



GROUP 5 ALEX'S BAKERY

888 MAIN St East, Hamilton, ON L8M 1M3

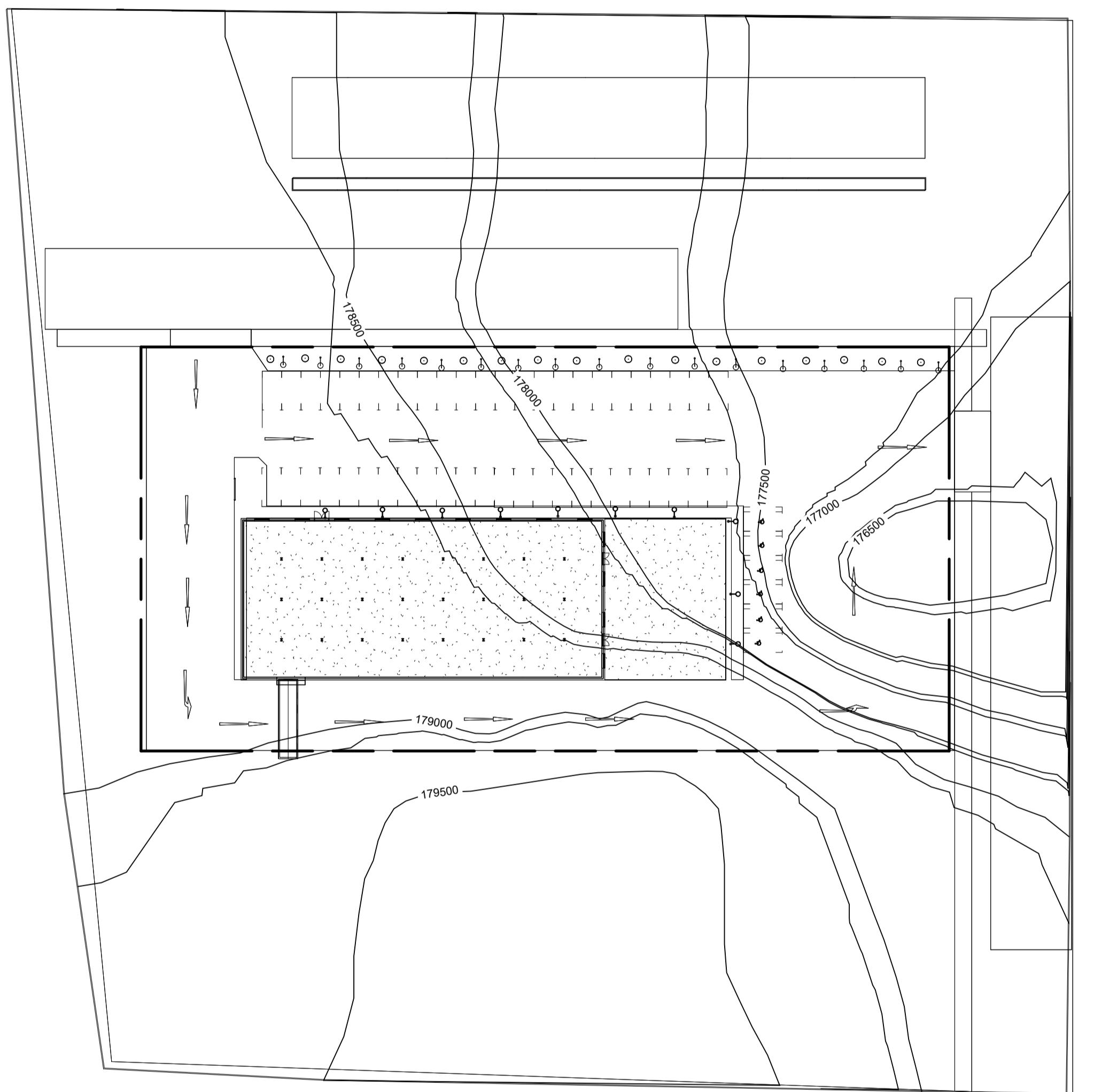
GROUP MEMBERS: ALEXIOS BANNAVONG
MARK ATANACIO

DRAWING:
C1 SITE PLAN
C2 PROJECT NOTES
C3 MAIN FLOOR
C4 SECOND FLOOR
C5 NORTH, SOUTH ELEVATION
C6 EAST, WEST ELEVATION
C7 COLUMN DETAIL
C9 WALL DETAIL
C10 STAIR DETAIL

ZONIN EMPLOYMENT ZONE	LOT NO:	PLAN NO:.....	LOT #5660	LOT SIZE	LOT DEPTH
ET DESCRIPTIO	EXISTIN	M ²	%	M ²	M ²
LOT COVERAG	4000	5000 M ²	5000 M ²	18 %	3 M
GROSS AREA	2300 M ² (TENTATIVE)	2300 M ² (TENTATIVE)	19 %	HEA BAR	6 M
LANDSCAPE ARE	150 M ²	1236.60 M ²	27 %	INTERIO SIDE	1.5 M
NO. OF STORES	9	2 STOREY		INTERIO SIDE	1.5 M
WIDTH	60 M	20.00 M		WESTERIO EXTERIO R	3 M
DEPT H	20 M	20.00 M			
PARKIN G	54	15 STALLS 2 B. FREE	17 STALLS		

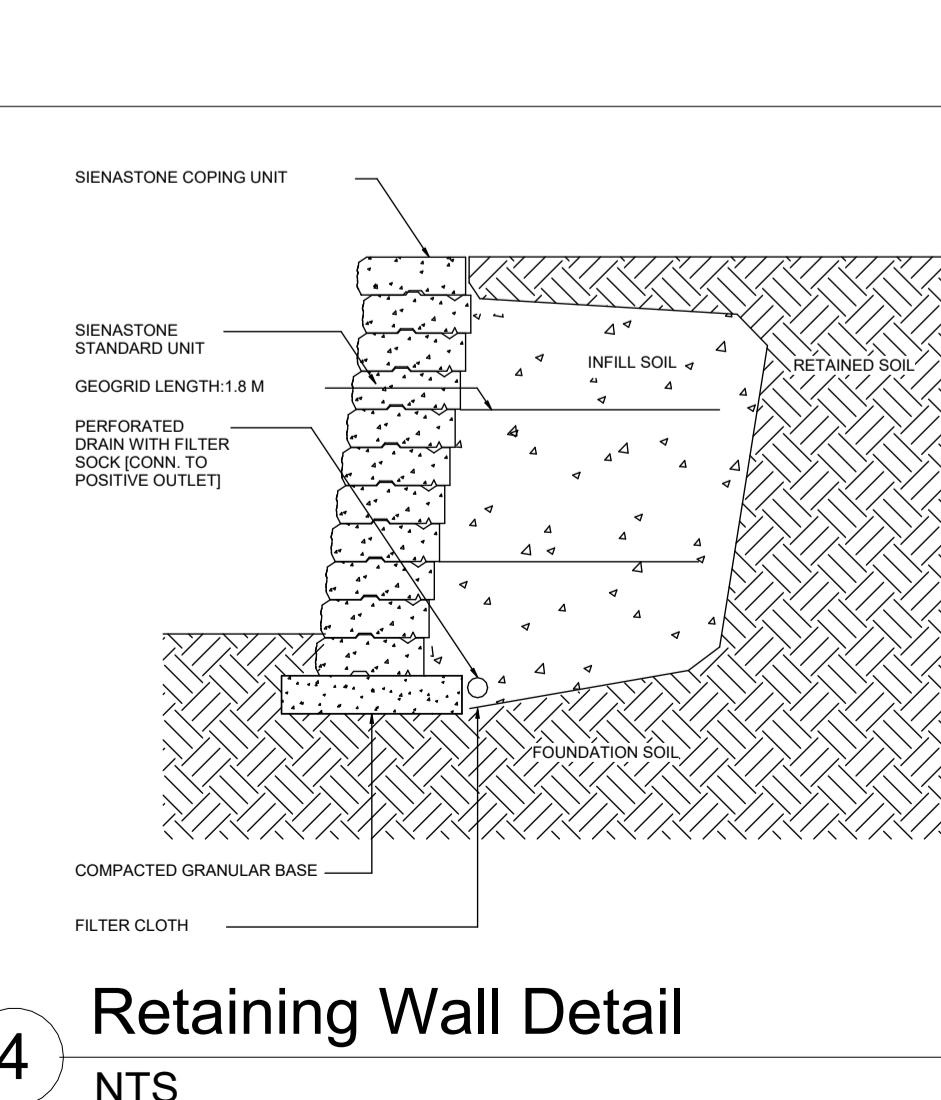
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Site

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GENERAL DETAILS AND SPECIFICATIONS

1. CONTRACTOR ACKNOWLEDGES THAT PRIOR TO SUBMISSION OF HIS BID HE HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK. GENERAL LOCAL CONDITIONS, PARTICULARLY THOSE BEARING UPON TRANSPORTATION, CODES AND ORDINANCES, DISPOSAL, HANDLING AND STORAGE OF MATERIALS, AVAILABILITY OF LABOR, AS WELL AS ALL OTHER MATTERS WHICH MAY IN ANY WAY AFFECT THE WORK OR COST THEREOF.

2. ANY FAILURE BY CONTRACTOR TO ACQUAINT HIMSELF WITH ALL AVAILABLE INFORMATION CONCERNING THESE CONDITIONS WILL NOT RELIEVE HIM FROM THE RESPONSIBILITY OF PROPERLY ESTIMATING THE DIFFICULTY OR COST OF SUCCESSFULLY PERFORMING THE WORK.

3. ALL WORK SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS, (IF PROVIDED). ANYTHING MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS OR SHOWN ON THE DRAWINGS AND NOT SHOWN ON THE SPECIFICATIONS SHALL BE DEEMED TO BE SHOWN OR MENTIONED IN BOTH.

4. SHOULD THERE BE ANY VARIANCE, DISCREPANCY, INCONSISTENCY OR CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS, THE SPECIFICATIONS SHALL TAKE PRIORITY OVER SMALL SCALE DRAWINGS.

5. SHOULD CONTRACTOR, IN PREPARING HIS BID OR AT ANY TIME THEREAFTER, FIND ANY DISCREPANCY, INCONSISTENCY, CONFLICT OR OMISSION IN, OR BE IN DOUBT AS TO THE EXACT MEANING OF THE DRAWINGS OR SPECIFICATIONS, HE SHALL IMMEDIATELY, AND BEFORE PROCEEDING FURTHER, NOTIFY OWNER'S REPRESENTATIVE IN WRITING. OWNER'S REPRESENTATIVE WILL IMMEDIATELY RESOLVE SUCH DISCREPANCY AND FURNISH CONTRACTOR WITH WRITTEN INSTRUCTIONS WITH RESPECT THERE TO. IT WILL NOT BE A DISCREPANCY IF THESE SPECIFICATIONS DO NOT MENTION PORTIONS OF WORK WHICH THE DRAWINGS COMPLETELY EXPLAIN.

6. FIELD MEASUREMENTS/CONDITIONS

A. ALL FIELD MEASUREMENTS AND CONDITIONS SHALL BE VERIFIED AT THE BUILDING BY THE CONTRACTOR WHO WILL BE HELD RESPONSIBLE FOR THE CORRECTNESS OF HIS WORK AND WILL BE COMPELLED TO REPLACE WITH NEW, ALL INCORRECT WORK. WHEN BUILDING MEASUREMENTS CANNOT BE SECURED FOR ANY PART OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AT ONCE.

B. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AND SHALL REPORT TO OWNER'S REPRESENTATIVE ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY WORK AT ONCE.

C. CONTRACTOR SHALL CHECK DOOR OPENINGS TO DETERMINE MAXIMUM SIZE OF EQUIPMENT, FIXTURES OR UNITS THAT CAN BE TAKEN INTO THE BUILDING AND TO THE AREA WHERE THEY ARE TO BE USED.

D. THE CONTRACTOR SHALL FURNISH DIMENSIONED DRAWINGS AS MAY BE NECESSARY FOR USE BY OTHER CONTRACTORS IN DETERMINING LOCATIONS OF WALLS, PARTITIONS, SOFFITS, ETC. IT IS THE INTENTION THAT SUCH DIMENSIONED DRAWINGS SHALL BE FURNISHED ON THE EARLIEST POSSIBLE DATE SO AS TO ENABLE OTHER CONTRACTORS TO PROCEED WITH THEIR WORK WITHOUT CAUSING DELAY IN THE COMPLETION OF WORK BEING DONE BY OTHERS.

7. UPON NOTICE TO PROCEED, CONTRACTOR SHALL OBTAIN PERMIT TO PERFORM WORK AND FURNISH OWNER WITH COPY THEREOF. CONTRACTOR SHALL ALSO OBTAIN ALL OTHER NECESSARY PERMITS, LICENSES, WARRANTS AND ANY OTHER CONSENT OR APPROVAL OR AUTHORIZATION FROM ANY AGENCY, PUBLIC OR PRIVATE, REQUIRED FOR THE WORK OR ANY PORTION THEREOF. EXPENSE FOR PERMITS WILL BE BORNE BY THE CONTRACTOR. CONTRACTORS WILL GIVE ALL NECESSARY NOTICES, PAY ALL FEES REQUIRED BY LAW, AND SHALL OBSERVE AND ABIDE BY ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS, ORDINANCES, RULES REGULATIONS AND CODES RELATING TO THE WORK AND TO THE PRESERVATION OF PUBLIC HEALTH AND SAFETY. BY ENTERING INTO THIS AGREEMENT, CONTRACTOR WARRANTS AND REPRESENTS THAT HE IS THOROUGHLY FAMILIAR WITH ALL APPLICABLE BUILDING CODES, ORDINANCES, LAWS OR OTHER REGULATIONS GOVERNING THE WORK.

8. IF CONTRACTOR AT ANY TIME ASCERTAINS THAT ANY AGREED REQUIREMENT IS AT VARIANCE WITH APPLICABLE LAWS, ORDINANCES, REGULATIONS OR BUILDING CODE REQUIREMENTS, HE SHALL IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE. ANY NECESSARY CHANGES SHALL BE ACCOMPLISHED BY CHANGE ORDER. SHOULD CONTRACTOR FAIL TO GIVE SUCH NOTICE AND PROCEED WITH WORK, HE SHALL BEAR ANY COSTS OR EXPENSES INCURRED IN MAKING CHANGES REQUIRED AS A RESULT OF SUCH VARIANCE.

9. CONTRACTOR SHALL DILIGENTLY PROSECUTE THE WORK TO COMPLETION AND SHALL AT ALL TIMES HAVE A COMPETENT SUPERINTENDENT, SATISFACTORY TO THE OWNER'S REPRESENTATIVE, ON THE WORK AT ALL TIMES WITH COMPLETE AUTHORITY TO ACT FOR HIM.

A. GENERAL CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR KEEPING AWARE OF CONSTRUCTION PROGRESS, AND WHERE DELAYS HAVE OCCURRED DUE TO GENERAL CONTRACTOR'S FAULT, MAKE UP THE LOST TIME AT HIS OWN EXPENSE AS NECESSARY TO MAINTAIN THE CONTRACT SCHEDULE.

B. ALL WORKS MUST BE COMPLETED WITHIN THE TIME AND UPON THE DATES SPECIFIED (IF APPLICABLE).

C. THE COMPLETION DATES ARE ESSENTIAL AND NO REQUEST BY CONTRACTOR FOR AN EXTENSION OF TIME WILL BE CONSIDERED UNLESS IN OWNER'S REPRESENTATIVE'S OPINION THE REASON FOR SUCH REQUEST: 1) ACTUALLY PREVENTS CONTRACTOR FROM PROSECUTING THE WORK; AND 2) CAUSES A DELAY IN COMPLETION BEYOND THE SPECIFIED DATES.

D. IF GRANTED, EXTENSIONS OF TIME SHALL BE BASED UPON THE ACTUAL DELAY IN THE COMPLETION OF WORK AS DETERMINED BY OWNER'S REPRESENTATIVE. CLAIMS FOR EXTENSIONS OF TIME SHALL BE MADE IN WRITING WITHIN FIVE (5) CALENDAR DAYS AFTER THE OCCURRENCE OR CAUSE FOR DELAY OF SUCH CLAIM SHALL BE DEEMED INVALID. CLAIMS FILED WITHIN SAID FIVE (5) DAY PERIOD SHALL BE ACCEPTED OR REJECTED BY OWNER'S REPRESENTATIVE UPON THE TERMS HEREIN.

E. WHENEVER AN ACTUAL OR POTENTIAL LABOR DISPUTE IS DELAYING OR THREATENS TO DELAY PERFORMANCE OF WORK, CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE AND SHALL FORTHWITH FURNISH WRITTEN NOTICE THEREOF TO OWNER, SUCH NOTICE SHALL INCLUDE ALL RELEVANT INFORMATION CONCERNING SAID DISPUTE.

11. CHANGES IN WORK

A. OWNER'S REPRESENTATIVE, WITHOUT INVALIDATING THE AGREEMENT, MAY ORDER CHANGES BY ALTERING, ADDING TO OR DELETING FROM THE WORK; IN SUCH EVENT, THE AGREEMENT SHALL BE MODIFIED AS HEREINAFTER PROVIDED. SUCH CHANGES SHALL BE MADE ONLY WHEN ORDERED IN WRITING BY THE ARCHITECT. NO CHANGES IN WORK SHALL BE VALID UNLESS BASED UPON A WRITTEN CHANGE ORDER.

B. WHEN A REQUEST FOR PROPOSAL (R.F.P.) IS ISSUED, THE CONTRACTOR SHALL SUBMIT A BREAKDOWN OF COSTS TO THE OWNER'S REPRESENTATIVE FOR HIS APPROVAL, WHICH SHALL SHOW THE FOLLOWING:

1. ITEMIZED COST OF LABOR.
2. ITEMIZED COST OF MATERIAL.
3. DIRECT ITEMIZED COST OF TRANSPORTATION (IF REQUIRED)

C. IF THE REQUEST FOR PROPOSAL IS ACCEPTABLE, THE OWNER'S REPRESENTATIVE SHALL ISSUE A CHANGE ORDER IN THE AMOUNT STATED BY THE R.F.P.

12. WORKMANSHIP AND MATERIALS

A. ALL WORKMANSHIP SHALL BE OF THE HIGHEST QUALITY AND CURRENTLY PREVAILING IN THE TRADE.

B. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS, SUPPLIES, PARTS, EQUIPMENT AND ARTICLES INCORPORATED IN THE WORK SHALL BE NEW, OF RECENT MANUFACTURE, FREE FROM DEFECTS AND IMPERFECTIONS AND THE BEST GRADE OF THE RESPECTIVE KIND FOR THE PURPOSE SPECIFIED. WHEREVER PRACTICABLE, THE STANDARD PRODUCT OR A RECOGNIZED, REPUTABLE MANUFACTURER SHALL BE USED. REFERENCE TO ANY ARTICLE, DEVICE, PRODUCT, MATERIAL, FIXTURE, FORM OR TYPE OF CONSTRUCTION BY NAME, MAKE OR CATALOG NUMBER ESTABLISHES A STANDARD OF QUALITY AND SHALL NOT BE CONSTRUED AS A LIMITATION UPON COMPLETION.

B. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS, SUPPLIES, PARTS, EQUIPMENT AND ARTICLES INCORPORATED IN THE WORK SHALL BE NEW, OF RECENT MANUFACTURE, FREE FROM DEFECTS AND IMPERFECTIONS AND THE BEST GRADE OF THE RESPECTIVE KIND FOR THE PURPOSE SPECIFIED. WHEREVER PRACTICABLE, THE STANDARD PRODUCT OR A RECOGNIZED, REPUTABLE MANUFACTURER SHALL BE USED. REFERENCE TO ANY ARTICLE, DEVICE, PRODUCT, MATERIAL, FIXTURE, FORM OR TYPE OF CONSTRUCTION BY NAME, MAKE OR CATALOG NUMBER ESTABLISHES A STANDARD OF QUALITY AND SHALL NOT BE CONSTRUED AS A LIMITATION UPON COMPLETION.

C. CONTRACTOR MAY SUBSTITUTE MATERIALS AND ARTICLES OF QUALITY AND MERIT EQUAL TO THOSE SPECIFIED WITH OWNER'S PRIOR WRITTEN APPROVAL. REQUESTS FOR SUBSTITUTIONS SHALL BE SUBMITTED TO OWNER'S REPRESENTATIVE AND MUST BE ACCOMPANIED BY ALL TECHNICAL INFORMATION AND DATA RELATIVE TO QUALITY, PERFORMANCE, ETC., TO PROVIDE A PROPER COMPARISON. IF REQUESTED, CONTRACTOR SHALL SUBMIT SAMPLES OF ANY PROPOSED SUBSTITUTION. ANY SUBSTITUTION USED WITHOUT APPROVAL SHALL BE SUBJECT TO REJECTION AND REPLACEMENT AT CONTRACTOR'S EXPENSE.

Project Notes

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D. CONTRACTOR SHALL, AT HIS EXPENSE, MAKE ANY CHANGES REQUIRED IN DETAILS, DIMENSIONS, ARRANGEMENT, EQUIPMENT OR ANY OTHER ADDITIONS OR ALTERNATION TO THE WORK RESULTING FROM ANY APPROVED SUBSTITUTION. SUCH CHANGES MUST BE APPROVED BY OWNER'S REPRESENTATIVE. THE ENTIRE SYSTEM TO WHICH THE SUBSTITUTION APPLIES AND ALL WORK INSTALLED IN CONNECTION THEREWITH RELATED THERETO MUST FUNCTION AS A UNIT AS ORIGINALLY INTENDED. 13. GENERAL CONTRACTOR SHALL COORDINATE HIS WORK, HIS SUBCONTRACTORS WORK, AND WORK OF THE VARIOUS TRADES INCLUDED IN THIS AGREEMENT SO AS TO AVOID CONFLICTS BETWEEN THEM AND OTHER CONTRACTORS. ANY CHANGES IN WORK RESULTING FROM FAILURE TO SO COORDINATE, AND ANY LOSS, EXPENSE OR DAMAGE RESULTING FROM INJURY TO THE WORK OF ONE SUBCONTRACTOR OR TRADE CAUSED BY OPERATIONS OF ANOTHER, SHALL BE CONTRACTOR'S RESPONSIBILITY.

14. SAFETY.

CONTRACTORS SHALL EXERCISE PRECAUTION AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. OBSERVE THE PROVISIONS OF APPLICABLE LAWS, BUILDING AND CONSTRUCTION CODES AND OSHA. IN NO CASE SHALL THE OWNER AND/OR THE OWNER'S REPRESENTATIVE BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK NOR SHALL THE OWNER AND/OR ARCHITECT BE RESPONSIBLE FOR CONTRACTOR'S FAILURE TO EMPLOY PROPER SAFETY PROCEDURES.

15. SCAFFOLDING.

FURNISH AND MAINTAIN ANY STAGING, RIGGING SCAFFOLDING AND RUNWAYS REQUIRED IN THE PROSECUTION OF THE WORK. ERECT EQUIP AND MAINTAIN SUCH TEMPORARY WORK IN ACCORDANCE WITH STATUTES, LAWS, ORDINANCES, RULES OR REGULATIONS OF THE STATE IN WHICH THE WORK IS PERFORMED OR OTHER AUTHORITIES AND INSURANCE COMPANIES HAVING JURISDICTION.

16. PROTECTION OF EXISTING INSTALLATIONS

A. CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, UTILITIES SIGNS AND INSTALLATION OF ANY KIND AGAINST DAMAGE OR INTERRUPTION OF SERVICE. HE SHALL AT ALL TIMES PROTECT AND PRESERVE ALL MATERIALS, SUPPLIES AND EQUIPMENT OF EVERY DESCRIPTION INCLUDING PROPERTY WHICH MAY BE OWNER-FURNISHED OR OWNED AND ALL WORK PERFORMED. INTERRUPTIONS OF SERVICES, RESULTING FROM FAILURE TO ADEQUATELY PROTECT UTILITY INSTALLATIONS SHALL BE PROMPTLY REPAIRED AND RESTORED AT CONTRACTOR'S EXPENSE. THE CONTRACTOR WILL NOTIFY THE OWNER OR HIS REPRESENTATIVE OF ANY IMPENDING INTERRUPTION OF SERVICE.

B. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING STRUCTURES, WALLS, DOORS, FRAMES, FLOOR MATERIALS, CEILINGS, ETC., WHICH OCCUR DURING THE PROSECUTION OF THE WORK. ALL COSTS FOR REPAIR OF THIS DAMAGE ARE THE RESPONSIBILITY OF THE CONTRACTOR.

C. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE OWNER'S REPRESENTATIVE OF ANY DAMAGE DONE BY OTHERS OR OF ANY EXISTING DAMAGE FOUND PRIOR TO START-UP OF THE WORK.

17. AREA MAINTENANCE

A. GENERAL CONTRACTOR IS TO OVERSEE CLEANING AND ENSURE THAT THE PREMISES ARE MAINTAINED FREE OF RUBBISH DURING CONSTRUCTION. FINAL CLEANUP IS THE RESPONSIBILITY OF GENERAL CONTRACTOR. REPAIR, PATCH, TOUCH-UP, OR REPLACE MARRED SURFACES AND MAINTAIN CLEANING UNTIL OCCUPIED BY TENANT.

B. THE CONSUMPTION OF FOOD AND DRINK, OR SMOKING, SHALL NOT BE PERMITTED ON THE PREMISES EXCEPT IN AREAS DESIGNATED BY OWNER'S REPRESENTATIVE. THE GENERAL CONTRACTOR SHALL MAINTAIN THESE AREAS IN A CLEAN AND SAFE CONDITION AND BE HELD RESPONSIBLE FOR ANY DAMAGES RESULTING FROM NEGLIGENCE IN ADHERENCE TO THIS REQUIREMENT.

C. THE CONTRACTOR IS TO MAINTAIN SANITARY FACILITIES ON THE SITE, AND REFRAIN FROM UTILIZING THE EXISTING TOILETS ETC.

18. SHOP DRAWINGS AND SAMPLES

A. WHEN INDICATED ON THE DRAWINGS OR REQUESTED BY THE OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL SUBMIT WITH ALL PROMPTNESS AS TO CAUSE NO DELAY IN HIS OWN WORK OR IN THAT OF ANY OTHER CONTRACTOR. ONE (1) 600 X 900 SEPIA COPY AND TWO BLUE LINE PRINTS OF ACCURATE SHOP DRAWINGS AND DETAILS OF HIS WORK, AND OF THE CONNECTION AND COORDINATION OF SUCH WORK TO THAT OF OTHER TRADES HAVING TO DO WITH THE CONSTRUCTION, ALTERATION OR EQUIPMENT OF THE BUILDING, TO THE OWNER'S REPRESENTATIVE FOR HIS APPROVAL. THE CONTRACTOR WILL BE REQUIRED TO INDICATE CLEARLY ALL HIS WORK. THEY SHALL INDICATE CLEARLY: FULL ELEVATIONS, DIMENSIONS, METHODS OF CONSTRUCTION, TYPES OF MATERIAL FINISHES, DATES OR PRELIMINARY SUBMITTALS, REVISIONS, NAME AND LOCATION OF THE SUBJECT PORTION OF WORK, THE NAME OF THE OWNER AND WHATEVER OTHER INFORMATION THAT MAY BE APPROPRIATE.

B. ALL SHOP DRAWINGS SHALL BE SUBMITTED FACE-UP ON SEPIA MATERIALS THAT WILL READILY ACCEPT INK ON THE FACE SIDE IN ORDER TO FACILITATE CHECKING AND NOTING THE DRAWINGS. SHOP DRAWINGS THAT DO NOT MEET THE REQUIREMENTS WILL BE RETURNED WITHOUT BEING REVIEWED AND CONTRACTOR WILL BE REQUIRED TO RESUBMIT THEM ON A MATERIAL THAT DOES MEET THE REQUIREMENTS.

C. THE OWNER'S REPRESENTATIVE SHALL PASS UPON THE CONTRACTOR'S SHOP DRAWINGS WITH REASONABLE PROMPTNESS, MAKING DESIRED CORRECTIONS, INCLUDING ALL NECESSARY CORRECTIONS, RELATING TO ARTISTIC EFFECT. THE CONTRACTOR SHALL MAKE ALL CHANGES REQUIRED AND SUBMIT ONE SEPIA COPY TO THE OWNER'S REPRESENTATIVE FOR HIS APPROVAL AND FURNISH SUCH OTHER CORRECTED COPIES AS MAY BE NEEDED.

D. DRAWINGS AND OTHER DATA THAT ARE RESUBMITTED, IF RETURNED "APPROVED AS NOTED", THE CONTRACTOR MAY PROCEED WITH THE WORK THEREON AS PER ADDED NOTATIONS AND CORRECTIONS. THE CONTRACTOR SHALL, AT HIS EXPENSE, ISSUE COPIES OF THE NOTED AND CORRECTED DRAWINGS TO OTHERS INVOLVED IN THE WORK.

E. DRAWINGS AND DATA THAT ARE STAMPED "RESUBMIT" OR "REJECTED" SHALL BE REVISED AS INDICATED, AND THEN RESUBMITTED. THE PROCEDURE SHALL BE REPEATED UNTIL THE DRAWINGS AND DATA ARE APPROVED BY THE OWNER'S REPRESENTATIVE. NO WORK MAY PROCEED UNTIL THE CONTRACTOR HAS, IN HIS POSSESSION, SHOP DRAWINGS APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ALSO BE REQUIRED TO HAVE AVAILABLE, AT THE JOB SITE, AT LEAST ONE (1) SET OF HIS SHOP DRAWINGS THAT BEAR THE OWNER'S REPRESENTATIVE'S STAMP OF APPROVAL, AND TO ISSUE COPIES OF THESE APPROVED DRAWINGS, AT HIS EXPENSE, TO OTHERS INVOLVED IN THE WORK.

F. OWNER'S REPRESENTATIVE WILL FURNISH COLOR CHIPS FOR COLOR INDICATIONS ON ALL PAINTED OR TEXTURED SURFACES AND SAMPLES OF NATURAL OR STAINED WOOD FINISH REQUIRED. IN TURN, THE CONTRACTOR SHALL PREPARE AND SUBMIT ALL SAMPLES AND SURFACES, AND NATURAL OR STAINED WOOD FINISHES AS DIRECTED AND REQUIRED BY THE OWNER'S REPRESENTATIVE. THE WORK SHALL BE DONE IN ACCORDANCE WITH APPROVED SAMPLES.

G. NO SUBSTITUTIONS OR CHANGES WILL BE ALLOWED WITHOUT THE OWNER'S REPRESENTATIVE WRITTEN APPROVAL.

H. ALL COSTS PERTAINING TO THE PREPARATION AND SUBMITTAL OF SAMPLES WILL BE BORNE BY THE CONTRACTOR.

19. FINAL COMPLETION

A. WHEN CONTRACTOR CONSIDERS THE WORK COMPLETE, HE SHALL SUBMIT WRITTEN CERTIFICATION THAT:

1. CONTRACT DOCUMENTS HAVE BEEN REVIEWED.
2. WORK HAS BEEN INSPECTED FOR COMPLIANCE WITH CONTRACT DOCUMENTS.
3. WORK HAS BEEN INSPECTED FOR COMPLIANCE WITH CONTRACT DOCUMENTS OR DESCRIBE IN DETAIL, WORK REMAINING TO BE COMPLETED AND WHEN IT WILL BE COMPLETE AND READY FOR INSPECTION.
4. EQUIPMENT AND SYSTEMS HAVE BEEN TESTED IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE AND ARE OPERATIONAL.
5. FINAL CLEAN-UP HAS BEEN PERFORMED.
6. REQUIRED TEST REPORTS HAVE BEEN SUBMITTED. (IF APPLICABLE).
7. ALL KEYS HAVE BEEN DELIVERED TO OWNER/TENANT.
8. ALL OPERATING TOOLS, REPLACEMENT ITEMS, AND "ATTIC SHOCK" MATERIALS SPECIFIED HAVE BEEN DELIVERED TO OWNER. (IF APPLICABLE)

9. ALL REQUIRED CERTIFICATES AND GUARANTEES HAVE BEEN DELIVERED TO OWNER INCLUDING, BUT NOT LIMITED TO SIGNED-OFF PERMITS, FINAL INSPECTIONS AND CERTIFICATE OF OCCUPANCY BY LOCAL AUTHORITIES HAVING JURISDICTION, EVIDENCE OF PAYMENT, AND RELEASE OF LIENS AND CERTIFICATE OF INSURANCE FOR PRODUCTS AND COMPLETED OPERATIONS. (IF APPLICABLE).

B. OWNER'S REPRESENTATIVE WILL MAKE AN INSPECTION TO VERIFY THE STATUS OF COMPLETION WITH REASONABLE PROMPTNESS AFTER RECEIPT OF SUCH CERTIFICATION.

C. SHOULD OWNERS REPRESENTATIVE CONSIDER THAT THE WORK IS INCOMPLETE OR DEFECTIVE WORK.

1. OWNER'S REPRESENTATIVE WILL PROMPTLY NOTIFY THE CONTRACTOR IN WRITING LISTING THE INCOMPLETE OR DEFECTIVE WORK.

2. CONTRACTOR SHALL TAKE IMMEDIATE STEPS TO REMEDY THE STATED DEFICIENCIES AND SEND A SECOND WRITTEN CERTIFICATION TO THE OWNER'S REPRESENTATIVE THAT THE WORK IS COMPLETE.

3. OWNER'S REPRESENTATIVE WILL RE-INSPECT THE WORK D. WHEN THE OWNER'S REPRESENTATIVE FINDS THAT THE WORK IS ACCEPTABLE UNDER THE CONTRACT DOCUMENTS, HE SHALL REQUEST THE CONTRACTOR TO MAKE CLOSE OUT SUBMITTALS.

20. FINAL CLEAN-UP

A. PRIOR TO FINAL INSPECTIONS AND THE OWNER'S ACCEPTANCE TO THE WORK, CLEAN ALL AREAS OF THE BUILDING, PROJECT SITE, OR TENANT LEASE SPACE AS NECESSARY. THESE CLEAN UP OPERATIONS INCLUDE BUT ARE NOT LIMITED TO:

B. ALL CLEANING OPERATIONS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS USING PRODUCTS APPROVED BY THE MANUFACTURER FOR THE MATERIAL BEING CLEANED.

1. CLEANING ALL GLASS AREAS, INTERIOR AND EXTERIOR

2. CLEANING ALL EXPOSED UNPAINTED METALS.

3. REMOVING ALL TRASH AND DEBRIS OF EVERY NATURE FROM THE SITE AND PROVIDING LEGAL DISPOSAL.

4. CLEANING ALL EXPOSED SURFACES INCLUDING LENSES OF ALL LIGHTING FIXTURES. REMOVING CONSTRUCTION DUST, PAINT OVERSPRAY, AND HAND PRINTS.

5. CLEANING ALL TOILET PARTITIONS, FIXTURES AND ACCESSORIES.

6. REMOVING ALL SURPLUS MATERIALS, TOOLS NOT IN ACTIVE USE,

SCAFFOLDING AND OTHER MATERIALS NO LONGER NEEDED.

7. VACUUMING ALL CARPETED FLOORS.

8. CLEANING, WAXING, AND BUFFING OF RESILIENT FLOORING.

21. GENERAL DEMOLITION NOTES

1. EXECUTE DEMOLITION BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER WORK AND WILL PROVIDE PROPER SURFACES TO RECEIVE NEW FINISHES OR EQUIPMENT.

2. RESTORE WORK WHICH HAS BEEN CUT OR REMOVED. INSTALL NEW PRODUCTS AS REQUIRED TO PROVIDE COMPLETED WORK.

3. WHERE AREAS HAVE BEEN PATCHED THAT ARE NOT RECEIVING NEW FINISHES, REPAIR THE PATCHED AREA FINISH TO MATCH THE EXISTING FINISHES TO REMAIN.

22. GENERAL POWER AND COMMUNICATION NOTES

1. ELECTRICAL WORK SHALL CONFORM WITH THE NATIONAL ELECTRICAL CODE AND LOCAL ORDINANCES HAVING JURISDICTION.

2. ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND BE FAMILIAR WITH ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATION INSTALLATION. EXISTING CONDITIONS OF ELECTRICAL EQUIPMENT, LIGHT FIXTURES, ETC., THAT ARE PARTS OF THE FINAL SYSTEM SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO SUBMITTING BID.

3. COMMUNICATION SYSTEM WORK SHALL BE COORDINATED BY THE GENERAL CONTRACTOR WITH TENANT'S CONSULTANT AND/OR VENDOR AND THE TELEPHONE COMPANY.

4. CONTRACTOR TO PROVIDE THE TELEPHONE COMPANY WITH ALL CONDUITS, POWER, TELEPHONE BOARD, ETC., NECESSARY TO ACCOMMODATE THE TENANT REQUIREMENTS (TELEPHONE EQUIPMENT NOT IN CONTRACT).</



General Notes

- SPECIFIED SNOW LOADING: S = 1.0 kPa
- THE PROPOSED LOT GRADING DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR SUBDIVISION.
- ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARDS DRAWINGS AND SPECIFICATIONS OF THE TOWN OF OAKVILLE AND THE ONTARIO PROVINCIAL STANDARDS AND CODES.
- ALL SURFACE DRAINAGE SHALL BE COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. DRAINAGE OF ABUTTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.
- PROPOSED ELEVATIONS ALONG SITE PROPERTY LINES MUST MATCH EXISTING ELEVATIONS.
- A SILT FENCE AS PER CITY STANDARD #406 MUST BE PLACED AROUND THE PERIMETER OF THE SITE.
- AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRADE WILL BE CONNECTED TO THE MUNICIPAL SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE. ACCESS CONSTRUCTION AS PER TOWN OF OAKVILLE STANDARD #237.
- SIDEWALK TO BE REMOVED AND REPLACED AS PER O.S.D. 310.10.
- THE PORTION OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD MUST BE PAVED WITH 20MM HL3 AND 30MM HL8. SUB BASE TO BE 150MM GRANULAR "A" (OR 225MM OF 30MM CRUSHER RUN LIMESTONE) AND 30MM GRANULAR "B" (OR 225MM OF 30MM CRUSHER RUN LIMESTONE) COMPACTED TO 100% STANDARD PROCTOR DENSITY.
- UTILITY CLEARANCE RADIUS OF 1.2 METRES BETWEEN THE PROPOSED DRIVEWAY AND CURB RETURN AND ALL ABOVE-GROUND UTILITIES MUST BE MAINTAINED.
- ROAD OCCUPANCY / ACCESS PERMIT MUST BE OBTAINED 48 HOURS PRIOR TO COMMENCING ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE.
- ALL SERVICE CONNECTION TRENCHES WITHIN THE TRAVELED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ROAD OCCUPANCY / ACCESS PERMIT APPLICATION.
- WITHIN THE TOWN'S RIGHT-OF-WAY, STORM SEWERS AND STORM SEWER MANHOLES SHALL BE PROVIDED IN ACCORDANCE WITH TYPE 'B' BEDDING THROUGHOUT. THE STRENGTH OF THE CONCRETE PIPE MUST BE AS PER CITY STANDARD #414 AND AS FOLLOWS: MINIMUM G-5 FOR REINFORCED PIPE AND MINIMUM ES FOR NON REINFORCED PIPE.
- THE MINIMUM CATCHBASIN LEAD DIAMETER ALLOWED IS 200MM.
- STORM SEWER PIPES CONNECTING TO THE TOWNS STORM SEWER SHALL BE PROVIDED IN ACCORDANCE WITH CITY STANDARD #414.
- ALL CATCHBASIN MANHOLES AND MANHOLES WITH INLET CONTROL DEVICES MUST HAVE A MINIMUM 0.3 METRE SUMP AND TOP AS PER MUNICIPAL STANDARDS.
- FOUNDATION DRAINS SHALL NOT BE CONNECTED TO THE STORM SEWER ON SITES WITH STORMWATER MANAGEMENT CONTROL.
- THE CONTRACTOR SHALL REINSTATE THE ROAD PORTION OF THE MUNICIPAL ROAD ALLOWANCE AS PER STANDARD #237.
- THE ROAD SHALL BE KEPT CLEAR OF MUD, DIRT AND DEBRIS AT ALL TIMES AND MUST BE CLEANED AT A MINIMUM OF TWO TIMES PER WEEK, AS REQUIRED OR AT THE DIRECTION OF THE TOWN OF OAKVILLE.

No	Revision/Issue	Date
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Consultant

Project Title
Hamilton Project
888 Main St E, Hamilton, ON,
L8M 1M3

Drawing Main Floor		Project No. 2
Drawn Mark, Alex	Date 11/17/24	Sheet
Scale 1 : 100	Checked Checker	
		C3

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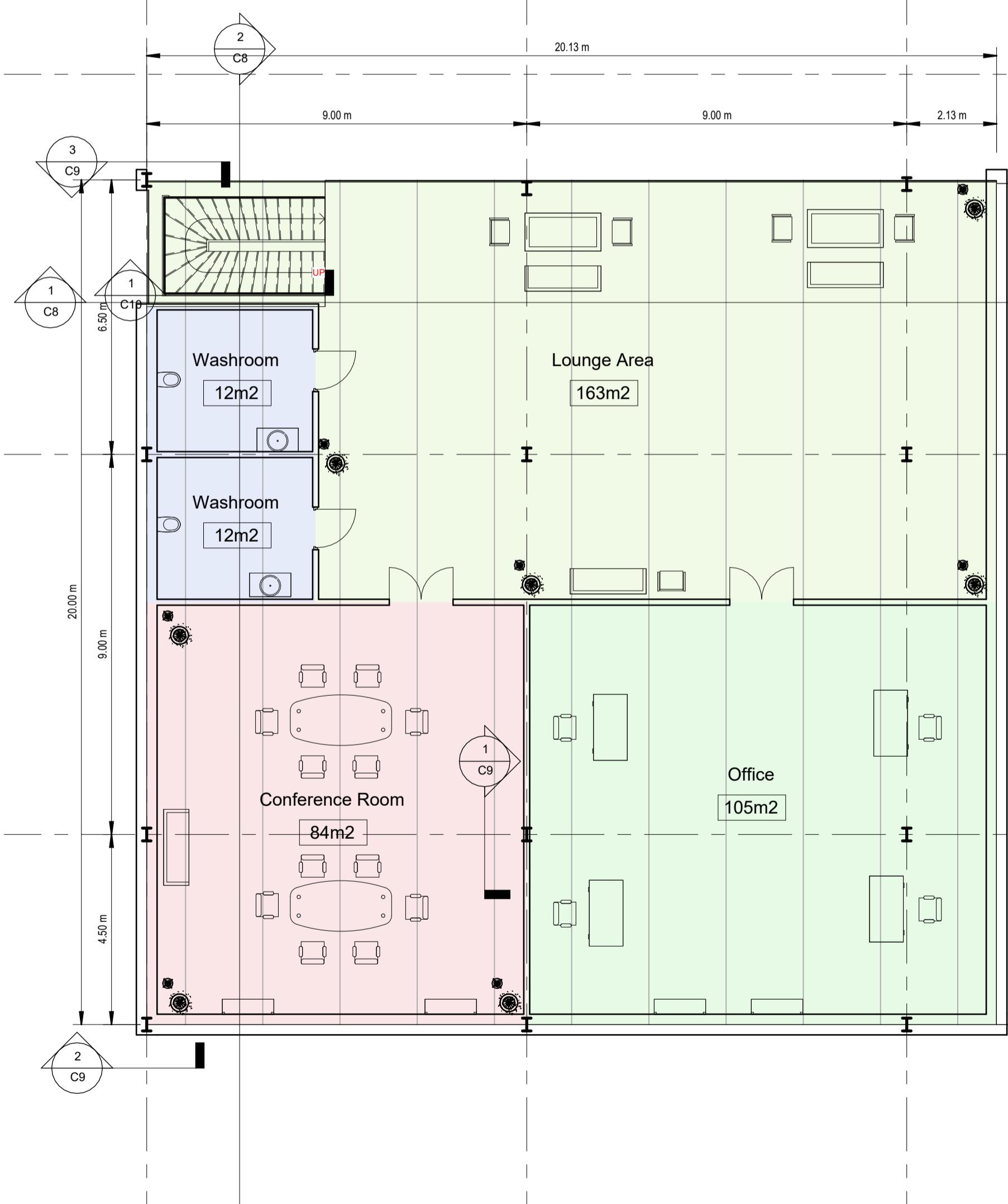
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E



General Notes

1. SPECIFIED SNOW LOADING: S = 1 kPa
2. THE PROPOSED LOT GRADING DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR SUBDIVISION.
3. ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE TOWN OF DAVALIE AND ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.
4. ALL SURFACE DRAINAGE SHALL BE COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. DRAINAGE OF ADJACENT PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.
5. PROPOSED ELEVATIONS ALONG SITE PROPERTY LINES MUST MATCH EXISTING ELEVATIONS.
6. A SILT FENCE AS PER CITY STANDARD #406 MUST BE PLACED AROUND THE PERIMETER OF THE SITE.
7. AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE COMPATIBLE WITH THE DRIVEWAY. THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING SIDEWALK. A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE. ACCESS CONSTRUCTION AS PER TOWN OF DAVALIE STANDARD #207.
8. SIDEWALK TO BE REMOVED AND REPLACED AS PER O.P.S.D. 310.010.
9. MUST BE PAVED WITH 40MM H3 AND 50MM H8. SUB BASE TO BE 150MM GRANULAR 'A' (OR 130MM OF 20MM CRUSHER RUN (LIMESTONE) AND 300MM GRANULAR 'B' (OR 130MM OF 20MM CRUSHER RUN (LIMESTONE)) COMPACTED TO 100% STANDARD PROCTOR DENSITY.
10. A UTILITY CLEARANCE RADIUS OF 1.2 METRES BETWEEN THE PROPOSED DRIVEWAY ENTRANCE CURB RETURN AND ALL ABOVE GROUND UTILITIES MUST BE MAINTAINED.
11. ROAD OCCUPANCY /ACCESS PERMIT MUST BE OBTAINED 48 HOURS PRIOR TO COMMENCING ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE.
12. THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELED PORTION OF THE MUNICIPAL ROAD MUST BE BACKFILLED IMMEDIATELY AFTER THE REQUIREMENTS OF THE ROAD OCCUPANCY /ACCESS PERMIT APPLICATION.
13. WITHIN THE TOWN'S RIGHT-OF-WAY, STORM SEWERS AND STORM SEWER CONNECTIONS MUST BE CONCRETE, OR APPROVED EQUAL, WITH TYPE TO BE APPROVED BY THE TOWN. THE CONCRETE PIPE MUST BE AS PER THE STANDARD #51 AND AS PER THE LOW STRESS #9 FOR REINFORCED PIPE, MINIMUM ES FOR NON REINFORCED PIPE.
14. THE MINIMUM CATCHBASIN LEAD DIAMETER ALLOWED IS 200MM.
15. STORM SEWER PIPES CONNECTING TO THE TOWNS STORM SEWER SHALL NOT BE SMALLER THAN 200MM.
16. ALL CATCHBASIN MANHOLES AND MANHOLES WITH INLET CONTROL DEVICES MUST HAVE A MINIMUM 0.3 METRE SUMP AND TOP AS PER MUNICIPAL STANDARDS.
17. FOUNDATION DRAINS SHALL NOT BE CONNECTED TO THE STORM SEWER ON SITES WITH STORMWATER MANAGEMENT CONTROL.
18. THE CONTRACTOR SHALL REINSTATE THE ROAD PORTION OF THE MUNICIPAL RIGHT-OF-WAY TO MATCH THE EXISTING DESIGN.
19. THE ROAD SHALL BE KEPT CLEAR OF MUD, DIRT AND DEBRIS AT ALL TIMES AND MUST BE CLEANED AT A MINIMUM OF TWO TIMES PER WEEK, AS REQUIRED OR AT THE DIRECTION OF THE TOWN OF DAVALIE.



Room Legend

- Conference Room
- Lounge Area
- Office
- Washroom

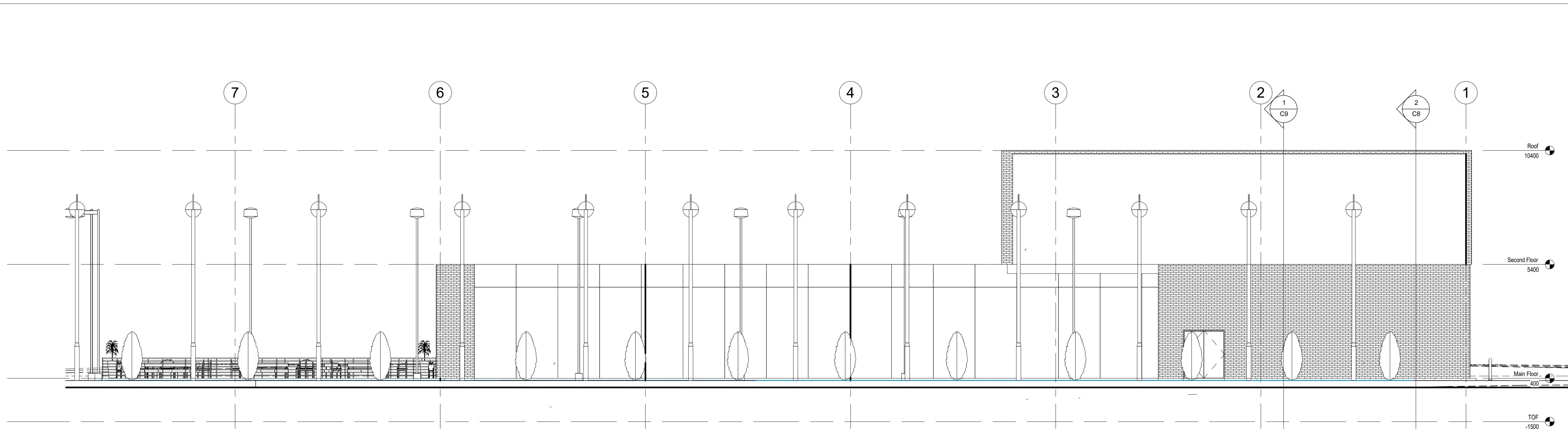
Second Floor

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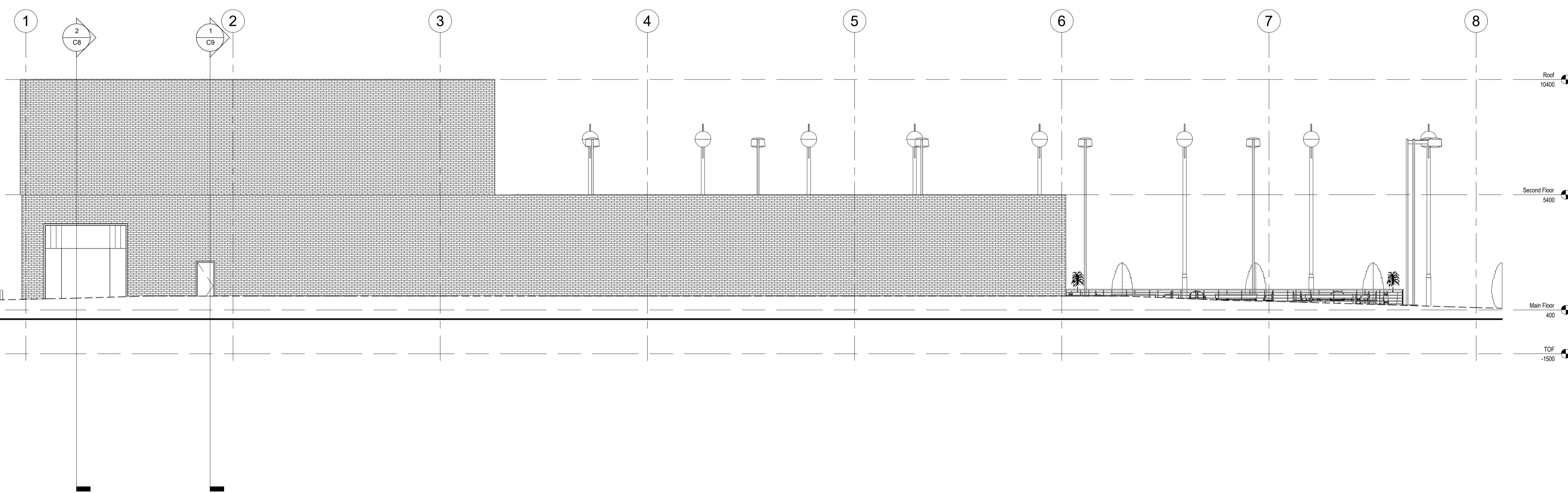
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Hamilton Project
888 Main St E, Hamilton, ON,
L8M 1M3

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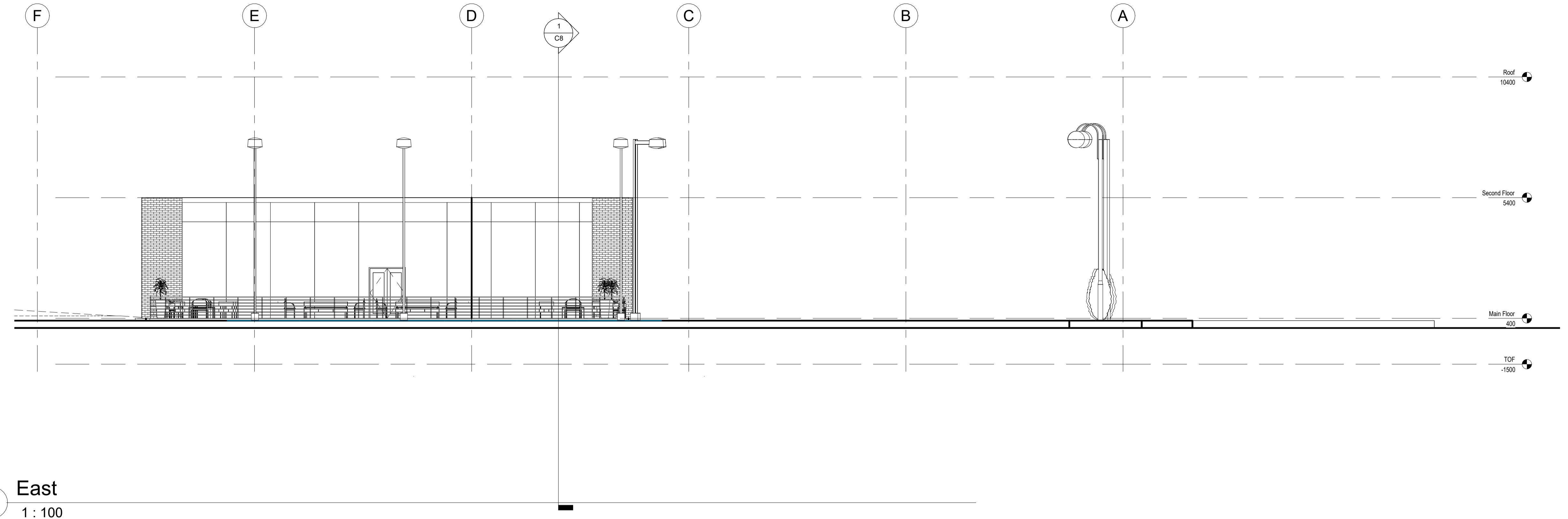


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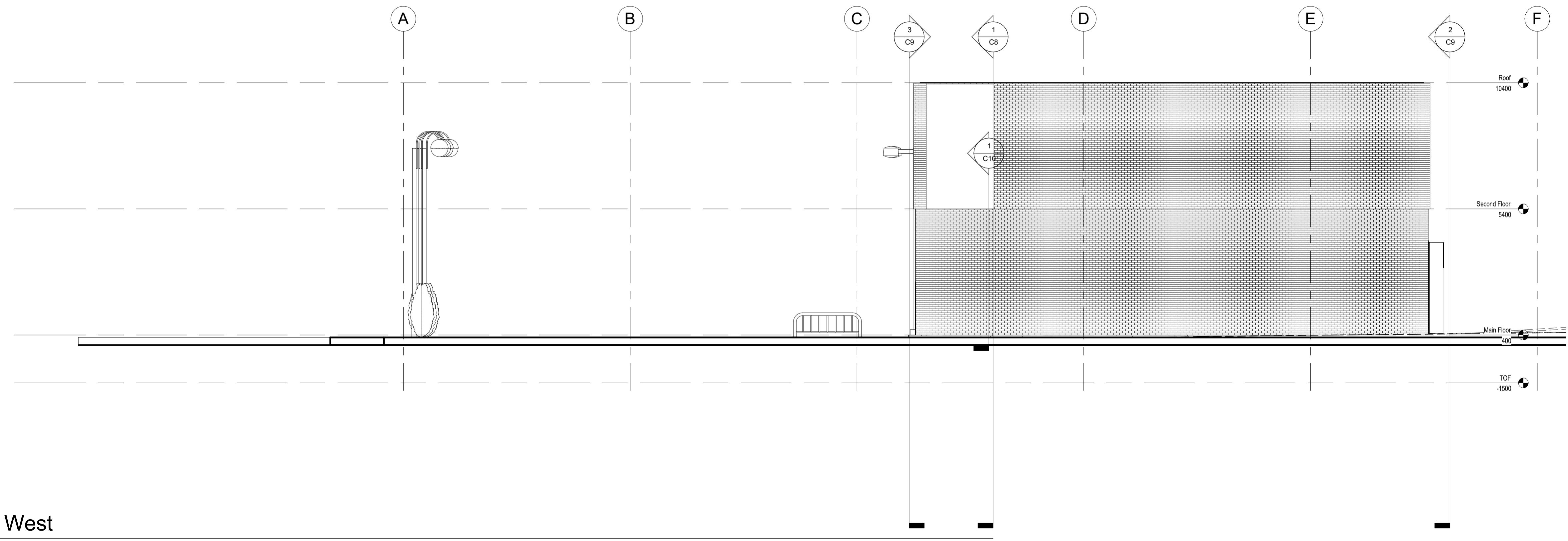


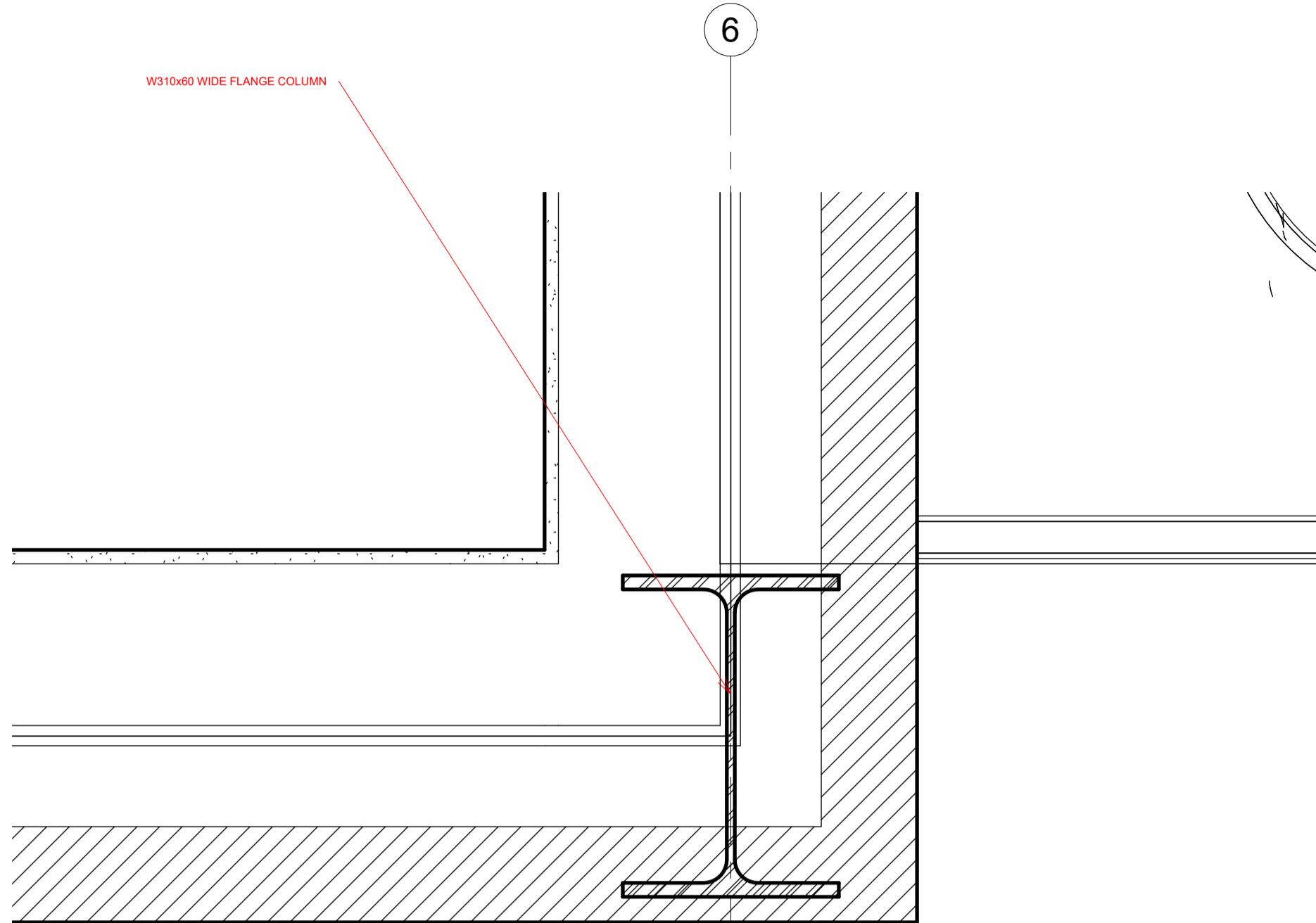
2 South
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General Notes		
GENERAL SITE NOTES:		
1. SPECIFIED SNOW LOADING: S = 1.0 kPa		
2. THE PROPOSED LOT GRADING DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR SITE.		
3. ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE TOWN OF OAKVILLE AND THE ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.		
4. SURFACE DRAINAGE SHALL BE COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. DRAINAGE OF ABUTTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.		
5. PROPOSED ELEVATIONS ALONG SITE PROPERTY LINES MUST MATCH EXISTING ELEVATIONS.		
6. A SILT FENCE AS PER CITY STANDARD #406 MUST BE PLACED AROUND THE PERIMETER OF THE SITE.		
7. AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRADE WILL BE CONTINUOUS WITH THE MUNICIPAL ROAD. DRAINS AND DRAINSIDES WILL BE PROVIDED FOR AT EACH ENTRANCE. ACCESS CONSTRUCTION AS PER TOWN OF OAKVILLE STANDARD #237.		
8. SIDEWALK TO BE REMOVED AND REPLACED AS PER O.P.S.D. 310.010.		
9. THE PORTION OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD MUST BE PAVED WITH 150MM HIA AND 150MM HLS SUB BASE. TO BE 150MM GRANULAR (OR 225MM CRUMBLER CRUSHED LIMESTONE) AND 300MM GRANULAR (OR 300MM CRUSHER RUN LIMESTONE).		
10. A UTILITY CLEARANCE RADIUS OF 1.2 METRES BETWEEN THE PROPOSED DRIVEWAY ENTRANCE CURB RETURN AND ALL ABOVE GROUND UTILITIES MUST BE MAINTAINED.		
11. ROAD OCCUPANCY ACCESS PERMIT MUST BE OBTAINED 48 HOURS PRIOR TO COMMENCING ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE.		
12. THE SERVICE CONNECTION TRENCH WITHIN THE TROWLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ROAD OCCUPANCY / ACCESS PERMIT APPLICATION.		
13. WITHIN THE TOWN'S RIGHT-OF-WAY, STORM SEWERS AND STORM DRAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN'S STORM DRAIN DESIGN MANUAL, WITH TYPE 'B' BEDDING THROUGHOUT. THE STRENGTH OF THE CONCRETE PIPE MUST BE AS PER CITY STANDARD #431 AND AS FOLLOWS: MINIMUM 65-D FOR 150MM DIAMETER AND 100-D FOR 200MM DIAMETER FOR NON REINFORCED PIPE.		
14. THE MINIMUM CATCHBASIN LEAD DIAMETER ALLOWED IS 200MM.		
15. STORM SEWER PIPES CONNECTING TO THE TOWNS STORM SEWER SHALL NOT BE SMALLER THAN 200MM.		
16. ALL CATCHBASIN MANHOLES AND MANHOLES WITHIN INLET CONTROL DEVICES MUST HAVE A MINIMUM 0.3 METRE SUMP AND TOP AS PER MUNICIPAL STANDARDS.		
17. FOUNDATION DRAINS SHALL NOT BE CONNECTED TO THE STORM SEWER ON SITE WITHIN THE WATER MANAGEMENT CONTROL.		
18. THE CONTRACTOR SHALL ENSURE THE ROAD ALIGNMENT OF THE MUNICIPAL RIGHT-OF-WAY MATCH THE EXISTING DESIGN.		
19. THE ROAD SHALL BE KEPT CLEAR OF MUD, DIRT AND DEBRIS AT ALL TIMES AND MUST BE CLEANED AT A MINIMUM OF TWO TIMES PER WEEK, AS REQUIRED OR AT THE DIRECTION OF THE TOWN OF OAKVILLE.		
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Hamilton Project 888 Main St E, Hamilton, ON, L8M 1M3		
Drawing		
North and South Elevations		
Drawn	Mark, Alex	Project No.
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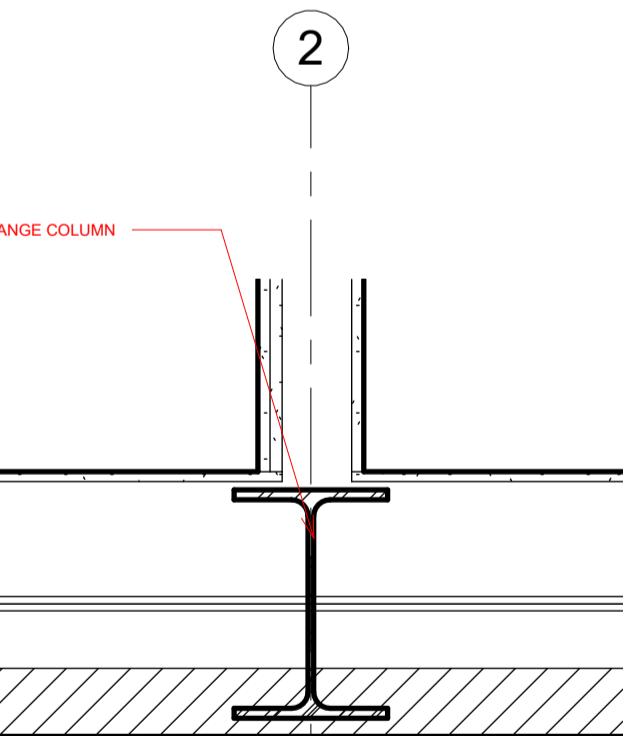
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2 COLUMN - Callout 1

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COLUMN PLAN VIEW -

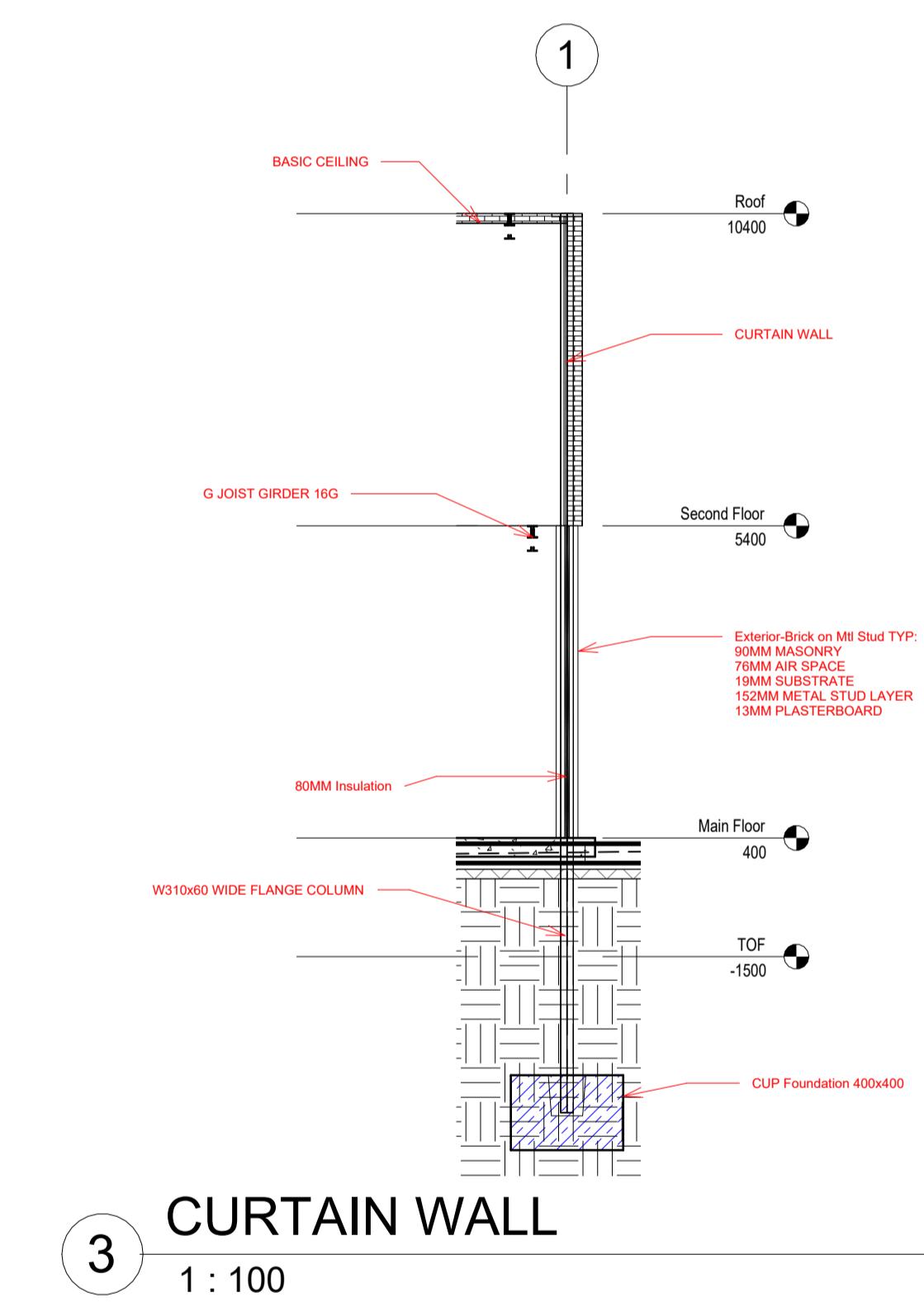
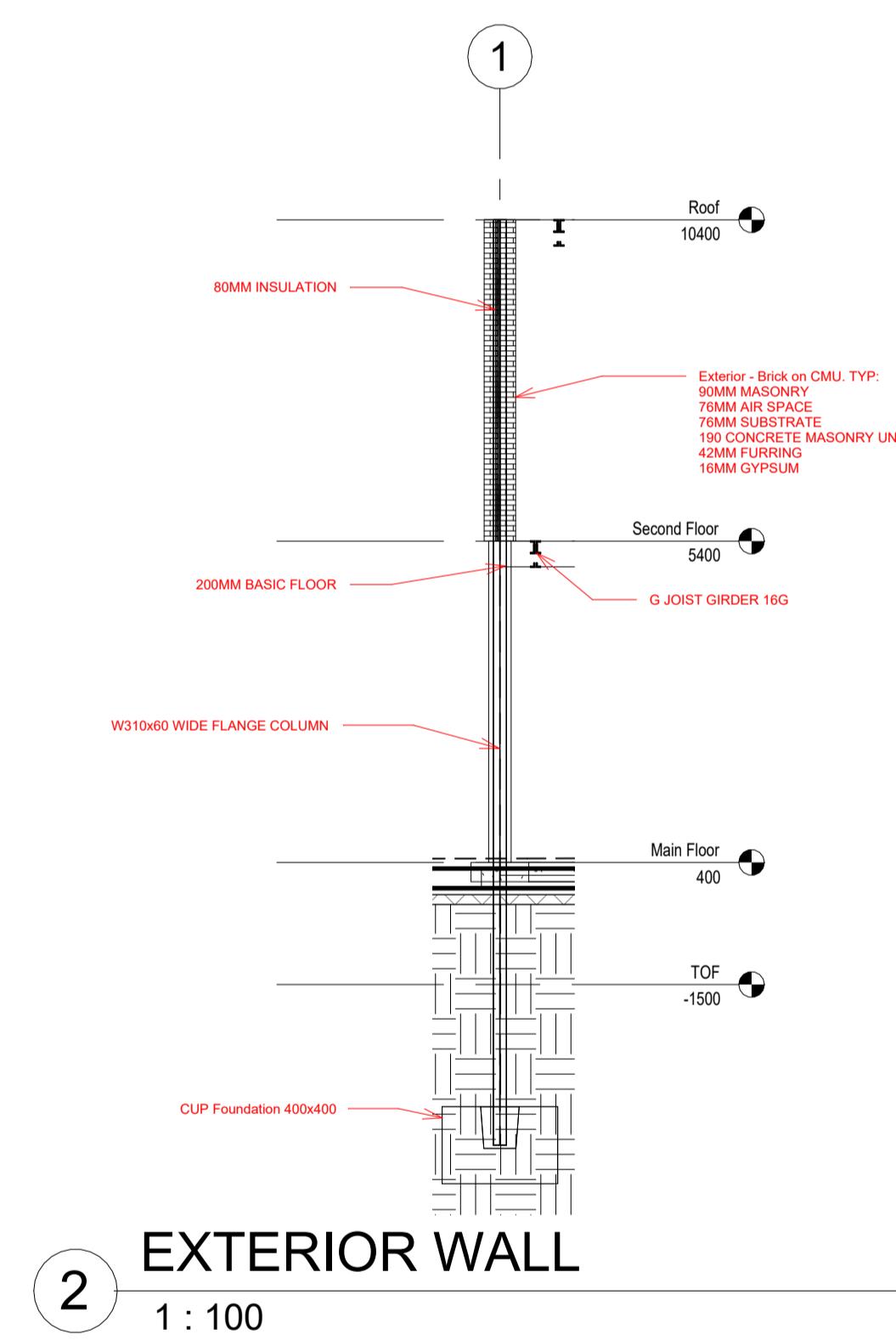
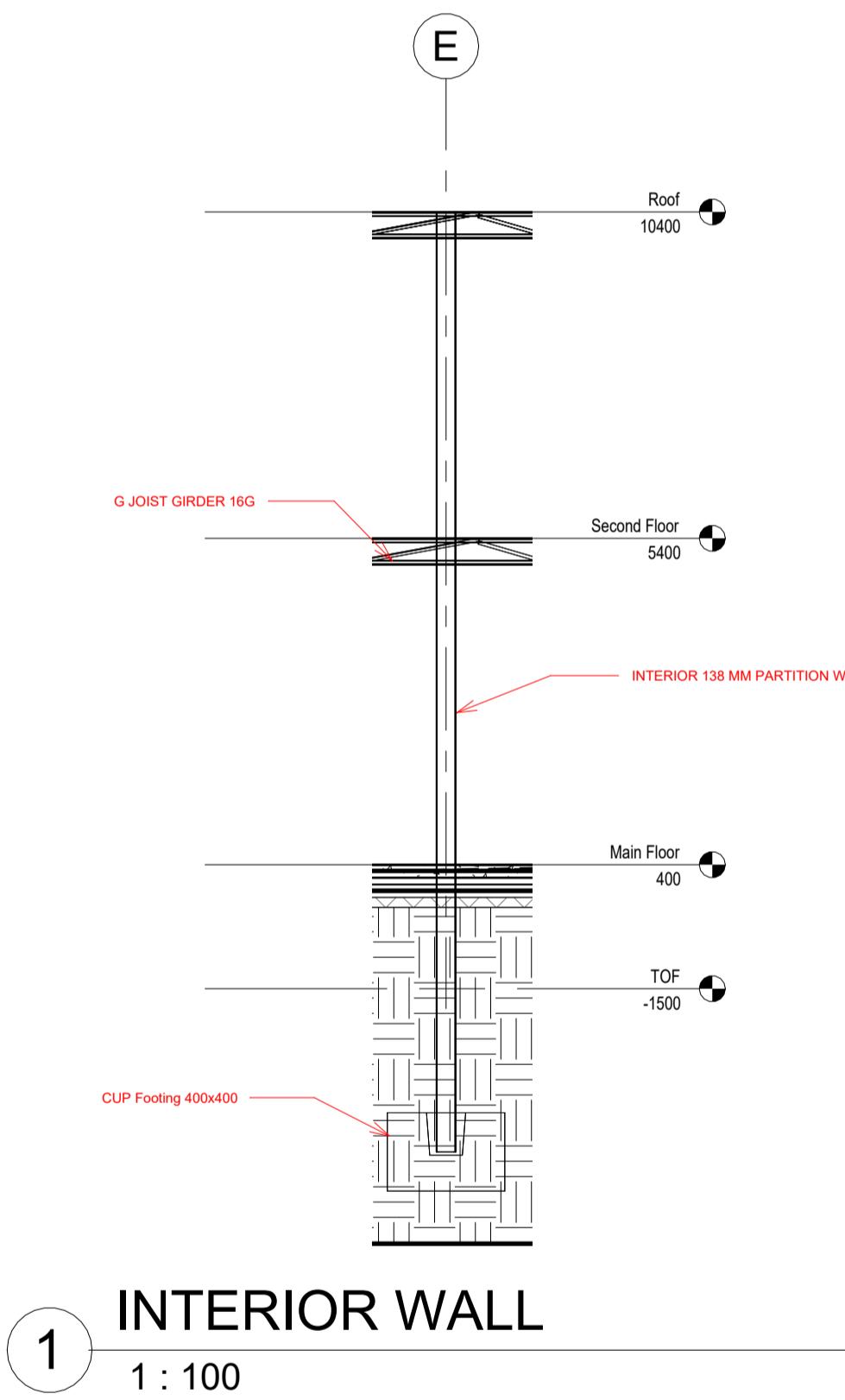
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General
Notes



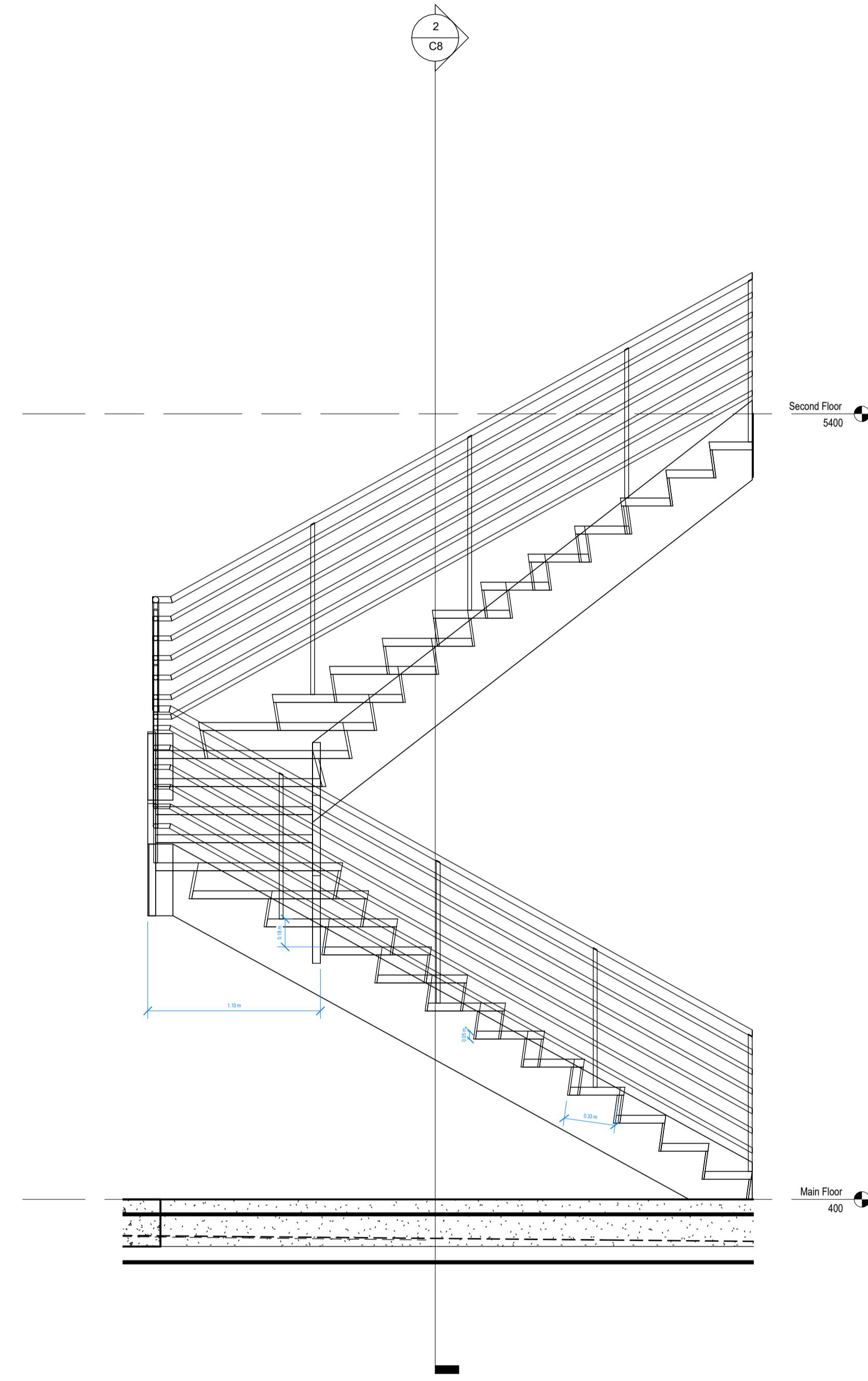
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888 Main St E, Hamilton, ON,
L8M 1M3

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1 STAIR DETAIL
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General Notes

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Consultant

Project Title
Hamilton Project
888 Main St E, Hamilton, ON,
L8M 1M3

Drawing STAIR DETAIL	
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GENERAL NOTES

A) DESIGN CRITERIA FOR PRIMARY STRUCTURAL SYSTEM

1. THE STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.
2. DESIGN LIVE LOADS: EXIT WAYS & OFFICE = 8 kPa ROOF = 1 kPa LIGHT STORAGE = 6 kPa MECHANICAL = REF. MEP DRAWINGS
4. DESIGN DEAD LOADS CEILING / MECHANICAL = 0.4 kPa ROOFING / INSULATION = 0.1 kPa STRUCTURE = 0.3 kPa.
5. WIND LOAD DESIGN CRITERIA: BASIC WIND SPEED = 96 KPH EXPOSURE = 1.0 IMPORTANCE FACTOR = 1.0 BUILDING CATEGORY = Retail
6. SEISMIC DESIGN CRITERIA: OCCUPANCY CATEGORY = A-2 SEISMIC USE GROUP = 1 IMPORTANCE FACTOR = Normal SPECTRAL RESPONSE ACCELERATIONS: $S_{ds} = 0.167$ $S_{d1} = 0.33$ SITE CLASS = A

B) DRAWINGS

- ANY BACKGROUND DRAWINGS SHOWN ON THE STRUCTURAL PLANS ARE FOR REFERENCE ONLY. SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER DRAWINGS FOR ACTUAL REQUIREMENTS OF NON-STRUCTURAL ELEMENTS.
- STRUCTURAL DRAWINGS SHOW ELEVATIONS AND RELATIONSHIPS OF STRUCTURAL ELEMENTS IN THEIR FINAL POSITION. CONSTRUCTION MEANS AND METHODS SHALL ALLOW FOR CAMBERS, LOSS OF CAMBER DURING CONSTRUCTION LOADING, DEFLECTIONS, AND NORMAL MOVEMENTS OF STRUCTURAL ELEMENTS DURING CONSTRUCTION.
- SECTIONS AND DETAILS INDICATED AS TYPICAL SECTIONS AND TYPICAL DETAILS SHALL BE USED AT ALL LOCATIONS WHERE CONDITIONS ARE SIMILAR TO THOSE DESCRIBED IN THE DETAILS.

C) SUBMITTALS

- REVIEW OF SUBMITTAL INFORMATION SHALL BE FOR GENERAL REQUIREMENTS OF PROJECT; AND SHALL NOT INCLUDE CHECKING OF DETAILED DIMENSIONS OR DETAILED QUANTITIES, NOR REVIEW OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE WORK SITE, OR MEANS AND METHODS OF DOING WORK.
- CONTRACTOR SHALL CHECK ALL SHOP DRAWING SUBMITTALS FOR COMPLIANCE WITH CONTRACT DOCUMENTS.
- CONTRACTOR SHALL INDICATE CHECKING AND APPROVAL OF SHOP DRAWINGS BY AFFIXING HIS SHOP DRAWING STAMP WITH THE DATE OF APPROVAL AND NAME OF PERSON APPROVING SHOP DRAWINGS.
- CONSTRUCTION SCHEDULE SHALL ALLOW 2 WEEKS FOR SHOP DRAWING REVIEW AND RETURN BY THE STRUCTURAL ENGINEER. REVIEW BY THE DESIGN TEAM SHALL BE FOR GENERAL COMPLIANCE WITH THE COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES, DIMENSIONS, CONSTRUCTION MEANS, METHODS, AND JOB SITE SAFETY.
- ACTIONS TAKEN ON THE SHOP DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY OF COMPLIANCE WITH CONTRACT DOCUMENTS.

D) DRILLED PIERS

DRILLED PIERS SHALL COMPLY WITH THE FOLLOWING:

- PIER DESIGN IS BASED ON THE FOLLOWING:
 - ALLOWABLE END BEARING: 48 kPa
 - ALLOWABLE SKIN FRICTION: 48 kPa
 - ALLOWABLE NEGATIVE SKIN FRICTION: 48 kPa
 - BEARING STRATA IS: 0.5

2. LONGITUDINAL PIER REINFORCING SHALL BE DELIVERED TO SITE IN STANDARD 60' LENGTHS. PIER CAGES SHALL BE CUT TO PROPER LENGTHS AFTER PIER DEPTH IS FIELD VERIFIED.

3. UNLESS SHOWN OR NOTED OTHERWISE, SPLICES IN VERTICAL REINFORCING SHALL BE 72 BAR DIAMETERS WITH NO MORE THAN HALF OF THE VERTICAL BARS SPLICED WITHIN ANY LAP LENGTH.

4. PENETRATION SHALL BE DRILLED FULL DEPTH IN A CONTINUOUS OPERATION. CONCRETE SHALL BE PLACED IN PIER WITHIN 8 HOURS OF COMPLETED DRILLING

5. ELEVATION OF TOP OF PIERS, WHERE NOT GIVEN, ARE AT THE BOTTOM OF THE DEEPEST STRUCTURAL ELEMENT SUPPORTED BY THE PIER.

6. PIER SHAFTS ABOVE GRADE SHALL BE FORMED TO SCHEDULED SHAFT DIAMETER.

7. PIERS SHALL NOT BE DRILLED UNTIL ALL SUBGRADE TREATMENTS ARE COMPLETED.

8. PIER SHAFT DIAMETERS SHALL NOT EXCEED THE SCHEDULED DIAMETERS WITHOUT APPROVAL OF THE ENGINEER.

9. PROVIDE ADDITIONAL REINFORCING AND ACCESSORIES AS REQUIRED TO HANDLE AND PLACE CAGE.

E) CONCRETE REINFORCING

- ALL CONCRETE REINFORCEMENT SHALL BE OF DOMESTIC MANUFACTURE AND SHALL CONFORM TO ASTM A615, GRADE 60, U.N.O. FIELD BENT DOWELS SHALL CONFORM TO ASTM A-615, GRADE 40.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
- DETAILING OF CONCRETE REINFORCEMENT AND ACCESSORIES SHALL BE PER ACI 315.
- REINFORCING SHOWN IN SECTIONS AND DETAILS IS SCHEMATIC AND INDICATES THAT REINFORCING EXISTS. PROVIDE REINFORCING AS REQUIRED BY SCHEDULE, NOTE, GENERAL NOTES, AND SPECIFICATIONS.

5. LONGITUDINAL BEAM REINFORCING SHOWN IN SECTION OR DETAIL TO BE CONTINUOUS SHALL HAVE TOP BARS HOOKED AT DISCONTINUOUS ENDS WITH STANDARD 90 DEGREE HOOKS.

6. WHEN PERMITTED, WELDING OF REINFORCEMENT SHALL BE PER AWS D.4.

7. REINFORCING BARS MAY BE SPLICED ONLY AS SHOWN ON THE DRAWINGS EXCEPT THAT REINFORCING DESIGNATED AS "CONTINUOUS" MAY BE LAP SPLICED 36 BAR DIAMETERS. LAP SPLICES OF CONTINUOUS REINFORCEMENT IN UNSCHEDULED BEAMS SHALL BE MADE OVER THE SUPPORT FOR BOTTOM BARS AND AT MID-SPAN FOR TOP BARS.

8. CONCRETE PROTECTION FOR REINFORCEMENT, INCLUDING PRIMARY, STIRRUPS, TIES, ETC. SHALL BE AS NOTED BELOW, OR PER ACI 318 FOR CONDITIONS NOT NOTED:

PIERS = 3" CLEAR
WALLS, BEAMS = 2"
SLAB-ON-GRADE = 2"

- FLOOR SLAB SHALL BE 5" THICK OVER SUB-GRADE PREPARED PER GOETECH REPORT.
- FLOOR SLAB ON GRADE HAS BEEN DESIGNED AS A STRUCTURAL DIAPHRAM.
- REINFORCE SLAB AS SHOWN ON DRAWINGS, PLACE 2" FROM TOP OF SLAB. PROVIDE ADEQUATE MEANS OF CHAIRING AND ACCESSORY STEEL AS REQUIRED TO SECURE POSITION.
- PROVIDE CONTRACTION AND/OR ISOLATION JOINTS AT COLUMN CENTERLINES AND AT MAXIMUM SPACING OF 15 FEET BETWEEN COLUMNS. THE MAXIMUM DISTANCE BETWEEN CONSTRUCTION AND/OR ISOLATION JOINTS SHALL BE 80'-0".
- SOIL BELOW SLABS SHALL COMPLY WITH THE GEOTECH REPORT OPTION FOR SLAB ON GRADE WITH LOW PI FILL SHALL COMPLY WITH THE GEOTECH REPORT BY REPLACING 2 FEET OF ACTIVE CLAYS WITH SELECT FILL AND MOISTURE CONDITIONING THE SOILS TO A DEPTH OF 1 FOOT BELOW THE SELECT FILL.
- LOW PI FILL SHALL BE CONTAINED WITHIN LIMITS OF PERIMETER GRADE BEAMS.

G) STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL ROLLED SHAPES SHALL CONFORM TO THE FOLLOWING:
W AND WT SHAPES: ASTM A992 U.N.O.,
ASTM A36, WHERE NOTED
CHANNELS, ANGLES, M AND S SHAPES: ASTM A36, EXCEPT WHERE NOTED.

2. PLATES SHALL BE ASTM A36 EXCEPT PLATES USED IN MOMENT CONNECTIONS AND AS STIFFENERS SHALL BE THE SAME MATERIAL AND GRADE AS THE MEMBERS CONNECTED TO THE PLATES.

3. ALL STRUCTURAL STEEL PIPE SHALL CONFORM TO ASTM A-501 OR A-53.

4. ALL STRUCTURAL STEEL TUBING SHALL CONFORM TO ASTM A-500, GRADE B.

5. ANCHOR RODS SHALL BE ASTM F1554, GRADE 36, UNLESS INDICATED OTHERWISE.

6. SHEAR CONNECTORS SHALL BE HEADED STUDS, SIZE AS INDICATED, COMPLYING WITH ASTM A108.

7. FABRICATION OF STRUCTURAL STEEL SHALL BE PER AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.

8. REFER TO ARCHITECTURAL DRAWINGS FOR MISCELLANEOUS METALS NOT SHOWN ON STRUCTURAL DRAWINGS.

9. SPLICING OF STRUCTURAL STEEL MEMBERS WHERE NOT DETAILED IS PROHIBITED WITHOUT PRIOR APPROVAL.

10. ALL STEEL BEAMS SHALL BE ERECTED WITH CAMBER AS INDICATED ON DRAWINGS. ALL BEAMS SHALL BE ERECTED WITH NATURAL CAMBER UP.

11. SHORING OF GRAVITY LOADS FOR COMPOSITE STEEL BEAMS IS NOT PERMITTED UNLESS INDICATED ON THE PLANS OR WITH PRIOR APPROVAL.

12. STEEL SHELF ANGLES FOR MASONRY SHALL COMPLY WITH THE FOLLOWING:

- CONTINUOUS WITH 1/4 INCH JOINTS AT MAXIMUM SPACING OF 20 FEET.
- JOINTS SHALL BE PLACED AT MIDPOINT BETWEEN SUPPORTS.
- DISCONTINUOUS AT CORNERS WITH ONE HORIZONTAL LEG EXTENDED. PROVIDE 1/4 INCH GAP AT ADJACENT ANGLE.
- HOT DIPPED GALVANIZED.

H) CONCRETE

1. CONCRETE PROPORTIONING, MIXING, TRANSPORTING, PLACING, AND CURING SHALL BE PER ACI 301.

2. CONCRETE SURFACES SHALL CONFORM TO TOLERANCE LIMITS PER ACI 117, U.N.O.

3. CONCRETE SHALL HAVE SAND, COARSE AGGREGATES PER ASTM C-33 OR C-330 AS SCHEDULED, TYPE I OR III PORTLAND CEMENT PER ASTM C-150, AND SHALL COMPLY WITH THE FOLLOWING:

CLASS	STRENGTH	SLUMP	USAGE
A	3000 PSI	5"-7"	PIERS
B	4000 PSI	3"-5"	SLAB-ON-GRADE
C	3000 PSI	3"-5"	CONCRETE OVER METAL DECK

4. JOINTS NOT SHOWN SHALL BE MADE AND LOCATED TO LEAST IMPAIR STRENGTH AND APPEARANCE OF STRUCTURE, AS APPROVED. NO HORIZONTAL JOINTS SHALL BE PERMITTED IN CONCRETE EXCEPT WHERE THEY NORMALLY OCCUR OR WHERE NOTED. VERTICAL JOINTS SHALL OCCUR NEAR CENTERS OF SPANS AT LOCATIONS APPROVED.

5. JOINTS BETWEEN PIERS AND PIER CAPS, FOOTINGS AND WALLS OR COLUMNS BE PREPARED BY ROUGHENING THE SURFACE OF THE CONCRETE IN AN APPROVED MANNER SO THAT THE AGGREGATE SHALL BE EXPOSED UNIFORMLY LEAVING NO LITANACE, LOOSENED PARTICLES OR DAMAGED CONCRETE.

6. U.N.O., OR AS INDICATED ON ARCHITECTURAL DRAWINGS, PROVIDE CHAMFERS AT EXPOSED EDGES OF CONCRETE.

7. ALL SLEEVES, INSERTS, ANCHORS, AND EMBEDDED ITEMS REQUIRED FOR ADJOINING WORK SHALL BE VERIFIED BY CONTRACTOR AND SHALL BE IN PLACE PRIOR TO CONCRETING.

I) STRUCTURAL STEEL CONNECTIONS

1. ALL CONNECTION FORCES PROVIDED IN THE DOCUMENTS ARE SERVICE LOAD FORCES. CONNECTIONS ARE TO BE DESIGNED USING ALLOWABLE STRESS DESIGN, UNLESS NOTED OTHERWISE.

2. CONNECTIONS SHALL COMPLY WITH THE FOLLOWING:

- WELDED CONNECTIONS - "STRUCTURAL STEEL WELDING CODE - STEEL", ANSI/AWS D.1 OF THE AMERICAN WELDING SOCIETY.
- BOLTED CONNECTIONS - "SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS" AS APPROVED BY THE RESEARCH COUNCIL ON RIVETED AND BOLTED JOINTS. USE ASTM A325 BOLTS IN BERING WITH THREADS ALLOWED IN THE SHEAR PLANE.
- PROVIDE ALL PLATES, STIFFENERS, AND WELDS WHERE SHOWN ON DETAILS.
- OSHA STEEL ERECTION STANDARDS.

3. WHERE CONNECTIONS ARE DETAILED ON THE DRAWINGS, PROVIDE CONNECTIONS AS DETAILED WITH ADDED PROVISIONS AS NECESSARY TO MEET OSHA STEEL ERECTION STANDARDS. WHERE CONNECTIONS ARE TO BE DESIGNED IN TOTAL OR IN PART BY THE CONTRACTOR, COMPLY WITH THE REQUIREMENTS OF THIS SECTION.

4. ALL CONNECTION NOT DETAILED ON THE DRAWINGS SHALL BE DESIGNED BY THE CONTRACTOR UNDER THE DIRECT SUPERVISION OF A REGISTERED ENGINEER REGISTERED IN THE STATE OF THE PROJECT.

5. BEAM CONNECTIONS SHALL BE DESIGNED AND DETAILED TO COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED:

- AISC "TYPE 2, SIMPLE FRAMING" CONNECTIONS USING DOUBLE ANGLES, DOUBLE BENT ANGLES, DOUBLE BENT PLATES, OR SINGLE BENT PLATES PER AISC STANDARD DETAILS, UNLESS OTHERWISE NOTED.
- SHRE FORCE SCHEDULED OR SHOWN ON PLAN AS "V= XX K".
- HORIZONTAL FORCE SHOWN ON PLAN AS "H= XX K".
- WHEN NOT SHOWN OR SCHEDULED, SHEAR FORCE SHALL BE 55% OF THE TOTAL LOAD CAPACITY FOR THE STEEL BEAM SPAN SHOWN IN BEAM TABLES OF AISC MANUAL, 9TH EDITION.

E. NUMBER OF ROWS OF BOLTS SHALL NOT BE LESS THAN THE NOMINAL BEAM DEPTH DIVIDED BY 6, ROUNDING FRACTIONS UP TO NEXT WHOLE NUMBER.
F. BOLTS SHALL BE "SNUG TIGHT" IN ACCORDANCE WITH AISC, UNLESS NOTED OTHERWISE.
G. BOLTS FOR COMPOSITE STEEL FLOOR CONNECTIONS SHALL BE DESIGNED AND INSTALLED AS SLIP CRITICAL CONNECTIONS.

6. MOMENT CONNECTIONS SHALL BE WELDED TO DEVELOP THE FULL FLEXURAL CAPACITY OF THE BEAM. WEBS SHALL BE CONNECTED TO DEVELOP SHEAR FORCE PER NOTES ABOVE.

7. WIND BRACE CONNECTIONS SHALL COMPLY WITH THE FOLLOWING:
A. PROVIDE ANGLES, PLATES, BOLTS, AND WELDS TO RESIST FORCES SHOWN.
B. WHERE FORCES ARE NOT PROVIDED AND DETAILS NOT SHOWN, DESIGN CONNECTION TO DEVELOP TENSION CAPACITY OF DIAGONAL MEMBER.
C. DESIGN SHALL CONSIDER ALL CONCENTRIC AND ECCENTRIC FORCES.

8. STEEL TRUSS CONNECTIONS SHALL COMPLY WITH THE FOLLOWING:

- PROVIDE PLATES AND WELDS TO RESIST FORCES SHOWN AND TO COMPLY WITH THE DETAILS SHOWN.
- CONNECTIONS SHALL BE WELDED, UNLESS DETAILED OTHERWISE.
- WHERE FORCES ARE NOT GIVEN AND DETAILS NOT SHOWN, DESIGN CONNECTION TO DEVELOP TENSION CAPACITY OF DIAGONAL MEMBER.
- DESIGN SHALL CONSIDER ALL CONCENTRIC AND ECCENTRIC FORCES.

J) COMPOSITE METAL DECK
WHERE NOT SPECIFICALLY DETAILED OR NOTED, CONNECTIONS SHALL DEVELOP THE FULL TENSION CAPACITY OF THE SMALLER MEMBER AT THE JOINT.

1. STEEL COMPOSITE DECK SHALL BE VULCRAFT OR EQUAL, 3 INCH, 18 GAUGE, GALVANIZED. SHEET STEEL SHALL BE PER ASTM A-653.

2. CONCRETE SLAB SHALL BE LIGHTWEIGHT, CONCRETE WITH 3" INCHES ABOVE THE TOP OF THE DECK.

3. SLAB REINFORCING SHALL COMPLY WITH THE FOLLOWING:
A. W6XW6-W2.9XW2.9 & #4 CONT. IN BOTTOM OF EACH FLUTE.
B. ADDITIONAL BARS AS SHOWN ON THE DETAILS.
C. LAP SPLICE MESH 12" MINIMUM.
D. PROVIDE SUPPORTS FOR MESH TO POSITION MESH 1/4" BELOW TOP OF SLAB.

4. DECK SHALL BE ERECTED PER MANUFACTURER'S RECOMMENDATIONS. PLACE DECK IN THREE SPAN LENGTHS. IF REQUIRED SINGLE SPAN DECK MAY BE USED PROVIDED GAUGE IS INCREASED TO SUPPORT CONCRETE AND CONSTRUCTION LOADS WITHOUT SHORING. TWO SPAN DECK SHALL NOT BE USED.

5. OPENINGS IN COMPOSITE METAL DECK FOR FLOOR PENETRATIONS SHALL NOT BE CUT IN THE DECK UNTIL AFTER THE CONCRETE SLAB HAS BEEN PLACED. PROVIDE FRAMED OR FORMED BLOCKOUTS IN THE CONCRETE AS REQUIRED.

General Notes

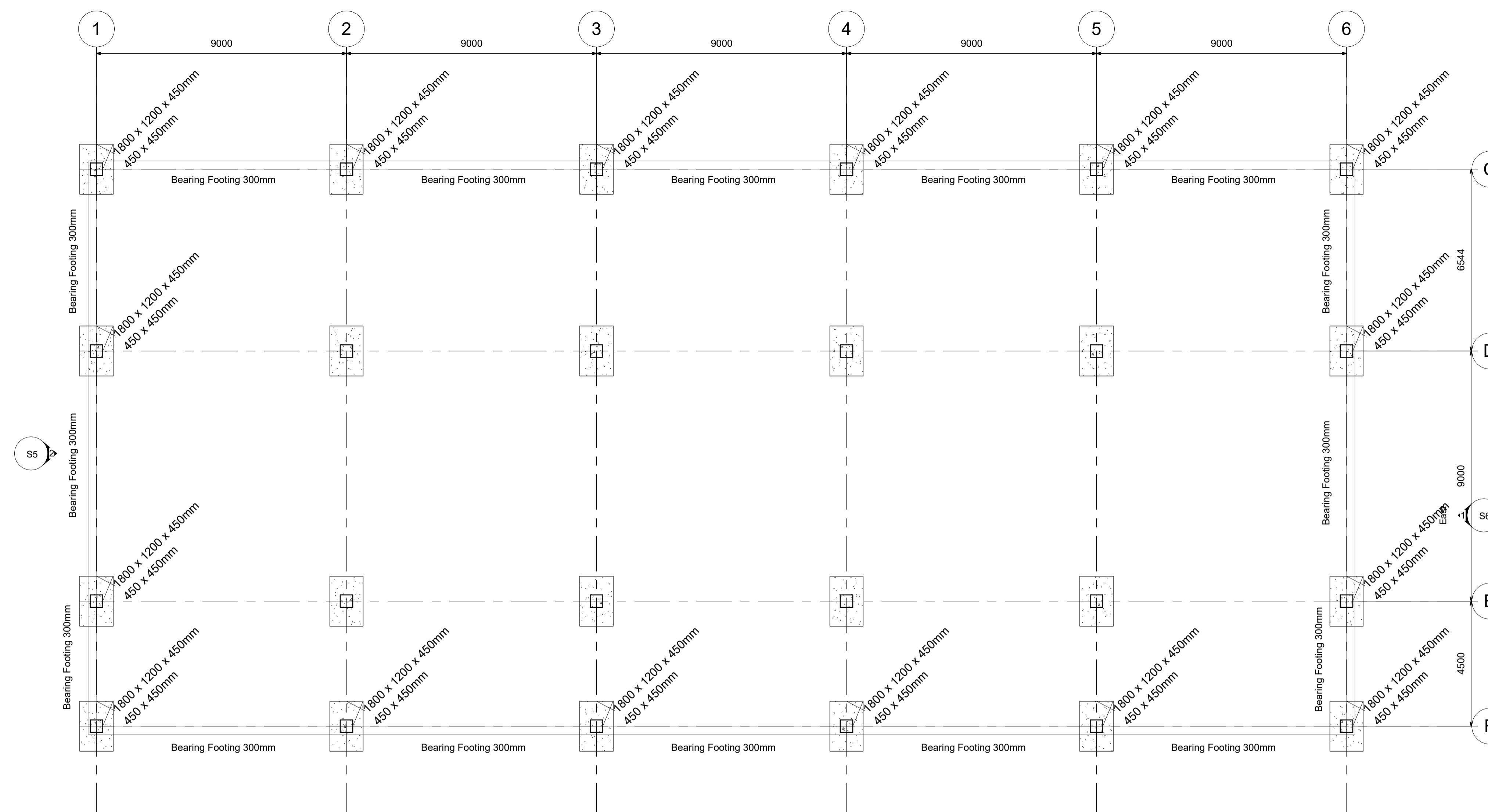
Consultant

Project Title
Alex's Bakery

Drawing
General Notes

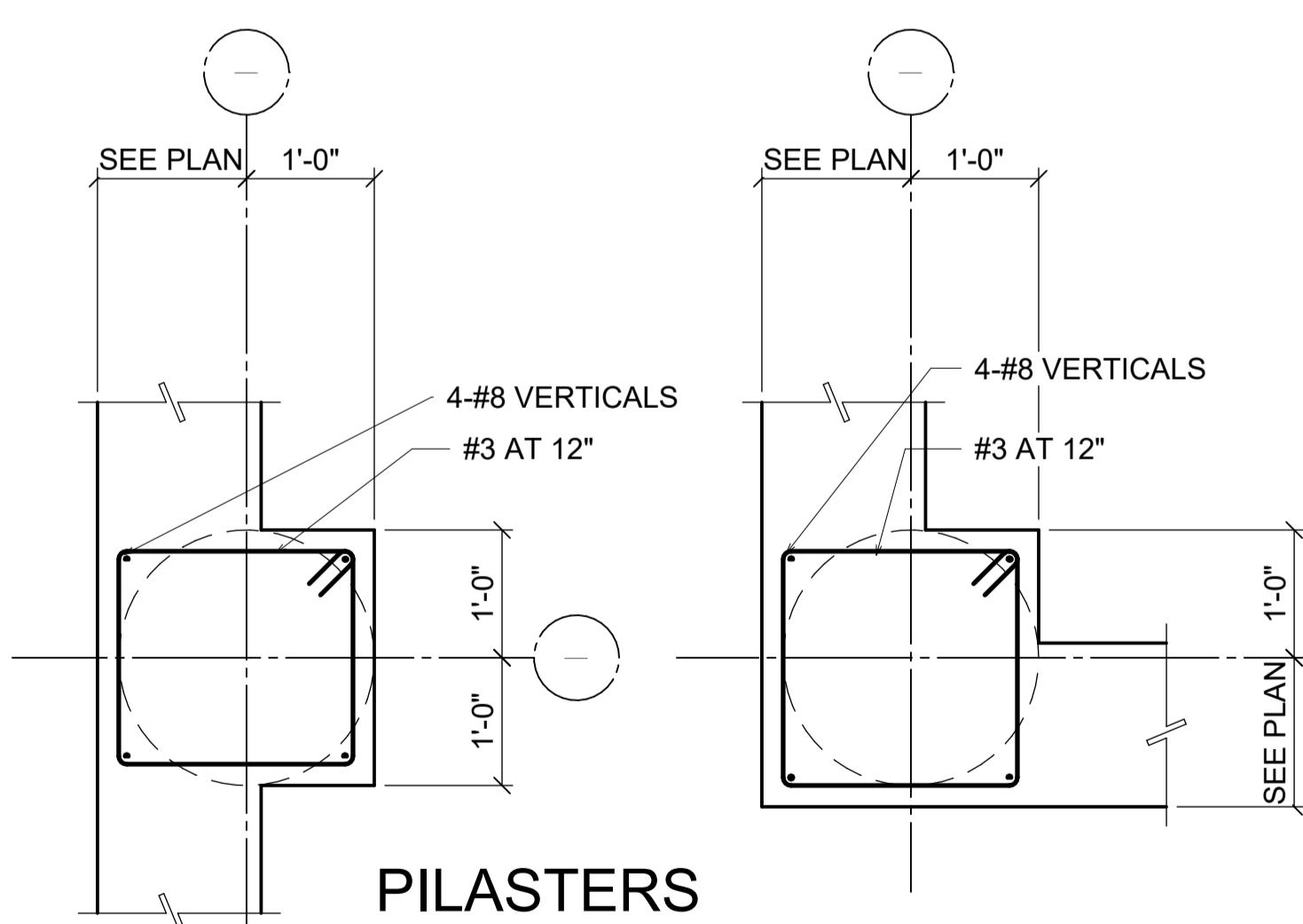
Drawn
Mark & Alexios
Date
03/23/25
Scale
1 : 1
Checked
Checker

S1



Foundations

1 : 100

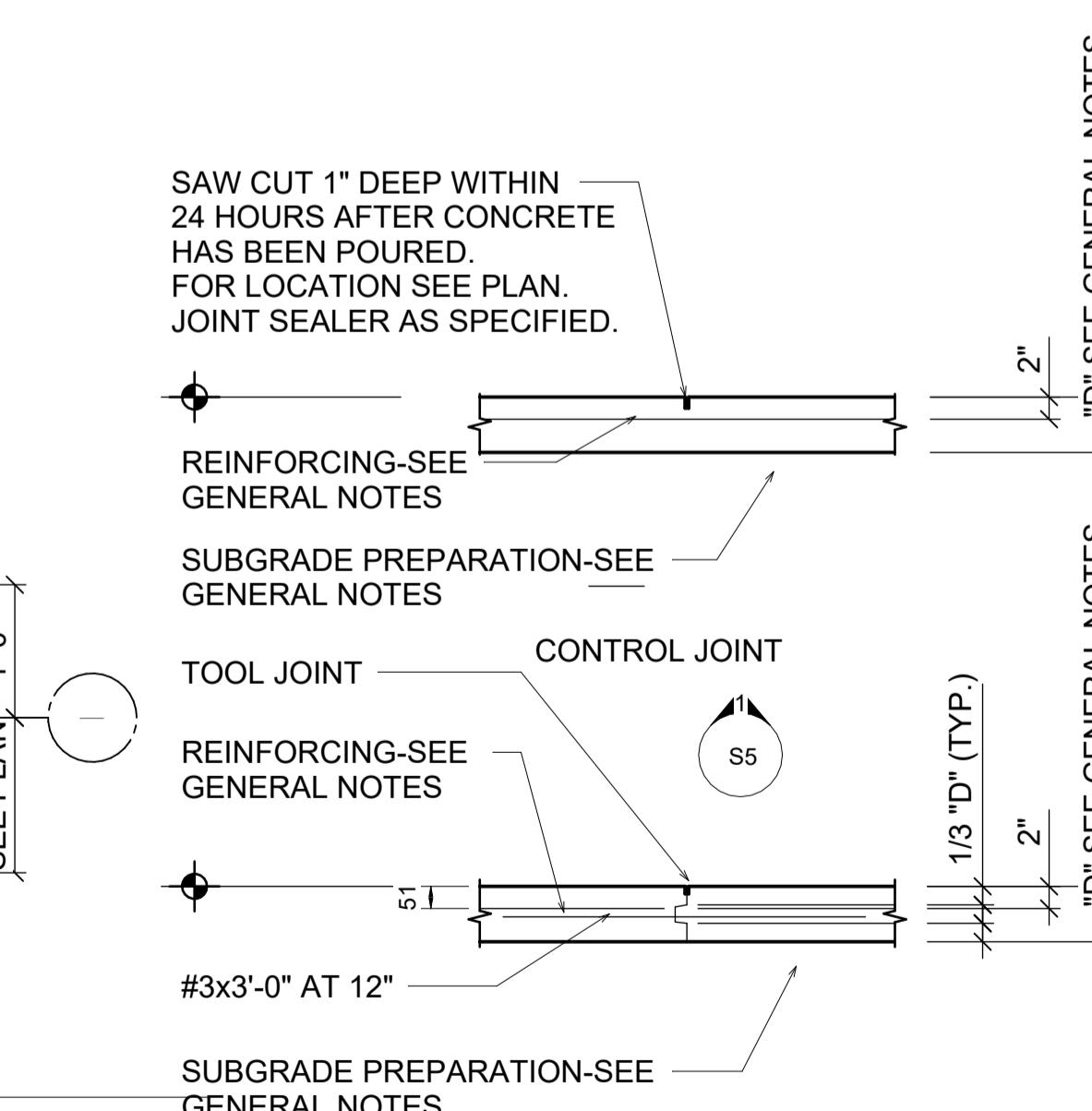


SECTION

2

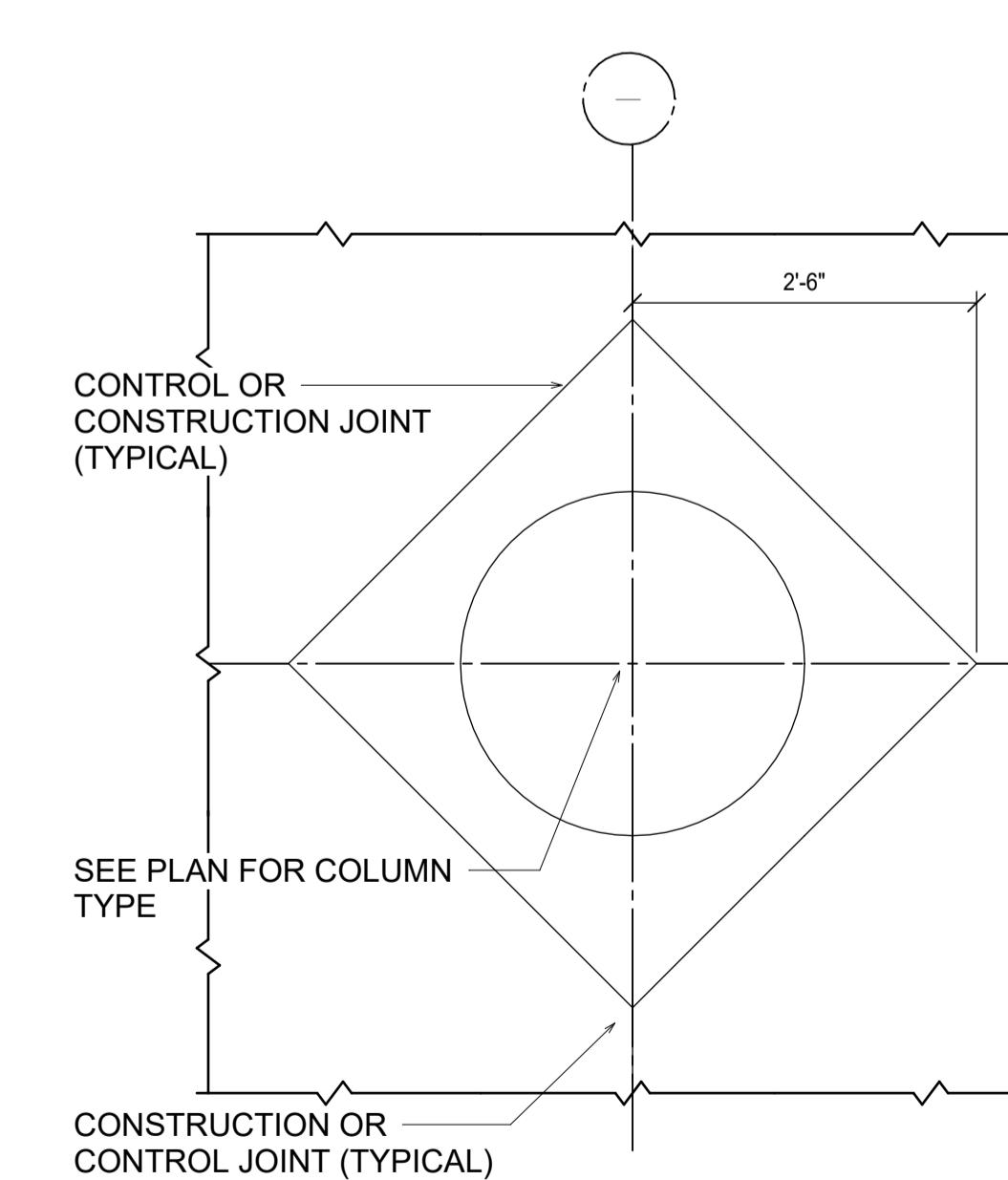
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SECTION 3



GENERAL NOTES

CONSTRUCTION JOINTS



CONTROL JOINT AROUND COLUMN

SECTION

PARTIAL DETAIL - NEEDS TO BE REVISED

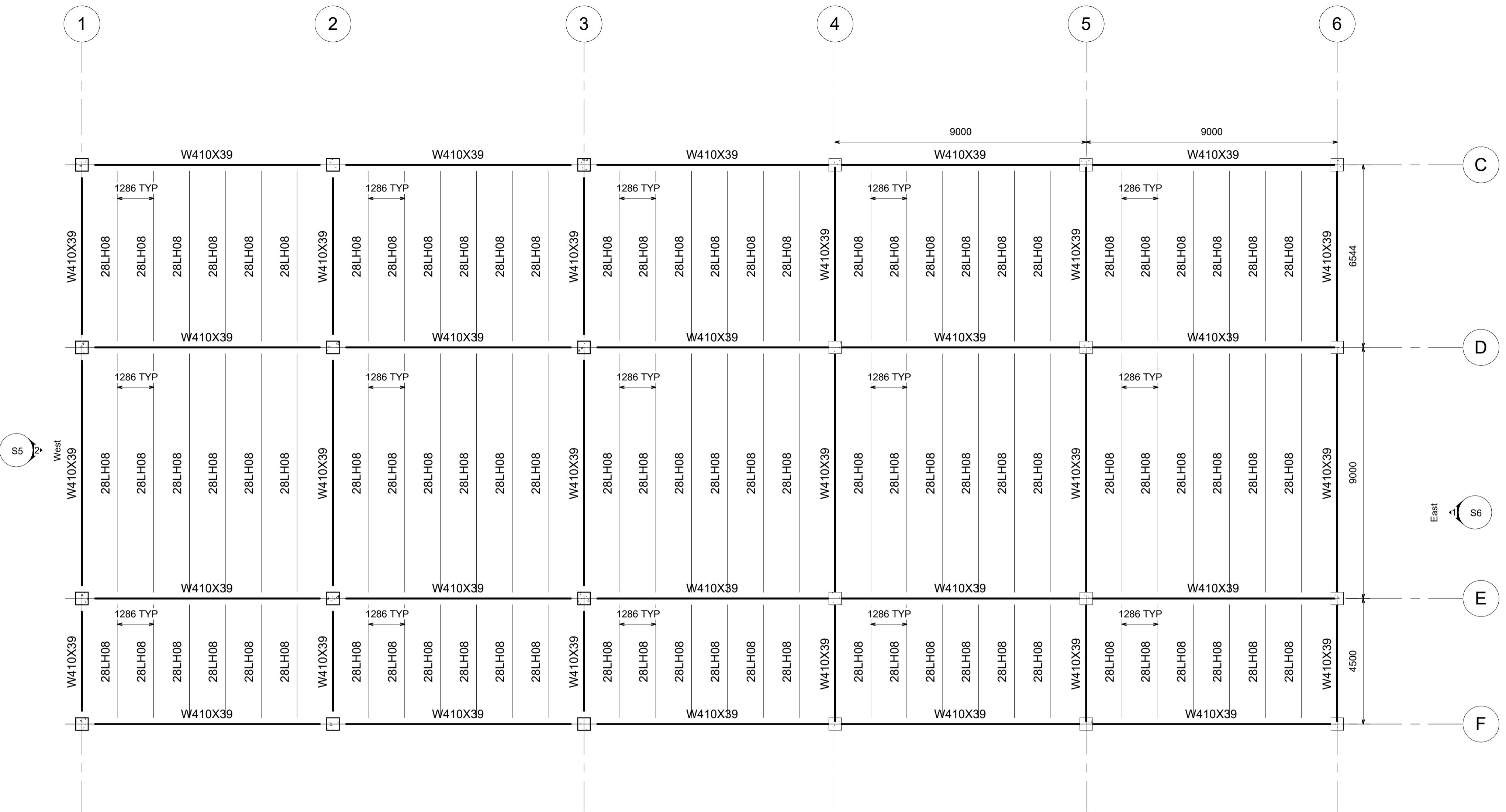
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No.	Revision/Issue	Date
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2		
1		

Project Title

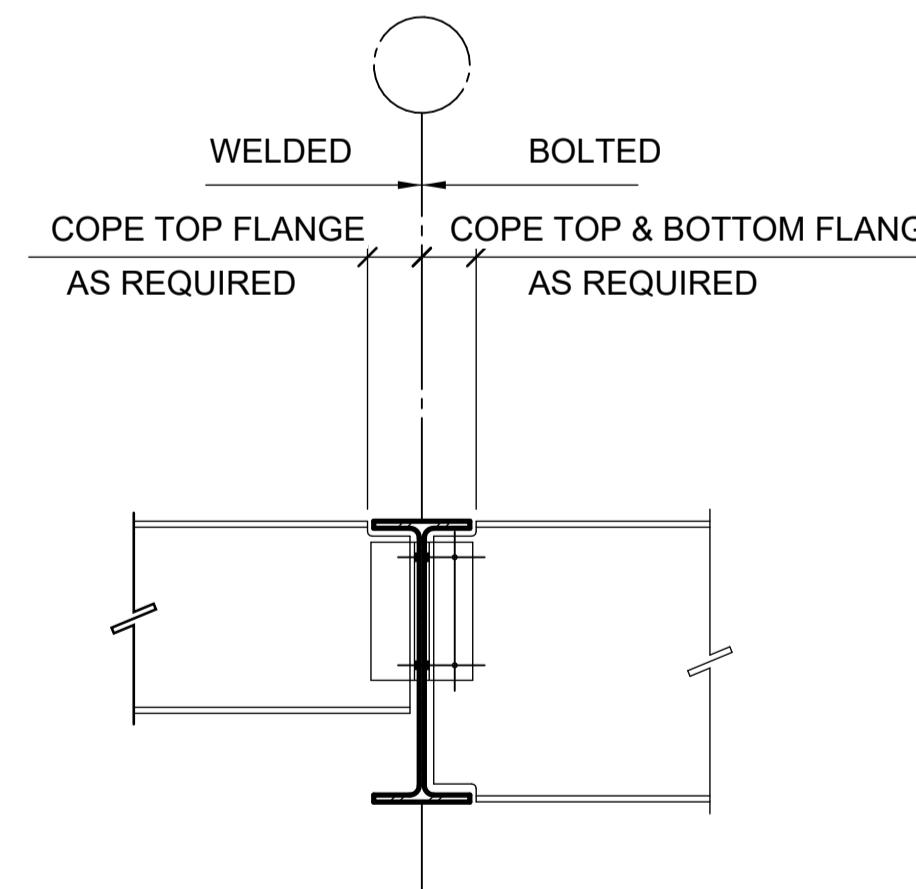
Alex's Bakery

Drawing	
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Mark & Alexios	1
Date	Sheet
03/23/25	
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S2	



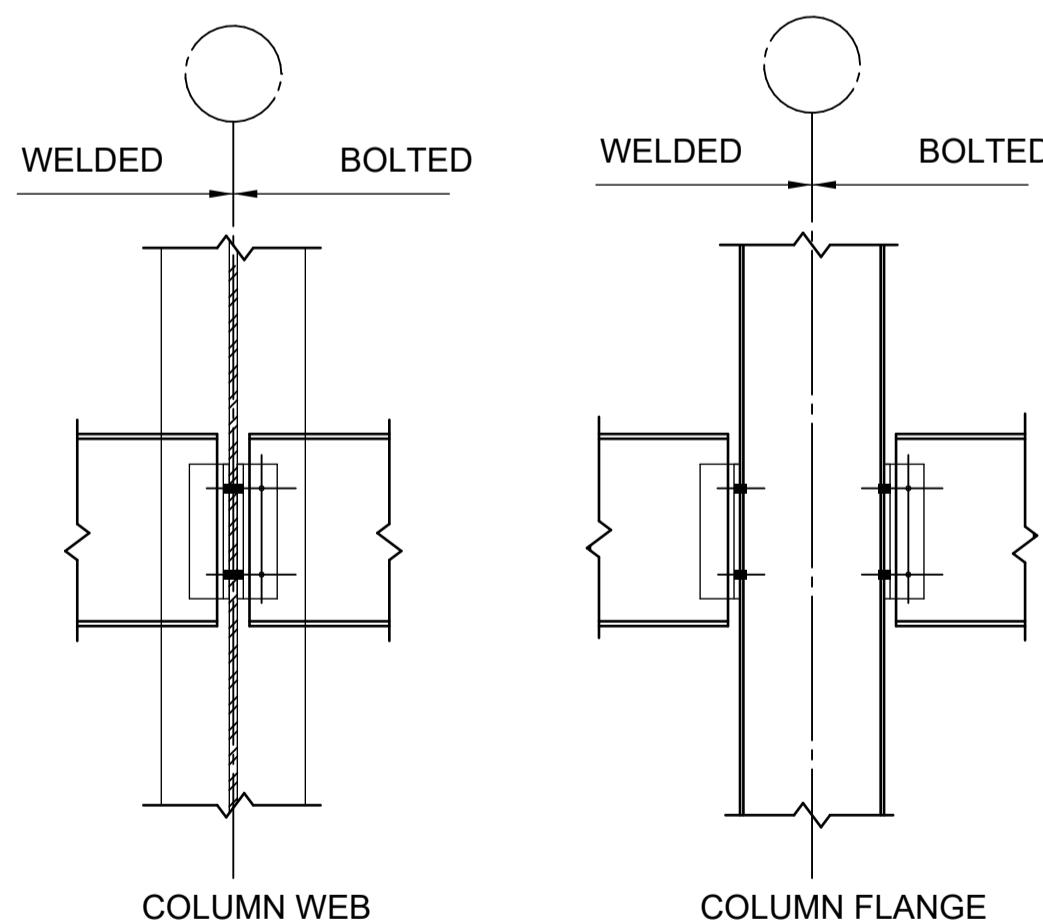
1 Second Floor

1 : 100



BEAM to BEAM SHEAR CONNECTION
SECTION

2 1 : 16



BEAM to COLUMN SHEAR CONNECTION
SECTION

3 1 : 16

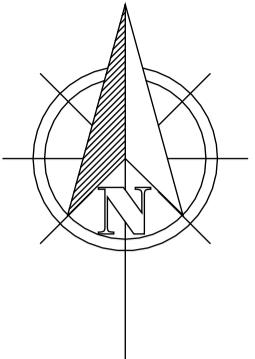
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Consultant

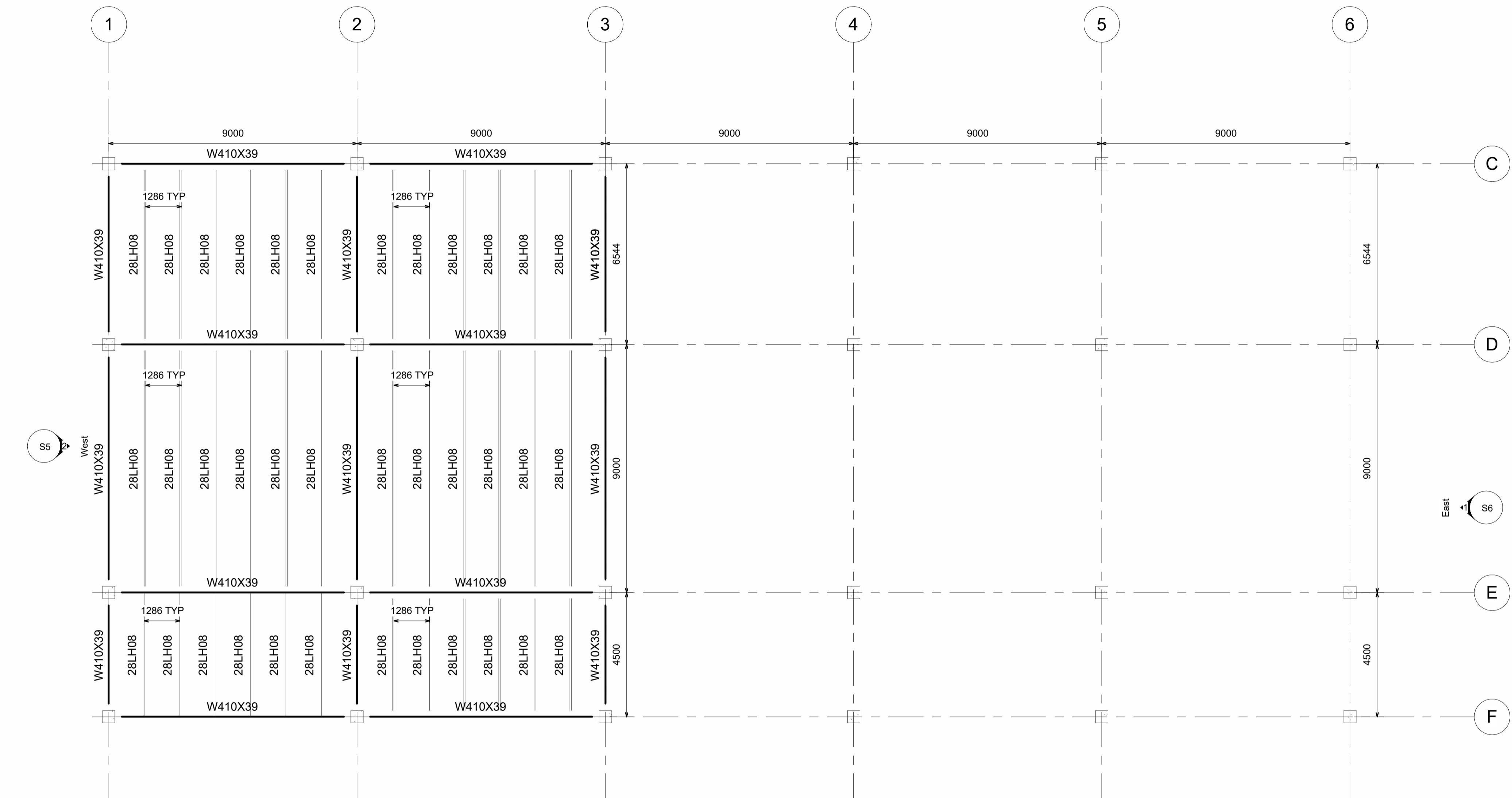
Project Title
Alex's Bakery

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S3



General Notes



1 Roof

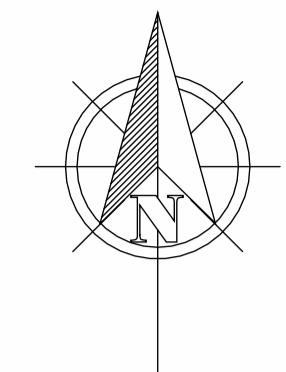
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South



S6

North



General Notes

3		
2		
1		

No. Revision/Issue Date

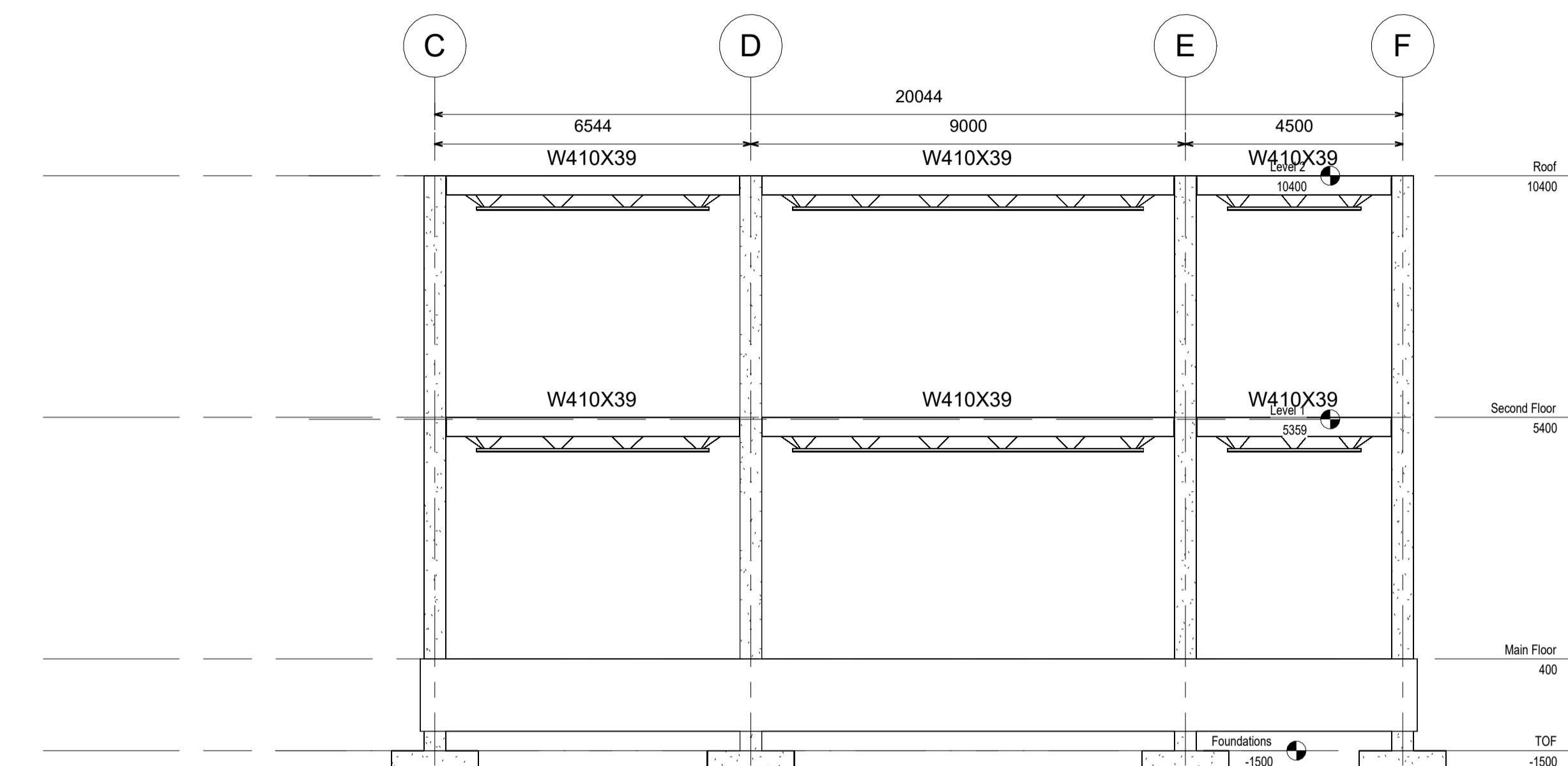
Consultant

Project Title
Alex's Bakery

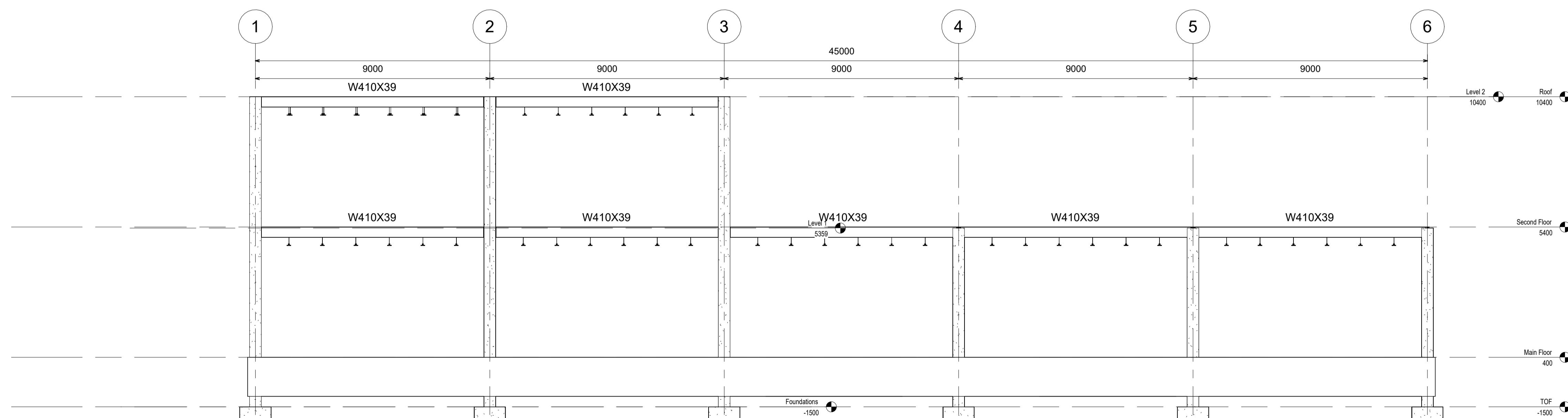
Drawing
Roof Details

Drawn Mark & Alexios	Project No. 1
Date 03/23/25	Sheet
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S4

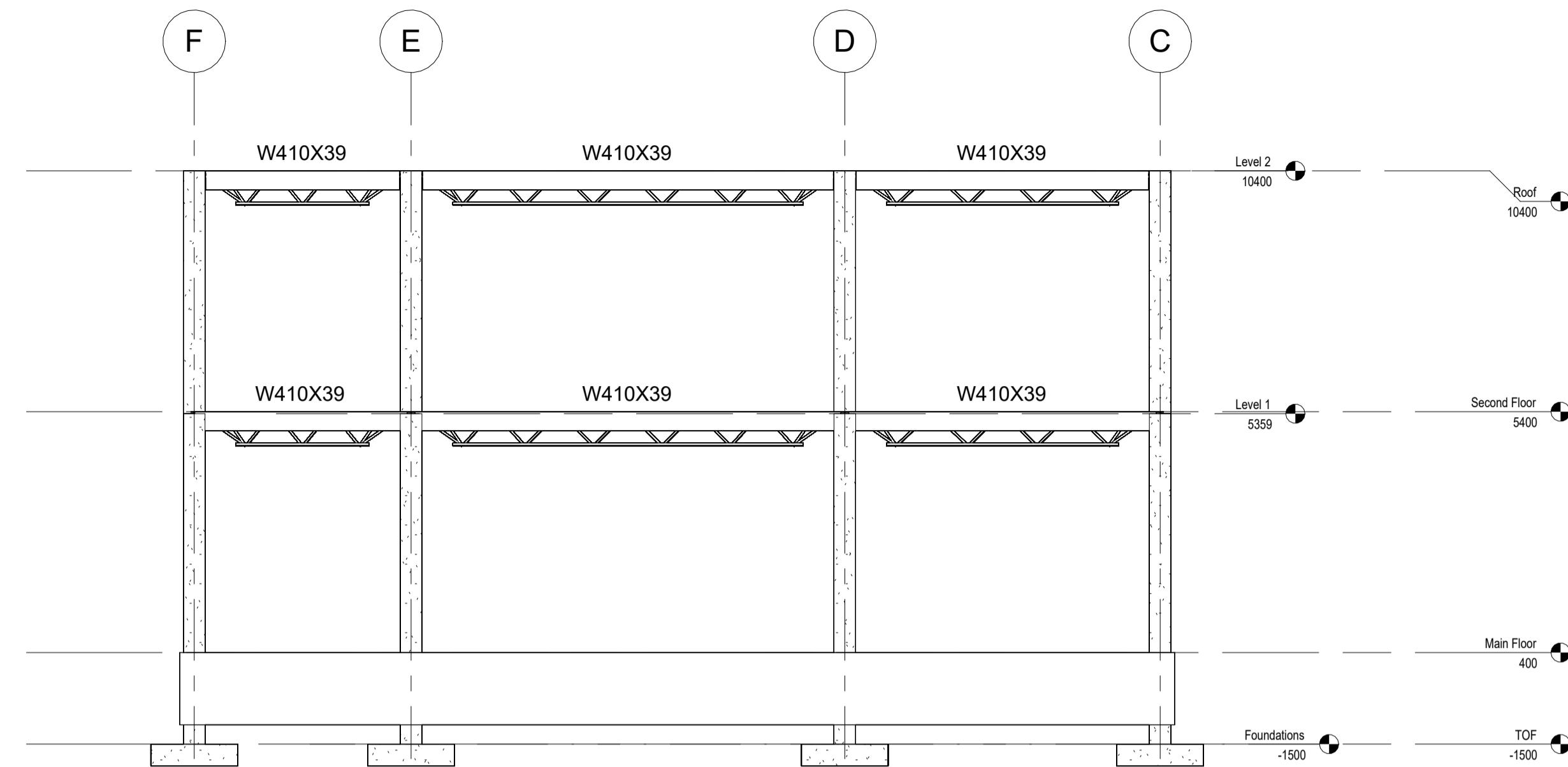


West
1 : 100

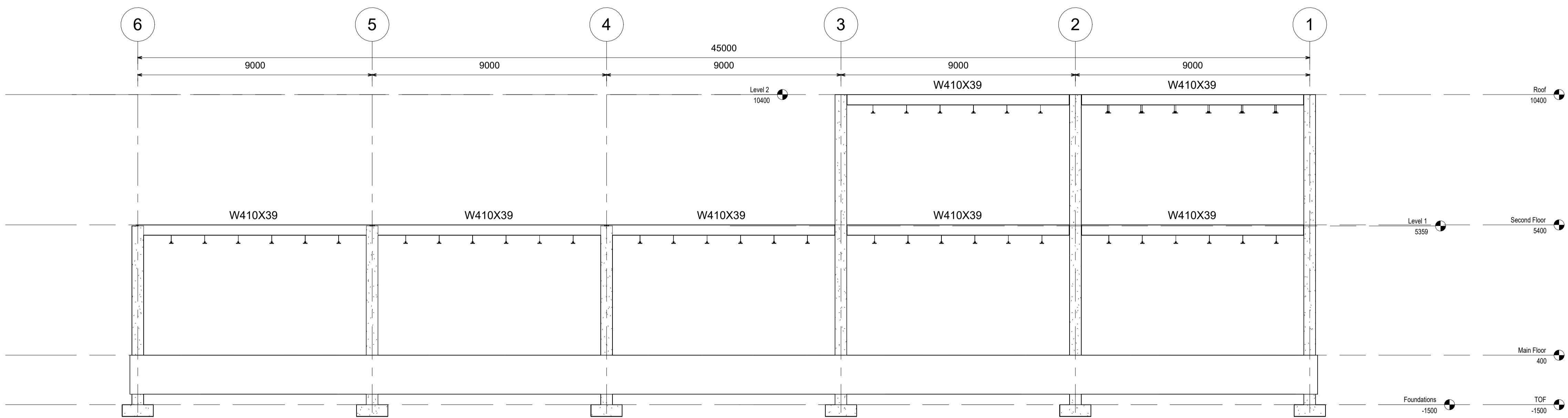


1 : 100
South

General Notes		
No.	Revision/Issue	Date
3		
2		
1		
Consultant		
Project Title		
Alex's Bakery		
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<p>Drawn</p> <p>Mark & Alexios</p> <p>Date</p> <p>03/23/25</p> <p>Scale</p> <p>1 : 100</p> <p>Checked</p> <p>Checker</p>		<p>Project No.</p> <p>1</p> <p>Sheet</p> <p style="font-size: 4em; font-weight: bold; margin-top: 20px;">S5</p>



1 East
1 : 100



2 North
1 : 100

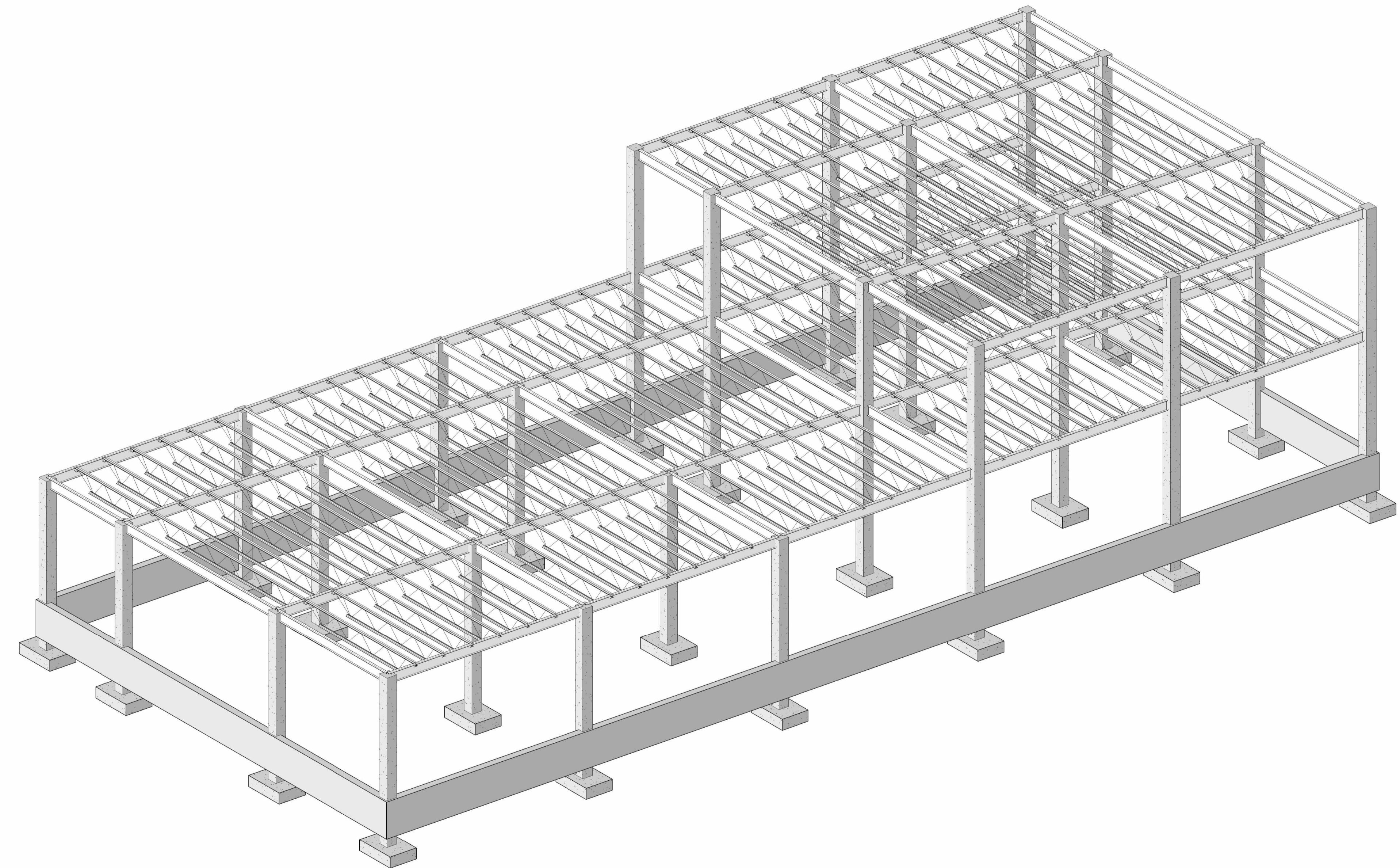
Drawing	
Elevation 2	
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Mark & Alexios	1
Date	Sheet
03/23/25	
Scale	
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Checked	
Checker	

S6

3		
2		
1		
No.	Revision/Issue	Date

Consultant

Project Title
Alex's Bakery



1 View 1 - Analytical

3	
2	
1	

Consultant	
Project Title	Alex's Bakery

Drawing 3D Model	
Drawn Mark & Alexios	Project No. 1
Date 01/26/10	Sheet
Scale	
Checked Checker	

S7

General Notes