



MAGNOLIA HOME INSPECTION SERVICES

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<https://www.magnoliahomeinspectionservices.com/>



TREC REI 7-6

1934 Pepperwood Ln
Houston, TX 77084



Inspector
Steve Vincent
TREC# 22294
713-231-3840
steve@mhis1.com



Agent
Lisa Joubert



PROPERTY INSPECTION REPORT FORM

Araceli Gonzales <i>Name of Client</i>	12/21/2023 8:00 am <i>Date of Inspection</i>
1934 Pepperwood Ln, Houston, TX 77084 <i>Address of Inspected Property</i>	TREC# 22294 <i>TREC License #</i>
Steve Vincent <i>Name of Inspector</i>	
Name of Sponsor (if applicable)	<i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted.

It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Type of Building: Single Family -

As with all buildings, ongoing maintenance is/will be required and improvements to the systems of the structure will be needed over time. The improvements that are recommended in this report are not considered unusual for a building of this age and location. Please remember that there is no such thing as a perfect construction. This inspection is NOT a pest inspection. We recommend consulting with a licensed pest inspector for the presence of, trapping, exclusions etc... of pests.

Occupancy: Vacant

In Attendance: Buyer, Family member, Buyer Agent

Temperature (approximate): 63 Fahrenheit (F)



Weather Conditions: Cloudy

Check Boxes:

Home Inspectors are regulated by the Texas Real Estate Commission Standards of Practice which dictate which systems must be inspected, the minimum standards of for the inspection, and allowable inspector limitations such as inspectors are not required to walk a roof if, in their opinion, it is not safe to do so.

In the report, each system or unit has four checkboxes. The following is an explanation of these checkboxes.

I - Inspected

NI - Not Inspected or partially inspected which may occur when full access to the system or unit is not available. For example, an inspector may not be able to inspect an entire roof because of a large amount of debris, snow, or height.

NP - System or unit is not present

D - system or unit has a deficiency. This does not necessarily mean the system or unit is deficient. For example, an AC unit may have a deficiency of dirty air filters. It does not mean the AC unit is deficient and needs to be replaced.

Every system or unit should be marked either I or NI.

I & D - system or unit was inspected and deficiencies found. If D is not checked, no deficiencies were found.

NI & NP - system or unit was not inspected because it was not present. NP by itself is also sufficient and means the same thing.

NI & D - system or unit was not inspected and deficiencies exist. For example, the inspector was able to inspect a portion of the roof and found deficiencies, but he was not able to inspect the entire roof.

NI & NP & D - system or unit was not inspected because it was not present and a deficiency exists. For example, the deficiency could be smoke detectors, which are required, are not installed.

New homes/Remodeled :

Homes that have been recently constructed, remodeled or painted may prevent the inspector from identifying preexisting issues. Some issues may not become apparent until routine operation.

Homes vacant :

Homes that have been vacant for an extended period of time may have new found issues that may become noticed after move in and systems are routinely operated. Due to the lack of routine operations some issues may not be detectable at time of inspections.

TREC:

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted.

Hyper link to TREC SOP & Limitations is provided below

[TREC SOP & Limitations](#)

Buyers Notice:

Keep in mind, as noted this report will have many items in it and they will be marked deficient.

This does not mean it is a bad house, some things are not correct. In these areas of the home, it may be a simple repair. If you have questions PLEASE GIVE US A CALL FOR CLARITY. We will be happy to answer any questions you might have.

What is a Home Inspection Video:

Your Upcoming Home Inspection



[Copy link](#)



Watch on YouTube

Videos :

[Videos](#)



Video
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Video
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Walkthrough Video:

Home Inspection Check List Upon Arrival : Verify agreement is signed

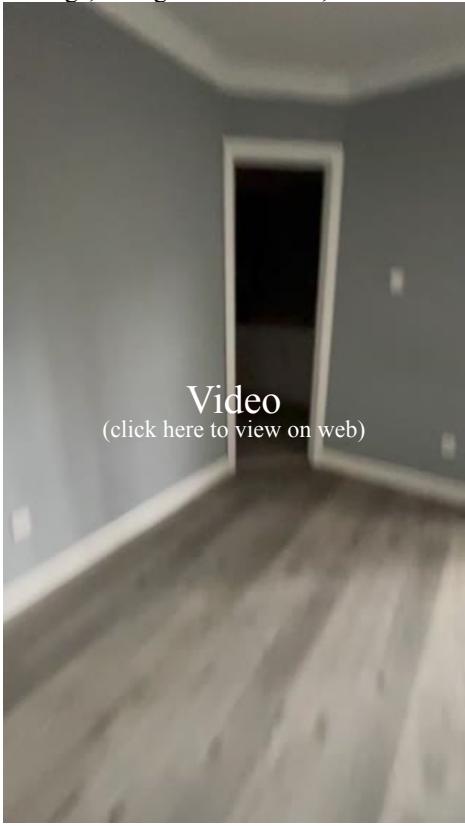
Home Inspection Check List Mid Point: Attended

Home Inspection Check List End of Inspection: Verify all ancillary services where performed, Reset all thermostat to original Settings, All appliances are off, All Sinks and bathtubs have been drained, All doors are locked, Electrical panel cover has been

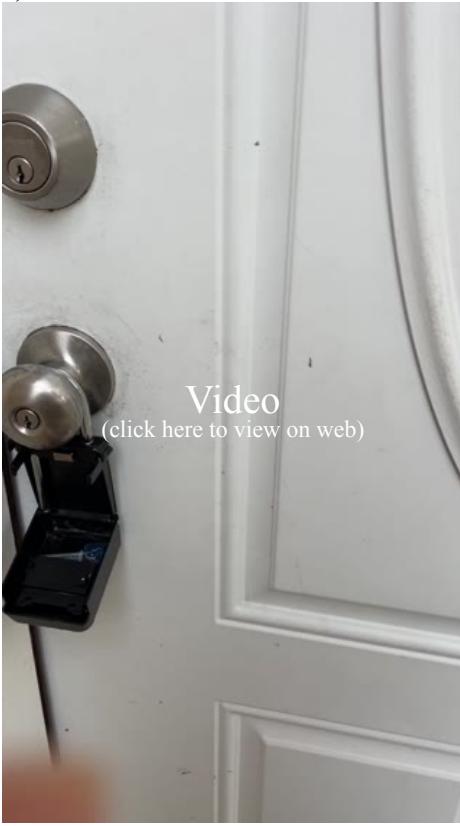
reinstalled, all tools are returned to vehicle, all lights are off, all garage doors are closed, all gates are closed, exit video has been sent to listing agent, everyone has exited the home

End of Inspection Calls: Both Attended

End of Inspection Video : Lights Off, Sink/Tub/Shower Water Off & Drained, Appliances Off, Thermostat Reset to Original Settings, Garage Door Closed, Doors Looked, Gates Closed



Video
(click here to view on web)



Video
(click here to view on web)

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I. STRUCTURAL SYSTEMS

A. Foundations

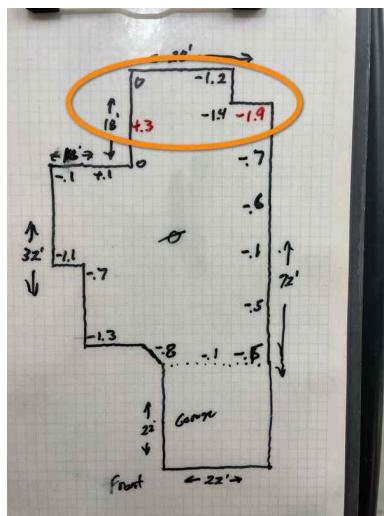
Foundation Performance:

The foundation performance opinion stated hereunder neither in any way addresses future foundation movement or settlement, nor does it certify floors to be level. Soil in the Houston Texas area is known to be unstable and unpredictable. Due to the expansive nature of the soil in this area, no warranty against future movement can be made. This inspector is not responsible for defects in the slab in areas that are not visible for inspection. The inspector does not perform any engineering studies or measurements such as geological, and hydrological stability test, soils conditions reports; wave action reporting; any form of engineering analysis. Only licensed engineers can conduct such evaluations. Should you have present or future concerns regarding the foundation's condition, you are strongly advised to consult with a licensed Professional Structural Engineer for further evaluation.

Type of Foundation(s): Concrete, Slab on Grade

Foundation is not performing as intended :

In our opinion, the foundation was not performing as intended by design. We recommend you retain a Professional Foundation Specialist for a second opinion concerning the performance of the foundation. The Professional you retain should have the specialized training to perform an engineering evaluation of the performance of the foundation. They can provide you with; 1) a second opinion concerning foundation performance, 2) an opinion as to whether the foundation repair/adjustments is structurally necessary and 3) options in addition to foundation repair and adjustments that the engineer deems applicable to this house



The Client Approved Elevation Plot:

Comments:

The following deficiencies (if any) with the **foundation** were observed on the day of the inspection of this structure and are noted below.

Limitation:

This inspection is one of first impression, and the inspector was not provided with any historical information pertaining to the structural integrity of the inspected real property. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

based on general observations made without the use of specialized tools or procedures. Therefore, the opinions expressed are one of apparent conditions and not of absolute fact and are only good for the date and time of this inspection.

The inspection of the foundation may show it to be providing adequate support for the structure or having movement typical to this region, at the time of the inspection. This does not guarantee the future life or failure of the foundation. The Inspector is not a structural engineer. This inspection is not an engineering report or evaluation and should not be considered one, either expressed or implied. If any cause of concern is noted on this report, or if you want further evaluation, you should consider an evaluation by an engineer of your choice.

Foundation not observed :

Areas of the foundation where not observed due to decking, high elevations of soil or heavy foliage. Recommended to correct elevation of soil and remove vegetation and reinspect.

Foundation limitation:

The inspection of the foundation may show it to be providing adequate support for the structure or having movement typical to this region, at the time of the inspection. This does not guarantee the future life or failure of the foundation. The Inspector is not a structural engineer. This inspection is not an engineering report or evaluation and should not be considered one, either expressed or implied. If any cause of concern is noted on this report, or if you want further evaluation, you should consider an evaluation by an engineer of your choice.

Magnolia Home Inspection Inspectors are not licensed foundation engineers. An elevation plot tool is used to determine the deflection of the foundation from a central point. Once deflection is determined, Magnolia Home Inspectors can render an opinion as to whether further assessment of the foundation by a foundation engineer is warranted. We cannot make any claim as to the whether the foundation is or is not performing as intended based upon a single elevation survey.

Ideally, several elevation plots would be taken over time to determine how the foundation is performing. We do not have access to prior elevation surveys if any were taken. This is a single measurement and cannot be used to indicate that the foundation has failed without further assessment by a foundation engineer.

Cosmetic issues (dry wall cracks, cracks in brick and mortar in brick veneer, will occur before structural issues occur. These are precursors to structural damage and should be taken seriously.

The foundation inspection is limited. The inspector does not pull up floor coverings, move furniture, measure elevations or propose major repairs. The inspector does not enter crawl space areas less than 18". The client should understand that inspectors are not professional engineers. This inspection is neither an engineering report or evaluation, nor should it be considered one. Our inspection is based on general observation of the foundation, the inspector's personal experience with similar structures and is performed without the use of specialized tools or procedures. If any cause for concern is noted in the report, or if you want further evaluation, you should consider contracting a structural engineer of your choice.

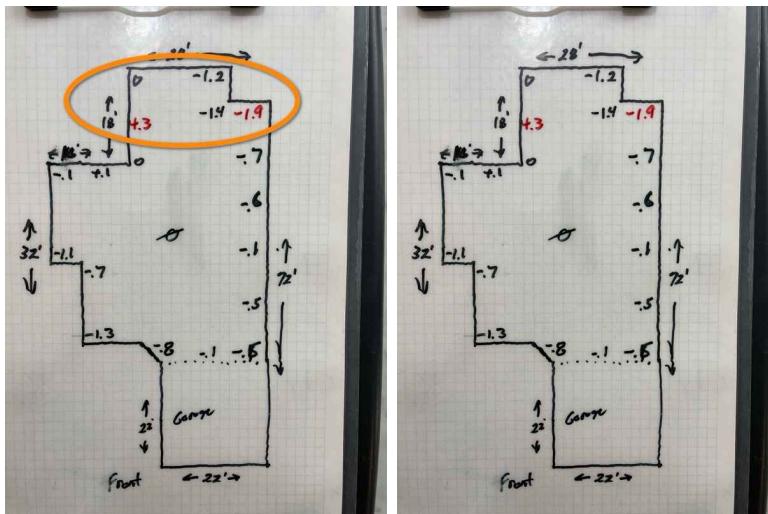
Expansive clay soils are common in Texas. The soil can expand in volume (swell) when wet and decrease in volume (shrink) when dry. This change in volume in the supporting soil can cause a corresponding reaction to a home's foundation. Ensuring a consistent moisture level in the soil should help in maintaining stability of the foundation.

1: Out of Limits

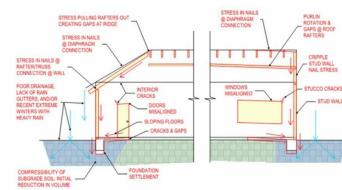
I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D****Repair/Replace**

Foundation was found to be out of limits (deflection from middle is 1 1/2 inches from one side of the house to the other or greater than 1 inch over 30 feet).

Recommend further evaluation by a foundation repair company or structural engineer.

**2: Foundation has settled.****Repair/Replace**

Cracks in the exterior walls, flooring, interior walls and ceiling can be indications that the foundation has settled. Due to issues noted at time of the inspection it is recommended to have further evaluated.



Example



Example

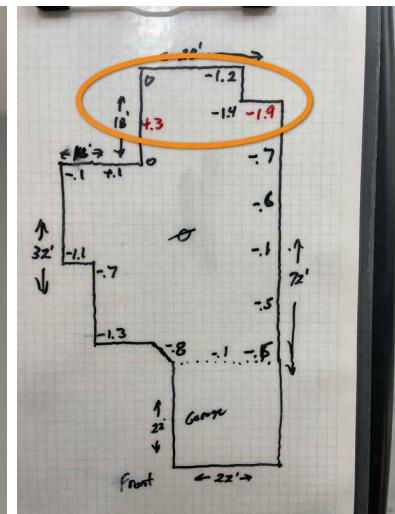
I=Inspected

NI=Not Inspected

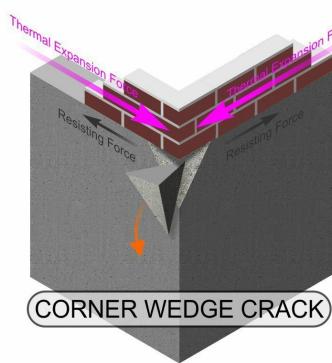
NP=Not Present

D=Deficient

I NI NP D

**3: Corner pops****Repair/Replace**

The corner of the foundation has broken apart. This has or can lead to the foundation no longer providing the proper support for the brick cladding. Recommend to repair.

**4: Post Tension Cable Ends Exposed****Repair/Replace**

Post tension cable ends were observed on the exterior of the foundation. This should be repaired to prevent corrosion.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example



Video
(click here to view on web)

5: Roots next to foundation**Repair/Replace**

Roots next to foundation. Roots can damage plumbing drains and foundations, recommend to repair.



Example Front



Example Front

B. Grading and Drainage

GRADING and DRAINAGE::

It is advisable to maintain at least 6 inches minimum of clear area between the ground and siding. Proper drainage is critical to the performance of the foundation. All grades should drop away from the structure at a rate of 6 inches for every 10 feet.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D***Comments:*

The following deficiencies (if any) with the **grading and drainage** were observed on the day of the inspection of this structure and are noted below.

Erosion Limitation:

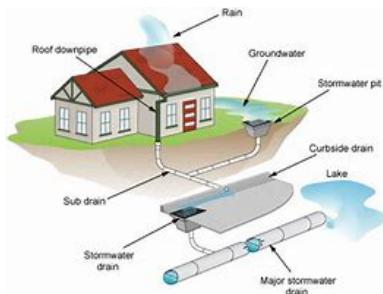
An evaluation of soil stability is beyond the scope of this inspection. As with many ravine lots, there is potential for erosion. If erosion problems are suspected, a soils engineer should be consulted to evaluate this condition and the remedies available for correction.

Drainage :

The drainage around the structure appears to be redirected around the home. We recommend that you monitor this area when it rains and make sure that the water is channeling away from this area as intended, if it is not there will be upgrades needed and you may consider adding a form of sub surface drainage in this area.

Sub Surface Drains:

There is a sub surface draining system around this home. It is unknown whether the drainage system works properly and will be only really be evident when there is a good rain. If the drains are having problems when it rains we recommend that you have a plumber come out and clean out the drain lines.

**1: Vegetation next to building or roof line.****Repair/Replace**

Vegetation needs to be trimmed back at least one foot away from exterior walls and roof line. The foliage was noted close to the structure, we recommend trimming all bushes away from the structure. Bushes and trees too close to the structure can prevent the wall from drying properly, their roots can affect the foundation and their branches can damage the structure.



Example Front Exterior



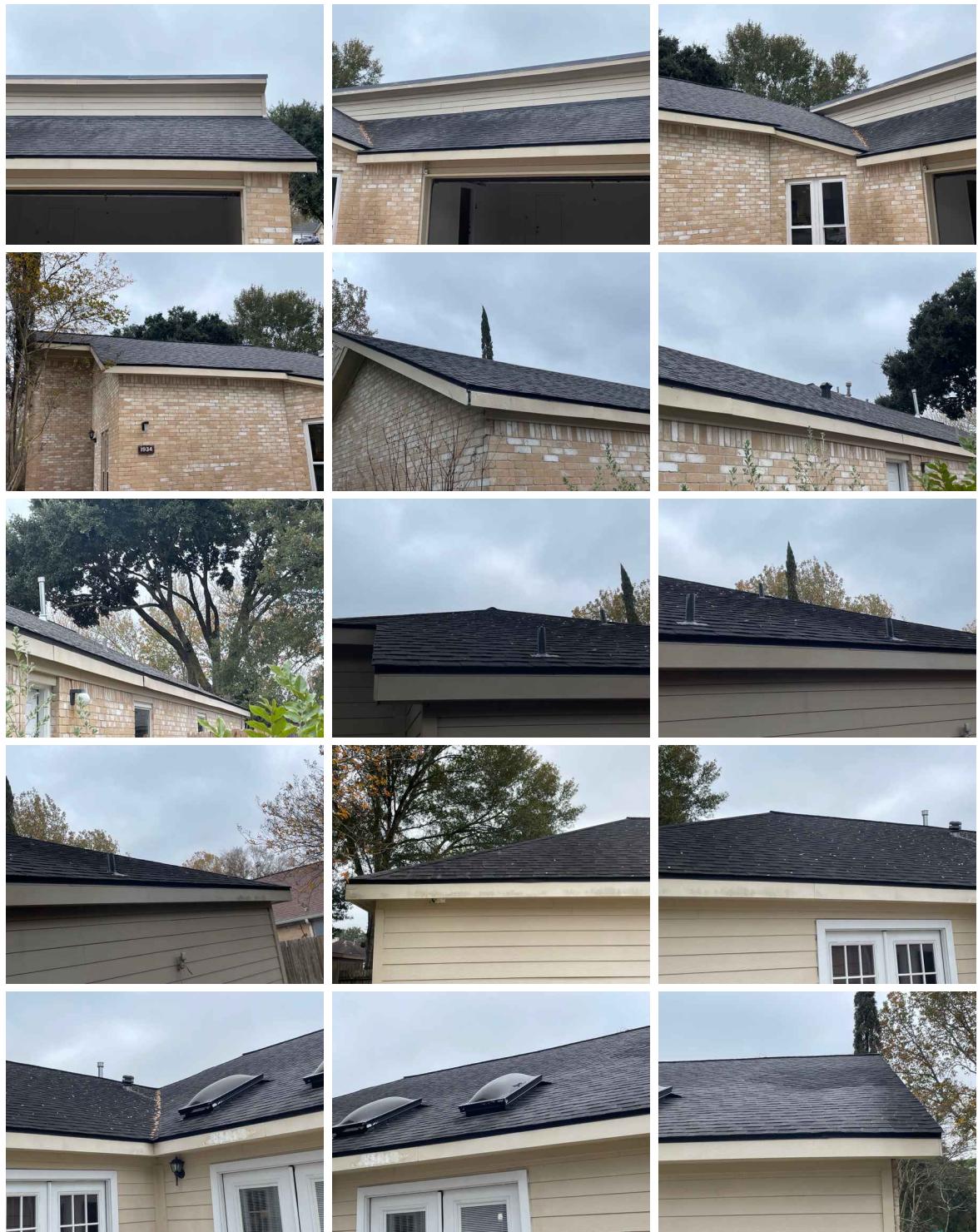
Example Left Exterior

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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C. Roof Covering Materials

Photos of Roof Slopes :



Types of Roof Covering: Asphalt

Viewed From: Ground, Roof

Drip Edge is installed:

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Inspector has determined that drip edge has been installed.



Roof Repair:

All Repairs Listed should be performed by a professional roof company. If repairs are made, we recommend that the professional roof company evaluate the entire roof system.

Bi-Annual inspection:

In general, you need to have your roof inspected at least 2 times per year. You can do self-checks on your roof to see if there is anything you notice in addition to hiring a professional to check it out for you. Once during the spring and once during the fall are perfect times to have this done.

Comments:

The following deficiencies (if any) with the **roof covering materials** were observed on the day of the inspection of this structure and are noted below.

Limited access :

The inspector is not required to walk 2 story roofs, roofs with steep slopes or roofs with biological growth\debris. When these conditions occur the inspector may use any of the following process to examine the roof. (ladder,ground, binoculars) Due to the nature of this type of visual inspection some conditions may not be identified. When these conditions occur it is advisable to have the roof further evaluated by a roofing company.

Roof:

The inspector does not speculate on the remaining life expectancy of the roof covering. Inspection of the fastening system at shingle tabs are not inspected as lifting shingles or tiles could damage the covering. Inspection of the roof surface, attic and interior spaces should not be interpreted as a certification that the roof is or will be free of leaks or of its insurability.

Drone Inspection:

A drone inspection is limited to areas visible based on the height and angle of the drone during the inspection. It is impossible for a drone to identify every deficiency with a roof, for this reason, we always recommend that you have a professional roofer confirm our findings and to examine the roof further if you have any concerns regarding the condition and overall performance of the roof.

1: Flashing General Damage / Lifted

Repair/Replace

The Flashing has general damage, holes, rusting, loose, lifted, etc. Damaged flashing can lead to water intrusions. Recommend to have flashing evaluated and repaired by a roofer.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Example



Example

2: Roof - Lifted shingles

Repair/Replace

Lifted shingle noted. Recommend to repair as needed by a professional roofer.



Example

3: Skylight leak

Repair/Replace

Stains noted around the skylight. Skylight appears to be leaking. Recommend to have further evaluated and repaired by a qualified roofer.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example



Example

4: Roof - Prior Repairs**Repair/Replace**

Prior repairs to the roofing are evident. This would suggest that problems have been experienced in the past. This area should be monitored. (repairs may be required if leaks noted)



Example

5: Skylights**Maintenance Required**

A skylight should be examined for general damage or leaks at least once a year. A skylight also requires careful, deep cleaning once or twice per year or as debris buildup requires removal. This cleaning involves removing any accumulated debris or films on the glass or plastic; cleaning is especially important with plastic skylights, as haze can form on the plastic and be difficult to remove should it be allowed to accumulate.

D. Roof Structures and Attics

Viewed From: Attic, Walkways only -

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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k.

Approximate Average Depth of Insulation: 4 Inches



Comments:

The following deficiencies (if any) with the **roof structure and attic** were observed on the day of the inspection of this structure and are noted below.

Storage:

If the house is occupied storage items in the attic may prevent full examination of the attic space. Once storage items are removed it would be advisable to perform a visual inspection of the area.

Insulation:

Insulation in attic can prevent identification of structural issues, leaks, etc. This becomes more so with spray foam insulation that is applied directly to gable walls and roof structure.

Not Accessible:

Some of the attic spaces were not safely accessible at the time of inspection. Only areas of the attic determined accessible by the inspector are inspected.



1: Attic Hatch Door Not Closing Properly

Repair/Replace

The attic hatch door is not closing shut properly. Repair and adjust as needed.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example

2: Attic Hatch Door Not Insulated**Repair/Replace**

To improve air conditioning efficiency and to prevent loss of conditioned air to the attic, the attic hatch door should be insulated.

R402.2.4, which says Access doors from conditioned spaces to unconditioned spaces (e.g., attics and crawl spaces) shall be weatherstripped and insulated to a level equivalent to the insulation on the surrounding surfaces. This code went into effect in 2016, previously built homes are grandfathered in, but are still recommended to improve the efficiency of the home.



Example

3: Attic hatch weather stripping is missing or damaged.**Repair/Replace**

I=Inspected

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NP=Not Present

D=Deficient

I NI NP D

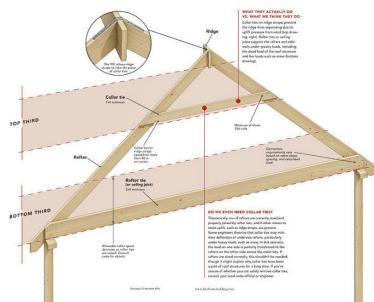


Example

4: General Damage found to soffits / facia

– Repair/Replace

Damaged soffit / facia noted. Recommend to replace damaged soffit as needed.



Example Front Right Exterior

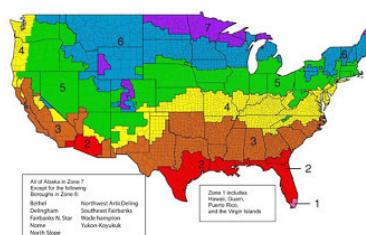


Example Right Exterior

5: Insufficient Insulation

Repair/Replace

Insulation depth was inadequate. Recommend a qualified attic insulation contractor install additional insulation.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Insulation Recommendations for New Wood-Framed Houses

Zone	Heating System	Attic	Cathedral Ceiling	Wall	Cavity	Insulation Sheathing	Floor
1	All	R30 to R49	R22 to R38	R13 to R25	R13 to R25	R13	
2	Gas, oil, heat pump	R30 to R60	R22 to R38	R13 to R15	R13 to R15	R13	
3	Gas, oil, heat pump	R30 to R60	R22 to R38	R13 to R15	R13 to R15	R19-R25	
4	Electric Furnace	R30 to R60	R22 to R38	R13 to R15	R13 to R15	R23	
5	Gas, oil, heat pump	R30 to R60	R22 to R38	R13 to R15	R13 to R15	R23	R25-R30
6	All	R49 to R60	R22 to R38	R13 to R21	R13 to R21	R5 to R6	R25-R30
7	All	R49 to R60	R22 to R38	R13 to R21	R13 to R21	R5 to R6	R25-R30
8	All	R49 to R60	R22 to R38	R13 to R21	R13 to R21	R5 to R6	R25-R30

Insulation Recommendations for Existing Wood-Framed Houses

Zone	Uninsulated Attic	Add Insulation to Attic:	Existing 3-4 inches of Insulation	Floor
1	R22 to R30	R30 to R49	R13	
2	R22 to R30	R30 to R49	R13 to R20	R13
3	R22 to R30	R30 to R49	R20 to R28	R19 to R25
4	R22 to R30	R30 to R49	R28	R25 to R30
5 to 8	R49 to R60	R38 to R49	R25 to R30	

Wall Insulation: When exterior siding is removed on an un-insulated wood-frame wall:

- Drill holes in the sheathing and blow insulation into the empty wall cavity before installing new siding.
- Zones 3-4: Add R5 insulative wall sheathing beneath the new siding.
- Zones 5-8: Add R5 to R6 insulative wall sheathing beneath the new siding.
- Insulation: When exterior siding is replaced:
- For Zones 4 to 8: Add R5 insulative sheathing before installing the new siding.



Example

6: Light Visible Through Sheathing / Siding**Repair/Replace**

While investigating the attic structure, outside light was visible. This condition suggests that openings exist in the sheathing and siding. Repairs should be made, as necessary.



Example Front

7: Roof Deck H Clips Missing**Repair/Replace**

Roof decking spacing H clips missing. The 1/8 inch gap is not present between sheets of roof decking. This can cause damage to the roofing system during climate change. Recommend to repair.

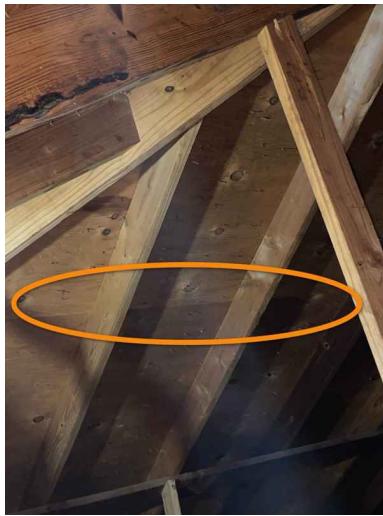
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Example

8: Soffit/Facia Caulking repairs

Repair/Replace

Caulking repairs to soffit/facia.



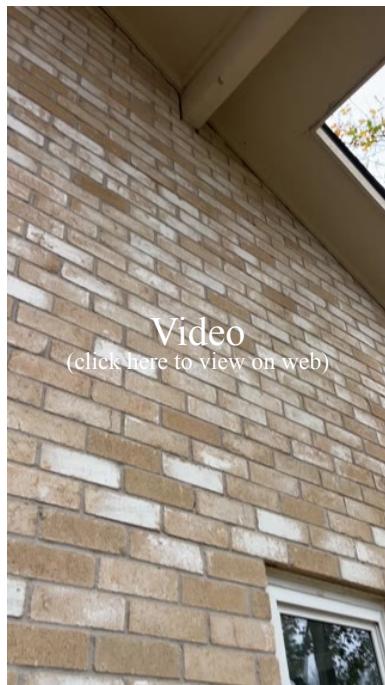
Example



Example Front Exterior



Example Front Exterior

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D****9: Soffit/Facia penetration points****Repair/Replace**

Soffit penetration points should be sealed to help prevent moisture and vermin intrusion.



Example Right Exterior



Example

 E. Walls (Interior and Exterior)*Comments:*

The following deficiencies (if any) with the **walls (interior and exterior)** were observed on the day of the inspection of this structure and are noted below.

Visible portions of the interior wall, floor, and ceiling surfaces were inspected looking for indications of moisture intrusion, settlement, or other significant defects. Cosmetic and minor deficiencies are not typically

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

reported on but may be noted while looking for significant defects. No reportable conditions were observed at the time of inspection unless otherwise noted in this report. In occupied homes, there may be areas that are not visible due to furniture and other belongings covering these areas up at the time of inspection. Do know that we can not move personal belongings and there may be areas that will show damage after the home is empty.

Walls:

Only readily accessible areas clear of furniture and occupant belongings are inspected. Observations are related to structural performance and water penetration only. The inspection does not include cosmetic damage. It is recommended that all surfaces be kept well sealed. If the home has stucco cladding, the siding should be monitored for cracks or separation in transitional joints and repaired. A home inspector's visual inspection of stucco clad homes may not reveal the presence of water infiltration and structural deterioration. It is recommended that EIFS stucco clad homes be further evaluated by a qualified EIFS or stucco repair contractor. The inspection does not cover any issues that are considered to be environmental. Such as, but not limited to, lead based paint, asbestos, radon, mold, mildew, fungus, etc.

Exterior Claddings:

The inspector is unable to determine the condition of the walls behind the exterior claddings this includes wood, cement boards, aluminum/vinyl siding, brick/stone veneer, metal and stucco.

1: Caulking repairs needed**Repair/Replace**

Caulking repairs needed around exterior siding and trim. Repairs are not limited to the photos provided.

International Residential Code IRC R703.10.2 requires lap siding to have:

1. A minimum vertical overlap of 1 ¼ inch (31.75 mm), and
2. One of the following butt joint treatments:
 - a) Joint Flashing,
 - b). Caulking, or
 - c). “H” jointer covers



Example



Example

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Example



Example

2: Cracks in brick\stone

Repair/Replace

Cracks found in bricks\ stone. Recommend to repair as needed.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example Front Exterior



Example Front Exterior

**Video**
(click here to view on web)**3: Cracks in mortar.****Repair/Replace**

Recommend to repair cracks in mortar.



Example Front Exterior Wall



Example Front Exterior Wall



Example Front Exterior

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



4: Cracks

Repair/Replace

Cracking was observed in wall structure. Recommend to seal cracks and monitor.



Example Living Room

5: General Damage found to Siding and Trim

Repair/Replace

General damage was found to siding and trim. Recommend to repair as needed.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example



Example



Example

**6: Exterior paint\stain****Repair/Replace**

The exterior/interior of the house is due to be painted\stained.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example

7: Penetration points**Repair/Replace**

Recommend to seal all penetration points.



Example Rear Exterior Wall



Example Rear Exterior Wall

8: Seal Wall/Ceiling Fixtures**Repair/Replace**

Note: Modern building practices recommend sealing around components that are mounted on or pass through the exterior walls/ceilings to limit moisture and insect intrusion.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Example

9: Gaps in mortar

Repair/Replace

Recommend to repair gaps in mortar.



Example Front Exterior Wall

10: Siding/trim-rot/moisture damage

Repair/Replace

Siding and/or Trim had signs of rot/deterioration and moisture damage. Recommend further evaluation by qualified, siding, professional.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example Garage Exterior



Example Garage Exterior

 F. Ceilings and Floors*Comments:*

The following deficiencies (if any) with the ceilings and floors were observed on the day of the inspection of this structure and are noted below.

Visible portions of the interior wall, floor, and ceiling surfaces were inspected looking for indications of moisture intrusion, settlement, or other significant defects. Cosmetic and minor deficiencies are not typically reported on but may be noted while looking for significant defects. No reportable conditions were observed at the time of inspection unless otherwise noted in this report. In occupied homes, there may be areas that are not visible due to furniture and other belongings covering these areas up at the time of inspection. Do know that we can not move personal belongings and there may be areas that will show damage after the home is empty.

*Floors:***FLOORS:**

Observation of floors are related to structural performance and water penetration only. The inspection does not include obvious damage to carpets, tiles, wood, laminate or vinyl flooring.

1: Ceiling Previous repairs **Maintenance Required**

Previous repairs to ceiling, possibly due to moisture damage. No signs of moisture damage at time of inspection. Recommend to monitor.

Ceiling Previous repairs

check_box_outline_blankDefault to checked? Default Locationedit Default Text Inline StyleXLargeLargeNormalSmallLightSmall/LightBoldItalicUnderlineColorsOrdered ListUnordered ListInsert LinkInsert ImageInsert VideoInsert TableCode ViewClear FormattingPrevious repairs to ceiling, possibly due to moisture damage. No signs of moisture damage at time of inspection. Recommend to monitor.Enter text here

Add Default Photo

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example Garage



Example Front Guest Bedroom



Example Garage



Example Garage



Example Hallway

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example Living Room



Example Living Room



Example Living Room



Example Kitchen

3: Grout Missing/Damaged**Repair/Replace**

The grout was missing or damaged. Recommend repair to prevent further deterioration.



Example Living Room

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Example

G. Doors (Interior and Exterior)

Thermal Photos: Front Door



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

*Comments:*

The following deficiencies (if any) with the **doors (interior and exterior)** were observed on the day of the inspection of this structure and are noted below.

When reading this section of the inspection if there are no comments below, the doors were operating as intended at the time of inspections and may have had minor paint and caulking blemishes that are cosmetic in nature and can be repaired as a maintenance item. In this report, there may also be references to doors not operating properly.

If deficiencies are noted below we recommend that the doors to be further evaluation.

All locks on the home should be changed or rekeyed before moving in. After new locks have been installed, ensure that jambs at striker plates are cut deep enough to allow new deadbolt locks to fully engage and lock. Deadbolt locks are not locked unless the bolt is fully extended.

*Doors:***DOORS:**

Cosmetic items and obvious holes are not included in this report. It is common in the course of seasonal climate change that doors may bind mildly or the latches may need adjustment.

1: Caulking repairs**●Repair/Replace**

Caulking repairs need around the exterior of door trim and casings. Repairs not limited to the photos provided.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Example



Video
(click here to view on web)

2: General Damaged Door(s)

Repair/Replace

General damaged or non-functioning doors should be repaired.



Example Flex Room Exterior Door

3: Damaged / Missing weather stripping or door sweep

Repair/Replace

Recommend to repair damaged / missing weather stripping or sweep as needed.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

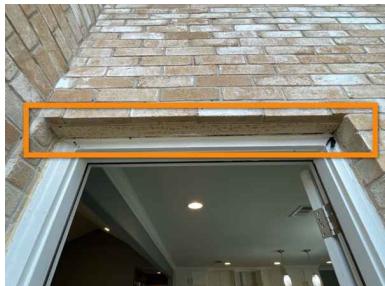


Example

4: Door Lintels Rusting

Repair/Replace

Door lintels starting to rust. Recommend to treat for rust and repaint.



Example

5: Door Sticks

Repair/Replace

Multiple doors stick and are tough to open. Recommend repair.

Here is a helpful [DIY article](#) on how to fix a sticking door.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Example Flex Room

6: Garage door self closing hinges

⚠ Safety Hazard

The garage door needs to have self closing hinges installed to meet national fire code.



Example

7: General loose, missing or damage to door hardware / Knob

☛ Repair/Replace

Damaged, loose, missing or non-functional door hardware/knob should be repaired.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Example Flex Room Exterior Door

8: Missing or damaged Threshold

Repair/Replace

Missing or damaged threshold. Recommend to repair.



Example Right Exterior Door

9: Garage Door Warning Labels

Safety Hazard

- warning labels. The following four warning labels should be present on or around garage door assemblies:
 1. a spring warning label, attached to the spring assembly;
 2. a general warning label, attached to the back of the door panel;
 3. a warning label attached to the wall in the vicinity of the wall control button, and;
 4. a tension warning label, attached to the garage door's bottom bracket.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example

H. Windows

Windows :

The windows were inspected by operating a representative number (I will try and operate every window in the home, but personal belongings may block accessibility to some). They are inspected by testing their operation, looking for damage, broken glass, failed seals, etc. No reportable deficiencies were present unless otherwise noted in this report.

Comments:

The following deficiencies (if any) with the **windows** were observed on the day of the inspection of this structure and are noted below.

Cold Weather Limitation:

During cold weather, condensation and rainbowing between panes of glass, which indicate leaking seals, may not appear at the time of inspection and may appear later during when the weather is warmer. The report can only contain conditions at time of inspection.

Windows Limitation::

All accessible windows are operated normally to determine functionality. Windows that are blocked by occupant storage / furnishings are not lifted. Double pane window seals may be broken or have failed without having a visible amount of condensation build up between the panes. Obviously, fogged windows are noted when observed but complete inspection is not possible due to light conditions, installed screens, dirt on surfaces and rain at time of inspection.

Solar Screens:

Solar screens limit the visual inspection of windows.

1: Damaged Windows

Repair/Replace

One or more windows appears to have general damage, but are operational. Recommend a window professional clean, lubricate & adjust as necessary.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example Rear Guest Bedroom

2: Rusted lintels**Repair/Replace**

Rust window lintels need to be sanded and treated for rust and the repainted.



Example

3: Windows would not latch**Repair/Replace**

One or more windows would not latch when testing. Recommend to repair as needed.



Example Front Guest Bedroom

 I. Stairways (Interior and Exterior)*Comments:*

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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The following deficiencies (if any) with the **stairways (interior and exterior)** were observed on the day of the inspection of this structure and are noted below.

J. Fireplaces and Chimneys

Comments:

Anytime the fireplace is repaired the entire fireplace and chimney should be evaluated.

Chimney cap:

The chimney cap may not be inspected due to one of the following reasons (height of roof, pitch of roof, unsafe access) it is advisable to have further evaluated. If the roof is unwalkable, the height prevented examination at time or inspection or if the buyer is aware of any known issues.

Flue:

By nature the design and height can prevent the examination of the interior of the flue pipe. The inspector is able to only report on the condition of the flue for areas that are visible at time of inspection. This can be limited to the firebox and the cap, if the cap was accessible.

1: Annual service

 **Maintenance Required**

Fireplaces and stoves should be serviced and inspected every year for proper operation by a qualified repair man. We perform a level 1 No Changes or Problems Have Occurred to the Fireplace, inspections for chimneys under continued service that operate under the same conditions, with the continued use of the same appliance. In these instances, we'll check the chimney and flue for basic structural soundness and examine the appliance installation and connections. We'll also verify that your chimney is free of obstruction and combustible deposits.

If you feel like you need to go further with an inspection you may want to consider a level 2 or level 3 inspection.

- Level 2 – System Has Changes, Suspected Issues. These types of inspections are typically warranted if you suspect an issue with your system, if there has been an event that may have caused damage, or if you have made any changes to the system since your last inspection. In these situations, a technician thoroughly checks all accessible parts of the chimney system, and we'll examine the internal surfaces and joints of all flue liners within the chimney for issues.

- Level 3 – Hidden Hazards That Require Special Tools

Whenever there is a suspected safety issue in a part of your system that cannot be viewed during a Level 1 or 2 inspection, a Level 3 inspection is recommended. These can be much more invasive and could require removing certain system components (chimney crown, interior chimney wall, etc.) where necessary. We work closely with our customers during these inspections to discuss all work thoroughly before we begin, so there are no surprises.

K. Porches, Balconies, Decks, and Carports

Comments:

The following deficiencies (if any) with the **porches, balconies, decks, and carports** were observed on the day of the inspection of this structure and are noted below.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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M. Cabinets

N. Fences

FENCES::

Fences are not inspected unless a swimming pool is present. Retaining walls are only checked if failure would impede the home's structural integrity.

1: Damaged fence (post,pickets, framing,gates)

 **Repair/Replace**

General damaged was found to the fence or the operation of the gate. Recommend to have repaired.



Example

2: Gate not opening/closing properly

 **Repair/Replace**

The gate is not opening/closing properly due to the latch needing to be adjusted.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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Example

 O. Driveway, Sidewalks**1: Driveway/sidewalk/porch/garage cracks**

Repair/Replace

Cracks noted in driveway/sidewalk/porch/garage recommend to seal cracks and monitor.



Example



Example



Example

2: Vegetation in between pavers / in cracks in concrete

Repair/Replace

Recommended to remove vegetation as needed.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Example

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

II. ELECTRICAL SYSTEMS

- ☒ ☐ ☐ ☒

A. Service Entrance and Panels

Documentation Photos: Photo With Cover On, Photo With Cover Off, Thermal Imaging Photo, Breaker Label

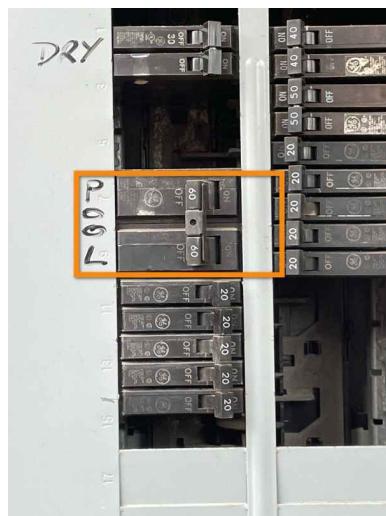


Comments:

All Repairs Listed should be performed by a licence electrician. Home inspectors are not licence electrician, for this reason when repairs are performed the electrician should evaluate the entire electrical system.

Breaker in off position:

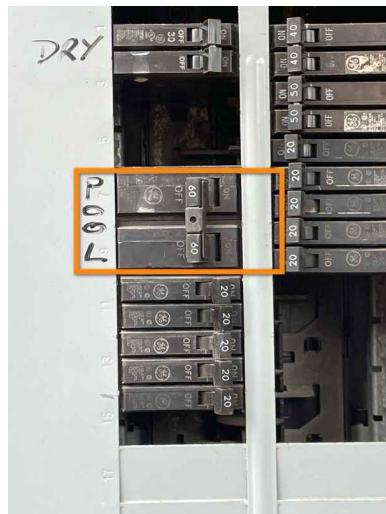
The inspector is not responsible for turning on breakers that are in the off position at the time of the inspection or reporting the operations of said breakers. The buyer is advised to inquire about any breakers that may be off with the builder/home owner.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example

1: Breaker off at time of inspection**Repair/Replace**

Breakers off at time of inspection. Recommend to inquire about functionality with existing homeowner or builder.



Example

2: Further evaluation and repair**Repair/Replace**

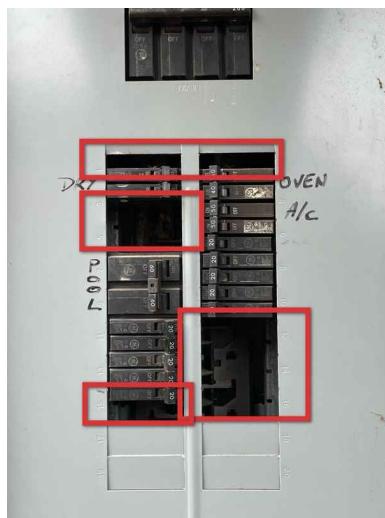
The electrical panel needs to be further evaluated and repaired by a license electrician.

3: Missing knockout plate**Safety Hazard**

Need to install a knockout plates.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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Example

4: Panel Missing Labels**Repair/Replace**

Electrical panel does not have labels. Recommend a qualified electrician test and properly label all switches.



Example

5: Antioxidant paste**Repair/Replace**

Conductor termination compounds are for use on splice and termination connections of aluminum, copper-clad aluminum and copper conductors where used to retard oxidation at the conductor/connector interface.

These compounds do not have a deleterious effect on the conductor metal, insulation or equipment when used in accordance with the manufacturer's installation instructions. Reference should be made to the product label located on the smallest unit container for specific instructions as to the proper use of the compound.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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Example

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Romex, Copper

Comments:

All Repairs Listed should be performed by a licence electrician. Home inspectors are not licence electrician, for this reason when repairs are performed the electrician should evaluate the entire electrical system.

Photo Sensor Lights:

Outdoor photo sensor lights that allow lights to come on after dusk cannot be tested during a day time inspection. As a result, our company will not be liable if these are found defective.

Landscape low-voltage/lighting features not in scope:

Various landscaping lighting and low-voltage accessories were present at this property, but are not within the scope of the home inspection. Recommend inquiring with seller for further evaluation by qualified landscaping, professional for more information on these systems.

1: Cover Plates Missing

⚠Safety Hazard

One or more receptacles are missing a cover plate. This causes short and shock risk. Recommend installation of plates.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example Garage



Example Kitchen

2: Electrician Recommended**Repair/Replace**

Due to the number of issues found and the types of conditions noted an electrician is recommended to further evaluate and repair the branch circuits.

3: Not GFCI Protected**Repair/Replace**

No GFCI protection present. Upgrading to GFCIs is not required until a major remodel is done which requires electrical work. GFCI code was not grandfathered in. Where GFCIs Are Required. GFCI protection is required for 125-volt to 250-volt receptacles supplied by single-phase branch circuits rated 150 volts or less to the ground. GFCI receptacles are required in bathrooms, garages, crawl spaces, basements, laundry rooms, kitchen's , and areas where a water source is present.

Here is a [link](#) to read about how GFCI receptacles keep you safe.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example Exterior Outlets



Example Laundry



Example Guest Bathroom



Example Primary Bathroom



Example Kitchen Outlets

4: Glass Globes Missing**Repair/Replace**

The glass globes is missing. Recommend to repair.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

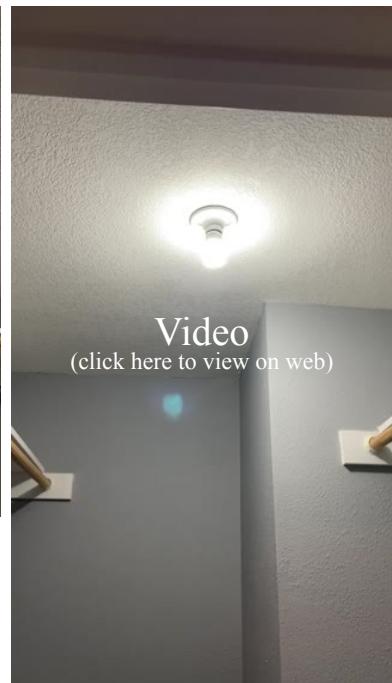
I NI NP D



Example Laundry



Example Primary Bedroom Closet



Video

(click here to view on web)

5: Light fixture Damaged

Repair/Replace

The damaged light fixture should be repaired or replaced.



Example Front Exterior

6: Light Inoperable

Repair/Replace

One or more lights are not operating. New light bulb possibly needed.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Example Front Exterior



Example

7: Light / Outlet inoperative due to tape or note

 Repair/Replace

A light switch / outlet was not operated due to tape or note attached to switch. Recommend to inquire about function of switch and why the switch is tapped or has a note to not operate.



Example Garage

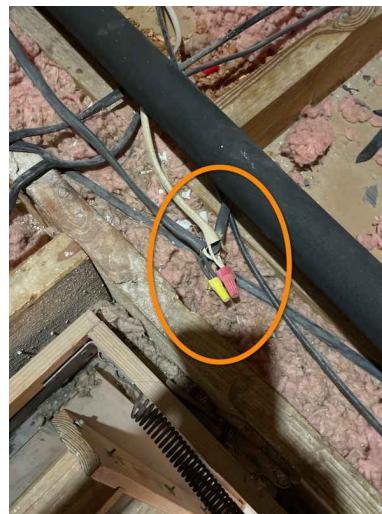
8: Missing junction box

 Repair/Replace

Electrical wires are required to terminate inside a enclosed electrical box. Recommend to repair.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example Garage



Example Attic

9: Outlet has Open Ground**Repair/Replace**

Outlet has open ground. Open grounds can prevent GFCI receptacles from tripping when tested. Repair by electrician and then retest any related GFCI receptacles as needed.



Example Living Room



Example Dining Room



Example Dining Room

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Example Kitchen

10: Outlet Loose

Repair/Replace

An outlet is loose and should be resecured.



Example Rear Exterior Wall

11: Outlet missing

Repair/Replace

No electrical outlet present. Recommend installation by licensed professional.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example Kitchen Island



Example Garage

C. Other

D. Smoke/ Carbon Monoxide Detectors

Informational :

The following deficiencies (if any) with the **smoke, fire, and carbon monoxide detectors** were observed on the day of the inspection of this structure and are noted below.

we recommend checking the alarms quarterly and replacing the batteries at least every six months to make sure they operate properly.

Smoke Alarm Information:

Smoke Alarms Information:

Smoke alarms are required for each sleeping room and (1) outside of each sleeping room(s), and one per level including habitable attics and basements. It is recommended to test the smoke alarms before spending your first night in the home, and monthly thereafter. Several other recommendations relating to smoke alarms and fire safety are recommended by the NFPA, and can be found here:

<http://www.nfpa.org/public-education/by-topic/smoke-alarms/installing-and-maintaining-smoke-alarms>

Carbon Monoxide Detectors :

Carbon Monoxide Alarm Required

Attached garage and gas appliances present.

Due to the home having an attached garage and/or gas appliances, the installation of Carbon Monoxide (CO) detectors are required outside of each sleeping area. More information about CO detectors and their requirements can be found here: [Info about CO](#)

Smoke/Carbon Monoxide Detectors Not Tested Due to Ceiling Height:

Smoke alarms are not tested during inspections or in areas when a house has ceiling heights that are above 10 feet.

1: Smoke/Carbon Monoxide Detector Missing

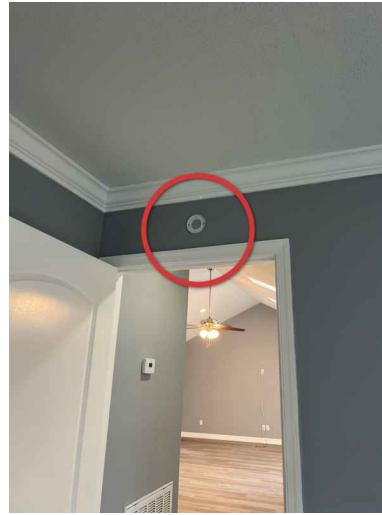
⚠ Safety Hazard

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Smoke/Carbon monoxide detector is not present at time of inspection. Recommend installation before closing.



Example Front Guest Bedroom



Example Primary Bedroom

2: Smoke Detector Failed Test**⚠Safety Hazard**

Smoke detectors failed to sound when tested. Recommend to replace batteries and retest.. further repairs may be required.



Example Hallway



Example Rear Guest Bedroom

3: Replace Smoke Detectors**🔧Maintenance Required**

Replace the entire smoke alarm every 10 years.

 E. Doorbell

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

1: Door Bell not Functioning

Repair/Replace

The doorbell chime does not appear to be functioning properly. recommend to repair



Example

F. Generator

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems: Forced Air, Gas-Fired Heat

Energy Sources: Natural Gas

Manufacturer Info: Goodman -

Photos of manufacturer labels containing model and serial number will be provided if the label is visible and accessible.

Comments:

All Repairs Listed should be performed by a licence electrician. Home inspectors are not licence electrician, for this reason when repairs are performed the electrician should evaluate the entire electrical system.

Unit 1: Thermal Image of Register, Photo Of Evaporative Unit & Drain Pan, Photo of Furnace



1: Filter requires replacement

●**Repair/Replace**

The furnace filter appears to be beyond its expected lifespan. Recommend replacement.



Example

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
----------	-----------	-----------	----------

2: Flex Line Penetrates Cabinet**Repair/Replace**

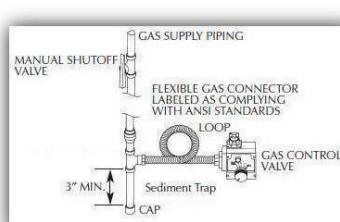
Flexible tubing should not penetrate the furnace cabinet. Recommend installing a proper fixture.



Example

3: Missing Sediment trap**Repair/Replace**

Recommend to install a sediment trap on the gas line.



Example

4: Furnace Housing Damaged**Repair/Replace**

Damage to furnace housing.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example

B. Cooling Equipment

Type of Systems: Electric, Central Air Conditioner -
3+

Manufacturer Info: Ruud -

Photos of manufacturer labels containing model and serial number will be provided if the label is visible and accessible.

Comments:

All Repairs Listed should be performed by a licence electrician. Home inspectors are not licence electrician, for this reason when repairs are performed the electrician should evaluate the entire electrical system.

Unit 1: Photo or Manufactures Label, Photo of Thermoset Start of Testing, Thermal Imaging or Register, Thermal Imaging of Return Air, Photo of Thermostat End of Testing -
19

Balance test results



Living Room Start



I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Living Room End

Dampners Not Tested:

If HVAC duct dampners are installed, they were not tested because, when they fail, they will fail in the open position.

Evaporative unit drain lines:

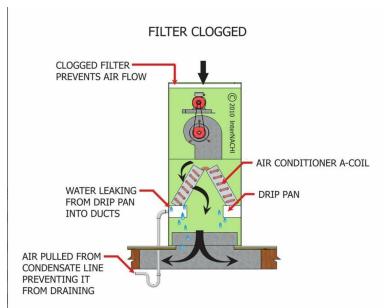
Evaporative unit drain lines are not part of the home inspection. If the buyer would like to have the drain lines inspected and tested a licensed HVAC technician should be hired.

Dehumidifier Not tested :

Testing of dehumidifiers is outside the TREC scope.

1: Air filters**Maintenance Required**

Prior to moving in it is recommended to replace air filters. As a general rule, you'll want to replace pleated air filters and furnace filters in your home every 90 days. The longer the filter is in place, the more dirt, dust and allergens are trapped clogging the filter and decreasing their efficiency.

**2: Bi-Annual service****Maintenance Required**

You should have a regular HVAC tune up (one AC tune up, one furnace tune up) twice a year, typically at the beginning of each heating and cooling season, to ensure that your system is working efficiently before the weather gets too hot or too cold. However, maintenance may be scheduled at any time. When maintenance is performed the technician should perform a complete system evaluation and cleaning of the HVAC system.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

If the system has not been cleaned or serviced in the last 6 months servicing is recommended. Recommend to inquire on maintenance history from existing homeowner.

3: Damaged insulation on lines

Repair/Replace

Insulation on condensing unit lines and evaporative unit drain lines break down over time. We recommend that the home owner replace any damaged, missing or degrading insulation on the HVAC lines prior to move in.

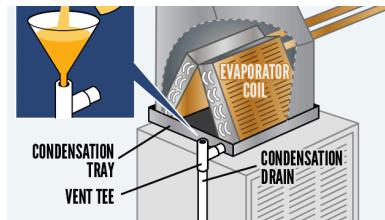


Example

4: Flush drain pipes

Maintenance Required

Recommend to flush drain pipes to kill any harmful bacteria or buildup and make sure your system continues to operate at peak performance by cleaning your drain line every 30 days.



5: Locking caps required

Repair/Replace

Residential, multifamily, and townhouse developments may be subject to significant fines stemming from the lack of enforcement of the 2009 changes to the International Residential Code (IRC) M1411.6 and International Mechanical Code (IMC) 1101.10 of the International Code Council (ICC), which require that all accessible access HVAC ports to be secured with tamper-resistant caps.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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Example

6: Evaporative Drain Pan Debris**Maintenance Required**

It is not uncommon for insulation or other debris to enter into the drain pan. We recommend to clean drain pan upon move in and then reinspect annually.

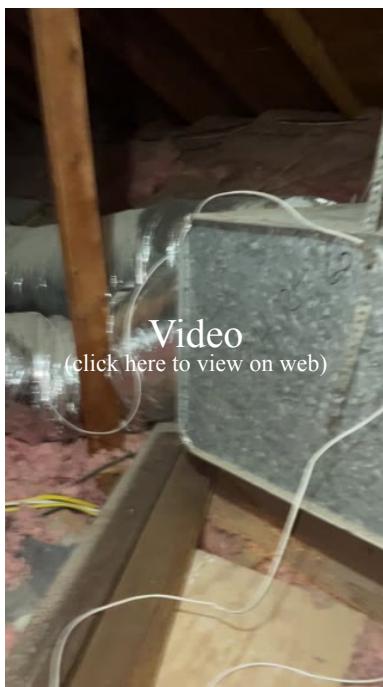
C. Duct Systems, Chases, and Vents

Comments:

All Repairs Listed should be performed by a licence professional. Home inspectors are not licence HVAC technicians. For this reason when repairs are performed the professional should evaluate the entire HVAC system.

Plenum- limited access:

The plenum could not be inspected in its entirety. This can be due to location, storage etc. See attached video

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D****1: Ductwork Life Expectancy****Repair/Replace**

The ductwork in most homes lasts between 10 and 15 years before problems arise. If your ducts are more than 15 years old, have them replaced before major issues such as pests, gaps, or even collapsed sections of ducts appear.

2: Clean Air Registers**Maintenance Required**

Air Registers need cleaning.

3: Clean Ductwork**Maintenance Required**

Duct cleaning is recommended. Mold is always present in your buildings and your HVAC system to the extent that it is present in your building's environment. There will be more mold in humid weather and less in dry weather. Just like any other HVAC system, air ducts require regular maintenance to ensure maximum efficiency. As a general rule of thumb, the National Air Duct Cleaners Association (NADCA) recommends air duct cleaning every 3 to 5 years. If registers appear dirty or if the existing duct system has not been serviced in the last 3 years cleaning is recommended. Recommend to inquire on maintenance history from existing homeowner.

4: Duct work not supported**Repair/Replace**

The ducts are not supported. The ducts should be suspended from the rafters/trusses. Recommend to repair.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example

5: Mildew/mold like substance at register**Repair/Replace**

Mildew/mold like substance at register. Recommended to have duct work professionally cleaned



Example



Example

6: 4% Duct leakage is the Goal**Maintenance Required**

Regular duct testing, whether for new or existing systems, not only keeps the air clean, but at the right temperature, and that makes for happy, productive occupants. Duct work tends to have leaks where unions occur, at register boxes and at the plenum. The goal is to have 4% or lower leakage from your duct system. By sealing your ducts you will probably see lower energy bills – noticeably lower in many cases! You may also experience better air distribution throughout your home and, if you had a lot of leakage at the return, better indoor air quality. This will also help prevent mold/mildew from occurring both in the ducts and at the connections. It is not in the realm of a home inspection to test the seals in the duct system and mold/mildew may not be visible at time of inspection. If you have concerns with the duct work we recommend to reach out to an HVAC licensed technician to have a blaster test and a pressure test.

PERFORM A DUCT BLASTER TEST.

A blaster test is the introduction of smoke into the ducts and then the HVAC technician looks for areas where the smoke leaks out of the ducts.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

PERFORM A PRESSURE TEST

Is a pressure test to measure actual duct leakage.

D. Other

Comments:

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems, and Fixtures

Photo of Location of Water Meter: Exterior, Within 5 ft from street, Within 5 ft of driveway



Photo of Location of Main Water Supply Valve : Front exterior wall



Photo of Type of Supply Piping Material: Not visible

Photo of Types of Piping: PEX, Copper -

PEX looks like hard plastic piping and comes in red, blue, and white. It is very flexible and expands when water freezes. It does not burst when other types of frozen pipes would.

CPVC is similar to PVC except it is rated to withstand high temperatures. Typically used for drain valves from Temperature Pressure Reducing Valves (TPRV).

Flexible piping should not be used for sink drains.

Polybutylene (PB) pipe is a gray plastic tubing that was commonly used as water-supply plumbing pipe in the years between 1978 and 1995, at which time it was discontinued due to reports of pipes rupturing and causing water damage.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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Galvanized, cast iron, and lead pipes are not longer used. Some insurance companies will not provide insurance if they are in use.

The older steel piping is subject to corrosion on the interior of the pipe. As corrosion builds up, the inside diameter of the pipe becomes constricted, resulting in a loss of water pressure. This piping is typically replaced when the loss of pressure can no longer be tolerated.

DISCLAIMER:

Inspectors will mark the report only if they can visually see the presence of galvanized or lead pipes. Plumbing repairs can replace piping near a fixture but pipe back into galvanized or other pipes which may be hidden behind walls or under insulation. The fact that the report was not marked being present does not guarantee that galvanized or lead pipes do not exist in the home. We do not accept any liability on our part if functioning or non-functioning galvanized or lead pipes are discovered after the inspection.



Photo of Static Water Pressure Reading: 50



I=Inspected

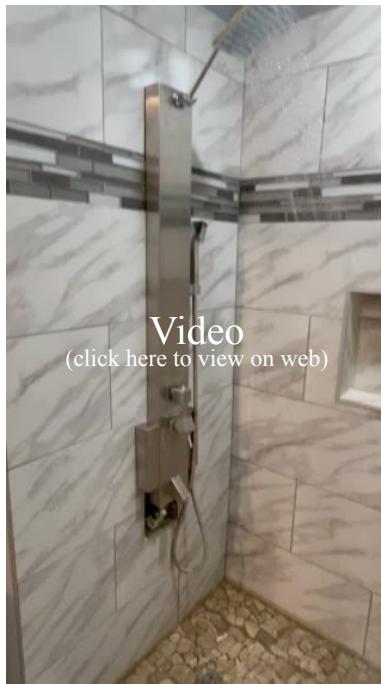
NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Videos of Tubs and Showers Being Operated :



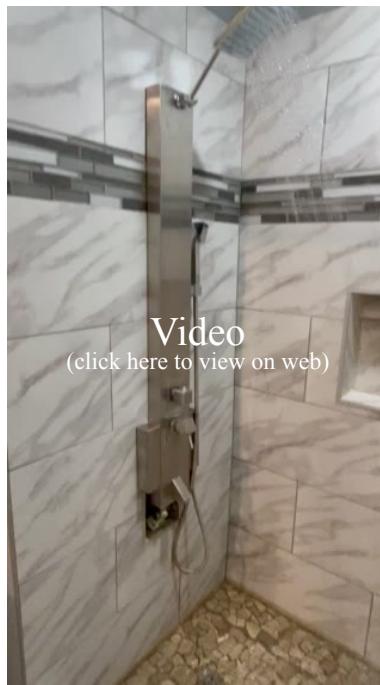
Video of Kitchen Sink Being Operated :



Videos of Bathroom Sinks Being Operated:

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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Comments:

All Repairs Listed should be performed by a licence plumber. Home inspectors are not licence plumbers, for this reason when repairs are performed the plumber should evaluate the entire plumbing system.

The house has been recently painted. This can prevent identification of leaks. Recommend to monitor.

Hidden Pipes Limitation:

Inspectors are not able to inspect piping behind walls or under insulation in the attic. Plumbing repairs can disguise and hide the existence of galvanized or lead pipe. If plumbing has been replaced, the old plumbing may have not been removed making it difficult to determine if the old pipe is still in use. If the inspector did not report galvanized piping does not guarantee that galvanized or lead pipes do not exist. We do not accept any liability for the presence of galvanized or lead pipes regardless of what is on the report.

Remodeled & Vacant Home Limitation:

If a house has been recently remodeled, and/or, if a house has been sitting vacant for an extended period of time, plumbing leaks may not occur during the time of inspection, but may occur later when the home is occupied and the plumbing is put under a normal load.

Shower pan:

The inspector will perform a visual inspection of the shower pan. Recent repairs such as grout, caulking, sheetrock and painting can prevent identification of a leak. Vacant homes or shower's that are not routinely operated may have leaks at time of inspection that are not identifiable. The buyer has been advised that we are not liable for leaks detected after move in. If the buyer suspects a problem or would like to have the shower pan further evaluated a licensed plumber can perform a pressure test on the shower pan to check for leaks.

Water filtration/Softner Not Tested:

Water Filtration/Softeners are not tested under a TREC inspection

The house was equipped with a water softener system. This type of system typically requires routine maintenance every 3 to 5 years. We recommend consulting with

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

the sellers to determine if the unit was maintained per the manufacturer's recommendations.

1: Back splash needs caulking/grout repairs**Repair/Replace**

Caulking/grout repairs needed at back splash.



Example Guest Bathroom

2: Bathtub or shower Caulk/Grout**Repair/Replace**

Cracked, deteriorated and/or missing grout and caulk should be replaced.



Example Guest Bathroom



Example Primary Bathroom

3: Caulking repairs around fixture**Repair/Replace**

Caulking repairs around a fixture is needed.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Example Guest Bathroom



Example Primary Bathroom

4: Drain stopper not working / not working properly

Repair/Replace

Drain stopper found to be not working / not working properly. Recommend to repair.



Example Primary Bathroom Left Sink

5: General damage to counter tops

Repair/Replace

Damage noted to counter tops. Recommended to repair.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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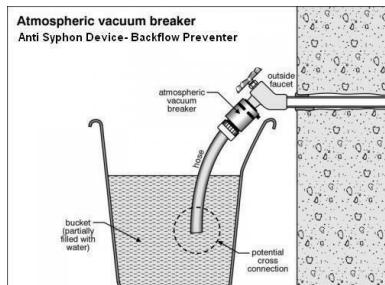


Example Kitchen

6: Hose Bib Missing Anti-Siphon Device

Repair/Replace

It is recommended that an anti-siphon device be added to the hose bib(s).



Example

7: Low water flow

Repair/Replace

Low water flow. Recommend repair by plumber.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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**8: Plumber Recommended****Repair/Replace**

Due to the extent of issues with the plumbing a licence plumber is recommended to evaluate the entire house plumbing systems and make repairs as needed.

 B. Drains, Wastes, and Vents*Photo Type of Drain Piping Material: PVC, ABS**Photo of Material at Sewer Cleanout: PVC -*

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Photo of the Location of sewer drain cleanout: Back Yard



Video of Shower and Tub Drain Functional Test:

The water will be ran in each shower/tub for a period of 15 minutes to check the function of the drain at time of inspection.

I=Inspected

NI=Not Inspected

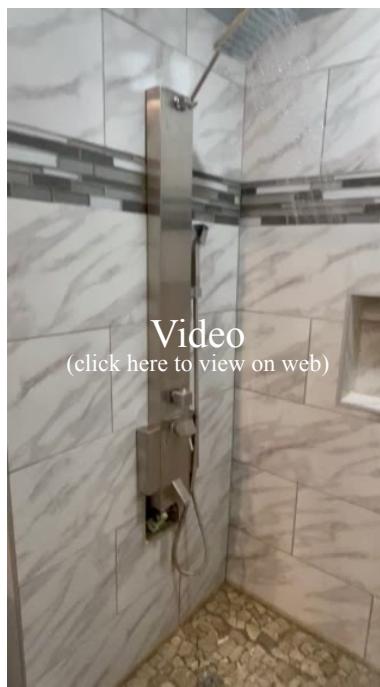
NP=Not Present

D=Deficient

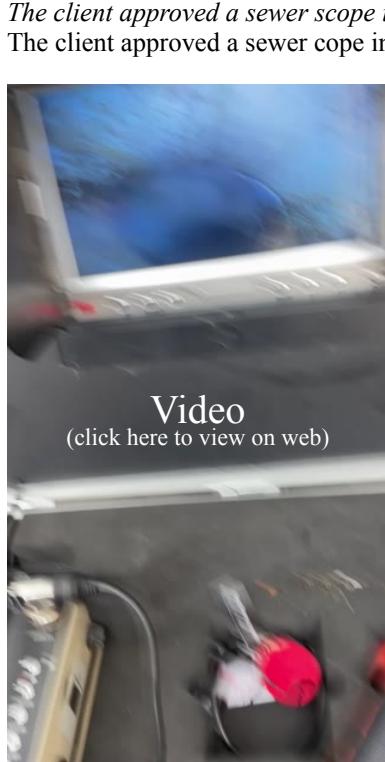
I NI NP D



Video
(click here to view on web)



Video
(click here to view on web)



Video
(click here to view on web)

Video outside lateral line (cleanout to city):
Video inside lateral line (cleanout to under house):

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D***Comments:*

All Repairs Listed should be performed by a licence plumber. Home inspectors are not licence plumbers, for this reason when repairs are performed the plumber should evaluate the entire plumbing system.

Main drains:

The technician only performs a flow test at time of inspection. The technician is not able to see or test the main drains, issues may not be detected at time of inspection. If the buyer has any concerns regarding the main drain then either a hydrostatic test should be performed.

Sewer Scope Inspection:

This is a lateral line inspection only.

The inspector will not observe every square inch of the sewer lateral lines and may fail to see or note a defect.

Defects may exist that cannot be detected by visual inspection or sewer scope inspection only.

The inspection and the inspection report in no way lessens the risk or likelihood of repairs or replacements being needed at any time in the future.

The inspector and the inspection company is not responsible for claims relating to conditions that may be altered or repaired without notice or inspection.

Sewer Scopes are not designed to identify water leaks, we can not see water leaking out of the pipe or what is happening on the other side of the pipe.

Vacant / Older House Disclaimer:

Based on inspection industry's definition of a recommended water test for "functional drainage" in a plumbing system, the plumbing drain pipes appear to be operational at this time with the exceptions noted within this report. However, older homes and vacant homes could have hidden issues with the main sewer line. For example, at the time of inspection, the sewer lines may have leaks and cracks caused by tree roots thus allowing drains to appear normal at time of inspection. After the house is occupied and in use, solids are passed, get caught on the tree roots, and drains begin to drain slowly or to clog.

Visual Inspection:

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Detecting small water leaks behind the walls can be very difficult, if not impossible to detect. We use thermal imaging cameras and moisture sensors which are used when we suspect that a problem might exist. A small leak may still go undetected. Home inspectors perform visual inspections only. Walls are not opened up and ground is not dug up to inspect the condition of the plumbing.

1: Every 18 to 22 months**🔧 Maintenance Required**

A good general rule is to have your home's sewer lines cleaned out every 18 to 22 months. That may be difficult to remember, but think of it as a year and a half to slightly less than two years.

2: ABS Pipe Replace**🔴Repair/Replace**

The ABS black plastic waste piping may be a defective product. Repair or replacement may be necessary.



Example

3: Flex Pipe Not Recommended**🔴Repair/Replace**

Flex pipe is not a recommended repair or replacement pipe for drains. Flex pipes have a history of clogging over time and are no longer a coded repair. Recommend to replace flex pipes with smooth wall pvc pipes.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Example Guest Bathroom



Example Guest Bathroom

4: Hydrostatic test\Sewer scope

📍 Maintenance Required

Hydrostatic testing is recommended for homes built before 1970 most homes built after 1970 use PVC which has a life span of 100 years. This is to confirm the condition of the drain.

A sewer scope is recommended If the home is more than 10 years old. It's fairly common for tree roots to clog up main drains.

5: Tub / Shower is slow to drain

🔴 Repair/Replace

The tub / shower is slow to drain. Recommend to have repaired.



Example Primary Bathroom

6: Sewer Scope Belly

🔴 Repair/Replace

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

There is a low point in the drain line which will promote clogging. We recommend further review and repair as needed.



Example

Video
(click here to view on web)**7: Sewer Scope Scale Build Up****Repair/Replace**

There is scale build up inside sewer line which will promote clogging. We recommend repair as needed.



Example



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

 C. Water Heating Equipment

Energy Source: Gas

Photo of Thermal Imaging of Hot Water:



Comments:

All Repairs Listed should be performed by a licence plumber. Home inspectors are not licence plumbers, for this reason when repairs are performed the plumber should evaluate the entire plumbing system.

Photos Unit 1: Whole Unit, Manufacture Label, Top of Unit Capacity



TPRV Valve:

WARNING: REINSPECTION OF T&P RELIEF VALVE: Temperature and Pressure Relief Valves should be reinspected AT LEAST ONCE EVERY THREE YEARS by a licensed plumbing contractor or authorized inspection agency, to ensure that the product has not been affected by corrosive water conditions and to ensure that the valve and discharge line has not been altered or tampered with illegally. Certain naturally occurring conditions may corrode the valve or its components over time, rendering the valve inoperative. Such conditions are not detectable unless the valve and its components are physically removed and inspected. Do not attempt to conduct this inspection on your own. Contact your plumbing contractor for a reinspection to assure continuing safety. FAILURE TO REINSPECT THIS VALVE

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

AS DIRECTED COULD RESULT IN UNSAFE TEMPERATURE OR PRESSURE BUILD-UP WHICH CAN RESULT IN SERIOUS INJURY OR DEATH AND/OR SEVERE PROPERTY DAMAGE.

TPRV Testing

TPRV Not Tested:

Due to condition or improper installation of the Temperature Pressure Release Valve (TPRV), this valve was not tested.

Insulated pipes and blankets :

The inspector is limited to areas that are visually accessible at the time of the inspection. Inspectors do not remove insulation from the pipes or the tanks during the inspections. Leaks in tank and areas cover by insulation may not be observed by the inspector. It is recommended upon move in to remove the foam and insulated blankets to perform a visual inspection. If leaks are found repairs will be required.

1: Annual Maintenance Flush Needed

Maintenance Required

Water heaters should be flushed annually to prevent sediment buildup and maintain efficiency.

[Here is a DIY link to help.](#)

2: Exterior Discharge Missing 90 degree Elbow

Repair/Replace

The exterior discharge tube is missing the 90 degree elbow



Example

3: Water Heater Drain Pan Debris

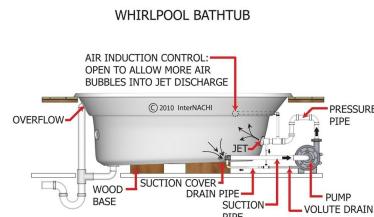
Maintenance Required

It is not uncommon for insulation or other debris to enter into the drain pan. We recommend to clean drain pan upon move in and then reinspect annually.

D. Hydro-Massage Therapy Equipment

Comments:

All Repairs Listed should be performed by a licence plumber. Home inspectors are not licence plumbers, for this reason when repairs are performed the plumber should evaluate the entire plumbing system.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D***Access:*

Access to the mechanical areas of hydro static tubs is often limited or in accessible. The inspector can not remove caulk or make modifications to the structure for examinations. The inspector is not liable for any deficiencies that can not be readily identified from the access points provided during the time of inspection.

Limited Use:

Hydro therapy tubs tend to have limited use. Issues may not be apparent without routine operations. It is recommended that the hydro therapy tub be operated weekly to help identify underline issues. If any issues becomes apparent a qualified plumber should evaluate and perform repairs.

F. Gas Distribution Systems and Gas Appliances

Location of Gas Meter: Rear exterior wall



Type of Gas Distribution Piping Material: Black Iron, Galvanized

*Comments:**CSST:*

Corrugated Stainless Steel Tubing (CSST) is a yellow, flexible, metal gas tubing used to supply natural gas or propane to gas appliances and HVAC systems for both residential and commercial structures.

Since 1990, CSST has been installed in millions of homes in the U.S. It has been shown that an indirect lightning strike near a structure in which CSST has been

installed can cause an electrical surge to travel into the structure, perforating in the sidewall of the CSST as the energy arcs from one metallic system to another

seeking ground. This arcing can ignite the pressurized gas leaking from the perforation and cause a potentially significant fire.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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Properly bonding and grounding a CSST system can reduce the likelihood of electrical arcing due to an indirect lightning strike. While current manufacturing

guidelines and gas fuel codes require direct bonding of newly installed CSST, many installations, particularly older installations, may not meet the current installation requirements.

The Texas State Fire Marshall, in conjunction with the National Association of

State Fire Marshalls (NASFM), has launched a safety campaign in Texas to bring awareness as to the importance of properly bonding CSST. The campaign

encourages property owners who are aware CSST has been installed on their property to contact a licensed electrical contractor to determine if the gas system

is properly bonded. For further information regarding this safety campaign, please visit www.csstsafety.com.

Inspector Limitations:

Per TREC Standards of Procedure inspectors are not required to

- (A) inspect sacrificial anode bonding or for its existence;
- (B) pressurize or test gas system, drip legs or shutoff valves;
- (C) operate gas line shutoff valves; or
- (D) light or ignite pilot flames.

1: Lack of visible bonding on gas distribution system.

Repair/Replace

Lack of visible bonding on gas distribution system. Recommend repair by a licensed plumber.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Example

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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V. APPLIANCES

A. Dishwashers

Photos: Front, Inside, Upper Rack Pulled Out, Lower Rack Pulled Out -
Photo of the exterior of the unit



Video :

Video showing the units being tested and the interior with drawers pulled in and out,

I=Inspected

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D=Deficient

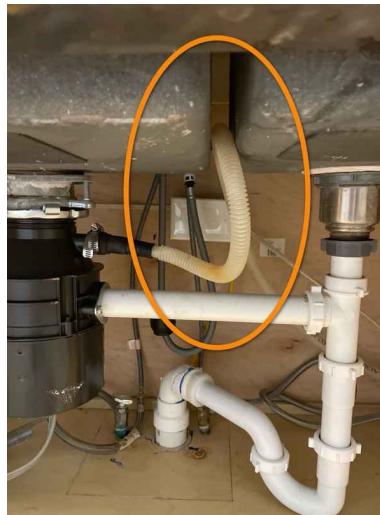
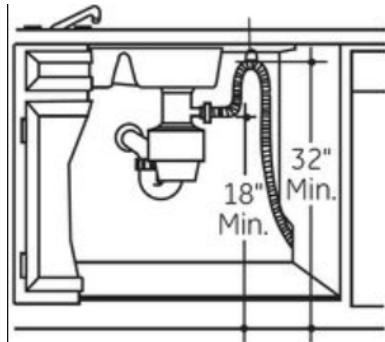
I NI NP D

*Comments:*

The dishwasher was operated by running a wash cycle and was functional at the time of inspection. The unit's efficiency of cleaning dishes is not tested. No deficiencies were observed with the unit unless otherwise noted in this report.

1: High Loop missing or improperly Installed.
●Repair/Replace

Code (section 4715.1250). A high loop shall be installed as high as possible under the countertop. An alternative to installing a high loop is to install an air gap at the kitchen sink.



Example

2: Dishwasher Noisy
●Repair/Replace

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

The dishwasher is excessively noisy and may be in need of repair.

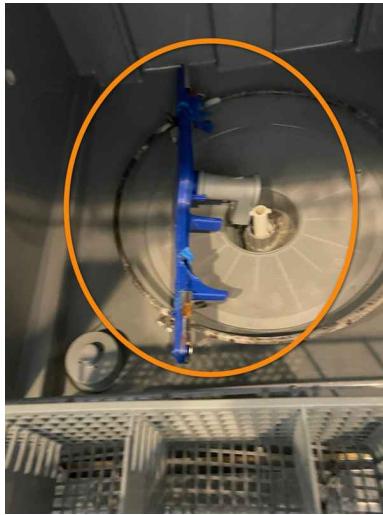


3: Older Dishwasher**Repair/Replace**

The dishwasher is an older unit. While replacement is not needed right away, however, dishwashers don't last forever. The life expectancy of a dishwasher is about 10 years, according to manufacturers surveyed by Consumer Reports. However, issues with the appliances tend to develop within the first five years.

4: Dishwasher Spray Arm Defective**Repair/Replace**

A dishwasher spray arm appears to be defective and should be repaired.



Example

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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☒ ☐ ☐ ☐ B. Food Waste Disposers*Comments:*

The microwave is tested by checking the operation of the turntable and by running the unit for 60 seconds to test to see if the unit does heat up. We do not determine the efficiency of the unit nor do we test all the modes or additional buttons on the unit.

Videos:

Videos of each unit being operated

*Photos:*

Photos of the motors



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

C. Range Hood and Exhaust Systems

Comments:

Photo of the unit:



Photo of the Lights On :



Video Operating:



Photo of Duct if Present :

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D****1: Exhaust Duct Terminates into Attic****Repair/Replace**

The exhaust duct from the range hood terminated in the attic. This condition is improper and may result in moisture damage to attic materials from the formation of condensation. Excessively high moisture levels may also result in the growth of mold colonies which can raise mold spore concentrations in indoor air to unhealthy levels. We recommend that this duct be extended to terminate at the home exterior.



Example

2: Range Hood Light Inoperative**Repair/Replace**

Range hood lights were inoperable at the time of the inspection. The bulb may be burned out, or there may be a problem with the switch, wiring or light fixture. If after replacing the bulb the light fixture still does not respond, the Inspector recommends correction by a qualified contractor

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example

3: Range Hood Venting Material Improper**Repair/Replace**

The material used for the range hood venting is improper. This condition should be repaired.

M1503.1 General. Range hoods shall discharge to the outdoors through a single-wall duct. The duct serving the hood shall have a smooth interior surface, shall be air tight and shall be equipped with a backdraft damper. Ducts serving range hoods shall not terminate in an attic or crawl space or areas inside the building.



Example

 D. Ranges, Cooktops, and Ovens*Comments:**Photo of the Outside of the Units:*

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Photo Of Burner if Equipped:



Thermal Imaging of Oven Temperatures :



Overview of rangetop burners. :

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D****1: Gas Appliance Connector Hidden****✖Repair/Replace**

Gas appliance disconnect is hidden or concealed behind walls, floors, partitions, ceilings, or appliance housing. Recommend repair.

2: Oven Light Not Working**✖Repair/Replace**

Oven light did not operate when testing. Recommend to replace the light bulb and retest.



Example

3: Range Not Secured**⚠Safety Hazard**

Range was not fastened to the floor. While the code doesn't specifically say that anti-tip brackets are required, it says you need to follow the manufacturer's installation instructions. If a manufacturer requires something as part of their installation instructions, it becomes a code requirement by extension. This poses a safety hazard to children. Recommend a qualified contractor secure range so it can't tip.

I=Inspected

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D=Deficient

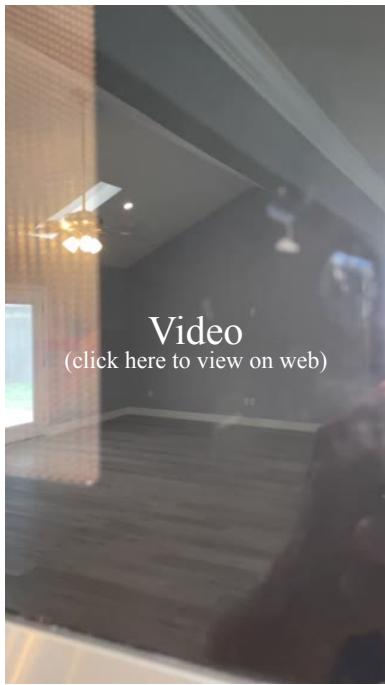
I NI NP D

E. Microwave Ovens

Photo of the Unit:



Video of Turntable Spinning:



Thermal Image of Unit Being Tested:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

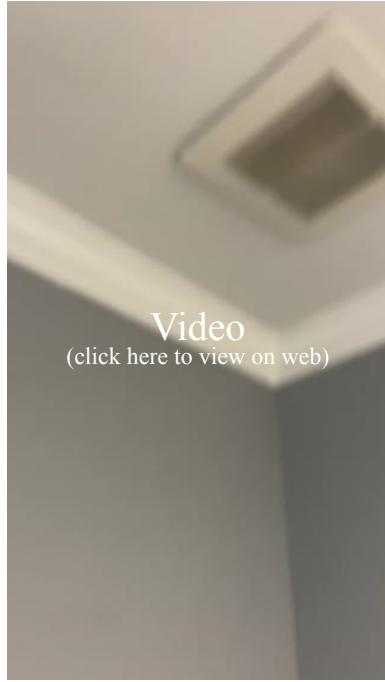


Video
(click here to view on web)

Comments:

F. Mechanical Exhaust Vents and Bathroom Heaters

Video Showing Operated : Primary Bathroom, Guest Bathrooms



Video
(click here to view on web)



Video
(click here to view on web)

Comments:

1: Exhaust Vents Missing

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D****Repair/Replace**

Exhaust vents are designed to remove humidity and moisture from a small area. They should vent outside of the house. Unless the space has a window that opens, bathrooms and laundry rooms should have exhaust vents installed in bath tub and shower areas.



Example Laundry

G. Garage Door Operators

Photo of Each Unit:



Video of Units Being Operated:



I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D***Comments:***1: Auto Reverse Sensor Not Working**

The auto reverse sensor was not responding at time of inspection. This is a safety hazard to children and pets. Recommend a qualified garage door contractor evaluate and repair/replace.

H. Dryer Exhaust Systems

Photo of Dryer Vent:*Comments:***1: Clean vent Annually**

Experts say dryer exhaust vents should be inspected and cleaned at least once a year. Depending on the size of the household and dryer usage more frequent cleaning may be required. We recommend to clean and remove any debris from vents before move in.

J. Refrigerators

Refrigerator Not Present:

Inspectors do not test water shut off valves to the refrigerator.

K. Trash Compactor

L. Central Vacuum System

M. Outdoor Appliances Grill and Burners

Comments:

N. Lift/Elevator

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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1: 12 Month Inspection For Certificate of Compliance

●Repair/Replace

The owner of the elevator or related equipment must obtain an inspection every 12 months and submit the inspection report, all required documents, and applicable fees to the Department in order to obtain a Certificate of Compliance. Recommend to inquire with homeowner or certificate if certificate is not available recommend to have inspected.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

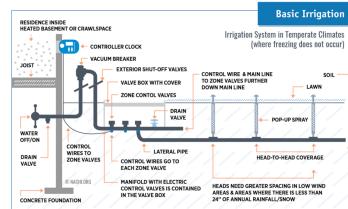
I NI NP D

VI. OPTIONAL SYSTEMS

- A. Landscape Irrigation (Sprinkler) Systems

Comments:

All Repairs Listed should be performed by a license irrigation company. Inspectors are not licensed in irrigation, for this reason when repairs are performed the license irrigation company should evaluate the entire irrigation system.



Backflow Device:

We do not perform a pressure test on the Backflow device.

LANDSCAPE IRRIGATION SYSTEM::

If the sprinkler system is inspected as part of the ancillary inspection, it is tested in manual mode only. Unless obvious, underground water leaks are not inspected for.

Weep lines:

We are unable to test the performance of weep lines.

No acces to controls:

Storage items prevented access to controls.

1: Back Flow Device Missing

✖Repair/Replace

The sprinkler is missing the back flow device. Recommend to repair.

2: Exposed / Damaged plumbing

✖Repair/Replace

Exposed plumbing needs to be buried / damaged plumbing repaired.

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Example Front Exterior



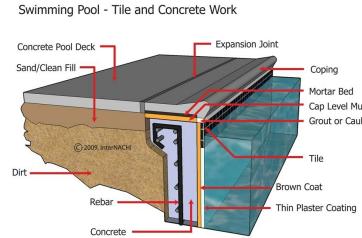
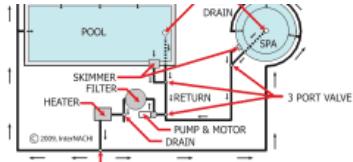
Example Front Exterior

3: Repaired and evaluated**Repair/Replace**

Recommend to have the sprinklers system repaired by a license irrigation company.

 B. Swimming Pools, Spas, Hot Tubs, and Equipment*Comments:*

All Repairs Listed should be performed by a licence pool company. Home inspectors are not licence for pool repairs and service, for this reason when repairs are performed the licence pool company should evaluate the entire pool system.

*Inspection Limitations:*

The following items are not included in this inspection: underground or concealed piping, motorized covers, Ozone Generators, Ultraviolet light systems, pool light niche.

Pool Leak Test Not Performed:

Our Inspection Company did not perform a leak test or was requested to schedule this inspection. If you have concerns about a leak we recommend to schedule a pool leak inspection prior to your inspection deadline.

 C. Outbuildings*Comments:*

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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D. Private Water Wells (A coliform analysis is recommended.)

Comments:

All Repairs Listed should be performed by a licensed well company. Home inspectors are not licensed for well repairs and service, for this reason when repairs are performed the licensed well company should evaluate the entire well system.

E. Private Sewage Disposal Systems

Comments:

All Repairs Listed should be performed by a licensed septic company. Home inspectors are not licensed for septic repairs and service, for this reason when repairs are performed the licensed septic company should evaluate the entire septic system.

Leech Field Functionality:

Inspectors cannot determine whether a leech field is functioning properly because leech field lines are buried underground. Some septic systems do not provide ability to test spray heads. The amount of liquids in the tank also determines whether spray heads can actually be tested.

PH and C12 Levels Not Tested:

Testing PH and C12 levels in septic tanks is beyond the scope of our septic inspection. If these tests are needed, we recommend contacting a septic company to perform these tests.

F. Other Built-in Appliances

Comments:

G. Other

Comments:

H. Bulkhead Inspection

Comments:

All Repairs Listed should be performed by a company specializing in bulkhead repairs. The technician needs to eventuate the system for any other concerns at time of repairs.

Restricted Visibility:

In the in water inspections of docks, bulkheads, and piers may be restricted by visibility. Not all defects may be visible to the inspector. Inspections will not be performed in areas conducive to habitation of snakes or in unsafe conditions.

H. Bulkhead Inspection

Comments:

All Repairs Listed should be performed by a company specializing in bulkhead repairs. The technician needs to eventuate the system for any other concerns at time of repairs.

Restricted Visibility:

In the in water inspections of docks, bulkheads, and piers may be restricted by visibility. Not all defects may be visible to the inspector. Inspections will not be performed in areas conducive to habitation of snakes or in unsafe conditions.

I. Docks and Piers Inspection

Comments:

I=Inspected**NI=Not Inspected****NP=Not Present****D=Deficient**

I	NI	NP	D
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All Repairs Listed should be performed by a company specializing in dock repairs. The technician needs to eventuate the system for any other concerns at time of repairs.

Restricted visibility:

In the in water inspections of docks, bulkheads, and piers may be restricted by visibility. Not all defects may be visible to the inspector. Inspections will not be performed in areas conducive to habitation of snakes or in unsafe conditions.

J. Boat Lift

Comments:

All Repairs Listed should be performed by a company specializing in boat lifts and boat lift repairs. The technician needs to eventuate the system for any other concerns at time of repairs.

K. Jet Ski Lift

Comments:

All Repairs Listed should be performed by a company specializing in jet ski lifts and jet ski lift repairs. The technician needs to eventuate the system for any other concerns at time of repairs.

L. Outdoor Kitchen