

01 - DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY.

02 - THE OWNER/BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, A.S. CODES (CURRENT EDITIONS), BUILDING REGULATIONS, LOCAL BY LAWS AND TOWN PLANNING REQUIREMENTS, AND REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

03 - ALL WORKS SHALL COMPLY WITH BUT NOT TO BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS.  
A.S 1288-GLASS IN BUILDINGS-SELECTION AND INSTALLATION.  
A.S 1562-DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING. PART 1 METAL.  
A.S 1684-NATIONAL TIMBER FRAMING CODE.  
A.S 1860-RESIDENTIAL TIMBER FRAMING CODE.  
A.S 2047-WINDOWS IN BUILDINGS-SELECTION AND INSTALLATION.  
A.S 2049-ROOF TILES.  
A.S 2050-INSTALLATION OF ROOFING TILES.  
A.S 2870-RESIDENTIAL SLABS AND FOOTINGS CONSTRUCTION.  
A.S 2904-DAMP PROOF COURSES AND FLASHINGS.  
A.S 3600-CONCRETE STRUCTURES.  
A.S 3660 1-2000 PROTECTION OF BUILDING AGAINST SUBTERRANEAN TERMITES-PART 1 NEW BUILDINGS.  
A.S 3700-MASONRY STRUCTURES.  
A.S 3740-WATER PROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.  
A.S 3786 SMOKE ALARMS.  
A.S 4100-STEEL STRUCTURES.  
A.S 4256-PLASTIC ROOF AND WALL CLADDING MATERIALS.

04 - THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS, AND DRAWINGS, AND SOIL REPORTS.

05 - FOOTING TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT.

06 - WHERE THE BUILDING (OTHER THAN A CLASS 10A) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.

07 - SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES.  
1) ALL ROOMS -WITHIN 500MM VERTICAL OF THE FLOOR .  
2) BATHROOMS-WITHIN 1500MM VERTICAL FROM THE BATH BASE.  
3) LAUNDRY-WITHIN 1200MM VERTICAL FROM FLOOR AND/OR WITHIN 300MM HORIZONTAL FROM DOORS.  
4) DOOR WAY-WITHIN 300MM HORIZONTAL FROM ALL DOORS. SHOWER SCREENS SHALL GRADE A SAFETY GLASS.

08 - WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZE WILL VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.

09 - STORM WATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

10 - SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY'S REQUIREMENTS.

11 - FOOTINGS SHALL NOT ENCROACH TITLE BOUNDARIES AND EASEMENT LINES.

12 - FOR BUILDINGS IN CLOSE PROXIMITY TO THE SEA, ENSURE THAT ALL STEEL WORK, BRICK CAVITY TIES, AND STEEL LINTELS, ETC. THAT ARE IMBEDDED OR FIXED INTO MASONRY BE PROTECTED IN ACCORDANCE WITH A.S 3700-1998 TABLE 2.2. HOT DIPPED GALV., S/LESS STEEL OR CADMIUM COATED.

13 - ALL WET AREAS TO COMPLY WITH B.C.A.F1,7 OR A.S.3740\_1994 WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800MM ABOVE A FLOOR LEVEL TO SHOWER ENCLOSURES AND 150MM ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75MM OF THE WALL.

14 - PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 5000MM CTRS IN EACH DIRECTIONS AND WITHIN 300MM OF ARTICULATION JOINTS

15 - SUB FLOOR VENTS TO PROVIDE A RATE OF 7500MM SQ. CLEAR VENTILATION, PER 1000MM RUN OF EXTERNAL MASONRY WALL AND 2200MM SQ, CLEAR VENTILATION PER 1000MM RUN OF INTERNAL DWARF WALLS

16 - PROVIDE CLEARANCE FROM UNDERSIDE OR BEARER TO FINISHED GROUND LEVEL OF 150MM FOR FLOOR WITH STRIP FLOORING OR 200MM FOR FLOORS WITH PARTICAL BOARD FLOORING

17 - THERMAL INSULATION TO BE PROVIDED AS FOLLOW:  
FOR SLAB CONSTRUCTION (REFER TO ENERGY RATING REPORT)  
FOR TIMBER FRAMED FLOOR ENCLOSED PERIMETER (REFER TO ENERGY RATING REPORT)  
NOTE R.F.L TO HAVE FLAMMABILITY INDEX NOT EXCEEDING 5.

18 - STAIR REQUIREMENTS (OTHER THAN SPIRAL STAIRS)  
RISERS - 190MM MAXIMUM & 115MM MINIMUM;  
GOING - 355MM MAXIMUM & 240MM MINIMUM;  
PRIVATE STAIRS (AND 250MM FOR PUBLIC STAIRS)  
RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT.  
PROVIDE NON-SLIP FINISH OR SUITABLE NON SKID STRIP NEAR EDGE OF NOSINGS.  
ENSURE MAXIMUM GAP BETWEEN RISERS NOT TO EXCEED 125MM OR USE CLOSED RISES.  
PROVIDE CONTINUOUS HANDRAIL 1000MM MINIMUM HEIGHT TO BALCONIES AND DECKS WHICH ARE 1000MM OR MORE ABOVE GROUND LEVEL.  
865MM MINIMUM HEIGHT HANDRAIL ABOVE STAIR NOSING AND LANDINGS.  
MAXIMUM OPENING BETWEEN BALUSTERS NOT TO EXCEED 125MM.  
IF THE THRESHOLD SILL OF THE DOORWAY IS GREATER THAN 190MM ABOVE THE FINISHED SURFACE OF THE GROUND TO WHICH THE DOORWAY OPENS, A LANDING SHALL BE PROVIDED NO LESS THAN THE WIDTH OF THE DOOR LEAF OR 900 WIDE X 900 LONG. WHICHEVER IS GREATER.

19 - CONCRETE STUMPS:  
-100MM SQ. UP TO 1400MM LONG (2 NO. H.D. WIRES)  
-100MM SQ. 1401MM TO 1800MM LONG (2 NO. H.D.WIRES)  
-125MM SQ. 1801MM TO 3000MM LONG (2 NO. HD WIRES)  
NOTE ALL STUMPS EXCEEDING 1200MM ABOVE GROUND TO BE BRACED.

20 - THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW AND EXISTING STRUCTURES DURING ALL WORKS.

21 - THE BUILDER SHALL ENSURE FOR THE GENERAL WATER TIGHTNESS OF ALL NEW AND EXISTING WORKS.

22 - SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S 3786-1993. AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1, 2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING, THE SMOKE ALARM SHALL BE HARD WIRED WTH BATTERY BACK UP.

23 - EXHAUST FAN TO PROVIDE A MINIMUM OF 25 LITRES PER SECOND AIRFLOW.

24 - THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CUSTOMER AND FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE AUTHOR. ANY OTHER PERSONS WHO USES OR RELIES ON THESE PLANS WITHOUT THE AUTHOR'S WRITTEN CONCENT DOES SO AT OWN RISK AND NO RESPONSABILITY IS ACCEPTED BY THE AUTHOR FOR SUCH USE AND/OR RELIANCE.

25 - THESE NOTES ARE NEITHER EXHAUSTIVE NOR, SUBSTITUTE FOR REGULATION, STATUTORY REQUIRMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDLINES.

26 - THE BUILDER SHALL TAKE FULL RESPONSIBILITY UPON ACCEPTANCE OF THESE PLANS AND SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS AND SITELAYOUT CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK.

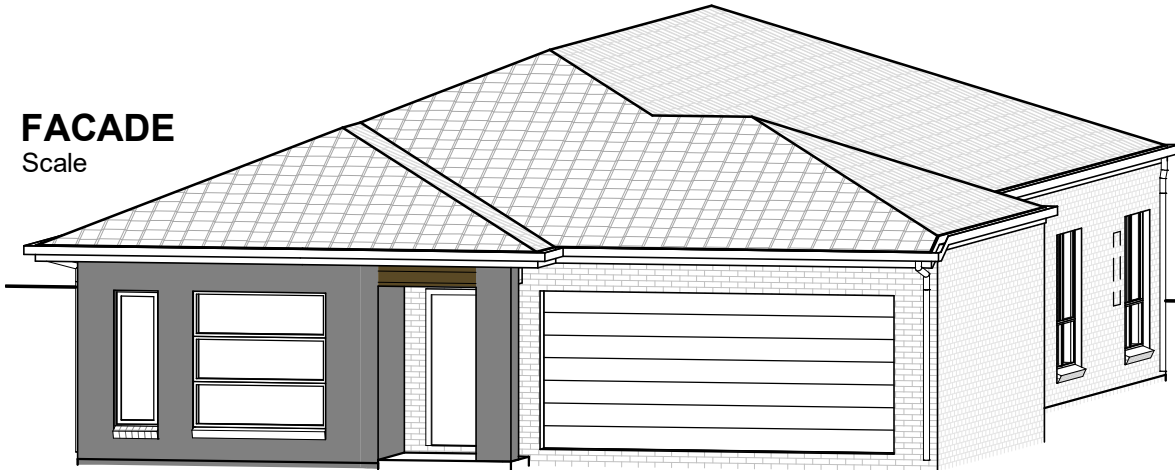
27 - BUILDING SHOULD COMPLY WITH 3.8.7 CONDENSATION MANAGEMENT PLAN

- 3.8.7.2 PLIABLE BUILDING MEMBRANE
- 3.8.7.3 FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS
- 3.8.7.4 VENTILATION OF ROOF SPACES

LOT 25014, 48 SANKURU ROAD

FACADE

Scale



AREA SUMMARY

PORCH.	3 m²
GARAGE.	37 m²
LIVING.	171 m²
GRAND TOTAL	211 m²

SITE

SITE COVERAGE

SQ:

PERMEABILITY

448sqm

58%

27.9

164sqm/  
36.6%

WIRING TO BE PROVIDED TO CONNECT OPTICOM AS PER DEVELOPER'S REQUIREMENT

NOTE:

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1	16.08.22	INITIAL ISSUE	WA
2	24.08.22	Revision 2	WA

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DRAWING:

SITE PLAN

CLIENT:

ALI HASSNAIN

JOB:

2254

DATE:

16.08.22

PROJECT:

NEW RESIDENCE

ADDRESS:

LOT 25014, 48 SANKURU ROAD,TRUGANINA

DRAWN:

AU

CHECK:

SY

SCALE:

AS @ A3

SHEET:

MR.01

AREA SUMMARY	
PORCH.	3 m²
GARAGE.	37 m²
LIVING.	171 m²
GRAND TOTAL	211 m²

SITE	352sqm
SITE COVERAGE	59.9%
PERMEABILITY	115.3sqm/ 32.75%
SQ:	22.7

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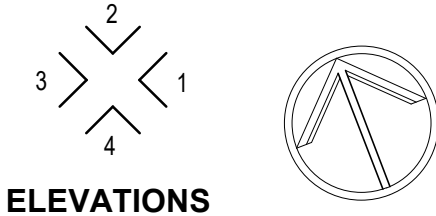
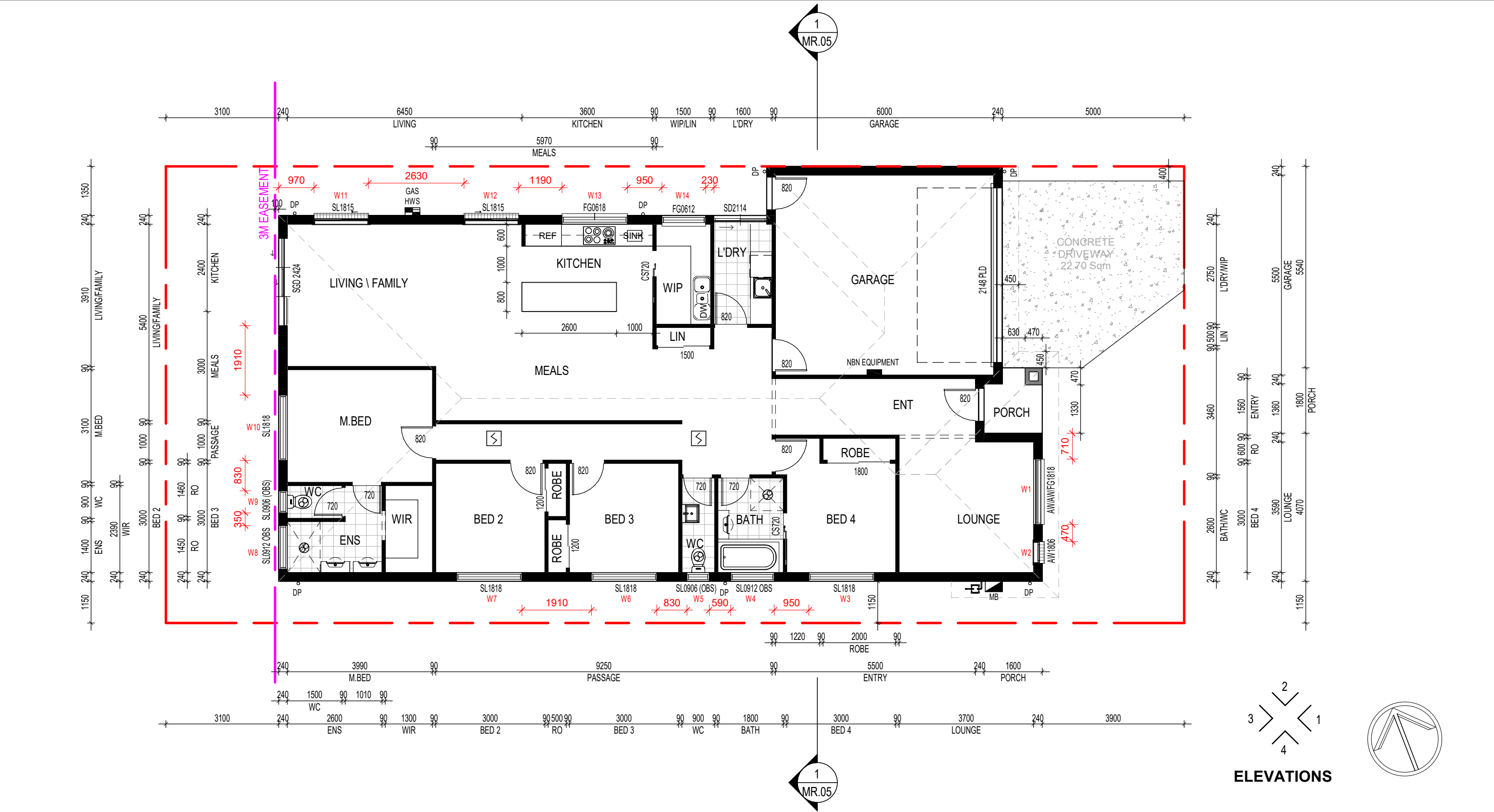
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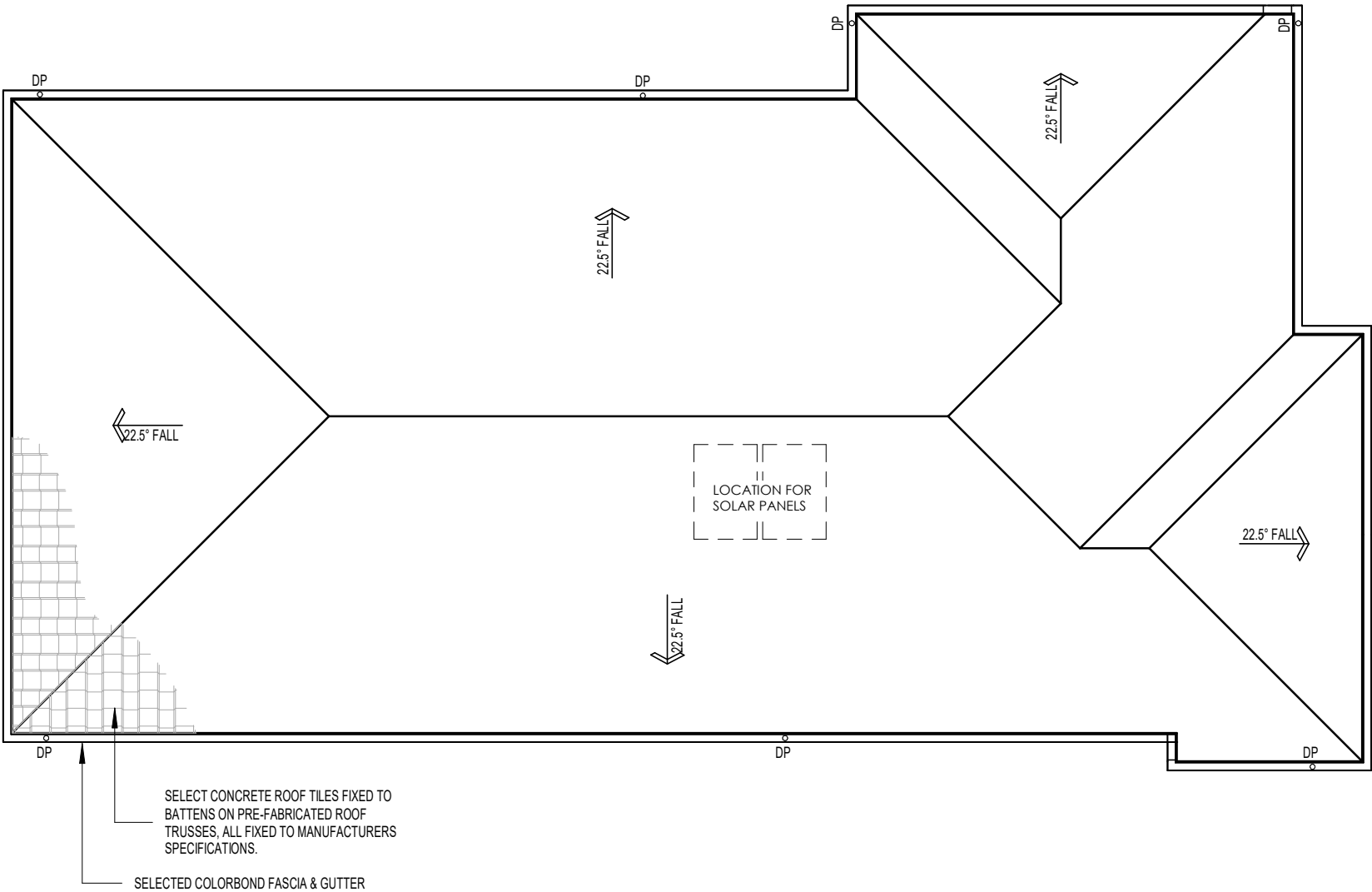
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DRAWING: FLOOR PLAN		PROJECT: NEW RESIDENCE	
CLIENT: ALI HASSNAIN		ADDRESS: LOT 25014, 48 SANKURU ROAD,TRUGANINA	
JOB: 2254		DATE: 16.08.22	DRAWN: WA
		SCALE: AS @ A3	CHECK: SY
			SHEET:MR.02



NOTE:  
ROOF PITCH 22.5° U.N.O



Window Schedule			
Mark	Height	Width	Window Style
W1	1800	1800	AWNING
W2	1800	600	AWNING
W3	1800	1800	SLIDING
W4	900	1200	SLIDING(OBS)
W5	900	610	SLIDING(OBS)
W6	1800	1800	SLIDING
W7	1800	1800	SLIDING
W8	900	1200	SLIDING(OBS)
W9	900	610	SLIDING(OBS)
W10	1800	1800	SLIDING
W11	1800	1500	AWNING
W12	1800	1500	AWNING
W13	600	1800	FIXED GLASS
W14	600	1200	FIXED GLASS

LOT 25014, 48 SANKURU ROAD

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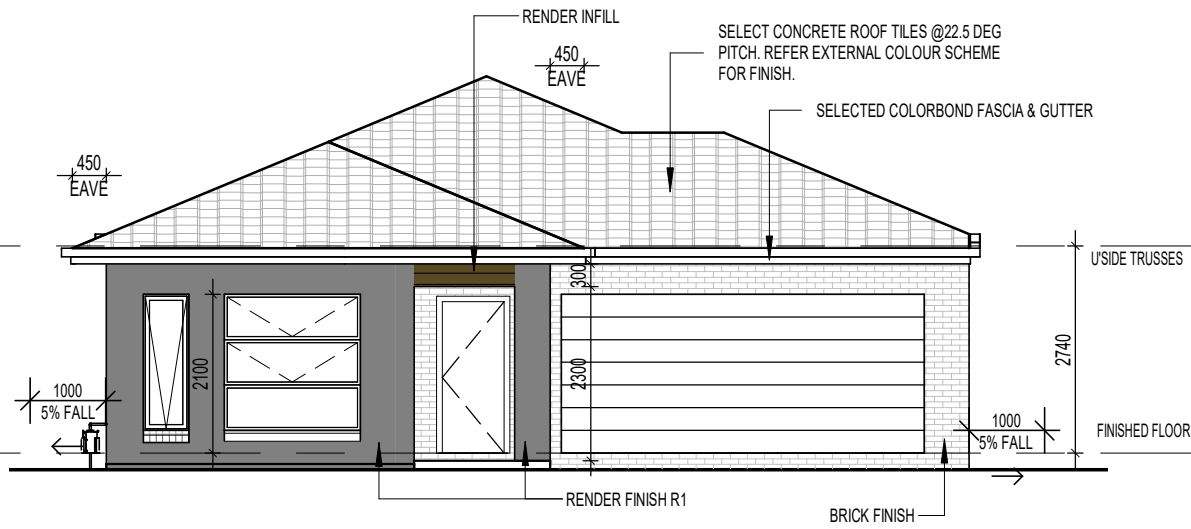
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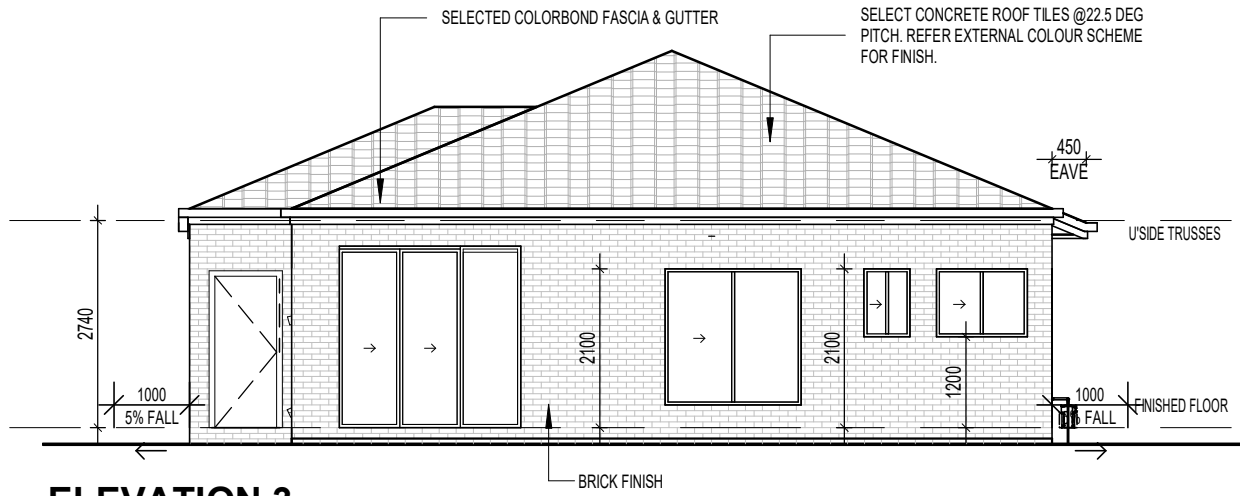
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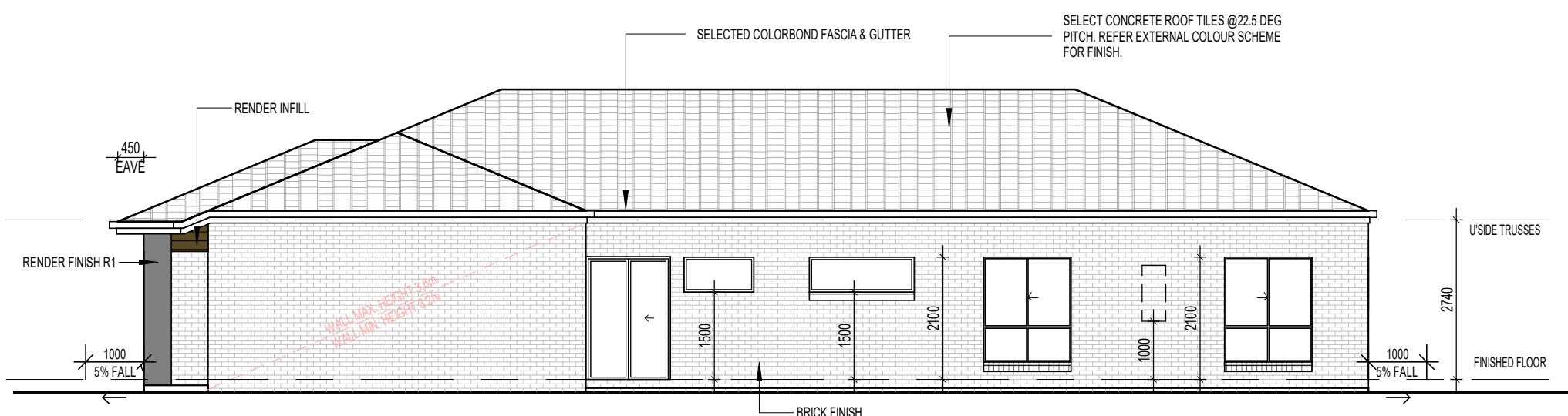
DRAWING: ROOF PLAN		PROJECT: NEW RESIDENCE	
CLIENT: ALI HASSNAIN		ADDRESS: LOT 25014, 48 SANKURU ROAD,TRUGANINA	
JOB: 2254		CHECK: SY	SHEET:MR.03
DATE: 16.08.22		DRAWN: AU	SCALE: AS @ A3



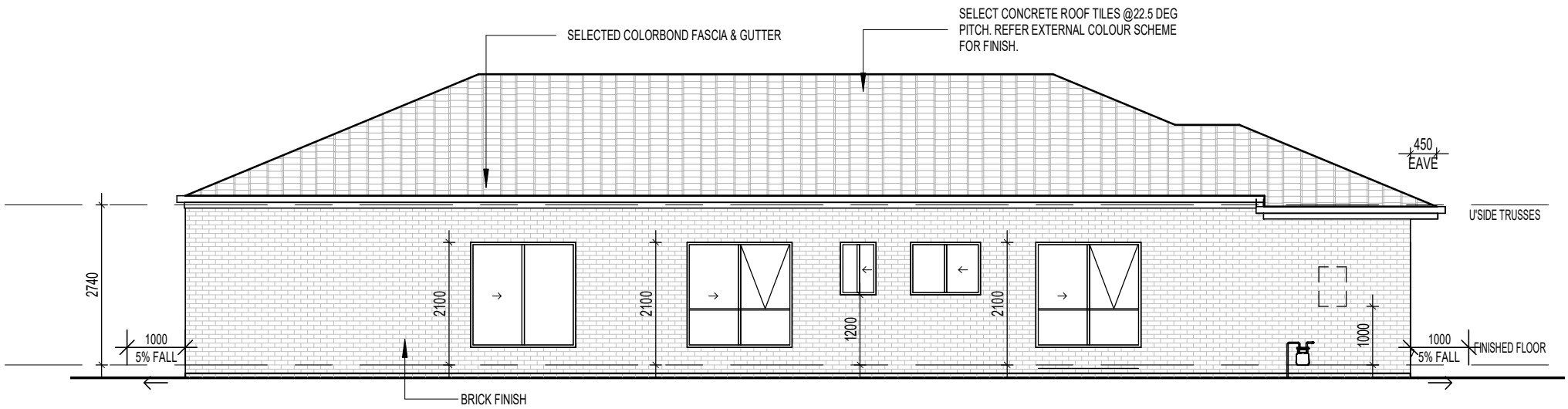
**ELEVATION 1**  
Scale 1 : 100



**ELEVATION 3**  
Scale 1 : 100



**ELEVATION 2**  
Scale 1 : 100



**ELEVATION 4**  
Scale 1 : 100

**NOTE:**  
REFER TO ENGINEERING PLANS FOR AJ'S  
ROOF PITCH 22.5° U.N.O  
GAL-LINTEL TO WINDOWS & DOORS U.N.O

**LOT 25014, 48 SANKURU ROAD**

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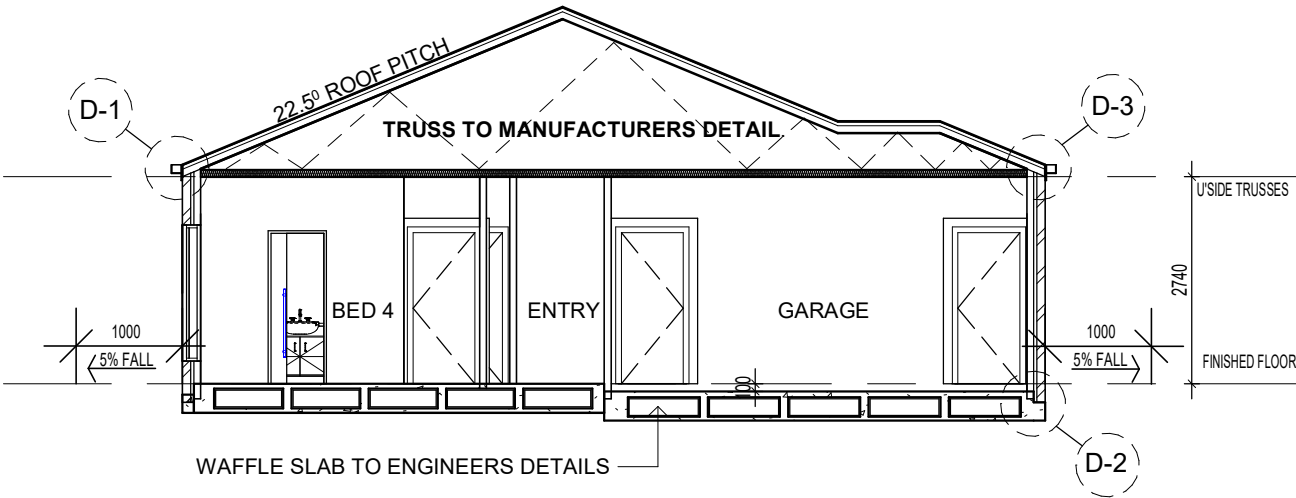
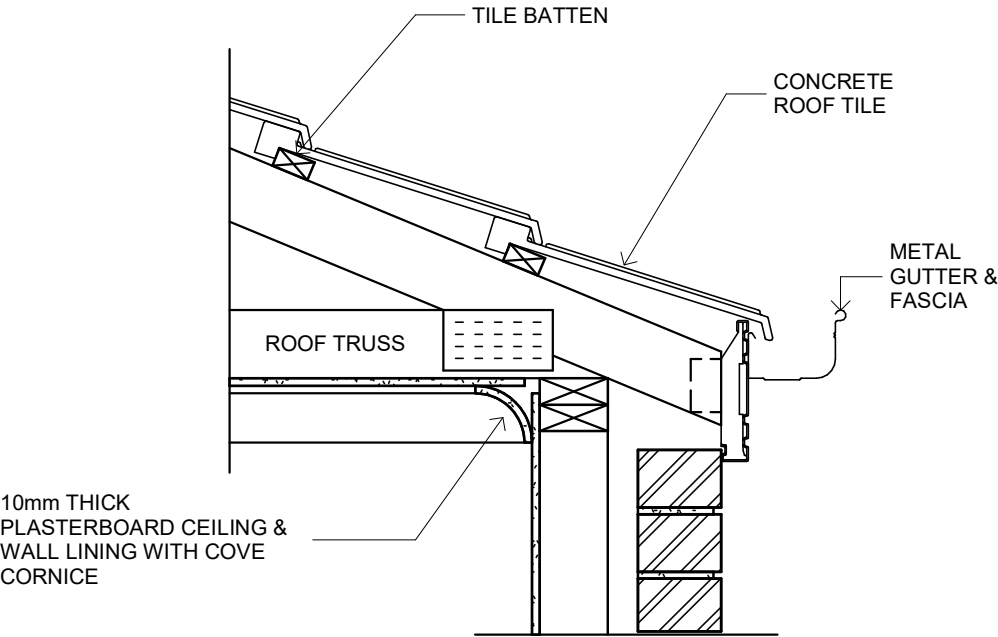
DRAWING: <b>ELEVATIONS</b>		PROJECT: <b>NEW RESIDENCE</b>	
CLIENT: <b>ALI HASSNAIN</b>		ADDRESS: <b>LOT 25014, 48 SANKURU ROAD,TRUGANINA</b>	
JOB: 2254		DATE: <b>16.08.22</b>	DRAWN: <b>AU</b>
		SCALE: <b>AS @ A3</b>	CHECK: <b>SY</b>
		SHEET: <b>MR.04</b>	



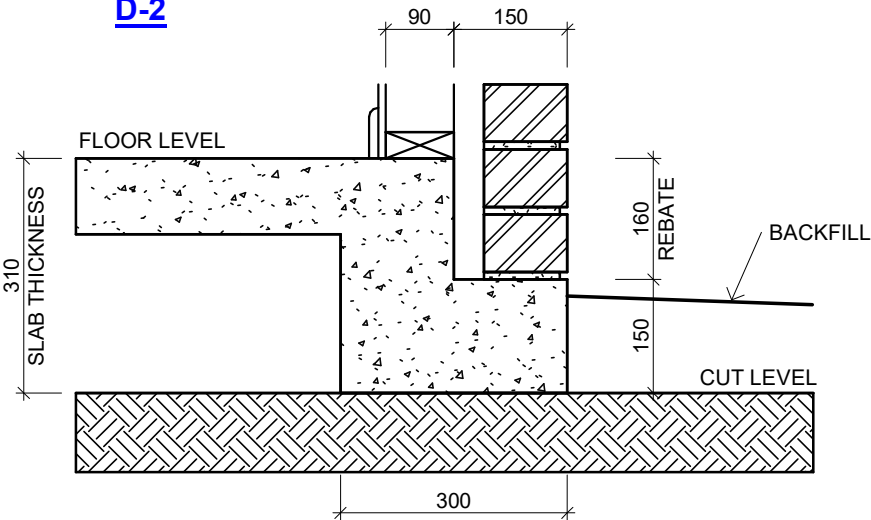
**NOTE:**  
TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA (B.C.A.), PLUS ALL AMENDMENTS, AND THE 'LIGHT TIMBER FRAMING CODE' AS.1684, PART 2 FOR NON-CYCLONIC AREAS AND AS.1684 PART 1 FOR CYCLONIC AREAS.

**NOTE:**  
22.5° ROOF PITCH U.N.O.

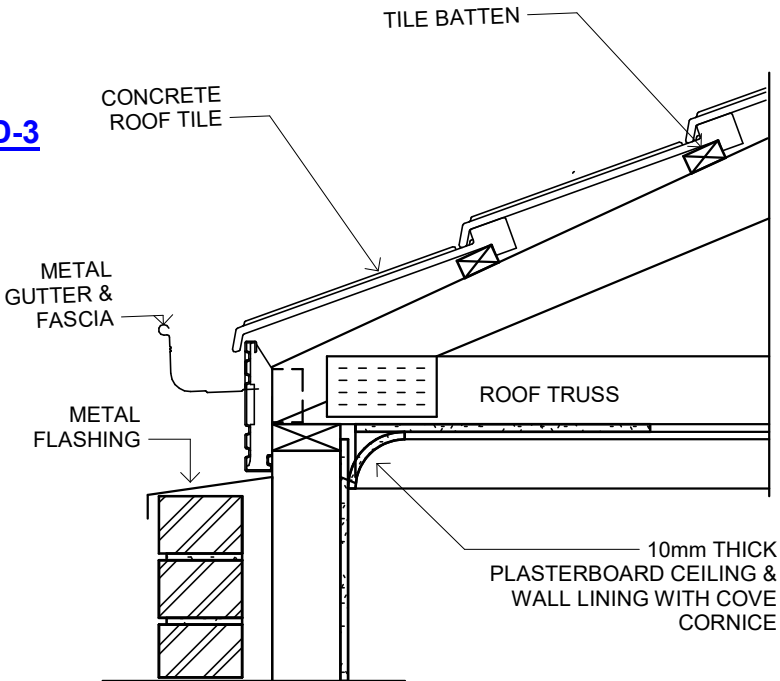
D-1



D-2



D-3



**NOTES:**  
- GUTTERS AND DOWNPIPES SHALL COMPLY WITH B.C.A 3.5.2 "GUTTERS AND DOWNPIPES".  
- TEMPORARY DOWNPIPES ARE REQUIRED DURING CONSTRUCTION  
- ROOF CLADDING TO COMPLY WITH B.C.A 3.5.1.

**NOTE:**  
FOR ALL "H" AND "E" CLASS SITES, ALL PLUMBING WORKS SHALL BE INSTALLED TO ACCOMMODATE THE POTENTIAL MOVEMENT OF THE SOIL, REFER TO THE SOIL REPORT FOR SOIL CLASSIFICATION. ALLOW FOR UP TO 75mm EXPANSION OR CONTRACTION.

**TERMITE TREATMENT**  
TERMITE TREATMENT TO BCA & AS 3660.1, REFER TO SPECIFICATION.

LOT 25014, 48 SANKURU ROAD

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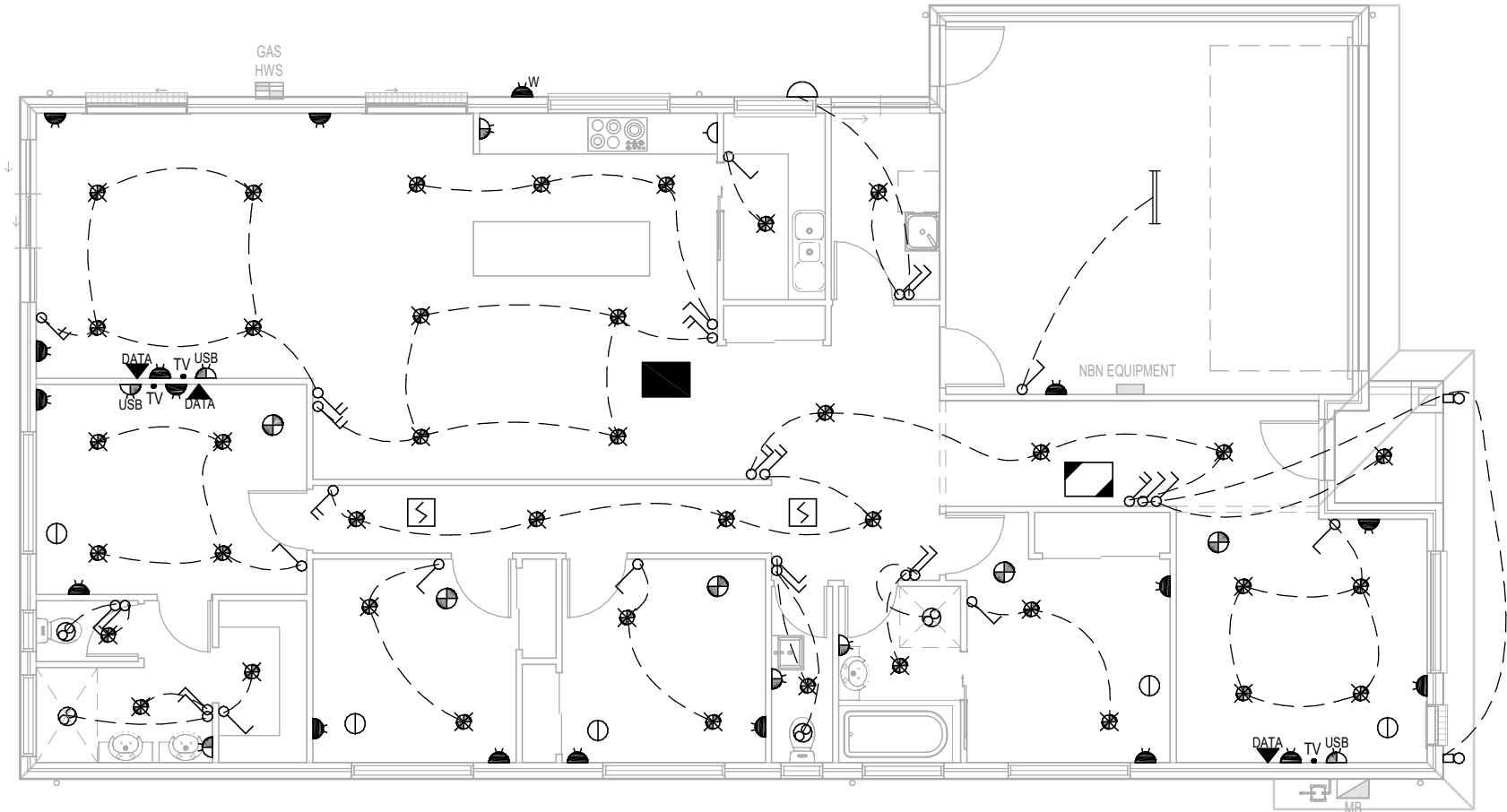
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DRAWING: SECTION		PROJECT: NEW RESIDENCE	
CLIENT: ALI HASSNAIN		ADDRESS: LOT 25014, 48 SANKURU ROAD, TRUGANINA	
JOB: 2254		DATE: 16.08.22	DRAWN: AU
		SCALE: AS @ A3	CHECK: SY
		SHEET: MR.05	

ELECTRICAL & GAS LEGEND	
SINGLE GPO AT 1050	
DOUBLE GPO AT 300	
DOUBLE GPO + USB POINT AT 300	
DOUBLE GPO AT 1050, LAUNDRY DOUBLE GPO HEIGHT IS DICTATED BY PIPE LOCATIONS	
DOUBLE GPO + USB POINT AT 1050, LAUNDRY DOUBLE GPO HEIGHT IS DICTATED BY PIPE LOCATIONS	
SINGLE GPO (FRIDGE) AT 1800	
SINGLE GPO (DISHWASHER AND MICROWAVE) AT 650	
SINGLE GPO (GARAGE) TO CEILING FOR AUTOMATIC DOOR, SET MIN. 3.0m BACK FROM DOOR	
WEATHERPROOF DOUBLE GPO	
HOT PLATES (ELECTRIC / GAS ) REFER SPECIFICATION, WITH SINGLE GPO OVER FOR RANGEHOOD	
UNDER BENCH OVEN (ELECTRIC / GAS ) REFER SPECIFICATION.	
GAS BAYONET FOR B.B.Q./HEATER WHERE SPECIFIED. REFER SPECIFICATION.	
TELEPHONE OUTLET	
COMPUTER / DATA OUTLET	
TELEVISION OUTLET AT 400	
EXHAUST FAN - TO DISCHARGE OUTSIDE, THROUGH BRICKWORK OR SOFFIT, VIA FLOOR JOISTS (USED AS PLENUM) OR DUCTED. PROVIDE VERMIN PROOF GRILLE TO OUTLET.	
CEILING FAN AS SPECIFIED	
CEILING FAN WITH LIGHT	
EXHAUST FAN & LIGHT COMBO.	
DOUBLE FLUORESCENT (GARAGE)	
SINGLE FLUORESCENT	
CIRCULAR FLUORESCENT (REFER SPECIFICATION)	
SELECTED DOWNLIGHT	
SELECTED LED DOWNLIGHT	
SELECTED LOW VOLTAGE DOWNLIGHT	
SELECTED BUNKER	
SELECTED PARAFLOOD	
SELECTED TRACK LIGHT	
SELECTED EXTERNAL WALL LIGHT	
SMOKE DETECTOR	
SELECT SKYLIGHT	
HOT WATER SYSTEM	
METER BOX ( ELECTRICAL )	
METER BOX ( GAS ), TO BE INSTALLED ONLY WHERE SPECIFIED. REFER SPECIFICATION.	
NBN EXTERNAL 'PCD' BOX AND INTERNAL EQUIPMENT INSTALLATION. REFER NBN INSTALLATION GUIDE.	
INSTANTANEOUS GAS HOT WATER SYSTEM	
LIGHTS SWITCHED ONE WAY (REFERS TO ACTUAL NUMBER OF LIGHTS SWITCHED) WALL PLATE, 1050 ABOVE F.F.L.	
LIGHTS SWITCHED TWO WAY (REFERS TO ACTUAL NUMBER OF LIGHTS SWITCHED) WALL PLATE, 1050 ABOVE F.F.L.	
LIGHTS SWITCHED THREE WAY (REFERS TO ACTUAL NUMBER OF LIGHTS SWITCHED) WALL PLATE, 1050 ABOVE F.F.L.	
<b>NOTE</b> ELECTRIC METERBOARD, HOT WATER SYSTEM / BOOSTER & GAS METERBOARD, <b>WHERE REQUIRED</b> , SHALL BE LOCATED AND POSITIONED ON-SITE, RELATIVE TO THE POSITION OF THE INCOMING POWER AND SUPPLY GAS LINES. REFER SPECIFICATION.	



ARTIFICIAL LIGHTING WATTAGE							
ROOM	AREA (sq.m)	ALLOWABLE WATTAGE PER (sq.m)		TOTAL ALLOWABLE WATTAGE		CURRENT TOTAL WATTAGE	
PORCH	3	4	W/m2	12	W	6	W
GARAGE	37	3	W/m2	111	W	22	W
LIVING	171	5	W/m2	855	W	234	W

HEATING & COOLING LEGEND	
(TO BE READ IN CONJUNCTION WITH THE SPECIFICATION)	
HEATING UNIT. CEILING MOUNTED.	
HEATING OUTLET. CEILING FIXTURE.	
COOLING UNIT. CEILING MOUNTED.	
COOLING OUTLET. CEILING FIXTURE.	
RETURN AIR DUCT	R-A
THERMOSTAT	

## LOT 25014, 48 SANKURU ROAD

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DRAWING:  
**ELECTRICAL**  
CLIENT:  
**ALI HASSNAIN**

JOB:  
2254

DATE:  
**16.08.22**

PROJECT:  
**NEW RESIDENCE**  
ADDRESS:  
**LOT 25014, 48 SANKURU ROAD,TRUGANINA**

DRAWN:  
**AU**

CHECK:  
**SY**

SCALE:  
**AS @ A3**

SHEET:**MR.06**