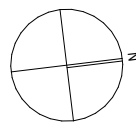




- ESD Notes:
- all rainwater tanks are to be connected to the toilets
  - taps to be supplied to all rainwater tanks for irrigation.
  - minimum average of 6.5 stars NATHERS rating to be achieved.
  - electrical switchboard to a minimum of 15 amp for any future electrical vehicle charging requirements to be provided in the garage of each dwelling.
  - all external lighting will be controlled by a motion detector.
  - maximum illumination power density of 4W/m2 in each dwelling.
  - use low VOC materials, paints, sealants & adhesives where possible and E1 or E0-grade engineered wood products.
  - recycle a minimum of 70% of construction waste and minimum 30% demolition waste be reused or recycled / diverted from landfill
  - all windows to be lockable in an open position



## SITE LAYOUT & GROUND FLOOR PLAN

SCALE 1:100

AREA: DWELLING 1
ground floor 87.72m <sup>2</sup> 9.44sq
first floor 68.13m <sup>2</sup> 7.73sq
garage 24.84m <sup>2</sup> 2.67sq
porch 8.04m <sup>2</sup> 0.85sq
total 187.54m <sup>2</sup> 20.10sq

AREA: DWELLING 2
ground floor 98.37m <sup>2</sup> 10.59sq
first floor 76.50m <sup>2</sup> 8.23sq
garage 23.50m <sup>2</sup> 2.53sq
porch 3.17m <sup>2</sup> 0.34sq
total 201.54m <sup>2</sup> 21.69sq

AREA: DWELLING 3
ground floor 99.53m <sup>2</sup> 10.71sq
first floor 73.47m <sup>2</sup> 7.91sq
garage 23.26m <sup>2</sup> 2.50sq
porch 3.17m <sup>2</sup> 0.34sq
total 199.43m <sup>2</sup> 21.47sq

SITE ANALYSIS
site area 690.02m <sup>2</sup>
built up area 369.61m <sup>2</sup>
site coverage 53.57%
permeability 254.50m <sup>2</sup>
68.86%

### LEGEND

- EV electric vehicle infrastructure
- DGW double glazed windows
- existing tree to be retained
- existing tree to be removed

### PROPOSED UNIT DEVELOPMENT

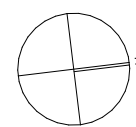
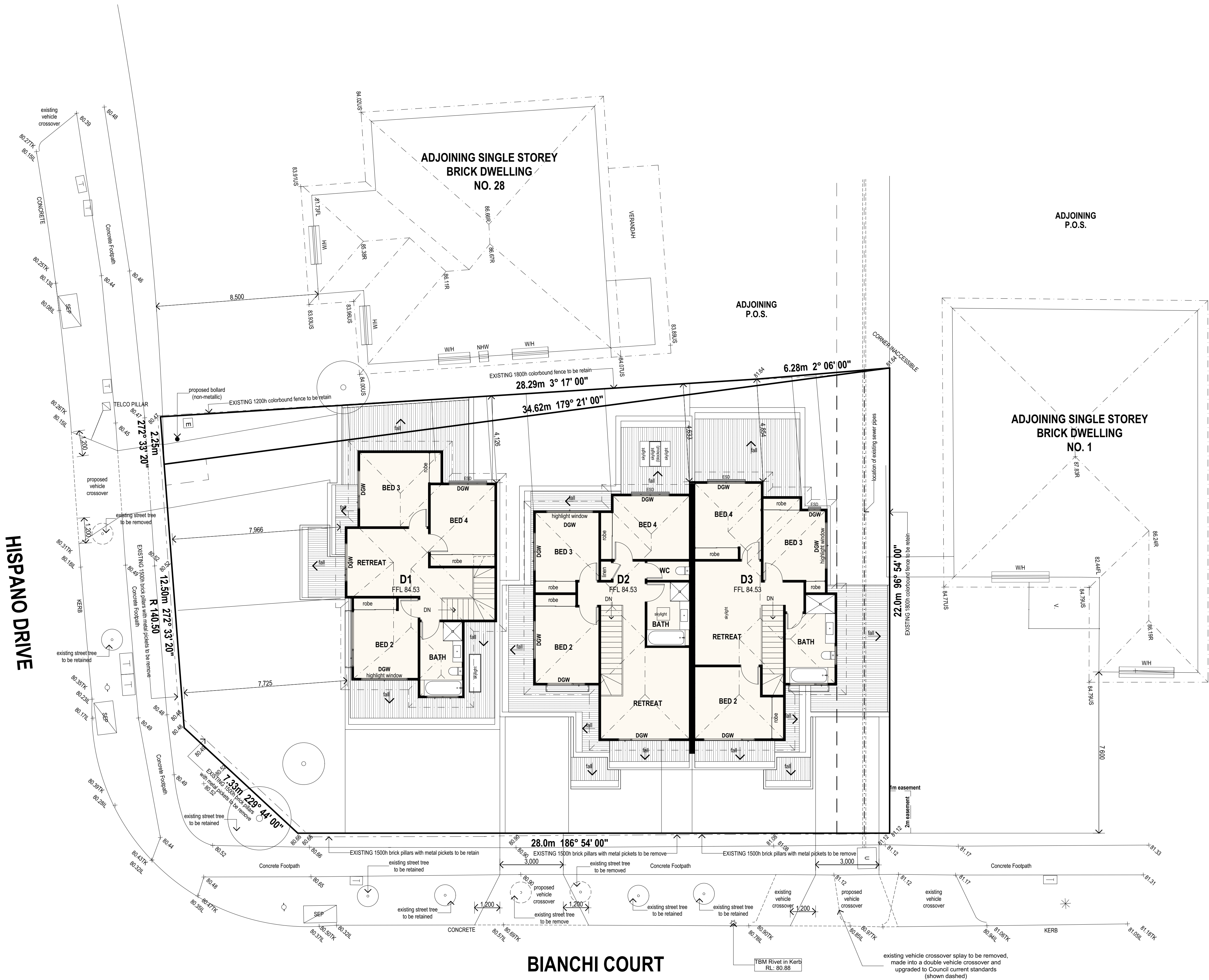
AT:  
26 HISPANO DRIVE  
KEILOR DOWNS VIC 3038

DATE: 2/02/2023  
PROJECT NO: 83353  
AMENDMENTS:

SCALE: 1:100 @ A1  
SHEET:

A04





## FIRST FLOOR PLAN

SCALE 1:100

### LEGEND

- EV electric vehicle infrastructure
- DGW double glazed windows
- existing tree to be retained
- existing tree to be removed

PROPOSED:  
UNIT DEVELOPMENT

AT:  
26 HISPANO DRIVE  
KEILOR DOWNS VIC 3038

DATE:  
2/02/2023

PROJECT NO:  
83353

AMENDMENTS

SCALE:  
1:100 @ A1

SHEET:

A05

LAZAROVSKI DESIGN  
MELBOURNE:  
101 MORAY ST  
SOUTH MELBOURNE VIC 3205  
hello@lazarovski.com.au | 1300 95 88 88 | CDP-AD 64532  
GEOLOG:  
1187 LITTLE MALOP ST  
GEOLOG VIC 3220  
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