

HARI OM SAI SADAN CO.OP. HOUSING SOCIETY LTD.

(Regd. No.Bom/Hsg/K-6963 of 1981 Dt. 11/6/81)

Bldg. No.10, Ratan Nagar, 4 Bungalows, Andheri (West), Mumbai – 400053.

Email: hariomsaisadan10@gmail.com Website: hariomsaisadanchsl.com

BLDG. UID NO. KW301066016

☺ CO-OPERATION IS OUR MOTTO ☺

To,

Date: 08/04/2025

The Deputy Registrar, Co-operative Society,
Room No. 69 K/W ward,
Bandra East,
Mumbai - 400 051.

SUB: To depute an authorized officer for the appointment of a developer

Sir,

With reference to the above subject, we wish to state that we have adhered to the norms prescribed by the department from time to time with respect to the appointment of a developer for the redevelopment of our society premises. We have completed the process and now intend to conduct SGM u/s 79A of the MCS Act under the supervision of your office.

Attached herewith please find the list of documents as below:

1. Report of Structural auditor
2. Resolution regarding the consent for redevelopment
3. Resolution regarding the appointment of a Project Management Consultant.
4. Notice and minutes of the meeting approving the project report submitted to the society by PMC.
5. Notice and minutes of the meeting approving the tender draft prepared by PMC to invite proposals from developers.
6. Inviting tender proposal by advertisement in Newspaper for redevelopment work
7. Minutes of the tenders received from the redevelopment were opened.
8. Report of the election of the managing committee, minutes of the meeting/letter of office bearers elected, and names and designations of working managing committee members.
9. Society updated members list
10. Comparative statement of developer proposals received.
11. Notice of the Meeting.

In view of the above, you are requested to depute an officer to conduct the meeting for the appointment of a developer.

For Hari Om Sai Sadan Chs Ltd

Chairman Secretary Treasurer



(476) ①

STRUCTURAL STATUS REPORT
OF
HARI OM SAI SADAN CO-OP HSG SOC LTD.
RATAN NAGAR, BUILDING NUMBAI-10, FOUR BUNGALOW, ANDHERI (WEST),
MUMBAI-400053.



COMPILED BY:

M/S. SUPREME ENGICONS (INDIA) PVT LTD.
201 A, SUNTECK GRANDEUR,
S.V ROAD, OPP. ANDHERI SUBWAY,
ANDHERI WEST, MUMBAI-400058.
Tel: +91-22-26774100/200.

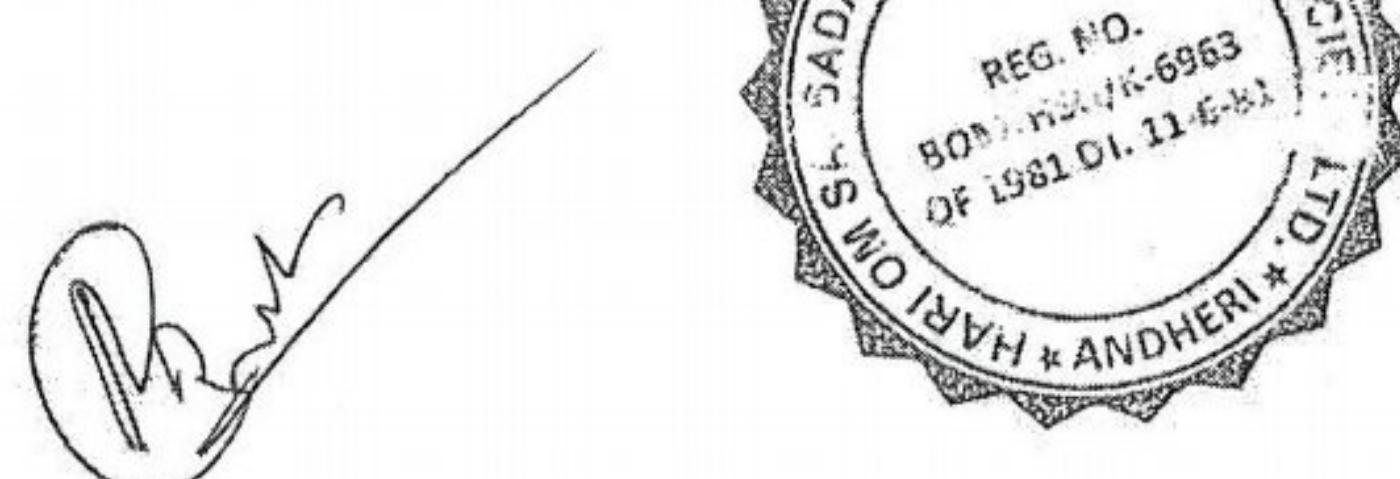
Email:info@supremeengicons.com



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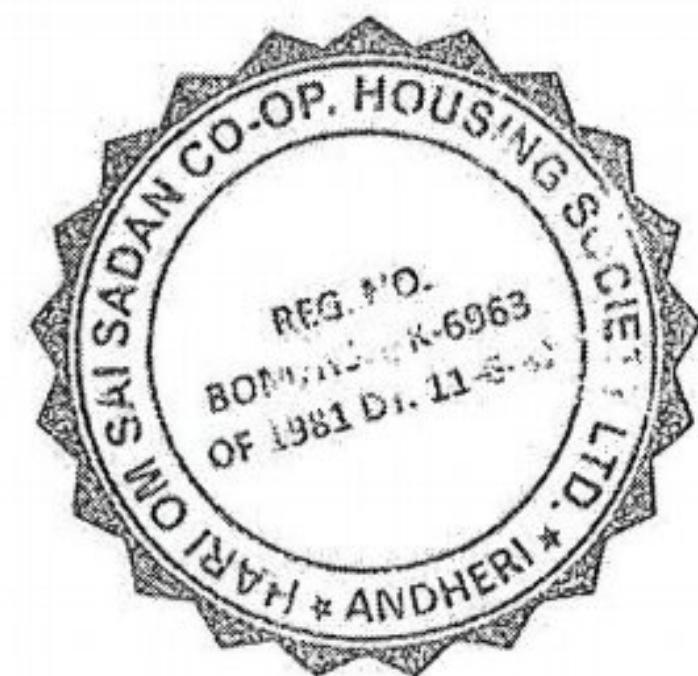
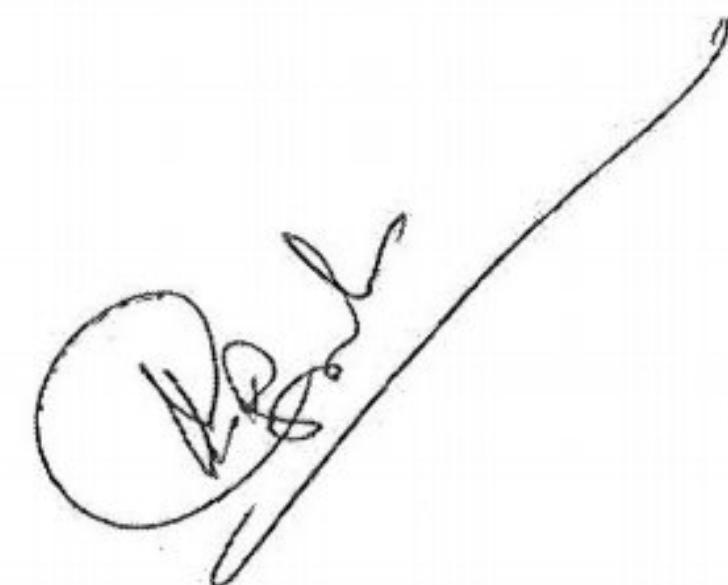
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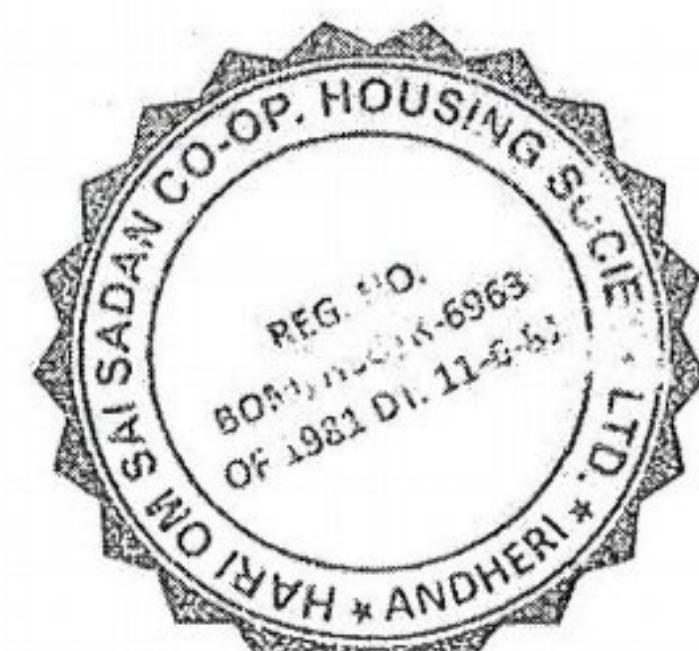
(474)

1. INTRODUCTION

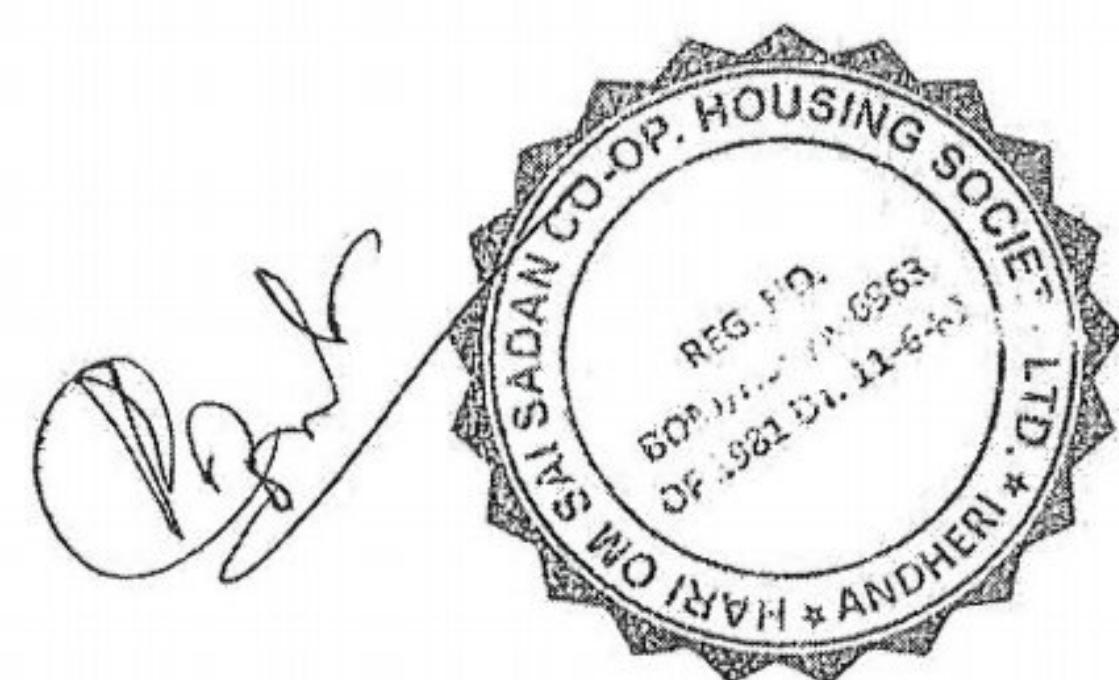


1.0 INTRODUCTION :

- 1.1. HARI OM SAI SADAN CO-OP HSG SOC LTD. has invited sealed tender for the structural audit of the building situated at RATAN NAGAR, BUILDING NUMBAI-10, FOUR BUNGALOW, ANDHERI (WEST), MUMBAI-400053
- 1.2. There is five wings in RCC structure having GR+03 upper stories. Pump room, Meter room, etc. are located at ground floor area of the building.
- 1.3. M/s Supreme Engicons (India) Pvt. Ltd. of companies submitted a proposal to the Administrator/ Secretary/ Chairman of HARI OM SAI SADAN CO-OP HSG SOC LTD. On request Mr. RAJESH SINGH visited the society prior to submitting the proposal and discussed the principles and procedures of investigation. Finally society has approved to conduct survey of the building through a work order letter DT. 12/10/2020.
- The investigation team comprises of Mr. Rajesh Singh, Mr. Vishal Kore & Mr. Saif Tanwar as engineer.
- 1.4. As per the information provided by the client, No major accident such as fire, only partial loose plaster was collapse at certain location has occurred since its construction.
- 1.5. Fieldwork started from 26th OCTOBER' 2020 and the entire work was completed by 31st OCTOBER 2020. Preliminary drawing preparation, Visual inspection, tapping was carried out simultaneously results of the same are presented in this document as Floor plan.
- 1.6. Instrumentation such as Ultra Pulse Velocity Test, Rebound Hammer test and other tests, was carried out by our investigation team Mr. Vishal Kore & Mr. Saif Tanwar as technicians on 18th NOVEMBER 2020 whose results are also enclosed.
- 1.7. Supreme Engicons (India) Pvt. Ltd. undertake not to disclose or reveal any technical information collected during investigation or put in possession during the course of our working without the explicit written approval of the clients.
- M/s Supreme Engicons (India) Pvt. Ltd. disclaim any responsibility of the finding, if the client chooses not to get the structure repaired or rehabilitated within one year of report date. We also are not responsible for any mishap or failure if the client alters the loading pattern and condition at site knowingly or unknowingly or by any act of nature. The validity of the report is restricted to one year only from today i.e. November' 2020 to October' 2021. This report is to be treated as a status report only and not as stability certification of the building under investigation.



2. PRINCIPLES



2.0. PRINCIPLES:

2.1. VISUAL OBSERVATION:

The building was investigated flat by flat for observation and also from the outside of the building. Each column, beam & slab within the section was observed for a range of defects. All these defects were marked on the observation sheets with approximate repair area which formed the total data of the structure.

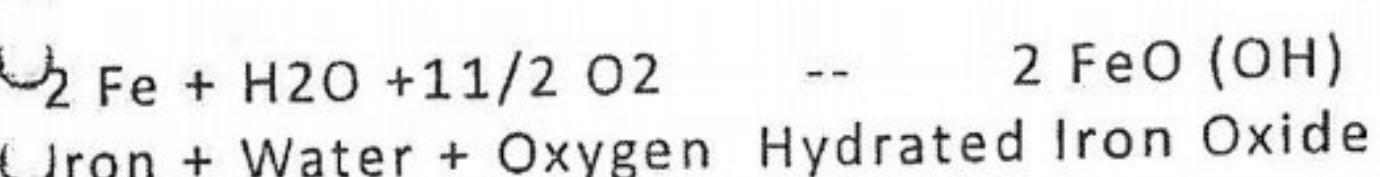
Various symbols used in observation sheets were as per attached legend sheet.

2.2. TAPPING OBSERVATIONS:

Each and every column & beam inside the flat was subjected to tapping by 3 different type of hammers. For residential building structure, medium hammer will be the most effective which gives the delams from 10mm to 25mm depth. The hollow sound was recorded in the observation sheets as hollow, which was evaluated for Remedial measures.

2.3. CORROSION:

Rusting of Iron and steel is the most commonly known process of Corrosion. The following equation describes the formation process of rust:



Concrete is permeable to water and solution of Chloride & Sulphate. Penetration of the solution of these chemicals can produce a gradual change in the condition within the concrete ultimately leading to Corrosion of steel and deterioration of concrete. Because of the chemical attack the concrete carbonation starts and the concrete loses its alkalinity. Major constituents like Carbon dioxide, Sulphates, Sulphur dioxide etc. cause the loss of alkalinity in concrete.

Any corrosion of reinforcement results in the formation of rust, which occupies a volume of about 2.2 times that of iron from which it is formed. This corrosion product has literally no place to go so that it produces large internal pressure as high as 1 ton/inch² around the concrete resulting in longitudinal cracks parallel to reinforcement and cracks in the concrete.

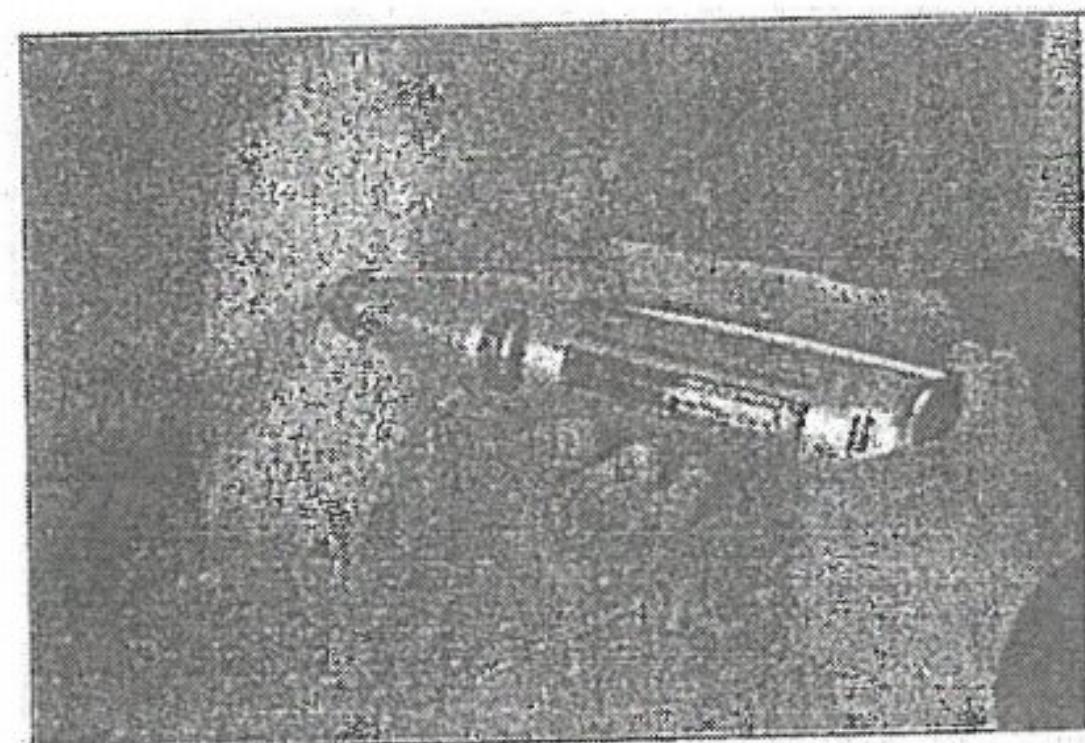


2.4. REBOUND HAMMER TESTS:

Application:

These tests are primarily done to assess:
 The likely compressive strength of concrete
 The uniformity of concrete

Rebound Hammer tests are done in accordance with Indian standards IS: 13311



(Part 2)

Procedure:

The concrete surface is cleaned properly
 The hammer is pressed against the concrete surface and released.
 Nine readings are taken and an average is taken.
 Correlate the average with the compressive strength.

Rebound Hammer Test

Sr. No	Rebound Hammer number	Concrete Quality Grading
.	Above 40	Excellent
.	30 to 40	Good
.	20 to 30	Medium
.	Below 20	Doubtful

2.5. INTEGRITY TESTING:-

ULTRASONIC PULSE VELOCITY METHOD

It is known that speed of a sound wave varies with the density of its propagation. In concrete is a medium through which ultrasonic pulse is made to propagate. The pulse is sent through a transmitting transducer acoustically coupled with the surface and is received by a similar transducer placed in position as shown in the figure. The time elapsed from transmittance to receipt of pulse is measured in microseconds and displayed on LCD display of ultrasonic pulse tester.

The pulse velocity is calculated by following expression:-

$$\text{Pulse Velocity} = \frac{\text{pulse travel path}}{\text{Pulse travel time}}$$

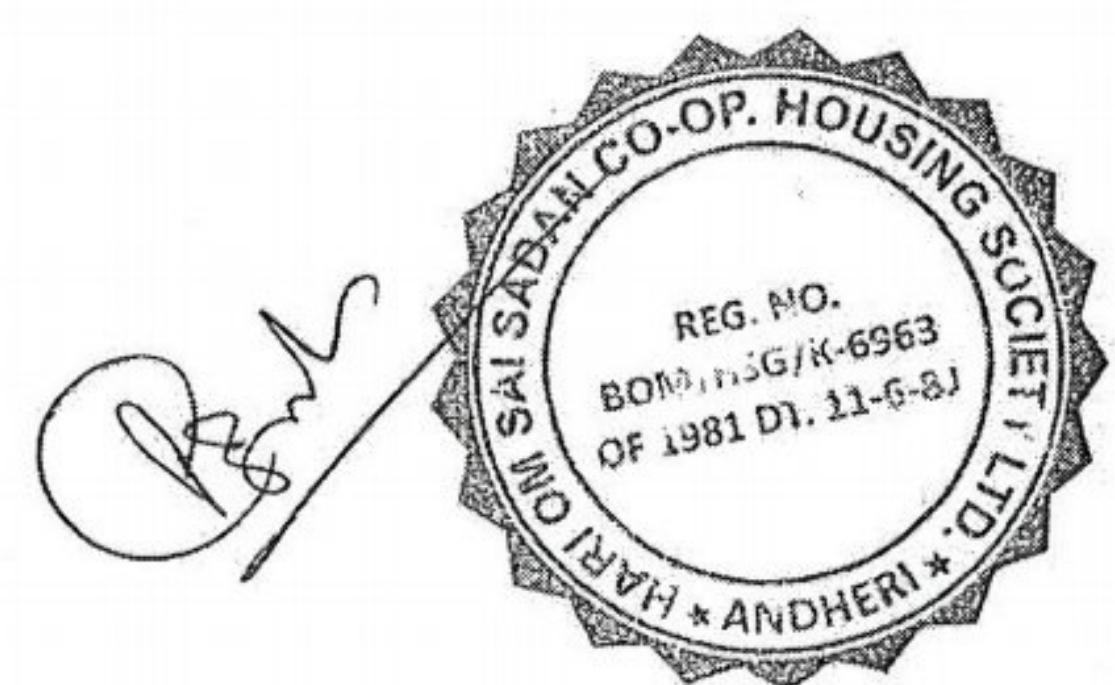
Pulse travel time is converted to Km/sec.

The pulse velocity in concrete ranges from 3 Km/sec to 4.8 Km/sec.

The UPV in concrete is a function of density and compactness of concrete, which within limits bears a relationship with strengths and elastic properties of concrete. Beyond this limits, the relationship is very weak.



3. OBSERVATIONS



2.6. CONCRETE CORE TEST:

Application:

These tests are primarily done to obtain the compressive strength of the concrete sample. In addition, the density of the concrete sample is also obtained.

Concrete Core tests are done in accordance with Indian standards IS: 1199 and IS: 516

Procedure:

The exact position from where the core can be extracted from the concrete member is determined using a rebar mapping device so as to avoid the reinforcing bars within the concrete member.

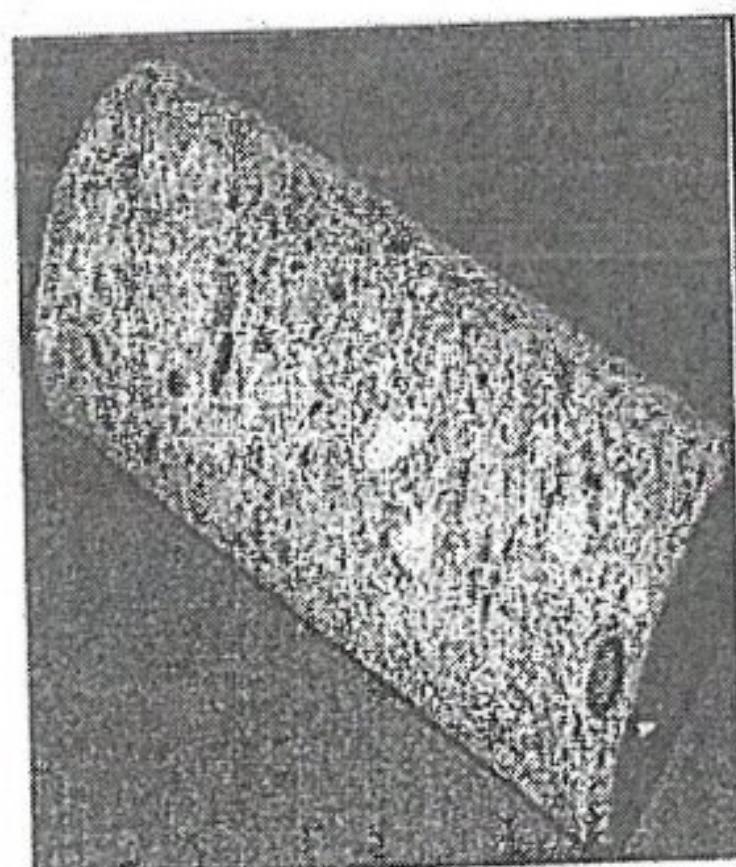
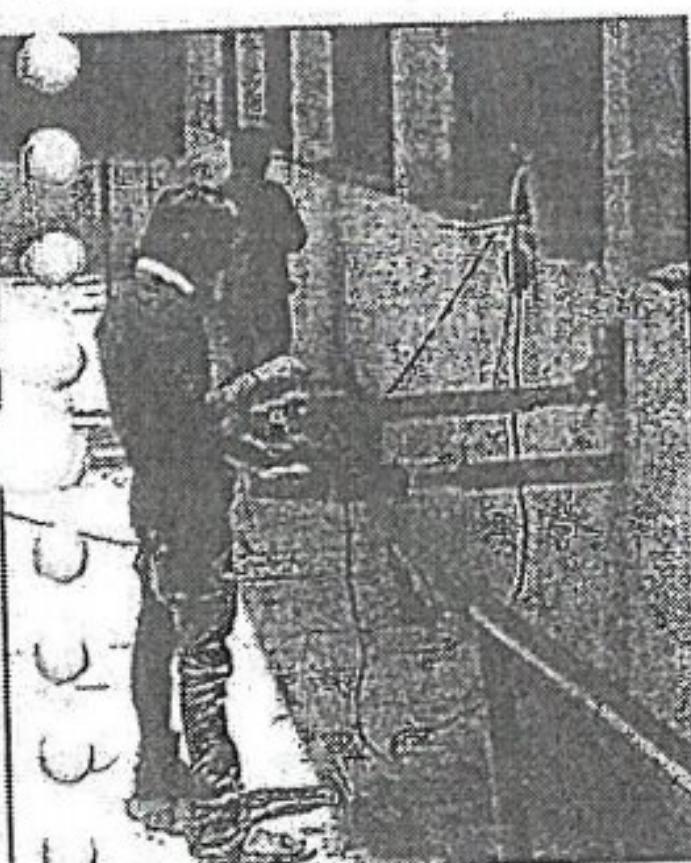
Concrete core of diameter of at least three times the maximum nominal size of coarse aggregate is obtained using a core cutting machine.

The obtained cores are capped on both sides in the laboratory using epoxy mortar. The capped surfaces shall be at right angles to the axis of the specimen and shall not depart from a plane by more than 0.05 mm.

The core is then placed in water at a temperature of 24° to 30°C for 48 hours before testing.

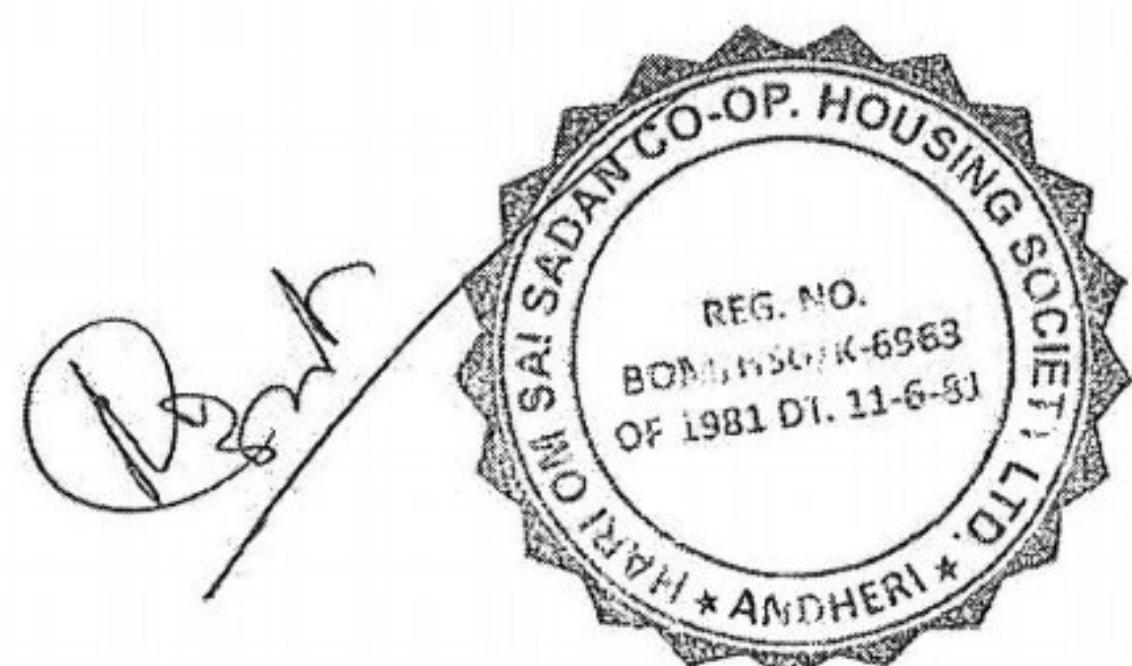
The core is then subjected to compression forces on a compression testing machine. The breaking point is observed & noted.

The obtained compressive strength is converted to equivalent cube strength and is reported after applying suitable correction factors in accordance with the Indian standards.



Core

Extraction Extracted Core Compression Testing



2.7. HALF CELL POTENTIAL:

Application:

These tests are used to assess the probability of corrosion in reinforcement.

HCP Tests are done in accordance with ASTM C876 standard.

Procedure for Half Cell Potential Tests:

Identify test location & drill a hole in the concrete to reach the reinforcement.

Establish electric contact with the reinforcement.

Place the half-cell at various locations on the concrete surface & measure voltage in the voltmeter.

Correlate the obtained voltages to probability of corrosion as per ASTM standard.

HALF CELL POTENTIAL TEST.

2.7. CARBONATION TESTING:

Concrete, being basically a porous material, undergoes carbonation process with ageing. As the protective cover of the concrete carbonates completely, the corrosion reaches the steel reinforcement, rapidly accelerating the process of corrosion in steel.

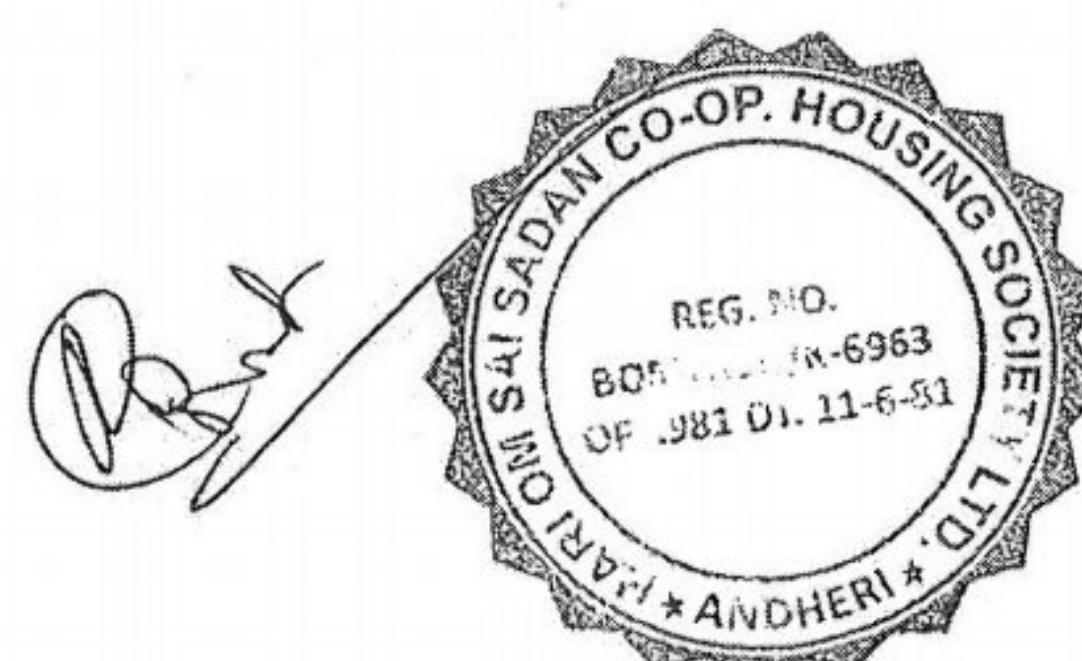
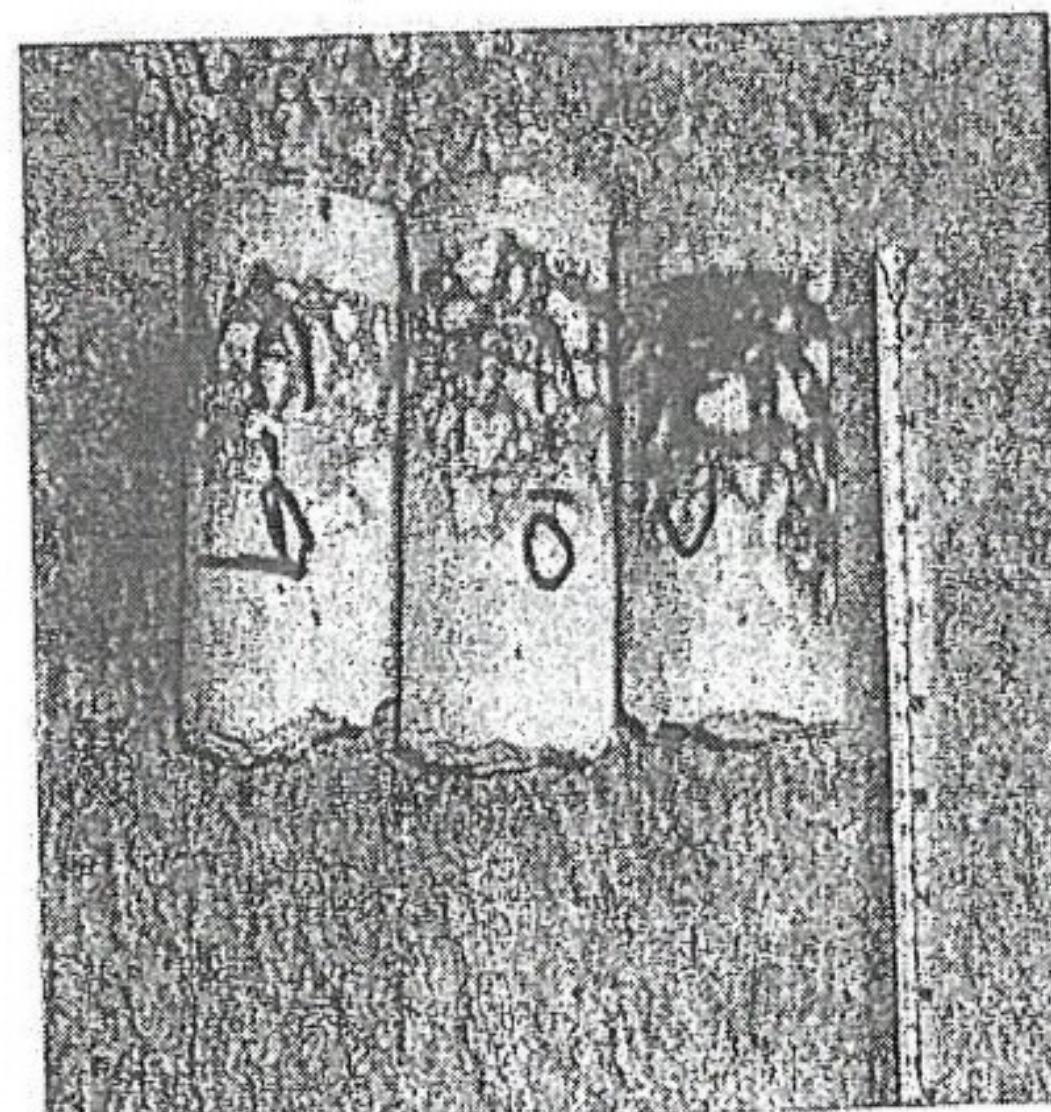
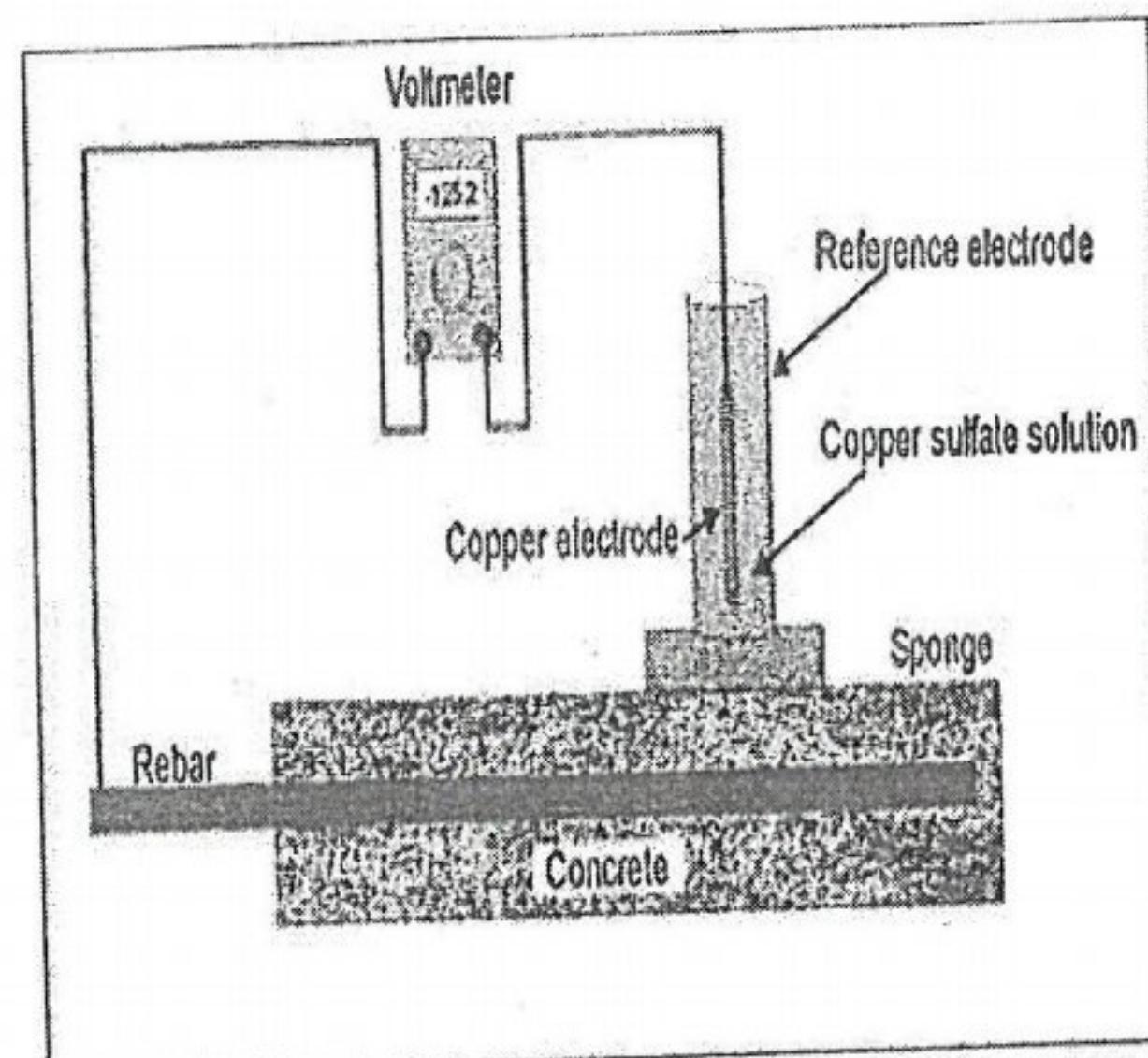
Procedure for Carbonation Tests:

Identify test location & drill a hole in the concrete to reach the reinforcement.

Inject chemical & insert steel rod.

The colour change determines till what depth carbonation has taken place.

Carbonation tests can also be done on extracted cores by applying the chemical on the core and measuring the depth till which the carbonation has taken place.



CARBONATION TEST.

2.8. CHLORIDE TESTS

Application:

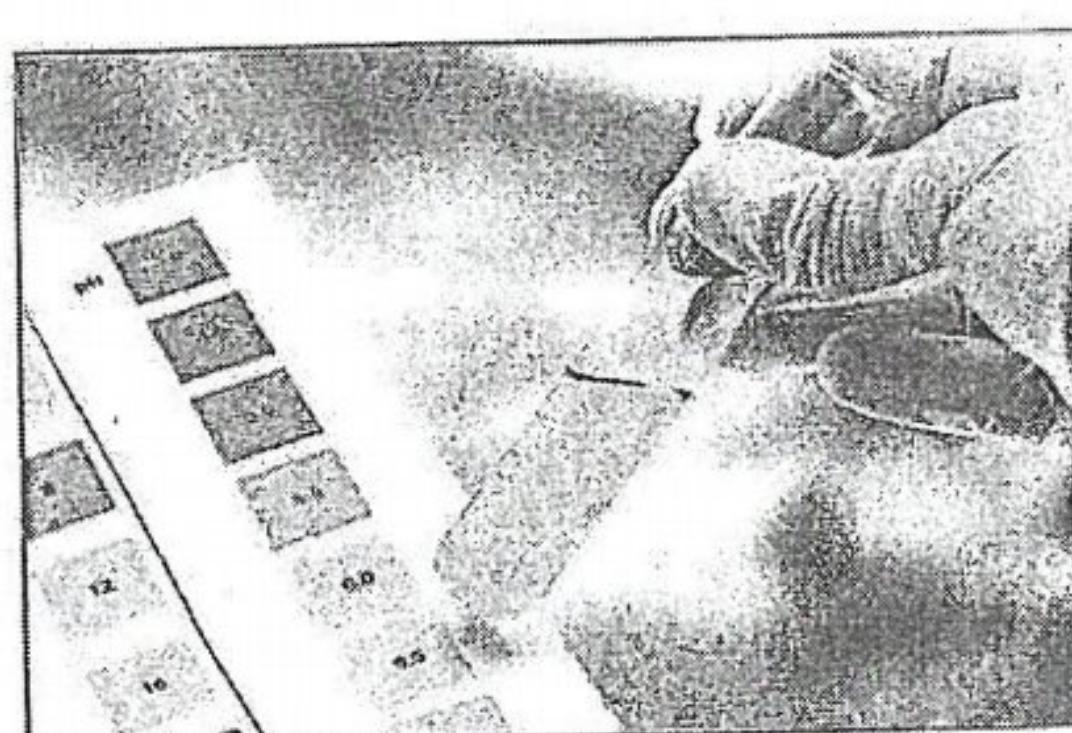
These tests are used to assess the pH level, Chloride (Cl) content and SO₃ content of concrete. A higher pH value or a higher content of chloride or SO₃ than permitted by Indian standard codes shows the presence of an environment where corrosion of reinforcement has much higher probability than normal.

Procedure:

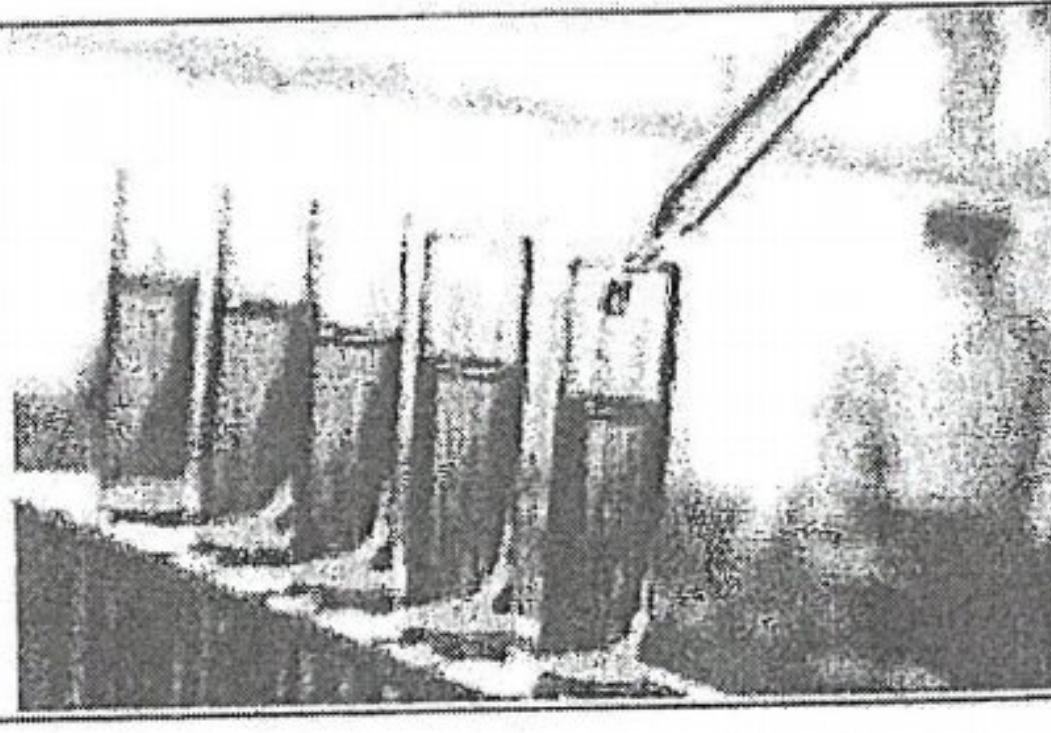
- The chemical tests are conducted on powdered concrete sample collected from the site.
- The powdered samples are tested in the lab using test kits from reputed manufacturers.
- The obtained results are correlated with the permissible limits given by IS 456: 2000 code and reported.

Permissible Limits:

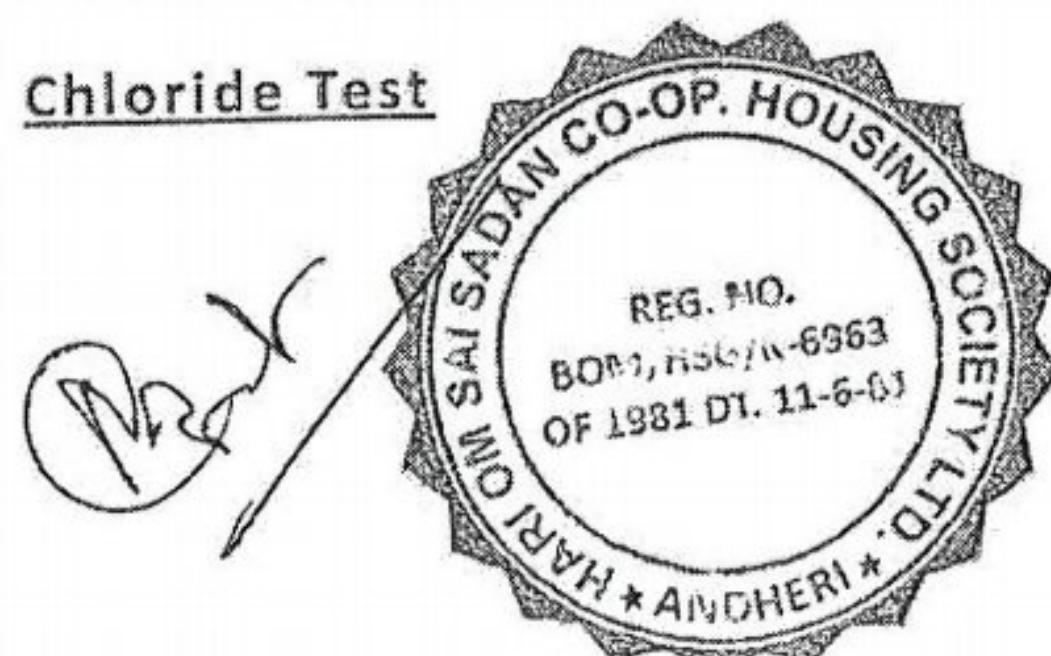
pH	Not less than 8
Cl (kg/m ³)	For PCC, maximum 3.0 kg of Chloride per m ³ of concrete.
	For RCC, maximum 0.6 kg of Chloride per m ³ of concrete.
SO ₃ (%)	Less than 4% by mass of cement in the concrete mix.



pH Test



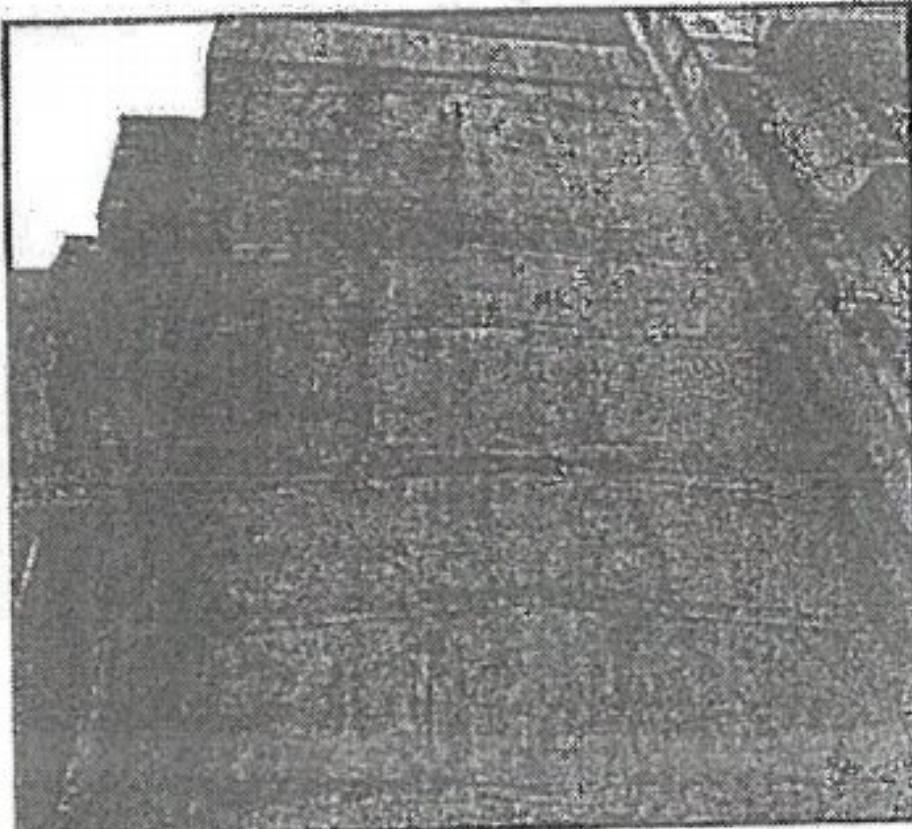
Chloride Test



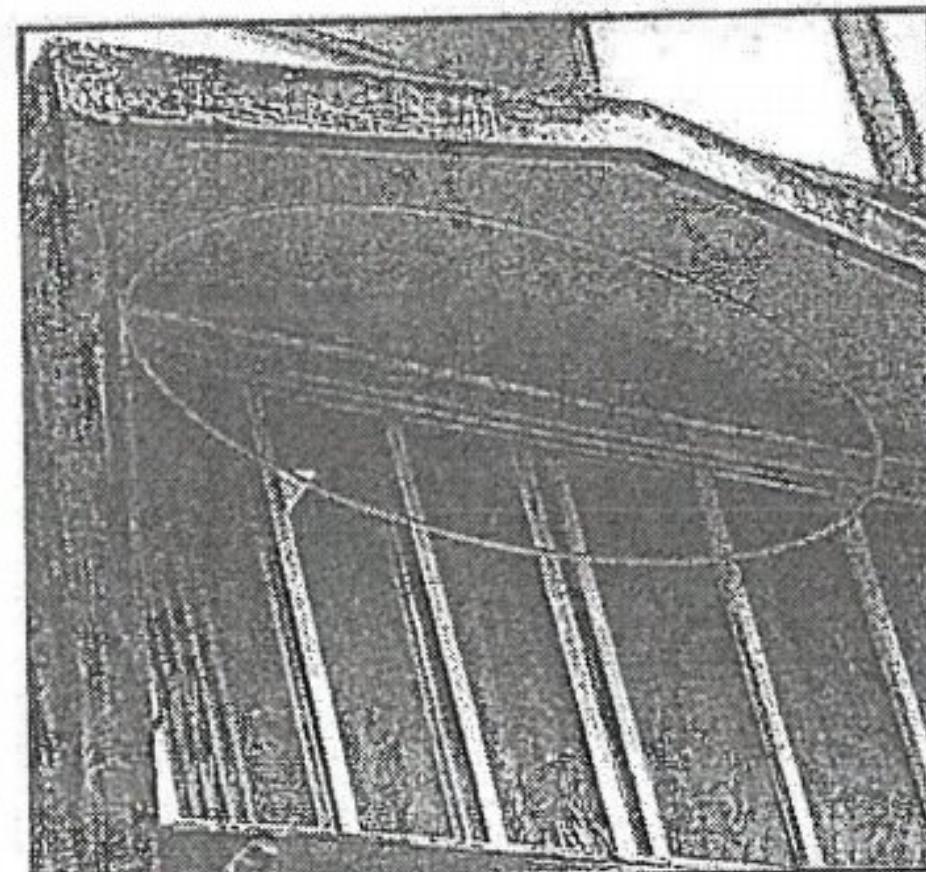
3.0. OBSERVATIONS

3.1. EXTERNAL

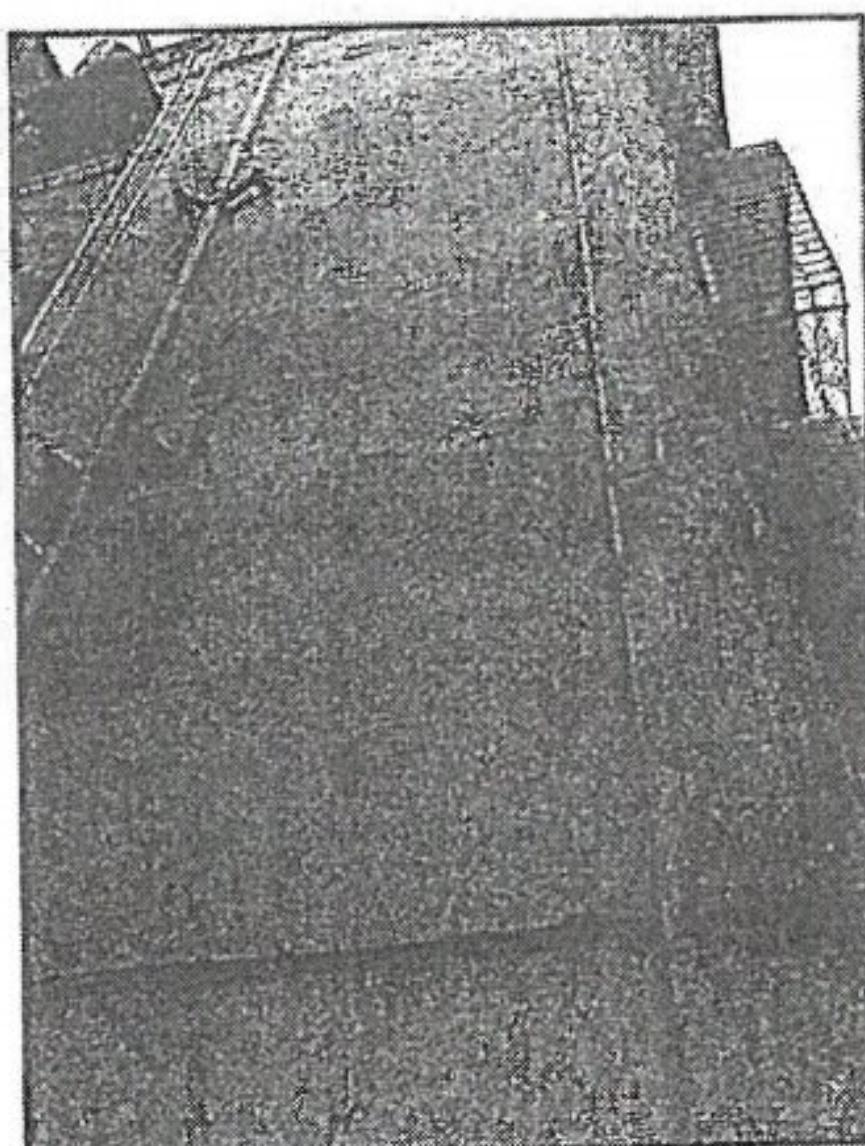
The exterior face of the building shows cracks, crazing & fungus in plaster at most of the locations. Random cracks are seen at external dead walls as noticed during survey. Fungus, crazing is the common factor at the entire external surface of the building particularly at dead walls.



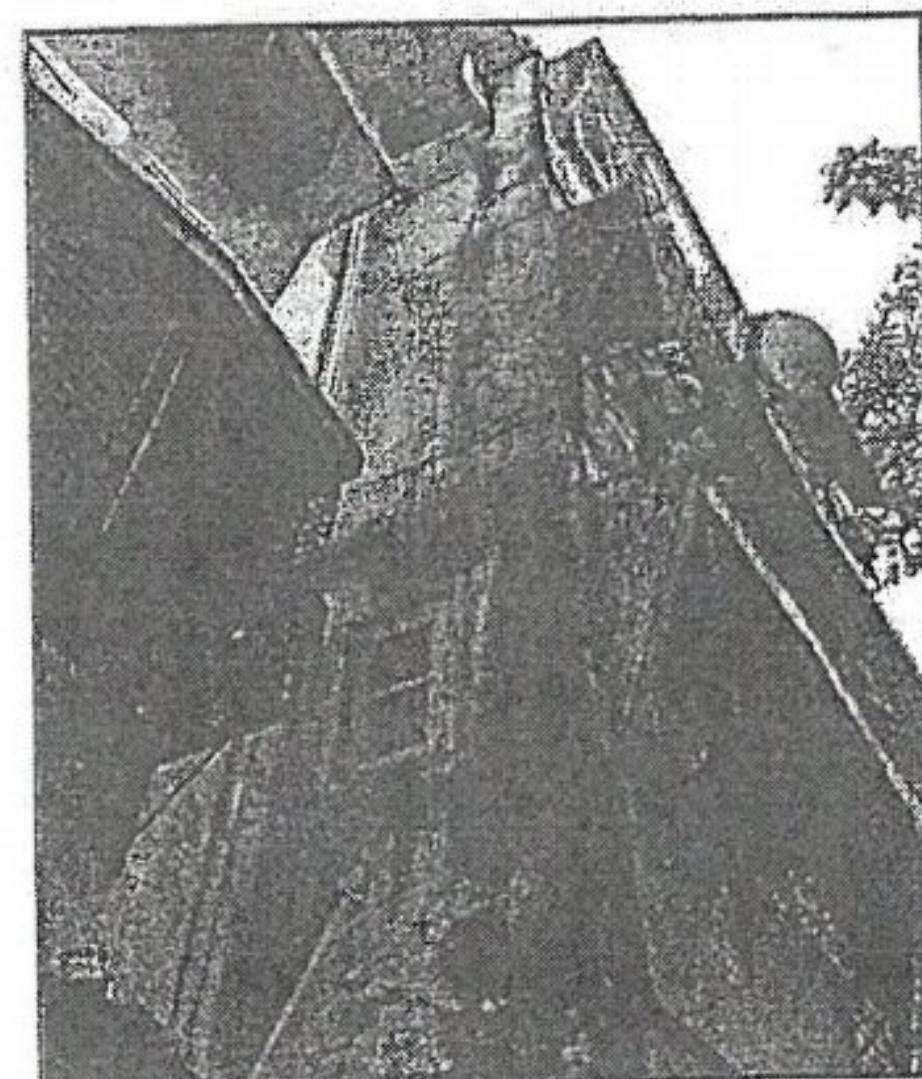
**MINOR CRACKS & ALGAE SEEN AT
EXTERNAL WALL**



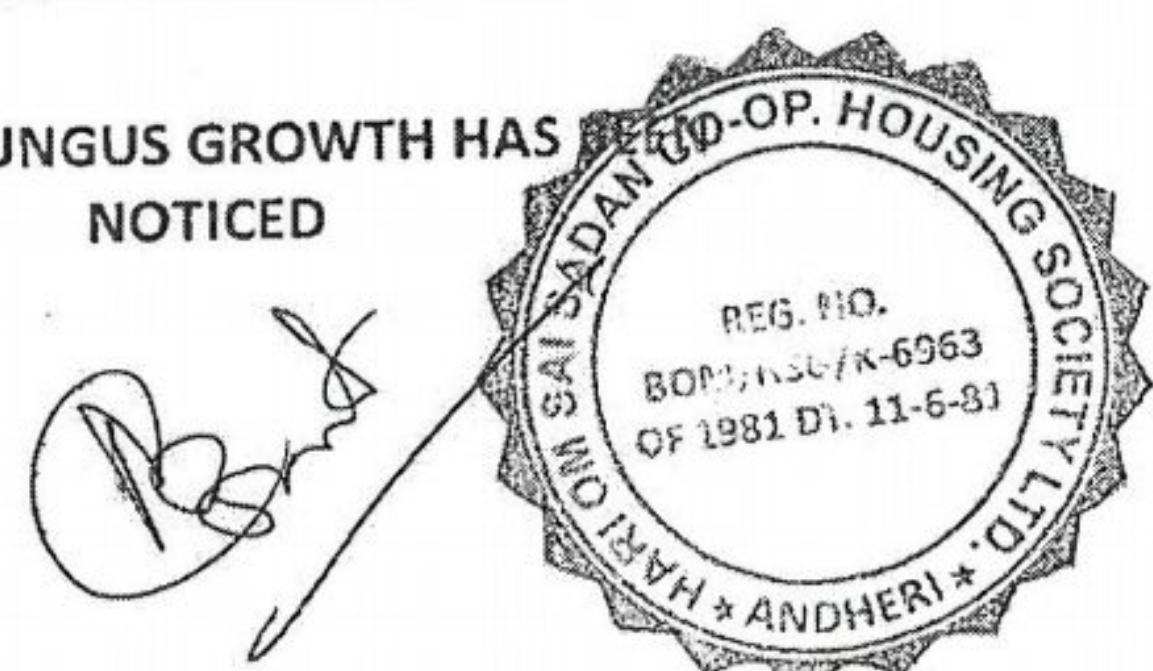
**CRACK HAS OBSERVED AT CHHAJJA
AREA**



ALREADY PATCH WORK DONE

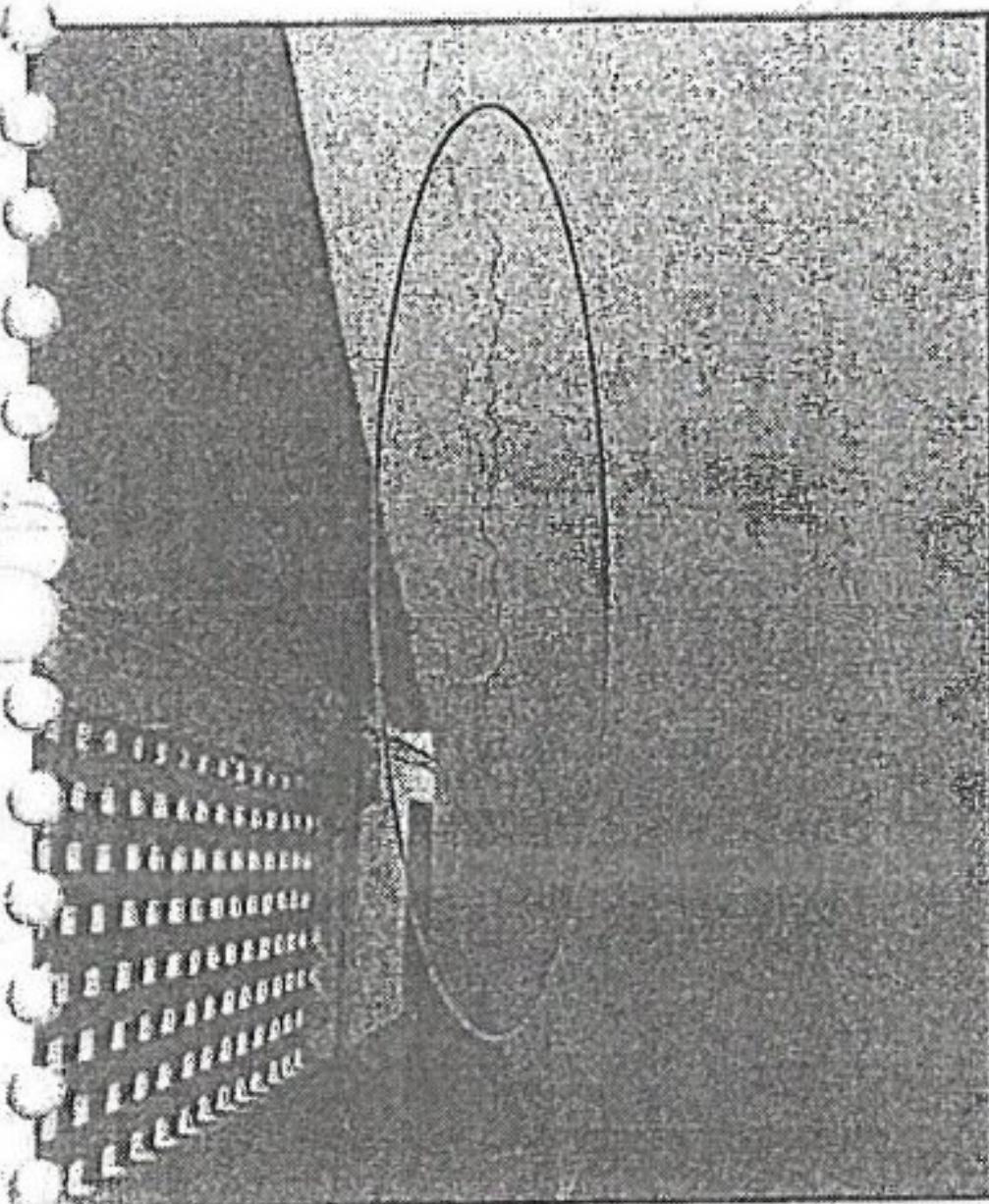


**ALGAE & FUNGUS GROWTH HAS
NOTICED**

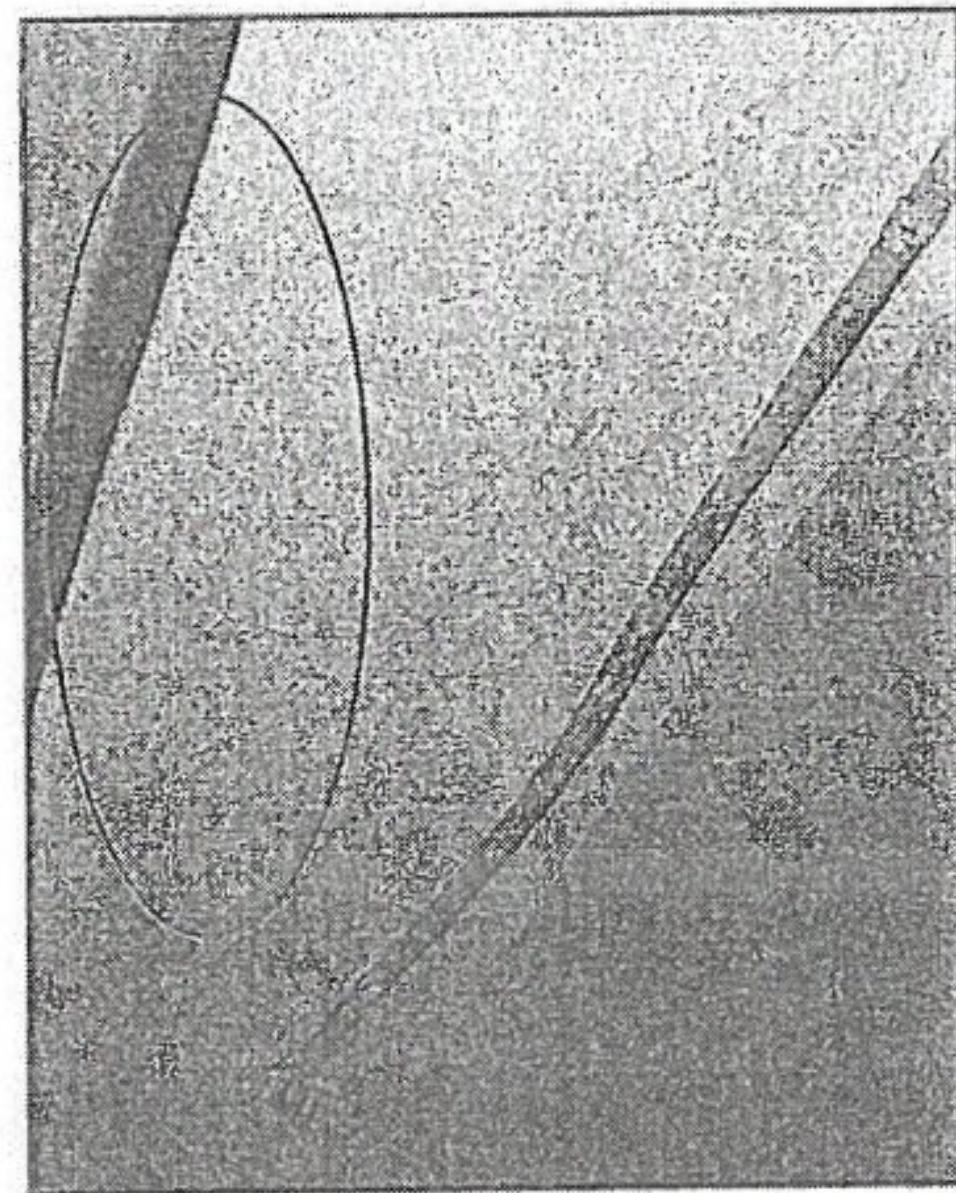


3.2. STAIRCASE

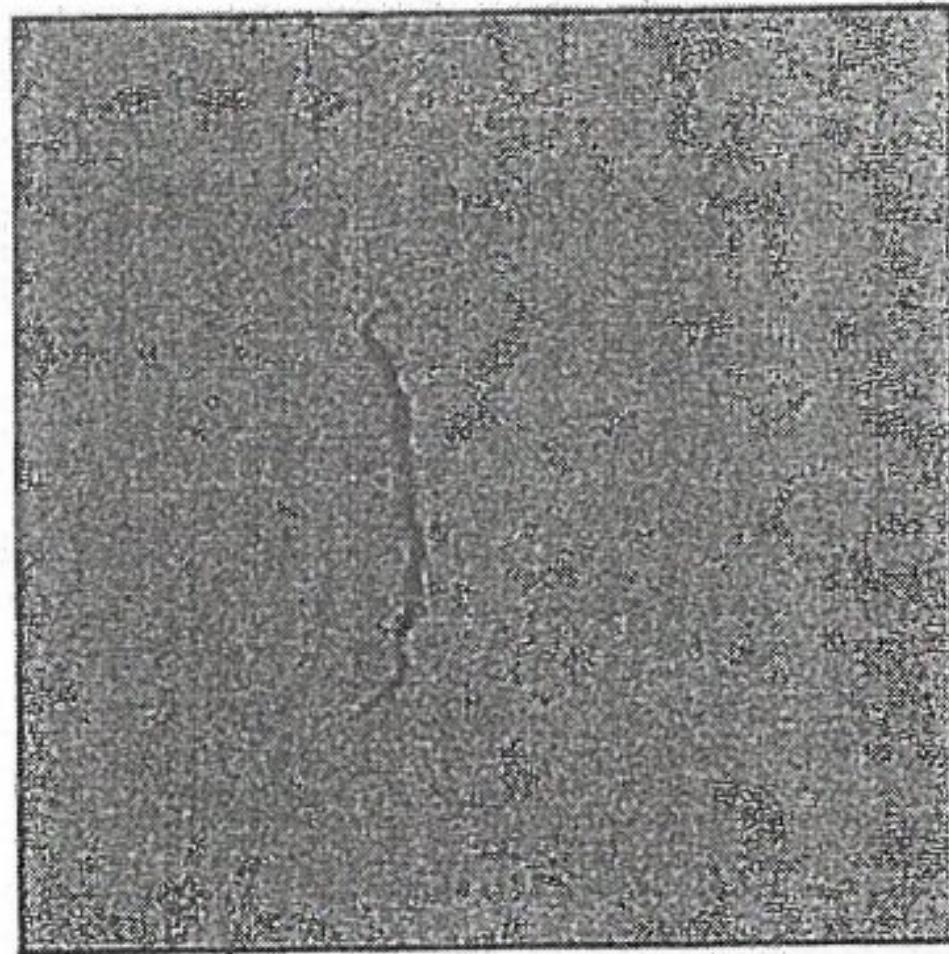
Staircase steps are found in moderate condition at common area. Paint peeling and crazing are seen at many locations of common staircase walls and ceiling area. Staircase midlanding area is also found in moderate condition. Structural crack noticed in column/beam at common passage area.



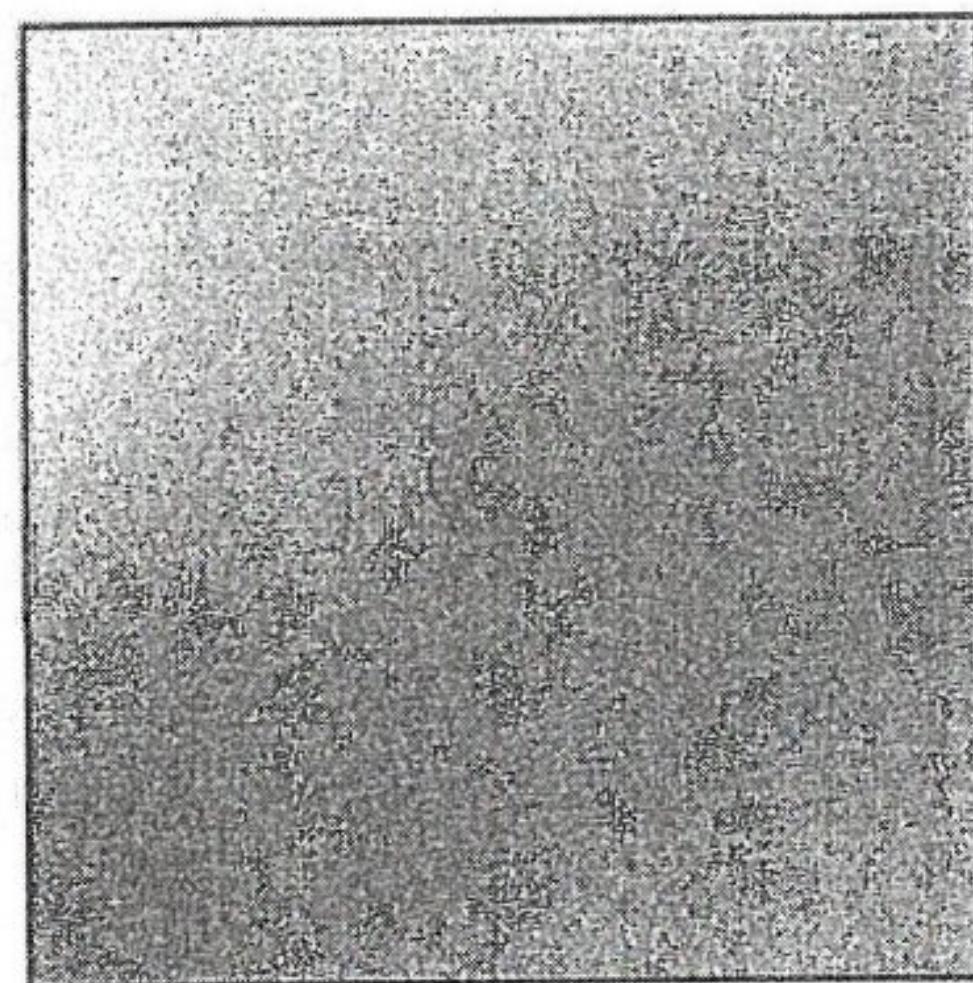
CRACK WERE NOTICED AT STAIRCASE FLIGHT



BEAM CRACK WERE NOTICED AT STAIRCASE WALL



CRACK WERE NOTICED AT STAIRCASE FLIGHT



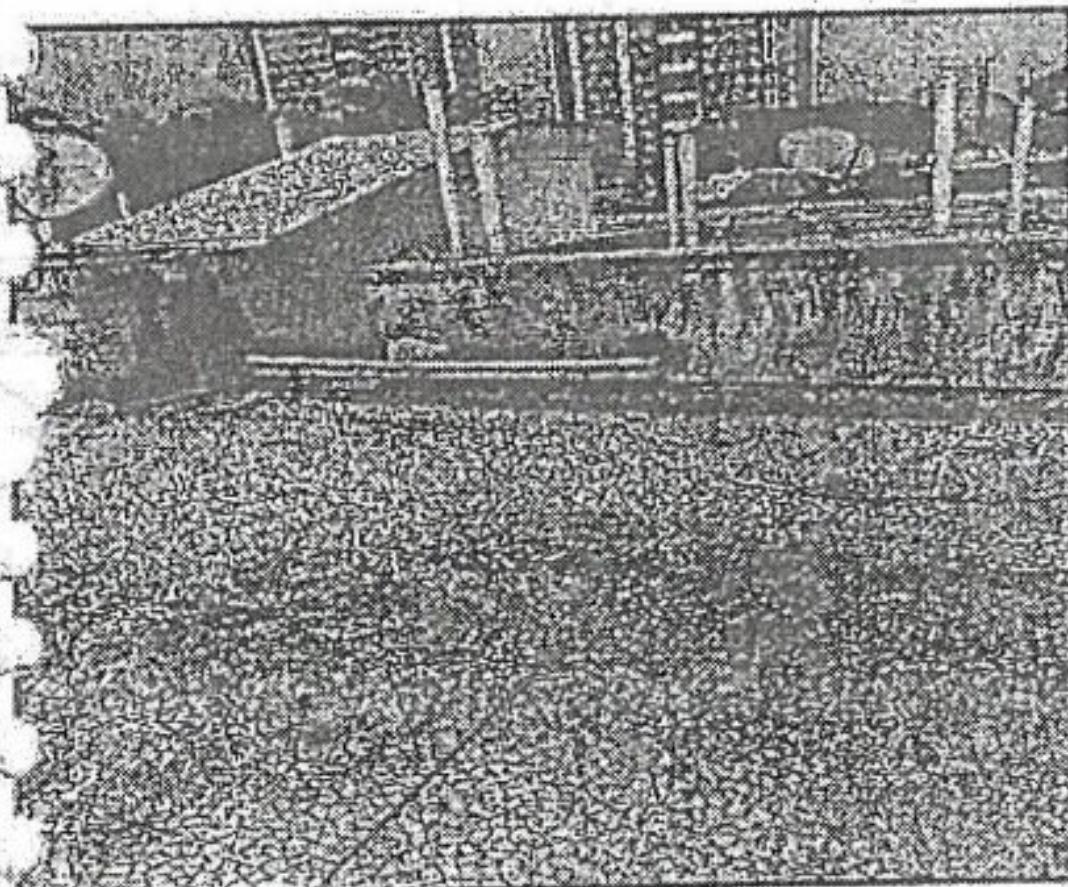
Passage Ceiling Crack



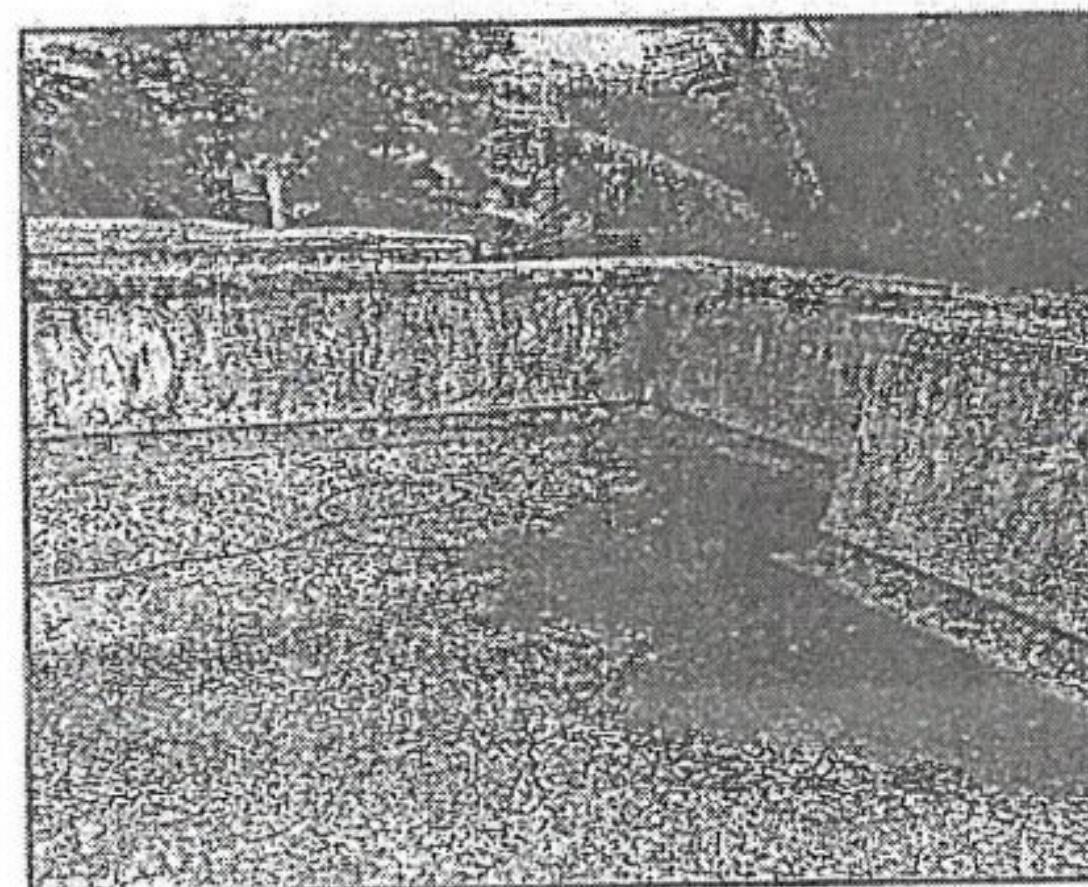
3.3 WATER PROOFINGS

No more seepage marks are observed in terrace top floor flats of the building, but due to recently colour few flats are not visible, and hence we conclude that terrace waterproofing is in moderate condition. However, existing terrace flooring is china mosaic Finished.

The parapet wall is also seen in moderate condition having Minor cracks. There was coping noticed at parapet wall. Refer photograph exhibits for more details.



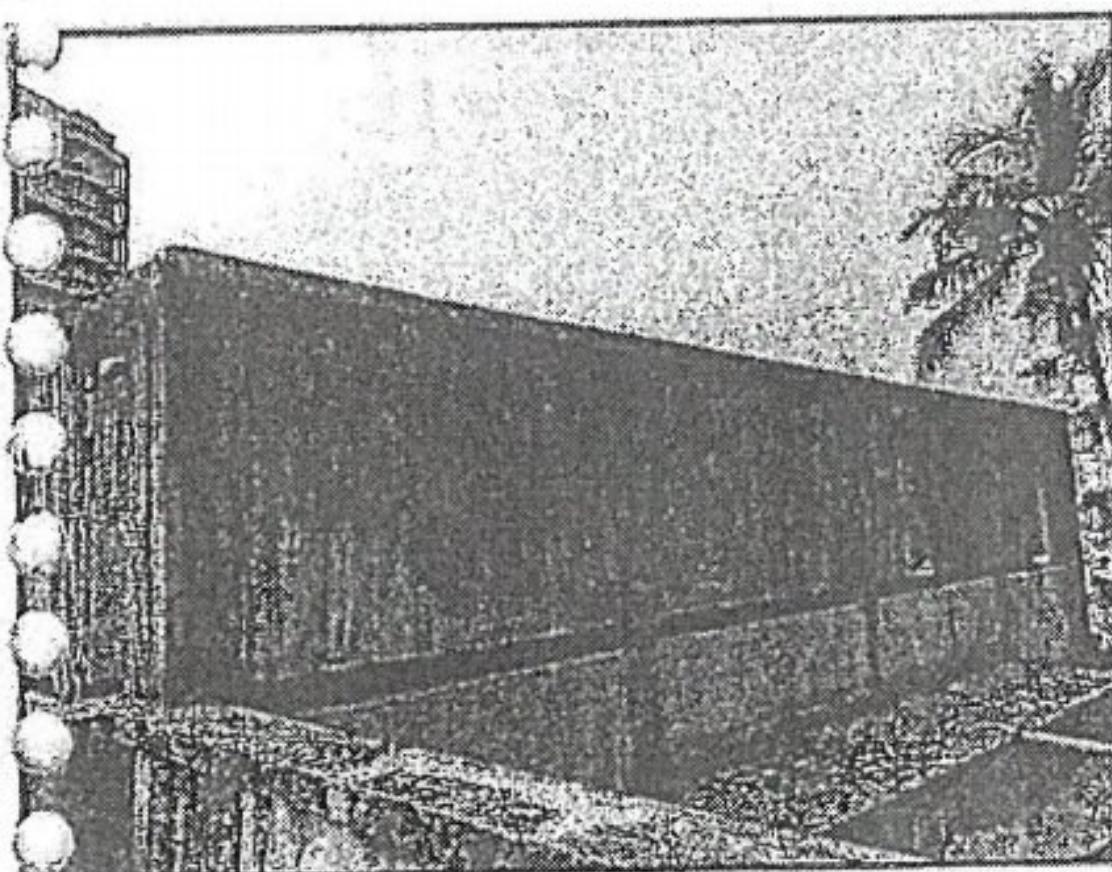
MODERATE CONDITION HAS BEEN
NOTICED AT TERRACE AREA



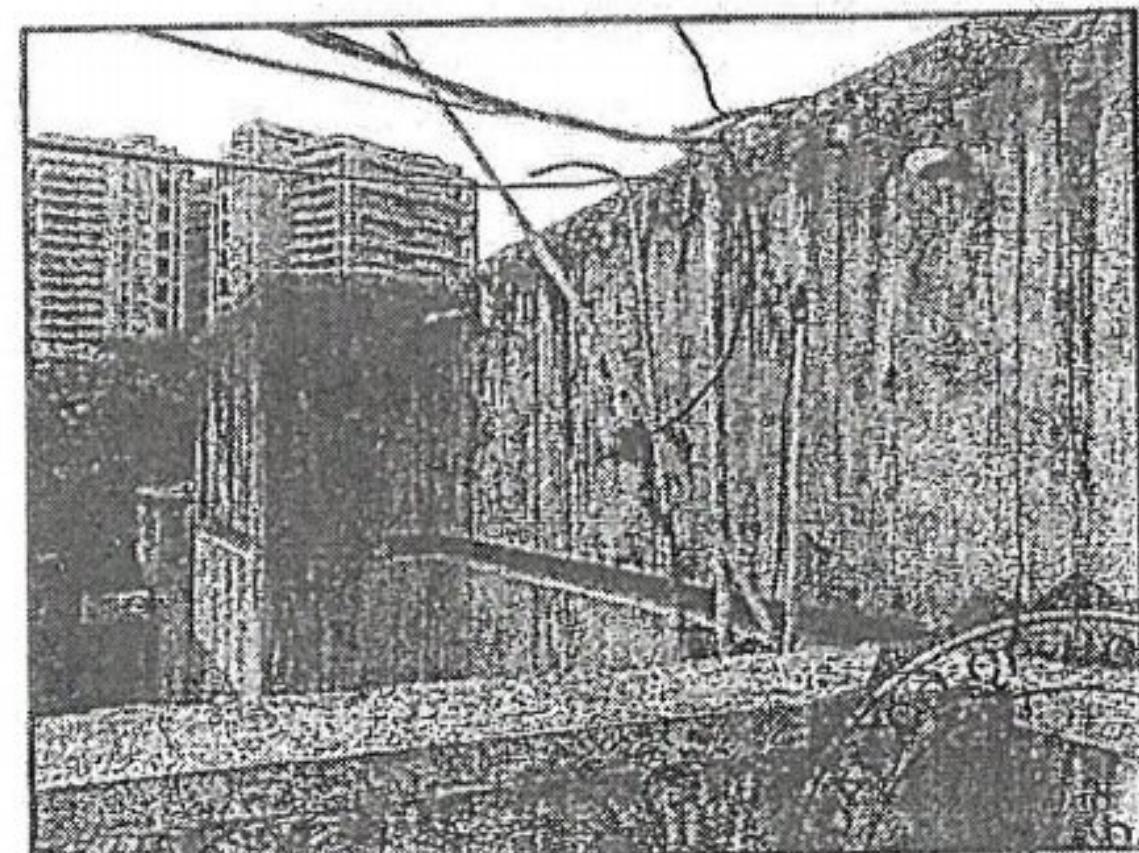
ALGAE & FUNGUS GROWTH WERE SEEN
AT TERRACE AREA

3.4. WATER TANK

The External condition of overhead water tank is average. Minor Cracks, crazing and algae growths were noticed at external wall.



BAD CONDITION HAS BEEN NOTICED AT
TERRACE AREA



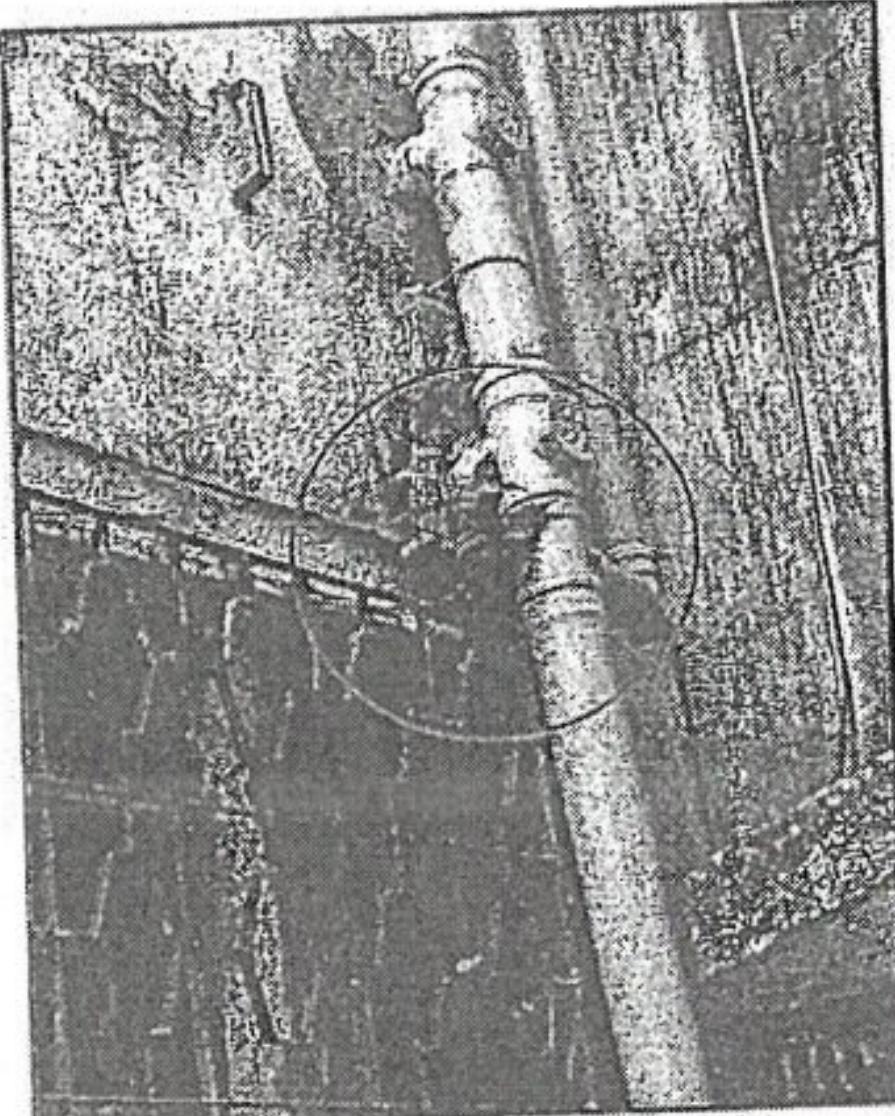
MINOR LEAKAGE OBSERVED



3.5. PLUMBING:

Plumbing and sanitation lines are NOT maintained properly. Minor leakages are observed at pipes and fitting area. The existing pipes are found with P.V.C & C.I. pipes at all places. All Pipes are fixed flush with wall as noticed during the survey. Many rectification works were done for temporary relief.

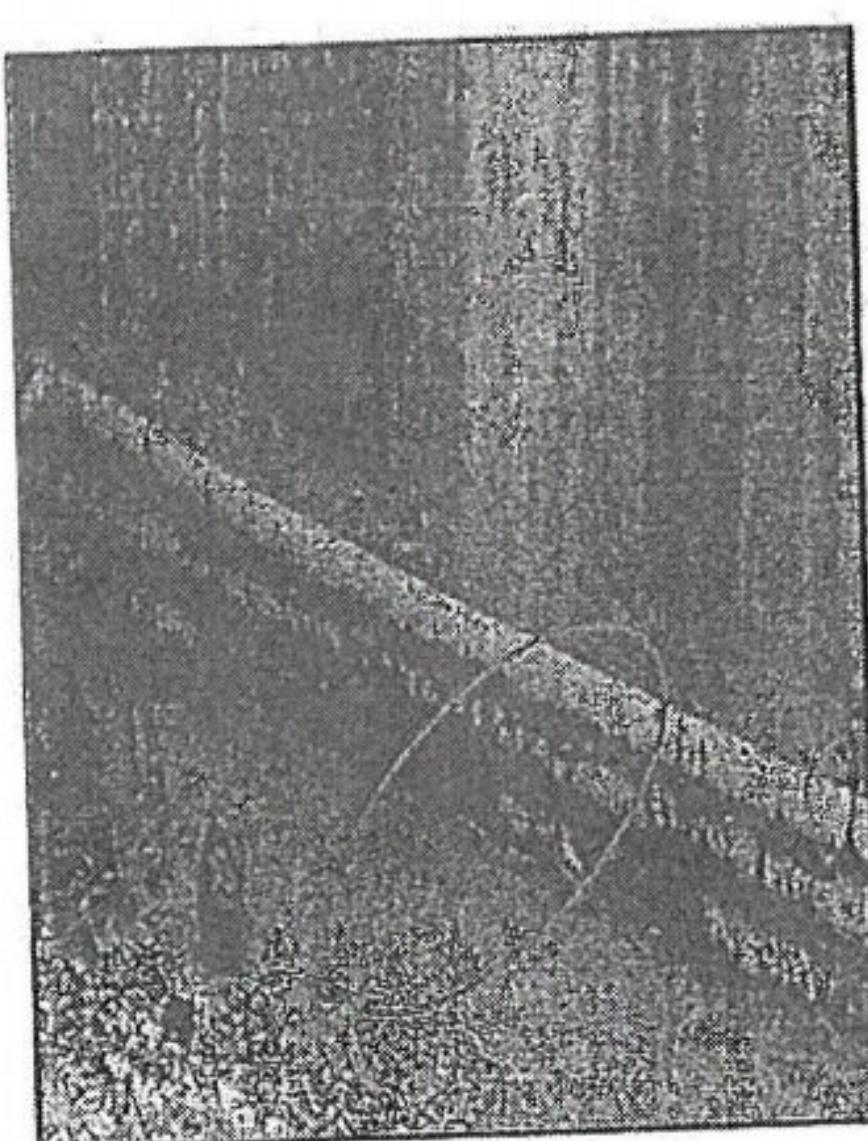
C.I. water supply pipes are also found in bad condition. Pipes are found corroded at many places especially the fittings (Elbows, couplings, bends, etc.) at downtake pipes.



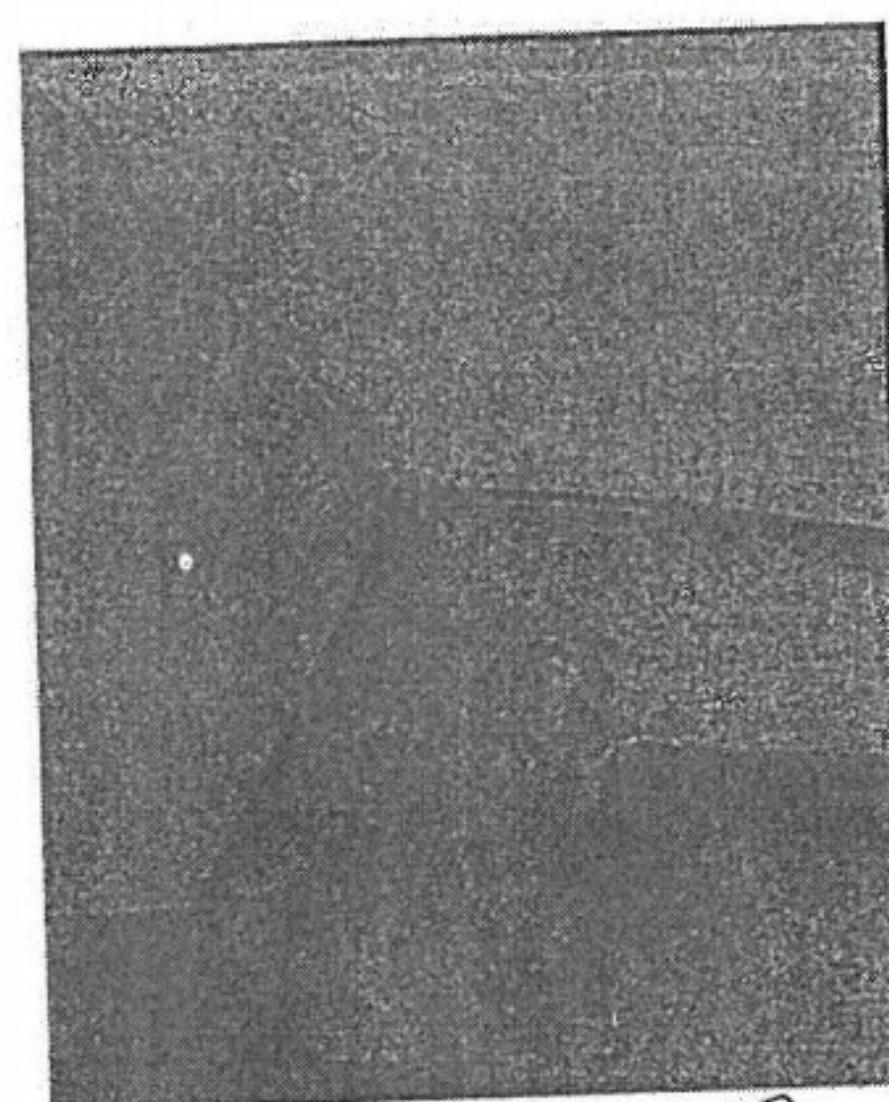
VEGETATION GROWTH WERE SEEN AT PLUMBING AREA



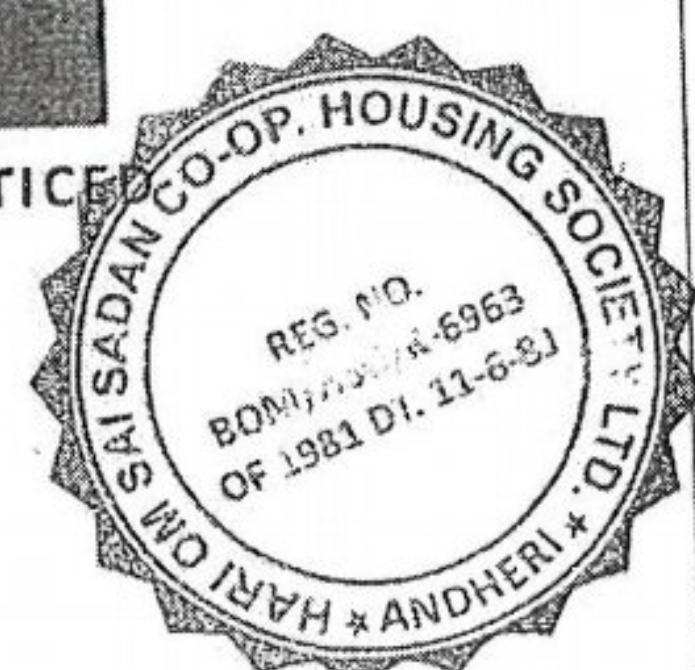
LEAKAGE WERE NOTICED AT PLUMBING LINE



ALGAE GROWTH AT EXTERNAL WALL



FUNGUS GROWTH WERE NOTICED



3.6. INTERNAL

Seepage marks through dry patches have been observed through the external walls in maximum flats.

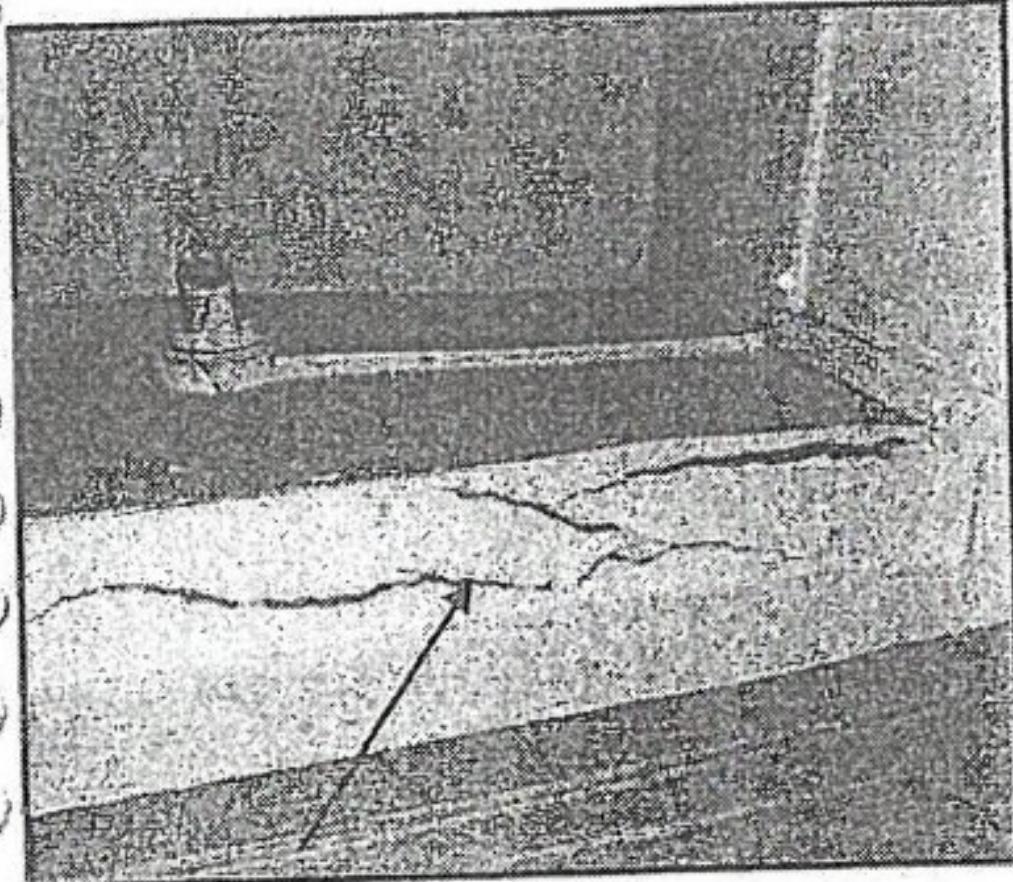
Seepage evidence is seen through at External wall at flat nos. -
A wing 001 (Kitchen, WC/bath), 002 (Bedroom Kitchen), 003 (Bedroom Kitchen, Passage), 004 (Bedroom Kitchen), 101 (Hall, Kitchen, Passage), 102 (Bedroom Kitchen, WC/bath, Passage), 103 (Hall, Bedroom), 104 (Hall, Bedroom Kitchen, WC/bath) 201 (Hall, WC/bath), 202 (Bedroom Kitchen, WC/bath), 203 (Hall, Bedroom), 204 (Hall, Bedroom Kitchen, WC/bath, Passage) 301 (Bedroom), 302 (Hall, Bedroom Kitchen, WC/bath, Passage), 303 (Hall, Bedroom Kitchen), 304 (WC/bath).

B wing 001 (Bedroom Kitchen), 002 (Bedroom Kitchen), 003 (Hall, Bedroom Kitchen), 004 (Hall, Bedroom Kitchen Passage), 101 (Kitchen, WC/bath, Passage), 102 (Hall, Bedroom), 103 (Hall, Bedroom Kitchen, Passage), 104 (Hall, Kitchen, Passage), 201 (Hall, Bedroom, Kitchen, WC/bath), 202 (Hall, Bedroom), 203 (Hall, Bedroom), 204 (Hall, Bedroom) 301 (Hall, Bedroom, WC/bath), 302 (Hall, Bedroom Kitchen), 303 (locked), 304 (locked).

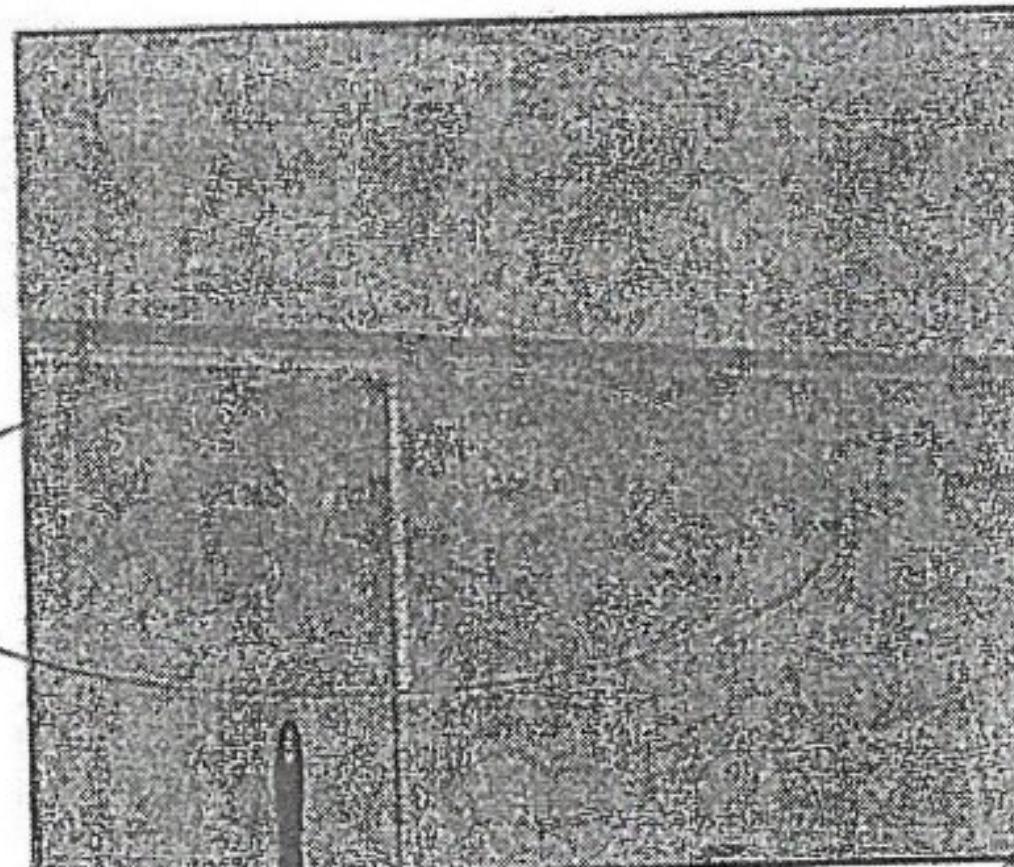
C wing 001 (not allowed), 002 (Hall, Bedroom), 003 (locked), 004 (Hall, Bedroom, WC/bath), 101 (Hall, Kitchen), 102 (Bedroom), 103 (Hall, Bedroom Kitchen), 104 (Hall, WC/bath) 201 (Hall, WC/bath), 202 (Hall, Bedroom), 203 (Hall), 204 (Hall, Kitchen, WC/bath) 301 (Hall, Bedroom, Kitchen), 302 (Hall, Bedroom), 303 (Hall, Bedroom, Kitchen), 304 (Bedroom, WC/bath).

D wing 001 (Kitchen, WC/bath), 002 (Kitchen), 003 (Hall, Bedroom), 004 (locked), 101 (Hall), 102 (WC/bath), 103 (Hall, Bedroom Kitchen), 104 (Bedroom Kitchen, WC/bath) 201 (locked), 202 (Bedroom Kitchen, WC/bath), 203 (Hall, Bedroom Kitchen, WC/bath), 204 (Hall, Bedroom) 301 (Hall, Bedroom Kitchen), 302 (Bedroom Kitchen)

E wing 001 (Hall, Bedroom Kitchen, WC/bath), 002 (Bedroom Kitchen, WC/bath), 003 (Hall, Bedroom Kitchen, WC/bath), 004 (Bedroom), 101 (Hall, Bedroom Kitchen, WC/bath), 102 (Hall, Bedroom, Kitchen), 103 (Hall, Bedroom, WC/bath), 104 (Kitchen, WC/bath, Passage) 201 (Bedroom, Kitchen), 202 (Hall, Kitchen, WC/bath), 203 (Hall, Bedroom Kitchen, WC/bath), 204 (Hall, Bedroom Kitchen) 301 (not allowed), 302 (Bedroom), 303 (Hall), 304 (Hall, Bedroom).

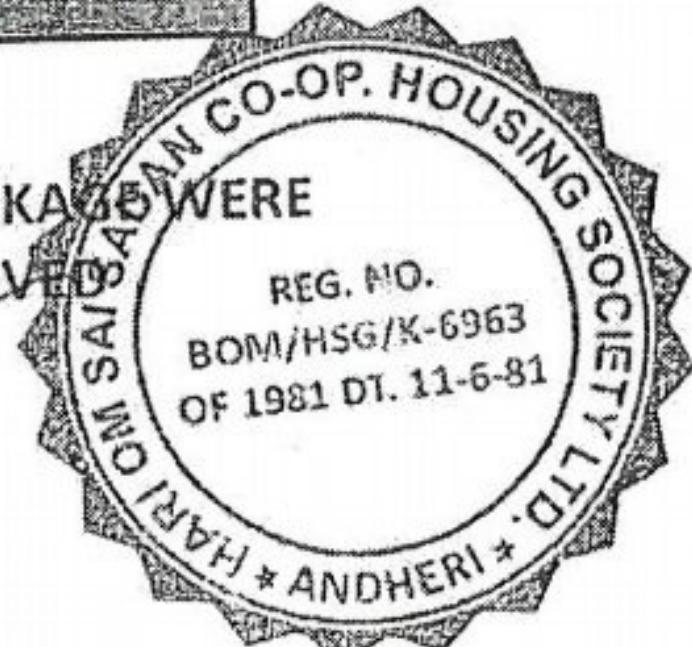


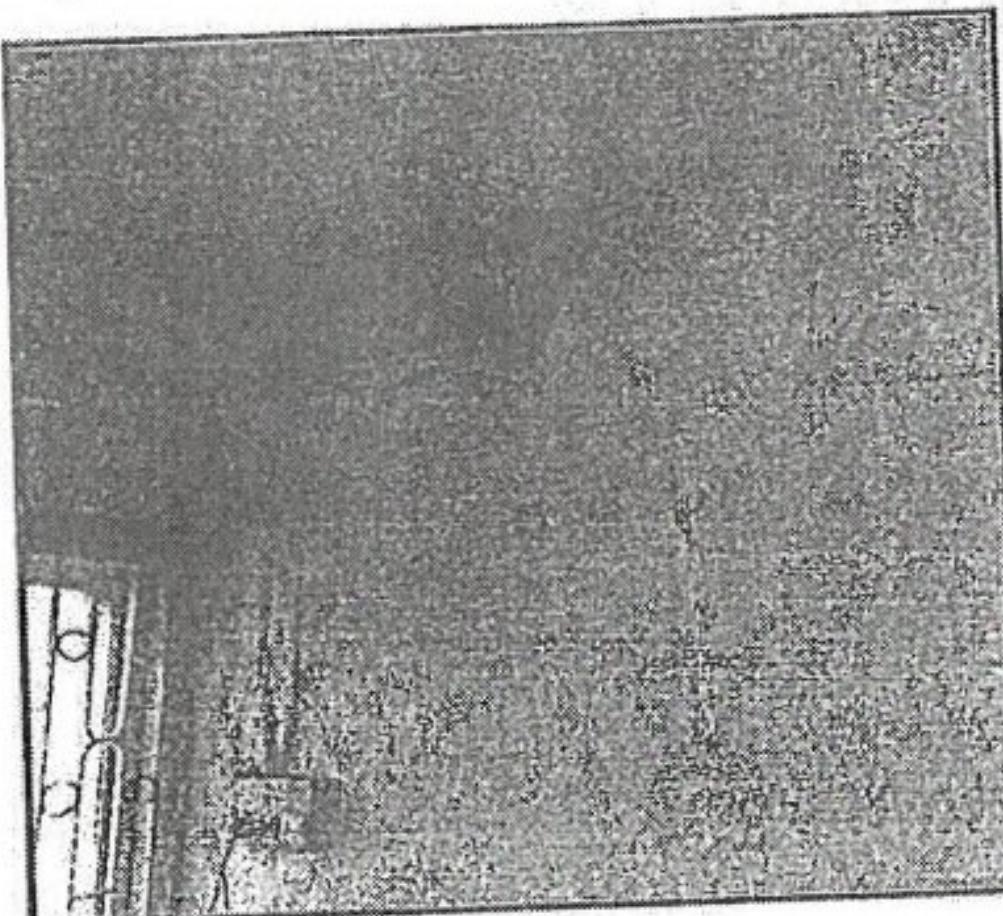
BEAM CRACKS WERE NOTICED



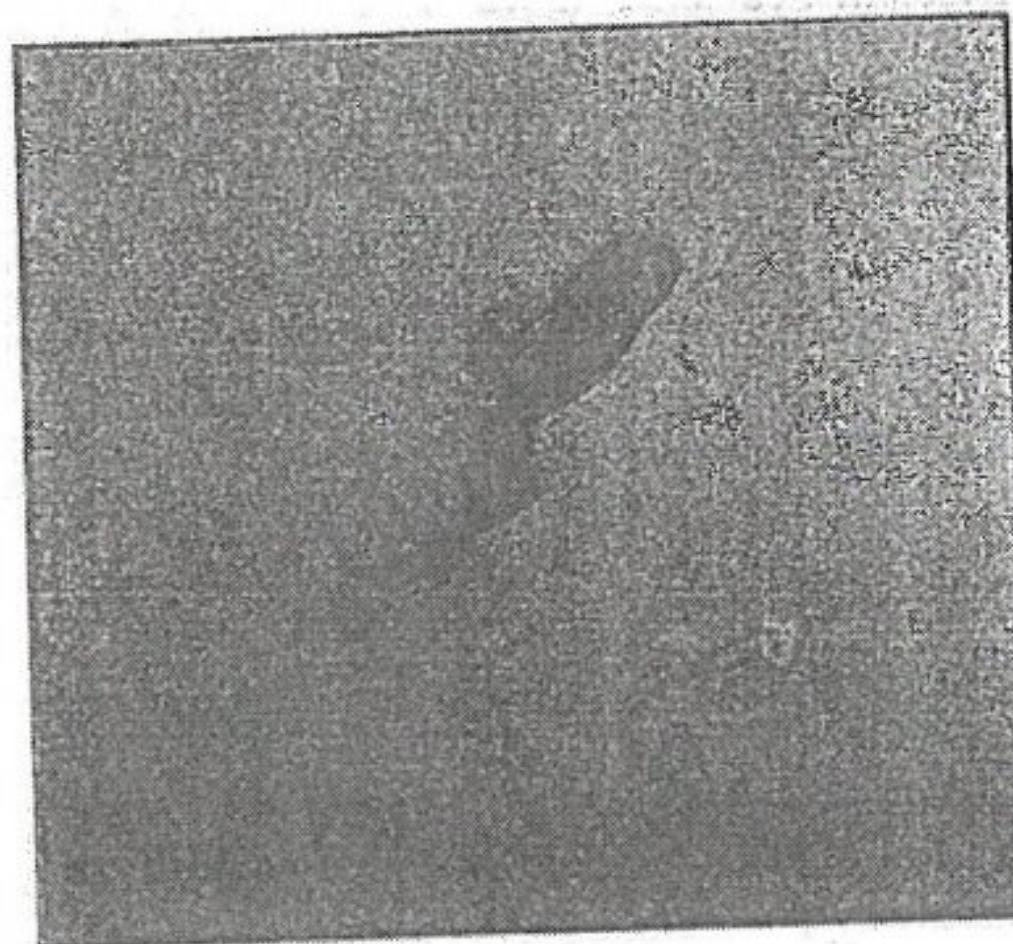
EXTERNAL LEAKAGE WERE
OBSERVED

Q. D. Shah





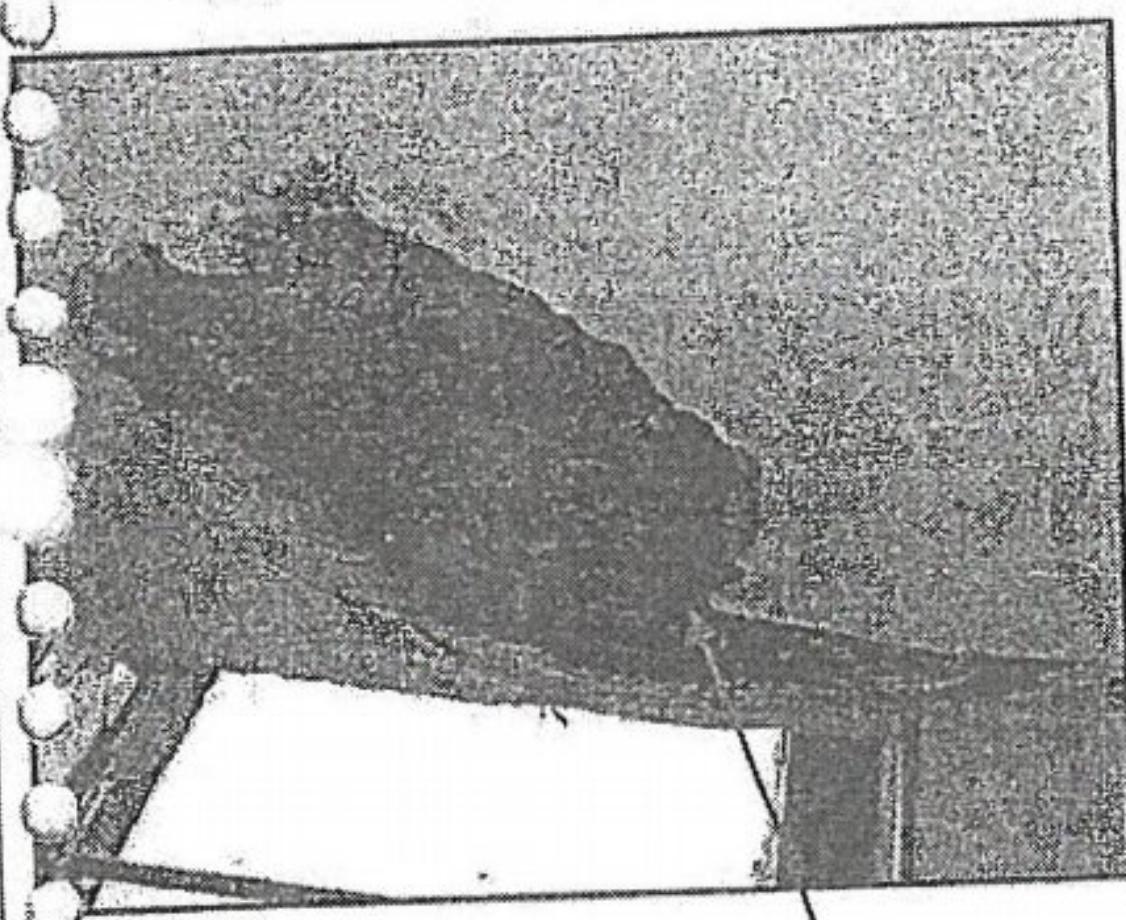
CEILING DAMAGE

EXTERNAL LEAKAGE WERE SEEN
AT CEILING AREA

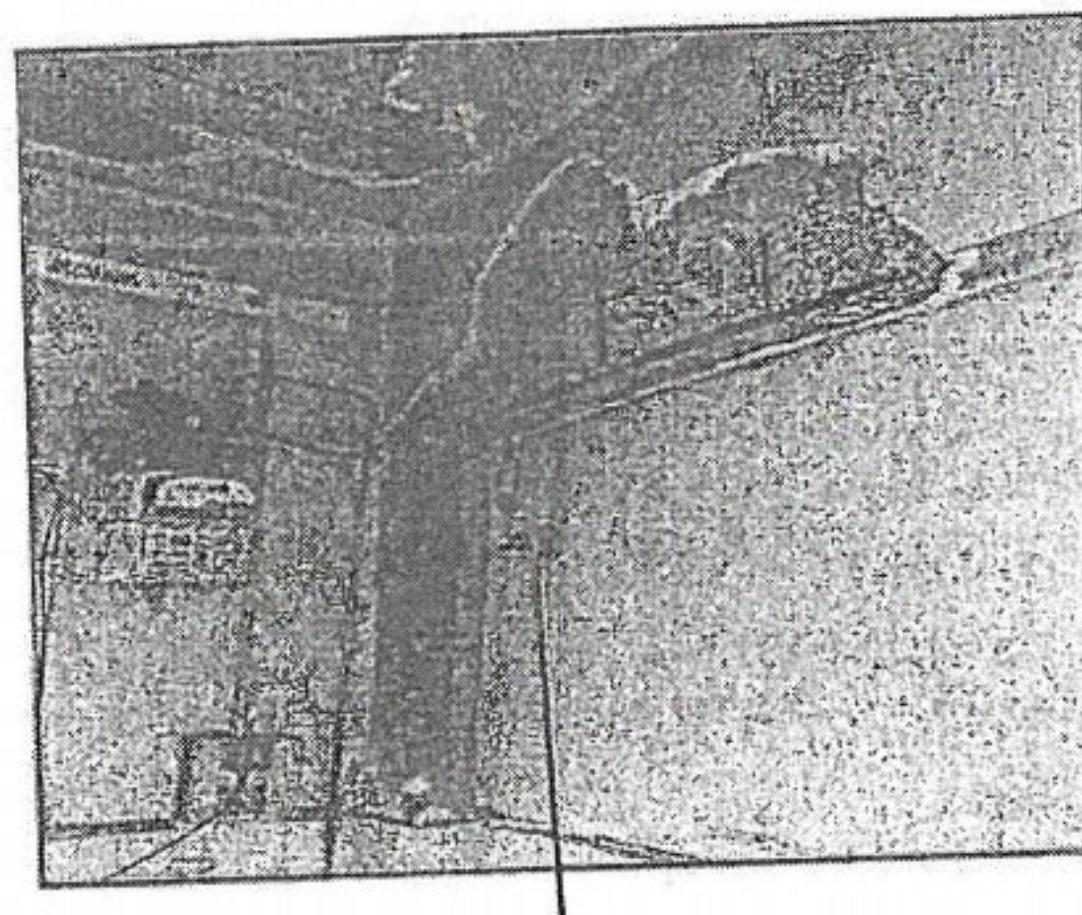
3.7. R.C.C. FRAME

The observations are based on visual, tapping and NDT survey conducted by our team of Engineers. An extensive investigation to collect full details and scope of repairs has been carried out. Plans with specific flaws and their quantities are also recorded. Plans flat wise are prepared in this effect, and the same are attached with this report elsewhere. Complete compilation along with various related facts, figures and drawings are given with this report.

The RCC members show presence of distress at many spots in the form of cracks, & successive delams, etc.



CEILING STEEL EXPOSED

STEEL FOUND EXPOSED NOTICED
DURING SURVEY

As per the FLOOR PLANS, Beam wall delamination and column wall delamination indicating no proper bonding between RCC and Brickwork or concrete blocks & beams show porosity and Honeycombing in some of the inside flats.

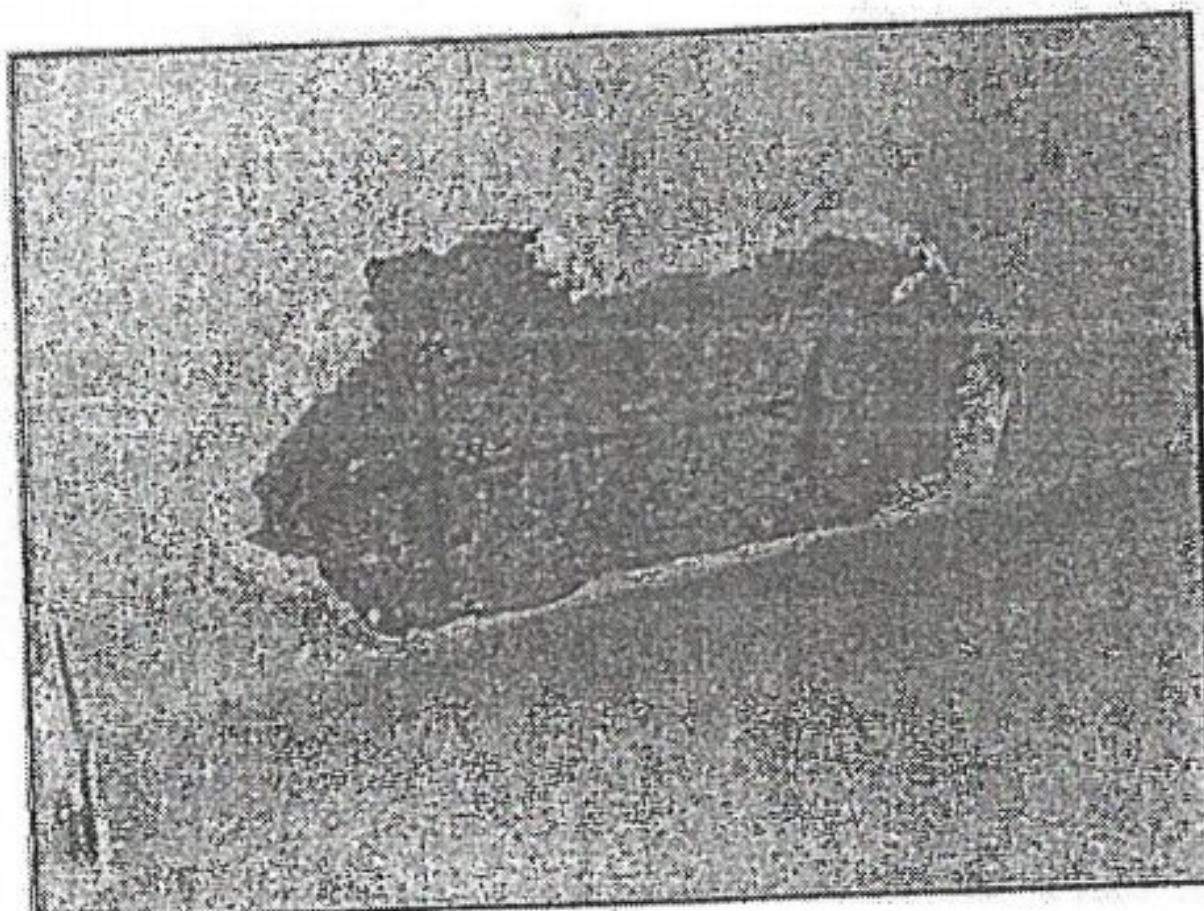
Cracks along main reinforcement are observed inside the flats such as Flat no. A wing 001 (Kitchen), 002 (Hall, Bedroom, Passage), 003 (Bedroom, Kitchen), 004 (Hall, Bedroom, Kitchen, WC/bath), 101 (Hall, Kitchen, Passage), 102 (Hall, Bedroom Kitchen, WC/bath, Passage), 103 (Hall, Bedroom, Kitchen, WC/bath), 104 (Hall, Bedroom, Kitchen, WC/bath), 201 (Hall, Bedroom, Kitchen), 202 (Hall, Bedroom, Kitchen, WC/bath), 203 (Bedroom Kitchen), 204 (Hall, Bedroom, Kitchen, WC/bath, Passage), 301 (Hall, Bedroom, Kitchen, WC/bath), 302 (Hall, Bedroom, Kitchen), 303 (Bedroom, Kitchen), 304 (Bedroom Kitchen, WC/bath).

B wing 001 (Bedroom, Kitchen), 002 (Bedroom Kitchen), 003 (Hall, Bedroom, Kitchen), 004 (Hall, Bedroom, Kitchen), 101 (Hall, Bedroom, Kitchen, WC/bath, Passage), 102 (Hall, Bedroom, Kitchen), 103 (Hall, Bedroom, Kitchen, Passage), 104 (Hall, Bedroom, Kitchen, Passage) 201 (Hall, Bedroom, Kitchen, WC/bath, Passage), 202 (Hall, Bedroom, Kitchen), 203 (Hall, Bedroom, Kitchen, WC/bath, Passage), 204 (Hall, Bedroom, Kitchen) 301 (Hall, Bedroom, Kitchen, WC/bath), 302 (Hall, Bedroom, Kitchen), 303 (closed), 304 (closed).

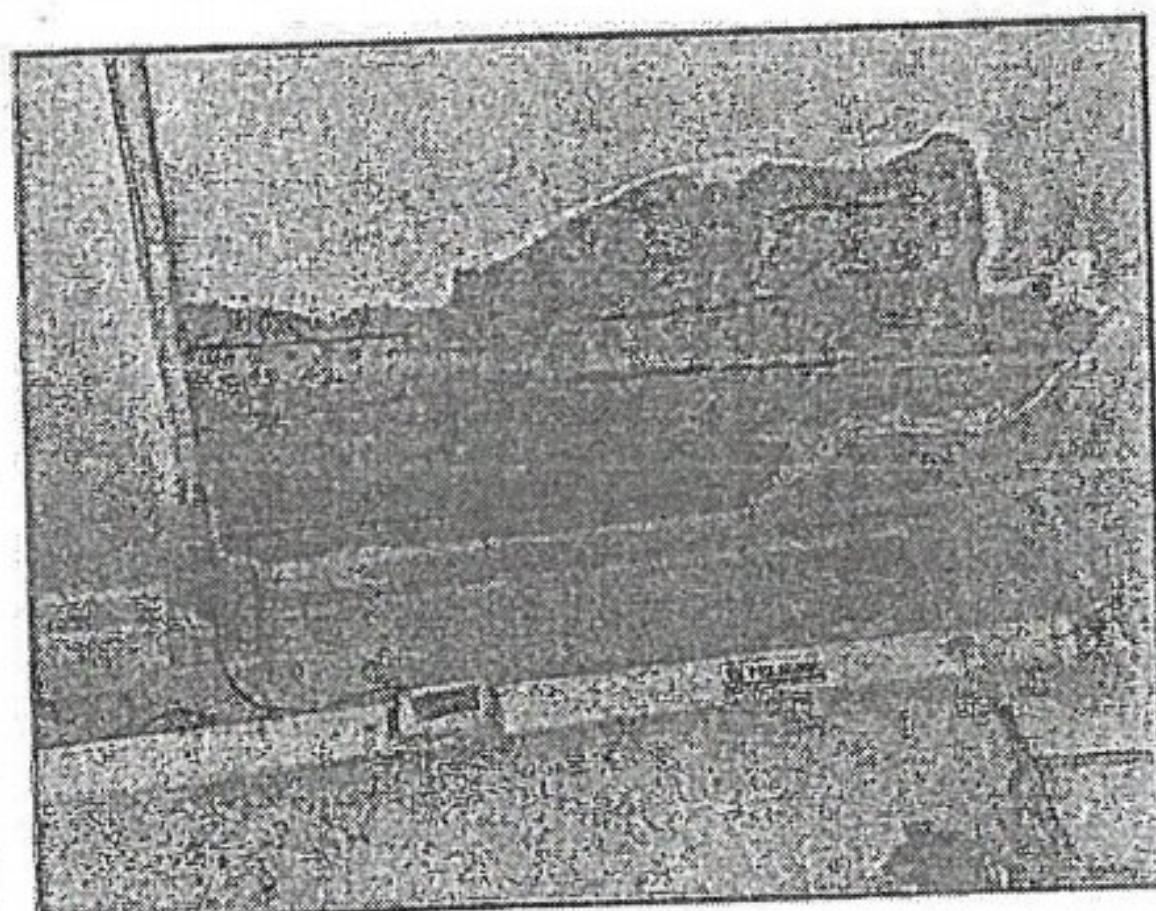
C wing 001 (Not Allowed), 002 (Bedroom, passage), 003 (closed), 004 (Hall), 101 (Hall, Bedroom Kitchen, WC/bath), 102 (Hall, Bedroom Kitchen, WC/bath), 103 (Hall, Bedroom Kitchen, WC/bath), 104 (Hall, Bedroom Kitchen, WC/bath) 201 (Hall, Bedroom, Kitchen, WC/bath), 202 (Hall, Bedroom Kitchen, WC/bath), 203 (WC/bath), 204 (Hall, Bedroom Kitchen, WC/bath) 301 (Hall, Bedroom Kitchen, WC/bath), 302 (Hall, Bedroom Kitchen, WC/bath), 303 (Hall, Bedroom Kitchen, WC/bath), 304 (Hall, Bedroom Kitchen, WC/bath).

D wing 001 (Kitchen, WC/bath), 002 (Hall, Bedroom, Kitchen), 003 (Hall, Bedroom, Kitchen, Passage), 004 (closed), 101 (Hall, Bedroom, Kitchen), 102 (Bedroom, Kitchen, WC/bath), 103 (Hall, Bedroom, Kitchen), 04 (Bedroom, Kitchen, WC/bath), 201 (closed), 202 (Kitchen, WC/bath), 203 (Hall, Bedroom, Kitchen), 04 (Hall, Bedroom, Kitchen, WC/bath) 301 (Hall, Bedroom, Kitchen), 302 (Hall, Bedroom).

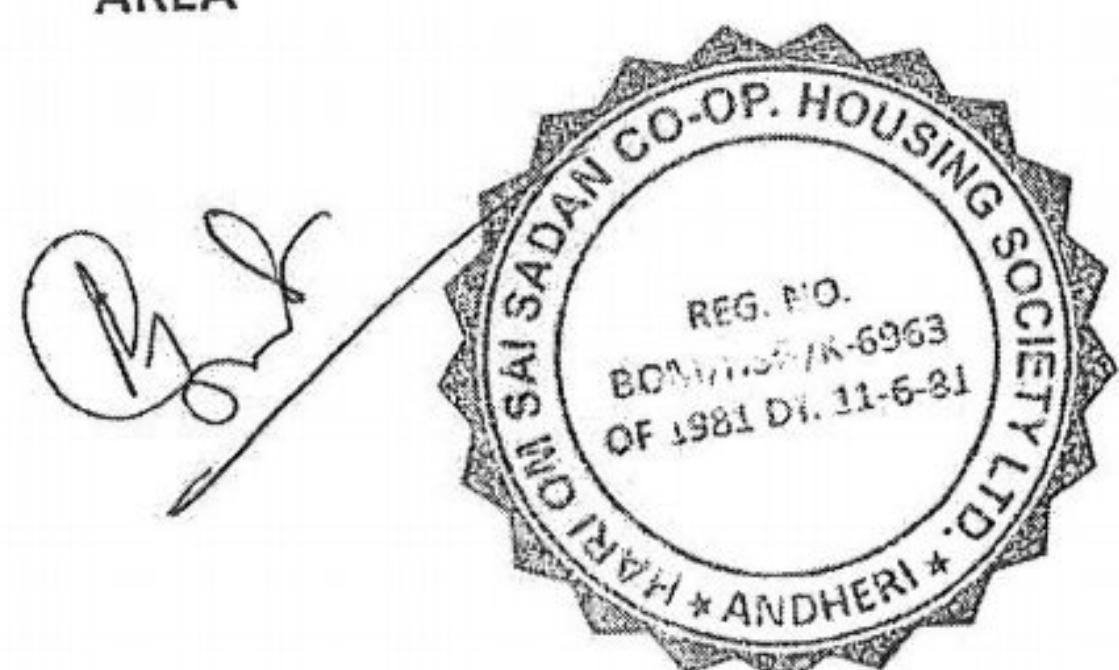
E wing 001 (Hall, Kitchen, WC/bath), 002 (Hall, Bedroom, Kitchen, WC/bath), 003 (Hall, Bedroom Kitchen, WC/bath, Passage), 101 (Hall, Bedroom Kitchen, WC/bath), 102 (Hall, Bedroom, Kitchen, Passage), 103 (Hall, Bedroom, Kitchen, WC/bath), 104 (Hall, Bedroom, Kitchen, WC/bath, Passage) 201 (Hall, Bedroom, Kitchen, WC/bath), 202 (Hall, Bedroom Kitchen), 203 (Hall, Bedroom, Kitchen), 204 (Hall, Bedroom, Kitchen) 301 (Not Allowed), 302 (Bedroom, Kitchen), 303 (Hall, Bedroom, Kitchen,), 304 (Hall, Bedroom Kitchen).



CEILING STEEL EXPOSED



HEAVY STEEL DAMAGE AT CEILING AREA



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(Regd. No.Bom/Hsg/K-6963 of 1981 Dt. 11/6/81)

(2)

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Email: hariomsaisadan@gmail.com Website: hariomsaisadanchsl.com

BLDG. UID NO. KW301066016

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Minutes of Special General Body Meeting held on Saturday 21st October 2023 at 5:30 PM.

The meeting was adjourned for half an hour for want of quorum. The meeting commenced at 6:00 p.m. once the required quorum was achieved.

Dr. Aparna Nainar Chairperson presided over the meeting.

Agenda Item No 1:

To take preliminary decision by taking into consideration demand of the members for redevelopment of society's building and suggestions received in respect of the same.

Dr. Aparna briefed the members on requisition received from the members for fresh redevelopment of the Society and the legal opinion of our Advocates Vasant Dhawan.

Resolution No. 01.

It was resolved to commence Fresh redevelopment of the Society and to consider all the available options /Schemes to obtain maximum benefit for the Society members and keeping in mind the interest of the Society.
49 members voted in favour of the resolution by show of hands.

Agenda Item No 2:

To select expert and experienced Project Management Consultant on the panel of the Government / Local Authority for work of redevelopment of the building and to finalize items of work to be done by them and terms and conditions of work.

Mr. Nikhil Datar & Mr. Siddhesh Sabnis, redevelopment committee members explained the members the Managing Committee report on selection process of Project Management Consultants (PMC) and the basis of recommendation of M/s. Deodhar Associates as the PMC for the redevelopment.

Mr. Nikhil & Mr. Siddhesh informed the members that total of 8(eight) expression of Interest were received from PMC's, out of which the Managing Committee shortlisted 5 (five) PMC's for interview and gathered the requisite information to make suitable judgment on their capabilities.

Members raised several questions related to the above and were answered satisfactorily by Mr. Nikhil & Mr. Siddhesh.

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Resolution No. 02.

It was resolved to accept the recommendation of Managing Committee and to proceed to appoint M/s. Deodhar Associates as PMC for Fresh redevelopment subject to their accepting the terms & conditions .

49 Members voted in favour of the resolution by show of hands.

Agenda Item No 3:

To submit outline of the programme for redevelopment of the building.

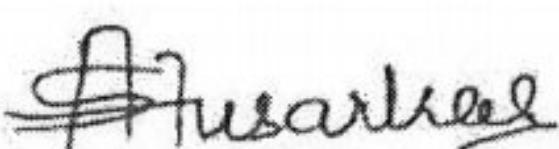
Mr. Nikhil Datar & Mr. Siddhesh Sabnis, redevelopment committee members explained the members that the appointment of PMC was the first step toward fresh redevelopment of the Society.

The PMC will then submit a detailed project report and Feasibility report to the members in the SGM, on the feasibility of various options/schemes of redevelopment and the members jointly will be able to decide the best options available to them in terms of quality of construction, Extra Carpet Area, Corpus, rent etc..

The next step will be the floating of tender for redevelopment and selection of the Developer, Approval of Building Plan, floor Plan & Amenities by the members and finally the signing of Development Agreement.

Mr. Siddhesh assured the members that all the above process will be carried out in fully Transparent manner and that General Body will be involved in each and every decision making process.

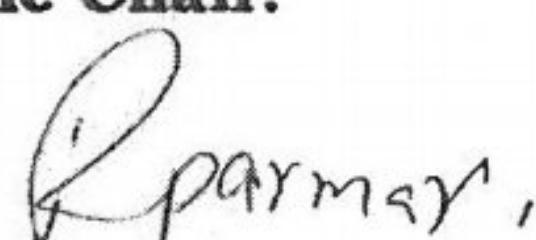
The Meeting ended with a vote of Thanks to the Chair.



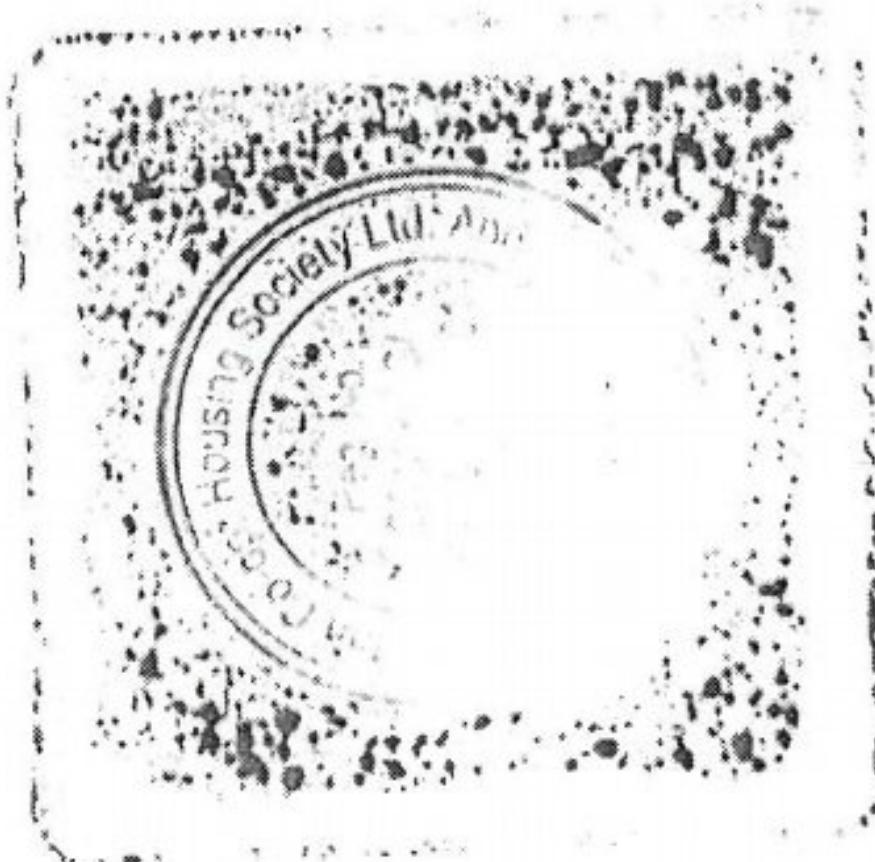
Chairman
(Dr. Aparna Nainar)



Secretary
(Hameera Sheikh)



Treasurer
(Rajesh Parmar)



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Date: - 9/12/2023

NOTICE

SGM ON SATURDAY 16th DECEMBER at 11.00 AM

Upon receipt of the Feasibility report from the PMC M/s Deodhar Associates for Fresh Redevelopment of the Society, the Managing Committee in its meeting held on 5.12.2023 has decided to hold SGM 16th December 2023 at 11.00 am at Karamveer Sports Complex,next to Siddharth Banquet ,4 Bungalows,Andheri west ,to discuss the same and also other matters related to the Society.

AGENDA

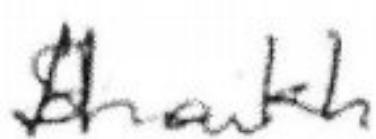
Fresh Redevelopment related matters:

1. To Discuss the Feasibility Report and approve the same.
(b) Mr Shardul from PMC M/s Deodhar Associates will be addressing the members to explain the feasibility report and answer member's queries on the same.
- (c) A summary report on the Feasibility prepared by Managing Committee is enclosed with this Notice.
- (d) Copy of the detailed Feasibility report as prepared by the PMC is kept in Society office for member's inspection and review during society's working hours.
2. To authorize the Managing Committee to proceed with preparation of Tender Documents for inviting bids from prospective Builders and to present the Draft Tender Documents in the next SGM for discussion and approval by general Body.
3. To brief the members on the Cluster redevelopment offer received from House of Hiranandani.

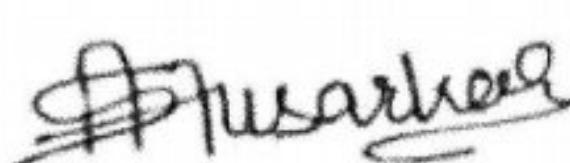
Other Matters:

1. To discuss and approve the release of security Deposit of Rs.10 Lacs to M/s Narang Reality.
2. To appraise members about the Legal Notice received from M/s Balaji Constructions claiming Rs.22,83,942/-

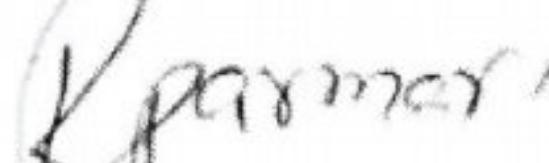
For, HARI OM SAI SADAN CO-OP.HSG.SOC.LTD



SECRETARY



CHAIRMAN



TREASURER

Note: If within half an hour after the scheduled time for the SGM ,there is No quorum, the meeting shall be adjourned for 30minutes on the same day and at the same place, after expiry of 30 minutes the meeting as per agenda points will be conducted irrespective of quorum or not. Only Bonafide members are entitled to vote at the meeting.

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Minutes of Special General Body Meeting held on Saturday 16th
December 2023 at 11:00 AM at Karamveer sports Complex, Andheri.

The meeting was adjourned for half an hour for want of quorum. The meeting commenced at 11:30 a.m. once the required quorum was achieved.
Dr. Aparna Nainar Chairperson presided over the meeting.

Quorum : 43 members out of 78 members (55%)

Agenda Item No 1:

To Discuss the Feasibility Report and approve the same

- a) Mr Shardul from PMC M/s Deodhar Associates will be addressing the members to explain the feasibility report and answer member's queries on the same.

Mr Shardul introduced himself and thanked the society for the appointment as PMC, He explained the feasibility as follows:

The feasibility of the redevelopment is an estimate only and by no means should it be construed as limitation for negotiation with developer. The extent of benefits offered by developer in terms of extra area and corpus etc will ultimately depend on the developers own internal workings, his ability to command higher sale rate and other factors.

The feasibility is Based on 3 parameters 1) The Plot size (2956 sq.mts), 2) Road remarks (DP or Private) & 3) Road width of the Plot.(12 meter) .It has been assumed that HOSS will get the Road access of 12 meters on private road.

Based on The DPCR 2034 which lays down 21 schemes of redevelopment, 2 schemes namely 33(7)B and 33(11) are applicable to the HOSS based on above mentioned parameters.

Scheme 33(7) B is a scheme which considers stand alone development of the Plot under BMC approval and gives you a FSI (Floor space Index) of 2.97 times the plot size and gives a weak profit margin to the developer even after giving benefit of 21% extra carpet area to existing members, which makes the project unviable for developer and members. The Profit margin can be marginally improved if commercial component is added.

Scheme 33(11) PTC is a scheme which is under approval of SRA gives you a FSI (Floor space Index) of 4.05 times the plot size and gives a low profit margin to the developer even after giving benefit of 21% extra carpet area

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to existing members if only residential option is selected, which again makes the project unviable for developer and members. However if Residential & Commercial component is added under Scheme 33(11) PTC, it could give benefit of **35%** extra carpet area to existing members and other reasonable benefits and reasonably good profit margin to developers.

Under scheme 33(11) PTC though the FSI is high there is a requirement to build a SRA (PTC) component .Additional cost of construction for PTC component (Accommodation for Slum Rehabilitation) which has to be constructed either on the same Plot or within 5 kms radius of the Plot or anywhere in western suburbs and equivalent to 1 FSI (2956 sq.mtrs) is @ cost of Rs.180,000 per sq.mtr.(Appx **53.21 Crores**) .

The **Risk** involved under the scheme 33(11) PTC is that unless builder constructs the PTC component and obtains OC of the same, the OC of the entire Redevelopment will be withheld.

In summation , redevelopment under scheme 33(7) B is fairly simple and risk free but gives less benefits to members , whereas scheme 33(11) give better benefits but comes with its own risks.

Question answers session:

Members raised some queries on the feasibility as follows:

1. Why 33(7) B gives so less (21%) extra area to member
2. Adjacent Society is being redeveloped under 33(7)B commercial with 40% extra area , How this is possible?
3. Is 33(11) a MHADA OR SRA component? Has it to build in same Plot?
4. What is PMC's recommendation for the scheme?
5. Do we have to disclose that HOSS has a pending litigation, in the Tender?
6. Is the Feasibility report a guarantee of minimum benefits?
7. What category of developers may be interested in our Project, based on our plot size?
8. What is PMC's opinion on the legal obstacle HOSS may face from M/s Narang Reality, based on PMC's experience on similar problem faced by a neighboring society?
9. Can we specify what type of commercial component will be allowed in the Project?
10. Does adding commercial component give extra FSI?
11. Is the feasibility with 21% extra carpet for members a Conservative approach?

All the above queries were satisfactorily addressed and answered by Mr Shardul.

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Agenda Item No 3 :

To brief the members on the Cluster redevelopment offer received from House of Hiranandani.

Since the Agenda on Fresh redevelopment was being discussed, Agenda No 3 was taken up first to continue the subject under discussion.

Dr Aparna requested Mr Nikhil and Mr Shardul to explain the above mentioned offer.

Mr Nikhil briefly explained the following key points in the offer:

1. The offer is made under DPCR 2034 Scheme 33(9) Cluster Development with SRA and BMC component.
2. Seven societies from Ratan Nagar have received the said offer to form a Cluster, being HOSS , Prema Sadan upto Bhavishya Darshan on our side, and Building No 4 & 7 on the Opposite side upto Quarter Deck.
3. The initial offer is 51% extra Carpet + Corpus @1500 per sq.ft + Rent @70-85 Rs./per sq.ft/per month, completion time 5.5 Years from obtaining Commencement certificate .

The above mentioned Ratan Nagar societies have proposed to Hiranandani to enhance the offer and the Final Offer is expected by 21st December 2023.

The Layout plan of the cluster as shown to us by M/s Hiranandani in the last meeting, envisages the following:

1. 6 Tower of 23 floors each for existing members of Ratan Nagar on Plot No 4&7
2. 6 Tower of 23 floors each for SALE on Plots of Prema sadan and HOSS
3. SRA tower, BMC Amenities and garden on Plot 1& 2 upto Sahyog.

Mr Shardul thereafter explained that the cluster will be Township Community with Sale Towers and Existing members Tower will have separate Amenities and will be self contained.

On the Plot of HOSS, Sale Tower is expected to come and HOSS members will be shifted on Plot No 4 &7.

Mr Shardul further explained that the timeline of the said cluster Project will be different with more than two societies are involved , and all the societies will have to be demolished first before the Project can commence.

He suggested though the offer was better than what HOSS could expect from stand alone redevelopment, it will worthwhile to go for tendering and

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invite bids from prospective developers under various schemes mentioned above in order to have a fair comparison of various options available to HOSS and then make a conscious decision on the best option.

Members asked following queries:

1. If SRA is built in the community will it affect the value of the properties in the cluster?
2. Can we negotiate a better deal for us since Sale component is being built on our prime plot?

Mr Shardul answered the queries to the satisfaction of members.

Agenda Item No 2 :

To authorize the Managing Committee to proceed with preparation of Tender Documents and to present the Draft Tender Documents in the next SGM for discussion and approval by general Body.

Dr. Aparna read out the Agenda item and asked the PMC representative Mr Shardul to explain the need for Tendering and inviting Bids from Developers.

Mr shardul explained the members that in order to have a comparative analysis of various redevelopment options available to HOSS under various schemes, it is necessary to float a Tender and invite bids from Developers .

He further explained that after the approval from HOSS the PMC shall prepare a draft Tender document which will be kept in Society office for 7 days for members to inspect & review and send their observations, suggestions and comments .Thereafter the Tender documents shall be modified based on above suggestions, and the Final Tender Documents shall be put before general body for approval.

Once approved, Advertisement shall be put in leading Newspapers inviting Bids from developers

Mr Shardul than proposed to the members present to raise their hands to approve the feasibiliy report and to authorize the managing committee to proceed with tendering to invite Bids from prospective developers.

Resolution No.1: It was unanimously resolved that the Feasibility is approved and the Managing Committee is authorized to proceed with preparation of Tender Documents for inviting bids from prospective developers.

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SGM NOTICE SATURDAY 06.07.2024 AT 11:00 AM at Karamvir Sports Club Banquet Hall

Managing Committee in its meeting held on Sunday, 30th June 2024 unanimously decided to hold SGM on Saturday 6th July 2024 at Karamvir Sports Club Banquet Hall from 11:00 am onwards. Members are requested to attend the SGM.

AGENDA

1. To finalise the draft Tender for inviting bids from prospective Builders for Redevelopment of our building.
2. To finalise the draft Summary judgement application to be filed in High Court for dismissal of commercial suit filed by Narang Realty

If there is no quorum at 11:00 am, the meeting will be adjourned to 11:30 am, the meeting will commence at 11:30 am irrespective of fact whether there is quorum or not.

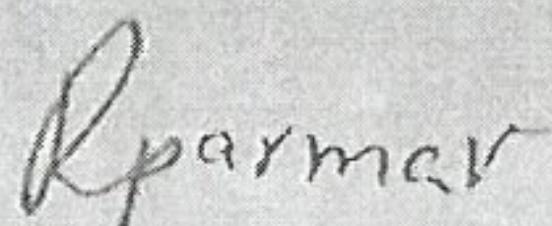
For HARI OM SAI SADAN CHS LTD.



Secretary
(Hameera Shaikh)



Chairman
(Anup Parashar)



Treasurer
(Rajesh Parmar)

NOTE: Members interested to go through the draft Tender and draft Summary judgement application may contact Hon. Secretary, with prior appointment visit Society office and go through the documents.

Mumbai - Dated: 30.06.2024.

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MINUTES OF SGM HELD ON 06.07.2024 AS PER NOTICE DATED 30.06.2024

37 Members were present at the SGM, Meeting was chaired by Hon. Chairman Anup Parashar.

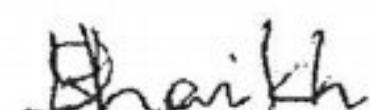
Agenda No. 1: PMC Shardul Kulkarni of Deodhar & Associates explained Members about the salient points of draft Tender. Hon. Chairman suggested few changes in the draft tender to incorporate the status of litigation pending with Builder Narang Realty and also to increase the BG amount from 5 Cr. to 7.5 Cr. which was agreed by PMC. Queries from Members were answered, Mr. Shardul made it very clear that the Members will only vacate the building only after Builder obtains all approvals, make 100% payment of FSI and TDR and get the CC. It was informed by PMC that nearly about 25 to 30 Crores will have to be spent by Builder to get all permissions and make payment of FSI & TDR premium to BMC, so he will be eager and interested in early completion of the project. It was decided to finalise the draft tender and Members can go through the same in Society office on fixed time before its issuance. Amount of 25,000 was approved towards the cost of publishing the Tender in two Newspapers.

AGENDA NO. 2: Hon. Chairman informed that Advocate Vasant Dhawan has shared the draft Summary Judgement application, MC and RDC members will deliberate with Advocate Vasant Dhawan and suggest changes, if any. Hon. Chairman explained about the provisions of Summary judgement application and relevant provisions of CPC and Commercial Court Act which will be applicable in our application.

Following resolutions were passed unanimously:

Resolution No. 1: Draft tender duly incorporating few changes suggested by MC and RDC Members is approved. Amount of Rs. 25,000 is approved to publish the Notice in 2 newspapers.

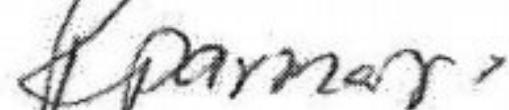
Resolution No. 2: Draft Summary Judgement application duly incorporating few changes suggested by MC and RDC Members is approved.


Hon. Secretary

(Hameera Shaikh)



Hon. Chairman
(Anup Parashar)

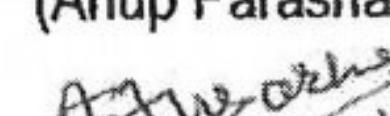

Hon. Treasurer

(Rajesh Parmar)


MC Member

(Ramesh Bhat)


MC Member
(Dilip Parashar)


MC Member

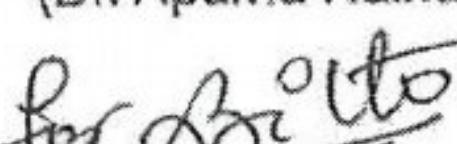
(Dr. Aparna Nainar)

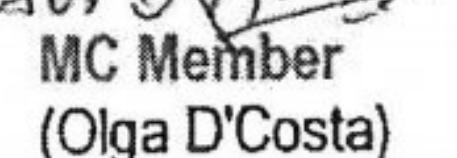

MC Member

(Anil Karoor)


MC Member

(Harish Khuman)


MC Member
(Hemant Chitnis)


MC Member
(Olga D'Costa)

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Minutes of the Special General Body Meeting Held on 19.10.2024 at 3:30 pm
in Society Premises, for opening of Tenders for Redevelopment of the Society.

Attendees:

Quorum – 42 members of Hari Om Saisadan CHS LTD
Mr Shardul Kulkarni- on behalf of PMC -M/s Deodhar Associates

Bidder's representatives:

1. Confiable Construtions
2. Aplite Developers
3. Sushanku Reality Pvt.Ltd

Agenda 1.

To open tenders received from bidders for the redevelopment of the society in presence of the PMC, Bidders & Members of the Society.

Mr Shardul opened the Meeting with a brief introduction on the Agenda and informed the members that all the Bids are received in sealed Envelopes from the bidders and the same shall be opened in presence of the members and bidders representatives present.

Thereafter the Bids were opened in order and the main points of the offers were read out from each bid.

The offers were signed by the PMC and Secretary after they were read out.

The cheques received towards Earnest Money Deposit and tender processing fee were handed over to the secretary.

The Tender processing fee cheques were not received from 4 (four) bidders, Mr Shardul advised that PMC shall follow up with the said bidders and inform them that the said bids will be disqualified if the said tender processing fees is not transferred to Society account forthwith.

A member Mr Sidhesh inquired whether there was any qualification in the Bid with regards to our Legal case with Narang Reality.

Mr Shardul replied that only the main offer will be read out in this meeting and the detail analysis of the bid shall be carried out in the PMC office and comparative analysis of each bid along with qualifications if any will be advised in due course.

Musarhae

D. Bora

HARI OM SAI SADAN CO.OP. HOUSING SOCIETY LTD.

(Regd. No.Bom/Hsg/K-6963 of 1981 Dt. 11/6/81)

Bldg. No.10, Ratan Nagar, 4 Bungalows, Andheri (West), Mumbai - 400053.

Email: hariomsaisadan10@gmail.com Website: hariomsaisadanchsl.com

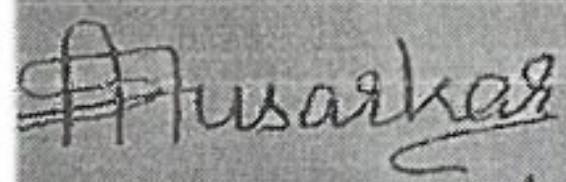
BLDG. UID NO. KW301066016

■ CO-OPERATION IS OUR MOTTO ■

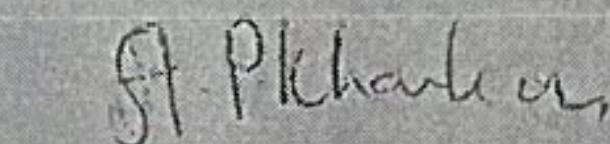
The details of offer of all the bids that were opened is as follows

Bidder	Rent/sq.ft	Extra Area	Corpus / Sq.ft	Scheme
Gami Group	Rs.110	37% RERA	Rs.1500	Not specified
Sushanku Reality	Rs.100	30%	Rs.2000	33/7B
	Rs.100	45%	Rs.2200	33/11 PTC
Aplete Group	Rs.100	35%RERA	Rs.2000	Not specified
Confiable Construction	Rs.110	40%	Rs.2000	33/7B
	Rs.110	52%	Rs.2000	33/11 PTC
Samarpan Buildtech	Rs.75	26%MOFA	Rs.951	Not specified
AVANT Group (BNS)	Rs.120	45%	Rs.2225	33/11 PTC
PCPL -Pranav Constr.	Rs.80	26% RERA	NIL	33/7B
NCC URBAN	Rs.95	33.5% RERA	Rs.1100	Not specified

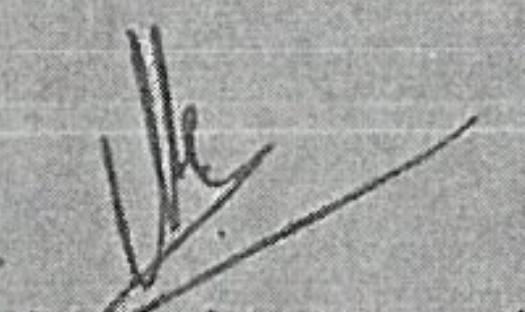
Meeting ended with vote of thanks from the Chairman.



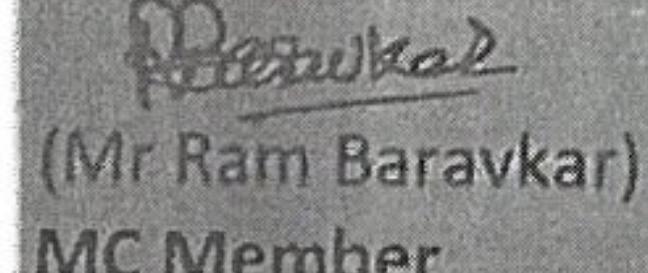
(Dr.Aparna Nainar)
Secretary



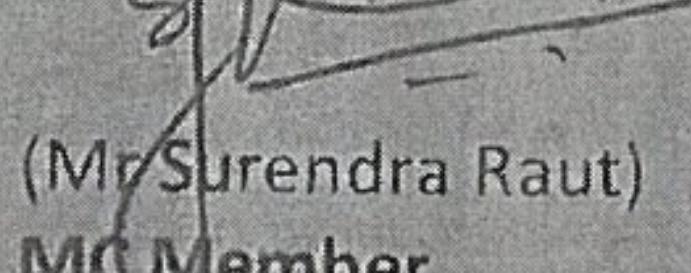
(Mrs Aruna Kharkar)
Chairman



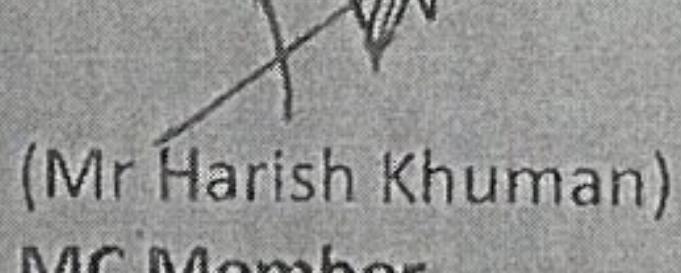
(Mr.Mazahir Kesuri)
Treasurer



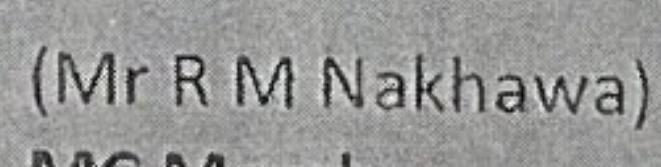
(Mr Ram Baravkar)
MC Member



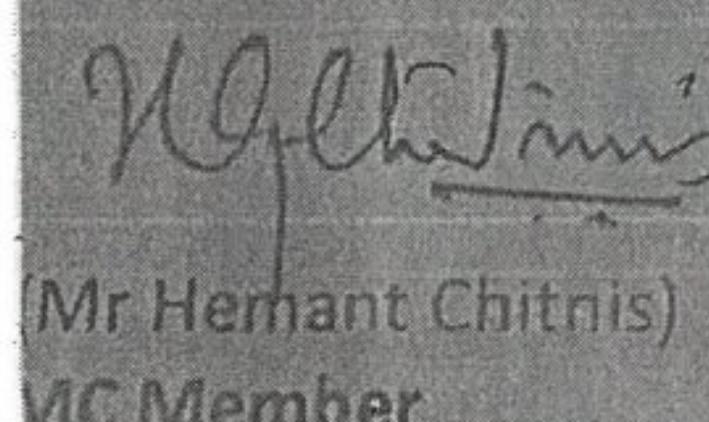
(Mr Surendra Raut)
MC Member



(Mr Harish Khuman)
MC Member



(Mr R M Nakhawa)
MC Member



(Mr Hemant Chitnis)
MC Member

हरी ओम साई सदन को-ऑप होसिंग सोसायटी लि,
बिलिंग नं.१०, रत्न नगर, घार बंगला, अंधेरी (प), पर्स ५३..

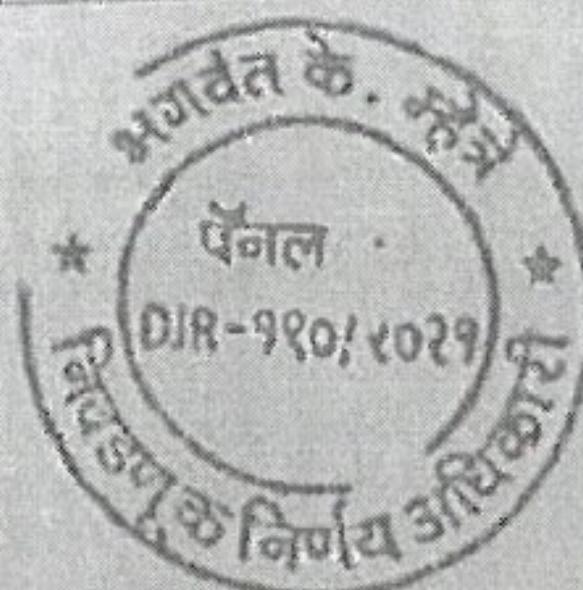
(6)

व्यवस्थापक समितीचा कालावधी मन.२०२८-२९ ते २०२८-२९
पदाधिकारी व व्यवस्थापक समिती सदस्यांची नावे य पद

सं.क्र.	व्यवस्थापक समिती सदस्यांची नावे	गतनिका फ.	पद
१	खारकर अरुणा पद्माकर Kharkar Aruna Padmakar	सी/104	अध्यक्ष
२	नैनार अपरा मनिवन्नन Nainar Aparna Manivannan	डी/001	सचिव
३	केसुरी मज़ाहीर असगरअली Kesuri Mazahir Asgerali	ई/303	प्राचिनदार
४	बारवकर राम मारुती Baravkar Ram Maruti	बी/301	व्यवस्थापक समिती सदस्य
५	चिटणीस हेमत गोपीनाथ Chitnis Hemant Gopinath	सी/204	व्यवस्थापक समिती सदस्य
६	खुमान हरिश बीजल Khuman Harish Bijal	सी/103	व्यवस्थापक समिती सदस्य
७	नाखवा राऊफ मेहमुद Nakhawa Rauf Mahamud	डी/004	व्यवस्थापक समिती सदस्य
८	राऊत सुरेंद्र जनार्दन Raut Surendra Janardan	ए/003	व्यवस्थापक समिती सदस्य

ठिकाण :- अंधेरी (प), मुंबई-५३..

दिनांक:- ०९/१०/२०२४



०९/१०/२०२४
पर्स ५३ के निर्णय अधिकारी
निवास के निर्णय अधिकारी

(6)

हरी ओम साई सदन को-ऑप हौसिंग सोसायटी लि,

बिल्डिंग नं.१०, रतन नगर, चार बंगला, अंधेरी (प), मुंबई ५३.,

अधिमंडळाची विशेष बैठकीची सुचना

हरी ओम साई सदन को-ऑप हौसिंग सोसायटी लि, बिल्डिंग नं.१०, रतन नगर, चार बंगला, अंधेरी (प), मुंबई ५३., या संस्थेच्या नवनिर्वाचित व्यवस्थापक समिती सदस्य यांना कळविण्यात येते की, संस्थेची अध्यासी सभा अधिकारी श्री. भगवंत के. महेत्रे यांच्या अध्यक्षतेखाली दिनांक ०१/१०/२०२४ रोजी ११:३०वाजता संस्थेच्या कार्यालयात आयोजित करण्यात येत आहे. तरी कृपया सर्व नवनिर्वाचित व्यवस्थापक समितीतील सदस्यांनी वेळेवर उपस्थित राहून सभा सुरक्षित पार पाढण्यास सहकार्य करावे. हि विनंती.

सभेपुढील विषय

१. सन २०२४/२०२५ ते २०२८- २०२९ या कालावधीसाठी संस्थेचे अध्यक्ष यांची निवड करणे.
२. सन २०२४/२०२५ ते २०२८- २०२९ या कालावधीसाठी संस्थेचे सचिव यांची निवड करणे.
३. सन २०२४/२०२५ ते २०२८- २०२९ या कालावधीसाठी संस्थेचे अध्यक्ष यांची निवड करणे.

ठिकाण :- अंधेरी (प), मुंबई-५३.,
दिनांक:- 29/09/2024



भगवंत के. महेत्रे
निवडणूक निर्णय अधिकारी
29/09/2024

अ.क्र.	उपेदवाराचे नाव	पत्ता	सही
1	Dr. Aparna M. Nainar,	D-001	
2	Minal B. Khurana	C-103	
3	Surendra J. Raval -	A-003	
4	Hemant G. Chitnis	C-204	
5	Ram M. Banavkar	B-301	
6	Nazmira A. Kecuri	E-303	
7	Anna P. Kharkar	C 104	
8	Nakshana Q. M.	D 004	

Hari Om Sai Sadan CHS Members List					
Flat No.	Primary Member	Joint Member	Associate Member	Phone Number	Email ID
A/001	Lucky Vijay Rathod	Sita Vijay Rathod		8879205520	luckyvijayrathod39@gmail.com
A/002	Sheila Jawahar Rijhsinghani			8879148986	gulrifisinghani@gmail.com
A/003	Savita S. Raut	Surendra J. Raut		9820189361	
A/004	Bhavana A. Magdani			9867690687	bhavna_magdani@gmail.com
A/101	Vithal Jagannath Shirodkar			9820810390	
A/102	Sandhya Shyamkant Sabnis	Siddhesh Shyamkant Sabnis		9820166696	sandhyasabnis11@gmail.com
A/103	Sulbha Chandrakant Desai			9820201574	leeanne.is@gmail.com
A/104	Jwntzmr Rosario	Leeanne R. Fernandes & Lloyd R. Fernandes		9820201574	lobocifford07@gmail.com
A/201	Clifford A. Lobo			9920996489	shubha.tayshete@gmail.com
A/202	Ulhas Rohidas Bacche			9820808265	
A/203	Shubhada P. Tayshete			9819497595	
A/204	Nafiza Boxwala			9833224637	
A/301	Amirali Chhatriwala			9594361314	sunilramg@gmail.com
A/302	Sunil P. Guwal	Shirin Amiralii Chhatriwala		9820196260	vprakashbabu@gmail.com
A/303	Veena P Babu	Kalpana Sunil Guwal		98211642017	anupparashar62@gmail.com
A/304	Rakhi Parashar	Anup Kumar Parashar		9619883433	drvshinde@gmail.com
B/001	Vijay J. Shinde	Geeta S. Shinde		26356464	shahid150@gmail.com
B/002	Mohd. Nisar Sheikh			9867514786	mangalavoga@gmail.com
B/003	Mangala Duggal	Anuja Duggal		9820830124	nsdatar@gmail.com
B/004	Meera S. Dalar			8652491499	
B/101	Suroje B Ghosh	Asima B Ghosh		9833844086	suroje@gmail.com
B/102	Xavier Carvalho			9833112365	zaviercarvalho60@gmail.com
B/103	Dilip Ramgopal Parashar			9820128508	
B/104	DMello Laura Cruzinho			9833468522	
B/201	Amol Prakash Date	Prakash Ganpat Date		9819973743	dupherk27@gmail.com
B/202	Ranjit Kumar			7738713850	
B/203	Manohar Dholumal Jagwani	Pooja Manohar Jagwani		9820802350	
B/204	Theodore Sebastian Lobo	Josephine Theodore Lobo		9167053694	
B/301	Ram Maruti Baravkar	Jayshree Ram Baravkar		9820931440	
B/302	Vijay Pandurang Patankar	Vishal Patankar		9833374850	vishal.p1919@yahoo.com
B/303	Sonali Sandeep Gawande			9833964277	
B/304	Jitendra N. Singh			8452845127	
C/001	Pradeep B. Biwalkar	Nina P. Biwalkar		9821080449	pbiwalkar22@gmail.com
C/002	E. K. Chandran	Vyloppully Jenoy Chandran		9769404224	jenoyre@gmail.com
C/003	Kiran Chandrakant Kuvar	Teja Kiran Kuvar		9221260492	kirankuvar@yahoo.co.in
C/004	Pankaj Kumar			9931987999	pkayaram@gmail.com
C/101	Kantibhai Mohanbhai Gugal			992052555	kantigugal@rediffmail.com
C/102	B. K. Khuman			9819629948	
C/103	Harish Bijal Khuman			9819629948	
C/104	Padmakar Anant Kharkar	Aruna Padmakar Kharkar		9769007958	
C/201	Sayali Sachin Talekar	Sachin B Talekar		9930398904	doshanbhag27@rediffmail.com
C/202	Cecilia Banz			9819455823	
C/203	Dilip Vinayakrao Timble			9820310444	
C/204	Hemant Gopinath Chitnis	Shilpa Hemant Chitnis		9833048480	hemanchitnis1947@gmail.com
C/301	Sanjeeva Ponkra Shetty			9869120260	sanmoh932@yahoo.com
C/302	Sudhir S. Poldar			9820681887	poldarsudhir@yahoo.com

C/303	Harsha R. Sharma	9820131778	
C/304	Akshay Kala	98894 55442	kataakshay1@gmail.com
D/001	Aparna Manivannan Nainar	7977387545	aparnadharmony@yahoo.in
D/002	D'Costa Olga	9892472742	
D/003	Rajesh Devshankar Parmar	9820485881	rajeshparmarm0766@gmail.com
D/004	Rauf Mahamud Nakhawa	9920940372/	rmnakhawa@gmail.com
D/101	Sumidha Subhash Rane	Akshay Subhash Rane	
D/102	Manu N. Widge	9082750417	manuwidge@gmail.com
D/103	Ramesh Gajanan Bhat	9820895269	
D/104	Deepashree Prakash Nabar	9930010495	
D/201	Linus John D'Souza	9769439610	
D/202	Pallavi Manoj Bhataria	9820013320	
D/203	Hameera Wahid Shaikh	9819069866	
D/204	Priya Ravindra Godbole	9920785599	
D/301	Irfan Riyaz Khan	9175720188	riyazkhan1952@rediffmail.com
D/302	Poonam A. Karoor	9930303147	anilkaroor11@gmail.com
E/001	Meena Sudhir Behl	8097859596	bahl.sumit24@gmail.com
E/002	Aishwarya Deepak Duggal	9967383291	aishwarya_duggal@yahoo.co.in
E/003	Tehmina Ismail Survé	8390193731	sweettehmeena@gmail.com
E/004	Rehana Samad Nadkar	9920879585	iitsnadkar@gmail.com
E/101	Jyoti Harish Khuman	9820131778	century01@gmail.com
E/102	Deeparanjali Dilip Phansopkar	9869715999	dilipphansopkar09@gmail.com
E/103	Harsha Ashok Ahuja	9223276183	
E/104	Paresh Kamath	9820307630	nareshrkamath@gmail.com
E/201	Madhuri S. Waghmare	9930330319	waghmaremadhuri2@gmail.com
E/202	Annie Minoo Lalvani	9819513735	
E/203	Deepak Ramesh Bhat	9969163318	deepak_bhat@yahoo.com
E/204	Jehangir P. Pardiwalla	9821514384	jehangir_p@yahoo.com
E/301	Lata Purushottam Ratnaparkhi	9820008035	
E/302	Raziya Riyaz Khan	9175720188	riyazkhan1952@rediffmail.com
E/303	Jamila Saituddin Vasowala	Mazahir Asgerali Kesuri	9820658098
E/304	Gajanan M. Malik	9822688835	

COMPARATIVE STATEMENT
FINANCIAL BID
HARI OM SAI SADAN CHSL

Sl No	Name of the Developer	Carpet Area offered in new proposed building	Car Parking to each existing members	Rent	Relocation Cost	Brokerage	Refundable Deposit	Discounts rate on additional area In case wanted by existing members (if any)	Exit Cost (Carpet Area) Per Sq. Ft In case the member sells his existing flat	Raw Flat (Khoka flat)	Corpus fund to Individual Members per sq. ft.	Corpus to Schedule	Sources of funds	List of Amenities/ construction period
1	GAMI GROUP (LAL GEBI INFRA P.LTD.) 101, Real Tech Park, 1st Floor, Plot No. 39/2, Sector - 30A, Vashi, Navi Mumbai - 400 703. E & greshreal1129@gmail.com Contact: Mr. Suresh - 9323816747	37% RERA Carpet Area	One parking per member as per MCGM	Rs. 25,000/- each way	One month rent	3 months' rent	10% on market price	N.A.	N.A.	Rs. 1500/-	25% - D.A. 25% - Vacating 50% - Repossession	Own - 25% Bank - 50% Other - 25%	List of Amenities Provided	



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PRANAV CONSTRUCTIONS LTD. 1001, DLH Park, S.V. Road, Opp. Goregaon MTNL, Goregaon- West, Mumbai - 400 062. Rakesh Correa-98201 79270 rakesh.correa@pranavconstruc tions.com bd@pranavconstructions.com	26%	1 Carpet Area existing residential member.	1 Car parking to each existing CA toward rental compensation for the first 24 months	Rs. 80/- per sq.ft. on the existing CA only.	Rs. 25,000/- per member one time only.	One month's rent as a brokerage for tenure of 24 months	N.A.	Rs. 35000/- per sq.ft.	N.A.
3 APPLITE GROUP Green Stone Heritage, C-wing, 3rd. Flr., Ramabai Ambedkar Mang. Fort, Mumbai 0400 001. Yashas Shaikh-9619014769 yashas@aplitegroup.com jutkhan@apelitegroup.com	35% RERA Area on existing carpet area	To be discussed	Rs. 100/- per sq.ft. carpet area/ month for flats	Rs. 50,000/- One month rent	Agreed	Rs. 1000/- per sq.ft. of carpet area	Rs. 20,000/- per sq. ft. of total CA of the member	42 + 6 + further additional time up to 6 months after obtaining OC to complete the finishing of certain outside amenities.	Nil
								Own - 30% Bank - 30% Other - 40%	Amenities list Provided



Sr.	Name of the Developer	Carpet Area offered in new proposed building	Car Parking to each existing members	Rent	Relocation Cost	Brokerage	Refundable Deposit	Discounts rate on additional area In case wanted by existing members (if any)	Exit Cost (Carpet Area) Per Sq. Ft In case the member sells his existing flat	Raw Flat (Khoka flat)	Corpus fund to individual Members per sq.ft.	Corpus to Schedule	Sources of funds	List of Amenities/ construction period
4	SUSHANKUREALTY P.LTD. Billing no.36, Opp. GuruDwara, Near BMC Siddharth Hospital, Goregaon (West), Mumbai - 104. JAYEE-7506847813 admin@sushankurealty.com	30% 33(7) 40% 33(11)	As per BMC Rs. 100/- per sq. ft. carpet area / month for flats	One month Rent One month rent every 12 months	One month 12 months Rent Advance hence no deposit	We will pay 12 months Rent Advance hence no deposit	Rs. 3000/- per sq.ft. of carpet area	Rs. 30,000/- per sq.ft. of carpet area Total CA of the member	Rs. 1000/- per sq.ft. of carpet area of New CA	Rs. 1000/- per sq.ft. of existing Total CA 33(7)	33% - DA 67% - Vacation	Own - 33% Bank - 33% Other - 34%	List provided	
5	SAMARPAN BUILD TECH LLP Shop No. 1 & 2, Swavambhu Residence, Kasturba Road No. 2, Opp. BMC Hospital, Borivali (E), Mumbai - 400 066. Ranmesh D. Jain-9820192349 Info@samrapanhomes.com <u>samrapan2017@yahoo.com</u>	26% MOFA CARPET	One Parking for each member	Rs. 75/- per sq.ft. carpet area / month for flat	Rs. 25,000/- One Month Rent NIL	Rs. 27000/- per sq. ft. of CA	N.A.	N.A.	Rs. 951/- per sq.ft. of existing CA	33% - DA. 33% - On Vacating 34% - On OC till Possession	Own - 30% Bank - 40% Other - 30%	Provided		
6	CONVIABLE CONSTRUCTIONS Archipi CHS Ltd, Bldg No. 10, HajiFapor, Shastri Nagar, Goregaon (W), Mumbai - 400 014. Minal H. Agwan-9833367272 <u>MinalAgwan@yahoo.com</u>	33/7B 40% 33/11 52% 33/11 scheme In case we opt for PTC component and will obtain full CC or part CC of the PTC component before the existing members vacate the premises.	One parking sqft of existing carpet area/month	Rs. 110/- per sqft of existing carpet area/month	Rs. 40,000/- per sq. ft. on RERA CA person	Rs. 32,000/- per sq. ft. on existing total CA	Shall be discussed in person	20% - On DA 30% - Vacating 50% Possession of NewFlats	Rs. 2000/- per sq.ft on existing total CA 50% Possession of NewFlats	Own - 50% Secured/ Unsecured Loan - 25% Other - 25%	Shall be discussed in the meeting and finalized accordingly.			



No.	Name of the Developer	Carpet Area offered in new proposed building	Rent Cost	Relocation Cost	Brokerage	Refundable Deposit	Discounts rate on additional area In case wanted by existing members (if any)	Exit Cost (Carpet Area) Per Sq. Ft	Raw Flat (Khoka flat)	Corpus fund to Individual Members per sq.ft.	Corpus to Schedule funds	Sources of Amenities/ construction period
7	BNS BUILDERS P.LTD. (AVANT GROUP) 511, 5th floor, The Summit Business Bay, Andheri - Kurla Road, Off. W.E.H (Adjacent to V&H Metro Station Gate No. 3) Andheri E, Mumbai - 93 Kedar Lad-8828806161 kedar.lad@avantininfra.com	45% Additional on existing CA. Scheme 33(11)	Rs. 25,000/- 1 Month Rent	3 Months Rent	Rs. 5,000/- per sq. ft. Of CA	Rs. 35,000/- per sq. ft of Total CA of members	Rs. 35,000/- per sq. ft of New Carpet area	Rs. 900/- per sq. ft. of Existing Total CA	Rs. 2225/- per sq. ft. of Existing Total CA	10% - DA 90% - Vacating	Own - 10% Bank - 40% Other - 40% 50%	List not provided
8	NCC URBAN INFRASTRUCTURE LTD. A-914, Kanakia Wall Street, Andheri Kuria Road, Chakala, Andheri (East), Mumbai - 400 093 Kavdeep Roy-91677 92406 kavdeep.roy@nccurban.com	33.5% RERA CARPET on existing CA.	1 no.- 4 wheeler parking for all existing members 7.5% Increment year on year	Rs. 95/- per sq.ft. of carpet area/ month for flats for 1st year.	Rs. 50,000/- for both ways	Rs. 95/- per sq. ft. of CA for total of 2 years for 30 to 36 months of rent period	Rs. 285/- per sq. ft. of CA. prevailing pricing	To be discussed after shortlisting. 10% above average market rate for maximum up to 10 flats	Rs. 350/- per sqft of New Carpet area, subject to statutory clearances	15% - D.A 25% - Vacating 60% - On Repossession	Own - 10% Bank - 30% Other - 60%-. Assure to complete project & handover of PAA to all members irrespective of sales,	Maximum possible high quality and lower maintenance amenities subject to approvals.



**Comparative statement
Technical Bid
HARI OM SAI SADAN CHSL**

Sr.	Name of Organization	Years of experience	Name of Directors	Total Redevelopment Area completed	Total Area Ongoing Projects	No. of Re-development Projects Completed	Solvency/ Net Worth Certification	Annual Turnover for last 3 years (In Crs.)	Bank Guarantee/ Lien of Sale Area	Litigation / Deviation			
1	GAMI GROUP (LAL GEBI INFRA P.LTD.) 101, Real Tech Park, 1st Floor, Plot No. 39/2, Sector - 30A, Vashi, Navi Mumbai - 400 703. E: sureshreal1129@gmail.com Contact: Mr. Suresh - 9323816747	15 yrs	Urmila Ambala1 Gami Ambala1 Bhanji Gami	Lat Gebi Infra P.Ltd. <u>Built up area In sq.mtr.</u> Navi Mumbai 138730	Lat Gebi Infra P.Ltd. <u>Under Construction</u> Navi Mumbai 499411	Lat Gebi Infra P.Ltd. <u>Total-18 Projects</u> (Navi Mumbai) OC given - 15 projects	Net Worth Certified by CA Rs. 126.15 Crs, 177.89	2023-2024 (unaudited)	Lat Gebi Infra P.Ltd. <u>Lien</u> 2000 sq. ft. residential flat	BG - 1 Cr.	No Litigation		
2	PRANAV CONSTRUCTIONS LTD. 1001, DLH Park, S.V. Road, Opp. Goregaon MTNL, Goregaon- West, Mumbai - 400 062. Rakesh Correa-98201 79270 rakesh.correa@pranavconstructions.com bd@pranavconstructions.com	2003	Mr. Kiran Ashar (Chairman) Mr. Pranav Kiran Ashar (Managing Director)	Area of Plot in sq.mtr. 22536.14	Area of Plot in sq.mtr. 17550.05	26 - Project completed 0C provided of 10 projects	Net Worth Pranav Construction P. Ltd. <u>As on 31.03.2024</u> <u>Certified by CA</u> Rs. 883.65 Million <u>Solvency Letter</u> <u>dtd:30.1.2023</u>	2023-2024 449.75 (sent by email) Dtd 19.11.2024 <u>2022-2023</u> 356.17 <u>2021-2022</u> 159.43 <u>2020-2021</u> 92.95	We shall provide lien of flat to the tune of Rs. 5 Crs. <u>Deviation</u> (Point of concern) Lien on flats, which shall be as per schedule Annexure B herewith 40% - On completion of plinth 40% - to be equally divided into no. of floors. 20% - On procurement of O.C.	No Litigation <u>Debtors</u> 3.10.2024	Liens 2000 sq. ft. residential flat	BG - 1 Cr.	No Litigation



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3	APLITE GROUP Green Stone Heritage, C-wing, 3rd Floor, Ramabai Ambedkar Marg, Fort, Mumbai 0 400 001. Yunus Shaikh-9619014769 yunusb@aplitegroup.com Furkaan - 7045430517 furkaan@aplitegroup.com furkaan@aplitegroup.com	2022	Zunaid Birya Furkaan Birya	5 completed project Area not mentioned	4 – Ongoing Projects Area not mentioned	5	Proforma D Aplite Venture LLP 2022-2023 Rs. 21,65,637/-	Proforma D – Total Turnover of Group <u>2022-2023</u> 27.04	NO BG & <u>2021-2022</u> 23.74	No Litigation	
4	SUSHANKU REALTY P LTD. Building no.36, Opp. Gurudwara, Near BMC Siddharth Hospital, Goregaon (West), Mumbai - 104. Joyce-7506847813 / 9769472872 admin@sushankurealty.com	2017	Ankush Gupta Akshat Gupta	Built up area in sq.mtr. 29565.35	Built up area in sq.mtr. 420000	2 OC Provided for 2 projects	Group Companies Solvency certified by CA Rs. 302.65	Net worth of Director <u>Ankush Gupta & Akshat Gupta</u> 13.40 Crs. & 13 Crs. Sushanku Realty P. Ltd. <u>2023-2024</u> Certified by CA Rs. 1.65 Crs.	BG Rs. 5 Crs. 5000 sq. ft. Lien of Sale Flat	2020-2021 3.40	No Litigation



Sr.	Name of Organization	Years of experience	Name of Directors	Total Redevelopment Area completed	Total Area Ongoing Projects	No. of Re-development Projects Completed	Solvency/ Net Worth Certification	Annual Turnover for last 3 Years (in Crs.)	Bank Guarantee/ Lien of Sale Area	Litigation / Deviation
5	SAMARPAN BUILDTECH LLP Shop No. 1 & 2, Swayambhu Residence, Kasturba Road No. 2, Opp. BMC Hospital, Borivali (E), Mumbai - 400 066. Ramesh D. Jain- 9820192349 info@sampanhomes.com samarpan2017@yahoo.com	2 decades	Ramesh D. Jain Kapil R. Jain Ramila Jain	Plot Area In sq.mtr. 7843.6	Plot Area in sq.mtr. 19995	8 (OC not provided)	Group Net Worth of last 3 yrs Certified by CA 56.42 Crs. Samarpan BuiltTech LLP	Total Turnover of Group Companies of last 3 yrs Certified by CA 146.25	BG NO BG	No Litigation
6	CONFIABLE CONSTRUCTIONS Rohini CHS Ltd, Bldg No. 10, 1st Floor, Shastri Nagar, Goregaon (W), Mumbai - 400 104. Maaz H. Agwan-9833367272 Maaz.agwan@yahoo.com Confiaable.construction@yahoo.com	2015	Maaz H. Agwani	Total Completed Projects 5 Area not mentioned <u>SRA</u> Redevelopment project 4 Area not mentioned	Ongoing Redevelopment project 3 Upcoming Projects 4 Area not mentioned	Net Worth of Confiable Construction As on 31.03.2022 5 completed + 3 in process Rs. 18.18 Crs Certified by CA	Confiable Construction 2023-2024 0.45 2022-2023 0.27 2021-2022 1.54	Lien of sale flats 2500 sq. ft. / 4 flats	Not mentioned	



Sr.	Name of Organization	Years of experience	Name of Directors	Total Redevelopment Area completed	Total Area Ongoing Projects	No. of Re-development Projects Completed	Solvency/ Net Worth Certification	Annual Turnover for last 3 years (in Crs.)	Bank Guarantee/ Lien of Sale Area	Litigation / Deviation
7	BNS BUILDERS P.LTD. (AVANT GROUP) 511, 5th floor, The Summit Business Bay, Andheri - Kurla Road, Off. W.E.H (Adjacent to WEH Metro Station Gate No. 3) Andheri E, Mumbai - 93 Kedar Lad-8828806161 kedar.lad@avantinfra.com	14 CMD	Sudeep Saha Avant Group	Constructed Area 730000 sq. ft Upcoming 2320000 sq. ft	Ongoing 2287000 sq. ft Upcoming 2320000 sq. ft	6 Part OC provided Group Solvency certified by CA Provisional 2023-2024	The Solvency Certificate is given but it belongs to the sister concern company Malaswadi Development P.Ltd. 2022-2023 - Nil 2021-2022 - Nil Consolidated 2021-2022	Rs. 28,43 Crs. 2022-2023 13.93 Crs. Abhishek Properties 2021-2022 Rs. 37,63,616/- 2020-2021 Rs. 34,52,858/- Avant Heritage-III Realty LLP 2021-2022 - Nil 2020-2021 - Nil Avant Infra Oshiwara LLP 2022-2023 - Nil 2021-2022 - Nil Karmvir - Avant Infra Chunabhatti LLP 2020-2021 = Nil 2019-2020 = Nil Raghvendra Construction Co. P.Ltd. 2022-2023 19.40 2021-2022 15.89 2020-2021 6.28	Nil	No litigation

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									Pg.No.8 2022-2023	B.G
8	NCC URBAN INFRASTRUCTURE LTD. A-914, Kanakia Wall Street, Andheri Kurla Road, Chakala, Andheri (East), Mumbai - 400 093 Jaydeep Roy-91677 92406 jaydeep.roy@nccurban.com	2005	Sri. Narayan Raju Alluri – M.D. Alluri Bharathi Raju Jampana Srirama Raju	<u>Built up Area In sq.ft</u> 6052450.19	<u>Ongoing Project</u> 1 Area not mentioned (Bangalore & Hyderabad)	Total 18 Projects completed along with OC 1 Project – In Mumbai	<u>Net Worth (As per Financial Data) Pg.No.8</u> 2023-2024 389.04 2022-2023 369.91 2021-2022 349.81 2020-2021 237.36	<u>Lien on sale area</u> 5000 sq. ft.	Rs. 3 Crs.	Litigation list attached



MAKING SAI SAYAN UND LIU (Comparative Analysis of Offer)



<u>OFFER</u>	<u>GAMI GROUP</u>	<u>SAMARPAN BUILD</u>
	Amount Rs.	Amount Rs.
TOTAL CARPET AREA UNDER CONSIDERATION		
358 SQ.FT X 74 FLATS	26492	1280
320 SQ.FT X 4 FLATS	27772	
Rent to be paid to Existing members from the date of vacation till Repossession (36 Months)		
First Year	39,991,680	39,991,680
Monthly/Flat	42,726	42,726
Second Year	43,324,320	39,991,680
Monthly/Flat	46,287	42,726
Third Year	46,656,960	46,656,960
Monthly/Flat	49,847	49,847
	129,972,960	126,640,320
Relocation Cost (Shifting Charges)		
2 way	3,900,000	2,340,000
Per Flat	50,000	30,000
Brokerage	1 time	3,332,640
	3,332,640	3,332,640
	per Flat 1 time	42,726
	42,726	42,726
Extra Carpet Area Offered RERA (SQ.FT) -TOTAL		
RERA	12,497	11387
MOFA	45%	42%
	41%	38%
MOFA sq.ft	505	494
	499,896,000	455,460,800
Avg.Per Flat	Rs.40000 /sq.ft 6,408,923	Rs.40000 /sq.ft 5,839,241
Hardship Compensation (CORPUS)	27,772,000	44,462,972
	Rs.1000/sq.ft	Rs 1601/- per sq.ft
Avg.Per Flat	356,051	570,038



SHAKTIUM SAI SALAN CHS LTD
(Comparative Analysis of Offer)

<u>OFFER</u>	GAMI GROUP	SAMARPAN BUILD
TOTAL MONETORY VALUE OF ALL BENEFITS TO SOCIETY	664,873,600	632,236,732
AVERAGEE MONETORY VALUE OF ALL BENEFITS PER MEMBER	8,524,021	8,105,599
OTHER BENEFITS & SECURITY TO MEMBERS		
Refundable Deposit for Transit Accomodation		
3 months Rent	NIL	NIL
COST OF EXTRA 100 SQ.FT RERA AREA (EXCL GST+STAMP DUTY)		
Rs.33000/sq.ft	3,000,000	Rs.30000/- per sq.ft
FSI LOADING PRIOR TO VACATING		
2.00 67%	2.97 100%	2.97 100%
Lein on Sale Flats		
3000 sq.ft <u>120,000,000</u>	2500 sq.ft <u>100,000,000</u>	NIL
Lein Value Rs.		
NIL	NIL	NIL
BANK GUARANTEE		
PROJECT COMPLETION		
36+6 MONTHS	30+6 MONTHS	



HARI OM SAI SADAN CO.OP. HOUSING SOCIETY LTD.

(Regd. No.Bom/Hsg/K-6963 of 1981 Dt. 11/6/81)

Bldg. No.10, Ratan Nagar, 4 Bungalows, Andheri (West), Mumbai – 400053.

Email: hariomsaisadan10@gmail.com Website: hariomsaisadanchsl.com

BLDG. UID NO. KW301066016

☺ CO-OPERATION IS OUR MOTTO ☺

NOTICE FOR SPECIAL GENERAL BODY MEETING

Notice is hereby given to all the members of the Society that a Special General Body Meeting of the members of the Society is scheduled on **27th April 2025 at 6:00 PM** in the Society Premises in the presence of Authorized Officer appointed by Dy. Registrar of Co-op Societies(K/W Ward), Mumbai, U/Sec.79-A of **MCS Act, 1960** for Redevelopment and Appointment of the Developer.

Agenda

Agenda 1: To elect the chairperson to preside over the meeting.

Agenda 2: To finalize a Developer for the redevelopment of the Society in the presence of the authorized representative of the Deputy Registrar Co-operative Societies.

Agenda 3: To authorise the Chairperson, Secretary, and Treasurer of the Society to sign all the deeds and documents required to be executed for the redevelopment of the Society including Development Agreement, Power of Attorney, Agreement for Permanent Alternate Accommodation and such other documents related to the redevelopment and admit the same before the concerned Sub-Registrar of Assurances if required.

For Hari Om Sai Sadan CHS Ltd.

For Hari Om Sai Sadan Chs Ltd

G.P. Wankar
G.P. Wankar
Secretary Treasurer

Date: 08.04.2025

Note:

- No matters other than the agenda will be discussed in this meeting.
- It is mandatory for all the members attending the meeting to carry any one of the Identity proofs such as Aadhar Card/ PAN Card/ Passport/ Copy of Share Certificate to show it to the authorised representative of the Dy. Registrar.
- No proxy or power of attorney holders of any of the members are allowed to attend the meeting and cast their votes.

