

* All highlight windows 1700h from FFL but keep head heights same

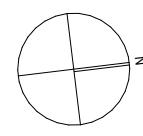
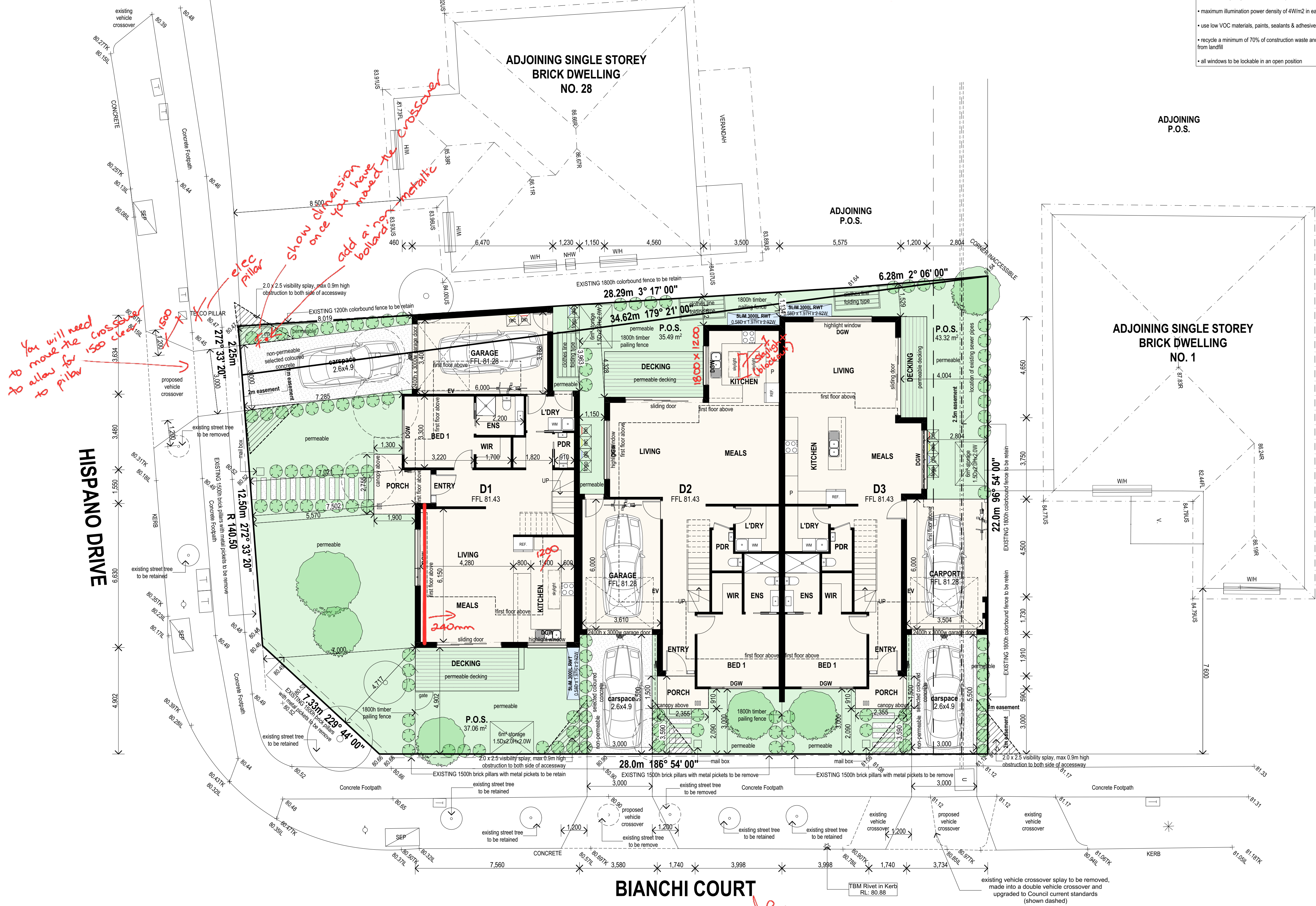
show dimension once you have the crossover

add a 200mm metallic balustrade

elec pillar

You will need to move the crossover to allow for 1500 clear to pillar

- ESD Notes:
- all rainwater tanks are to be connected to the toilets
 - taps to be supplied to all rainwater tanks for irrigation.
 - minimum average of 6.5 stars NATHERS rating to be achieved.
 - electrical switchboard to a minimum of 15 amp for any future electrical vehicle charging requirements to be provided in the garage of each dwelling.
 - all external lighting will be controlled by a motion detector.
 - maximum illumination power density of 4W/m² in each dwelling.
 - use low VOC materials, paints, sealants & adhesives where possible and E1 or E0-grade engineered wood products.
 - recycle a minimum of 70% of construction waste and minimum 30% demolition waste be reused or recycled / diverted from landfill
 - all windows to be lockable in an open position



SITE LAYOUT & GROUND FLOOR PLAN

SCALE 1:100

AREA: DWELLING 1
ground floor 89.31m² 9.61sq
first floor 68.94m² 7.42sq
garage 24.94m² 2.67sq
porch 5.92m² 0.64sq
total 189.01m² 20.35sq

AREA: DWELLING 2
ground floor 98.37m² 10.59sq
first floor 76.50m² 8.23sq
garage 23.50m² 2.53sq
porch 3.17m² 0.34sq
total 201.54m² 21.69sq

AREA: DWELLING 3
ground floor 99.53m² 10.71sq
first floor 73.47m² 7.91sq
garage 23.26m² 2.50sq
porch 3.17m² 0.34sq
total 199.43m² 21.47sq

SITE ANALYSIS
site area 690.02m²
built up area 372.90m²
site coverage 54.04%
permeability 228.56m²
33.12%

LEGEND

- EV electric vehicle infrastructure
- DGW double glazed windows
- existing tree to be retained
- existing tree to be removed

PROPOSED:
UNIT DEVELOPMENT
AT:
26 HISPANO DRIVE
KEILOR DOWNS VIC 3038

DATE:
21/12/2022
PROJECT NO:
83353
AMENDMENTS:

SCALE:
1:100 @ A1
SHEET:
A04

LAZAROVSKI DESIGN
MELBOURNE:
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GEOLOG:
L187 LITTLE MALOP ST
GEOLOG VIC 3220
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SOUTH ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100



INTERNAL ELEVATION - SOUTH
SCALE 1:100



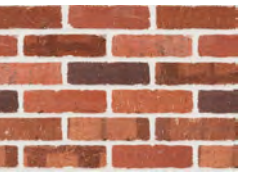
WEST ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100

* Add internal elevation - North

* all window head heights to match (all 240mm from CL)



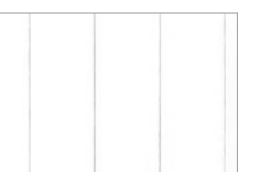
FB1
face brick - recycled look red brick



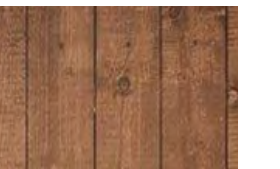
CR1
colourbond roof 2° pitch basalt



FC1
axon cladding - basalt



FC2
axon cladding - white



FC3
axon cladding - timber look



RE1
rendered finish - dark grey



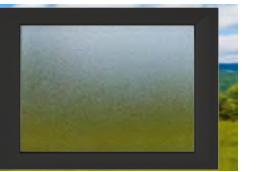
FGD
fascia, gutter & downpipes night sky basalt



GD1
garage door - night sky basalt



WD1 / SD1
aluminium windows & sliding doors - night sky



OBS
fixed or openable obscure glazing to 1700mm above FFL (openable max 150mm)

PROPOSED:
UNIT DEVELOPMENT
AT:
26 HISPANO DRIVE
KEILOR DOWNS VIC 3038

DATE:
3/12/2022
PROJECT NO:
83353

SCALE:
1:100 @ A1
SHEET:
A11

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