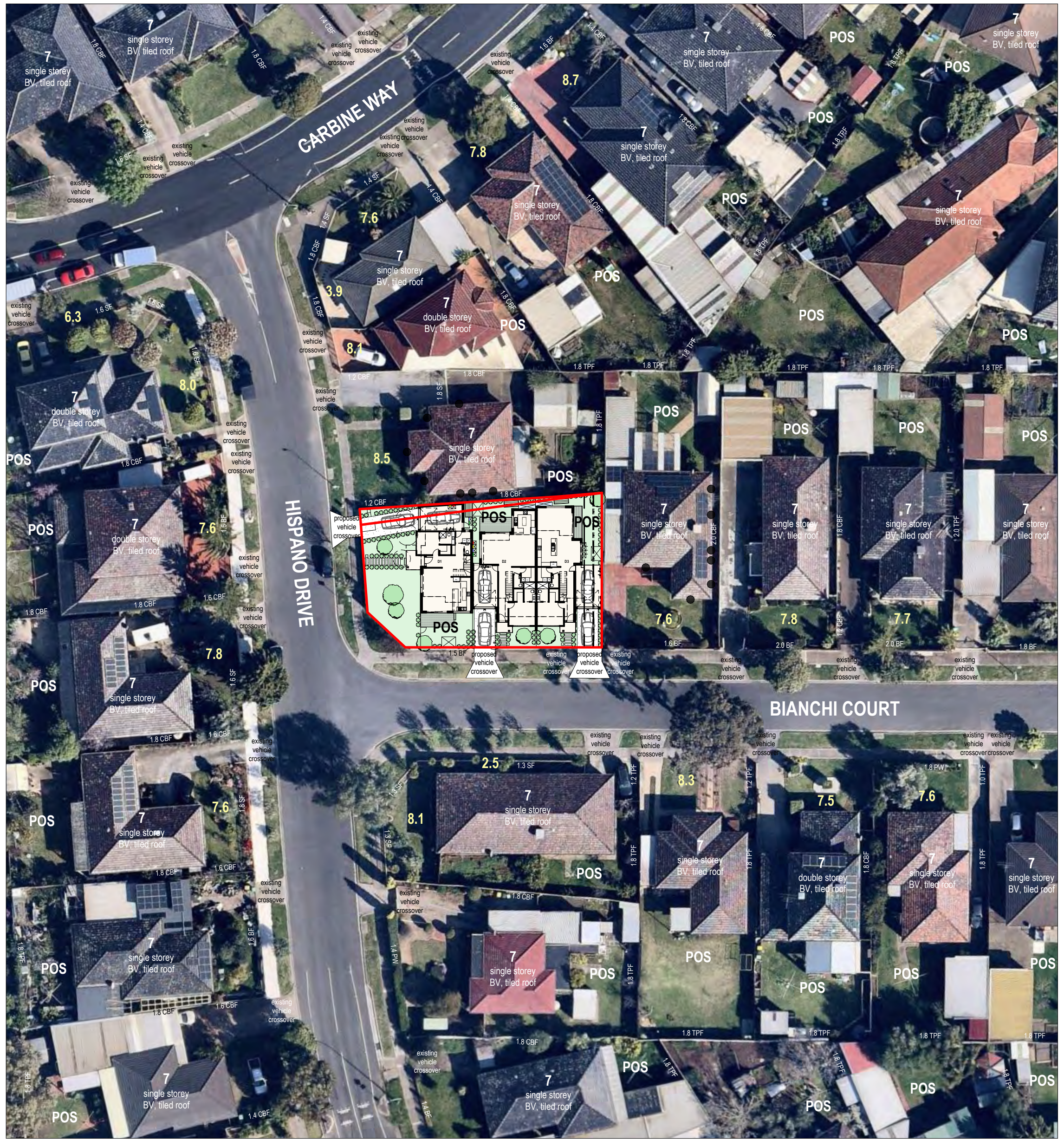
↗
- 5

→
- 6

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NEIGHBOURHOOD & SITE DESCRIPTION

SCALE 1:500



ADJOINING PROPERTY - No. 30 HISPANO DR



ADJOINING PROPERTY - No. 28 HISPANO DR



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AMENDMENTS:

SCALE:  
1:500 @ A2

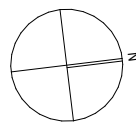
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- ESD Notes:
- all rainwater tanks are to be connected to the toilets
  - taps to be supplied to all rainwater tanks for irrigation.
  - minimum average of 6.5 stars NATHERS rating to be achieved.
  - electrical switchboard to a minimum of 15 amp for any future electrical vehicle charging requirements to be provided in the garage of each dwelling.
  - all external lighting will be controlled by a motion detector.
  - maximum illumination power density of 4W/m2 in each dwelling.
  - use low VOC materials, paints, sealants & adhesives where possible and E1 or E0-grade engineered wood products.
  - recycle a minimum of 70% of construction waste and minimum 30% demolition waste be reused or recycled / diverted from landfill
  - all windows to be lockable in an open position



## SITE LAYOUT & GROUND FLOOR PLAN

SCALE 1:100

AREA: DWELLING 1
ground floor 87.83m <sup>2</sup> 9.45sq
first floor 68.40m <sup>2</sup> 7.36sq
garage 24.94m <sup>2</sup> 2.67sq
porch 6.09m <sup>2</sup> 0.66sq
total 187.16m <sup>2</sup> 20.14sq

AREA: DWELLING 2
ground floor 96.36m <sup>2</sup> 10.37sq
first floor 76.50m <sup>2</sup> 8.23sq
garage 22.73m <sup>2</sup> 2.45sq
porch 3.17m <sup>2</sup> 0.34sq
total 198.76m <sup>2</sup> 21.40sq

AREA: DWELLING 3
ground floor 97.46m <sup>2</sup> 10.49sq
first floor 72.31m <sup>2</sup> 7.78sq
garage 23.26m <sup>2</sup> 2.50sq
porch 3.17m <sup>2</sup> 0.34sq
total 196.20m <sup>2</sup> 21.12sq

SITE ANALYSIS
site area 690.01m <sup>2</sup>
built up area 364.50m <sup>2</sup>
site coverage 52.83%
permeability 288.36m <sup>2</sup>
37.44%

### LEGEND

- EV electric vehicle infrastructure
- DGW double glazed windows
- existing tree to be retained
- existing tree to be removed

PROPOSED:  
UNIT DEVELOPMENT  
AT:  
26 HISPANO DRIVE  
KEILOR DOWNS VIC 3038

DATE:  
7/02/2023  
AMENDMENTS:

SCALE:  
1:100 @ A1

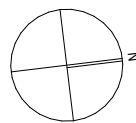
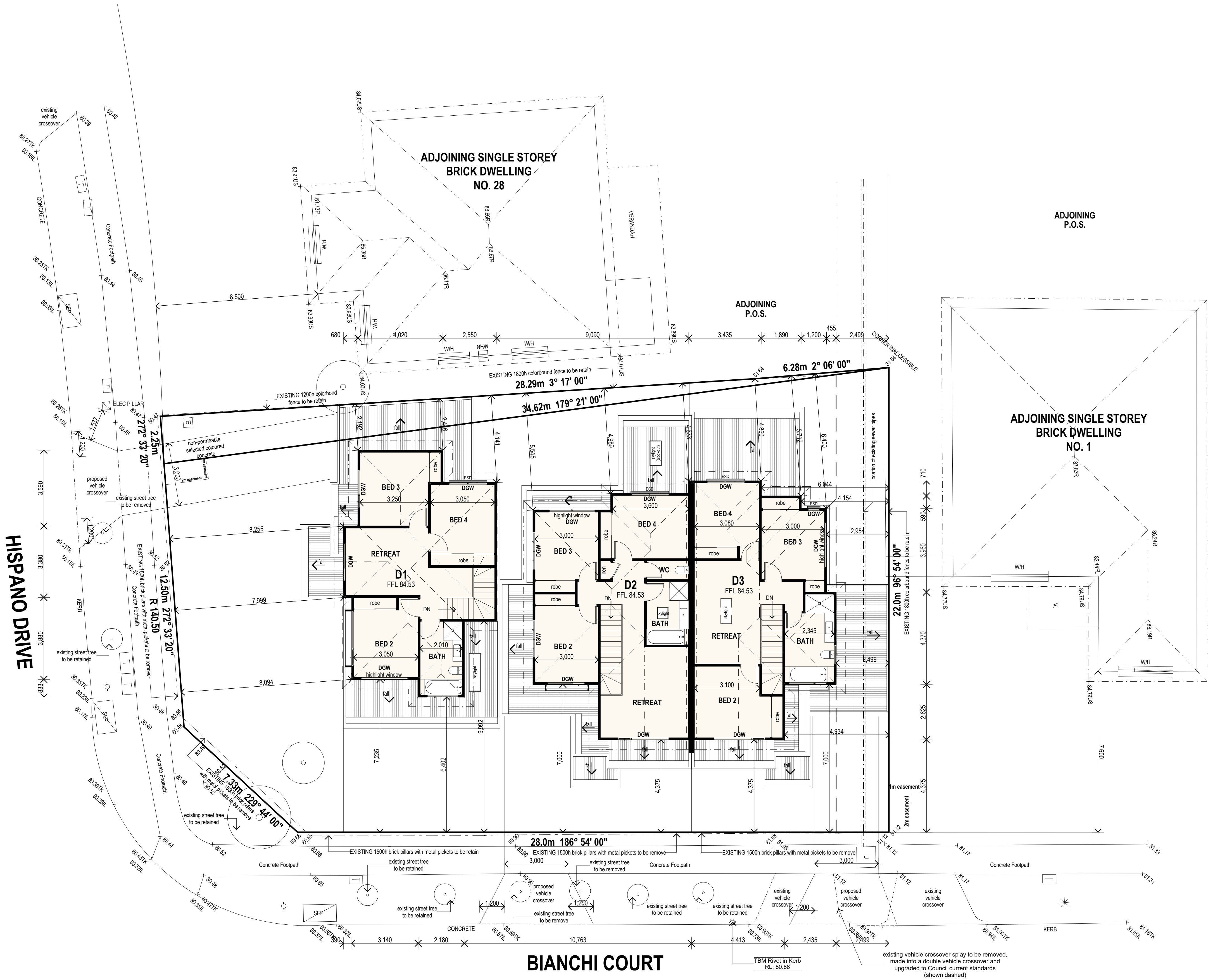
PRODUCT NO:  
83353

SHEET:

A04

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GEOLOG: 1187 LITTLE MALOP ST  
GEOLOG VIC 3200  
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## FIRST FLOOR PLAN

SCALE 1:100

### LEGEND

- EV electric vehicle infrastructure
- DGW double glazed windows
- existing tree to be retained
- existing tree to be removed

PROPOSED:  
UNIT DEVELOPMENT  
AT:  
26 HISPANO DRIVE  
KEILOR DOWNS VIC 3038

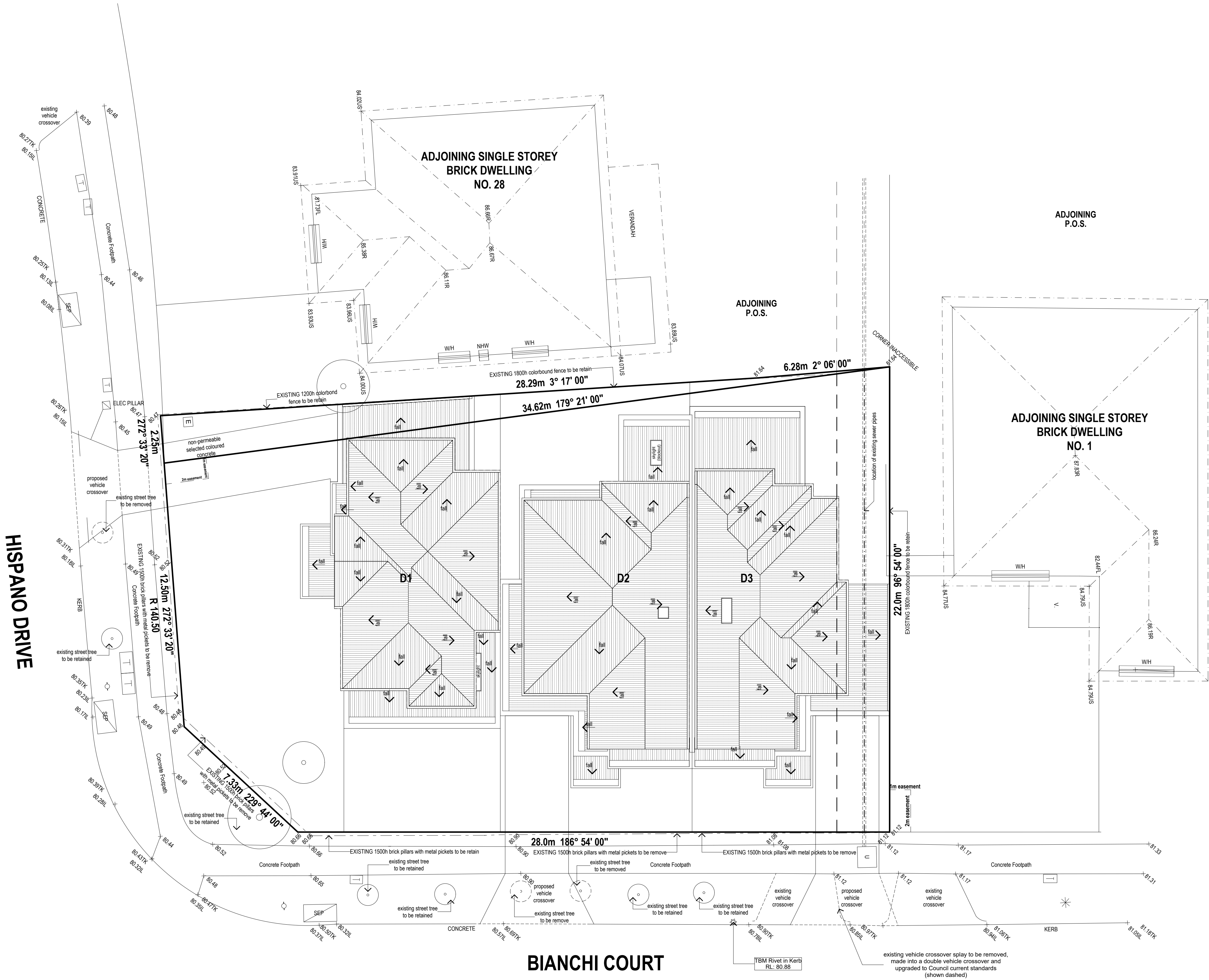
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7/02/2023  
PROJECT NO:  
83353

SCALE:  
1:100 @ A1  
SHEET:  
A05

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CR1  
colourbond roof 22.5° pitch  
basalt



ROOF PLAN  
SCALE 1:100

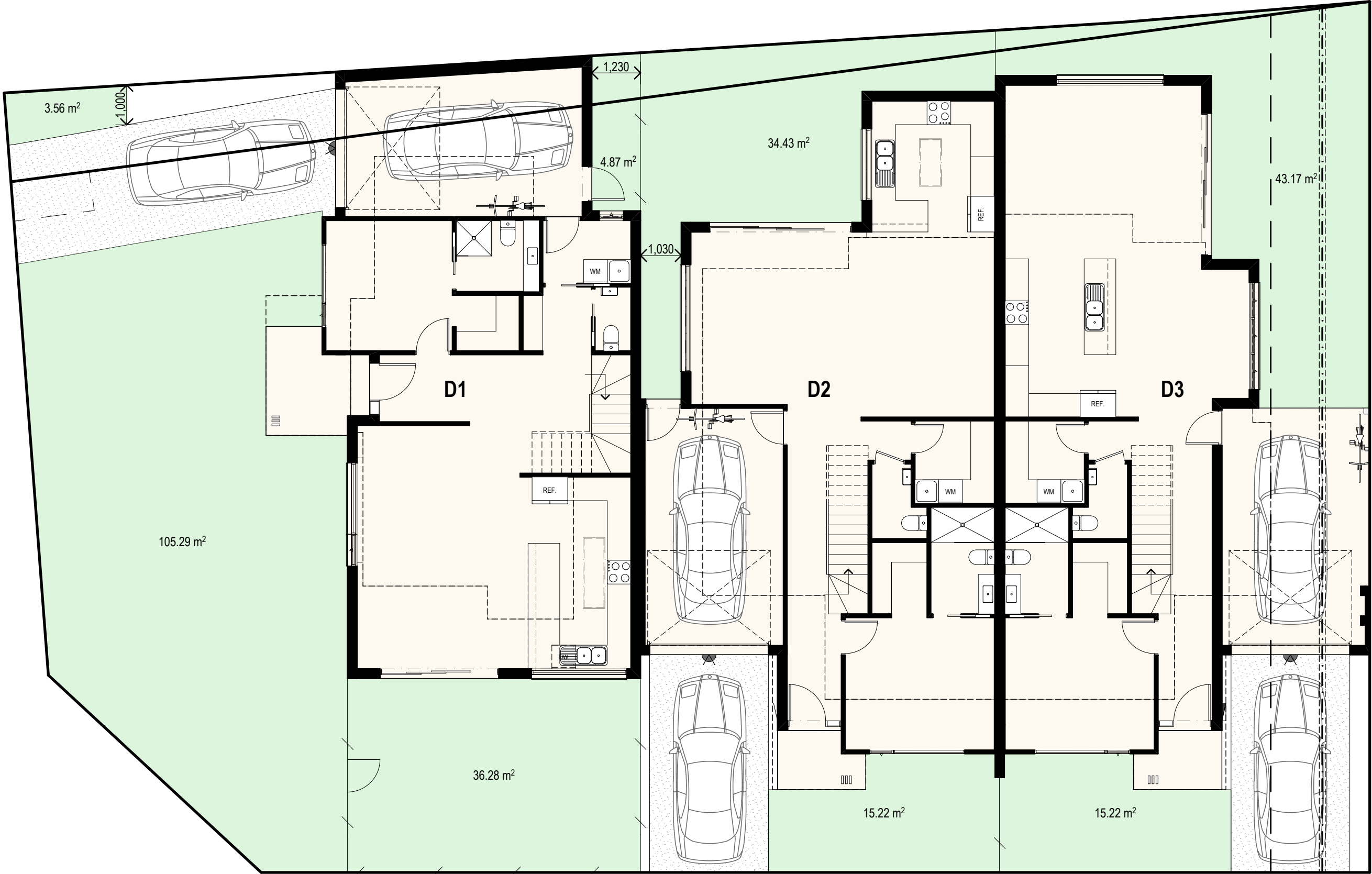
- LEGEND
- existing tree to be retained
  - existing tree to be removed

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AT:  
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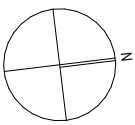
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1:100 @ A1  
SHEET:  
A06





GARDEN AREA REQUIREMENT				
LOT SIZE m²	MINIMUM REQ.	SITE AREA m²	GARDEN AREA REQUIREMENT	PROPOSED GARDEN AREA
400m² - 500m²	25%	N/A	N/A	N/A
501m² - 650m²	30%	N/A	N/A	N/A
650m² and above	35%	690.01m²	241.50m²	258.04m² = complies

LEGEND	
	CONCRETE DRIVEWAY
	GARDEN AREA (MIN 1m WIDE)
	BUILT UP AREA



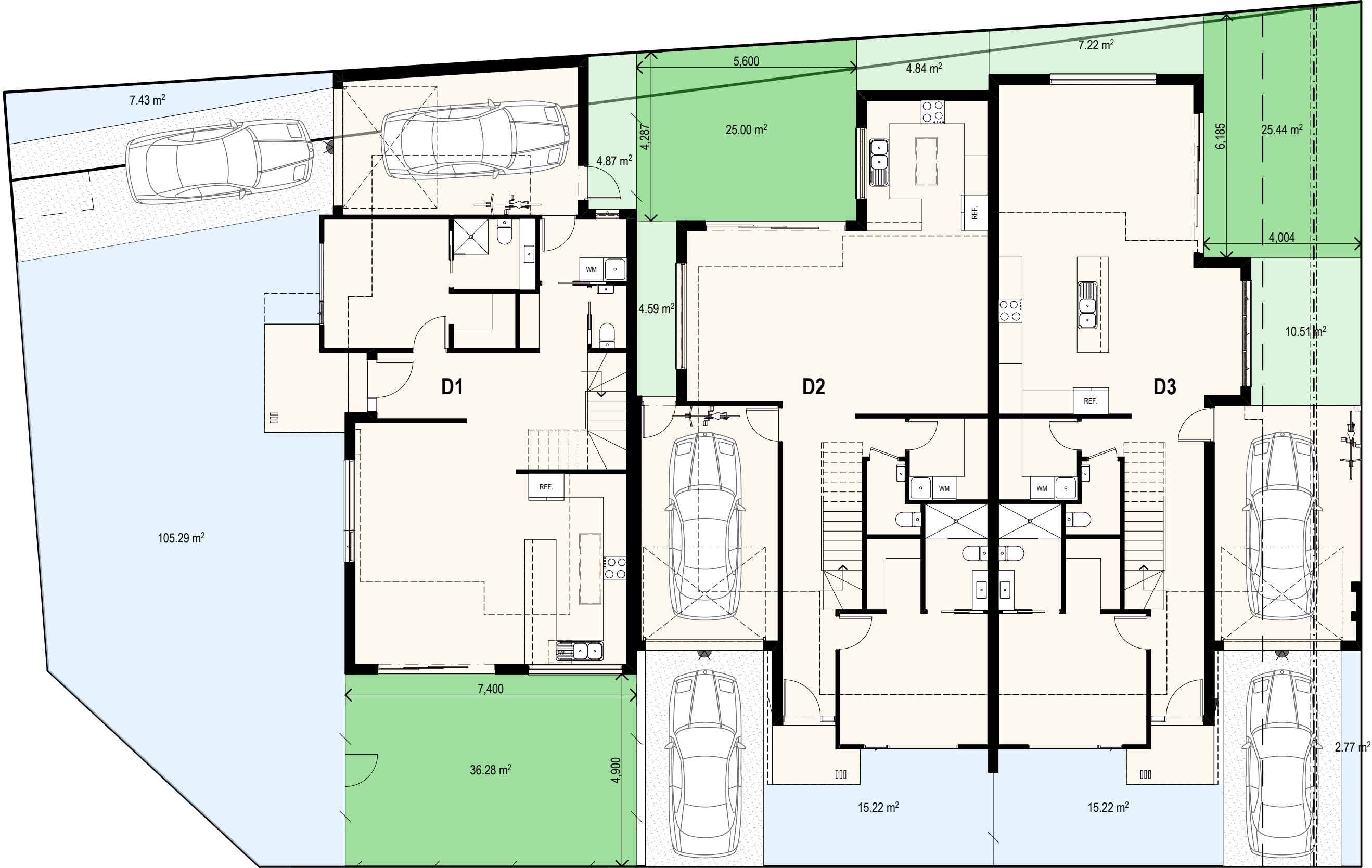
# GARDEN AREA REQUIREMENT PLAN

SCALE 1:100

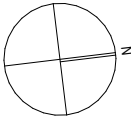
PROPOSED:  
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AT:  
**26 HISPANO DRIVE  
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**7/02/2023**  
PROJECT NO:  
**83353**  
AMENDMENTS:

SCALE:  
**1:100 @ A2**

SHEET:  
**A07**



UNIT	S.P.O.S >4m	P.O.S <4m	P.O.S BALANCE	TOTAL
1	36.28m²	4.87m²	112.72m²	153.87m²
2	25.00m²	9.43m²	15.22m²	49.65m²
3	25.44m²	17.73m²	17.99m²	61.16m²



PRIVATE OPEN SPACE PLAN

SCALE 1:100

PROPOSED:  
UNIT DEVELOPMENT  
AT:  
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DATE:  
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83353  
AMENDMENTS:

SCALE:  
1:100 @ A2

SHEET:  
A08







LEGEND

IEQ2.2 - NATURAL CROSS VENTILATION

IEQ3.1 - DOUBLE GLAZED WINDOWS

IEQ3.2 - EXTERNAL SHADING

IEQ3.3 - NORTH FACING LIVING AREAS

UE2.1 - VEGETATED AREAS

UE2.4 - TAPS AND FLOOR WASTE ON BALCONIES

W2.0 - FOOD AND GARDEN WASTE FACILITIES

T1.1 - BICYCLE SPACES

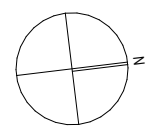
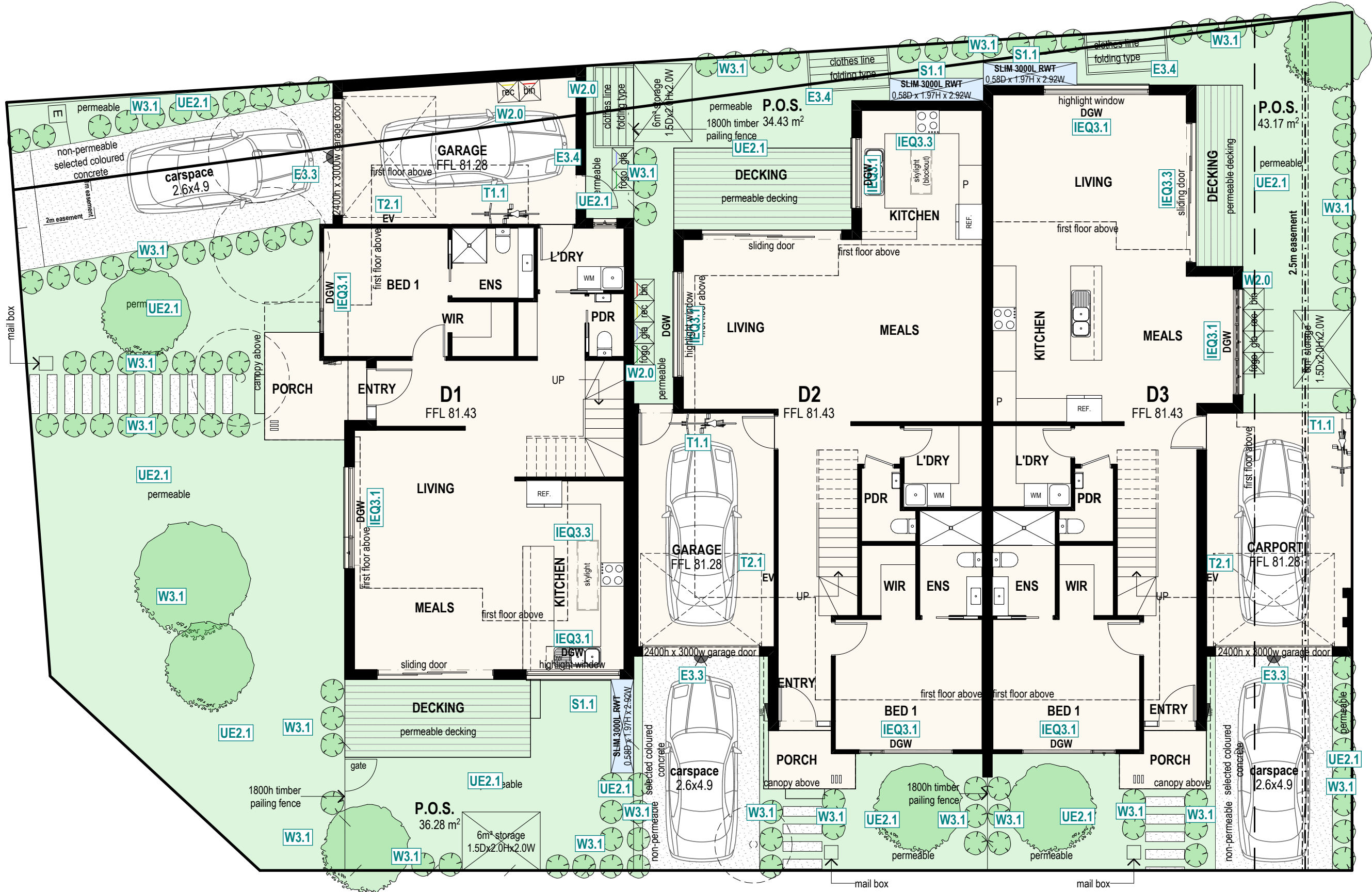
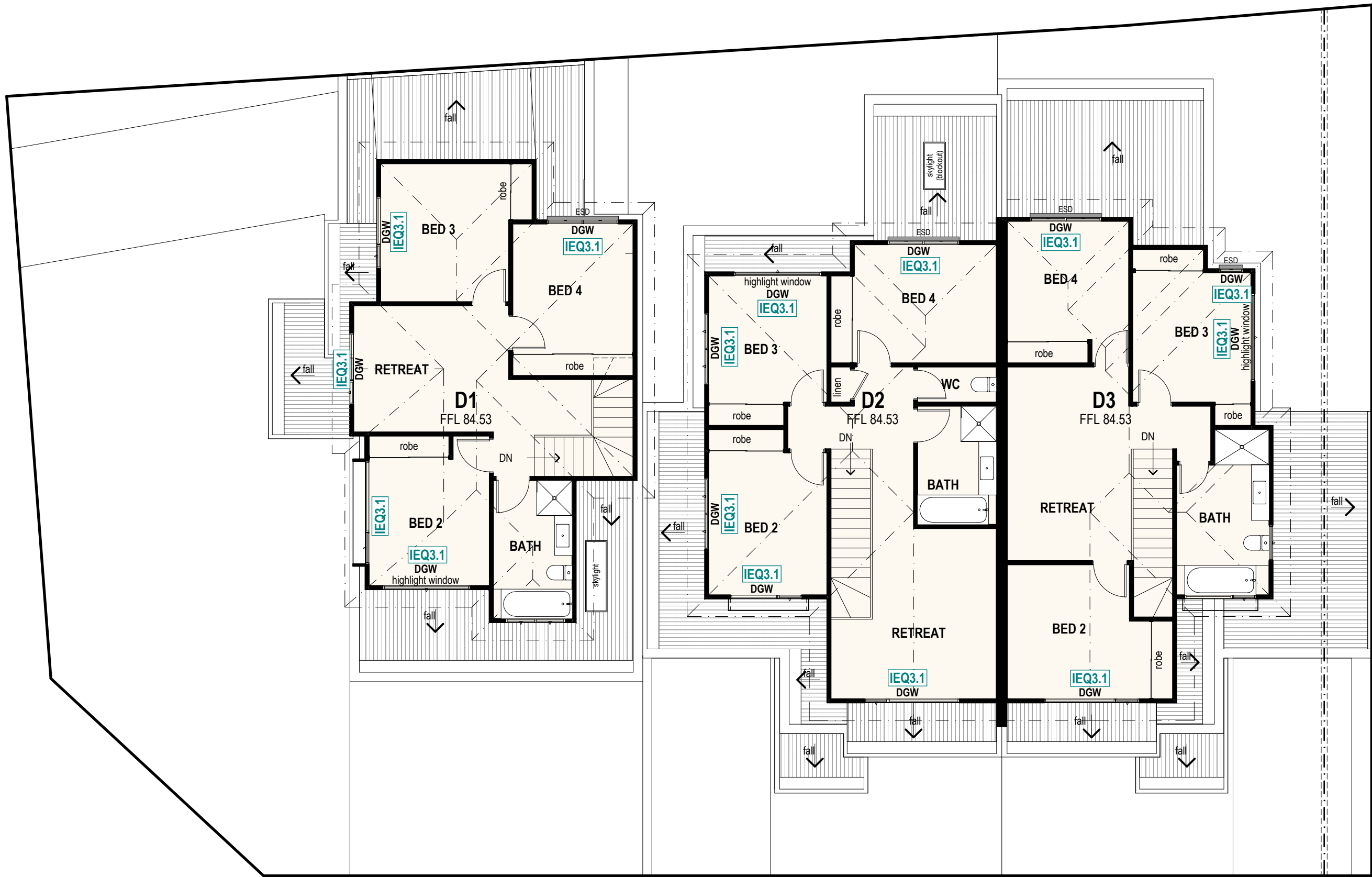
T2.1 - ELECTRIC VEHICLE CHARGING

S1.1 - STORM WATER MANAGEMENT SYSTEMS

E3.3 - EXTERNAL LIGHTING SENSORS

E3.4 - CLOTHES LINE

W3.1 - WATER EFFICIENT GARDEN



BESS PLAN

SCALE 1:100

BESS Report Notes:

Energy3.5 - Artificial Lighting Schedule to be completed as part of the NATHERS Energy Ratings provided Registered Building Surveyor for the issue of a Building Permit at a later date.

IEQ3.1 - Glazing Specifications to be completed as part of the NATHERS Energy Ratings provided Registered Building Surveyor for the issuing of a Building Permit at a later date.

Stormwater1.1 - Refer to Sustainability Design Assessment.

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83353

AMENDMENTS:

SCALE:  
1:100 @ A1

SHEET:

A10

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GEELONG: 1187 LITTLE MALCOLM ST  
GEELONG VIC 3220

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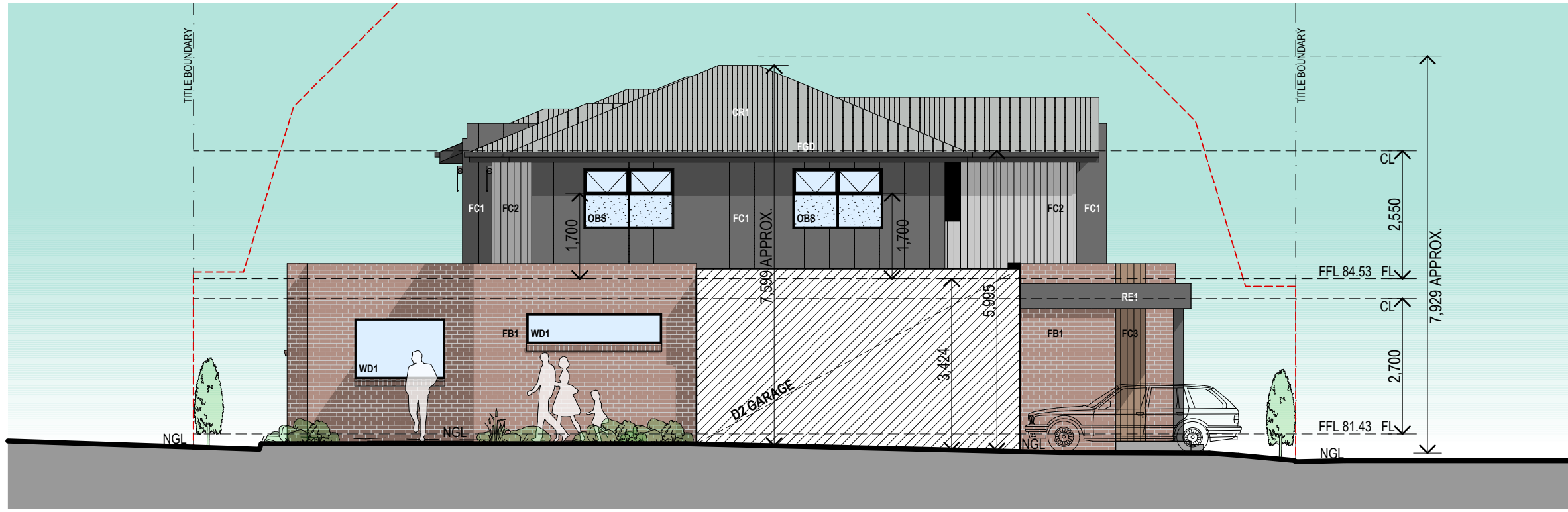




**SOUTH ELEVATION**  
SCALE 1:100



**NORTH ELEVATION**  
SCALE 1:100



**INTERNAL ELEVATION - SOUTH**  
SCALE 1:100



**WEST ELEVATION**  
SCALE 1:100



**EAST ELEVATION**  
SCALE 1:100



**FB1**  
face brick - recycled look red brick



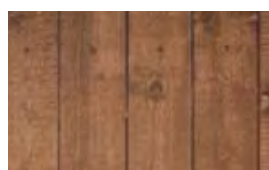
**CR1**  
colourbond roof 22.5° pitch basalt



**FC1**  
axon cladding - basalt



**FC2**  
axon cladding - white



**FC3**  
axon cladding - timber look



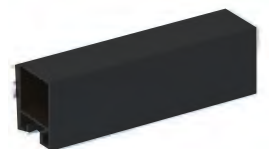
**RE1**  
rendered finish - dark grey



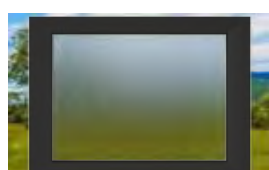
**FGD**  
fascia, gutter & downpipes basalt



**GD1**  
garage door - panel list basalt



**WD1 / SD1**  
aluminium windows & sliding doors - night sky



**OBS**  
fixed or openable obscure glazing to 1700h above FFL (openable max 150mm)

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SCALE:  
**1:100 @ A1**

SHEET:  
**A11**

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GEE LONG VIC 3209  
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AMENDMENTS:

PROJECT NO:  
**83353**

SCALE:  
**@ A2**

SHEET:

**A12**

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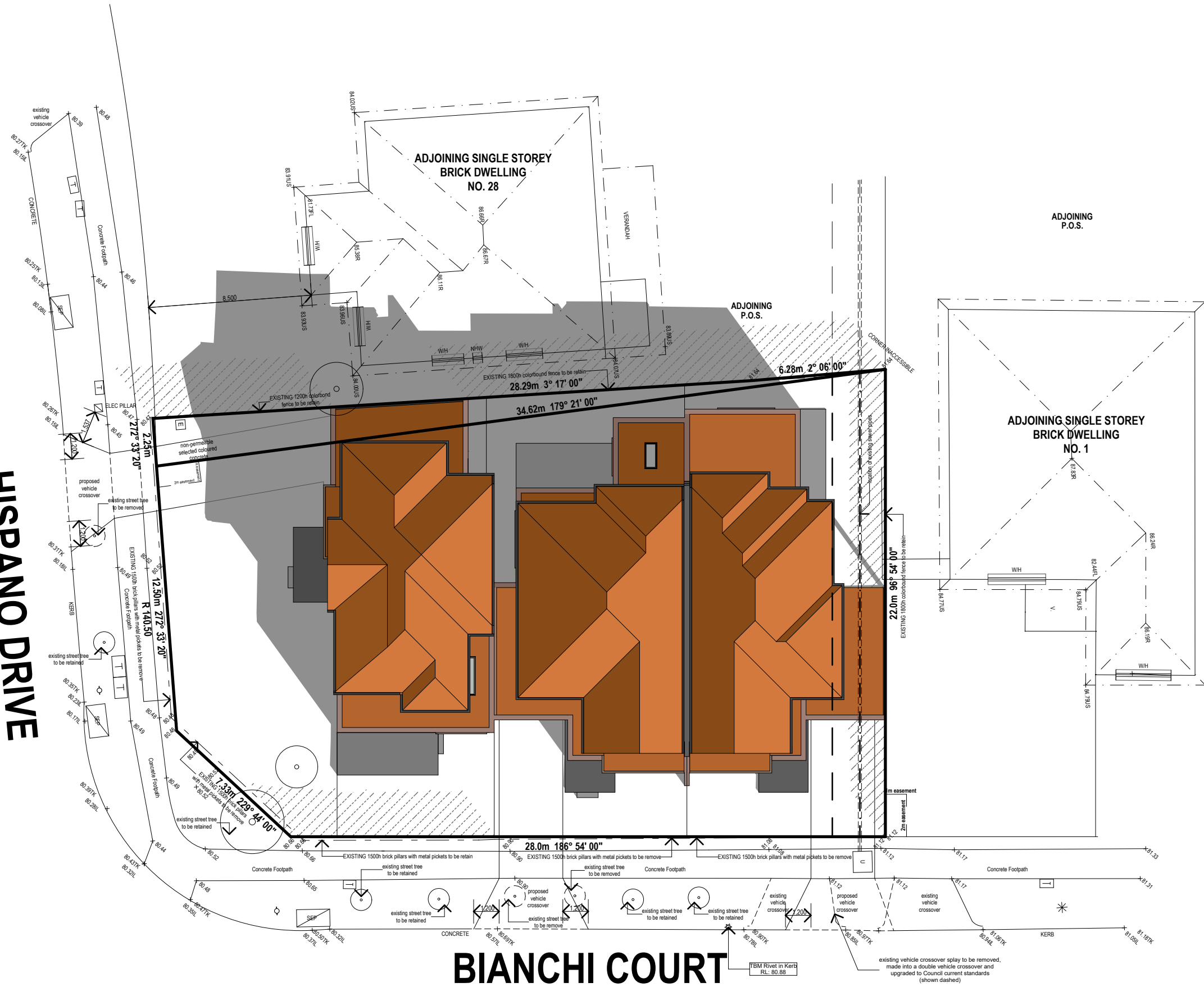
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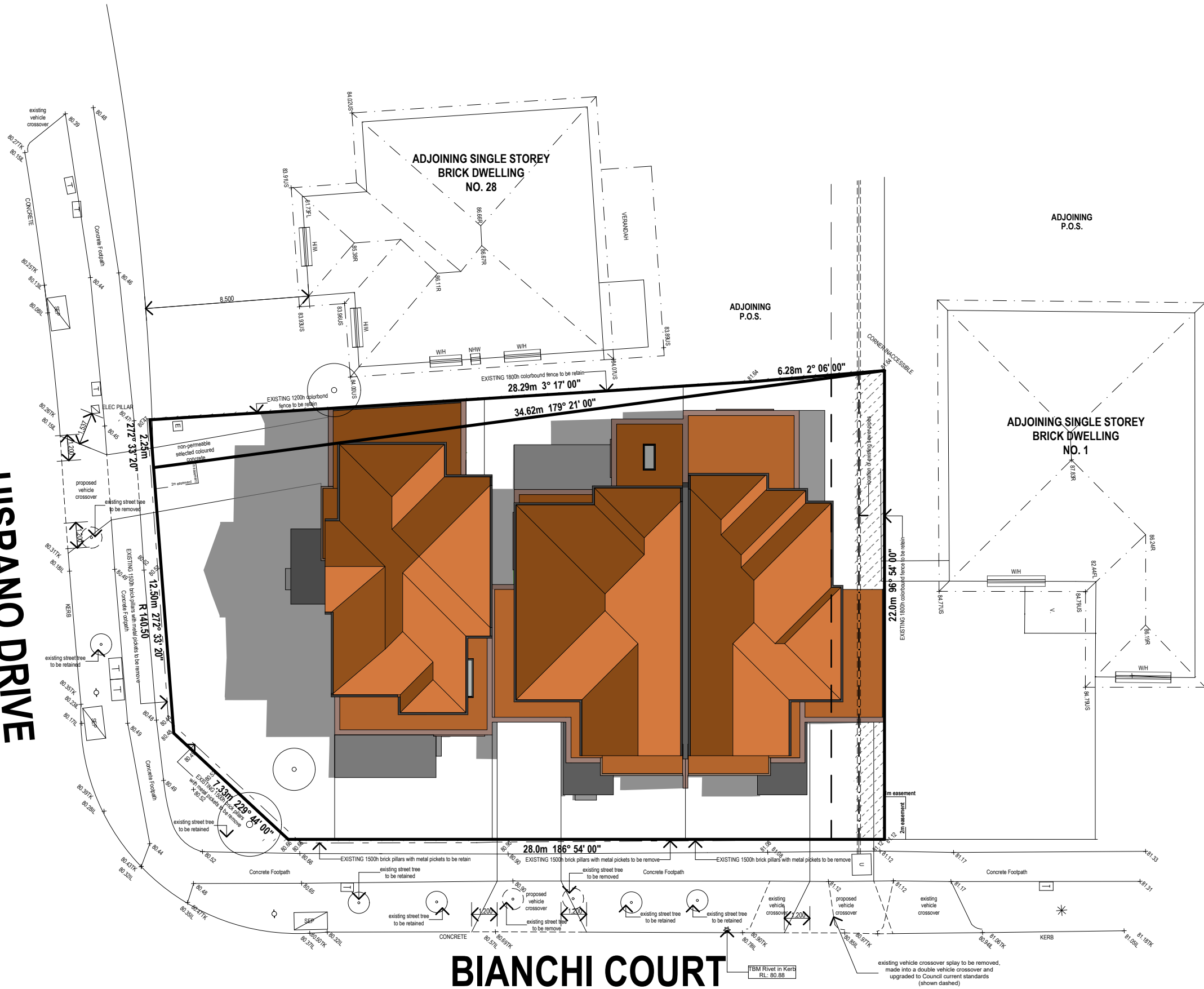


HISPANO DRIVE



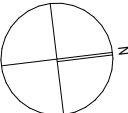


HISPANO DRIVE



BIANCHI COURT

SHADOW DIAGRAM - 22 SEPT 12pm  
SCALE 1:200



Legend  
shadow - proposed development  
shadow - existing fence

LEGEND  
existing tree to be retained  
existing tree to be removed

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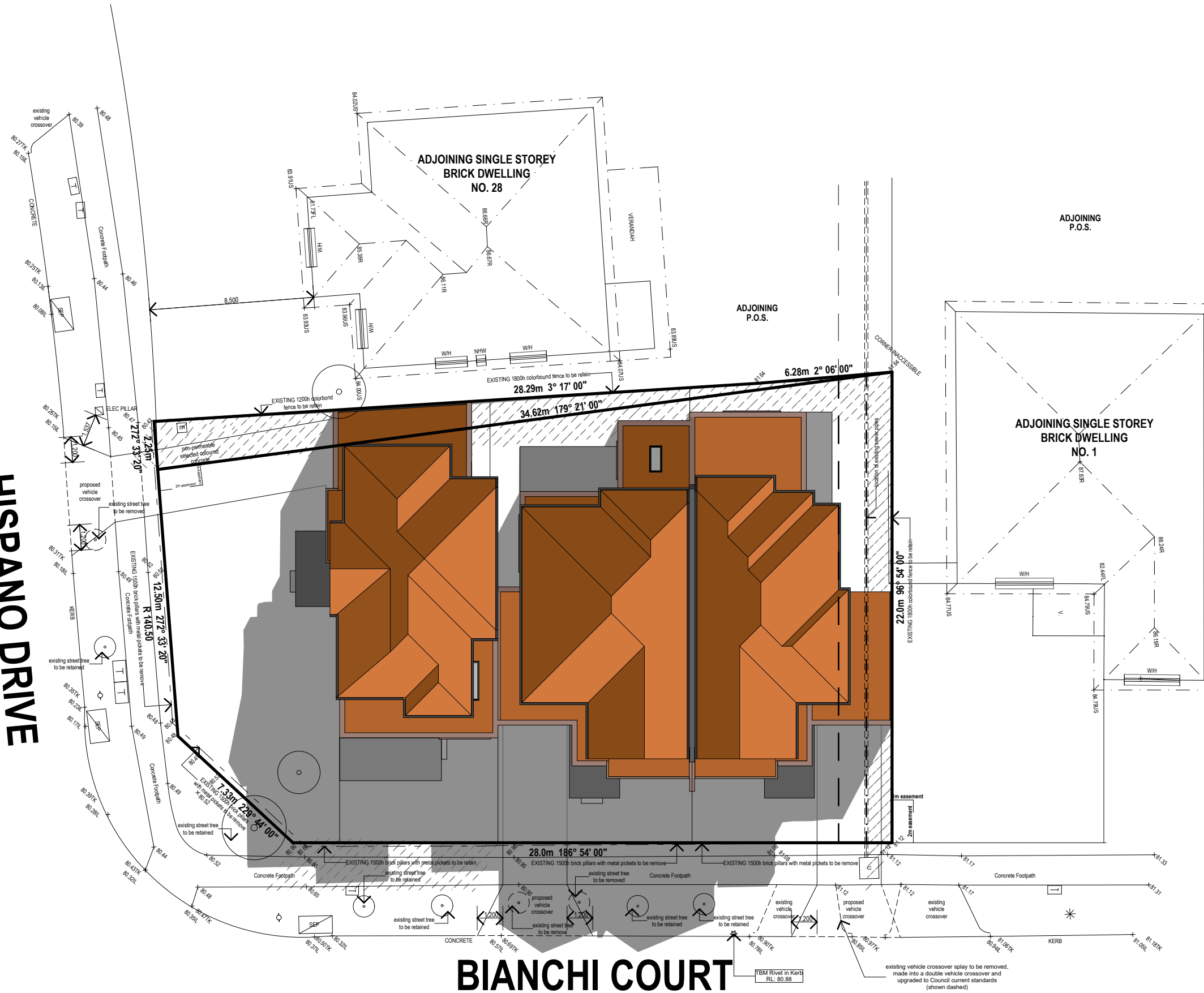
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SHEET:  
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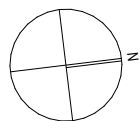
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HISPANO DRIVE



SHADOW DIAGRAM - 22 SEPT 3pm  
SCALE 1:200



Legend

shadow - proposed development shadow - existing fence

LEGEND

existing tree to be retained  
existing tree to be removed

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1:200 @ A3

SHEET:  
A15

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