

Real Estate Inspections
Infrared Thermography
Stucco Inspections
Diagnostic Inspections
Mold Inspections
Sewer Line Inspections



**Providing Peace of Mind,
One Home at A Time,
since 1989**

INSPECTION GROUP

FIG Services LLC d/b/a FOX INSPECTION GROUP

Property Inspection Report #11/16/20231605 Beaconshire Road
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TREC Inspectors # 1718, 10503, 20283, 20975, 20994, 21225, 21735, 22779, 22780, 22850, 22922, 24370

Mold Assessment Company ACO1129, Mold Assessment Consultant MAC1452

Mold Assessment Technicians MAT#'s 1197, 1198, 1203, 1224, 1240, 1246, 1256

SBCCI Registered Building Inspector #5939

SBCCI Registered Mechanical Inspector # 1739

Exterior Design Institute (EDI) TX-111, TX-116, TX-119

ICC Building Inspectors # 1052678-B5, #5294898-B5

State of Texas Registered Code Enforcement Officer # CE1858

ICC Residential Combination Inspectors # 1052678-R5, #5294898-R5

ICC Residential Building Inspectors # 5167093-B1, #5294898-B1

ICC Mechanical Inspectors # 1052678-M5, #5294898-M5, 5230842-M1

Texas Department of Insurance VIP Certificate #20110061045

SBCCI Registered One & Two Family Dwelling Code Certified Inspector #1863 & #2185

Infrared Thermographers



PROPERTY INSPECTION REPORT FORM

Sabrina Strauss <i>Name of Client</i>	11/16/2023 <i>Date of Inspection</i>
1605 Beaconsire Road, Houston, TX 77077 <i>Address of Inspected Property</i>	
Jovan Martin <i>Name of Inspector</i>	PI 25649 <i>TREC License #</i>
<i>Name of Sponsor (if applicable)</i>	
<i>TREC License #</i>	

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I. STRUCTURAL SYSTEMS

X			
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A. Foundations

Type of Foundation(s): Slab on Grade

Comments:

Differential movement/settlement observed; indicated by one or more of the following observed conditions; Elevation readings, cracks in brick veneer and/or foundation, cracks in sheetrock over doors and windows, doors that are not square in the jamb etc. In my opinion, the distress patterns observed at the time of inspection were not severe enough to recommend repair. Acceptance of present and future condition/performance/maintenance rests solely with the buyer/client.

A foundation elevation survey was conducted during the inspection. The floor plan drawing (not to scale) below represents data gathered using a Zip Level and adjusting for floor covering height differences. i.e. differences between tile, carpet and wood flooring (except step down to the garage). Measurements are listed to the nearest 1/10th of an inch. The greatest variance was -1.5

SLAB:

Large tree(s) near the house/garage foundation. This condition can have adverse effects on foundation performance. If this is a concern, recommend consideration of installing a root barrier or other preventative measures.

Slab dressing observed at one or more areas of the foundation.

ELEVATION SURVEY CON'T ON NEXT PAGE:

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I	NI	NP	D
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Elevation Survey

<u>Room</u>	<u>North</u>	<u>East</u>	<u>South</u>	<u>West</u>	<u>Middle</u>
Foyer	-0.3		R		-0.7
Half Bath					-0.7
Laundry Room					-1.0
Family room	-0.5	-0.9	-0.9	-0.9	-0.7
Breakfast area	-0.6	-0.2	-0.7	-0.6	-0.5
Kitchen	-0.2	0.0	-0.9	-0.3	
Primary Bedroom	-1.0	-1.3	-1.3	-1.4	
Primary bathroom	-1.5		-1.2		-1.4
Primary closet					-1.2

Reference Point is Hinge Side of Front Door (R=.0)

<u>Garage</u>	<u>N</u>	<u>E</u>	<u>S</u>	<u>W</u>
	-15.5		-17.4	

Garage properly slopes to drain in the event of water intrusion.

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X			
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B. Grading and Drainage

Comments:

Grading & Drainage:

Ensure flower bed soil does not rise above foundation or bottom of siding to prevent water and wood-destroying insect entry into the house.

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X			X
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C. Roof Covering Materials

Type(s) of Roof Covering:

- Composition Asphalt Shingle Roofing

Viewed From:

- Drone

Comments:

ROOF SURFACE:

Due to the lack of safe access to the roof and/or to prevent damage to the roof surface the inspector did not physically walk on the roof. a drone was used to observe the roof surface for significant issues. The client is advised that aerial observation from a drone will not show all possible deficiencies. If this is a concern, recommend the client retain the services of a qualified roofing specialist at additional cost.

Observed satellite dishes/antenna on roof. Historically satellite dishes have caused damage to roof shingles due to improper installation techniques. Recommend removal of dishes and sealing all holes caused by the installation, When/if satellite service is discontinued.

Observed tree(s) leaning toward the house. Large limbs that fall could cause damage.

Observed scuffed/damaged shingles. Scuffing the mineral surface off of a composition shingle exposes the asphalt to ultraviolet light which causes it to deteriorate and can greatly reduce the life of the shingle. Replace scuffed shingles.

Observed one or more areas of raised shingle tabs from fasteners not secured down properly or nail heads popping up through shingles.

Missing/torn shingles observed on roof, recommend replacement to prevent water entry.

Older roof, nearing the end of serviceable life. (last 1/3 to 1/4 of serviceable life remaining). Observed brittle, cracked, curled ends and/or excessive granular loss of shingles.

Tree limbs in contact with the roof can/ will damage the roof.

Exposed staples/nail-heads/fasteners observed on the roof are not properly sealed. Water entry possible.

FLASHING: NEXT PAGE

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I	NI	NP	D
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Observed rusted flashing; chimney cap

Rubber gasket of drain waste vents has deteriorated. This may allow water entry.

Lower side of flashing is not sealed down, wind-driven rains can cause water penetration.

Did not observe "kick out" flashing where a roof terminates along a wall. Kick out flashing encourages rain water running down the roof to be diverted / "kicked out" away from a wall and reduce water running down a wall.

ROOF PENETRATIONS:

Recommend painting all exposed metal above roof line to prevent rusting and extend service life.

ROOF WATER PENETRATION:

Possible from one or more deficiencies noted at roof surface / flashing / penetrations.

GUTTERS & DOWNSPOUTS:

Full of debris and/or holds standing water.

Rain gutter downspout(s) needs to be redirected to minimize possible wood rot, water entry, or foundation distress.

INSPECTION PHOTOS:



Damaged shingle



Damaged shingle.



Lower edge of the flashing needs to be sealed.

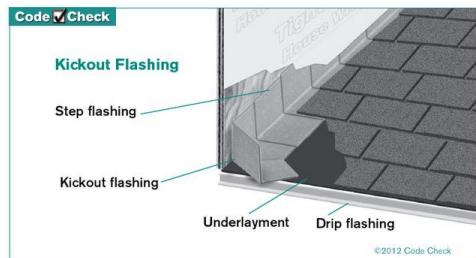
I=Inspected

NI=Not Inspected

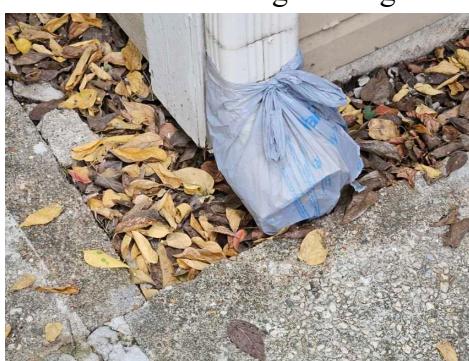
NP=Not Present

D=Deficient

I NI NP D



Kickout flashing missing.



The drain waste vent rubber gasket is completely deteriorated on majority of the plumbing vents. Recommend having a qualified contractor repair as needed.

The North exterior gutter was capped off at the time of inspection.

Recommend redirecting the neighbor

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I	NI	NP	D
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X			X
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D. Roof Structure and Attics

Viewed From:

- At the top of the attic access/hole due to limited safe access

Approximate Average Depth of Insulation: 6-8 Inches

Comments:

ROOF STRUCTURE & FRAMING:

The attic was not accessed during the inspection.

Evidence of previous (possibly current) rodent activity in the attic.

Hole and/or damaged roof decking observed in the attic. Recommend repair to prevent damage/injury from a person walking on the roof.

Did not observe "H" clips at joints in roof decking to allow for the expansion of wood.

Daylight is visible from interior of attic at one or more locations. Recommend sealing these areas to prevent potential pest / rodent / water entry.

Observed excessive notching / boring of one or more framing members.

ATTIC INSULATION:

Insulation not properly positioned/missing in areas, etc.

ATTIC ACCESS, LADDER & SERVICE WALKS:

Not all areas of the attic were accessible for inspection.

No access to attic.

Not installed per manufacturer's installation instructions. Missing securing nails/lag bolts in holes of metal pivot points and corner braces.

Improper framing of attic stairway opening. Ceiling joists on both sides of attic stairway are not doubled to compensate for cut/removed ceiling joists to allow installation of the stairway. Installation does not comply with common industry standards.

Hinge hyper-extends. Replacement is recommended.

**Damaged stairway observed, dangerous/hazardous condition exists.
Recommend replacement of stairway to attic.**

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Stairway improperly field/job site modified/alterred/repaired against the manufacturer's installation instructions which increases the chance of injury. Recommend replacement.

ATTIC VENTILATION & SCREENING:

Attic power fan thermostat control is not manual testable type, was unable to verify operation.

INSPECTION PHOTOS:



Modified/damaged attic ladder



Damaged attic ladder. DO NOT USE LADDER, SAFETY HAZARD, REPLACEMENT LADDER IS NEEDED BEFORE USE.



The power exhaust fan was not checked or inspected at the time of the inspection.



Hole observed in the roof decking.



Excessive notching observed on the rafter



A thermal scan was performed on the home, observations are recorded in the proper categories.

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X			X
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E. Walls(Interior and Exterior)

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Damaged/cracked siding should be repaired to prevent water penetration.

Fencing shows signs of deterioration. Observed one or more of the following conditions: wood rot, loose / missing boards, leans excessively etc.

Gate does not close/ latch properly; side gate needs adjustment.

BRICK:

Several bricks showed signs of deterioration.

Observed weep holes at bottom of the brick / stone wall are blocked and/or have been sealed over. Weep holes are needed to allow for proper drying of the wall cavity. Recommend clearing any blocked weep holes.

WOOD:

Synthetic wood siding observed on house - it is common industry knowledge that this siding tends to rot easily if not kept well sealed/painted and that most manufacturers of this type of product are/have been involved in some type of class action lawsuit.

Wood rot observed on areas of house/garage.

Trim / siding observed to be not secured down at one or more areas of house/garage.

Most siding installation requirements specifically state "Leave a 2-inch clearance at bottom edge of siding to prevent water damage / water penetration.

Damaged/cracked siding should be repaired to prevent water penetration.

CAULKING:

Caulking missing and/or deficient around windows/doors/vertical trim/joints in siding. May allow wind driven rain entry.

Need sealing/caulking around all holes and exterior siding penetrations on top and both sides, (leave the bottom open) to prevent water entry. Including but not limited to dryer, bath and range top vents, light fixtures, etc.

Recommend sealing/foaming exterior where AC lines enter the house. A weatherproof hood can be added for maximum prevention of water penetration.

INTERIOR WATER PENETRATION:

Possible from high soil and/or improper site drainage.

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I NI NP D

*Possible from damage to veneer or structure.***INSPECTION PHOTOS:**

Indications of previous WDI Treatment Observed at the Front entry.



Damage siding observed on the West side dommer window.



Damage siding was observed on the West exterior wall of the home.



Wood rot under the window of the West exterior side of the home.



Wood rot observed on the West exterior wall at the home.



Recommend painting the exterior side gate to prevent further corrosion.



Recommend sealing AC line wall penetration area.



Wood rot was observed at the electrical meter and the electrical panel.



Wood rot observe on multiple window and door trims.

I=Inspected

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I NI NP D



Damage siding observe on the North exterior wall of the home.



The side gate needs adjusting.



A brick crack was observed at the front of the garage area.



Wood rot observed on the south exterior wall.



Wood rot observed on the North exterior wall.

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I	NI	NP	D
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F. Ceilings & Floors

Comments:

CEILINGS:

Observed cosmetic cracks and/or repaired cracks in sheetrock observed in ceiling at one or more areas of house.

Observed popcorn type texture on one or more ceilings. Commonly installed from the late 1950s into the 1980s in residential construction with early formulations often containing asbestos fibers. Fox Residential Service group does not test for the presence of asbestos or other environmental hazards. If this is a concern or may become a concern for you, please contact a qualified professional for further information.

Water stains, damage or repairs observed, moisture meter indicated that stains are not active (wet) at the time of inspection; garage, primary bathroom closet, primary bathroom

FLOORS:

Floor squeaks/ pops noted.

Observed cosmetic scratches to wood flooring at one or more locations.

Not level upstairs, possibly due to improper/inadequate framing and/ or foundation settlement.

INSPECTION PHOTOS:



Moisture stain was observed on the garage ceiling.



Moisture stain observed in the primary bedroom closet.



A moisture stain was observed above the primary shower.

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X			X
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G. Doors (Interior and Exterior)

Comments:

INTERIOR DOORS:

Door is self-opening/closing. This is an indication door/jamb is not level/plumb;**primary bedroom**

EXTERIOR DOORS:

Prudent buyers replace/rekey exterior locks upon taking possession of property.

Security consideration - exterior door(s) without deadbolt lock(s).

Rubber sweep at base of exterior door is beginning to deteriorate.

One or more doors in the house will not latch;**garage door**

Wood rot of lower door and/or jamb;**multiple locations**

Door between house and garage does not have an operational auto/self-closing device.

Exterior door does not have thumb latch to unlock door. All egress doors shall be opened from the inside without use of a key or special knowledge or effort. 2021 IRC R311.2.

INSPECTION PHOTOS:

The garage door was missing hardware at the time of the inspection.

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H. Windows

Comments:

WINDOWS:*Not all windows were operated/accessible in furnished residence.**One or more windows were difficult to open / close / operate.**One or more window plastic exterior retaining strips are loose or damaged.*One or more windows had cracked/broken glass pane(s);**guest bedroom, entry door****SCREENS:**

Multiple screens are missing and/or damaged.

SAFETY GLASS:Could not find/observe markings on glass panels of the door(s) at the base of the stairway to indicate the presence of safety/tempered glass which is a recognized safety hazard and code requirement. Per UBC 2406.4, IRC 308.4.11.**INSPECTION PHOTO:**

Door window cracked; front entry door.

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I	NI	NP	D
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X			X
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I. Stairways (Interior and Exterior)

Comments:

INTERIOR:

Space between railings does not comply with current industry standard, Per IRC 312.2, UBCA 421.1.1, Requires spacing between intermediate rails do not allow passage of an object four inches in diameter. Recommend covering large openings in stair rails with temporary type nylon netting if small children are present in the house to prevent injury.

INSPECTION PHOTO:

The balcony guardrail spindle spacing is improper/

X			X
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J. Fireplace & Chimney

Comments:

CHIMNEY:

Storm collar needs caulking on the chimney.

HEARTH & HEARTH EXTENSION:

Ash buildup in hearth prevented observation of the bottom of the hearth.

Soot build-up in the firebox / flue should be cleaned by a qualified chimney sweep.

Brick cracks observed in firebox or hearth of fireplace, repair is recommended.

INSPECTION PHOTO CON'T ON NEXT PAGE:

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Wood burning fireplace.

X			X
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 K. Porches, Balconies, Decks, and Carports

Comments:

PORCHES, DECKS, CARPORTS:

Cracks in walkways, driveway and/or garage concrete observed, typical.

High soil / foliage / patio / deck obscures the view of foundation and prevents visual inspection for termite and/or water penetration.

Could not verify the method of attachment used to secure the patio cover / awning to the structure.

Tripping hazard, there is no contrasting color at the raised section near the porch.

Tripping hazard(s) - walks and/or driveways are uneven and/or damaged in multiple areas.

		X	
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L. Other

Comments:

Not present at time of inspection.

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II. ELECTRICAL SYSTEMS

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A. Service Entrance and Panels

Panel Locations:

- Main Service Panel is located at the West Exterior Wall

Materials and Amp Rating:

- : 150 Amp - Aluminum feeder wiring

Comments:

The inspector is not required to: (A) determine present or future sufficiency of service capacity amperage, voltage, or the capacity of the electrical system; (B) test arc-fault circuit interrupter devices when the property is occupied or damage to personal property may result, in the inspector's reasonable judgment; (C) conduct voltage drop calculations; (D) determine the accuracy of over current device labeling; (E) remove covers where hazardous as judged by the inspector; (F) verify the effectiveness of over current devices; or (G) operate over current devices. 22 TAC A7535.229 (a) Standards of Practice. Acceptance of these conditions rest solely with the buyer, if you have concerns or questions we recommend contacting a licensed electrical contractor for a professional analysis of the system, equipment and / or components.

BREAKER PANEL:

The brand of the electrical service panel is Federal Pacific . This make of panel is known for difficult to find and more costly to replace breakers. Also, this panel is associated with a higher incidence of failures/safety problems. If additional information is needed, recommend a qualified electrician be consulted.
Replacement of panel highly recommended as an upgrade/safety improvement.

Service panel and the electrical meter were not secured to the wall properly at the time of the inspection. - shock hazard.

Not all breakers are properly identified. Per NEC E3606.2

Dead front missing one or more securing screws. Need to ensure screws used do not have sharp/pointed ends that can penetrate live electrical wiring behind the dead-front and cause shock, fire, serious injury.

Metal conduit chase not properly bonded or concentric circle is missing. NEC 250.92(B)

There was no surge protector observed on the breaker panel, IRC 3606.5. Homes built before 2021 generally were not required to have surge protection. However, the current TREC standard of practice requires inspectors to indicate that a hazardous or deficient condition exists if any home does not have this protection, regardless of the date the home was constructed.

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The service panel dead-front is not secured in place.

BREAKERS:

Did not observe installed AFCI (Arc Fault Circuit Interrupter) device protection, as required by current building standards, for all: family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas. AFCI devices are intended to protect against fires caused by electrical arcing faults in the home's wiring. Arc faults are a common cause of residential electrical fires. Arc faults can be created by damaged, deteriorated, or worn electrical plugs, cords, and/or branch circuit conductors. As of September 1, 2008, the State of Texas has adopted the 2005 NEC, which includes this requirement, as the "minimum standard" for all non-exempt electrical work. Homes built before 2002, generally were not required to have arc fault protection. However, the current TREC standard of practice requires inspectors to indicate that a hazardous or deficient condition exists if any home does not have this protection, regardless of the date the home was constructed.

WIRES:

Ground clamp is loose and/or not secured properly to acorn clamp/rod.

Observed two or more neutral conductors under one screw lug on neutral bus. Current industry standards and NEC permit one neutral conductor per screw lug.

FEEDER WIRING:

No significant deficiencies or anomalies observed at the time of inspection.

SERVICE WIRING:

Not checked/inspected. Limited visibility.

INSPECTION PHOTOS CONT ON NEXT PAGE:



Federal Pacific electrical panel was installed at the time of inspection. recommend replacement.



The main electrical panel was not secure properly at the time of inspection.



The dead front cover was not secure properly; missing attachment screw.

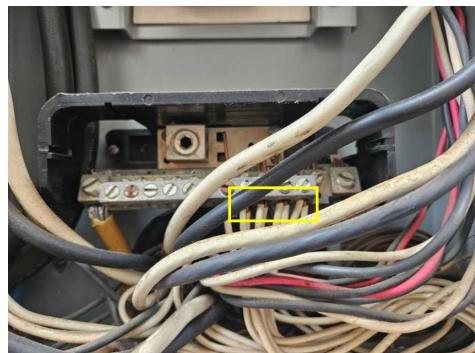
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I NI NP D



The concentric bonding ring was missing at the time of the inspection.

Double lugged neutrals observed in the panel at the time of inspection.

The electrical meter was not secured properly at times of the inspection.



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X			X
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B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Observed type of branch wiring is copper.

Comments:

BRANCH WIRING:*Could not confirm all appliance were on dedicated circuits.***FANS:**One or more ceiling fan(s) were found to be not grounded.**BULBS:**Light diffuser / globe cracked, damaged or missing; **exterior light fixtures**Light(s) found to be not functioning. Probably just a burned-out bulb, or it could be a broken fixture/switch or improper wiring. Including but not limited to;XXXX

Observed open incandescent type light fixtures in one or more closets which are considered a potential fire hazard by today's standards. Per IRC 3903.11.

FIXTURES:Pull string light fixture defective;guest bedroom closet**GFCI:**There was no GFCI protection observed at all required locations, including but not limited to; all bathrooms, kitchen counter top outlets, exterior outlets, in the garage, etc. This condition is a recognized hazard and should be corrected by a licensed electrician.**OUTLETS:***Outlets located in inaccessible areas (e.g., garage ceilings, exterior soffits, etc.) are not individually tested.**All exterior outlets whether in use or not are required to have in use weather proof cover per September 1st 2014 NEC Code Change.**Not all outlets were checked / inspected / accessible in furnished residence.*One or more outlets are not secured well in the wall.Outlet(s) found to be worn, does not hold the plug securely. Recommend replacement, including but not limited to;guest bedroom

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I	NI	NP	D
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One or more exterior outlet(s) not sealed well against rain water entry.

SWITCHES:

Use of a voltage detector indicated switch(s) are not grounded as required by current industry standards (code) to reduce the risk of electrical shock. Before 1999, grounding of switches was not required. Recommend grounding all non-grounded switches or replace all metal face plates and screws with plastic face plates and screws.

ELECTRICAL DISCONNECTS:

No electrical disconnect for electric water heater observed within sight. This does not comply with NEC 422.31(B)

FIRE PROTECTION EQUIPMENT:

Smoke detectors are tested using the manufacturer supplied test button only. This inspection does not include testing units with actual smoke. The installation of smoke alarm(s) is required inside all bedrooms and in any rooms designated for the purpose of sleeping, and outside within the proximity of the doors to those rooms. Test all alarms and detectors weekly or monthly per manufacture instructions. The installation of carbon monoxide (CO) detector(s) is required in homes with fuel-fired appliances at every floor elevation and any areas where fuel-fired equipment is located. The installation of Type ABC fire extinguisher(s) at the kitchen, laundry, and garage, if applicable, is also advised. Test all of these devices monthly. Install new batteries semi-annually. Initiate and practice plans of escape and protection for all occupants in case any emergencies arise. Failure to repair defective or install absent alarms, detectors, and other safety equipment immediately can result in serious injury or death. For further information about fire safety and CO poisoning, consult your local fire department and your equipment manufacture(s), and read these links: www.cpsc.gov/CPSCPUB/PUBS/464.pdf, www.carbonmonoxidekills.com, www.nfpa.org/index.asp, and www.usfa.dhs.gov/downloads/pyfff/inhome.html.

Per manufacturer's recommendations, smoke detection equipment should be replaced every 10 years.

Smoke detectors are not interconnected. The actuation of one alarm will not actuate all the alarms in the house/unit.

Did not observe any CO (carbon monoxide) detectors in the home. We recommend the installation of (CO) detectors per the manufacturer's installation instructions in any home containing fuel-burning appliances.

Observed one or more smoke alarms not secured in position.

INSPECTION PHOTOS CON'T ON NEXT PAGE:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

 NI NP D

The East exterior light was missing it's diffuser at the time of the inspection.



The North exterior light fixture missing diffuser at the time of inspection.



The hallway smoke detector was missing at the time of the inspection.



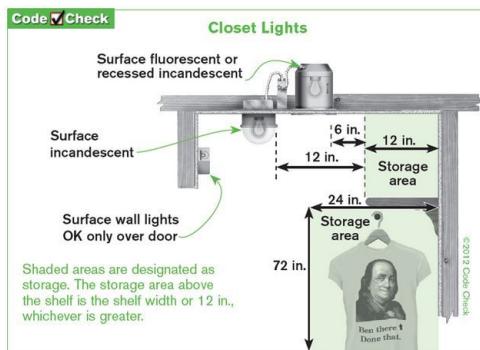
The light switches were not grounded at the time of the inspection.



The fans were not grounded at the time of the inspection.



The outdoor outlet was not secured properly at the time of the inspection; front entry



X C. Other

Comments:

Not present at time of inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

X	X		
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A. Heating Equipment

Type of Systems: Forced Air

Energy Sources: Electric

Comments:

For heating, ventilation, and air conditioning systems inspected under TREC guidelines, the inspector is not required to perform the following actions: inspect duct fans, humidifiers, dehumidifiers, air purifiers, motorized dampers, electronic air filters, multi-stage controllers, sequencers, heat reclaimers, wood burning stoves, boilers, oil-fired units, supplemental heating appliances, de-icing provisions, or reversing valves; If buyer is concerned recommend consulting with a qualified HVAC specialist.

FURNACE:

Not checked/inspected. Limited visibility.

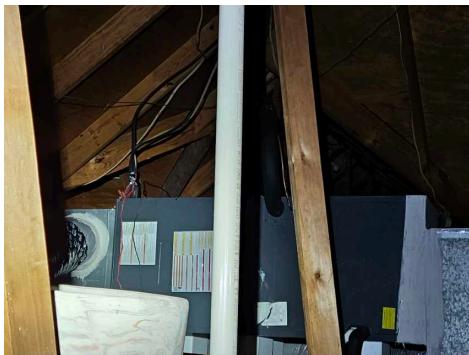
BLOWERS:

No significant deficiencies or anomalies observed at the time of inspection.

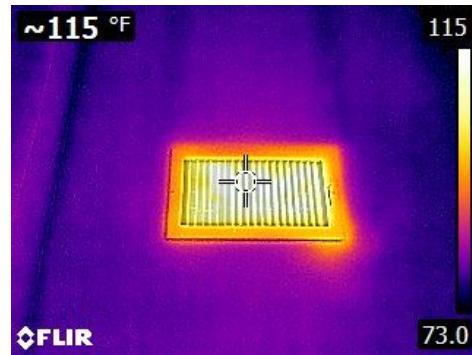
THERMOSTATS:

No significant deficiencies or anomalies observed at the time of inspection.

INSPECTION PHOTOS:



HVAC system



The heater was operational at the time of the inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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**B. Cooling Equipment**

Type of Systems: Forced Air Split System

Comments:

This inspector is not required to A) verify tonnage match of indoor coils and outside coils or condensing units B) determine the correct sizing, efficiency, or adequacy of the HVAC system. 535.230 Standards of Practice. Acceptance of these conditions rest solely with the buyer, if you have concerns or questions we recommend contacting a licensed HVAC technician for a professional analysis of the system.

CONDENSER UNIT:

Date/Brand: 2022 Goodman
 Tonnage/Amps: 5/50

EVAPORATOR COIL:

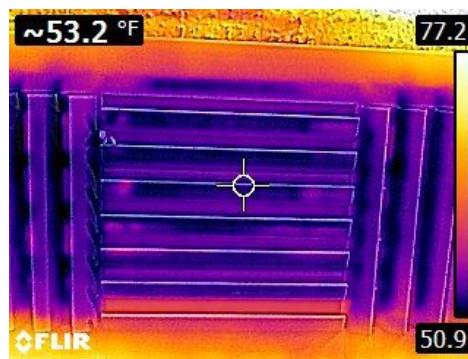
Not checked/inspected. Limited visibility.

DRAIN LINES:

Not checked/inspected. Limited visibility.

DRAIN PANS:

Not checked/inspected. Limited visibility.

INSPECTION PHOTOS:

The condenser is a 2022 Goodman 5 ton 50 amp unit. The AC temperature differential split was 16.6F at the time of the inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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X			X
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C. Duct Systems, Chases, and Vents

Comments:

This company does not inspect the interior of the HVAC Duct System. We do not inspect for, and are not qualified to render opinions on, any type of environmental or other bio-hazards. If this is a concern or potential concern, Fox Inspection Group recommends contacting a qualified professional of your choice for further information / investigation.

FILTERS:

One or more return air filters dirty.

RETURNS:

The return air chase is not properly sealed. This condition results in a very significant reduction in cooling capacity and substantially increased operating costs.

DUCTS:

Recommend client consider having air ducts cleaned due to age of ducts and/or if return air chase is not sealed/airtight, especially if any future residents have allergies.

Some insulation missing and/or damaged on ducts in the attic.

VENTS:

No significant deficiencies or anomalies observed at the time of inspection.

INSPECTION PHOTO:



Damaged ducting.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
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D. Other

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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IV. PLUMBING SYSTEMS

X			X
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A. Plumbing Supply, Distribution System and Fixtures

Location of Water Meter: Front yard

Location of Main Water Supply Valve:

- Not located

Comments:

Static water pressure reading: 55 PSI

Type of supply piping material: Galvanized, Copper

WATER SUPPLY SYSTEM:

Bidet devices not checked/inspected.

Water meter box / cover damaged or cover is missing.

COMMODES:

The water was turned off to unit at the time of inspection, this can indicate that the unit has a problem; 2nd floor guest bathroom

SINKS:

Drain stopper or pop-up lever assembly of one or more sinks is missing, damaged or needs adjustment.

FAUCETS:

Kitchen faucet turns 360 over counter top.

Recommend caulking around all tub/shower faucets and spouts to prevent water entry behind the wall.

The kitchen spray wand leaks water and/or does not operate properly.

Hot/cold reversed - Hot water supply to any fixture shall be installed on the left/back side; 2nd floor shower, primary bathroom

TUBS:

Inspector does not test the bathtub overflow without access to the bath-trap due to the possibility of damage to the property. If this is a concern, recommend consulting with a qualified licensed plumber.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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SHOWERS:

24 hour shower pan test has been specifically excluded.

Slow drain;primary bathroom

Wall mounted shower head improperly facing shower door; . See IRC 2705.1 and UPC 411.10.

LAUNDRY CONNECTIONS:

Recommend use of stainless steel wire braided "no burst" clothes washer water supply lines to reduce the chance of water damage.

Unable to verify laundry connections in laundry area due to location of washer / dryer.

HOSE BIBS:

No significant deficiencies or anomalies observed at the time of inspection.

INSPECTION PHOTOS:



The water pressure to the home was 55PSI at the time of inspection.



The water meter cover was not installed properly at the time of the inspection



The water was turned off at the second floor commode at the time of the inspection.



Crack tiles observe at the primary bathroom shower.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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X			X
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B. Drains, Wastes, Vents

Type of Drain Piping Material:

- PVC

Comments:

DRAINS, WASTES, VENTS:*Hydrostatic pressure test of sewer lines was specifically excluded.*

Recommend a hydrostatic test / visual scope of sewer lines. Due to the age of the house and/or amount of settlement, the possibility of damaged/leaking drain lines below the house in this inspector's opinion is significant. The test by licensed plumber costs several hundred dollars and may uncover/find problems that can easily cost 10-20 thousand dollars to fix. Most new homeowner's policy will no longer cover this expense while existing homeowner policyholders may be covered/insured for this expense.

Painting of exterior plastic PVC vents above the roof line required to prevent UV damage.

X			X
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C. Water Heating Equipment

Energy Source:

- Electric

Capacity:

- Unit is 50 gallons

Comments:

WATER HEATER:*No significant deficiencies or anomalies observed at the time of inspection.***TEMPERATURE & PRESSURE RELIEF VALVE:**

Did not check operation due to possible damage to property if the drain line leaked. (Most manufacturers recommend replacement of T & P valves over 3 years of age.)

DRAINS/ PANS:

Located near house without benefit of a drain pan. Should water heater leak, interior finishes can be damaged.

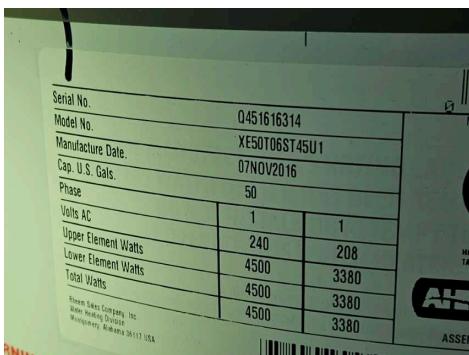
INSPECTION PHOTOS CONT ON NEXT PAGE:

I=Inspected

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NP=Not Present

D=Deficient

 NI NP D

The water heater is a 2016 Rheem 50 gallon electric unit.



The water heater was operational at the time of the inspection.

X D. Hydro-Massage Therapy Equipment

Comments:

HYDRO-MASSAGE THERAPY EQUIPMENT:

The spa motor does not appear to have GFCI protection - this condition is a recognized safety hazard.

Cause of deficiency was unknown at the time of inspection; the primary bathroom tub recommends further investigation by a qualified professional to determine the root cause and possible remedy.

INSPECTION PHOTO:



Tape was covering the hydro massage jets at the time of inspection.

X E. Gas Distribution Systems and Gas Appliances

Location of Gas Meter:

- No gas meter, all electric

Type of Gas Distribution Piping Material:

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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F. Other

Comments:

FILTER SYSTEM:

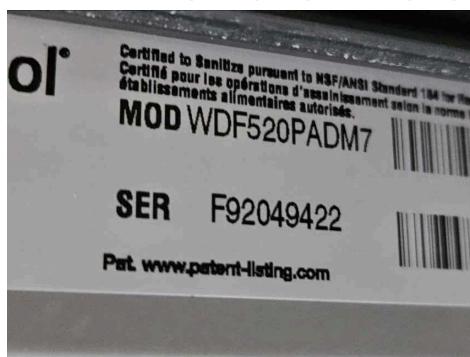
Not present at time of inspection.

V. APPLIANCES

X	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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A. Dishwashers

Comments:

DISHWASHER:*Interior stained from hard water, recommend cleaning.*Drain line needs to be better elevated and secured above side inlet of disposal to prevent debris and gray water from draining down line from disposal and back into dishwasher.Dishwasher does not drain properly, water stands in the bottom of the dishwasher. Recommend having the unit serviced.**INSPECTION PHOTO:**

Dishwasher data plate.



Standing water observed in the dishwasher at the time of the inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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B. Food Waste Disposers

Comments:

DISPOSER:*No significant deficiencies or anomalies observed at the time of inspection.***INSPECTION PHOTO:**

Disposal data plate.

X			X
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C. Range Hood and Exhaust Systems

Comments:

RANGE HOOD:

Excessive grease buildup on vent screen or screen improperly positioned.

INSPECTION PHOTO:

Greasy screens were observed on the range at the time of inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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X			X
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D. Ranges, Cooktops, and Ovens

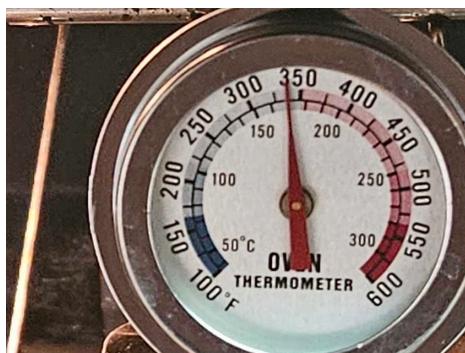
Observations:

ELECTRIC RANGE/COOK TOP:*Not Checked/ Inspected; induction oven***ELECTRIC OVEN(S):***Timer and cleaning cycles not checked.*

Thermostat/knob needs adjustment/replacement, when it is set at 350 degrees oven heats to approximately 325 degrees.

INSPECTION PHOTOS:

Oven data plate.



The upper oven temperature measured within range at time of inspection.



The lower oven needs adjustment.

X			
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E. Microwave Ovens

Comments:

MICROWAVE:*No significant deficiencies or anomalies observed at the time of inspection.***INSPECTION PHOTOS CONT ON NEXT PAGE:**

I=Inspected

NI=Not Inspected

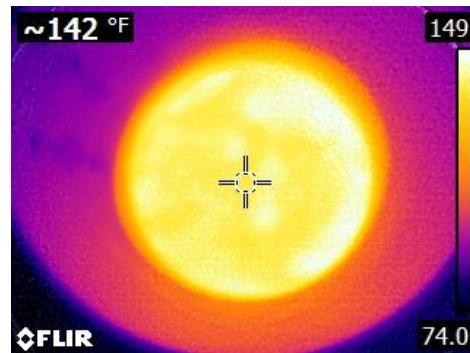
NP=Not Present

D=Deficient

I	NI	NP	D
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Microwave data plate.



The microwave was operational at the time of the inspection.

X				
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 F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

BATH FAN(S):*Did not confirm/verify proper venting of all units to the exterior.*

X				
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 G. Garage Door Operators

Comments:

*Remote control hand held units were not checked/inspected.*Electronic sensing eyes improperly installed, should be no more than 6" above the floor.

X			X	
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 H. Dryer Exhaust Systems

Comments:

DRYER VENTS:*Recommend periodic cleaning of the dryer vent ductwork to reduce the risk of fire.*

Exterior dryer flapper door missing.

Dryer not vented to exterior. Possible fire hazard.**INSPECTION PHOTOS CONT'D ON NEXT PAGE:**

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Recommend adding a dryer vent door in the dryer exhaust.

X				
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I. Other

Comments:

REFRIGERATOR:

Temperature measures: Fridge: 42F Freezer: 6F

WASHING MACHINE:

No significant deficiencies or anomalies observed at the time of inspection.

DRYER:

Dryer was inspected visually only, not cycled / tested. Clothes present in unit at time of inspection.

INSPECTION PHOTOS:



Washer data plate.



The refrigerator was operational at the time of inspection.



The freezer was operational at the time of the inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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VI. OPTIONAL SYSTEMS

<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
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A. Landscape Irrigation (Sprinkler) Systems

Comments:

<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
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B. Swimming Pools, Spas, Hot Tubs, and Equipment

Type of Construction: N/A

Comments:

Not present at time of inspection.

Not checked / inspected. See Pool Inspector's report.

<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
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C. Outbuildings

Materials: N/A

Comments:

Not present at time of inspection.

<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
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D. Private Water Wells (A coliform analysis is recommended)

Type of Pump: N/A

Type of Storage Equipment: N/A

Comments:

Not present at time of inspection.

<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
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E. Private Sewage Disposal Systems

Type of System: N/A

Location of Drain Field: N/A

Comments:

Not present at time of inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
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F. Other Built-in Appliances

Comments:

<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
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G. Other

Comments:

Not present at time of inspection.

FOX INSPECTION GROUP REAL ESTATE INSPECTION SERVICE AGREEMENT

THIS IS INTENDED TO BE A LEGALLY BINDING CONTRACT

BETWEEN YOU THE CLIENT AND FOX RESIDENTIAL SERVICES GROUP LLC, ITS SUBSIDIARIES, AND ALL

SUBCONTRACTORS SCHEDULED OR ARRANGED THROUGH US

PLEASE READ CAREFULLY

1. SCOPE OF THE INSPECTION: The inspector will perform a general, non-Invasive limited visual ("eyeball") inspection of the property structure at the address listed below to provide Client(s) with a written opinion as to the apparent general condition of the structure(s) components and systems at the time of the inspection. The inspection will be performed in a manner consistent with the "Standard of Practice" and "Code of Ethics" of "TREC" Texas Real Estate Commission and prepare a written report of the apparent condition of the readily accessible systems and components of the Property unless otherwise indicated existing at the time of the inspection. A copy of these Standards are readily available to the Client(s) at http://www.trec.state.tx.us/inspector/rules_governing_inspectors.asp Only systems and components that can be reached, entered, or viewed without difficulty, moving obstructions, or requiring any action which may result in damage to the property or personal injury to the Inspector will be inspected. Latent and concealed defects and deficiencies are excluded from the inspection, and Inspector is not liable for latent and concealed defects and deficiencies. Any area which is not exposed to view, concealed, is inaccessible because of soil, walls, floors, carpets, ceilings, furnishings or other things, or areas/items which have been excluded by "TREC" Texas Real Estate Commission standards and/or by the agreement of the parties is not included in this inspection. The inspection does not include any destructive testing or dismantling. In the event that the property is a part of a condominium unit, such inspection will not include any other connected or external portions of a multi unit building or any common areas covered by a joint use agreement or considered common areas.

2. STANDARDS OF PRACTICE: The parties agree that the Standards of Practice "TREC" Texas Real Estate Commission shall define the standard of duty and the conditions, limitations, scope, and exclusions of the inspection and are incorporated by reference herein.

3. CLIENT'S DUTY: Client agrees to read the entire report when it is received and promptly call the Inspector with any question or concern regarding the inspection or written report. The written report shall be the final exclusive findings of the Inspector. In the event client becomes aware of a reportable condition which was not reported by the Inspector, Client agrees to promptly notify Inspector and allow Inspector and/or Inspector's designated representative(s) to inspect said condition(s) before making any repair, alteration, or replacement.

4. FURTHER EVALUATION: Client acknowledges and agrees that the Inspector is a generalist and that further investigation of a reported condition by an appropriate certified licensed specialist may provide additional information that may affect a Client(s) decision to purchase the

home. Client should seek further evaluation from licensed professionals regarding the deficiencies identified in the written report. Inspector is not liable for Client(s) failure to further investigate reported deficiencies.

5. CHANGE IN CONDITION(S): The parties agree and understand that conditions of systems and components may change between the inspection date and the time of closing. It is the Client's responsibility to further investigate before closing and the Inspector is not liable for any changes of conditions.

6. NOT A WARRANTY: The parties agree and understand the Inspector is not an insurer or guarantor against defects in the structure, items, components, or systems inspected. Client(s) understand that the inspection and inspection report does not constitute a guarantee or warranty of merchantability or fitness for a particular purpose, expressed or implied, or insurance policy, nor is it a substitute for real estate transfer disclosures which may be required by law.

INSPECTOR MAKES NO WARRANTY, EXPRESS OR IMPLIED, AS TO THE PRESENT OR FUTURE FITNESS FOR USE, CONDITION, PERFORMANCE OR ADEQUACY OF ANY INSPECTED STRUCTURE, ITEM, COMPONENT, OR SYSTEM, THE PRESENCE OR ABSENCE OF LATENT OR HIDDEN DEFECTS THAT ARE NOT REASONABLY ASCERTAIN IN A COMPETENTLY PERFORMED HOME INSPECTION, OR THE REMAINING USEFUL LIFE OF ANY SYSTEM OR COMPONENT OF THE PROPERTY.

7. NOT AN APPRAISAL: The Inspection will not include an appraisal of the value or a survey of building and/or property lines. This inspection or the inspection report may not be construed as an appraisal or survey and may not be used as such for any purpose.

8. NOT A COMPLIANCE INSPECTION: This inspection or inspection report is NOT a code compliance inspection or certification for past or present governmental codes or regulations.

9. INSURABILITY: The inspection or inspection report does not determine whether the property is insurable.

10. THIRD PARTIES AND SUBROGATION: The inspection and written report are performed and prepared for the sole and exclusive use and possession of the Client. No other person or entity may rely on the report issued pursuant to this Agreement. In the event that any person, not a party to this Agreement, makes any claim against the Inspector, its employees or agents, arising out of the services performed by the Inspector under this Agreement, or claims alleging in whole or part any negligent act or omission of the Inspector, the Client agrees to indemnify, defend, and hold harmless Inspector from any and all damages, expenses, costs, and attorney fees, arising from such a claim.

11. LIMITATION OF LEGAL ACTION: The parties agree that any legal action must be brought within one (1) year from the date of the inspection(s), or will be deemed waived and forever banned.

12. LIABILITY: The parties agree that the Fox Inspection Group and its employees and its agents assume no liability or responsibility for cost of repairing or replacing any defects

specified in the written report, as well as no liability for the costs of further evaluation or investigation of the defects specified in the written report. Further, the parties agree and understand that the Inspector and its employees and its agents assume no liability for the costs of repairing or replacing any of the unreported defects or deficiencies either current or arising in the future or any property damage, consequential damage or bodily injury of any nature. In the event of a claim by the Client that an installed system, or component of the premises which was inspected by the inspector was not in the condition reported by the Inspector, the Client agrees to notify the Inspector at least 72 hours prior to repairing or replacing such system or component. If repairs or replacement are done without giving the Inspector the required notice, the Inspector will have no liability to the client. Client agrees that prior to taking any action, legal or otherwise, Client shall: submit a written claim to Inspection Company within 10 days of the deficiency discovery to 11227 Endicott Lane, Houston TX 77035. The written claim shall describe the suspected deficiency. Allow the Inspection Company, their agent or legal representative to perform a re-inspection of the deficiencies stated in the claim. Agree to not to disturb or repair the disputed item prior to a re-inspection except in cases where injury or subsequent property damage may occur.

13. DISPUTES AND ARBITRATION In the event a dispute arises regarding an inspection that has been performed under this service agreement, Client(s) agree to notify Fox Inspection Group within ten (10) days of the time of discovery to give Fox Inspection Group a reasonable opportunity to re-inspect the property and resolved the dispute amicably. Upon the request of either party, all unresolved disputes relating to this agreement shall be submitted for arbitration in accordance with (AAA) American Association of Arbitrators and pursuant to the Federal Arbitration Act then in effect with costs shared equally. This provision shall be specifically enforceable and damages for breach of this provision shall include but not limited to court costs and attorney's fees. Client agrees that Fox Inspection Group and it's agents liability, if any, shall be limited to the amount of the inspection fee paid for inspection. This limitation shall apply regardless of the cause of action or the legal theory pled or asserted specifically including, but not limited to, negligence.

14. SEVERABILITY: If any court of competent jurisdiction determines that any section, provision or part of this Agreement is void, unenforceable, or contrary to Texas law, the remaining sections of this Agreement shall remain in full force and effect.

15. DAMAGES: If the inspection company or any of its employees, agents, providers, officers, members, or shareholders, are found to be liable for any claim or damage due to the alleged negligence or willful misconduct of the Inspection company performing the home inspection or in the reporting on the condition of the property in the inspection report, THE MAXIMUM DAMAGE THAT THE CLIENT CAN RECOVER SHALL NOT EXCEED THE COST OF THE INSPECTION FEE PAID BY THE CLIENT. The Inspection Company shall not be liable to the Client for any loss of use of the property, repair or replacement cost, consequential or punitive damages or for attorneys' fees or court costs. The Inspection Company shall not be liable to the Client for any claims, loss or damage if the Client alters, tampers with or repairs or replaces the condition which is the subject matter of the Client's claim before the Inspection Company has had an opportunity to inspect the alleged defective condition.

16. CLIENT UNDERSTANDS: The integrity and moisture content of framing and sheathing behind finished wall coverings(exterior siding, stucco, cement stone coverings, fiber cement siding, drywall, interior bath and shower tile walls, etc) is not visible to inspect and beyond the scope of our services and is excluded within our services and is excluded within our inspection and inspection report. The lack of proper detailing and flashing may result in water penetration behind siding resulting in water penetration and structural damage which Fox Inspection Group makes no guarantee, warranty, or implied in the inspection or inspection report.

17. EXPERT TESTIMONY / LITIGATION FINANCIAL COMPENSATION CLAUSE: In the event our services are needed at any time in the future as expert testimony or in a litigation case, client agrees at this time / in advance to financially compensate this firm for it's time and services. Terms: Non-refundable retainer of \$2,500.00 upfront, Hourly rate of \$175.00 for any activities on our part for your case, including but not limited to; deposition, phone time, research, court time, travel time portal to portal, review of case prior to court appearance, etc. Balance due invoiced weekly, submitted Friday, payable the next Friday

18. RE-INSPECTIONS: Fox Inspection Group does not normally conduct re-inspection services. We are not in the business of certifying the workmanship and/or warranting another company's repair work. Receipts and/or warranty for work performed should be obtained from the company or companies who have provided repairs. In the event a re-inspection is performed it is agreed to in advance that Fox Inspection Group does not assume responsibility of any kind for another company's work.

19. LIMITATION AND EXCLUSION CLAUSE: The Client expressly acknowledges and agrees that the following are not included in the scope of the inspection and the inspection report and further acknowledges that the Inspector makes no representations or warranties as to them. **THE FOLLOWING SYSTEMS, ITEMS, AND CONDITIONS WHICH ARE NOT WITHIN THE SCOPE OF THE BUILDING INSPECTION INCLUDE BUT ARE NOT LIMITED TO:** recreational, leisure, playground or decorative equipment or appliances including but not limited to pools, hot tubs, saunas, steam baths, landscape lighting, fountains, shrubs, trees, and tennis courts. Cosmetic conditions wallpapering, painting, carpeting, scratches, scrapes, dents, cracks, stains, soiled or faded surfaces on the structure ,equipment or component, soiled, faded, torn, or dirty floor, wall or window coverings, etc. Noise pollution or air quality. Earthquake hazard, flood plain certification, liquefaction, soil, retaining walls, slide potential, wave action and hydrological stability, soil and earth measurements and stability, seismic safety, code and zoning, engineer level analysis, under ground utilities, sink hole potential, formaldehyde, lead paint, asbestos, toxic or flammable materials, molds, mildew, fungi, other environmental hazards, pest infestation, security systems, fire protection systems, sump pumps, household appliances, humidifiers, paint, other treatment windows, interior walls, ceilings and floors, water purification systems, (ozone generator/saltwater, etc), under ground storage tanks, energy efficiency measurements, motion or photo electric sensor lighting, concealed or private security systems, water wells, all over flow drains, heating system's accessories, solar heating systems, heat exchangers, wood burning stoves, sprinkler systems, water softener or purification systems, central vacuum systems, telephone intercom or cable TV systems, internet connections and cable connections, antennae, lightning arrestors, load controllers, governing codes, permits, ordinances, statues, and covenants, and manufacturer specifications, recalls, EIFS, Chinese

drywall and tainted materials, plasterboard, sheet rock, gypsum board, latent and concealed defects, and manufactured stone veneer, culture stone siding, fiber cement siding, flues or chimneys, coal stoves, water leaks, water intrusion, design and architect problems, circuit breaker operation, fireplace drafting, boundaries egress and ingress, quality of materials, private sewage, wattage and wiring, electromagnetic field, non built in appliances, rodents, ants, birds, or other wood boring organisms, security locks and devices, thermostat and gauges. Client understands that these systems, items, and conditions, are excepted and excluded from this inspection and Inspection report. Any general comments about these systems, items, and conditions of the written report are informal only and DO NOT REPRESENT AN INSPECTION.

20. COMPENSATION BY OTHERS: Fox Inspection Group may accept a fee from various vendors in this real estate transaction to compensate for administrative / coordinating / scheduling their services. Fox Inspection Group is accepting a fee or other valuable consideration from HomeSwitch LLC., in this real estate transaction. Client(s) acknowledges that they have been informed of this arrangement between Fox Inspection Group and HomeSwitch LLC and authorizes HomeSwitch LLC to call Client at the phone number provided to discuss options regarding setting up TV, Internet, Home Phone, Electricity, Home Security, Pest Control – even municipal utilities at their future home. If client(s) does not want to be contacted just let us know by phone (713-723-3330) or by email (Office@FoxInspectionGroup.com) .

21. PERSONAL SAFETY: We are not responsible for another participant's personal safety during the inspection process. Client, their representative's, or others participation shall be at his/her own risk for falls, injuries, property damage, etc. We reserve the right to refuse service to anyone for any reason.

22. REGARDING PREVIOUSLY FLOODED HOMES: Client is hereby put on notice, Caveat emptor / buyer beware; this property inspection and report specifically excludes any representation that the structure has been properly renovated / repaired after being flooded. Ultimate responsibility for proper renovation and repair lies solely with the property owner / seller and their repair contractors (NOT others associated with the transaction such as Realtors, home inspectors, appraisers, surveyors, title companies, lenders, etc.) Client is strongly advised to obtain all mandatory seller disclosure and documentation, including but not limited to photos and video, regarding any past flooding of the structure, as well as repair methods and techniques used by others to restore the property to its pre-flood condition including their contact information for future reference.

23. This Agreement, including the terms and conditions on all pages, represents the entire agreement between the parties and there are no other agreements either written or oral between them. This Agreement shall be amended only by written agreement signed by both parties.

ACKNOWLEDGMENT: the undersigned has reviewed this document, understands its content and agrees to the terms and conditions contained. The client further represents and warrants that he or she has full and complete authority to execute this contract on behalf of any spouse or significant other, and to fully bind any spouse or significant other to all terms, conditions, exclusions and limitations of this agreement. The report adheres to the "TREC" Texas Real Estate Commission Standards which is readily available) at

http://www.trec.state.tx.us/inspector/rules_governing_inspectors.asp.